

LOCATIONAL & ZONING MAP



Zoning Legend:

- C-2: Restricted Commercial
- C of SP90-5: Commercial, Corona Vista Specific Plan
- LM of SP90-5: Low Medium, Corona Vista Specific Plan
- M-4: Industrial Park
- R-1-7.2: Single Family Residential, 7,200 s.f. minimum lot size



Date: 02/19/2019

CZ2018-0002 & PPM2018-0011
(RAISING CANE'S)



CHANGE OF ZONE MAP

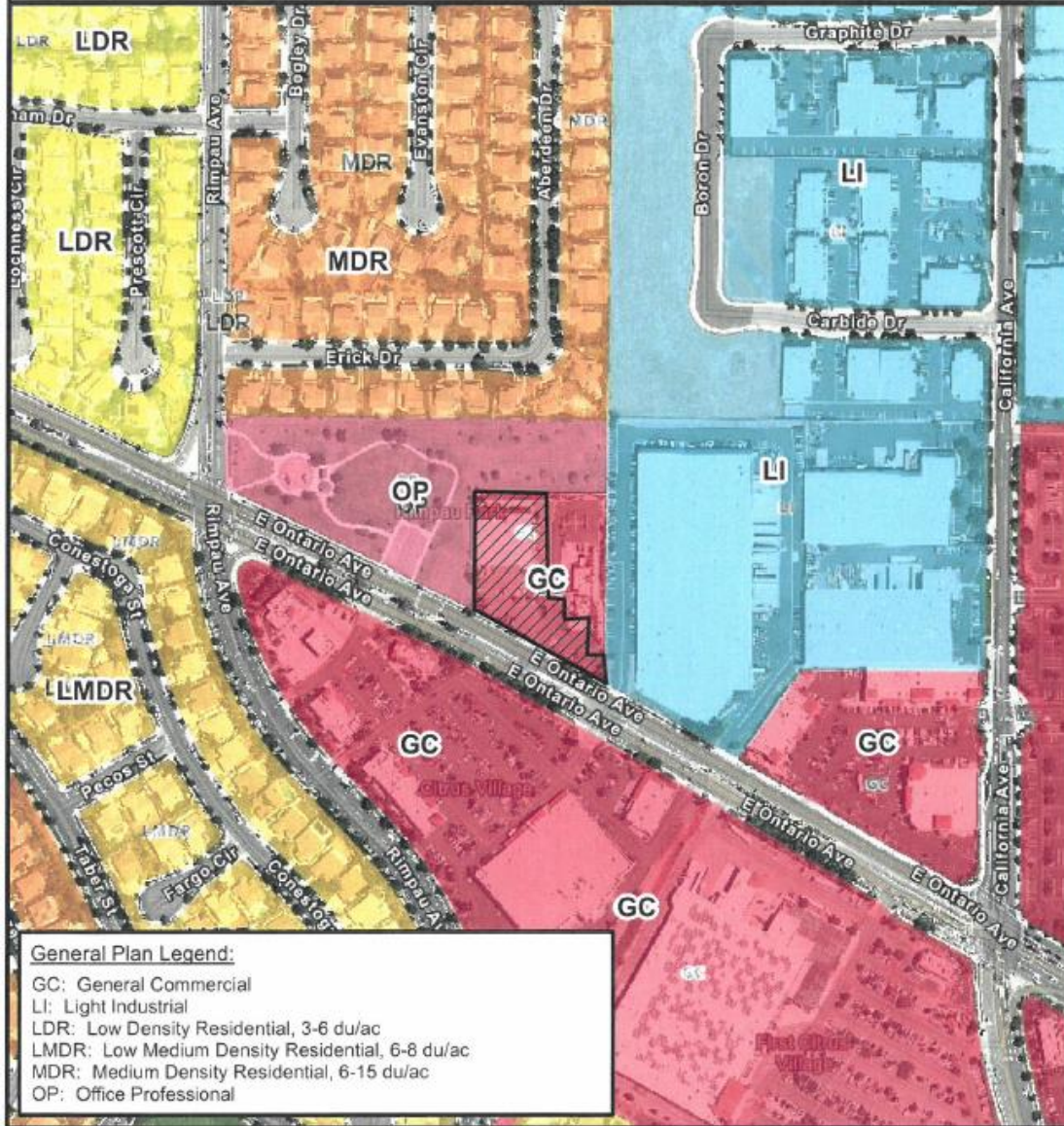


Date: 02/19/2019

CZ2018-0002



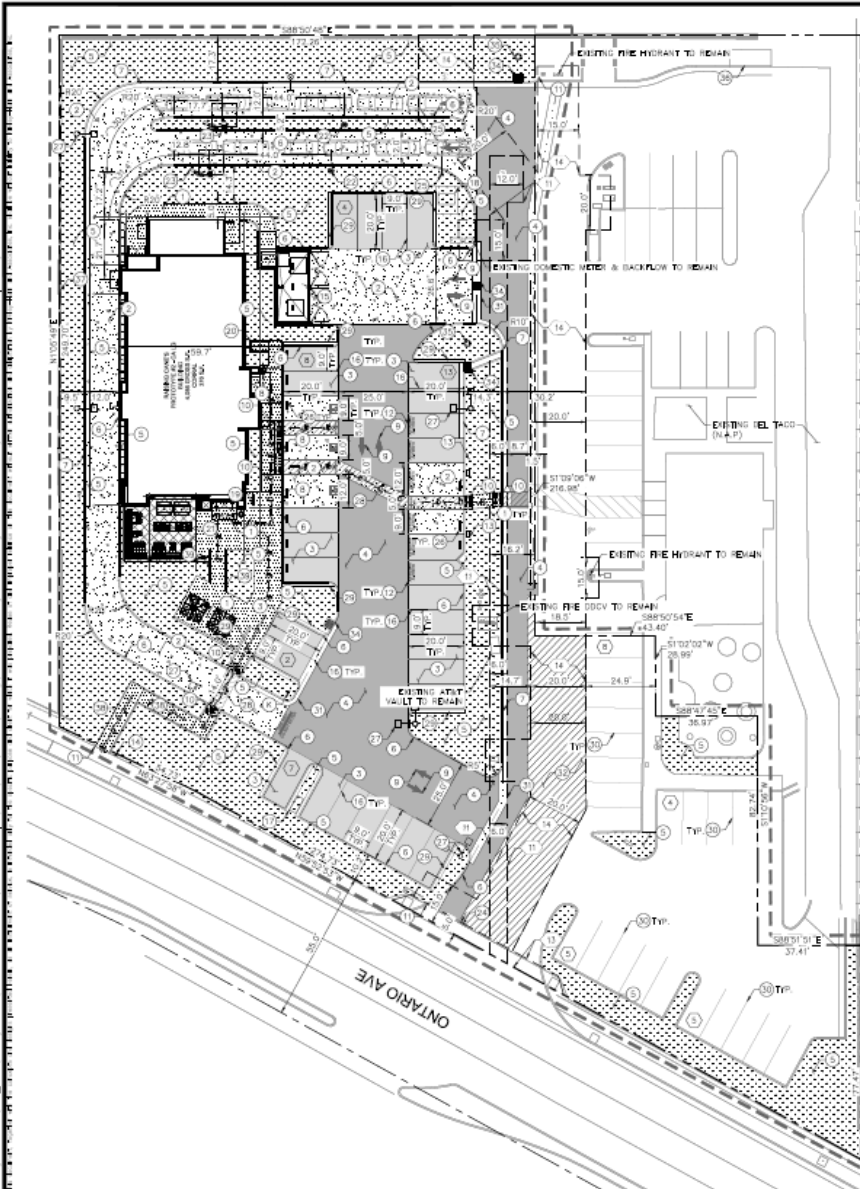
GENERAL PLAN MAP



Date: 02/19/2019

CZ2018-0002





LEGEND:

- - - CENTER LINE
- - - PROPERTY LINE
- - - EXISTING UTILITY
- - - APPROXIMATE OUTLINE OF WORK LINE
- [Pattern] STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT
- [Pattern] LANDSCAPE/PLANTED AREA
- [Pattern] ASPHALT PAVEMENT MILL AND OVERLAY
- [Pattern] STANDARD DUTY ASPHALT PAVEMENT
- [Pattern] HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] DETECTABLE WARNING SYSTEM
- [Pattern] SOLID CONCRETE/BI-MATERIAL PAVING
- - - ACCESSIBLE ROUTE (LOCATION PURPOSE ONLY, DO NOT PAINT)
- [Symbol] SIGN POST
- [Symbol] ACCESSIBLE PARKING SPACE
- [Symbol] NUMBER OF PARKING SPACES

CONSTRUCTION NOTES:

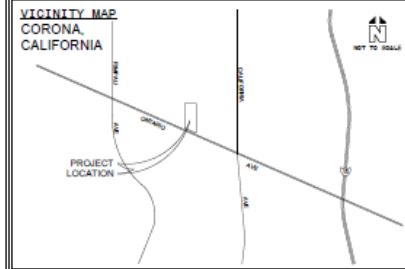
- 1 STANDARD DUTY CONCRETE PAVEMENT
- 2 HEAVY DUTY CONCRETE PAVEMENT
- 3 STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- 4 HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- 5 LANDSCAPE/PLANTED AREA
- 6 CONCRETE CURB
- 7 CONCRETE CURB AND GUTTER
- 8 ACCESSIBLE PARKING STALL SIGN
- 9 OPERATIONAL WARNING PER PLAN
- 10 ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED CONES)
- 11 JOIN EXISTING CURB, CURB & GUTTER, SIDEWALK
- 12 "CLEAR 48" WASH POOL" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL
- 13 FUTURE EV/CHARGING STATION CONDUIT TO BE RAN TO STALL FOR FUTURE CONNECTION
- 14 ADA PATH OF TRAVEL SIGN
- 15 COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE
- 16 STANDARD 30" PARKING STALL STRIPING
- 17 EXISTING SIGN TO REMAIN
- 18 EXISTING TRANSFORMER
- 19 SHORT TERM BIKES RACK
- 20 LONG TERM BIKES RACK
- 21 OUTDOOR COVERED PATH TO BE STAINED STANDARD DUTY CONCRETE PAVEMENT
- 22 PRICKER BOARD
- 23 ORDER BOARD
- 24 EXISTING DRIVEWAY TO REMAIN
- 25 NICKERIE BAR
- 26 INSTALL WHEELSTOPS FOR PARKING SPACES ADJACENT TO RAILWAYS
- 27 SIGN LIGHTING
- 28 ACCESSIBLE PATH OF TRAVEL STRIPING. ACCESSIBLE PATHS SHALL BE ENHANCED PAVING
- 29 18" MUD-OFF CURB
- 30 STANDARD 30" PARKING STALL TO REMAIN
- 31 3.0' WIDE VALLEY GUTTER
- 32 MILL AND OVERLAY EXISTING ASPHALT PAVEMENT
- 33 INSTALL HANDRAILS
- 34 24" x 24" GROUND PRECAST DROP INLET WITH CATCH BASIN FILTERED INLET FOR RAIN CAPTURE
- 35 PROPOSED DRY WELL
- 36 CATCH BASIN TO REMAIN
- 37 3" MUD-OFF WALL CONSTRUCTED OF DECORATIVE MASONRY TO MATCH EXISTING WALLS ON SITE
- 38 ACCESSIBLE RAMP WITH HANDRAILS
- 39 CONCRETE BENCHES WITH LED STRIP LIGHTS

LEGAL DESCRIPTION

THE LAND REFERRED TO IS SITUATE IN THE COUNTY OF RIVERSIDE, CITY OF CORONA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCEL 1 OF PARCEL MAP NO. 93380, AS SHOWN ON THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN MAP RECORDED IN BOOK 37, PAGE 96, 97, AND 98 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SIGN INFORMATION

① OMITTED SIGN RS-1 - "DO NOT ENTER"



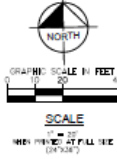
SITE DATA

PROJECT DESCRIPTION:	REVISION OF EXISTING PARKING LOT AND BUILDING. NEW CONSTRUCTION OF A PARKING GARAGE, DRIVE THRU RESTAURANT AND PARKING LOT.
ADDRESS:	1216 EAST ONTARIO AVENUE, CORONA, CA 92881
APN:	107-180-052
ZONING DISTRICT:	C3-RESTRICTED COMMERCIAL (EXISTING) C3-COMMERCIAL COMMUNITY COMMERCIAL ZONE (PROPOSED)
ADJACENT ZONING DISTRICTS:	NW P - PARK N3 - COMMERCIAL E - INDUSTRIAL PARK
LAND USE:	COMMERCIAL
ADJACENT LAND USE:	NW PARK E COMMERCIAL E INDUSTRIAL
REGIONAL PLAN DISTRICT:	DC - GENERAL COMMERCIAL
SEWER PLAN:	SP-10-05
FLOOD ZONE:	ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.

TOTAL DETACHED AREA:	51,317 S.F.	(1.18 AC)
TOTAL PARK AREA:	4,088 S.F.	(0.09 AC)
TOTAL LOT AREA:	55,775 S.F.	(1.28 AC)
TOTAL COMMERCIAL CENTER AREA:	64,614 S.F.	(1.49 AC)
LOT COVERAGES:		
TOTAL LOT AREA:	55,775 S.F.	100%
TOTAL LOT AREA:	4,088 S.F.	6.4%
TOTAL LOT AREA:	42,416 S.F.	68.5%
LANDSCAPE AREA:	17,221 S.F.	27.1%
PARKING/LANDSCAPE		
PARKING:	10.0'	
ROW:	2.0'	
MIN. STALL:	6.0'	
MIN. DRIVE:	10.0'	
PARKING SUMMARY:		
REQUIRED PARKING:	5,226 S.F. (1 STALL/100 S.F.) = 53 STALLS REQUIRED PER CITY CODE	
EXISTING CAPACITY:	4,088 S.F. (BUILDING) + 376 S.F. (GARAGE) + 764 S.F. (PATIO) = 4,928 S.F. TOTAL	
ADA PARKING FOR 30%:	30% PARKING STALLS = 3 ADA PARKING STALLS REQUIRED	
EV CHARGING:	1 FUTURE EV FOR 50% = 4 FUTURE EV STALLS REQUIRED PER CITY CODE	
EV CHARGING:	1 FUTURE EV FOR 20% = 1 FUTURE EV STALL REQUIRED PER CITY CODE	
TOTAL EV CHARGING STALLS:	5 EV CHARGING STALLS (PER 2016 CALIFORNIA GREEN BUILDING STANDARDS) = 5	
TOTAL NUMBER OF PARKING SPACES PROVIDED:	= 56	
UL TRAIL:	2,330 S.F. (1 STALL/100 S.F.) = 23 STALLS REQUIRED PER CITY CODE	
PARKING TABLE		
TYPE	AREA (S.F.)	NUMBER
STANDARD	4,088	60
EV CHARGING	0	0
EV CHARGING	0	0
TOTAL	4,088	60
EXISTING GARAGE & BUILT TRAIL		
TYPE	AREA (S.F.)	NUMBER
STANDARD	376	6
EV CHARGING	0	0
TOTAL	376	6
(6) STALLS ARE ALSO DESIGNATED FOR HANDICAPPED (REQUIREMENTS FOR DESIGNATED STALLS ARE BASED ON PROPOSED PARKING GARAGE PARKING) 46 CAR STALLS BEHIND THE ORDER BOARD HAS BEEN PROVIDED PER THE CITY'S CODE REQUIREMENTS		

TITLE REPORT EXCEPTIONS

- 11 AN EASEMENT AFFECTING THAT PORTION OF SAND LAND FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS RECORDED AUGUST 20, 2008 IN CRITICAL RECORDS AS INSTRUMENT NUMBER 2008005655 (PLATTE HEIDEN)
- 12 MATTER AS CONTAINED OR REFERRED TO IN AN INSTRUMENT ENTITLED "TRUST-IF-ANY REGULATION FOR STREET WATER, SEWER, STORM DRAIN AND PUBLIC UTILITY" PURPOSES RECORDED BETWEEN 8, 2009 IN CRITICAL RECORDS AS INSTRUMENT NUMBER 200903423 (PLATTE HEIDEN)
- 13 MATTER AS CONTAINED OR REFERRED TO IN AN INSTRUMENT ENTITLED "EASEMENT (LOCATION FOR PUBLIC UTILITY EASEMENT) RECORDED BETWEEN 8, 2008 IN CRITICAL RECORDS AS INSTRUMENT NUMBER 2008005424 (PLATTE HEIDEN)





RAISING CANE'S
 800.986.6666
 1000 International Blvd., TX 75204
 Tel: (972) 398-5100 / Fax: (972) 398-3100

Prototype Issue Date:
Raising Cane's
 1219 E. Ontario Ave.
 Corona, CA 92881
 Store #RC382
 Prototype 2 CA-HC
 ERD 4.0



PM DESIGN
 Architectural Solutions Group

38 WILSON PARK
 SUITE 210
 WILSON, CA 92694
 Corolla, CA 92009
 pmad@pmdesign.com
 www.pmdesign.com

Prototype Update Phase: 000-02
 Initial Setup Date: 11/26/18
 Project Manager: RL

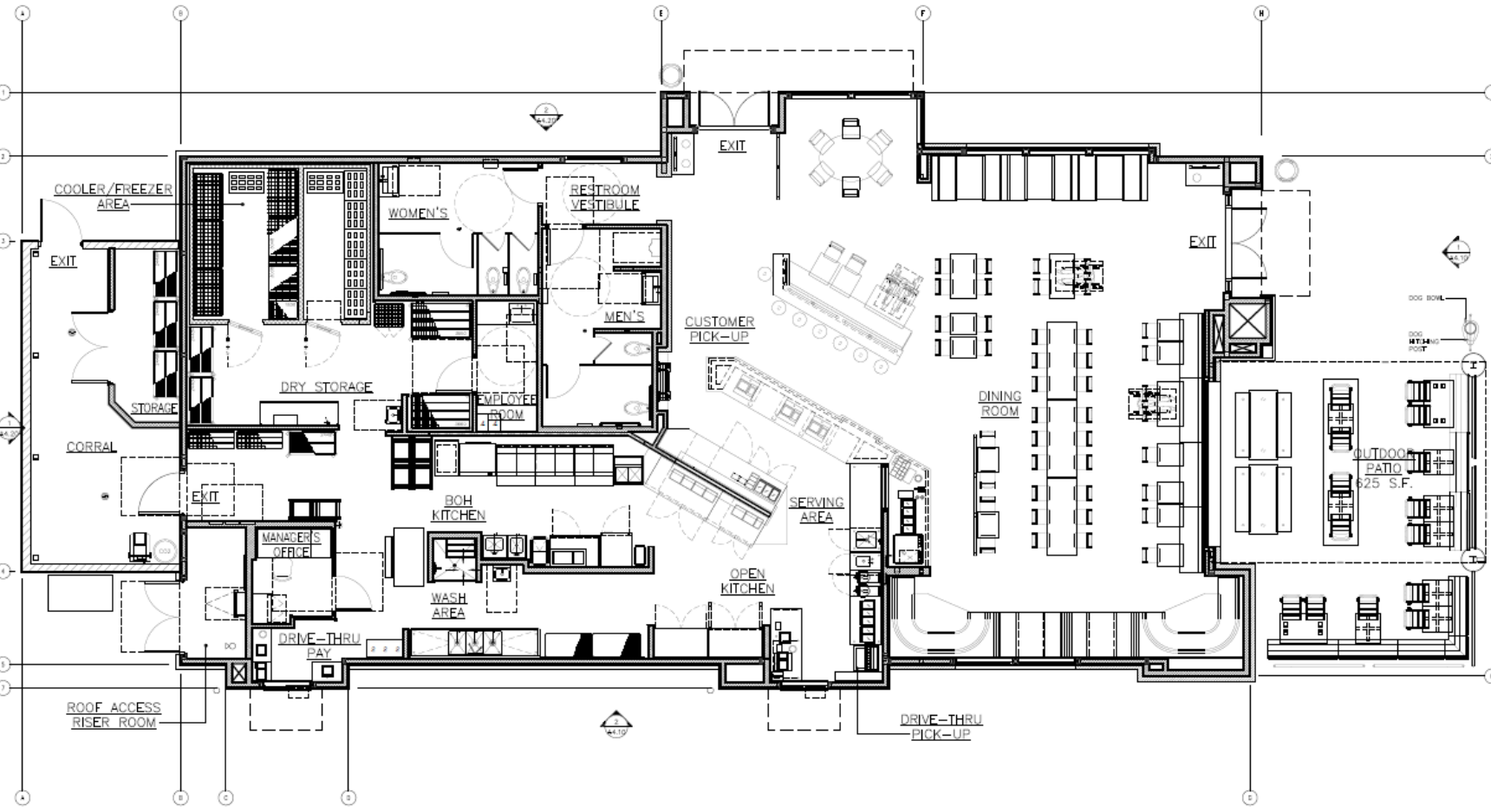
Conceptual Design

#	Date	Description
01	08/18/2018	Conceptual Plan Review
02	07/15/2019	PPM & CC Summary

Sheet Title:
Floor Plan

Project Number: RAC17027.0
 Drawn By: [redacted]
 Sheet Number:

A1.10



1 FLOOR PLAN
 1/4" = 1'-0"
 4086 S.F.



DPR2018-0014



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

- M1**
- M2**
- M3**
- M4**
- M5**
- M6**
- M7**
- M8**
- M9**
- M10**

RECLAIMED METAL PANEL; CAR HOOD.



GOLDEN ROMAN BRICK MEDIUM RANGE, SMOOTH IRON'S FOOT, HORIZONTAL MORTAR TO MATCH LATICRETE "HEMP" WEATHERED STRIKE JOINTS, VERTICAL MORTAR TO MATCH TERRA COTTA. JOINTS PLUSH WITH PAKE.



STUCCO FINISH, TO MATCH DRYWIT "HONEY TWIST" 361.



GG'S STEEL, WEATHERED; RAW STEEL SAND BLASTED W/EXPOSED WELDS. CLEAR COAT FLAT FINISH.



"132" MOUNTAIN FOG APPLIED OVER PORTLAND CEMENT STUCCO.



BELODEN ROMAN BRICK MEDIUM RANGE, SMOOTH IRON'S FOOT, FINISH: SMOOTH-TEXTURE TO MATCH LATICRETE "HEMP" WEATHERED STRIKE JOINTS, VERTICAL



"48" OYSTER SHELL PLASTER OVER SUBSTRATE.



RAWN EIR - ALUMINUM STOREFRONT SYSTEM FINISH: #40 BLACK ANODIZED AA-610021 AA4 / AA-MSC-22A-44 ARCHITECTURAL CLASS



PAV ED STEEL FINISH: LOW LUSTRE BLACK



METAL PANEL WITH SYNTHETIC PAINT MATTE BLACK



Restaurant Support Office:
6600 Bishop Road, Miami, TX 75014
Tel: 817.734.5527 Fax: 972.769.5101

3400 Raising Cane's
1219 E. Ontario Ave.
Corona, CA 92881
Store #RC382
Prototype 2 CA-HC
ERD 4.0

Architect Information:



Architectural
Solutions Group

3800 Cahill Ave.
Suite 110
Irvine, CA 92618
Contact: 949.456.9679
www.pmdesigngroup.com
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Project Update Phase: ERD 4.0
Initial Setup Date: 1/16/16
Project Manager: RLS

Conceptual Design

Revisions	
#	Description
03.10.2015	Development Plan Review
01.10.2015	PPM & CZ Submittal

Sheet Title:
EXTERIOR ELEVATIONS

Project Number: RAC17022.0
Drawn By: BVMC

Sheet Number:
A4.10



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

- | | | | | | | | | | |
|---------------------------------|---|--|--|---|---|---|---|---|--|
| M1 | M2 | M3 | M4 | M5 | M6 | M7 | M8 | M9 | M10 |
| | | | | | | | | | |
| RECLAIMED METAL PANEL CAR HOOD. | BELDEN ROMAN BRICK MEDIUM RANGE, SMOOTH IRON'S FOG, HORIZONTAL MORTAR TO MATCH LAYERS & "HEMP" WEATHERED STRIKE JOINTS, VERTICAL MORTAR TO MATCH TERRA COTTA JOINT'S PLUSH WITH FACE. | STUCCO FINISH - TO MATCH DRYWIT "HONEY TWIST" 381. | GC'S STEEL FABRICATOR'S SAW STEEL SAND-BLASTED W/EXPOSED WELDS CLEAN COVE FLAT FINISH. | "132" MOUNTAIN FOG APPLIED OVER PORTLAND CEMENT STUCCO. | BELDEN ROMAN BRICK MEDIUM RANGE, SMOOTH IRON'S FOG, FINISH. SHADON-TEX MORTAR TO MATCH LAYERS. "HEMP" WEATHERED STRIKE JOINTS, VERTICAL | "48" OYSTER SHELL PLASTER OVER SUBSTRATE. | KAWNEER - ALUMINUM STOREFRONT SYSTEM FINISH: 840 SLACK AND COLORED AA-M10C21 A44 / ANIRMC 2244 ARCHITECTURAL CLAS 5 | FLAT IRON STEEL PAINT: LOW LUSTRE BLACK | METAL PANEL WITH FINISH: PINKY MATTE BLACK |



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Store #RC382
Prototype 2 CA-HC
ERD 4.0

Architect Information

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Architectural Solutions Group

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Project Update Phase:	ERD 4.0
Initial Setup Date:	1/18/19
Project Manager:	R.G.

Conceptual Design

#	Date	Description
01	05.10.2018	Development Plan Review
02	01.03.2019	PPM & C2 Submittal

Sheet Title: **EXTERIOR ELEVATIONS**

Project Number: RAC1702P.0

Drawn By: JBYW

Sheet Number: **A4.20**



KIESEL-DESIGN
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Ventura, CA 93001
(805) 947-0730
jacob@kieselad.com
CLA 9209

RC0382 Corona
3215 East Ontario Ave
Corona, CA 92881
ABIA
Contact Info:

Revisions:
DATE NAME
08.18.18 Development Plan Review
11.20.18 PPM & C2 Submittal



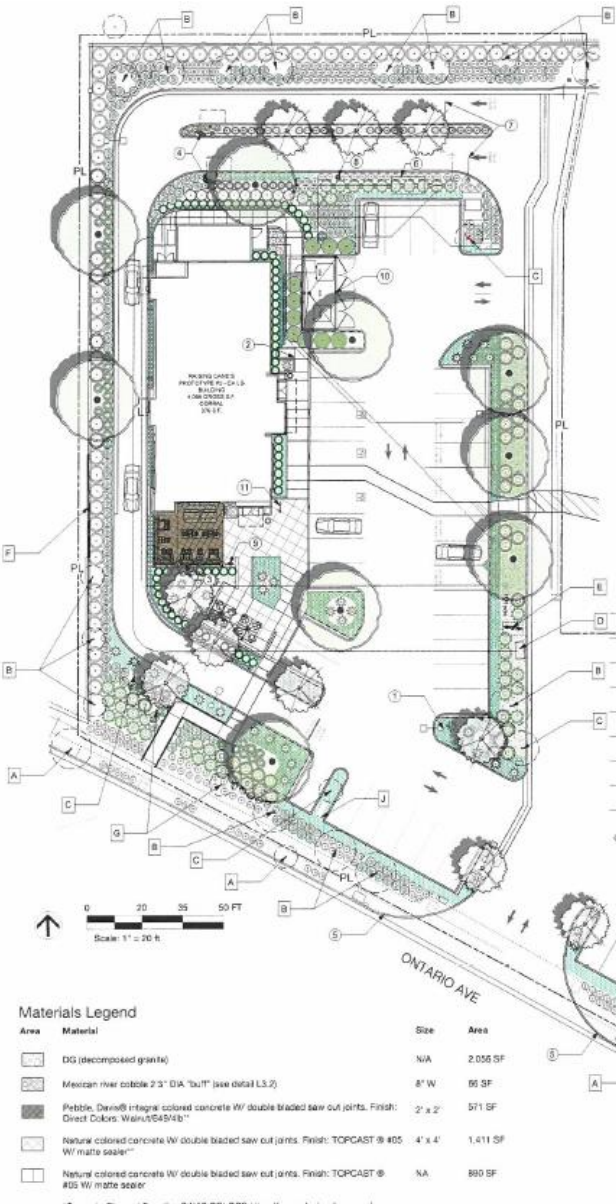
Type: Preliminary CUP

Submitted Date:
January 4th 2019

Drawn By: NAME DATE
T. Slinger 01/20/19

Project Name: Preliminary Landscape Plan

Sheet Number: L1.1



Proposed Notes

1. (E) site lighting per Electrical Engineer, TYP.
2. (P) long term bike parking per Civil
3. (P) overhead structure and site furnishings per Architect
4. (P) order board per Architect
5. (P) potential enhancement of pathway TBD in field
6. (E) grease trap per Civil
7. (P) headche bar per Architect
8. (P) pre-order board per Architect
9. (P) dog bowl and tie post per Architect
10. (P) trash enclosure per Architect
11. (P) bike rack per Architect

Existing Notes

- A. (E) *Koeleria binnaria*
- B. (E) *Rhus lancea*
- C. (E) *Lagerstroemia indica*
- D. (E) utility box
- E. backflow
- F. iron fence
- G. (E) Mexican fan palm
- H. (E) Queen palm
- I. (E) groundcovers and shrubs to remain
- J. (E) monument sign

Existing Tree Protection & Removal Notes

- All existing plant material to remain and be protected unless otherwise noted.
- (T) tree symbol
 - (S) shrub
 - (X) to be removed symbol

Abbreviations

- APPROX. - approximate
DG - decomposed granite
DI - drain inlet
EQ - equal
GPM - gallons per minute
LA - landscape architect
LF - linear foot
L.D.W. - limit of work
MAX - maximum
MIN - minimum
O.C. - on center
P - proposed
PA - planting area
R - radius
SF - square foot
SM - smiler
TSD - to be determined
TYP. - typical
W - with

Plant List

Symbol	Botanical Name	Common Name	Size	Qty	Mature Height	Size Width	WUCOLS
Trees							
(T)	<i>Lagerstroemia indica</i> 'Catawba'	Catawba Grape Myrtle	30" box	10	10 - 15 ft	12 - 20 ft	Med
(T)	<i>Rhus lancea</i>	African Sumac	24" box	9	20-30ft.	> 35 ft.	Low
Shrubs							
(S)	<i>Leucadendron</i> 'Safari Sunset'	Safari Conebush	5 gal	63	8 - 10 ft	8 - 8 ft	Low
(S)	<i>Rhamnus alaternus</i>	Italian Buckthorn	15 gal	10	12 - 16 ft	5 - 8 ft	Low
(S)	<i>Rhaphiolepis umbellata</i> 'Minor'	Dwarf Yucca Hawthorn	15 gal	71	3 - 5 ft	36 in. - 4 ft.	Low
(S)	<i>Rose x 'Lorberg'</i> 'Lorberunda Rose'	Loebing Rose	5 gal	10	20 in - 3 ft.	4 - 8 ft.	Med
(S)	<i>Senna artemisioides</i>	Feathery Cassia	5 gal	73	4 - 8 ft	2 - 3 ft.	Low
Perennials							
(P)	<i>Dianella caerulea</i> 'Cesse Blue'	Blue Flax Lily	5 gal	155	12 - 18 in	12 - 18 in	Low
Succulents							
(S)	<i>Agave viviparans</i>	Octopus Agave	5 gal	73	3 - 4 ft.	3 - 4 ft.	Low
(S)	<i>Babine frutescens</i>	Staked Babine	1 gal	9	1-2 ft.	2 ft.	Low
(S)	<i>Hesperaloe parviflora</i> 'Baker's Gold'	Red Yucca	1 gal	238	2 - 3 ft.	2 - 3 ft.	Very Low
Grasses							
(S)	<i>Muhlenbergia dubia</i>	Pine Muflay	1 gal	229	3 ft	3 ft.	Low
Total							
				905			

Groundcovers

- (G) *Senecio mandraliscae*
- (G) 18" O.C. triangular spacing
- (G) *Mycoselin parvifolium*
- (G) 8" O.C. triangular spacing
- (G) landscape to remain

Tree Requirement Calculations per Predevelopment Findings

1. In parking areas (1) tree for every (8) parking spaces.
of parking spaces on site = 56
of trees required = 12
of (P) trees = 6 (10 existing trees to remain in parking area)
2. A 10' x 10' box shall be planted on all corner planters including all vehicular entries and major corner intersections of project area. They shall also be required at building entries and other public spaces, such as plazas, courtyards, or patio areas.
of corner planters = 7
of patio areas = 1
of entries = 9
trees required = 9
of (P) trees = 8 (1 existing tree on corner planter)
3. A 10' x 10' box shall be planted for every five hundred square feet of landscaping area in all other areas.
of all other areas = APPROX 9,820
trees required = 18
of (P) trees = 8 (16 existing tree on corner planter)
4. Root guards and linear barriers are required for all trees planted within a parking area or within 5-feet of any walking or drivable surface in accordance with the Landscape and Irrigation Standard Plans and Specifications.
5. Trees shall not be placed where they interfere with site drainage or overhead and must be 7 horizontal feet from underground utilities. All utilities shall be identified on the base plan.

Total # of trees required on-site = 46

Planting Notes

- Important note:** All plant materials shall be set out as shown on plan. Final locations shall be approved by the Landscape Architect prior to planting.
1. Prior to starting work, Contractor shall take representative soil samples from the project site. Soil shall be analyzed by an approved commercial soil testing laboratory for suitability for ornamental planting. A copy of the results of the soil analysis shall be submitted to the Owner and Landscape Architect. Contractor shall follow the recommendations of the soils lab as to the application of fertilizers & amendments to provide a suitable medium for planting. The Contractor shall notify the Landscape Architect and Owner of any potential problems which may result due to harmful substances found in the soil. Failure to act as specified may result in the Contractor assuming financial responsibility for any damage to plants.
 2. Contractor shall clear and grub all planting areas, removing all weed growth and construction debris, prior to installation of plant materials.
 3. All plants are identified by typical symbols and quantities in each area. Plant quantities indicated on the plan are approximate and are provided for the convenience of the contractor. It shall be the responsibility of the contractor to confirm all plant quantities prior to bidding, in the event of discrepancies in plant count, quantities indicated by plant symbols shall prevail.
 4. As noted above, all plant materials shall be set out as shown on plan by Contractor for approval by Landscape Architect. Landscape Architect shall inspect Contractor layout prior to actual plant installation. Landscape Architect shall be given 48 hours notice to inspect Contractor layout prior to final plant installation.
 5. Contractor shall provide and install 3" of mulch in all planted areas unless otherwise noted. Mulch to be Ground Cedar Bark, 1/2 inch-1 inch. Mulch shall be spread evenly. Contractor to provide Landscape Architect with samples of mulch for approval prior to installation.
 6. All DG (decomposed granite) mulch to be stabilized, brown color.
 7. Linear Root Barriers shall be provided for all trees 5' or closer to paving and curbs.
 8. All (E) trees to remain unless otherwise noted.

Materials Legend

Area	Material	Size	Area
NA	DG (decomposed granite)	NA	2,056 SF
8" W	Mexican river cobble 2 3" DIA. "bu" (see detail L3.2)	8" W	65 SF
2' x 2'	Pebble, Diverse® Integral colored concrete w/ double braded saw cut joints. Finish: Direct Colors Walnut/65454b	2' x 2'	571 SF
4' x 4'	Natural colored concrete w/ double braded saw cut joints. Finish: TOPCAST 9 #65 W/ matte sealer	4' x 4'	1,411 SF
NA	Natural colored concrete w/ double braded saw cut joints. Finish: TOPCAST 9 #65 W/ matte sealer	NA	880 SF

*Concrete Pigment Supplier: DAVIS COLORS <https://www.daviscolors.com/>
**Glaze: W Steel Natural Look Penetrating Sealer Product #: 32/GNPR32