

**SLOPE DESIGNATIONS**

- (A) MAINTAINED BY HOMEOWNERS ASSOCIATION
- (B) MAINTAINED BY PRIVATE OWNERS

**PROPOSED EASEMENTS**

- (1) INGRESS EGRESS AND EMERGENCY ACCESS OVER PRIVATE STREETS AND PUBLIC UTILITY PURPOSES.

**EARTHWORK SUMMARY**

CUT: 55,786 CYS  
 FILL: 56,597 CYS  
 IMPORT: 811 CYS

**NUMBERED LOTS**

Lot No.	S.F.	Acres	Land Use
1	30,406	0.70	Residential
2	39,113	0.90	Residential
3	36,489	0.83	Residential
4	42,977	0.99	Residential
5	34,647	0.79	Residential
6	66,773	1.53	Residential
7	35,504	0.82	Residential
8	36,137	0.83	Residential
9	28,962	0.66	Residential
10	70,018	1.61	Residential
11	68,272	1.57	Residential
12	48,574	1.12	Residential
13	50,470	1.16	Residential

**LETTERED LOTS**

Lot No.	S.F.	Acres	Land Use
A	35,000	0.80	Open Space/EVA
B	14,150	0.32	Open Space
C	7,536	0.17	Park
D	36,031	0.83	Park
E	82,736	1.88	Open Space
F	32,122	0.74	Open Space
G	38,643	0.89	Open Space
H	241,677	5.6	Open Space
I	148,861	3.42	Open Space
J	50,623	1.16	Open Space
K	13,083	0.30	Open Space
L	14,555	0.33	Street/EVA
M	11,495	0.26	Street
N	48,849	1.12	Street
O	36,921	0.85	Street
P	36,402	0.84	Street
Q	21,705	0.50	Street
R	52,066	1.20	Street
S	39,826	0.91	Street

**ALL LOT SUMMARY**

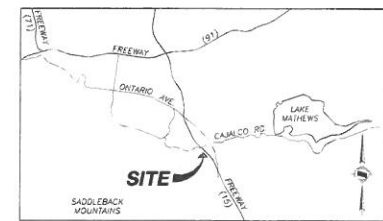
LAND USE	TOTAL AREA (AC)
RESIDENTIAL	13.1
PARK/OPEN SPACE	15.16
STREET	6.01
<b>TOTAL</b>	<b>34.27</b>

**PRODUCT SUMMARY**

PRODUCT	UNIT NUMBER	UNITS
50X80	1-58	59
47X80	60-118	59
<b>TOTAL</b>		<b>118</b>

**LEGEND**

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- EXISTING LOT LINE
- DAYLIGHT LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- TOP AND TOE OF SLOPE
- RETAINING WALL
- PROPOSED CENTER LINE
- PROPOSED CURB
- EXISTING CURB
- EXISTING MEDIAN
- PROPOSED LIGHT POLE
- EXISTING LIGHT POLE
- UNIT NUMBER
- PLAN TYPE
- 50X80
- 47X80
- BASIN ACCESS 3" ASPHALT CONCRETE OVER 12" OF COMPACTED FILL MATERIAL
- EMERGENCY VEHICLE ACCESS 3" ASPHALT CONCRETE OVER 12" OF COMPACTED FILL MATERIAL



**VICINITY MAP**

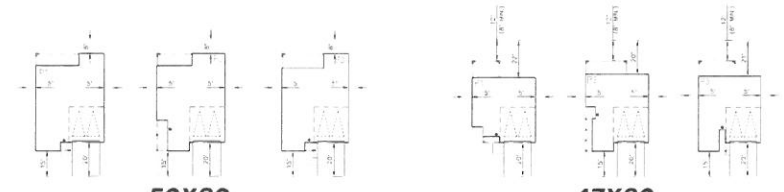
**NOTES**

1. EXISTING LAND USE: VACANT
2. PROPOSED LAND USE: RESIDENTIAL
3. EXISTING GENERAL PLAN LAND USE DESIGNATION: MEDIUM DENSITY RESIDENTIAL
4. EXISTING ZONING: MEDIUM DENSITY RESIDENTIAL AND PARKS
5. ASSESSOR PARCEL NUMBERS: 279-240-023, 279-240-024 AND 279-240-026
6. TOTAL GROSS AREA: 34.27 AC
7. WATER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
8. SEWER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
9. GAS SERVICE PROVIDED BY: SOUTHERN CALIFORNIA GAS COMPANY, P.O. BOX 3150, SAN DIMAS, CA 91773, (800) 427-2200
10. ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA Edison, P.O. BOX 6403, RANCHO CUCAMONGA, CA 91729, (800) 990-7788
11. TELEPHONE SERVICE PROVIDED BY: AT&T, 1265 N. VAN BUREN STREET, SUITE 180, ANAHEIM, CA 92807, (800) 750-2355
12. FIBER OPTIC CABLE PROVIDED BY: AT&T, 1265 N. VAN BUREN STREET, SUITE 180, ANAHEIM, CA 92807, (800) 750-2355
13. REFUSE PROVIDED BY: WASTE MANAGEMENT OF THE INLAND EMPIRE, 800 SOUTH TEMESCAL STREET, CORONA, CA 92876, (951) 280-4500
14. THE PROJECT IS LOCATED WITHIN THE CORONA-NORCO UNIFIED SCHOOL DISTRICT, 2830 CLARK AVENUE, NORCO, CA 92860, (951) 736-5000
15. THE PROJECT SITE IS LOCATED WITHIN ZONE 4, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 06082C1600, EFFECTIVE DATE AUGUST 28, 2008.
16. ALL IMPROVEMENTS SHALL BE PER ARANTRIE HILLS SPECIFIC PLAN UNLESS OTHERWISE APPROVED.
17. PROPOSED DEVELOPMENT (PHASE 2B) IS IN CONFORMANCE WITH THE APPROVED WOMP AND DRAINAGE REPORT.
18. ANY REVISED SITE PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR SCREEN CHECK APPROVAL PRIOR TO BUILDING PLAN SUBMITTAL.
19. PLANS PROVIDE FOR TWO (2) ALL WEATHER SURFACE ACCESS WAYS TO BE APPROVED BY THE FIRE PREVENTION MANAGER AND CONSTRUCT THE ACCESS WAYS TO ACCOMMODATE 70,000 LBS CIVIL DURING ALL PHASES OF CONSTRUCTION.
20. ALL PROJECTS SHALL COMPLY WITH THE CITY OF CORONA FIRE DEPARTMENT SITE CONSTRUCTION STANDARD, A COPY OF WHICH IS AVAILABLE AT THE FIRE DEPARTMENT COUNTER. PROJECTS SHALL HAVE APPROVED ALL WEATHER ACCESS FROM TWO (2) DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.
21. PROVIDE A MINIMUM TWENTY-FIVE (25) FOOT INSIDE AND FIFTY (50) FOOT OUTSIDE RADIUS FOR ACCESS DRIVE(S).
22. STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
23. SINGLE FAMILY DWELLING UNITS REQUIRE A FIRE FLOW OF 1,500 GPM/2 HOURS @ 20 PSI HYDRANT SHOCK REQUIREMENT IS 300' MAXIMUM BETWEEN HYDRANTS.
24. THE FIRE SERVICE WATERLINE SHALL BE LOOPED AND PROVIDED WITH TWO (2) SEPARATE POINTS OF CONNECTION.
25. PROVIDE ONE-HOUR CONSTRUCTED EAVES FOR ALL HOMES LOCATED WITHIN TWO HUNDRED (200) FEET OF WILDLAND AREAS. ENTIRE HOUSE PERIMETER SHALL COMPLY.
26. FUEL MODIFICATION IS REQUIRED FOR THIS PROJECT CONSULT WITH THE FIRE DEPARTMENT TO PLAN AND IMPLEMENT THE MOST EFFECTIVE METHOD FOR THE SITE.
27. PROVIDE CLASS A ROOFING MATERIAL.
28. A FIRE FACILITIES FEE OF \$231.00 PER ACRE IS REQUIRED PER CORONA MUNICIPAL CODE SECTION 3.36.030 AND MUST BE PAID PRIOR TO BUILDING PERMIT ISSUANCE.
29. GROVES AND WEED ABATEMENT SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD UNTIL TIME OF DEVELOPMENT.
30. A SPECIFIC ADDRESS, ASSIGNED BY THE CITY OF CORONA, SHALL BE PROVIDED FOR EACH BUILDING AS SPECIFIED BY THE FIRE DEPARTMENT ADDRESS STANDARD WHICH CAN BE OBTAINED AT THE FIRE DEPARTMENT COUNTER AT CITY HALL. ADDRESS MUST BE ILLUMINATED DURING ALL HOURS OF DARKNESS.
31. SMOKE DETECTORS SHALL COMPLY WITH U.B.C. SECTION 310.1997 EDITION.
32. AT NO TIME SHALL FIRE HYDRANTS OR FIRE LANCES BE BLOCKED BY BUILDING MATERIALS, STORAGE, EQUIPMENT, AND/OR VEHICLES.
33. MULTIFAMILY UNIT BUILDINGS SHALL HAVE SUITE NUMBER IDENTIFICATION ASSIGNED BY THE FIRE DEPARTMENT. SUBMIT AN EXHIBIT FOR REVIEW AND APPROVAL TO THE FIRE DEPARTMENT. A COPY OF THE PREMISE IDENTIFICATION STANDARD IS AVAILABLE AT CORONACOGOV.
34. ACCESS ROAD TO WATER QUALITY BASIN WILL BE PAVED.
35. ANY REVISED SITE PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR SCREEN CHECK APPROVAL PRIOR TO BUILDING PLAN SUBMITTAL.
36. PLANS SHALL SHOW A MINIMUM DRIVE WIDTH OF 28 FEET.
37. SHOW TWO (2) ALL WEATHER SURFACE ACCESS WAYS TO BE APPROVED BY THE FIRE MARSHAL AND CONSTRUCT THE ACCESS WAYS TO ACCOMMODATE 70,000 LBS GROSS VEHICLE WEIGHT DURING ALL PHASES OF CONSTRUCTION.
38. ALL PROJECTS SHALL COMPLY WITH THE CITY OF CORONA FIRE DEPARTMENT SITE CONSTRUCTION STANDARD, A COPY OF WHICH IS AVAILABLE AT THE CORONACOGOV. PROJECTS SHALL HAVE APPROVED ALL WEATHER ACCESS FROM TWO (2) DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.
39. PROVIDE A MINIMUM TWENTY-FIVE (25) FOOT INSIDE AND FIFTY (50) FOOT OUTSIDE RADIUS FOR ACCESS DRIVE(S).
40. STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
41. MEET WITH CORONA FIRE DEPARTMENT TO DETERMINE LOCATIONS OF RED CURBING AND SIGNAGE BY FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND DESIGNATED FIRE LANES ON SITE.
42. A KNOX PRODUCT SHALL BE PROVIDED FOR GATE(S) IN THIS PROJECT. TO APPLY FOR A KNOX PRODUCT VISIT [HTTPS://WWW.KNOXBOX.COM/](https://www.knoxbox.com/)
43. A KNOX BOX SHALL BE PROVIDED FOR THIS BUSINESS. TO APPLY FOR A KNOX PRODUCT VISIT [HTTPS://WWW.KNOXBOX.COM/](https://www.knoxbox.com/)
44. A MINIMUM FIRE FLOW OF 1500 GALLONS PER MINUTE AT 20 PSI SHALL BE PROVIDED FOR ONE- AND TWO-FAMILY DWELLINGS.
45. FIRE HYDRANTS ARE TO BE SPACED A MAXIMUM 300 FEET APART, ONE- AND TWO-FAMILY DWELLINGS ONLY.
46. FUEL MODIFICATION IS REQUIRED FOR THIS PROJECT CONSULT WITH A QUALIFIED FIRM TO PROVIDE A SUBMITTAL TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL.
47. A FIRE PROTECTION/ACCESS PLAN IS REQUIRED FOR THIS SITE. CONSULT WITH A QUALIFIED FIRM TO PROVIDE A SUBMITTAL TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. PROVIDE AT A MINIMUM BUT NOT LIMITED TO: FUEL MANAGEMENT, INGRESS AND EGRESS, STREET WIDTHS, TURN-OUTS, HYDRANT LOCATIONS ETC. IF ANY MODIFICATION IS PROPOSED PROVIDE AN OFFICIAL ALTERNATIVE MATERIALS AND METHODS (AM & M) TO THE FIRE MARSHAL FOR REVIEW AND APPROVAL.
48. PROVIDE CLASS A ROOFING MATERIAL ON ALL STRUCTURES PER THE CORONA MUNICIPAL CODE.
49. GROVES AND WEED ABATEMENT SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD UNTIL TIME OF DEVELOPMENT.
50. A SPECIFIC ADDRESS, ASSIGNED BY THE CITY OF CORONA, PUBLIC WORKS DEPARTMENT, SHALL BE PROVIDED FOR EACH BUILDING AS SPECIFIED BY THE FIRE DEPARTMENT ADDRESS STANDARD WHICH CAN BE OBTAINED AT CORONACOGOV/FIRE. ADDRESSES MUST BE ILLUMINATED DURING ALL HOURS OF DARKNESS.
51. RESIDENTIAL FIRE SPRINKLERS SHALL BE INSTALLED PER CALIFORNIA FIRE AND RESIDENTIAL CODE, AND NFPA 13.



INTERSTATE 15

**SINGLE FAMILY DETACH**



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:
				DS

PREPARED FOR / OWNER:  
**ARANTRIE HILLS HOLDINGS, LP**  
 A DELAWARE LIMITED PARTNERSHIP  
 4343 VOH KARMAN AVE, SUITE 300  
 NEWPORT BEACH, CA 92660  
 (949) 382-2766

PREPARED BY:  
**HUNSAKER & ASSOCIATES**  
 IRVINE, INC.  
 PLANNING • ENGINEERING • SURVEYING  
 Three Hughes • Irvine, CA 92618 • PH: (949) 583-1070 • FX: (949) 583-0759

**SITE PLAN**  
 TENTATIVE TRACT NO. 38277  
 FOR CONDOMINIUM PURPOSES  
 City of Corona

**SHEET**

EXHIBIT 2