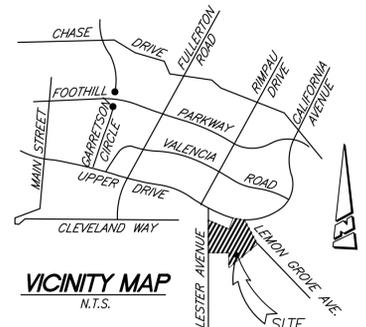
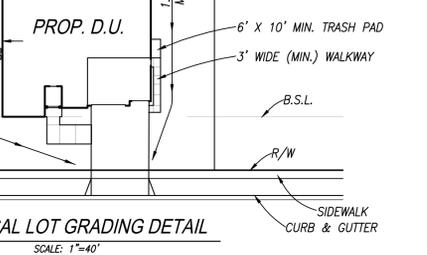
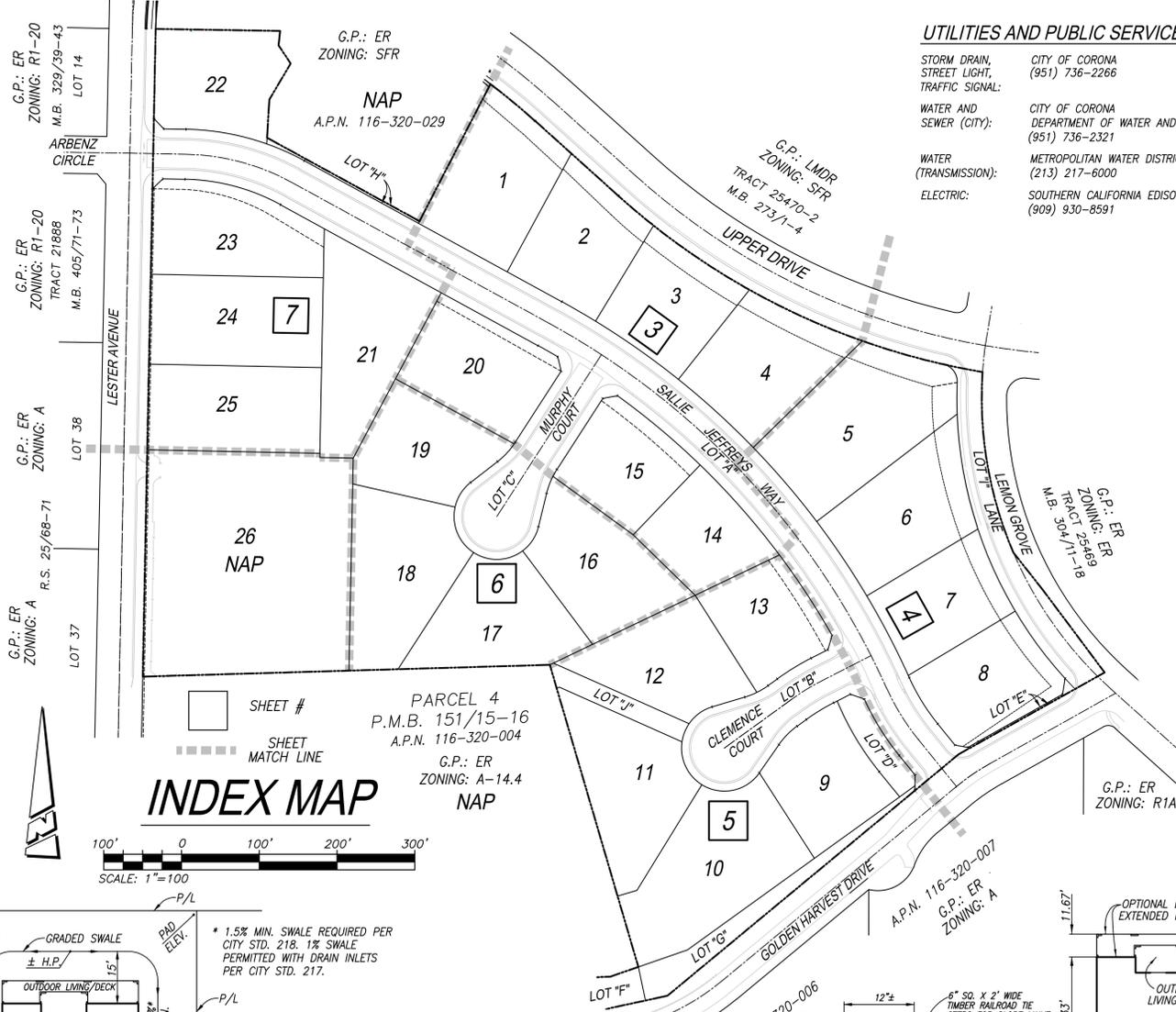
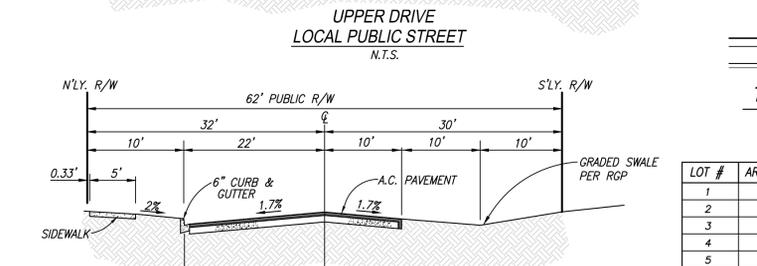
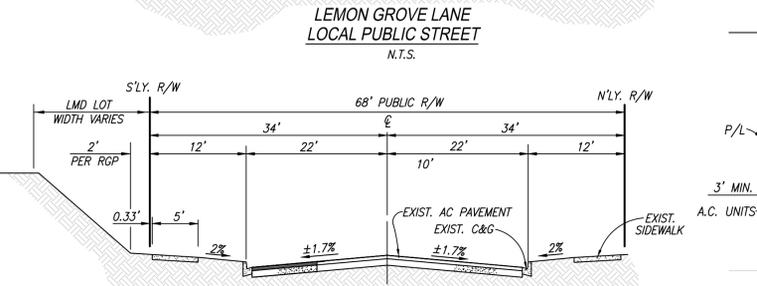
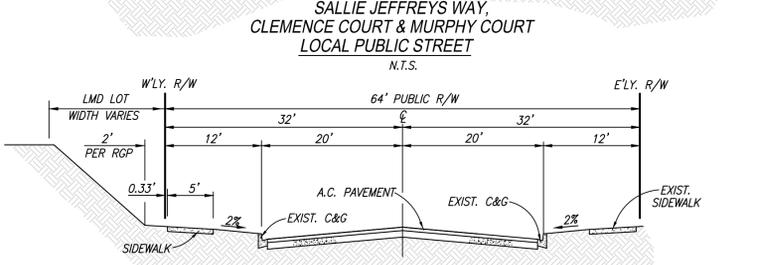
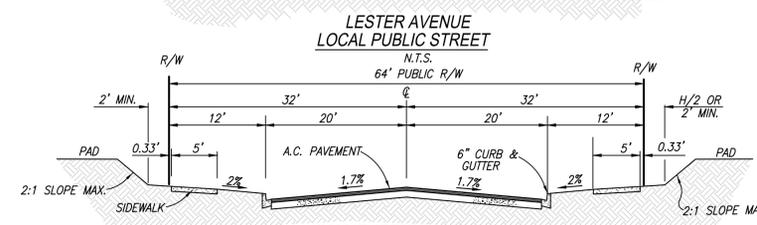
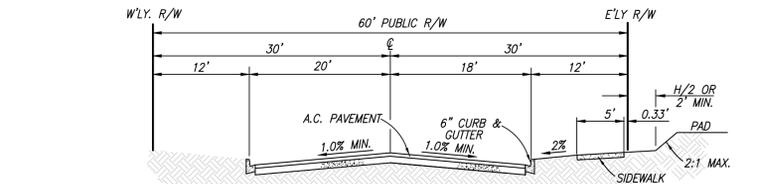


CITY OF CORONA PRECISE PLAN REVIEW P.P. 2018-004 TRACT NO. 31373



LEGEND

- 2365 - EXISTING CONTOUR
- P=2360.4 - PROPOSED PAD ELEV.
- STREET CENTER LINE
- SHEET MATCHLINE
- TRACT BOUNDARY
- SLOPE (2:1 MAX.)
- BLOCK RETAINING WALL
- LOT NUMBER
- INDICATES 9' X 20' CASITA PARKING STALL
- TUBULAR STEEL FENCE ABOVE CMU WALL
- TIMBER RAILROAD TIE STEPS (SEE DETAIL HEREON)
- FL - FLOW LINE
- TC - TOP OF CURB
- FS - FINISHED SURFACE
- FG - FINISHED GRADE
- GB - GRADE BREAK
- HP - HIGH POINT
- LP - LOW POINT
- EP - EDGE OF PAVEMENT
- TR - TOP OF RISER
- TW - TOP OF WALL
- TRW - TOP OF RETAINING WALL
- TF - TOP OF FOOTING
- FF - FINISHED FLOOR
- CMU WALL (DOUBLE SIDED SPLIT FACED)
- VINYL FENCE
- AIR CONDITIONER UNITS



LETTERED LOT SUMMARY TABLE

LOT #	LAND USE
A	PUBLIC STREET
B	PUBLIC STREET
C	PUBLIC STREET
D	HOA MAINTAINED LOT
E	PUBLIC STREET
F	PRIVATELY MAINTAINED LOT
G	HOA MAINTAINED LOT
H	HOA MAINTAINED LOT
I	PUBLIC STREET
J	HOA MAINTAINED LOT

LOT SUMMARY TABLE

LOT #	AREA (S.F.)	AVG. WIDTH	AVG. DEPTH	PLAN/SF	COVERAGE	LOT #	AREA (S.F.)	AVG. WIDTH	AVG. DEPTH	PLAN/SF	COVERAGE
1	24,721	131.1'	187.8'	18/5,896 (C)	23%	14	16,074	140.1'	121.6'	30/3,514	22%
2	20,970	132.6'	157.1'	30/3,514	17%	15	18,046	131.8'	140.2'	14/5,303	29%
3	19,655	136.0'	139.7'	38/4,107 (C)	21%	16	23,027	120.5'	207.8'	18/5,896 (C)	26%
4	23,462	137.1'	164.7'	20/5,054 (C)	22%	17	23,000	140.1'	136.8'	34/4,107 (C)	18%
5	32,275	134.9'	241.0'	18/5,896 (C)	18%	18	26,451	145.0'	147.7'	30/4,107 (C)	16%
6	24,035	122.1'	188.4'	10/5,896 (C)	24%	19	19,514	121.1'	155.9'	28/4,461	23%
7	18,391	115.0'	158.0'	38/4,107 (C)	22%	20	22,282	125.1'	179.2'	10/5,896 (C)	26%
8	19,352	119.9'	163.7'	14/5,303	27%	21	26,834	142.6'	187.4'	38/3,514	13%
9	18,992	128.7'	150.1'	34/4,107 (C)	22%	22	20,638	128.1'	185.0'	10/5,896 (C)	28%
10	31,885	159.5'	144.5'	28/5,054 (C)	16%	23	23,312	120.4'	222.0'	24/5,054 (C)	22%
11	24,768	156.4'	132.2'	30/4,107 (C)	17%	24	25,530	115.0'	222.0'	30/4,107 (C)	16%
12	21,246	123.2'	142.3'	18/5,896 (C)	28%	25	24,353	109.7'	222.0'	18/5,896 (C)	24%
13	16,926	121.8'	139.6'	20/4,461	26%						

- COVERAGE VALUE IS BASED ON "MAX. BUILDING S.F." PER TYP FOOTPRINTS
- "C" INDICATES THAT "CASITA" IS INCLUDED IN COVERAGE VALUE

UTILITIES AND PUBLIC SERVICES:

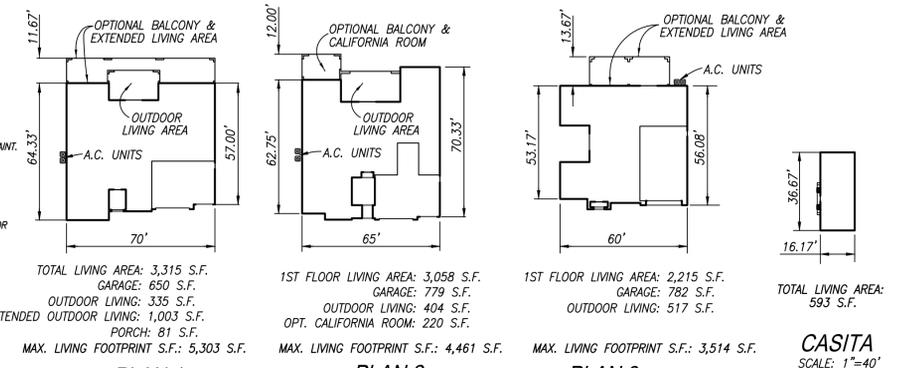
- STORM DRAIN, STREET LIGHT, TRAFFIC SIGNAL: CITY OF CORONA (951) 736-2266
- WATER AND SEWER (CITY): CITY OF CORONA DEPARTMENT OF WATER AND POWER (951) 736-2321
- WATER (TRANSMISSION): METROPOLITAN WATER DISTRICT (213) 217-6000
- ELECTRIC: SOUTHERN CALIFORNIA EDISON CO. (909) 930-8591
- GAS: SOUTHERN CALIFORNIA GAS CO. (951) 335-7733
- CABLE: SPECTRUM (951) 975-3396
- PHONE: AT&T (866) 243-6122
- WIRELESS: NEXT G NETWORKS (909) 593-9700

D.P.R. FIRE COMMENTS

1. PLACE FIRE DEPARTMENT DPR COMMENTS ON PLANS AS GENERAL NOTES.
2. ANY REVISED SITE PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR SCREEN CHECK APPROVAL PRIOR TO BUILDING PLAN SUBMITTAL.
3. PLANS SHALL SHOW A MINIMUM DRIVE WIDTH OF 28 FEET.
4. PROVIDE PLANS FOR TWO (2) ALL WEATHER SURFACE ACCESS WAYS TO BE APPROVED BY THE FIRE PREVENTION MANAGER AND CONSTRUCT THE ACCESS WAY(S) TO ACCOMMODATE 70,000 LBS GWV DURING ALL PHASES OF CONSTRUCTION.
5. ALL PROJECTS SHALL COMPLY WITH THE CITY OF CORONA FIRE DEPARTMENT SITE CONSTRUCTION STANDARD. A COPY OF WHICH IS AVAILABLE AT THE FIRE DEPARTMENT COUNTER. PROJECTS SHALL HAVE APPROVED ALL WEATHER ACCESS FROM TWO (2) DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.
6. DEAD END ACCESS DRIVES SHALL NOT EXCEED ONE HUNDRED FIFTY (150) FEET IN LENGTH.
7. PROVIDE A MINIMUM TWENTY-FIVE (25) FOOT INSIDE AND FIFTY (50) FOOT OUTSIDE RADIUS FOR ACCESS DRIVE(S).
8. STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
9. A MINIMUM FIRE FLOW OF 1500 GPM SHALL BE PROVIDED.
10. FIRE HYDRANTS ARE TO BE SPACED A MAXIMUM 300 FEET APART.
11. PROVIDE CLASS A ROOFING MATERIAL.
12. A FIRE FACILITIES FEE OF \$231.00 PER ACRE IS REQUIRED PER CORONA MUNICIPAL CODE SECTION 3.36.030 AND MUST BE PAID PRIOR TO BUILDING PERMIT ISSUANCE.
13. GROVES AND WEED ABATEMENT SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD UNTIL TIME OF DEVELOPMENT.
14. A SPECIFIC ADDRESS, ASSIGNED BY THE CITY OF CORONA, SHALL BE PROVIDED FOR EACH BUILDING AS SPECIFIED BY THE FIRE DEPARTMENT ADDRESS STANDARD WHICH CAN BE OBTAINED AT THE FIRE DEPARTMENT COUNTER AT CITY HALL. ADDRESS MUST BE ILLUMINATED DURING ALL HOURS OF DARKNESS.
15. SMOKE DETECTORS SHALL COMPLY WITH U.B.C. SECTION 310 1997 EDITION.
16. AT NO TIME SHALL FIRE HYDRANTS OR FIRE LANES BE BLOCKED BY BUILDING MATERIALS, STORAGE, EQUIPMENT, AND/OR VEHICLES.
17. RESIDENTIAL FIRE SPRINKLERS SHALL BE INSTALLED PER 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA RESIDENTIAL CODE, AND NFPA 13.

LEGAL DESCRIPTION

LOTS 1 - 25 OF TRACT MAP 31373, AS PER MAP FILED IN BOOK 464, PAGES 30 THROUGH 33, OF MAPS, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.



TIMBER STEP DETAIL



APPLICANT:
CORONA-UPPER DRIVE 25, LLC
1110 N. LINCOLN AVE. #100
CORONA, CA 92882
OFFICE: 951-547-3579

PREPARED BY:
LAND DEVELOPMENT CONSULTANTS
1520 BROOKHOLLOW DRIVE #33
SANTA ANA, CA 92705
(714) 557-7700

OWNER:
YEHNES ELKASEER, LLC
4030 BIRCH STREET #100
NEWPORT BEACH, CA 92660
OFFICE: 951-283-1804

NOTES

1. GENERAL PLAN LAND USE: ER (ESTATE RESIDENTIAL)
2. SITE ZONING: A-14.4 (AGRICULTURAL SINGLE-FAMILY)
3. PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
4. MIN. LOT SIZE: 14,400 S.F.
5. BUILDING SETBACK CRITERIA:
 - FRONT YARD: 25'
 - SIDE YARD: 15' MIN. ONE SIDE/10' MIN. OTHER SIDE (15' ADJACENT TO ST.)
 - REAR YARD: 10' MIN. (15' ABUTTING A STREET)
 - REVERSE CORNER LOT SIDE YARD: 25' MIN.
6. SEPARATION BETWEEN ACCESSORY AND MAIN BUILDINGS:
 - NON-RESIDENTIAL ACCESSORY BUILDINGS: 5' MIN.
 - RESIDENTIAL ACCESSORY BUILDINGS: 25' MIN.
7. TOTAL ACREAGE TRACT NO. 31373: 19.01 AC GROSS
8. MAX. BUILDING COVERAGE: 40% (SINGLE STORY) / 30% (TWO STORY)

- ELEVATION LEGEND:
- A = SPANISH
 - B = ITALIAN
 - C = TUSCAN
- PLAN XX INDICATES PLAN/ELEVATION TYPE
FF= INDICATES BUILDING FINISHED FLOOR ELEV.
P= INDICATES BUILDING PAD FLOOR ELEV.

INDEX OF SHEETS

SHEET #	SHEET DESCRIPTION
1	TITLE SHEET, GENERAL NOTES, LEGEND
2	COMPOSITE PLOT PLAN SHEET
3-7	PLOT PLAN

EXHIBIT A

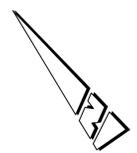
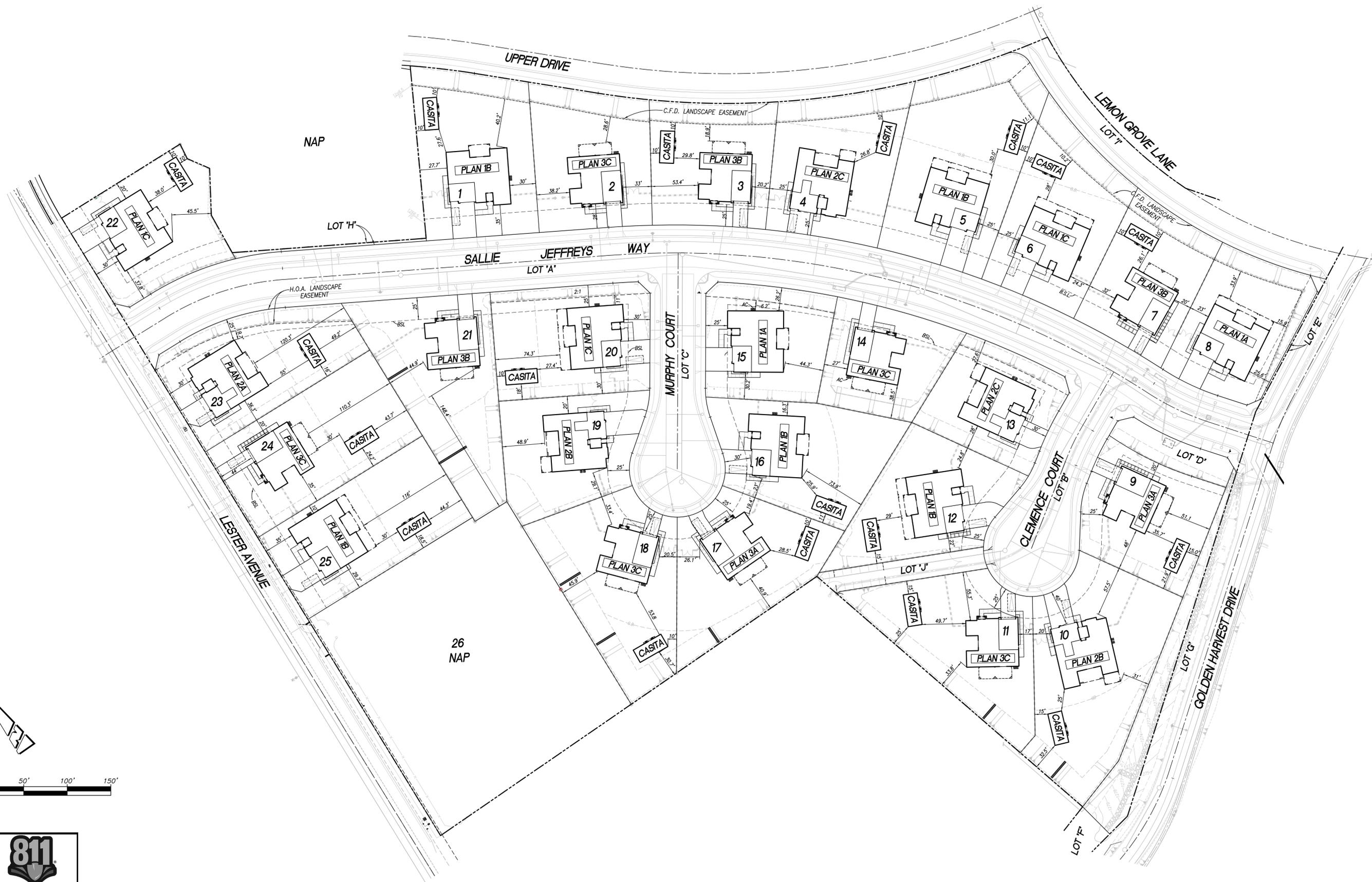
(FROM LEMON GROVE LANE, WEST TO SALLIE JEFFREYS WAY)

80

GOLDEN HARVEST DRIVE
LOCAL PUBLIC STREET
N.T.S.

Know what's below.
Call before you dig.

<p>LAND DEVELOPMENT CONSULTANTS SURVEYORS & CIVIL ENGINEERS 1520 BROOKHOLLOW DRIVE, SUITE 33 SANTA ANA, CALIFORNIA 92705 (714) 557-7700 TEL</p>	<p>Designed by LDC Drawn by LDC Checked by LDC</p>	<p>16-004S, 16-004R 10/18 LDC REVISED PP PER P.R.C. COMMENTS DATED 11/14/2018</p>	<p>BENCH MARK N/A</p>	<p>Engineering Planning DWP</p>	<p>Approved By: TOM KOPER City Engineer R.C.E. No. 50258</p>	<p style="text-align: center;">CITY OF CORONA TRACT NO. 31373 PRECISE PLAN REVIEW</p>	<p>Drawing No. Sh 1 of 7</p>
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REGISTERED PROFESSIONAL ENGINEER
HERSEL MOUSSA-ZAHAB
No. 44560
Exp. 3-31-2020
CIVIL
STATE OF CALIFORNIA

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LAND PLANNERS AND DEVELOPMENT CONSULTANTS
SURVEYORS CIVIL ENGINEERS
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(714) 527-7700 TEL

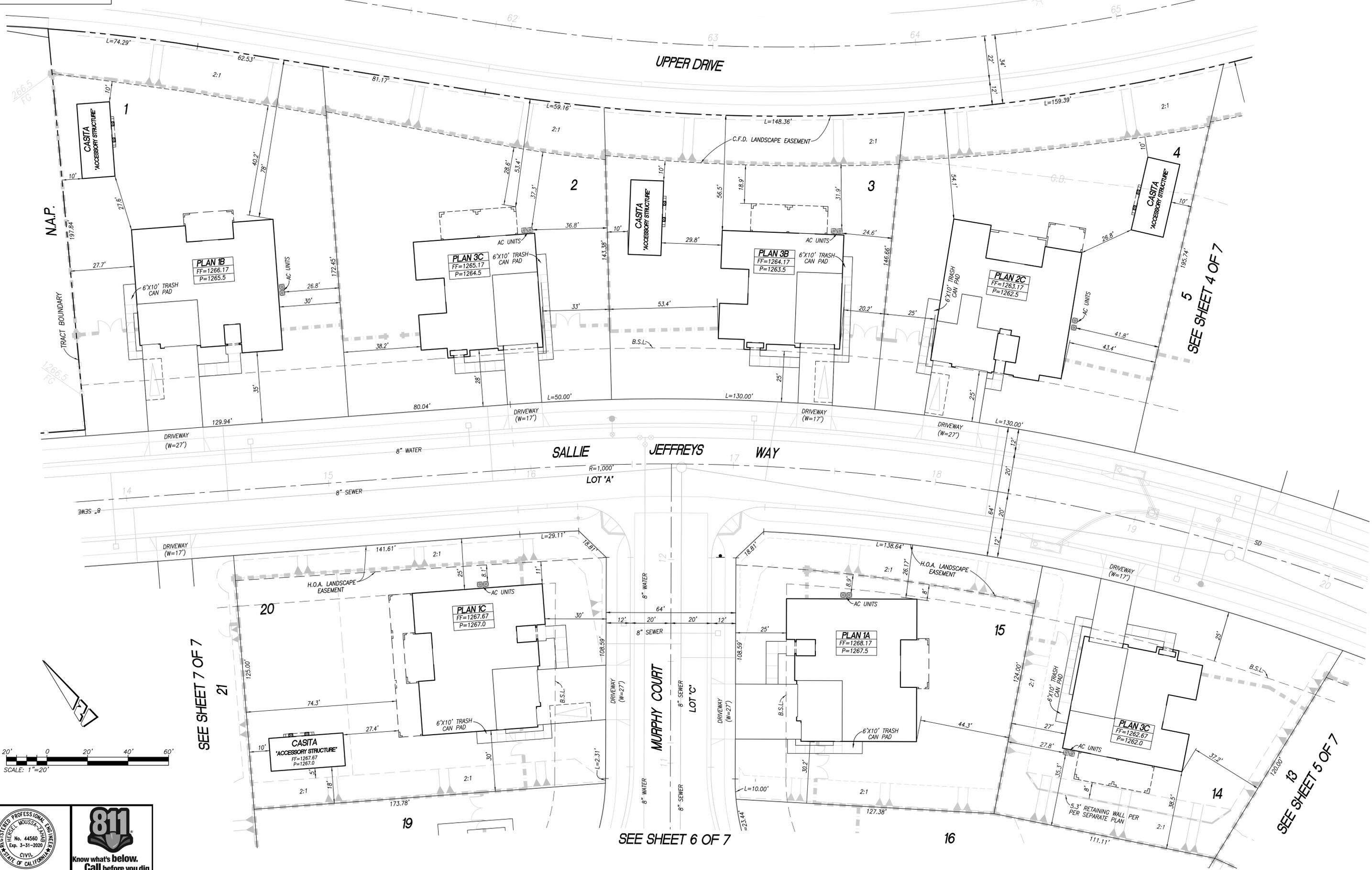
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PLANS PREPARED UNDER SUPERVISION OF			
Date	HERSEL MOUSSA-ZAHAB R.C.E. No. 44560		

Reference Plans for these Improvements	BENCH MARK
Date	Scale
By	HERON
REVISIONS	App'd

Engineering	Approved By:	Date
Planning	TOM KOPER	
DWP	City Engineer	
	R.C.E. No. 50258	

CITY OF CORONA
PRECISE PLAN REVIEW

TRACT NO. 31373
Drawing No. 2 of 7

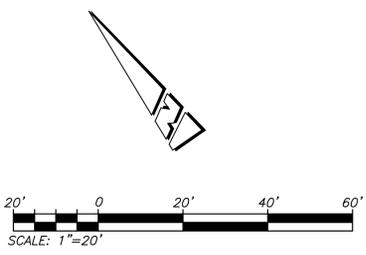


SEE SHEET 4 OF 7

SEE SHEET 7 OF 7

SEE SHEET 6 OF 7

SEE SHEET 5 OF 7



811
Know what's below.
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REGISTERED PROFESSIONAL ENGINEER
HERSEL MOUSSA-ZAHAB
No. 44560
Exp. 3-31-2020
CIVIL
STATE OF CALIFORNIA

LAND PLANNERS AND DEVELOPMENT CONSULTANTS
SURVEYORS CIVIL ENGINEERS
SUPERVISION OF
1520 BROOKHOLLOW DRIVE, SUITE 133
SANTA ANA, CALIFORNIA 92705
(714) 527-7700 TEL

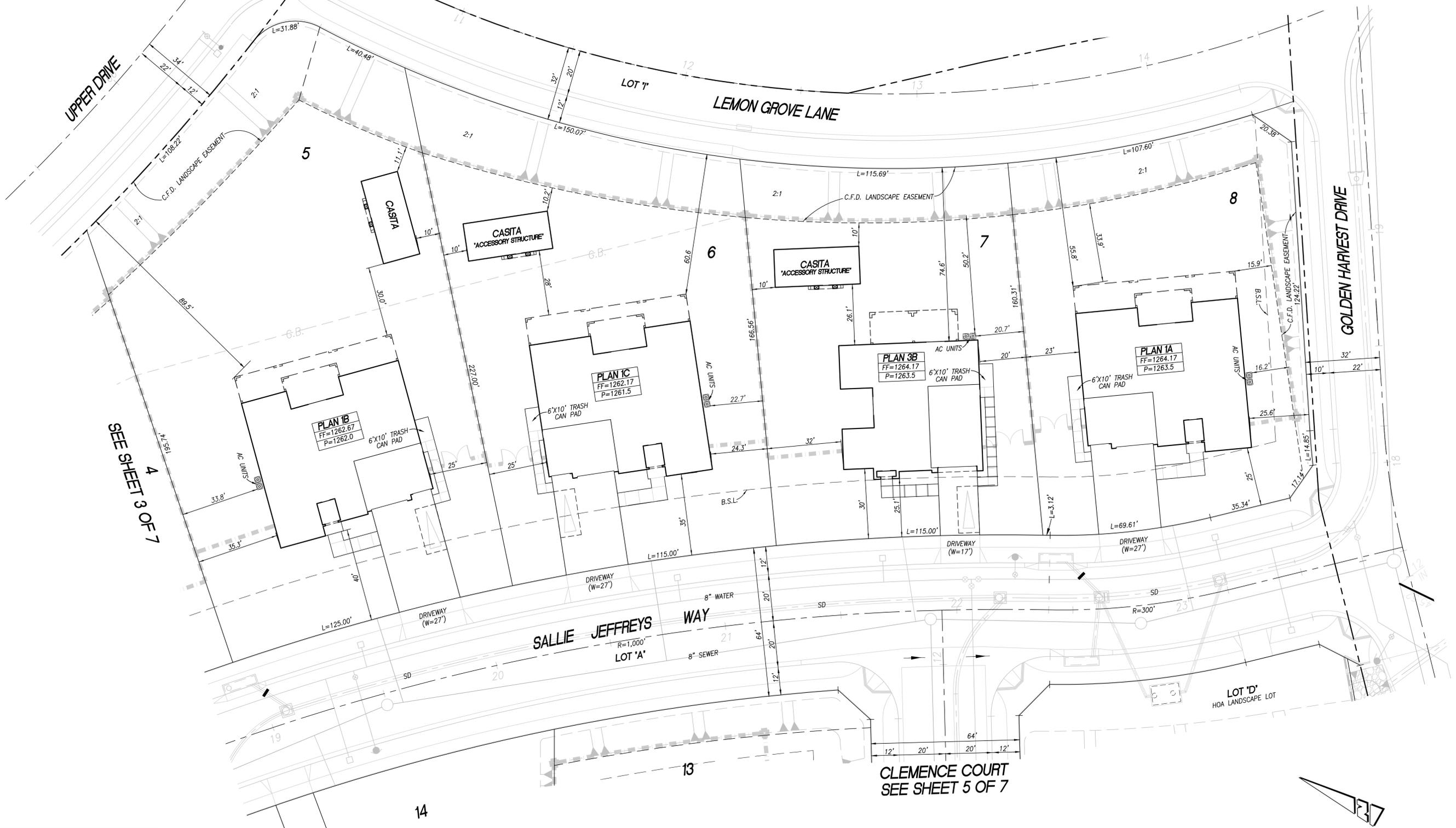
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PLANS PREPARED UNDER SUPERVISION OF			Reference Plans for these Improvements
Date	HERSEL MOUSSA-ZAHAB R.C.E. No. 44560		

Date	By	REVISIONS	App'd
			HERON

Engineering	Approved By:
Planning	TOM KOPER
DWP	City Engineer
	R.C.E. No. 50258

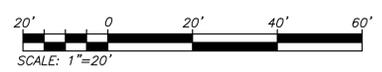
Date	
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CITY OF CORONA	TRACT NO. 31373	Drawing No.
PRECISE PLAN REVIEW		Sh 3 of 7



SEE SHEET 3 OF 7

CLEMENCE COURT
SEE SHEET 5 OF 7



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DEVELOPMENT CONSULTANTS
CIVIL ENGINEERS
1520 BROOKHOLLOW DRIVE, SUITE 33
SANTA ANA, CALIFORNIA 92705
714) 897-7790 TEL.

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Drawn by LDC
Checked by LDC
PLANS PREPARED UNDER SUPERVISION OF
Date _____
HERSEL MOUSSA-ZAHAB R.C.E. No. 44560

16-004S, 16-004R	BENCH MARK
Reference Plans for these Improvements	Date _____ By _____
REVISIONS	App'd _____

Scale HEREON

Engineering _____
Planning _____
DWP _____

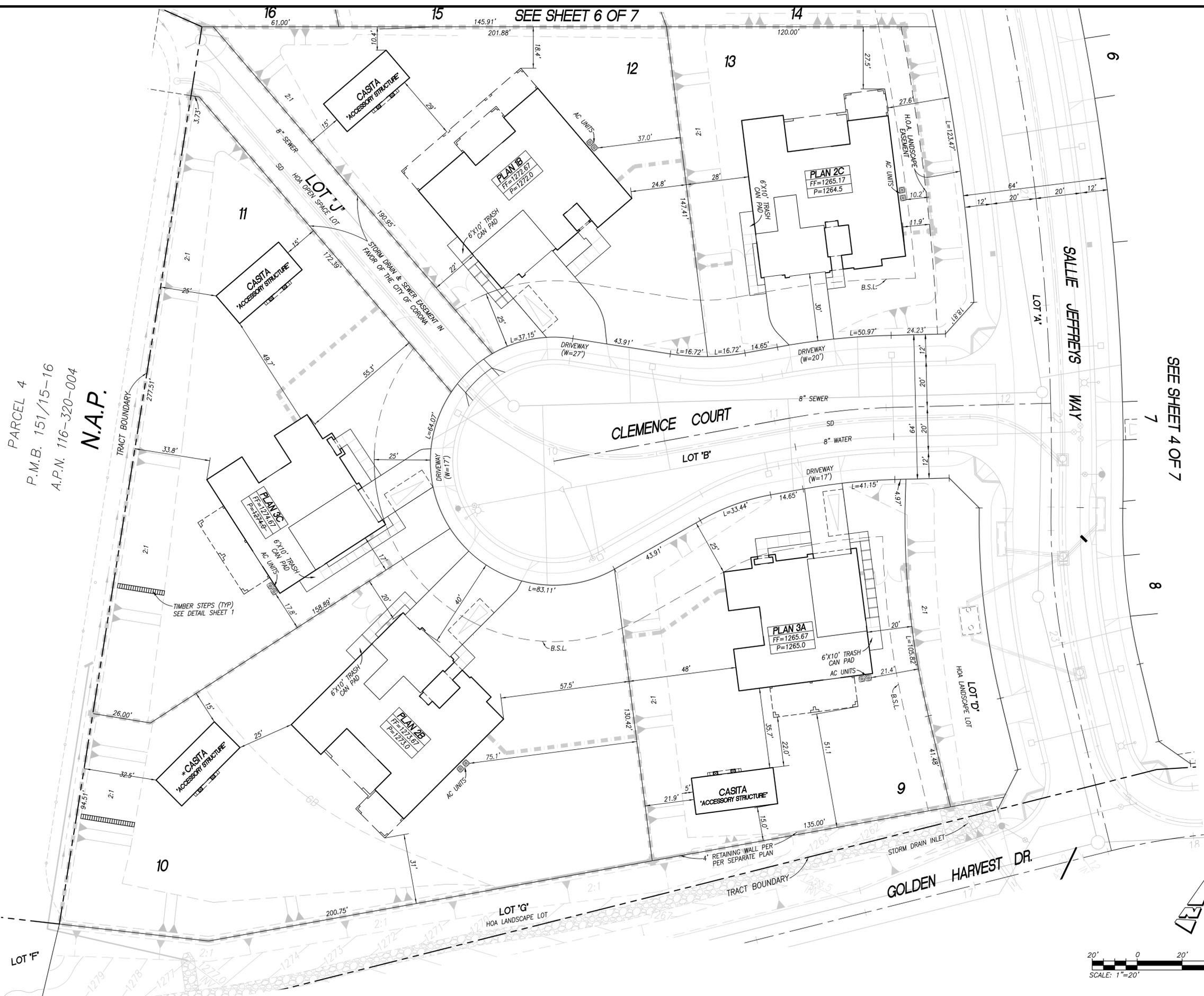
Approved By: _____
TOM KOPER
City Engineer
R.C.E. No. 50258
Date _____

CITY OF CORONA TRACT NO. 31373
PRECISE PLAN REVIEW

Drawing No. _____
Sh 4 of 7

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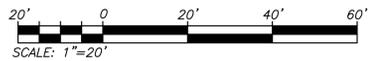
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P.M.B. 151/15-16
A.P.N. 116-320-004
N.A.P.



SEE SHEET 4 OF 7

7

8



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SURVEYORS CIVIL ENGINEERS
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SANTA ANA, CALIFORNIA 92705
(714) 597-7760 TEL

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PLANS PREPARED UNDER SUPERVISION OF			
Date	HERSEL MOUSSA-ZAHAB	R.C.E. No. 44560	

Date	By	REVISIONS

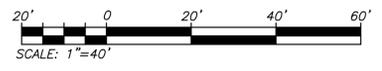
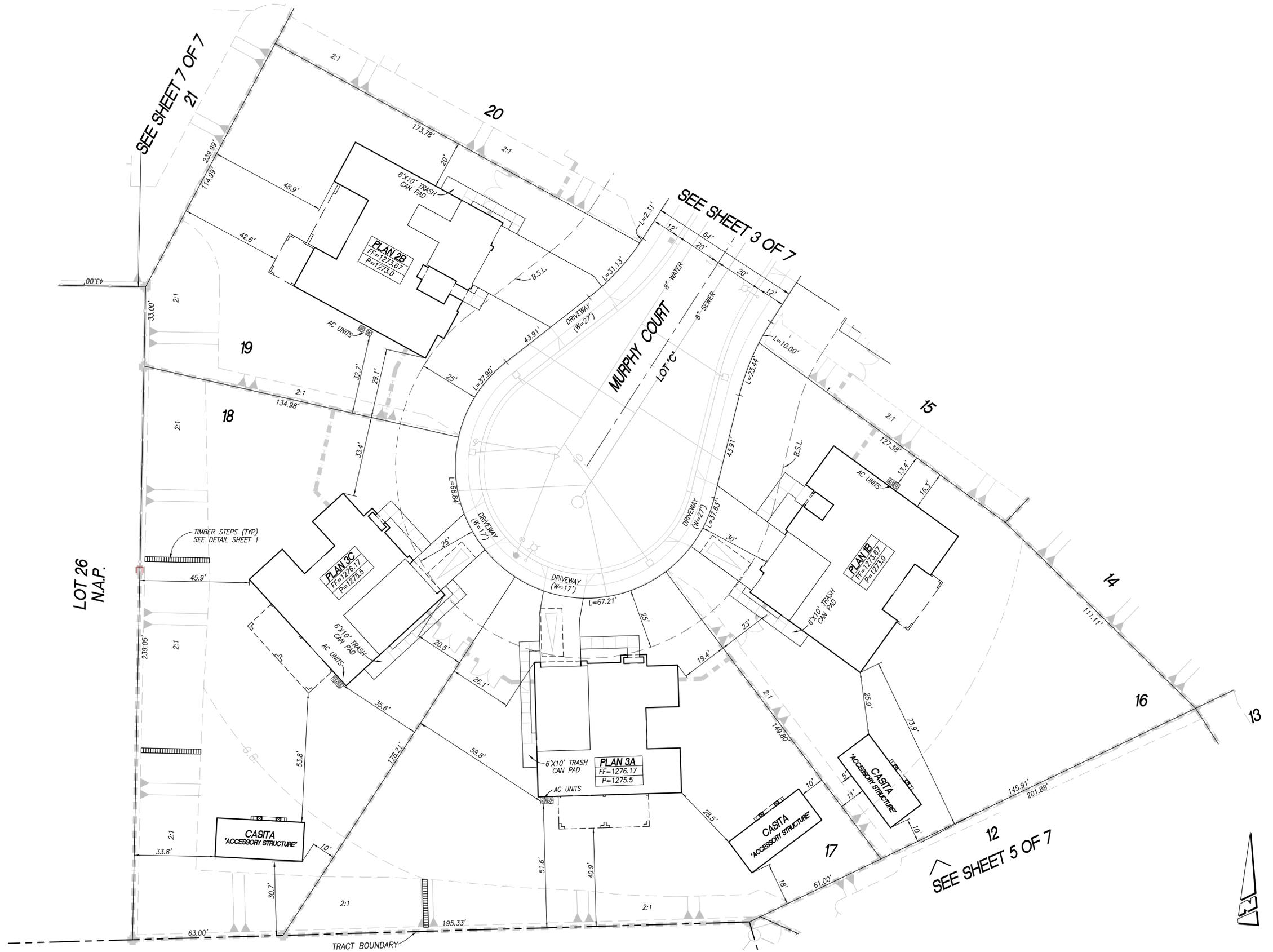
BENCH MARK	
Scale	HEREON

Engineering	
Planning	
DWP	

Approved By:		Date	
TOM KOPER City Engineer R.C.E. No. 50258			

CITY OF CORONA TRACT NO. 31373
PRECISE PLAN REVIEW

DWS: E:\Grim\NPA\PP_17_31373.dwg Feb 01, 2019 - 9:40am By: hankacano



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SURVEYORS CIVIL ENGINEERS
1520 BROOKHOLLOW DRIVE, SUITE 33
SANTA ANA, CALIFORNIA 92705
(714) 527-7700 TEL

Designed by LDC
Drawn by LDC
Checked by LDC
PLANS PREPARED UNDER SUPERVISION OF
Date _____
HERSEL MOUSSA-ZAHAB R.C.E. No. 44560

16-004S, 16-004R				
Reference Plans for these Improvements	Date	By	REVISIONS	App'd

BENCH MARK
SEE SHEET 1
Scale HERON

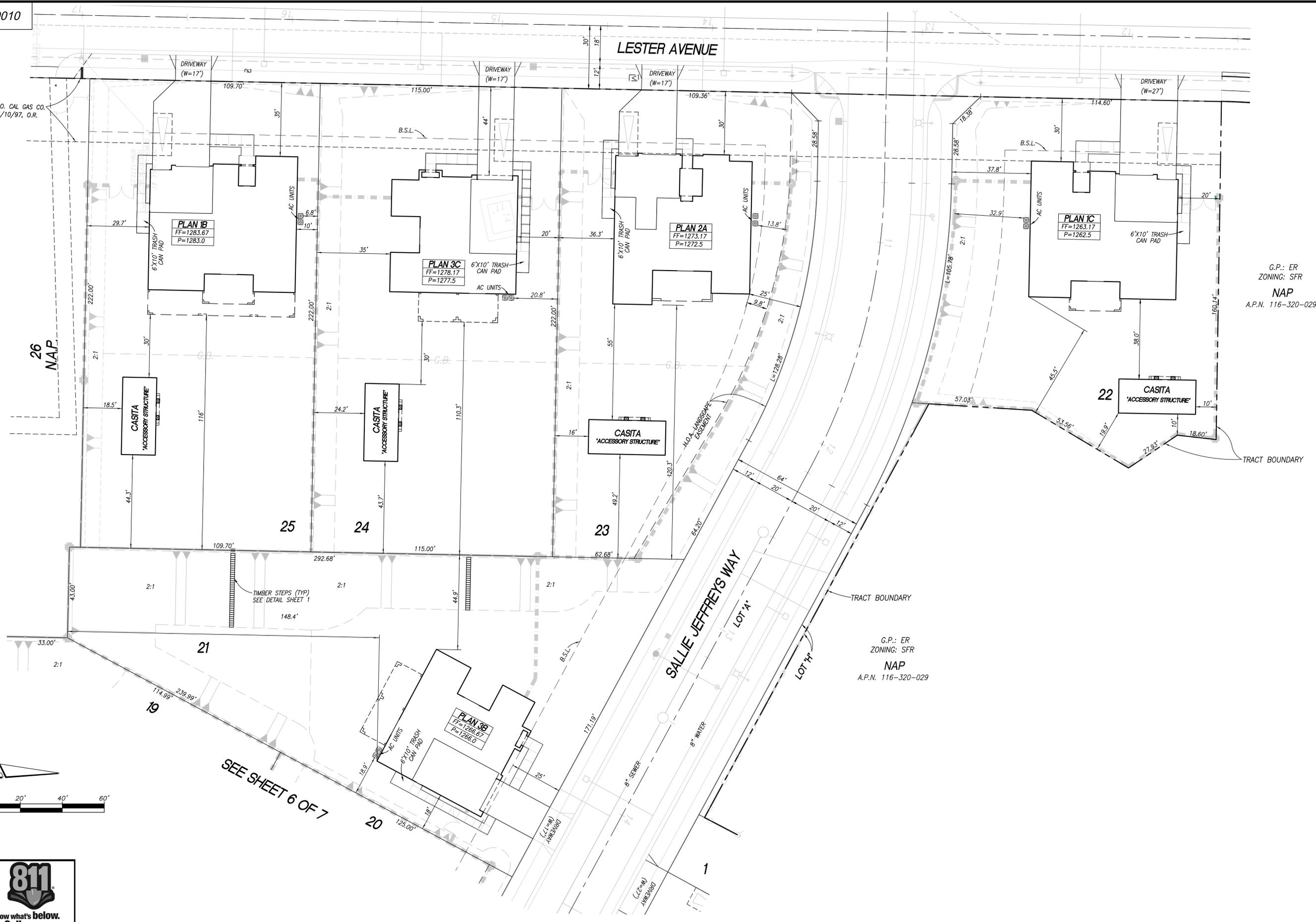
Engineering _____
Planning _____
DWP _____

Approved By: _____
TOM KOPER
City Engineer
R.C.E. No. 50258
Date _____

CITY OF CORONA TRACT NO. 31373
PRECISE PLAN REVIEW

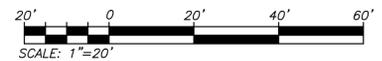
Drawing No. Sh 6 of 7

30' EASEMENT IN FAVOR OF SO. CAL GAS CO. PER INST #97-78752, REC. 3/10/97, O.R.



G.P.: ER
ZONING: SFR
NAP
A.P.N. 116-320-029

G.P.: ER
ZONING: SFR
NAP
A.P.N. 116-320-029




DEVELOPMENT CONSULTANTS, INC.
 LAND PLANNERS SURVEYORS
 CIVIL ENGINEERS
 1520 BROOKHOLLOW DRIVE, SUITE 33
 SANTA ANA, CALIFORNIA 92705
 (714) 527-7700 TEL

Designed by LDC
 Drawn by LDC
 Checked by LDC
 16-004S, 16-004R
 Reference Plans for these Improvements
 Date By REVISIONS App'd Scale HERON

Engineering	Approved By:
Planning	TOM KOPER
DWP	City Engineer
	R.C.E. No. 50258

CITY OF CORONA
PRECISE PLAN REVIEW
 TRACT NO. 31373
 Drawing No. 7 of 7