



Staff Report

---

File #: 22-0920

---

**PLANNING AND HOUSING COMMISSION  
STAFF REPORT**

DATE: 12/12/2022

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

**APPLICATION REQUEST:**

**CUP2022-0008:** Conditional Use Permit application to operate a 7,856 square foot Sports Training/Performance Enhancement facility at 2410 Wardlow Road, Suite 104, in the Westgate Specific Plan (SP87-1). (Applicant: Marcus Williams of M. Williams Promotions & Investments Inc., 3066 Veranda Lane, Corona, CA 92882).

**RECOMMENDED ACTION:**

**That the Planning and Housing Commission** find the project exempt from the California Environmental Quality Act (CEQA) pursuant CEQA Guidelines Section 15061(b)(3), and adopt Resolution No. 2600 GRANTING CUP2022-0008, based on the findings contained in the staff report and conditions of approval.

**PROJECT SITE SUMMARY**

**Area of Property:** 4.47 acres

**Existing Zoning:** Industrial Commercial Development District (ICDD) of the Westgate Specific Plan (SP87-01)

**Existing General Plan:** General Commercial

**Existing Land Use:** Commercial Development

**Proposed Land Use:** Commercial Development

**Surrounding Zoning/Land Uses:**

**N:** Industrial Commercial Development District of the Westgate Specific Plan (SP87-01) / Industrial development.

**E:** Industrial Commercial Development District of the Westgate Specific Plan (SP87-01) / Business Park

**S:** State Route 91 with commercial developments located beyond within unincorporated Riverside County area.

**W:** Industrial Commercial Development District of the Westgate Specific Plan (SP87-01) / IHOP restaurant.

## **BACKGROUND**

Conditional Use Permit (CUP) 2022-0008 is a request by the Applicant to establish GSE Athletics, an indoor sports training/performance enhancement facility, at 2410 Wardlow Road, Suite 104. The property is developed with an existing 67,360 square foot commercial building that is currently divided into 9 commercial condominium suites. The Applicant is currently negotiating to purchase the 7,856 square foot suite (Suite 104) from the current owner.

The property is subject to the Westgate Specific Plan (SP87-01), which zones the property Industrial/Commercial Development District (ICDD). While sports training and performance enhancement centers are allowed by right in the M-1 (Light Manufacturing) and M-4 (Industrial Park) zones, the Westgate Specific Plan's ICDD zone does not specifically identify sports training/performance enhancement center as a permitted, conditionally permitted, or prohibited land use. It does, however, identify "medical facilities" as being allowed with a conditional use permit, which arguably correlates with the physical therapy component of the applicant's proposal.

Although the Westgate Specific Plan is silent on sports training and performance enhancement facilities, Section 17.92.030 of the Corona Municipal Code (CMC) permits commercial recreation facilities in any zone in the city with an approved Conditional Use Permit (CUP). Commercial recreational facilities are not defined, but are typically classified establishments that involve large assemblages of people. While the applicant's use will have limited occupancy based on the nature of the business, which provides personalized training and instruction, the business is consistent with a commercial recreation facility because it requires a large indoor space to accommodate physical activities.

## **PROJECT DESCRIPTION**

### Project Site

The property contains an existing commercial building with nine (9) commercial condominium suites, of which Suite 104 will accommodate the sports training/performance enhancement facility proposed by application CUP2022-0008. The property is bordered to the north by Wardlow Road and to the south by State Route 91. Bordering to the west are two restaurants, IHOP and Lucky Greek Burgers, and to the east is the Westgate Center office development.

The site has access from two existing driveways on Wardlow Road. The driveway located on the northwest corner of the property is shared with the property adjacent IHOP restaurant to the west. A locational map of the project area is attached as Exhibit 2, and the site plan is provided on Sheet 3.0 of Exhibit 3.

### Operations

GSE Athletics is an indoor sports agility training and performance enhancement facility that includes physical therapy. The Applicant proposes private one-on-one, semi-private and group sessions ranging from 5-10 members per group. The sessions include speed, agility and strength training, corrective maintenance, and preventative and recovery care. Customers will range from elementary school aged students to professional athletes. The applicant states that the facility's primary goal is to help build an athletes' functional movement.

Physical therapy services are proposed for patients involved with sports injuries and recovery, work and personal injuries, corrective maintenance, preventative care, and orthopedic care. Physical therapy will be a one-to-one ration, and will be for patients ranging in age from 10 to 70 years old.

Business operations will be handled by office, training and clinical staff, which includes 16 employees and up to eight (8) interns/volunteers. All therapy and training sessions will be up to one (1) hour in duration, with a gap of 15 minutes to an hour between sessions. Appointments are required for each client.

The facility proposes the following hours of operation:

- **Monday to Friday** - 6:00 am to 8:00 pm
- **Saturdays** - 7:30 am to 6:00 pm
- **Sundays** - 10:00 am to 2:00 pm (No therapy sessions on Sundays)

Employees per shift:

- **Monday, Wednesday & Saturday** - 6 to 8 employees, plus 3 therapists
- **Tuesday, Thursday & Friday** - 6 to 8 employees, plus 2 therapists
- **Sundays** - 3 employees
- **Maximum employees per shift** - 11 employees, plus 2 interns/volunteers

Peak hours of operation:

- Monday to Saturday - 8:00 am to 11:00 am / 3:00 pm to 6:00 pm
  - Maximum therapy patients - 10 per hour
  - Maximum agility training clients - 10 per hour
  - Maximum persons during peak hours - 33 (employees, therapists, interns/volunteers & clients)
  - Maximum persons per day - 180 (employees, therapists, interns/volunteers & clients)

Clientele:

- Sports agility training
  - Ages 10 to 17 (elementary through high school)
  - Adult 18+ (college and professional athletes)
- Physical therapy
  - All ages, ranging from 10 to 70 years of age
  - Younger patients only accepted with sports injuries.
- Monthly memberships not required for sports agility training or physical therapy. Fees is per visit with accepted medical insurance, co-pay, or non-insurance out-of-pocket.

Services Offered:

- **Sports training/agility** - Includes strength training to improve speed and power. The open exercise area within the floor plan will be utilized for a variety of training activities, such as linear and lateral movement, change of direction fundamentals, quick twitch, etc.
- **One-on-one training** - Specialized sport training during off-season with college football and

NFL athletes.

- **Physical Therapy** - Individualized treatment and exercise programs with specialized equipment. Therapy patients range from postoperative care to athletic performance recovery.
- **Staff Training** - On-site training for employees and interns/volunteers twice a year. Approximately 30-35 people attend training, including 2 staff instructors. Training is held from 6:00 pm to 8:00 pm, or on weekends from 12:00 pm to 4:00 pm. Business is closed during hours of bi-annual training.

The hours of operation for existing businesses within the commercial development:

- **Suites 101-102** - *Accredo Health Group Inc.*: Monday to Friday, from 8:00 am to 5:00 pm. Closed on Weekends and holidays.
- **Suite 103** - *Vacant*
- **Suite 104** - *Applicant's suite*
- **Suites 105-106** - *Indian Motorcycles*: Tuesday to Saturday, from 9:00 am to 6:00 pm. Closed Sundays and Mondays.
- **Suite 107** - *LA Carpet Kitchen & Bath*: Monday to Sunday, from 10:00 am to 5:00 pm.
- **Suite 108** - *ATV Outlet*: Monday to Saturday, from 11:00 am to 6 pm, Sundays by appointment only.
- **Suite 109** - *Jensen*: Monday thru Friday, from 10:00 am to 6:00 pm.
- **Suite 110** - *Storage*: Presently a non-retail business.
- **Suite 111** - *Auction.com*: Operates once a week in the mornings. Times vary.

All business suites are shown on the site plan provided on Sheet 3.0 of Exhibit 3.

### Parking

The City's parking ordinance is codified in Chapter 17.76 (Off-Street Parking) of the Corona Municipal Code (CMC). The Code does not currently have a specific parking requirement for a sports training/performance enhancement facility. Pursuant to CMC § 17.76.030(F)(8), Team Sports Facilities greater than 3,500 square feet requires a parking analysis that is based upon nationally recognized standards. The analysis serves to determine: (a) what parking ratio is appropriate for the proposed sports training/performance use; and (b) whether the site has sufficient parking to meet the parking needs of the proposed and existing uses on-site. The parking analysis must be approved by the Planning and Development Department Director.

Two analyses were prepared by Linscott Law & Greenspan, a licensed traffic engineer:

- 1) Parking Demand Analysis (November 29, 2022)
- 2) Traffic Impact Assessment (November 22, 2022)

The Parking Demand Analysis assessed whether the site has sufficient parking for the proposed and existing on-site uses (Exhibit 4). The Traffic Impact Assessment evaluated the facility's daily trip generation (Exhibit 5). The following sections discuss the analyses.

### *Parking Demand Analysis:*

The Parking Demand Analysis determined the parking requirement for the sports training facility based on the Institute of Transportation Engineers (*ITE*) *Parking Generation Manual, 5<sup>th</sup> Edition*,

which contains nationally recognized parking ratios for various land uses. The use in the ITE Parking Generation Manual most similar to a sports training facility is "Health/Fitness Club". This use has a parking demand ratio of 4.73 parking spaces per 1,000 square feet of floor area. Based on the size of the sports training facility (7,856 sf), the applicant would require 38 parking spaces.

The existing commercial uses within the building, excluding the sports training facility, require a 160 parking spaces. This is based on a 1990 Code requirement of 1 space per 375 square feet of commercial floor area, which was in effect at the time the building was constructed.

In total, the existing uses and proposed sports training facility require 198 parking spaces. The site currently contains 205 parking spaces, which are shared among the tenants within the building. Therefore, the site has sufficient parking to accommodate the parking required for a sports training facility. However, in reality, based on the sports training facilities operations, the facility is anticipated to have no more than 33 persons onsite during peak hours of operation, and not all training sessions will occur simultaneously. Based on the actual operations of the facility, the site will likely have a surplus of 12 parking spaces.

*Traffic Impact Analysis:*

Per the Traffic Impact Assessment (TIA), the sports training facility is expected to generate 271 daily vehicle trips on a typical weekday. For comparison purposes, a retail use would generate an average of 321 daily vehicle trips on a typical weekday. Since the proposed use will generate 51 fewer trips compared to a retail use, the TIA concluded that the project's impacts are insignificant, and therefore no traffic related conditions are warranted.

The City's Traffic Engineer reviewed both the Parking Demand Analysis and the Traffic Impact Assessment prepared for this project and did not have any concerns.

**AIRPORT LAND USE COMPATIBILITY PLAN**

All properties within the proximity of the Corona Municipal Airport are subject to the 2004 Riverside County Airport Land Use Compatibility Plan (ALUCP). The purpose of the ALUCP is to promote compatibility between the airport and surrounding land uses. The Riverside County ALUCP is adopted and managed by the Riverside County Airport Land Use Commission (ALUC). However, ALUC's authority to review development projects for ALUCP consistency has been delegated to the City of Corona.

The proposed project is located within a Zone D of the ALUCP. The ALUCP's Table 2A identifies compatibility criteria for projects located within Zone D. The compatibility criteria is as follows:

- a) Nonresidential properties are subject to a maximum intensity limit of an average of 100 persons per acre, or a single acre limit of 390 people.
- a) Highly noise-sensitive outdoor non-residential uses are prohibited.
- b) Projects are prohibited when they result in hazards to flight, including physical, visual, and electronic forms of interference.
- c) Objects or structures over 70 feet in height require review by the ALUCP.
- d) Children's schools, hospitals, and nursing homes are discouraged.
- e) A deed notice must be recorded for each parcel associated with any discretionary and use action.

Compatibility criteria (b) through (f) above are either met through the project's design and conditions, or they are not applicable to the proposal. However, as it relates to criteria (a), the property as it currently exists does not comply with the ALUCP occupancy limits. As a result, the property constitutes a non-conforming condition.

The following summarizes the existing building's occupancy:

- The building was constructed with a type M (Mercantile) occupancy, which allows for one person per 60 square feet of building area (Uniform Building Code).
- The building's total square footage is 67,360 square feet.
- The site is 4.47 acres.

The site was therefore approved with an existing average occupancy of 251 persons per acre, which exceeds the limits in the ALUCP.

ALUCP Section 3.3.2(b), *Nonconforming Uses*, clarifies that a nonconforming non-residential development may be continued, leased, or sold, provided the nonconforming use is not expanded, and the number of people per acre is not increased above the levels existing at the time of adoption of the ALUCP. The 4.47-acre project site was created under PM 24150 in 1989, and the existing building was constructed in 1990. The current ALUCP was adopted in 2004.

Suite 104 contains 7,856 square feet. The building was constructed in 1990 with a type M (Mercantile) occupancy, which allows 1 person per 60 square feet, for a total occupancy limit of 131 people. The proposed sports training/performance enhancement facility will change the occupancy to type A-3 (Assembly) and type B (Office). As shown in Exhibit 3, under "Occupancy Load Calculations", approximately 5,859 square feet of the proposed project is devoted to exercise rooms (1 person/50 sf); 698 square feet for office uses (1 person/150 sf); 58 square feet for a waiting area (1 person/15 sf); and 123 feet of storage/utility (1 person/300 sf). The remainder of the tenant space is hallways, restrooms and door clearance areas, which do not contribute to the occupancy load. As a result, the total occupancy of the proposed project is 128 persons, which is less than the 131 person occupancy allowed when the building was constructed in 1990.

Since the project site existed prior to the adoption of the 2004 ALUCP, and the proposed sports training facility does not increase the size of the existing building or usage intensity beyond that of the former use, the city has determined that this request qualifies as a nonconforming use under ALUCP.

## **ENVIRONMENTAL ANALYSIS**

Pursuant to Section 15061(b)(3) of the State Guidelines for the California Environmental Quality Act (CEQA) and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA, the project is a common sense exemption because the project consists of a change of use to a sports training/performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building, does not increase building occupancy, and no expansion to the building footprint is proposed. Therefore, there is no possibility of significant environment effect associated with this project.

## **FISCAL IMPACT**

The applicant has paid the applicable processing fees for the project.

## **PUBLIC NOTICE AND COMMENTS**

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposed project. The applicant has included letters of support from other businesses on the subject property, which are attached as Exhibit 8.

## **STAFF ANALYSIS**

GSE Athletics is a sports training/performance enhancement facility which is allowed in any zone within the city with an approved Conditional Use Permit, per Section 17.92.030. All activities associated with the facility will be contained inside the building, and the use will be harmonious with adjacent commercial land uses. Additionally, there are no sensitive land uses within the area as the site is surrounded by commercial and office uses. The Applicant has also reached out to adjacent commercial property owners to introduce the project, and several owners have expressed their support in writing (Exhibit 8).

The property is fully improved, and the building can accommodate the proposed use. There is adequate vehicular access and on-site circulation. The 205 on-site parking spaces are adequate to accommodate the facility and other on-site businesses, as demonstrated by the Parking Demand Analysis prepared for this project.

Approval of CUP2022-0008 contributes to General Plan Goal LU-1.1, which promotes a mixture of land uses throughout the city:

*Accommodate uses that support the diverse needs of Corona's residents, including opportunities for living, commerce, employment, recreation, education, culture, entertainment, civic engagement, and social and spiritual activity that are in balance with natural open spaces.*

Therefore, the Planning and Development Department recommends approval of CUP2022-0008, based on the findings below and the recommended conditions of approval attached as Exhibit 6.

## **FINDINGS OF APPROVAL FOR CUP2022-0008**

1. A Notice of Exemption has been prepared pursuant to Section 15601(b)(3) of the State Guidelines for the California Environmental Quality Act (CEQA) and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA, the project is a common sense exemption because the project consists of a change of use to a sports training/performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building, does not increase building occupancy, and no expansion to the building is proposed. Therefore, there is no possibility of significant environment effect associated with this project.

2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2022-0008 for the following reason:

*a. The project will not be detrimental to the public health, safety, convenience or general welfare, and will be in harmony with the various elements and objectives of the City's General Plan because the project will establish a sports training/performance enhancement facility on an already developed property that was designed to meet or exceed the applicable development standards of the Westgate Specific Plan and the Corona Municipal Code. No additional on-site or off-site improvements are required with this proposal. The proposed use is compatible with the surrounding commercial and business park land uses, and the property has adequate parking to meet the anticipated parking demand of the proposed use.*

3. The proposal is consistent with the General Plan for the following reasons:

*a. The project furthers the intent of General Plan Goal PR-2 by accommodating active recreational programs that are responsive to the diverse needs and interests of Corona's residents and visitors of all ages and abilities.*

*b. Furthers the intent of General Plan Goal LU-1 by providing a community that contains a diversity of land uses that support the needs of and provide a high quality of life for its residents.*

4. The proposal is consistent with Westgate Specific Plan (SP-87-1) for the following reason:

*a. The project is consistent with the Westgate Specific Plan in that the Industrial/Commercial Development District (ICDD) is designed not only to permit and encourage commercial development but to provide the flexibility to integrate mixed land uses in a compatible fashion. The proposed sports training/enhancement performance facility will be compatible with adjacent commercial and business park land uses and provides a mixed land use that is encouraged by the Westgate Specific Plan within the ICDD.*

**PREPARED BY:** ROCIO LOPEZ, CONSULTING PLANNER

**REVIEWED BY:** SANDRA YANG, SENIOR PLANNER

**REVIEWED BY:** JAY EASTMAN, AICP, PLANNING MANAGER

**SUBMITTED BY:** JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR



EXHIBITS

1. Resolution No. 2600
2. Locational and zoning map
3. Project Plans
4. Parking Demand Analysis (Linscott Law & Greenspan, November 29, 2022)
5. Traffic Impact Assessment (Linscott Law & Greenspan, November 22, 2022)
6. Conditions of Approval
7. Applicant's letter dated November 17, 2022
8. Letters in Support of Project
9. Environmental Documentation

Case Planner: Rocio Lopez (951) 736-2293



**RESOLUTION NO. 2600**

**APPLICATION NUMBER: CUP2022-0008**

**A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT TO OPERATE A 7,856 SQUARE FOOT SPORTS TRAINING/ PERFORMANCE ENHANCEMENT FACILITY AT 2410 WARDLOW ROAD, SUITE 104, IN THE WESTGATE SPECIFIC PLAN (SP87-1). (APPLICANT: MARCUS WILLIAMS OF M. WILLIAMS PROMOTIONS & INVESTMENTS INC.)**

**WHEREAS**, the application to the City of Corona, California, for a Conditional Use Permit under the provisions of Chapter 17.92 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the Conditional Use Permit to operate a 7,856 square foot Sports Training/Performance Enhancement facility at 2410 Wardlow Road, Suite 104, in the Westgate Specific Plan (SP87-1).

**WHEREAS**, the Planning and Housing Commission held a noticed public hearing for CUP2022-0008 on December 12, 2022, as required by law; and

**WHEREAS**, the Planning and Housing Commission finds that this project is exempt from CEQA pursuant to Section 15061(b)(3) of the State Guidelines and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA, because the project consists of establishing a sports training/performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building, does not increase building occupancy, and no expansion to the building footprint is proposed. Therefore, there is no possibility that the project will have a direct or indirect physical change or significant effect on the environment.

**WHEREAS**, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Conditional Use Permit as set forth in Corona Municipal Code Section 17.92.110 do exist in reference to CUP2022-0008 based on the evidence presented to the Commission during said hearing; and

**EXHIBIT 1**

**WHEREAS**, the Planning and Housing Commission based its recommendation to approve the CUP2022-0008 on certain conditions of approval and the findings set forth below.

**NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

**SECTION 1. CEQA Findings.** As the decision-making body for this CUP2022-0008, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as an exemption under CEQA per Section 15061(b)(3) of the State Guidelines and Section 3.06 of the City of Corona adopted Local Guidelines for implementing CEQA. There is no evidence presented to the city that the project will have any significant effects on the environment.

**SECTION 2. CUP2022-0008 Findings.** Pursuant to Corona Municipal Code (“CMC”) section 17.92.110 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. A Notice of Exemption has been prepared pursuant to Section 15601(b)(3) of the State Guidelines for the California Environmental Quality Act (CEQA) and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA, the project is a common sense exemption because the project consists of a change of use to a sports training/performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building, does not increase building occupancy, and no expansion to the building is proposed. Therefore, there is no possibility of significant environment effect associated with this project.
2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2022-0008 for the following reason:
  - a. *The project will not be detrimental to the public health, safety, convenience or general welfare, and will be in harmony with the various elements and objectives of the City’s General Plan because the project will establish a sports training/performance enhancement facility on an already developed property that was designed to meet or exceed the applicable development standards of the Westgate Specific Plan and the Corona Municipal Code. No additional on-site or off-site improvements are required with this proposal. The proposed use is compatible with the surrounding commercial and business park land uses, and the property has adequate parking to meet the anticipated parking demand of the proposed use.*
3. The proposal is consistent with the General Plan for the following reasons:

- a. The project furthers the intent of General Plan Goal PR-2 by accommodating active recreational programs that are responsive to the diverse needs and interests of Corona's residents and visitors of all ages and abilities.*
  - b. Furthers the intent of General Plan Goal LU-1 by providing a community that contains a diversity of land uses that support the needs of and provide a high quality of life for its residents.*
4. The proposal is consistent with Westgate Specific Plan (SP-87-1) for the following reason:
  - a. The project is consistent with the Westgate Specific Plan in that the Industrial/Commercial Development District (ICDD) is designed not only to permit and encourage commercial development but to provide the flexibility to integrate mixed land uses in a compatible fashion. The proposed sports training/enhancement performance facility will be compatible with adjacent commercial and business park land uses and provides a mixed land use that is encouraged by the Westgate Specific Plan within the ICDD.*

**BE IT FURTHER RESOLVED** that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Conditional Use Permit.

Adopted this 12<sup>th</sup> day of December, 2022.



Craig Siqueland, Chair  
Planning and Housing Commission  
City of Corona, California

**ATTEST:**



Belinda Capilla  
Secretary, Planning and Housing Commission  
City of Corona, California

I, Belinda Capilla, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 12<sup>th</sup> day of December, 2022, and was duly passed and adopted by the following vote, to wit:

**AYES:** Siqueland, Sherman, Alexander, & Meza

**NOES:**

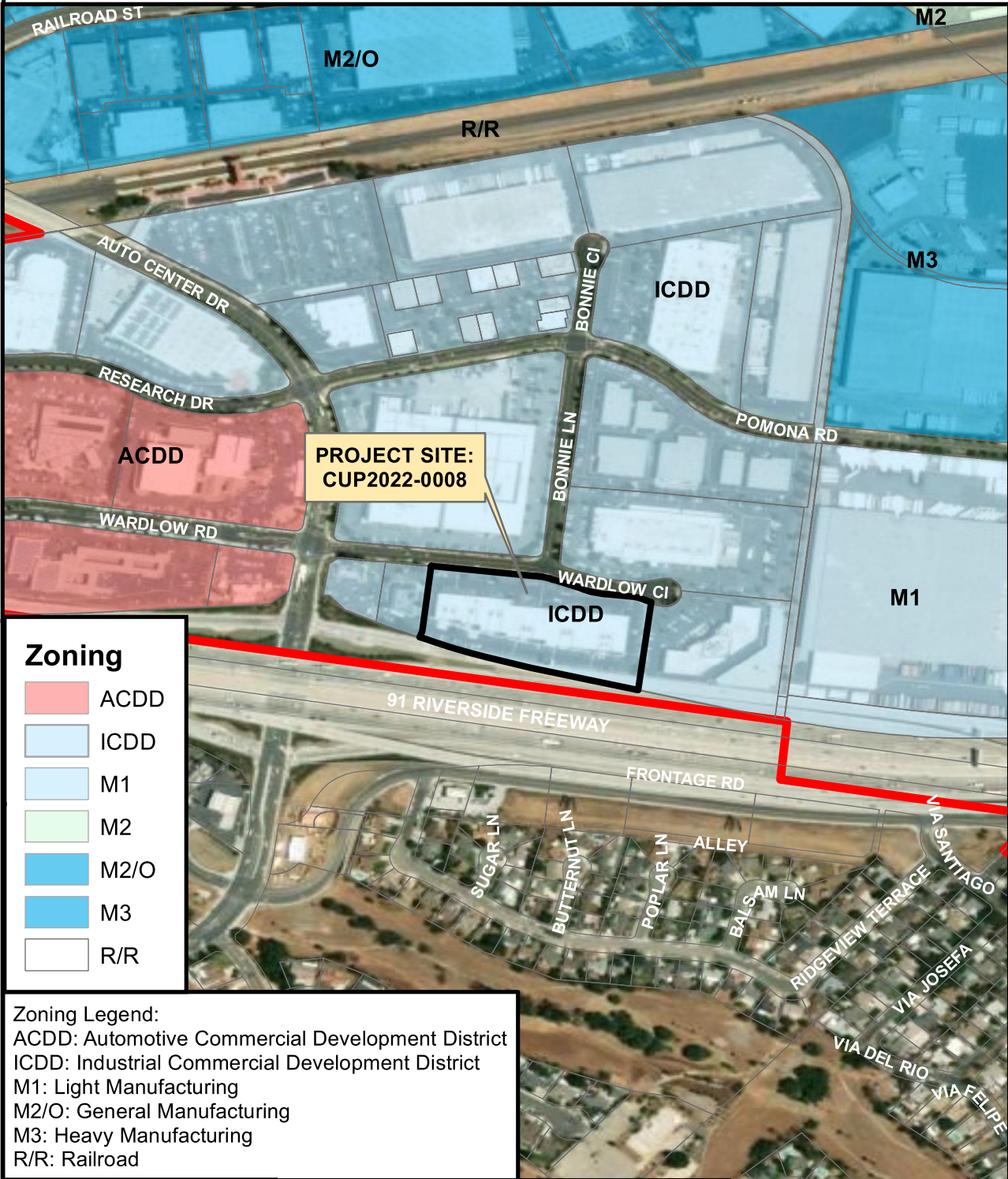
**ABSENT:** Woody

**ABSTAINED:**

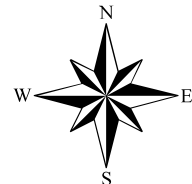


Belinda Capilla  
Secretary, Planning and Housing Commission  
City of Corona, California

# LOCATIONAL & ZONING MAP



CUP2022-0008  
 2410 Wardlow Road  
 Suite 104



**EXHIBIT 2**

# TENANT IMPROVEMENT FOR: GSE ATHLETICS 2410 WARDLOW RD. #104 CORONA, CA 92880

3-1 Development

24430 HAWTHORNE BLVD.  
STE. 100  
TORRANCE, CA 90505  
310.554-0665

all designs and plans represented by this drawing are the exclusive property of 3-1 development and shall not be reproduced without the prior written permission. any unnoted reuse of these plans other than for the project and location shown is strictly prohibited.



FOR REVIEW

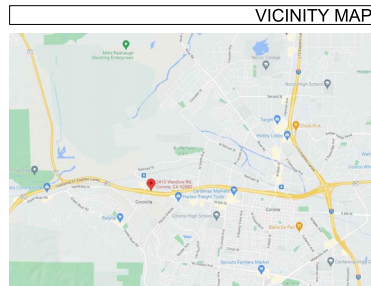
TENANT  
IMPROVEMENT  
FOR:

GSE Athletics  
2410 Wardlow Rd.  
#104  
Corona, CA 92880

PROJECT DIRECTORY	
<b>PROPERTY OWNER:</b> WEST CORONA FREEWAY CENTER OWNER, LLC. CONTACT: ALAN DIBARTOLOMEO 15762 MACARTHUR BLVD. SUITE #100 IRVINE, CA 92612 PHONE: 949.442.5962 EMAIL: ALAN@RFRECOMPANIES.COM	
<b>PROJECT MANAGER:</b> 3-1 DEVELOPMENT, INC. CONTACT: DENISE TORRES 24430 HAWTHORNE BLVD. SUITE #100 TORRANCE, CA 90505 PHONE: 310.237.5363 EMAIL: DENISE@3-1DEVELOPMENT.COM	
<b>ENGINEER OF RECORD:</b> JON E. DEOUR, P.E. 3-1 DEVELOPMENT, INC. 24430 HAWTHORNE BLVD. SUITE #100 TORRANCE, CA 90505 PHONE: 310.849.2044	
<b>TENANT/OPERATOR:</b> M. WILLIAMS PROMOTIONS & INVESTMENTS, INC. CONTACT: MARCUS WILLIAMS 3086 VERANDA LANE CORONA, CA 92882 PHONE: 951.919.3392 EMAIL: MARCUSWILLIAMS2@YAHOO.COM	

DEFERRED SUBMITTALS (UNDER SEPARATE PERMIT)	
1. FIRE SPRINKLER TENANT IMPROVEMENT PLANS PER 2019 EDITION CALIFORNIA FIRE CODE AND NFPA 13.	
2. FIRE EXTINGUISHER PLANS PER 2019 EDITION CALIFORNIA FIRE CODE AND TITLE 19.	
3. FIRE ALARM/EMERGENCY ALARM SYSTEMS PER 2019 EDITION CALIFORNIA FIRE CODE AND NFPA 72.	

FIRE DEPARTMENT NOTES	
1. THE PROJECT SHALL COMPLY WITH THE CURRENTLY ADOPTED CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, AND OTHER CODES, STANDARDS, REGULATIONS, AND REQUIREMENTS AS ENFORCED BY THE LOCAL FIRE AUTHORITY.	
2. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS. SHALL BE A MINIMUM SIX INCHES HIGH, CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADRESSED ON.	
3. PROVIDE IDENTIFICATION FOR TENANT SPACE ON ANY AND ALL UTILITY SHUT OFF DEVICES.	
4. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE CFC AND CFC TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY, IN EACH STORAGE AND CONSTRUCTION SHED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LOADS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT. BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A:10BC EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READILY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4" ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY THE INSPECTOR AND FINAL PLACEMENT IS SUBJECT TO APPROVAL.	
5. WALL, FLOOR AND CEILING FINISHES AND DECORATIVE MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC/CFC CHAPTER 8. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL. SUCH ITEMS SHALL BE APPROVED AND INSPECTED PRIOR TO INSTALLATION.	
6. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY COUNTERS, MIRRORS, OR OTHER DECORATIVE MATERIAL. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES.	
7. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR SCRAMBLES THAT DO NOT UNLATCH IN TANDER WITH THE NORMAL OPERATING LEVEL. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING. SLIGH DOORS SHALL NOT BE EQUIPPED WITH DOOR STRIPS OR OTHERWISE PROHIBED OPEN.	
8. HAZARDOUS MATERIALS, EQUIPMENT, PROCESSES, STORAGE DISPENSING OR USE SHALL COMPLY WITH CBC AND CFC REGULATIONS AND SHALL BE REVIEWED AND APPROVED BY THE LOCAL FIRE DEPARTMENT PRIOR TO SUCH MATERIALS OR EQUIPMENT BEING BROUGHT ON SITE.	
9. REAR EXIT DOORS SHALL BE PROVIDED WITH SIGNAGE STATING "EXIT DOOR DO NOT BLOCK"	
10. PROVIDE KNOX BOX AND KEYS SHALL BE CLEARLY TAGGED TO THE AREA AND/OR LOCATION THEY SERVE AND A MINIMUM OF THREE (3) SETS SHALL BE PROVIDED INSIDE THE KEY BOX.	
11. EXISTING SPRINKLER AND ALARM SYSTEMS IN SPACES UNDERGOING REMODELING SHALL BE EVALUATED BY A LICENSED CONTRACTOR KNOWLEDGEABLE IN SUCH SYSTEMS TO DETERMINE WHETHER CHANGES WILL BE NECESSARY TO MAINTAIN THESE SYSTEMS IN CONFORMANCE WITH APPLICABLE STANDARDS IF MODIFICATIONS ARE NECESSARY PLANS SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION OF THE SYSTEM. SPRINKLER AND ALARM SYSTEMS SHALL BE SUPERVISED BY A UL-LISTED CENTRAL ALARM STATION.	



PROJECT DATA	
<b>PROJECT SCOPE</b>	
CHANGE OF OCCUPANCY USE AND TENANT IMPROVEMENT WORK FOR A NEW 'GSE ATHLETICS' FACILITY LOCATED WITHIN EXISTING SINGLE STORY BUILDING. TENANT TO REFORM PHYSICAL THERAPY WITH STRENGTH AND AGILITY TRAINING AND REHABILITATION FOR PRIVATE CLIENTELE.	
WORK UNDER THIS PERMIT INCLUDES FOR NEW NON-STRUCTURAL WALLS FOR NEW OFFICES, NEW EXERCISE & PHYSICAL THERAPY EQUIPMENT, EVALUATION ROOMS, AND RESTROOMS.	
NO EXTERIOR WORK WORK TO BUILDING AND/OR SITE PROPOSED.	
<b>BUILDING AREA</b>	
CONSTRUCTION TYPE:	TYPE III-B
FULLY SPRINKLERED:	YES
NUMBER OF STORES:	ONE (1)
<b>PROPERTY &amp; LEGAL DESCRIPTION</b>	
APN:	102-420-065 (102-420-063)
LEGAL DESCRIPTION:	PM 24150, LOT 3
CITY JURISDICTION:	CITY OF CORONA
COUNTY JURISDICTION:	RIVERSIDE
ZONING DESIGNATION:	SD2 OF SP 87-1 - INDUSTRIAL/ COMMERCIAL
<b>APPLICABLE CODES</b>	
2019 EDITION OF THE CALIFORNIA BUILDING CODE (CBC)	
2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE (CEC)	
2019 EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC)	
2019 EDITION OF THE CALIFORNIA PLUMBING CODE (CPC)	
2019 CALIFORNIA FIRE CODE	
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (GREEN)	
2019 CALIFORNIA ENERGY CODE	
<b>SQUARE FOOTAGE SUMMARY</b>	
EXISTING BUILDING SQUARE FOOTAGE:	67,060
TENANT SPACE (UNDER THIS PERMIT):	7,296 SF
<b>OCCUPANCY</b>	
PROPOSED OCCUPANCY:	A-3/B
EXISTING USE:	VACANT - M RETAIL
PROPOSED USE:	EXERCISE ROOM & BUSINESS AREA

BUILDING AREA ANALYSIS											
SPACE/ LEVEL	CONSTRUCTION	TYPE	OCCUPANCY	FIRE PROTECTION		STORIES		HEIGHT		AREA (SF)	
				SPRINKLERS	IN DELT OF 1 HR.	ALLOWED	ACTUAL	ALLOWED	ACTUAL	ALLOWED	ACTUAL
UNIT #104	III-B		A-3	YES	NO	3	1	75'-0"	21'-0"	38,000	7,856

NOTES:  
1. ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE PER TABLE 504.3  
2. ALLOWABLE NUMBER OF STORES ABOVE GRADE PLANE PER TABLE 504.4  
3. ALLOWABLE BUILDING AREA TABULATION PER CBC SECTION 506.2

SHEET INDEX	
DESCRIPTION	SHEET
TITLE SHEET	1.0
NOTES, ABBREVIATIONS & SYMBOLS	2.0
SITE PLAN	3.0
EGRESS PLAN	4.0
FLOOR PLAN	5.0
OCCUPANCY FLOOR PLAN	6.0

PLAN ISSUANCE	
CITY PLANING	10.03.2022
	-
DELTA REVISIONS	
▲ Planning & Cost Revisions	11.03.22
▲ Plan & City Revisions	11.28.22

TITLE SHEET	
PROJECT NUMBER	22-045
designer:	d9
checked:	dst
SHEET NUMBER	1.0

# EXHIBIT 3





all designs and plans represented by this drawing are the exclusive property of 3-1 development and shall not be reproduced without the prior written permission. any unauthorized reuse of these plans other than for the project and location shown is strictly prohibited.



FOR REVIEW

TENANT  
IMPROVEMENT  
FOR:

GSE Athletics  
2410 Wardlow Rd.  
#104  
Corona, CA 92880

PLAN ISSUANCE

CITY PLANNING	11/01/2022

DELTA REVISIONS

▲ Planning & Cost Revisions	11/01/22
▲ Civil & City Revisions	11/28/22

SITE PLAN

PROJECT NUMBER  
22-045

designer: d19  
checked: dst

SHEET NUMBER

3.0

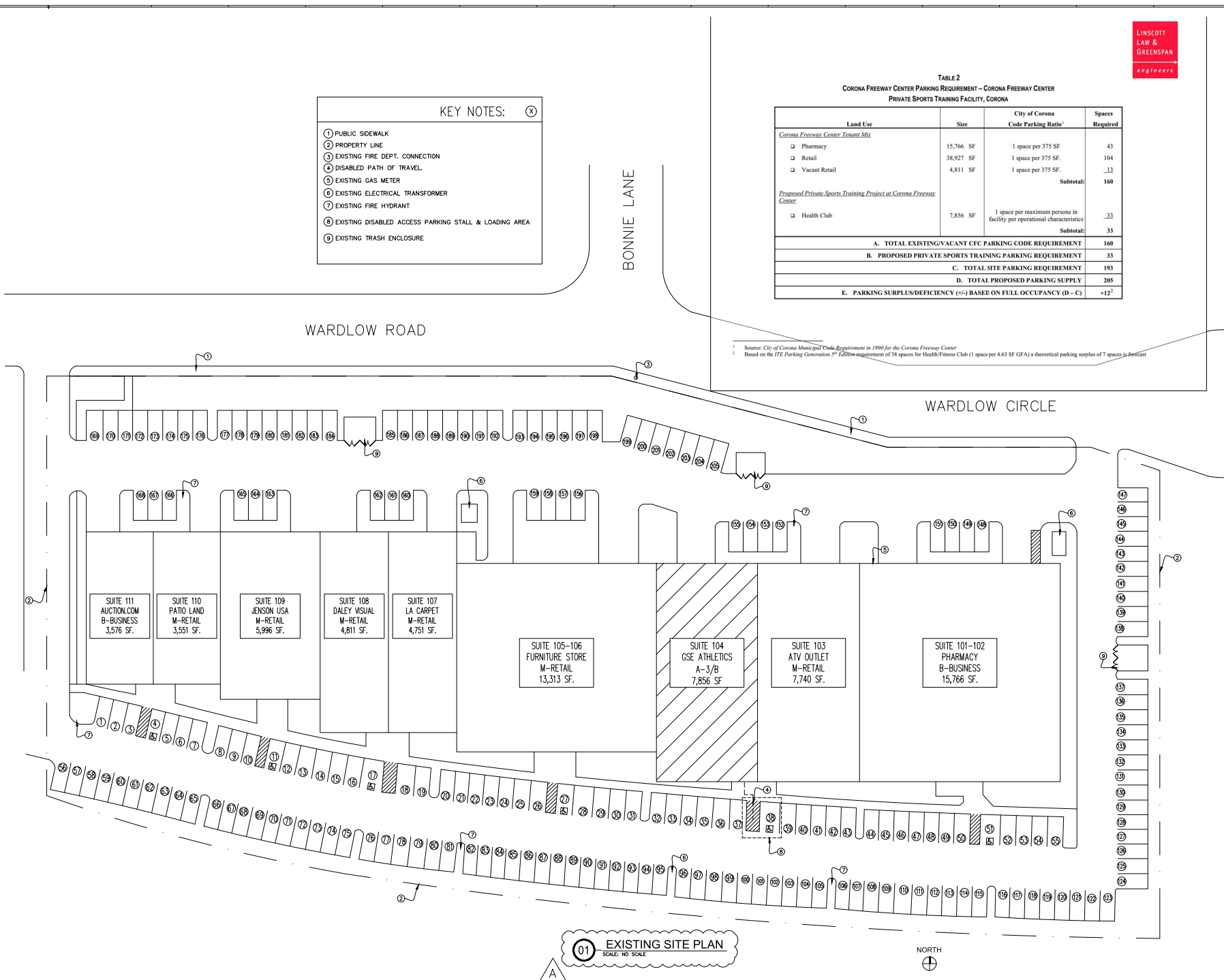
TABLE 2  
CORONA FREEWAY CENTER PARKING REQUIREMENT - CORONA FREEWAY CENTER  
PRIVATE SPORTS TRAINING FACILITY, CORONA

Land Use	Size	City of Corona Code Parking Ratio <sup>1</sup>	Spaces Required
<i>Corona Freeway Center Tenant Mix</i>			
☐ Pharmacy	15,766 SF	1 space per 375 SF	43
☐ Retail	38,927 SF	1 space per 375 SF	104
☐ Vacant Retail	4,811 SF	1 space per 375 SF	13
		<b>Subtotal:</b>	<b>160</b>
<i>Proposed Private Sports Training Project at Corona Freeway Center</i>			
☐ Health Club	7,856 SF	1 space per maximum persons in facility per operational characteristics	33
		<b>Subtotal:</b>	<b>33</b>
<b>A. TOTAL EXISTING/VACANT CFC PARKING CODE REQUIREMENT</b>			<b>160</b>
<b>B. PROPOSED PRIVATE SPORTS TRAINING PARKING REQUIREMENT</b>			<b>33</b>
<b>C. TOTAL SITE PARKING REQUIREMENT</b>			<b>193</b>
<b>D. TOTAL PROPOSED PARKING SUPPLY</b>			<b>205</b>
<b>E. PARKING SURPLUS/DEFICIENCY (+/-) BASED ON FULL OCCUPANCY (D - C)</b>			<b>+12<sup>2</sup></b>

<sup>1</sup> Source: City of Corona Municipal Code Requirement in 1990 for the Corona Freeway Center  
<sup>2</sup> Based on the ITE Parking Generation 3<sup>rd</sup> Edition requirement of 38 spaces for Health/Fitness Club (1 space per 4.63 SF GFA) a theoretical parking surplus of 7 spaces is forecast

KEY NOTES: (X)

- ① PUBLIC SIDEWALK
- ② PROPERTY LINE
- ③ EXISTING FIRE DEPT. CONNECTION
- ④ DISABLED PATH OF TRAVEL
- ⑤ EXISTING GAS METER
- ⑥ EXISTING ELECTRICAL TRANSFORMER
- ⑦ EXISTING FIRE HYDRANT
- ⑧ EXISTING DISABLED ACCESS PARKING STALL & LOADING AREA
- ⑨ EXISTING TRASH ENCLOSURE



01 EXISTING SITE PLAN  
SCALE: NO SCALE



all designs and plans represented by this drawing are the exclusive property of 3-1 development and shall not be reproduced without the prior written permission. any unauthorized reuse of these plans other than for the project and location shown is strictly prohibited.



FOR REVIEW

TENANT IMPROVEMENT FOR:

GSE Athletics  
2410 Wardlow Rd.  
#104  
Corona, CA 92880

PLAN ISSUANCE

CITY PLANNING	10.05.2022

DELTA REVISIONS

Planning & Client Revisions	11.03.22
Staff & City Revisions	11.28.22

EGRESS PLAN

PROJECT NUMBER  
22-045

designer: d19  
checked: dst

SHEET NUMBER

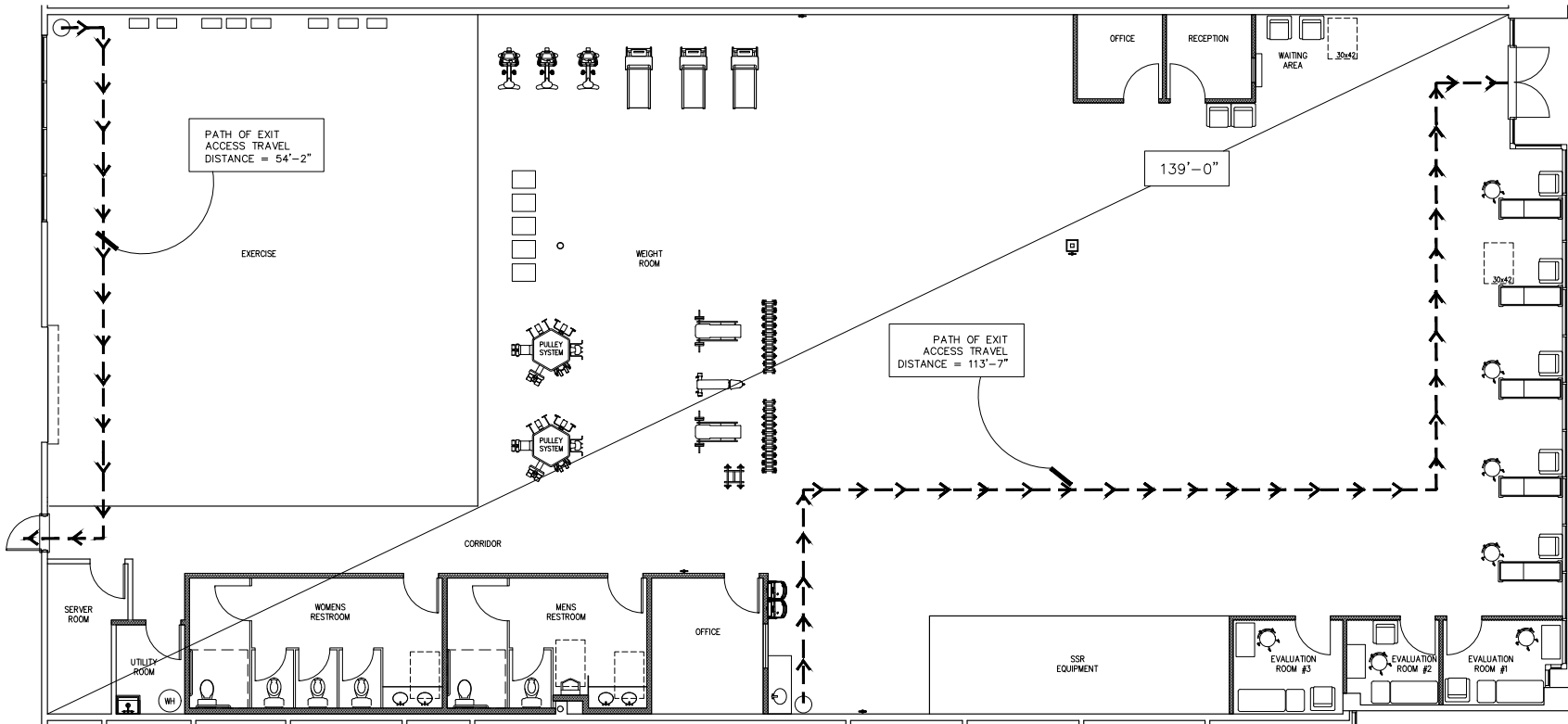
4.0

**LEGEND**

- ←←← PATH OF TRAVEL.
- LED SELF-ILLUMINATING EXIT SIGN EXISTING SIGN TO REMAIN EXISTING
- E-COMPLIANT (E-302.2020) LED EXIT & EMERGENCY LIGHT COMBO WITH 90 MINUTE BATTERY BACK-UP.
- EMERGENCY LIGHTING - TITULUM EXIT SIGNS (PART#ESM-SLX-1W)
- MANUFACTURING/ SQUARE FOOTAGE AREAS
- WALL BACK-MOUNTED SELF-LUMINOUS EXIT SIGN
- WALL END-MOUNTED SELF-LUMINOUS EXIT SIGN WITH DIRECTIONAL ARROW
- WALL END-MOUNTED SELF-LUMINOUS TWIN-FACED EXIT SIGN WITH TWO DIRECTIONAL ARROW

**EGRESS NOTES**

1. THE MEANS OF EGRESS SYSTEM SHALL BE ILLUMINATED WITH AT LEAST ONE FOOT CANDLE AT THE FLOOR LEVEL.
2. EMERGENCY POWER FOR ILLUMINATION THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PROJECT'S ELECTRICAL SYSTEM SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:
  - A. ALLS AND INDICATED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - B. CORRIDORS, RECEPTION Lobbies AND HALLS AND EXIT PROVISIONS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - C. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVELS OF EXIT DISCHARGE IS ACCOMPANIED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - D. INTERIOR EXIT DISCHARGE ELEMENTS AS PROVIDED IN SECTION 9022.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - E. EXTERIOR AREAS AS REQUIRED BY SECTION 9022.1 FOR EXIT DISCHARGE ELEMENTS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
3. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A MINIMUM OF 90 MINUTES TO ILLUMINATE THE SIGN, COMBINATION OF SIGN, BATTERIES, AND EQUIPMENT OF AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 904.
4. PROVIDE TWO SOURCES OF POWER FOR MEANS OF EGRESS WHEN TWO OR MORE EXITS ARE REQUIRED. IFC 10414.3



NORTH



01 EGRESS PLAN  
SCALE: 1/4"=1'-0"

all designs and plans represented by this drawing are the exclusive property of 3-1 development and shall not be reproduced without the prior written permission. any unauthorized reuse of these plans other than for the project and location shown is strictly prohibited.



FOR REVIEW

TENANT IMPROVEMENT FOR:

GSE Athletics  
 2410 Wardlow Rd.  
 #104  
 Corona, CA 92880

PLAN ISSUANCE

CITY PLANNING	12.05.2022

DELTA REVISIONS

Planning & Client Revisions	11.05.22
Plan & City Revisions	11.28.22

PROPOSED FLOOR PLAN

PROJECT NUMBER  
 22-045

designer: d19  
 checked: dst

SHEET NUMBER

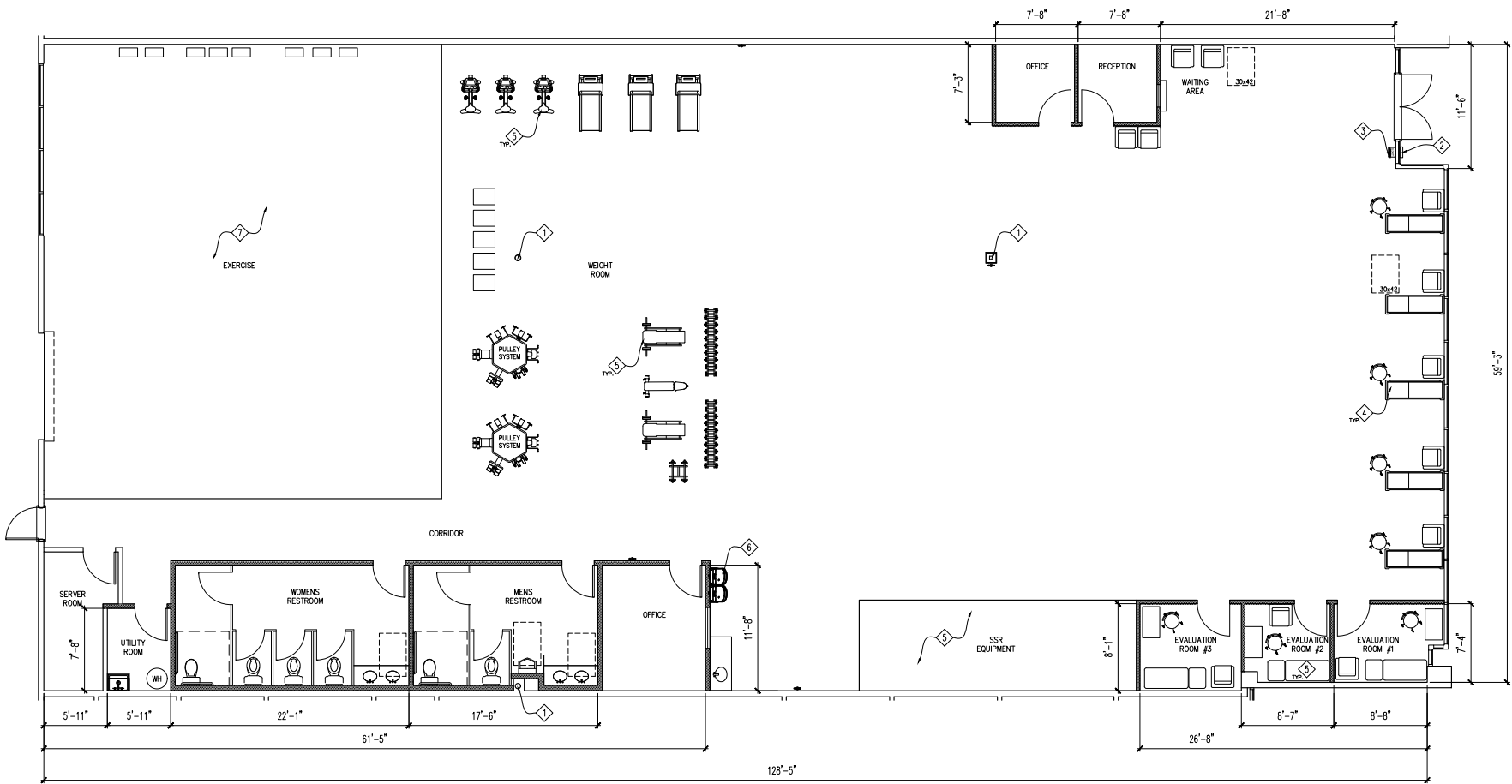
5.0

**WALL LEGEND**

	EXISTING WALLS TO REMAIN
	NEW FULL HEIGHT METAL STUD WALL WITH GLAZING
	NEW FULL HEIGHT METAL STUD WALL - DRYWALL/PAINT

**FLOOR PLAN KEY NOTES**

- EXISTING COLUMN TO REMAIN.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY ENTRANCE SIGNAGE (5'x7') AT 48" AFF.
- TACTILE CUT (WITH BRaille) SIGNAGE TO BE LOCATED AT INSIDE OF EXIT DOORS.
- CONSULTATION DESKS FOR CUSTOMERS
- WORKOUT EQUIPMENT
- H & L DRINKING FOUNTAIN (WITH 1 ACCESSIBLE FOUNTAIN)
- OPEN SPACE WITH TYP. FLOORING



NORTH



01

PROPOSED FLOOR PLAN  
 SCALE: 1/4"=1'-0"

all designs and plans represented by this drawing are the exclusive property of 3-1 development and shall not be reproduced without the prior written permission. any unauthorized reuse of these plans other than for the project and location shown is strictly prohibited.



11.09.22

FOR REVIEW

TENANT IMPROVEMENT FOR:

GSE Athletics  
2410 Wardlow Rd.  
#104  
Corona, CA 92880

PLAN ISSUANCE

CITY PLANNING	10.05.2022

DELTA REVISIONS

Planning & Client Revisions	11.09.22
Final & City Revisions	11.28.22

OCCUPANCY FLOOR PLAN

PROJECT NUMBER  
22-045

designer: dty  
checked: dst

SHEET NUMBER

6.0

PLUMBING FIXTURE SUMMARY	
[A3 OCCUPANCY]	
EXERCISE ROOMS:	5,859 SF
TOTAL	5,859 SF
OCCUPANT LOAD FACTOR (PER TABLE A) @ 1:30 =	196 OCCUPANTS
FIXTURE COUNT REQUIRED AT 50% MALE & 50% FEMALE:	98 MEN & 98 WOMEN
WATER CLOSET: REQUIRED	LAVATORIES: REQUIRED
MEN 1 WATER CLOSET	MEN 1 LAVATORY
WOMEN 3 WATER CLOSET	WOMEN 1 LAVATORY
OTHER FIXTURES REQUIRED:	
1 DRINKING FOUNTAIN	
1 SERVICE SINK	
TOTAL COMBINED FIXTURE COUNT (REQUIRED & PROVIDED)	
REQUIRED	PROVIDED
MEN WATER CLOSET:	1 2
MEN URINAL:	1 1
WOMEN WATER CLOSET:	3 4
MEN LAVATORY:	1 2
WOMEN LAVATORY:	1 2
DRINKING FOUNTAIN:	1 2 (1 ACCESSIBLE)
SERVICE SINK:	1 1

PLUMBING FIXTURE SUMMARY	
[B OCCUPANCY]	
OFFICE & WAITING AREA:	756 SF
TOTAL	756 SF
OCCUPANT LOAD FACTOR (PER TABLE A) @ 1:200 =	4 OCCUPANTS
FIXTURE COUNT REQUIRED AT 50% MALE & 50% FEMALE:	2 MEN & 2 WOMAN
WATER CLOSET: REQUIRED	LAVATORIES: REQUIRED
MEN 1 WATER CLOSET	MEN 1 LAVATORY
WOMEN 1 URINAL	WOMEN 1 LAVATORY
OTHER FIXTURES REQUIRED:	
1 SERVICE SINK	
TOTAL COMBINED FIXTURE COUNT (REQUIRED & PROVIDED)	
REQUIRED	PROVIDED
MEN WATER CLOSET:	1 2
MEN URINAL:	1 1
WOMEN WATER CLOSET:	1 4
MEN LAVATORY:	1 2
WOMEN LAVATORY:	1 2
SERVICE SINK:	1 1

OCCUPANCY LOAD CALCULATION			
AREA	USEABLE SQ	LOAD FACTOR	OCCUPANTS
EXERCISE ROOMS	5,859	50	118
OFFICE/CONSULTATION	698	150	5
WAITING AREA	58	15	4
STORAGE/UTILITY	123	300	1
TOTAL			128 OCCUPANTS

NOTES:  
1. PER CBC 1004 AND TABLE 1004.5  
2. HALLWAYS, WALKWAYS, RESTROOMS, & DOOR CLEARANCES EXCLUDED

EXERCISE AREA  
5,859 SF  
OCCUPANCY: A

OFFICE  
106 SF  
OCCUPANCY: B

WAITING AREA  
58 SF  
OCCUPANCY: B

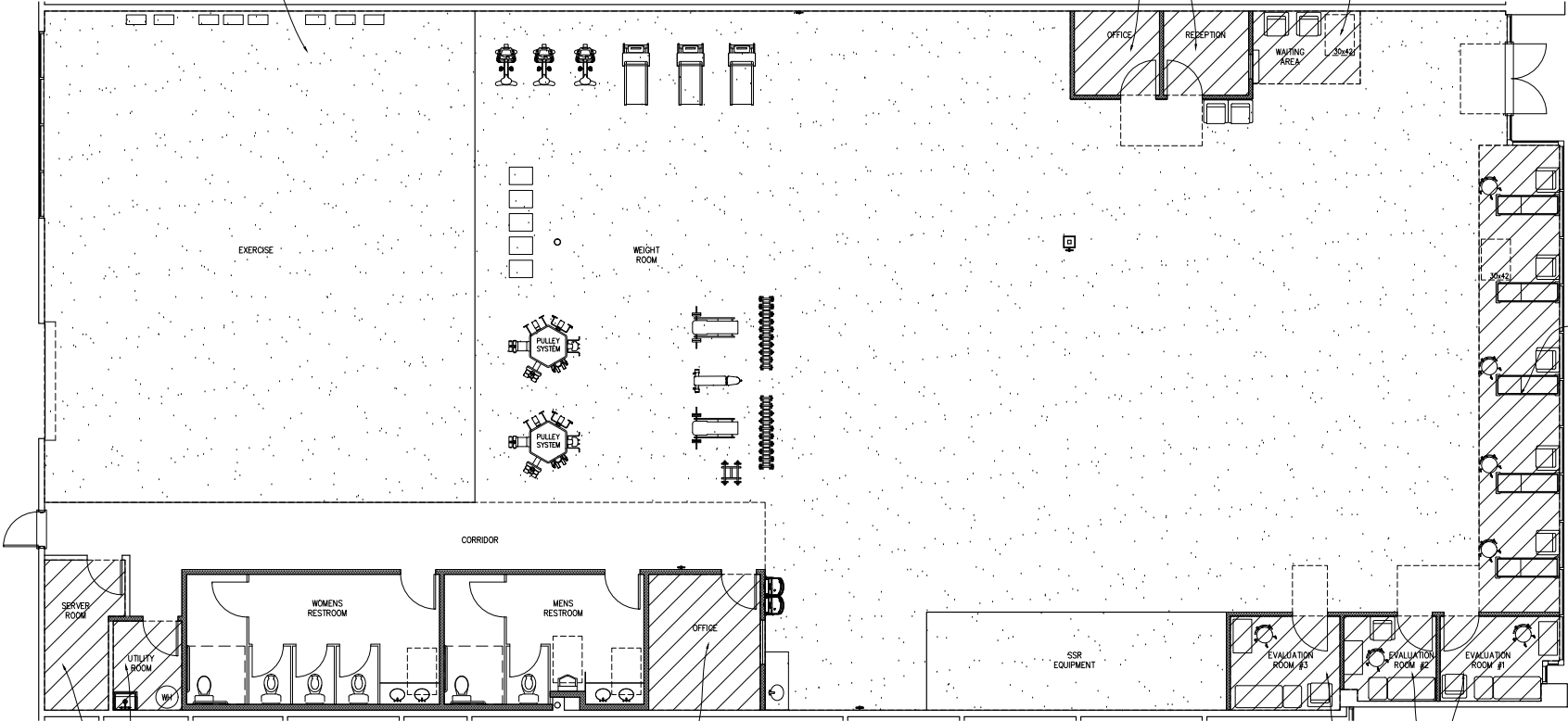
CONSULTATION (OFFICE USE)  
277 SF  
OCCUPANCY: B

STORAGE/UTILITY  
123 SF  
OCCUPANCY: B

OFFICE  
112 SF  
OCCUPANCY: B

01 OCCUPANCY FLOOR PLAN  
SCALE: 1/4"=1'-0"

CONSULTATION (OFFICE)  
203 SF  
OCCUPANCY: B



November 29, 2022

Mr. Brian Williams  
Clear Realty  
950 S. Coast Drive, Suite 220  
Costa Mesa, CA 92626

LLG Reference No. 2.22.4600.1

Subject: **Updated Parking Demand Analysis for the Proposed  
Private Sports Training Facility Project**  
Corona, California

**Engineers & Planners**  
Traffic  
Transportation  
Parking

**Linscott, Law &  
Greenspan, Engineers**  
2 Executive Circle  
Suite 250  
Irvine, CA 92614  
**949.825.6175** T  
949.825.6173 F  
www.llgengineers.com

Pasadena  
Irvine  
San Diego  
Woodland Hills

Dear Mr. Williams:

As requested, Linscott, Law & Greenspan, Engineers (LLG) is pleased to submit this *Updated* Parking Demand Analysis for the proposed Private Sports Training Facility (herein after referred to as Project) located in the City of Corona, California.

Based on our understanding, a parking study is required by the City of Corona to determine the parking demand for the proposed Project and ensure that adequate parking is provided for the proposed Project and the existing uses at the Corona Freeway Center. The proposed Project will consist of a 7,856 square-foot (SF) private sports training and physical therapy facility within Suite 104 of the Corona Freeway Center located at 2410 Wardlow Road. The Corona Freeway Center site has a total square-footage of 67,360 SF and 205 parking spaces with no modifications proposed to the overall square footage or site.

This report evaluates the parking needs based on application of City code and/or operational characteristics of the proposed Project versus the proposed parking supply of the center. Our method of analysis, findings, and recommendations are detailed in the following sections of this report.

## PROJECT LOCATION AND DESCRIPTION

Corona Freeway Center is located on the south side of Wardlow Road east of Auto Center Drive in the City of Corona, California. *Figure 1*, located at the rear of this letter report, presents a Vicinity Map, which illustrates the general location of the Project site in the context of the surrounding street system. *Figure 2* presents an aerial of the existing Corona Freeway Center as well as the associated parking area.

Philip M. Linscott, PE (1924-2000)  
Jack M. Greenspan, PE (Ret.)  
William A. Law, PE (Ret.)  
Paul W. Wilkinson, PE  
John P. Keating, PE  
David S. Shender, PE  
John A. Boarman, PE  
Clare M. Look-Jaeger, PE  
Richard E. Barretto, PE  
Keil D. Maberry, PE

*Figure 3* presents the site plan for the Corona Freeway Center and denotes the proposed Project area (Suite 104) within the center, which is one of two remaining vacant suites within the center.

The proposed Private Sports Training Facility will consist of sports agility training and physical therapy center offering private one-on-one, semi-private and group sessions ranging from 5 to 10 members. The physical therapy services include one-on-one therapy to all patient demographics. Staffing will consist of up to sixteen (16) training and clinical staff plus up to eight (8) interns/volunteers for training purposes throughout the year. It should be noted that a maximum of two (2) interns/volunteers will be at the facility at any one time. Furthermore, any seasonal events, such as summer offseason training programs for 10 – 12 athletes and/or continuing education courses two times a year, would occur in lieu of any sports agility training and consist of a maximum of 30 – 35 persons in the facility at any on time.

All therapy and training sessions will be scheduled by appointment only at 1 hour and 15 minutes in duration with one hour between sessions.

The hours of operation will consist of the following:

- Monday - Friday: 6:00 AM – 8:00 PM
- Saturday: 7:30 AM – 6:00 PM
- Sunday: 10:00 AM – 2:00 PM (No physical therapy)

The employees per shift will consist of the following:

- Monday/Wednesday/Saturday: 6 - 8 employees plus 3 Therapist
- Tuesday/Thursday/Friday: 6 - 8 employees plus 2 Therapist
- Sundays: 3 employees

As a result, based on the operational characteristics of the proposed Project, which includes a maximum of 11 employees and 20 customers/members at any one time throughout the day (plus a potential for two interns/volunteers), the peak occupancy within the facility would be 33 persons. Therefore, assuming one person per vehicle would equate to a peak parking requirement of 33 parking spaces. However, given that the sessions will all not occur simultaneously and not every trainer has appointments every hour throughout the day, the actual peak parking demand will not likely ever be 33 parking spaces.

*Table 1*, located at the end of this letter report, summarizes the existing and proposed land uses/tenants. A review of *Table 1* indicates that the existing occupied floor area consists of 54,693 SF of pharmacy and retail uses within seven (7) suites and the

currently vacant floor area consists of 12,667 SF, which includes a 4,811 SF retail suite and 7,856 SF proposed health club suite (private sports training facility).

Based on a field assessment, the existing on-site parking supply for Corona Freeway Center totals 205 parking spaces.

## **PARKING SUPPLY-DEMAND ANALYSIS**

The parking analysis for the proposed Project involves determining the expected parking needs based on the size and type of the proposed development components versus the parking supply. The method used in this analysis includes:

- Application of City code requirements for the proposed Project (which typically treats each tenancy type as a “stand alone” use at maximum demand).
- Application of nationally recognized parking ratios contained within ITE *Parking Generation*, 5<sup>th</sup> Edition for Health/Fitness Club land use.

## **CITY CODE PARKING REQUIREMENT**

The code parking calculation for the proposed Project is typically based on the City’s requirements as outlined in the *City of Corona Municipal Code Chapter 17.76 OFF-STREET PARKING, Section 17.76.030 Number of spaces required* and/or is based on prior approvals. The Corona Freeway Center was approved in 1990 under the City Code requirement of one (1) space per 375 SF for industrial and commercial uses, which applies to the existing uses within the Center. However, the proposed Project does not fall under the 1990 approved land use category and instead falls under the “Team Sports Facilities” category of the recently amended Municipal Code Section 17.76.030, which requires a parking analysis to determine the appropriate parking demand for the proposed Project. As such, based on the operational characteristics of the proposed sports training and physical therapy facility, a peak parking demand requirement of up to 33 parking spaces is identified. However as stated above, given that the training sessions will all not occur simultaneously, the actual peak parking demand will likely be measurably fewer than 33 parking spaces.

**Table 2** presents the parking requirements for the existing and proposed uses at the Corona Freeway Center inclusive of the proposed Project. As shown, application of the above-referenced parking code ratios and operational characteristics to the development totals, results in a recommended parking requirement of **193 parking**

*spaces*. With a proposed parking supply of 205 parking spaces, a ***parking surplus of 12 parking spaces*** is forecast.

## **NATIONALLY RECOGNIZED PARKING REQUIREMENT**

Notwithstanding the parking requirement based on operational characteristics of the proposed Project, application of nationally recognized parking demand ratios contained within *ITE Parking Generation*, 5<sup>th</sup> Edition have been applied to the proposed Project in order to validate the recommended operational parking requirement.

Based on the *ITE Parking Generation* average peak parking rate of 4.73 spaces per thousand (1,000) square feet of gross floor area (SF GFA) for ITE Land Use 492: Health/Fitness Club applied to the proposed Project suite size of 7,856 SF, a parking requirement of 38 parking spaces is recommended, which results in a total parking requirement of ***198 parking spaces*** for the Corona Freeway Center inclusive of the proposed Project. With a proposed parking supply of 205 parking spaces, a ***parking surplus of 7 parking spaces*** is forecast. It should be noted that since this facility will not operate as a typical health/fitness club facility, which includes a much greater peak attendance capacity, this parking requirement is measurably overstated for this Project, but reasonably in line with the operational parking requirement albeit greater.

*As a result, adequate parking is provided within the Corona Freeway Center with the inclusion of the proposed Private Sports Training Facility Project (Suite 104) and vacant retail use (Suite 108).*

## **SUMMARY OF FINDINGS AND CONCLUSIONS**

- The proposed Project is located within Suite 104 of the existing Corona Freeway Center located on the south side of Wardlow Road east of Auto Center Drive in the City of Corona, California. The Corona Freeway Center is an existing 67,360 SF light industrial/commercial enter with 205 existing parking spaces.
- The proposed Private Sports Training Facility will consist of sports agility training and physical therapy center offering private one-on-one, semi-private and group sessions ranging from 5 to 10 members. The physical therapy services include one-on-one therapy to all patient demographics.
- Staffing will consist of up to sixteen (16) training and clinical staff plus up to eight (8) interns/volunteers for training purposes throughout the year with a maximum of eleven (11) staff on site at any one time. based on the operational



characteristics of the proposed Project, which includes a maximum of 11 employees and 20 customers/members at any one time throughout the day (plus a potential for two interns/volunteers), the peak occupancy within the facility would be 33 persons.

- Direct application of a combination of prior approved City parking codes to the existing and vacant retail development plus the operational parking requirement of the proposed Project, results in a recommended parking requirement of **193 parking spaces**. With a proposed parking supply of 205 parking spaces, a **parking surplus of 12 spaces** is forecast resulting in adequate parking for the proposed Project. However, given that the training sessions will all not occur simultaneously and not every trainer has appointments every hour throughout the day, the actual peak parking demand will likely be measurably fewer than 33 parking spaces.
- Furthermore, application of *ITE Parking Generation* peak parking rates to the proposed Project results in a parking requirement of 38 parking spaces and reflects a total parking requirement of **198 parking spaces** for the Corona Freeway Center inclusive of the proposed Project. With a proposed parking supply of 205 parking spaces, a **parking surplus of 7 parking spaces** is forecast.

We appreciate the opportunity to prepare this parking analysis for the proposed Private Sports Training Facility. Should you have any questions or need additional assistance, please do not hesitate to call us at (949) 825-6175.

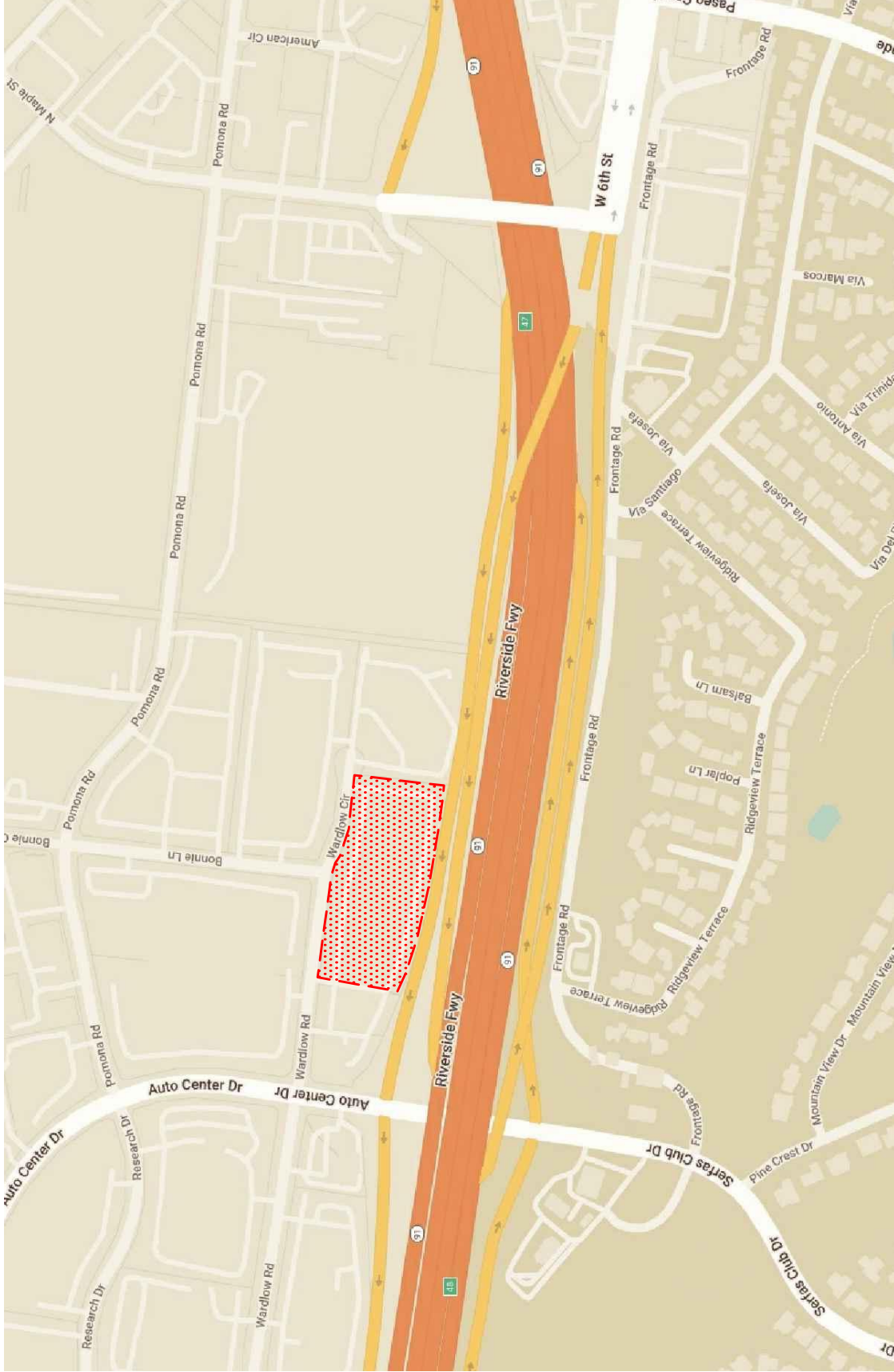
Very truly yours,  
**Linscott, Law & Greenspan, Engineers**



Keil D. Maberry, P.E.  
Principal



Attachments



n:\4600\2224600 - private sports training, corona\dwg\4600 f-1.dwg LDP 10:10:00 09-29-2022 aguilera



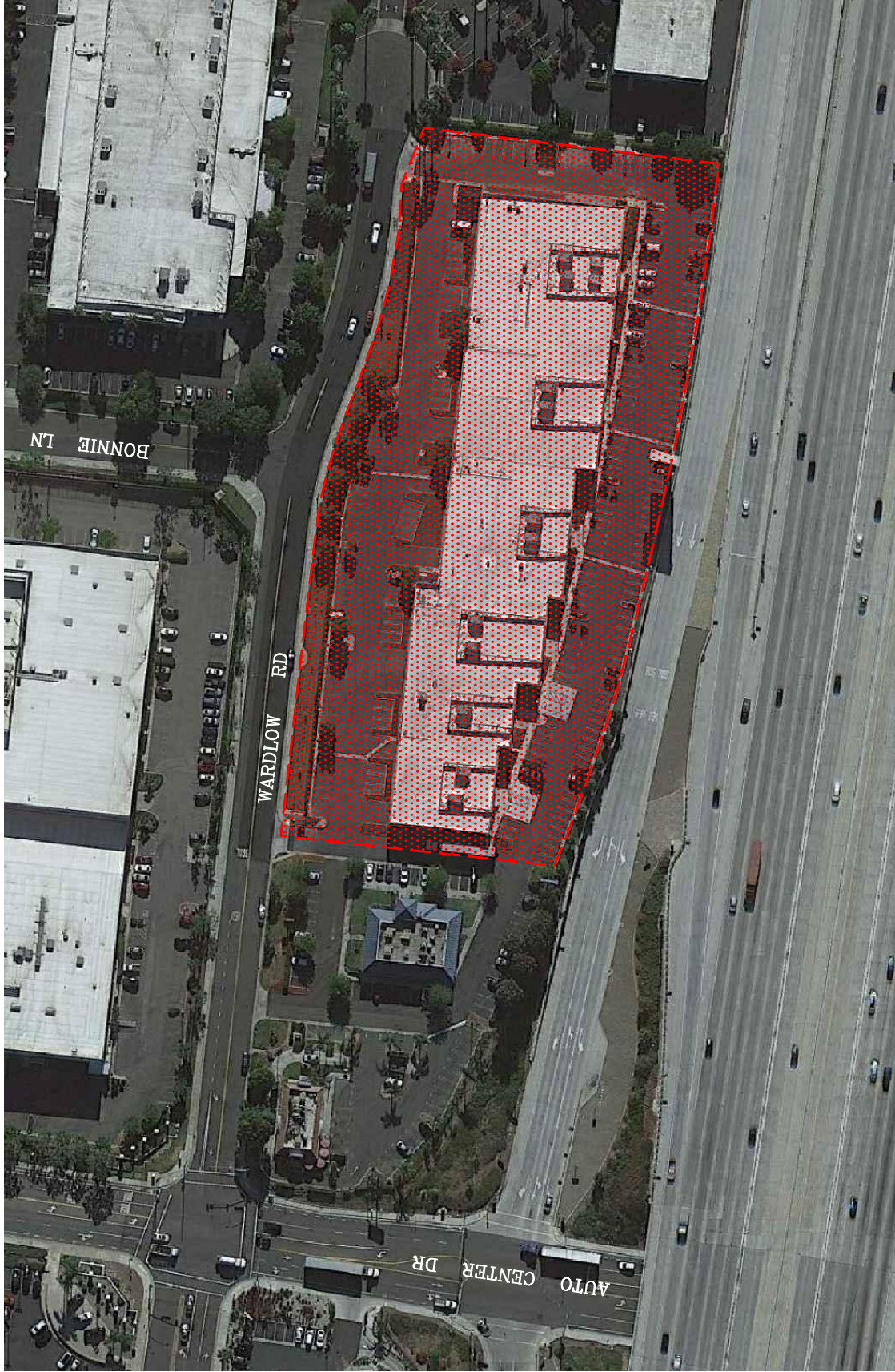
NO SCALE

SOURCE: GOOGLE

KEY  
 = PROJECT SITE

# FIGURE 1

## VICINITY MAP PRIVATE SPORTS TRAINING, CORONA



n:\4600\2224600 - private sports training, corona\dwg\4600 f-2.dwg LDP 12:00:38 09-29-2022 aguilair

SOURCE: GOOGLE

KEY  
 = PROJECT SITE

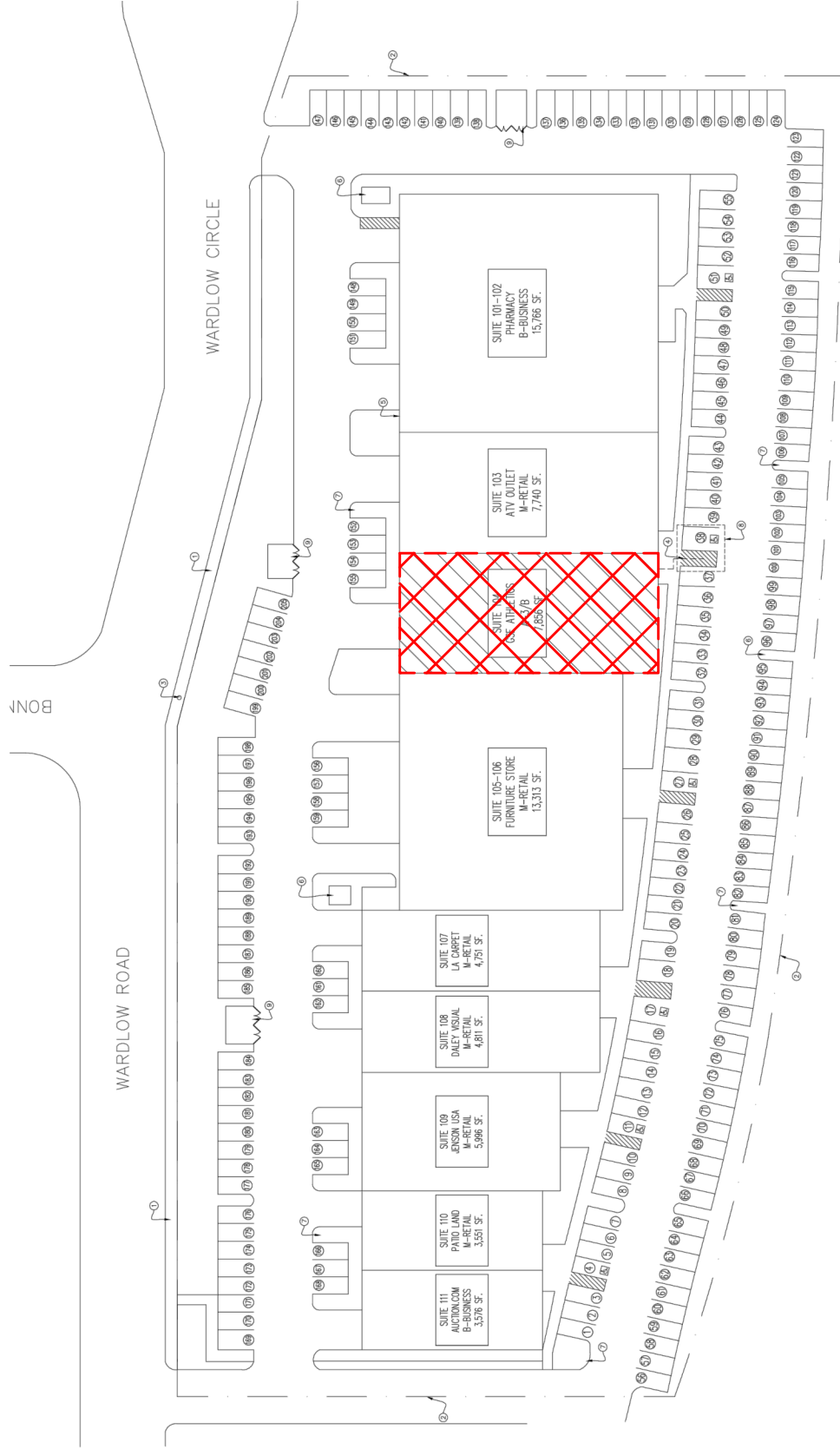


NO SCALE

LINSCOTT  
 LAW &  
 GREENSPAN  
 engineers

## FIGURE 2

EXISTING SITE AERIAL  
 PRIVATE SPORTS TRAINING, CORONA

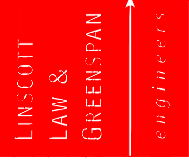


SOURCE: 3-1 DEVELOPMENT

KEY  
 = SUITE 104



NO SCALE



# FIGURE 3

## PROJECT SITE PLAN PRIVATE SPORTS TRAINING, CORONA

**TABLE 1**  
**EXISTING AND PROPOSED LAND USE SUMMARY – CORONA FREEWAY CENTER**  
**PRIVATE SPORTS TRAINING, CORONA**

<b>Suite</b>	<b>Tenant</b>	<b>Land Use</b>	<b>Building Size (SF)</b>
101 -102	Accredo	Office/Pharmacy	15,766 SF
103	ATV Outlet	Retail	7,740 SF
104	<i>Proposed Private Sports Training</i>	<i>Sports Training/Enhancement</i>	<i>7,856 SF</i>
105 - 106	Indian Motorcycle	Retail	13,313 SF
107	LA Carpet	Retail	4,751 SF
108	Vacant	Retail	4,811 SF
109	Jenson USA	Retail	5,996 SF
110	Patio Land	Retail	3,551 SF
111	Auctions.com	Retail	3,576 SF
<b>Summary:</b>			
		<b>Total Occupied Square Footage</b>	<b>54,693 SF</b>
		<b>Total Vacant Retail Square Footage</b>	<b>4,811 SF</b>
		<b>Total Proposed Sports Training/Enhancement Square Footage</b>	<b>7,856 SF</b>
<b>Total Corona Freeway Center Square Footage</b>			<b>67,360 SF</b>

**TABLE 2**  
**CORONA FREEWAY CENTER PARKING REQUIREMENT – CORONA FREEWAY CENTER**  
**PRIVATE SPORTS TRAINING FACILITY, CORONA**

Land Use	Size	City of Corona Code Parking Ratio <sup>1</sup>	Spaces Required
<u>Corona Freeway Center Tenant Mix</u>			
<input type="checkbox"/> Pharmacy	15,766 SF	1 space per 375 SF	43
<input type="checkbox"/> Retail	38,927 SF	1 space per 375 SF.	104
<input type="checkbox"/> Vacant Retail	4,811 SF	1 space per 375 SF.	<u>13</u>
		<b>Subtotal:</b>	<b>160</b>
<u>Proposed Private Sports Training Project at Corona Freeway Center</u>			
<input type="checkbox"/> Health Club	7,856 SF	1 space per maximum persons in facility per operational characteristics	<u>33</u>
		<b>Subtotal:</b>	<b>33</b>
<b>A. TOTAL EXISTING/VACANT CFC PARKING CODE REQUIREMENT</b>			<b>160</b>
<b>B. PROPOSED PRIVATE SPORTS TRAINING PARKING REQUIREMENT</b>			<b>33</b>
<b>C. TOTAL SITE PARKING REQUIREMENT</b>			<b>193</b>
<b>D. TOTAL PROPOSED PARKING SUPPLY</b>			<b>205</b>
<b>E. PARKING SURPLUS/DEFICIENCY (+/-) BASED ON FULL OCCUPANCY (D – C)</b>			<b>+12<sup>2</sup></b>

<sup>1</sup> Source: City of Corona Municipal Code Requirement in 1990 for the Corona Freeway Center

<sup>2</sup> Based on the ITE Parking Generation 5<sup>th</sup> Edition requirement of 38 spaces for Health/Fitness Club (1 space per 4.63 SF GFA) a theoretical parking surplus of 7 spaces is forecast

November 22, 2022

Mr. Brian Williams  
Clear Realty  
950 S. Coast Drive, Suite 220  
Costa Mesa, CA 92626

LLG Reference: 2.22.4600.1

Subject: **Traffic Impact Assessment for the Proposed  
Private Sports Training Facility Project**  
Corona, California

**Engineers & Planners**

Traffic  
Transportation  
Parking

**Linscott, Law &  
Greenspan, Engineers**

2 Executive Circle  
Suite 250  
Irvine, CA 92614  
**949.825.6175** T  
949.825.6173 F  
www.llgengineers.com

Pasadena  
Irvine  
San Diego  
Woodland Hills

Dear Mr. Williams:

Linscott, Law & Greenspan, Engineers (LLG) is pleased to submit the following Traffic Impact Assessment for the proposed Private Sports Training Facility (herein after referred to as Project) located in the City of Corona, California. This analysis evaluates the potential traffic circulation impacts associated with the proposed sports training facility Project consistent with Corona requirements based on the *City of Corona Traffic Impact Analysis Guidelines, (July 2006)*.

## PROJECT LOCATION AND DESCRIPTION

The Project site is located within the existing Corona Freeway Center, which is located on the south side of Wardlow Road east of Auto Center Drive in the City of Corona, California. **Figure 1**, located at the rear of this letter report, presents a Vicinity Map, which illustrates the general location of the Project site in the context of the surrounding street system. **Figure 2** presents an aerial of the existing Corona Freeway Center.

The proposed Project will consist of a 7,856 square-foot (SF) private sports training and physical therapy facility within Suite 104 of the Corona Freeway Center. Staffing will include up to sixteen (16) training and clinical staff plus up to eight (8) interns/volunteers for training purposes throughout the year. It should be noted that a maximum of two (2) interns/volunteers will be at the facility at any one time. Access for the proposed Project will continue to be provided via the two (2) existing driveways along Wardlow Road/Circle. **Figure 3** presents the

Philip M. Linscott, PE (1924-2000)  
Jack M. Greenspan, PE (Ret.)  
William A. Law, PE (Ret.)  
Paul W. Wilkinson, PE  
John P. Keating, PE  
David S. Shender, PE  
John A. Boarman, PE  
Clare M. Look-Jaeger, PE  
Richard E. Barretto, PE  
Keil D. Maberry, PE

proposed site plan for the Project, which shows the Corona Freeway Center development and identifies the Project Suite 104.

## PROJECT TRAFFIC CHARACTERISTICS

### *Trip Generation Forecast Comparison*

Traffic generation is expressed in vehicle trip ends, defined as one-way vehicular movements, either entering or exiting the generating land use. Generation equations and/or rates used in the traffic forecasting procedure are found in the Eleventh Edition of *Trip Generation*, published by the Institute of Transportation Engineers (ITE) [Washington D.C., 2021].

**Table 1**, attached, summarizes the trip generation rates used in forecasting the vehicular trips generated for the proposed Project and entitled land use and also presents the proposed Project's net forecast peak hour and daily traffic volumes. As shown in the upper portion of **Table 2**, the trip generation potential of the proposed Project was estimated using the using ITE Land Use 492: *Health/Fitness Club* trip rates whereas the entitled land use was estimated using ITE Land Use 822: *Strip Retail Plaza (<40k)*. Review of the middle of **Table 1** indicates that the proposed Private Sports Training Facility is forecast to generate 270 daily trips, with 10 trips (5 inbound, 5 outbound) produced in the AM peak hour and 27 trips (15 inbound, 12 outbound) produced in the PM peak hour on a "typical" weekday.

Next, review of the following section of **Table 1** indicates that the entitled retail use is forecast to generate 321 net daily trips, with 17 net trips (10 inbound, 7 outbound) produced in the AM peak hour and 40 net trips (20 inbound, 20 outbound) produced in the PM peak hour on a "typical" weekday. It should be noted that the aforementioned entitled retail trip generation includes adjustments for pass-by for the entitled retail use to account for trips that are already in the everyday traffic stream on the adjoining streets (i.e. Auto Center Drive) and will stop as they pass by the Project site as a matter of convenience on their path to another destination. A pass-by reduction factor of 10% is assumed for the AM peak hour and a pass-by reduction factor of 25% is assumed for the PM peak hour and Daily timeframes.

As shown on the last row of **Table 1**, the net trip generation potential of the proposed Project compared to the trip generation of the entitled land use is 51 net fewer daily trips, with 7 net fewer trips (-5 inbound, -2 outbound) produced in the AM peak hour and 13 net fewer trips (-5 inbound, -8 outbound) produced in the PM peak hour on a "typical" weekday.



Therefore, based on the *City of Corona Traffic Impact Analysis Guidelines, (July 2006)*, which indicates that a focused site Traffic Impact Study (TIS) or full TIS is required for projects forecast to generate 1 to 49 peak hour trips or 50 peak hour trips or more, respectively, the proposed Project will impact the surround transportation system and is not required to prepare a TIA that includes specific intersection analysis.

## CONCLUSION

Based on the results of the aforementioned net project trip generation forecast for the proposed Private Sports Training Facility Project, which is 51 net fewer daily trips, with 7 net fewer trips (-5 inbound, -2 outbound) produced in the AM peak hour and 13 net fewer trips (-5 inbound, -8 outbound) produced in the PM peak hour on a “typical” weekday, we conclude that the proposed Project’s traffic circulation impact is considered “insignificant” based on *City of Corona Traffic Impact Analysis Guidelines, (July 2006)* and the proposed Project would not require a TIS including any specific intersection analysis.

We appreciate the opportunity to provide this Traffic Impact Assessment. Should you need further assistance, or have any questions regarding this analysis, please call us at (949) 825-6175.

Very truly yours,

**Linscott, Law & Greenspan, Engineers**

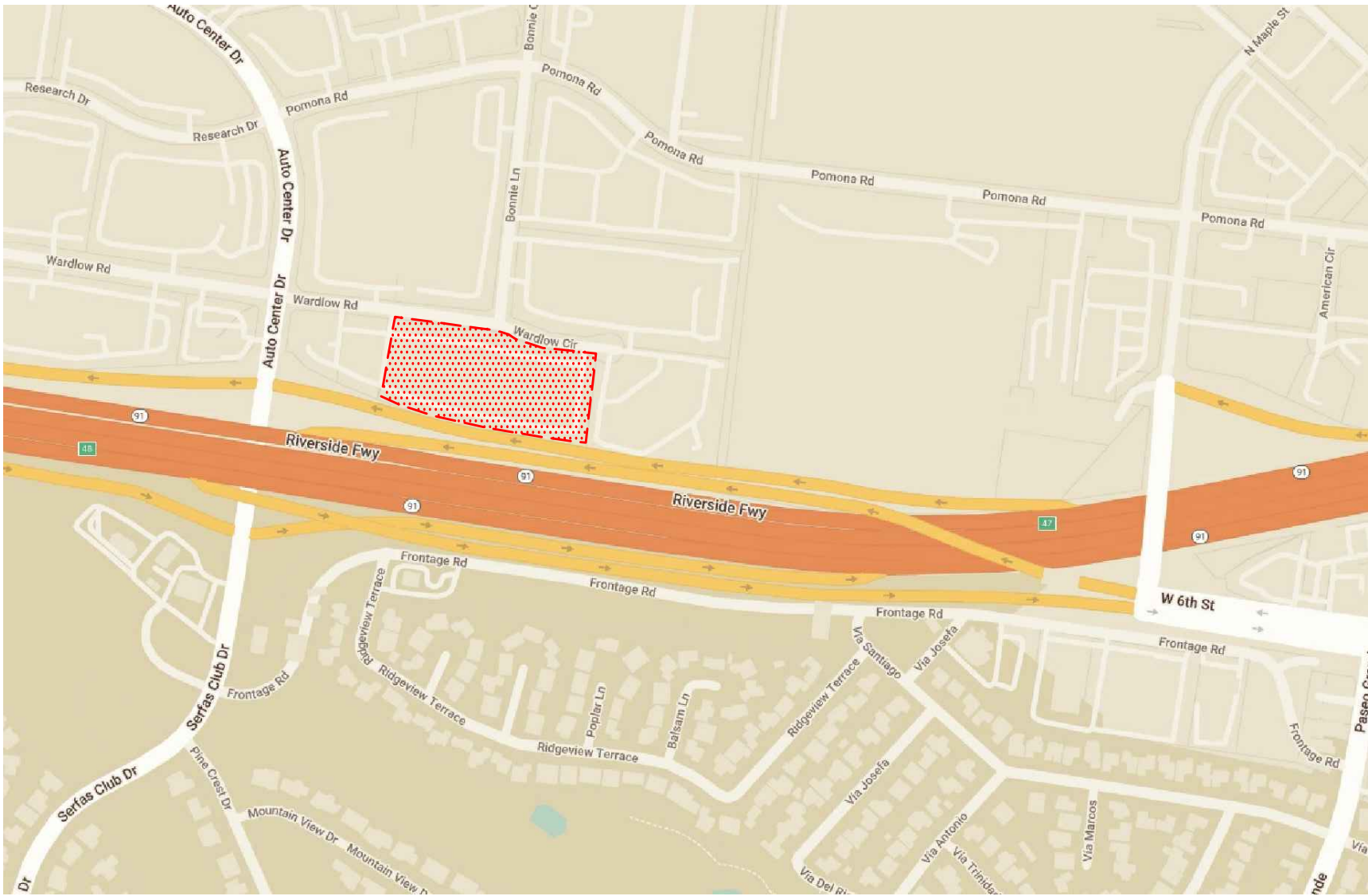


Keil D. Maberry, P.E.

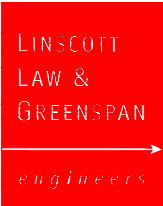
Principal

Attachments





n:\4600\2224600 - private sports training, corona\dwg\4600 f-1.dwg LDP 10:10:00 09-29-2022 agular



NO SCALE

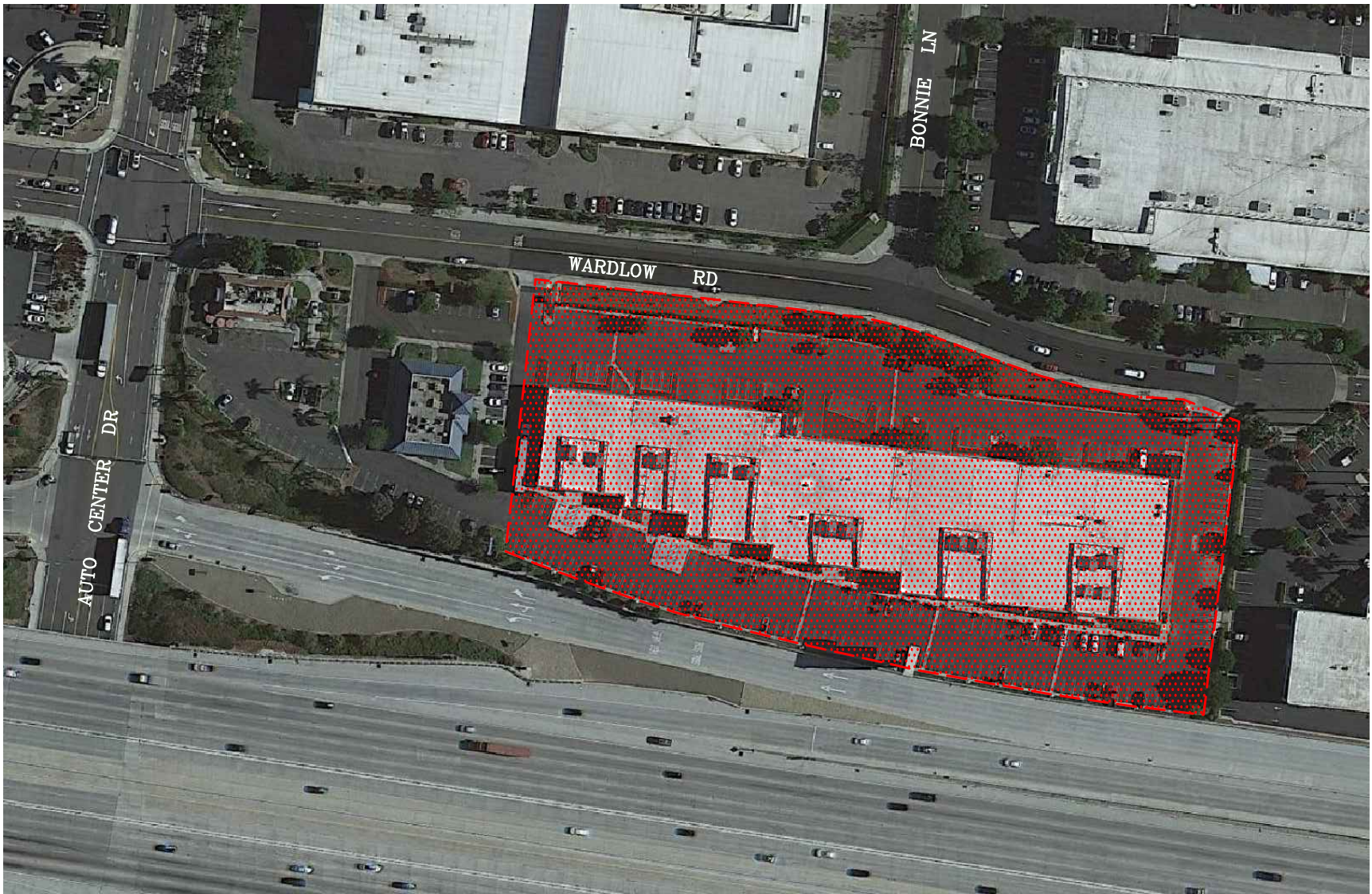
SOURCE: GOOGLE

KEY

 = PROJECT SITE

# FIGURE 1

VICINITY MAP  
PRIVATE SPORTS TRAINING, CORONA



n:\4600\2224600 - private sports training, corona\dwg\4600 f-2.dwg LDP 12:00:38 09-29-2022 agular

LINSCOTT  
LAW &  
GREENSPAN  
engineers



NO SCALE

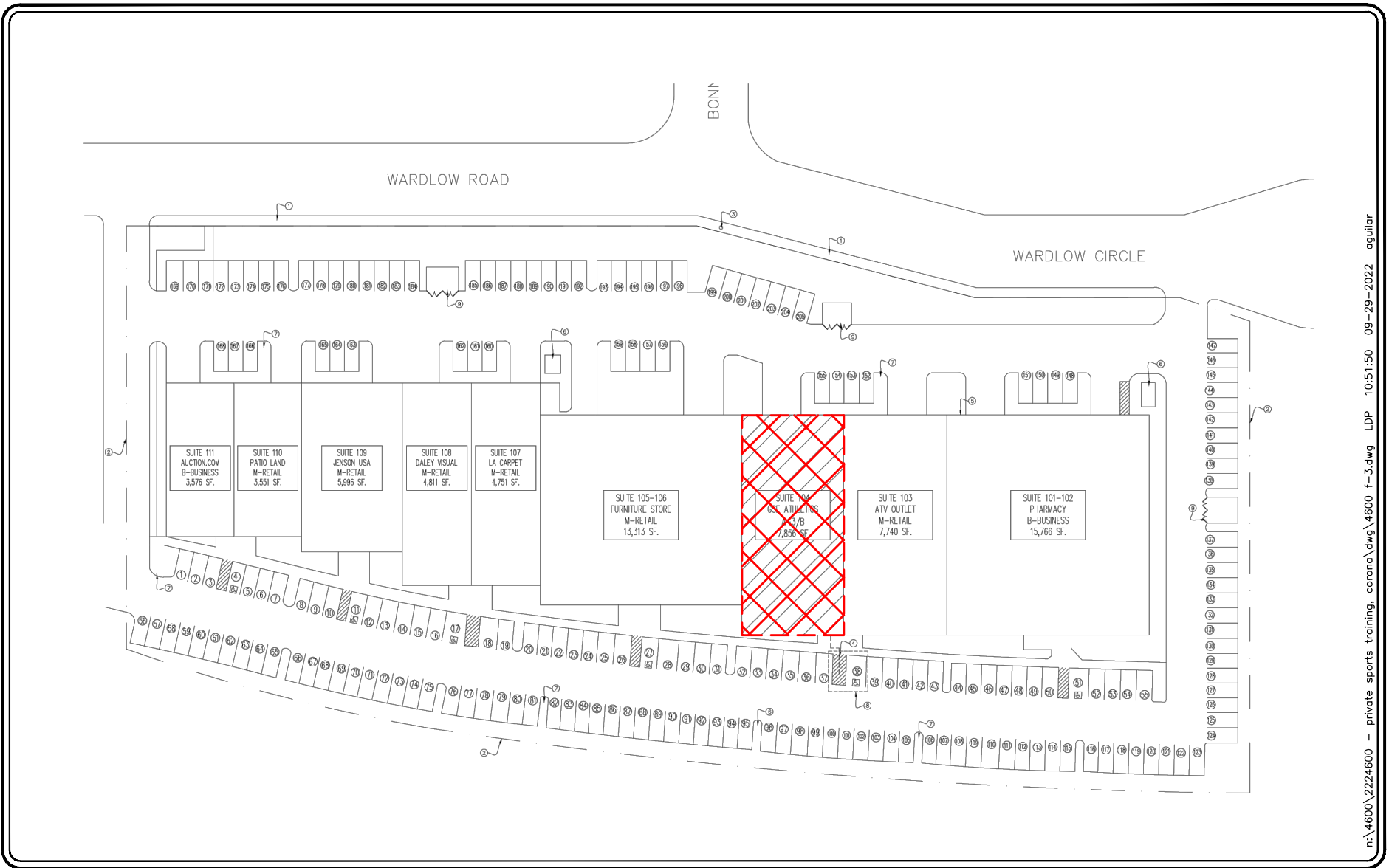
SOURCE: GOOGLE

KEY

 = PROJECT SITE

FIGURE 2

EXISTING SITE AERIAL  
PRIVATE SPORTS TRAINING, CORONA



n:\4600\2224600 - private sports training, corona\dwg\4600 f-3.dwg LDP 10:51:50 09-29-2022 agular

SOURCE: 3-1 DEVELOPMENT

KEY


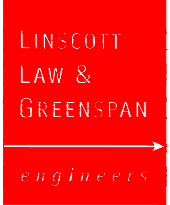
 = SUITE 104

FIGURE 3



PROJECT SITE PLAN  
PRIVATE SPORTS TRAINING, CORONA

TABLE 1  
PROJECT TRAFFIC GENERATION RATES AND FORECAST<sup>1</sup>  
PRIVATE SPORTS TRAINING FACILITY, CORONA

ITE Land Use Code / Project Description	Daily 2-Way	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
<b><u>Trip Generation Rates:</u></b>							
▪ 492: Health/Fitness Club (TE/TSF)	34.50	51%	49%	1.31	57%	43%	3.45
▪ 822: Strip Retail Plaza (<40k) (TE/TSF)	54.45	60%	40%	2.36	50%	50%	6.59
<b><u>Proposed Project Trip Generation Forecast:</u></b>							
▪ Private Sport Training Facility (7.856 TSF)	270	5	5	10	15	12	27
<b>Proposed Project Trip Generation</b>	<b>270</b>	<b>5</b>	<b>5</b>	<b>10</b>	<b>15</b>	<b>12</b>	<b>27</b>
<b><u>Entitled Trip Generation Forecast:</u></b>							
▪ Entitled Retail (7.856 TSF)	428	11	8	19	26	26	52
Pass-By (Daily: 25%, AM: 10%, PM: 25%)	<u>-107</u>	<u>-1</u>	<u>-1</u>	<u>-2</u>	<u>-6</u>	<u>-6</u>	<u>-12</u>
<b>Total Entitled Trip Generation</b>	<b>321</b>	<b>10</b>	<b>7</b>	<b>17</b>	<b>20</b>	<b>20</b>	<b>40</b>
<b>Net Project Trip Generation Forecast (Proposed Project vs. Entitled)</b>	<b>-51</b>	<b>-5</b>	<b>-2</b>	<b>-7</b>	<b>-5</b>	<b>-8</b>	<b>-13</b>

Notes:

- TE/TSF = trip end per 1,000 SF

<sup>1</sup> Source: *Trip Generation*, 11<sup>th</sup> Edition, Institute of Transportation Engineers (ITE), Washington, D.C. (2021).



# Project Conditions

## City of Corona

**Project Number: CUP2022-0008**

Description: **Sports Training/Performance Enhancement Center**

Applied: **10/13/2022**

Approved:

Site Address: **2410 WARDLOW RD CORONA, CA 92880**

Closed:

Expired:

Status: **RECEIVED**

Applicant: **Marcus Williams**

Parent Project:

**3066 Veranda Lane Corona CA, 92882**

Details:

### LIST OF CONDITIONS

DEPARTMENT	CONTACT
<b>BUILDING</b>	<b>Dana Andrews</b>
<ol style="list-style-type: none"> <li>1. At time of plan submittal, construction documents shall be prepared in accordance with current applicable Codes &amp; Standards.</li> <li>2. Include Plumbing Facilities Requirements per CPC Section 422.0 (Table 422.1) on title sheet.</li> </ol>	
<b>PLANNING</b>	<b>Rocio Lopez</b>
<ol style="list-style-type: none"> <li>1. This permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this conditional use permit within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed.</li> <li>2. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC), ordinances and the Westgate Specific Plan (SP-87-1), including the payment of all required fees.</li> <li>3. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</li> <li>4. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</li> <li>5. Any changes to the applicant's hours of operation during the weekdays and weekends shall be submitted in writing to the Planning &amp; Development Department for review and may be subject to a modification of the conditional use permit.</li> </ol>	

# EXHIBIT 6



# Project Conditions

## City of Corona

<b>PLANNING</b>	<b>Rocio Lopez</b>
<p>6. The Parking Demand Analysis (PDA) shall be approved by the Planning and Development Director, or her designee, prior to the issuance of any building permit. An increase in the number of employees or customers for the business beyond that reflected in the PDA, or an increase in number of parking spaces needed to accommodate the business, shall require review and approval of a revised Parking Demand Analysis.</p>	

## PROJECT DESCRIPTION - GSE ATHLETICS - 11/17/22

We are a sports agility training and physical therapy center. We offer private one on one, semi-private and group sessions ranging from 5-10 members in the groups to create a competitive training environment for our clients. Included in these sessions we offer speed, agility and strength training, corrective maintenance, preventative and recovery care to athletes in elementary school to the professional level to help build the athletes functional movement.

Our physical therapy services are offered one on one to general patients of all patient demographics. These demographics include sports injuries and recovery, work and personal injuries, corrective maintenance, preventative care, and orthopedics for ages ranging up to 70 years old. Each patient has a detailed plan of care for short term and long-term goals.

Each client begins with an individualized assessment, where our team of therapy and performance specialists learn about the needs of the individual to tailor a program to help reach their goals.

Operations are handled in-house by Office, Training and Clinical staff which includes 16 team members. We also have 8 interns/volunteers that come into the facility for training purposes.

All therapy and training sessions are 1 hour with 15 minutes to 1-hour gaps between sessions. Appointments are required for each client.

1. Business hours:

Monday-Friday: 6am-8pm

Saturday 7:30am-6pm

Sunday: 10am-2pm (No Therapy on Sundays)

2. Employees per shift:

- Monday/Wednesday/Saturday: 6-8 employees + 3 Therapist
- Tuesday/Thursday/Friday: 6-8 employees + 2 Therapist
- Sundays: 3 employees
- Max Employees per shift is 11 + a potential of 2 interns/ Volunteers

3. Peak hours: Monday-Saturday: 8am-11am and 3pm-6pm.

- i. 8-10 Therapy patients per hour max / 10 Sports agility training clients per hour max
- ii. (Max total people during peak hours are 33 and Max total people per day 180)

4. Clientele: 1. Sports agility training - Youth ages 10-17 (elementary-High school). Adult 18+ (college and professional athletes) 2. Therapy All ages 10 – 70 (Younger patients only accepted with sports injuries)

# EXHIBIT 7



5. Monthly memberships are not required for sports agility training or physical therapy clients. Fees are based per visit and paid medical insurance, co-pay, or non-insurance out of pocket corrective maintenance packages.

Sports training/agility - Includes strength training to improve speed explosiveness and power. We will utilize the open exercise space to train linear movement, lateral movement, change of direction fundamentals, quick twitch and more. Athletes will go through a base analysis session and their progressions will be tracked to measure performance standards.

One-on-one - Training is a premiere package for clients wanting specialized sport training (college and professional athletes). We work with college footballs and NFL athletes who spend their off-season training for their upcoming seasons/contracts. We work with them on areas that need improvement as well as provide a private space for them to focus.

Physical Therapy – Our therapist provide individualized treatment and exercise programs. Our treatment rooms and facility have all the equipment to meet the needs of patients from post-operative care to athletic performance.

Staff Training - We offer training for on-site Employees/Interns/Volunteers twice a year, once in November and once in May. Approximately 30-35 people. This includes 2 Staff Instructors. Training will be held during the evening hours 6pm – 8pm or on weekends 12pm – 4pm. During training hours business will be closed to the public.

Hours of operation of existing on-site businesses

Suite 101 – 102 Accredo Health Group Inc M – F 8am – 5pm Closed on Weekends and holidays

Suite 103 - Vacant

Suite 104 – Subject Property

Suite 105 – 106 Indian Motorcycle M – Closed Tues – Sat 9am – 6pm Sun Closed

Suite 107 – La Carpet Kitchen & Bath M – Sun 10a – 5pm

Suite 108 – ATV Outlet M – Sat 11a – 6pm Sunday by appointment only

Suite 109 – Jensen M – F 10am – 6pm

Suite 110 – Used as storage. Nonretail business

Suite 111 – Auction.com Operational once a week in the morning. Times vary

10/6/2022

To Whom It May Concern:

Re: 2410 Wardlow Rd. Unit #104 Corona, CA Plan Amendment

Dear Unit Owner

We have submitted a plan amendment to the city of Corona to bring a private sports agility training center to the complex. The new Owner was born and raised in the area and now is a player on the Baltimore Ravens. He is excited to bring this center to the area which will bring more foot traffic and hopefully business to the complex and surrounding businesses. We would like your support by signing the addendum that will be provided to the city.

Thanks in advance for your support. Please feel free to reach out to us at 909-919-3392.

GSE Athletics

**EXHIBIT 8**

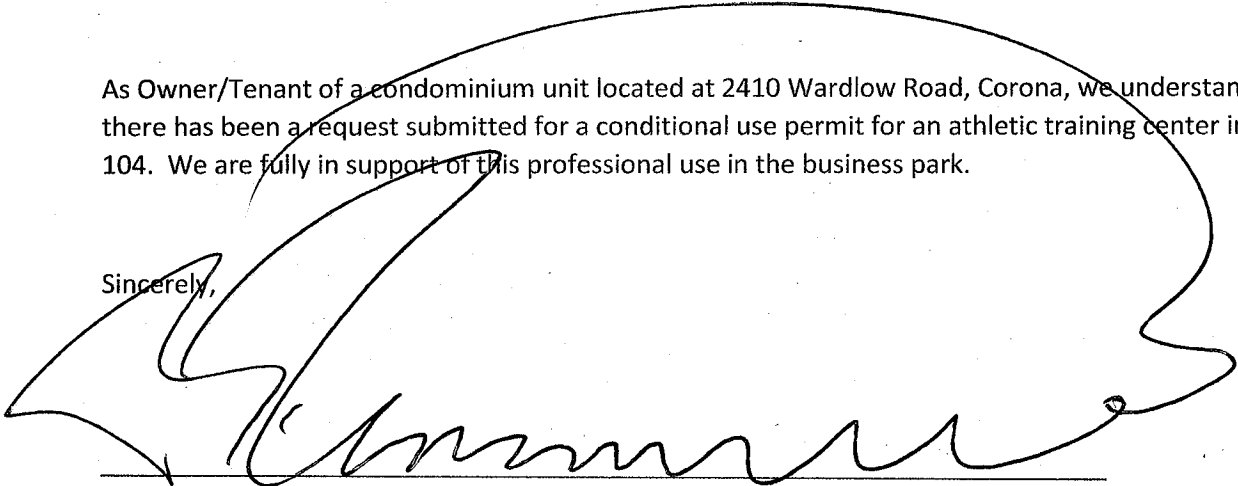
**City of Corona**  
Community Development Department  
400 S. Vicente Avenue  
Corona, CA 92882

**Re: Support Request for 2410 Wardlow, Unit 104 – CUP**

Dear Planning Director and other Departments:

As Owner/Tenant of a condominium unit located at 2410 Wardlow Road, Corona, we understand that there has been a request submitted for a conditional use permit for an athletic training center in Unit 104. We are fully in support of this professional use in the business park.

Sincerely,



Owner/Tenant Signature/Date

Bryant MARKOWICH

Owner/Tenant Name

**Corona Powersports/ATV Outlet**  
**2410 Wardlow Rd., #108**  
**Corona, CA 92878**  
**DLR #25557**

Name of Business / Unit Number

# WEST CORONA FREEWAY CENTER OWNER LLC

August 11, 2022

Planning Department  
City of Corona  
400 S Vicentia Ave  
Corona CA 92882

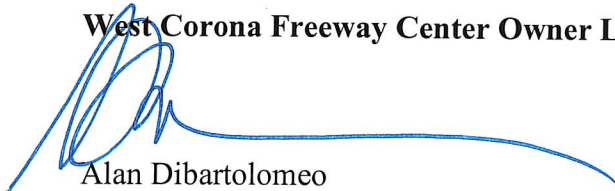
**Re: Support of Request for CUP submitted by M Williams**  
**Subject Property: 2410 Wardlow Road, Corona, Unit 104**

Dear Planning Director and other Departments:

As Owner of several of the condominium units located at 2410 Wardlow Road, Corona, we understand that Mr. M Williams has submitted a request for a Conditional Use Permit for certain athletic training use in Unit 104. We are fully in support of this professional use in the business park, and feel it will be a tremendous addition to the businesses which currently operate at the location.

Sincerely,

**West Corona Freeway Center Owner LLC**



Alan Dibartolomeo  
Manager

August 12, 2022

**City of Corona**

Community Development Department  
400 S. Vicente Avenue  
Corona, CA 92882

**Re: 2410 Wardlow, Unit 104 – CUP**

As Manager for West Corona Freeway Center OA, I believe a private use training facility and physical rehab center is harmonious with the existing operations at the association. Furthermore, this use is compliant with Article 2 of the CC&Rs defining "Use Restrictions."

Thank you.

Sincerely,  
Parker Stevens

Association Manager



**Parker T. Stevens**

Cardiff Real Estate

A member of the Worth Property Management Group

[pstevens@cardiffre.com](mailto:pstevens@cardiffre.com)

Direct 858.210.1585

[www.cardiffre.com](http://www.cardiffre.com)

**City of Corona**  
Community Development Department  
400 S. Vicente Avenue  
Corona, CA 92882

**Re: Support Request for 2410 Wardlow, Unit 104 – CUP**

Dear Planning Director and other Departments:

As Owner/Tenant of a condominium unit located at 2410 Wardlow Road, Corona, we understand that there has been a request submitted for a conditional use permit for an athletic training center in Unit 104. We are fully in support of this professional use in the business park.

Sincerely,

Mike Cachat 10/6/2022

Owner/Tenant Signature/Date

Mike Cachat

Owner/Tenant Name

Jenson USA Unit 109

Name of Business / Unit Number



## CITY OF CORONA

### PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

**Name, Description and Location of Project:** CUP2022-0008

*Conditional Use Permit (CUP2022-0008) application to operate a Sports Training/Performance Enhancement facility within an existing commercial building located at 2410 Wardlow Road, Suite 104, in the Westgate Specific Plan (SP87-1) in the City of Corona, County of Riverside.*

**Entity or Person Undertaking Project:**

A. Public Agency:

B. Other (private)

Name: Marcus Williams of M. Williams Promotions & Investments Inc.  
Address: 3066 Veranda Lane, Corona, CA 92882  
Telephone No.: (909) 919-3392

**Staff Determination:**

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- A. The proposed action does not constitute a project under CEQA.
- B. The project is a Ministerial Project.
- C. The project is an Emergency Project.
- D. The project constitutes a feasibility or planning study.
- E. The project is categorically exempt: Applicable Exemption Class:
- F. The project is a statutory exemption. Code section number:
- G. The project is otherwise exempt on the following basis:

*The project qualifies as an exemption under the California Environmental Quality Act (CEQA) review per Section 15061(b)(3) of the State Guidelines and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA because the project consists of establishing a sports training / performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building and no expansion to the building is proposed. Therefore, there is no possibility of significant environment effect associated with this project.*

H. The project involves another public agency which constitutes the lead agency. Name of Lead Agency:

Date: November 23, 2022

Rocio Lopez, Consulting Planner  
Lead Agency Representative

# EXHIBIT 9



## NOTICE OF EXEMPTION

TO: RIVERSIDE COUNTY CLERK  
2724 GATEWAY DRIVE  
RIVERSIDE, CA 92507

FROM: CITY OF CORONA  
COMMUNITY DEVELOPMENT DEPT.  
400 S. VICENTIA AVE.  
CORONA, CA 92882

1. Project title: *CUP2022-0008*
2. Project location (specific): *2410 Wardlow Road, Suite 104 (APN: 102-420-063)*
3.
  - a. Project location - City of Corona
  - b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project: *Conditional Use Permit (CUP2022-0008) application to operate a Sports Training/Performance Enhancement facility within an existing commercial building located at 2410 Wardlow Road, Suite 104, in the Westgate Specific Plan (SP87-1) in the City of Corona, County of Riverside.*
5. Name of public agency approving project: *City of Corona*
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:
  - a. *Marcus Williams of M. Williams Promotions & Investments Inc.  
3066 Veranda Lane  
Corona, CA 92882*
7. Exempt Status (check one):
  - a.  Ministerial Project
  - b.  Not a project
  - c.  Emergency project
  - d.  Categorical Exemption. State type and class number:
  - e.  Declared Emergency.
  - f.  Statutory Exemption. State code section number
  - g.  Other: Explain: *The project qualifies as an exemption under the California Environmental Quality Act (CEQA) review per Section 15061(b)(3) of the State Guidelines and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA because the project consists of establishing a sports training / performance enhancement business within an existing commercial building.*
8. Reasons why the project is exempt:

*The project qualifies as an exemption under the California Environmental Quality Act (CEQA) review per Section 15061(b)(3) of the State Guidelines and Section 3.06 of the City of Corona adopted Local Guidelines for Implementing CEQA because the project consists of establishing a sports training / performance enhancement business within an existing commercial building. The business operations will be contained entirely inside the building and no expansion to the building is proposed. Therefore, there is no possibility of significant environment effect associated with this project.*
9. Contact Person/Telephone No.: *Rocio Lopez, Consulting Planner / (951)736-2293*
10. Attach Preliminary Exemption Assessment (Form "A") before filing:

Date received for filing: November 23, 2022

Signature:

Rocio Lopez, Consulting Planner  
Lead Agency Representative