



Staff Report

File #: 24-0111

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 02/12/2024

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PP2023-0008: Precise Plan application to review the site plan, architecture, fencing and landscaping for 19 single family dwelling units proposed on 4.73 acres located on the northwest corner of Taylor Avenue and Citron Street in the R-1-8.4 Zone (Single Family Residential, 8,400 square feet minimum lot size). (Applicant: Bryan Bergeron, Foremost Pacific Group, 27271 Las Ramblas, Suite 100, Mission Viejo, CA 92691.)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2626 GRANTING PP2023-0008 based on the findings contained in the staff report and conditions of approval, and find the project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State Guidelines for Implementing CEQA.

PROJECT SITE SUMMARY:

Area of Property: 4.73 acres

Existing Zoning: R-1-8.4 (Single Family Residential, minimum 8,400 square feet lot size)

Existing General Plan: LDR (Low Density Residential, 3-6 du/ac)

Existing Land Use: Undeveloped

Proposed Land Use: Single Family Residential

Surrounding Zoning/Land Uses:

N: R-1-8.4/Single Family Residences

E: R-1-8.4/Single Family Residences

S: R-1-8.4/ Single Family Residences

W: R-1-8.4/Single Family Residences

BACKGROUND

Precise Plan 2023-0008 (PP2023-0008) is for the review of the site plan, architecture, fencing and landscaping for 19 single family residential lots. The project site is a vacant in-fill parcel of 4.73 acres

located on the northwest corner of Taylor Avenue and Citron Street, as shown on Exhibit 2.

On January 5, 2022, the City Council approved Tentative Tract Map 37980 (TTM 37980) to subdivide the 4.73-acre parcel into 19 lots for single family residential purposes. The subdivision was approved for Priem Properties.

On August 3, 2023, Foremost Pacific Group, (Applicant) submitted a Development Plan Review (DPR) application to pre-review the site plan and architectural design of the proposed residential project. The DPR Committee reviewed the preliminary proposal at its August 24, 2023 meeting, at which time comments were provided to the applicant. The applicant formally submitted the Precise Plan application (PP2023-0008) on October 12, 2023, which was reviewed by the Project & Environmental Review Committee on November 2, 2023. The precise plan application was deemed complete and scheduled for the February 12, 2024 Planning & Housing Commission meeting.

The applicant conducted community outreach by providing a project information mailer to the surrounding neighbors. A copy of the mailer is provided as Exhibit 8.

PROJECT DESCRIPTION

Site Plan

As shown on Exhibit 3, the site plan is consistent with the previously approved subdivision (TTM 37980) which consists of 19 residential lots and the extension of Lorraine Drive and Susanne Street. The project site is zoned R-1-8.4, which permits single family residential dwellings on a minimum lot size of 8,400 square feet. The lots, as approved under TTM 37980, range from 8,400 square feet to 14,033 square feet, and have an average lot size of 9,326 square feet.

The site plan demonstrates compliance with the minimum required front, side and rear yard setbacks as prescribed by the Corona Municipal Code (CMC) for the R-1-8.4 zone. Notably, the project provides front yard setbacks ranging from the minimum required setback of 25 feet to 30 feet. This variation in the front yard setback is recommended by the City's Residential Development Design Guidelines and provides for a more attractive street scene.

The project adheres to the CMC's maximum allowable lot coverage of 35% for single-story units and 40% for two-story units. Each lot is provided with a dedicated side yard area with a 10' x 6' concrete pad for the storage of waste receptables.

The Residential Development Design Guidelines requires at least 15% of the overall number of units be one-story. Of the 19 units proposed, seven (7) units are one-story plans. The remaining twelve (12) units are two-story plans. The proposed one-story units equate to 37% of the overall project.

The site plan depicts an accessory dwelling unit (ADU) on each lot. The ADUs are located behind the primary dwelling and will share the driveway that is provided for each lot. Each ADU has its own designated one-car garage that is either attached to the primary dwelling's garage by a breezeway or shares a wall with the primary dwelling's garage. It is important to note that although the applicant has chosen to include the ADU locations as part of this precise plan for informational purposes, under State law, ADUs are not subject to discretionary review (i.e., Planning & Housing Commission

review). In accordance with State law mandate, the ADUs will be reviewed through the city's ministerial building permit plan check process for conformance with the city's ADU ordinance.

Floor Plan:

The project provides six different floor plans, in various sizes as summarized below:

One-story units:

- Plans 1A and 1C - living area 1,475 square feet, 3 bedrooms/2 baths

Two-story units:

- Plans 2B and 2D - living area 1,592 square feet, 3 bedrooms/2.5 baths
- Plans 3A and 3C - living area 1,798 square feet, 3 bedrooms/3 baths

The one-story units are designed with the bedrooms toward the front of the unit and with the common living areas such as kitchen and dining room adjacent to the rear yards. The two-story products utilize the traditional floor plan layout with common living area on the ground floor and private sleeping areas on the second floor. Each unit is provided with an attached two-car garage as required by the CMC. The floor plans are attached as Exhibit 5.

Architecture

The project is proposing four (4) different architectural styles: French Country, Tuscan, Spanish, and Craftsman. These four styles are intermixed within the development to provide visual interests and avoid identical homes side-by-side. Prominent architectural features of each style are provided on all homes, including earth tone colored exterior stucco walls with a variety of decorative stone veneers, brick, corbels, gable ends, and shutters. Street elevations are particularly enhanced with the above-mentioned decorative elements and each home features a recessed entry alcove or porch. As proposed, the architectural styles meet the Residential Development Design Guidelines.

The one-story units range in height from 17'-10" and 18'-5" and the two-story units are 24'-1" and 25'-8". The building heights are within the zoning's maximum allowable height limits of 25 feet for one-story homes and 30 feet for two-story homes. The proposed styles, building massing, and height are generally compatible with the existing homes within the surrounding neighborhoods in the vicinity. Elevations are provided in Exhibit 6.

Landscaping

The conceptual landscape plan provided as Exhibit 7 shows landscaping within the front yards of the homes, including two 24-inch box trees and a variety of shrubs and groundcovers on each lot. Additionally, wood mulch and synthetic turf will be provided in the rear yards of each lot.

The project includes parkway landscaping by providing one tree per lot. Several existing palm trees within the public right-of-way along Taylor Avenue will be removed in order to accommodate new driveways to access Lots 10 to 14. The project is conditioned to coordinate with the Community Services Department prior to tree removal in the public right-of-way and that any tree removed shall be replaced at a ratio of 2 to 1.

Walls and Fencing

The project provides decorative split-face block walls around the perimeters of the project and the interior walls of each lot. Vinyl fencing will be used to separate the primary dwelling from the ADU within each lot to create private yards for each unit within each lot. Retaining walls varying in height from 2.5 feet to 5 feet will be constructed along the project's west and north perimeters, between the existing residence and Lots 1,2, 9, and 10. To enhance the streetscape and reduce the intrusive massing of a solid block at the northwest corner of Taylor Avenue and Citron Street, Lot 15 will be improved with a 6-foot high freestanding decorative split-face block wall approximately 20 feet from the side (Taylor Avenue) property line and a sloped landscape area will be located adjacent to the sidewalk.

Easement

A 20-foot-wide public drainage easement will be established along the northerly property line of Lots 9 and 10. The easement will provide the needed areas for underground pipes to allow stormwater to drain from Lorraine Drive to Taylor Street.

Access and Circulation

Vehicular access from Lots 10 through 19 will be provided from Taylor Avenue and Citron Street. Interior lots, Lots 1 through 9, will take vehicular access from the newly extended Lorraine Drive and Susanne Street which both currently dead-end into the project site from the north and west. Both streets will be extended to accommodate the project and provide an overall right-of-way width of 60 feet with curbs, gutters, landscape parkways and sidewalks improvements.

ENVIRONMENTAL ANALYSIS

Per Section 15332 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.28 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 32 (In-Fill Development Projects) categorical exemption. The project is consistent with the site's General Plan and Zoning designations and applicable plan policies; is less than five (5) acres in size; is surrounded by urban uses; has no habitat for endangered, rare or threatened species; the project would not result in significant traffic, noise, air quality or water quality effects; and the site is adequately served by utilities and public services. The Notice of Exemption is attached as Exhibit 10.

FISCAL IMPACT:

The applicant has paid the applicable application processing fees for the project.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, staff received comments from a resident concerning the proposed walls separating the project from the properties fronting Shirley Drive, which is west of the project boundary.

STAFF ANALYSIS

Precise Plan 2023-0008 establishes a residential development that is consistent with the City's

General Plan, Zoning codes, and Residential Architectural Design Guidelines. The proposed homes provide varied setbacks, exterior materials and colors, and architectural features which contribute to the overall project's compatibility with the existing residential homes in the vicinity. The project complies with the development standards prescribed in the R-1-8.4 zone, including building setback, height, lot coverage, and parking requirements. Additionally, the landscaping complies with City's landscaping design guidelines for residential projects with the use of water conserving and non-invasive planting materials. Perimeter walls and interior walls separating each lot will be constructed of high-quality decorative split-face wall material with a cap on top of the wall. Furthermore, all missing public improvements are guaranteed with the development of the project.

The proposed project implements goals and policies in the adopted General Plan as stated in the Findings of Approval below. Therefore, the Planning and Development Department recommends approval of PP2023-0008 based on the findings below and conditions of approval shown in Exhibit 4.

FINDINGS OF APPROVAL FOR PP2023-0008

1. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code (CMC) exist in reference to PP2023-0008 for the following reasons:
 - a. *The project is consistent with the Low Density Residential land use designation of the General Plan because this land use designation is intended to accommodate this type of low density single-family residential development. Additionally, the project yields a density of 4.01 dwelling units per acre which falls within the allowable density range of 3 to 6 dwelling units per acre under the General Plan.*
 - b. *The proposal complies with the R-1-8.4 (Single Family Residential) zone development standards and other applicable requirements of the Corona Municipal Code including off-street parking requirements.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act (CEQA) and all applicable requirements and procedures of the act have been followed. The project qualifies as a Class 32 (In-Fill Development Projects) categorical exemption per Section 15332 of the State Guidelines for Implementing the CEQA and Section 3.28 of the City's Local CEQA Guidelines. The project is consistent with the site's General Plan and Zoning designations and applicable plan policies; is less than five (5) acres in size; is surrounded by urban uses; has no habitat for endangered, rare or threatened species; the project would not result in significant traffic, noise, air quality or water quality effects; and the site is adequately served by utilities and public services.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of the proposed single family residential development, including buildings and elevations, landscaping, on-site parking and other physical features of the proposal, as demonstrated and conditioned in Exhibit 4 of this report.*

- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards prescribed by the Corona Municipal Code for the R-1-8.4 zoned property.*
 - f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood by improving the existing vacant undeveloped property, creating 19 new single-family homes with perimeter decorative walls, attractive landscaping and associated public right-of-way improvements. Additionally, the building massing and volume will provide for harmonious, orderly and attractive development of the site that seamlessly blends in with the existing residential neighborhood.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, textures, and colors that are aesthetically appealing and will retain a reasonably adequate level of maintenance. The design of the proposed development adheres to the Residential Development Design Guidelines and complies with applicable requirements in the Corona Municipal Code.*
2. The proposal is consistent with the General Plan for the following reasons:
- a. The project is consistent with the property's General Plan land use designation of Low Density Residential and adheres to the land use and allowable density range of 3 to 6 dwelling units per acre.*
 - b. Development of the project fulfills General Plan Policy LU-8.7 which requires that new single-family residential developments constructed in existing neighborhoods be designed to complement existing residential structures in their property setbacks, scale, building materials, and color palette, and exhibit a high quality of architectural design.*
 - c. The project is consistent with General Plan Goal LU-9 which encourages the development of new residential neighborhoods that complement existing neighborhoods and assure a high level of livability for their residents.*
 - d. The project is designed to fulfill General Plan Policy LU-9.7 which encourages site design to incorporate varying heights and rooflines of the new residential development along street frontages to allow for visual interest.*

PREPARED BY: EVA CHOI, SENIOR PLANNER

REVIEWED BY: SANDRA VANIAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2626
2. Locational and Zoning Map
3. Site Plan
4. Conditions of Approval
5. Floor Plans
6. Elevations
7. Landscape Plan
8. Applicant's Outreach Documentation
9. Applicant's Project Letter
10. Environmental Documentation

Case Planner: Eva Choi (951) 736-2437



RESOLUTION NO. 2626

APPLICATION NUMBER: PP2023-0008

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN TO REVIEW THE SITE PLAN, ARCHITECTURE, FENCING AND LANDSCAPING FOR 19 SINGLE FAMILY DWELLING UNITS PROPOSED ON 4.73 ACRES LOCATED ON THE NORTHWEST CORNER OF TAYLOR AVENUE AND CITRON STREET IN THE R-1-8.4 (SINGLE FAMILY RESIDENTIAL, MINIMUM LOT SIZE OF 8,400 SQUARE FEET) ZONE. (BRYAN BERGERON, FOREMOST PACIFIC GROUP)

WHEREAS, the application to the City of Corona, California, for a Precise Plan under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission to review the site plan, architecture, fencing and landscaping for 19 single family dwelling units proposed on 4.73 acres located on the northwest corner of Taylor Avenue and Citron Street in the R-1-8.4 (Single Family Residential, minimum lot size of 8,400 square feet) zone; and

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PP2023-0008 on February 12, 2024, as required by law; and

WHEREAS, the Planning and Housing Commission finds that, pursuant to Section 15332 of the State CEQA Guidelines and Section 3.28 of the City of Corona's Local Guidelines for Implementing CEQA, the project qualifies as a Class 32 (In-Fill Development Projects) Categorical Exemption under CEQA, and there is no possibility that the activity may have a significant effect on the environment; and

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PP2023-0008 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PP2023-0008 on certain conditions of approval and the findings set forth below.

EXHIBIT 1

**NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION
OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

SECTION 1. CEQA Findings. As the decision-making body for this PP2023-0008, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as an exemption under CEQA per Section 15332 of the State CEQA Guidelines. Per Section 15332 of the State CEQA Guidelines, a Notice of Exemption has been prepared because the project qualifies as a Class 32 (In-Fill Development Projects) Categorical Exemption under CEQA. The project is less than five acres in size and surrounded by urban uses; the project is consistent with the site's General Plan and zoning designations; the project will be adequately served by utilities and public services; and does not result in significant impacts to traffic, noise, air quality, or water quality. There is no evidence presented to the city that the project will have any significant effects on the environment.

SECTION 2. Precise Plan Findings. Pursuant to Corona Municipal Code ("CMC") section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code (CMC) exist in reference to PP2023-0008 for the following reasons:
 - a. *The project is consistent with the Low Density Residential land use designation of the General Plan because this land use designation is intended to accommodate this type of low density single-family residential development. Additionally, the project yields a density of 4.01 dwelling units per acre which falls within the allowable density range of 3 to 6 dwelling units per acre under the General Plan.*
 - b. *The proposal complies with the R-1-8.4 (Single Family Residential) zone development standards and other applicable requirements of the Corona Municipal Code including off-street parking requirements.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act (CEQA) and all applicable requirements and procedures of the act have been followed. The project qualifies as a Class 32 (In-Fill Development Projects) categorical exemption per Section 15332 of the State Guidelines for Implementing the CEQA and Section 3.28 of the City's Local CEQA Guidelines. The project is consistent with the site's General Plan and Zoning designations and applicable plan policies; is less than five (5) acres in size; is surrounded by urban uses; has no habitat for endangered, rare or threatened species; the project would not result in significant traffic, noise, air quality or water quality effects; and the site is adequately served by utilities and public services.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of the proposed single family residential development, including buildings and elevations, landscaping, on-site parking and other physical features of the*

proposal, as demonstrated and conditioned in Exhibit 4 of this report.

- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards prescribed by the Corona Municipal Code for the R-1-8.4 zoned property.*
 - f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood by improving the existing vacant undeveloped property, creating 19 new single-family homes with perimeter decorative walls, attractive landscaping and associated public right-of-way improvements. Additionally, the building massing and volume will provide for harmonious, orderly and attractive development of the site that seamlessly blends in with the existing residential neighborhood.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, textures, and colors that are aesthetically appealing and will retain a reasonably adequate level of maintenance. The design of the proposed development adheres to the Residential Development Design Guidelines and complies with applicable requirements in the Corona Municipal Code.*
2. The proposal is consistent with the General Plan for the following reasons:
- a. The project is consistent with the property's General Plan land use designation of Low Density Residential and adheres to the land use and allowable density range of 3 to 6 dwelling units per acre.*
 - b. Development of the project fulfills General Plan Policy LU-8.7 which requires that new single-family residential developments constructed in existing neighborhoods be designed to complement existing residential structures in their property setbacks, scale, building materials, and color palette, and exhibit a high quality of architectural design.*
 - c. The project is consistent with General Plan Goal LU-9 which encourages the development of new residential neighborhoods that complement existing neighborhoods and assure a high level of livability for their residents.*
 - d. The project is designed to fulfill General Plan Policy LU-9.7 which encourages site design to incorporate varying heights and rooflines of the new residential development along street frontages to allow for visual interest.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan.

Adopted this 12th day of February, 2024.



Matt Woody, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Belinda Capilla
Secretary, Planning and Housing Commission
City of Corona, California


I, Belinda Capilla, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in an adjourned regular session of said Planning and Housing Commission duly called and held on the 12th day of February, 2024, and was duly passed and adopted by the following vote, to wit:

AYES: Woody, Alexander & Longwell

NOES: None

ABSENT: None

ABSTAINED: None



Belinda Capilla
Secretary, Planning and Housing Commission
City of Corona, California

LOCATIONAL MAP



PP2023-0008
Northwest Corner of
Taylor Ave. and Citron St.





Project Conditions

City of Corona

Project Number: PP2023-0008

Description: PP for 19 single family lots.

Applied: 10/12/2023

Approved:

Site Address: NWC Citron & Taylor CORONA, CA 0

Closed:

Expired:

Status: RECEIVED

Applicant: Bryan Bergeron

Parent Project:

27271 Las Ramblas Suite 100 Mission Viejo CA, 92691

Details: Precise Plan for 19 single family lots associated with TTM 37980, subdivision of 4.73 acres located on the northwest corner of Taylor Avenue and Citron Street.

LIST OF CONDITIONS

DEPARTMENT	CONTACT
BUILDING	Chris Milosevic
<ol style="list-style-type: none">1. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.2. Roofing material shall be Class A.3. At the time of Building Plan Check submittal, the applicant shall comply with the city's plan check submittal requirements which includes the following: Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code chapter 15.60), including size of main switch, number and size of service entrance conductors, single line diagram, circuit schedule and demand load calculations * Plumbing plans including sewer or septic tank location, minimum number of plumbing fixture calculations, isometric diagram including underground piping, water and drainage fixture unit calculations and pipe sizing including meter and building supply, gas piping and roof venting plan * Mechanical plan, heating and air conditioning diagram, equipment schedule * Landscape and Irrigation plans - Paper submittals shall include four (4) complete sets detached from building plans. Refer to the city's plan check submittal requirements and checklists for a complete list.4. Paper plan submittals shall include two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.5. Separate permits are required for all fences, walls, signs, and PV systems.6. Comply with the Corona Burglary Ordinance contained in CMC chapter 15.52. Copies are available at the Building Division counter or online at www.CoronaCA.gov/Building.7. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.8. Provide minimum sized solar PV and battery energy storage system per the California Energy Code. A separate permit is required9. Grading plans shall be approved and pads certified prior to Building permit issuance.10. Utilities shall meet the utility authority's service requirements. Applicant shall coordinate the utility locations and design with the respective utility provider.11. The on-site electrical service feeding the building shall be underground per CMC chapter 15.60.12. Project shall be designed to conform to the applicable edition of the California Building Standards Code including local amendments, and the Corona Municipal Code.13. A/C condensers shall be located at least 10 ft. from property lines unless a 5 ft. tall block wall is constructed per CMC 17.84.040 (D)(1).	



Project Conditions

City of Corona

BUILDING	Chris Milosevic
<p>14. Provide list of Deferred Submittals on the title sheet of building plans. Building plans shall be complete and only specialized systems such as trusses, fire sprinklers, and alarms may be deferred. Other items may be deferred on a case by case basis if approved by the Building Official.</p> <p>15. All deferred features and related permits shall be approved, and the building not be occupied, prior to issuance of CofO. Utilities will not be released until a CofO, TCO, or Temporary Utility Bond has been issued.</p>	
FIRE	Xente Baker
<p>1. Place Fire Department DPR comments on plans as general notes.</p> <p>2. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal.</p> <p>3. Plans shall show a minimum drive width of 28 feet.</p> <p>4. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</p> <p>5. A minimum fire flow of 1500 gallons per minute at 20 psi shall be provided for one- and two-family dwellings.</p> <p>6. Fire hydrants are to be spaced a maximum 300 feet apart, one- and two-family dwellings only</p> <p>7. Private on-site fire hydrants shall be designed and installed in accordance with NFPA standards 24 and 13 and city standards. Private fire hydrants shall be painted rustoleum red or equivalent. Plans shall be submitted separately as an underground fireline through the Building Department for review and approval.</p> <p>8. Provide Class A roofing material on all structures per the Corona Municipal Code.</p> <p>9. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.</p> <p>10. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.</p> <p>11. Smoke detectors and/or carbon monoxide detectors shall be installed per the California Building, Fire and Residential Code.</p> <p>12. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.</p> <p>13. Residential Fire Sprinklers shall be installed per California Fire and Residential Code, and NFPA 13.</p>	
PLANNING	Eva Choi
<p>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</p> <p>2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</p>	



Project Conditions

City of Corona

PLANNING	Eva Choi
<ol style="list-style-type: none">3. TTM 37980 shall be recorded prior to the issuance of any building permit for production units.4. Prior to submittal of the landscape plan for permit review, the applicant shall coordinate with the Community Services Department prior to removing palm trees in the public right-of-way. The applicant shall provide replacement trees at the project site at a ratio of 2 to 1.5. Prior to issuance of a grading permit the developer shall provide advance notification of grading activities to the residents located in proximity to the project site. The notification shall be a flyer containing the name and contact phone number of the project manager, developer or superintendent on site. A sign shall also be placed at the project site during grading and construction with all contact information for the project.6. The applicant shall install a temporary chain link fence with a dust tamer screen along the perimeters of the project site. The fence shall be in place prior to on-site grading activities.7. Prior to issuance of Certificate of Occupancy for each residential unit, the on-site landscaping, parkways, walls and fences shall be installed.8. Construction traffic shall not access existing residential streets (Lorraine Drive and Susanne Street) and all construction parking shall be on the project site.9. Prior to issuance of a Certificate of Occupancy, a 10' x 6' paved concrete pad for waste bins with a 3-foot wide pedestrian walkway connecting the concrete pad to the front yard shall be installed on the side of each residential unit, per the Public Works Department Standard.10. Prior to issuance of a grading permit, the applicant shall submit for review and implement a vector control program. The program shall also provide for continued monitoring and relocation of vector during the grading and construction process. A final report upon completion shall be submitted to the Planning & Development Department.11. Per recommendations in the Biological Technical Report prepared by ECORP Consulting, Inc. (March 24, 2021 Revised July 22, 2021), to the extent possible, the applicant shall not remove the palm trees located in the Taylor Avenue right-of-way during the breeding season of nesting birds. Breeding season is defined as February 1st through August 31st. Should the project phasing result in the potential removal of trees during the breeding season, the applicant shall submit to the Planning & Development Department a pre-construction bird survey prepared by the project biologist prior to the removal of trees. The pre-construction survey shall identify if, how and when the trees may be removed. If the survey indicates the presence or potential presence of nesting, the trees shall only be removed as recommended by the biologist.12. Per recommendations in the Biological Technical Report prepared by ECORP Consulting, Inc. (March 24, 2021, Revised July 22, 2021), to the extent possible, the applicant shall not conduct grading during the breeding season of nesting birds. Breeding season is defined as February 1st through August 31st. Should the project phasing result in the potential for grading during the breeding season, the applicant shall submit to the Planning & Development Department a pre-construction bird survey prepared by the project biologist prior to any grading. The pre-construction survey shall identify if, how and when grading may occur. If the survey indicates the presence or potential presence of nesting, the grading shall only occur when recommended by the biologist.13. At time of plan check, landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the applicant shall submit a landscape deposit in the amount of \$5,000 to the Planning Division which will be applied towards landscape plan check and inspection services to be provided by a landscape consultant. Any money left remaining at the completion of the project will be reimbursed to the developer. Please note that this deposit is separate from the Building Division's plan check submitted fee.14. All perimeter walls including the walls along the internal lot lines and side yard returns shall be constructed of decorative masonry on both sides. Returns gates shall be vinyl or wrought iron.15. Applicant shall construct decorative block walls along the perimeter of the tract, including the perimeter between existing residences and the new residences. If adjoining lots are improved with existing fencing or wall, the new decorative block wall shall be placed in a manner to avoid a gap between existing fence/wall and new wall. The developer shall collaborate with adjacent neighbors on wall removals where project walls are proposed. [Added by the Planning and Housing Commission on February 12, 2024]16. All walls and fences shall be submitted as a separate submittal for building permit plan check.	



Project Conditions

City of Corona

PLANNING	Eva Choi
<p>17. The perimeter walls including the walls along the internal lot lines and return walls and gates shall be installed prior to the issuance of a Certificate of Occupancy.</p> <p>18. This project is subject to Riverside County's Multi-Species Habitat Conservation Plan (MSCHP) mitigation fee, which shall be paid by the applicant prior to the issuance of a building permit.</p> <p>19. The project shall comply with the approved exhibits and conditions of approval for PP2023-0008 and TTM 37980.</p> <p>20. Approval of PP2023-0008 is conditional upon the privileges being utilized by securing the first permit within two (2) years of the effective date of this precise plan approval, and if construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have elapsed.</p> <p>21. The gates at the ends of the storm drain easements shall be 7 feet high. [Added by the Planning and Housing Commission on February 12, 2024]</p> <p>22. The developer shall discuss with Community Services Department to determine if any of the existing palm trees within the public right of way along Taylor Avenue can be protected in place. [Added by the Planning and Housing Commission on February 12, 2024]</p>	
PUBLIC WORKS	Cassidy Orewyler
<p>1. The Public Works, Planning and Development, and Utilities Department comments for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the comments shall be referred to the Planning and Development Department, Development Services Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.</p> <p>2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.</p> <p>3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the City Engineer that the proposed project will not unreasonably interfere with the use of any easement holder of the property.</p> <p>4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.</p> <p>5. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.</p> <p>6. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.</p> <p>7. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.</p> <p>8. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Planning and Development, Development Services Division. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.</p> <p>9. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:</p> <p>(a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.</p> <p>(b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the City Engineer or Building Official.</p> <p>(c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the City Engineer or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.</p>	



Project Conditions

City of Corona

PUBLIC WORKS	Cassidy Orewyler
<ol style="list-style-type: none">10. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:<ol style="list-style-type: none">a) All street facilities Citron Ave, Taylor Ave, Susanne St, and Lorraine Ave.b) All drainage facilities Taylor and Lorraine Ave.c) All required grading, including erosion control.d) All required sewer, water and reclaimed water facilities.e) All required landscaping.f) All under grounding of overhead utilities, except for cables greater than 32k volts.11. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the City Engineer.12. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Planning and Development Department, Development Services Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.13. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Planning and Development Department, Development Services Division.14. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.15. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.16. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (<i>Lepidospartum Squamatum</i>) has been completed.17. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.18. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.19. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.20. Prior to issuance of any grading permit, any environmental Phase I and Phase II findings and recommended actions to remove contamination resulting from previous use of the subject site shall be implemented.21. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the City Engineer.22. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Planning and Development Department, Development Services Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.23. Prior to the issuance of the first Certificate of Occupancy, the applicant shall enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP, if any storm water requirements were not addressed by the CC&R's for the map.24. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future homeowners of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.	



Project Conditions

City of Corona

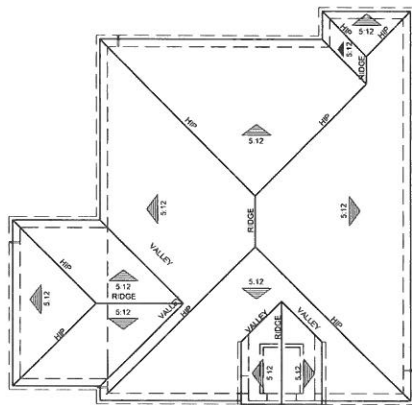
PUBLIC WORKS	Cassidy Orewyler
	<p>25. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.</p> <p>26. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the City Engineer.</p> <p>27. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.</p> <p>28. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All residential lots shall drain toward the street. Lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. All lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.</p> <p>29. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the City Engineer.</p> <p>30. Prior to recordation or approval of improvement plans, the improvement plans submitted by the applicant shall include the following:</p> <ul style="list-style-type: none"> a) All driveways shall conform to the applicable City of Corona standards and shall be shown on the street improvement plans. b) Under grounding of existing and proposed utility lines. c) Street lights per City Standards. d) Ramps shall meet ADA requirements at the intersection of Citron Street and Taylor Avenue. e) Yellow crosswalks per City Standards at the intersection of Citron Street and Taylor Avenue. f) All other public improvements shall conform to City of Corona standards. <p>31. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the City Engineer. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.</p> <p>32. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Planning and Development Department, Development Services Division.</p> <p>33. Prior to acceptance of improvements, the City Engineer may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.</p> <p>34. Prior to issuance of a Certificate of Occupancy, all proposed parkway and slope maintenance specified in the tentative map or in these Conditions of Approval shall be constructed.</p> <p>35. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.</p> <p>36. Prior to map recordation, issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.</p> <p>37. All the potable water and sewer design criteria shall be per City of Corona Utilities Department standards and Riverside County Department of Health Services Standards unless otherwise approved by the City Engineer and Utilities Director.</p>



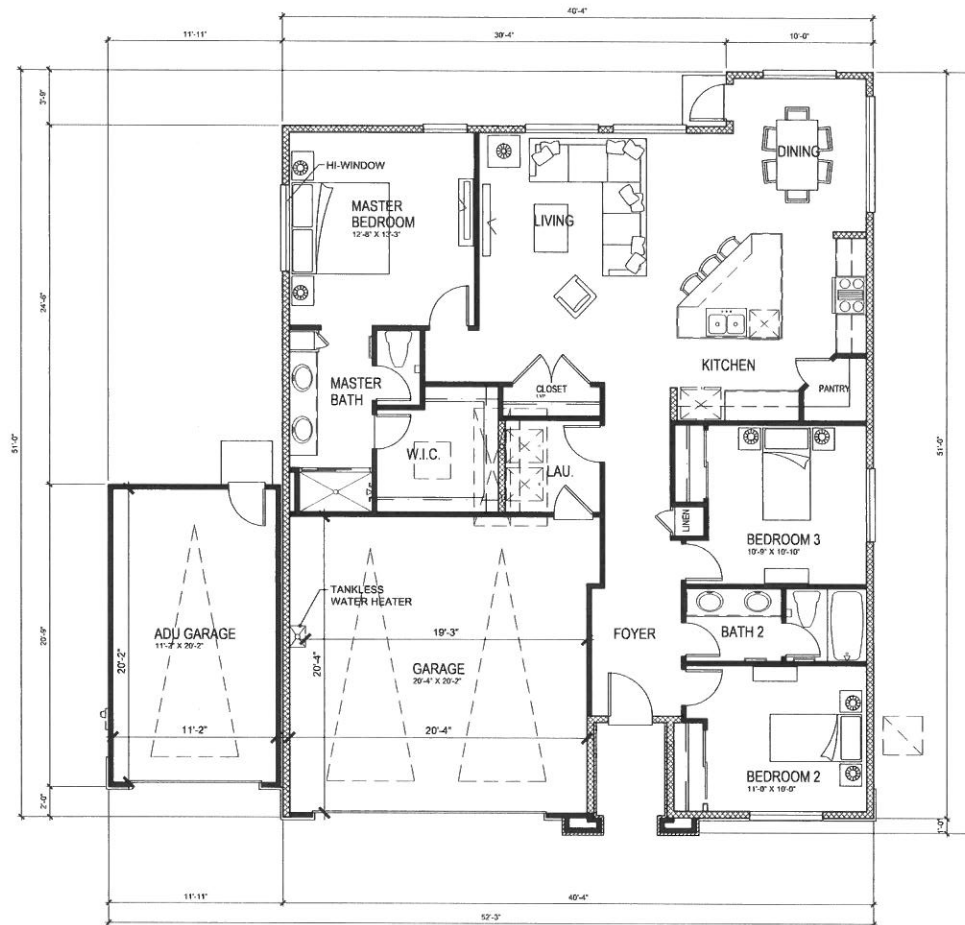
Project Conditions

City of Corona

PUBLIC WORKS	Cassidy Orewyler
	<p>38. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Planning and Development, Development Services Division and constructed by the developer, to the satisfaction of the City Engineer and Fire Chief.</p> <p>39. Prior to map recordation or approval of improvement plan, the developer shall construct or guarantee the construction of 8 inch ductile iron water mains on Citron Street and Taylor Street where water main line size is less than 8 inches, including abandonments and connections to adjacent services, hydrants, and mains. All water improvements shall be designed and constructed per the Utility Department Standard Plans and Design Policy.</p> <p>40. Prior to issuance of the first Certificate of Occupancy, all weather access road(s) shall be provided to all sewer manholes not located within public right-of-way.</p> <p>41. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.</p> <p>42. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.</p> <p>43. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, potable water services, sewer laterals, irrigation water services and reduced pressure principle assemblies within the public right of way and-or easements.</p> <p>44. Prior to building permit issuance the applicant shall construct or guarantee the construction of an 8 inch sewer on Susanne St and Lorraine Ave to serve the proposed development.</p> <p>45. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of 8 inch ductile water mains on Citron Street and Taylor Street where water mains are less than 8 inches.</p> <p>46. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Utilities Department standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20-foot-wide paved access road unless otherwise approved by the Director of Utilities. Structures and trees shall not be constructed or installed within a public utility easement.</p> <p>47. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.</p> <p>48. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.</p> <p>49. Static pressures exceeding 80 psi require an individual pressure regulator.</p> <p>50. Reclaimed water shall be used for any construction activity, unless otherwise approved by the Utilities Director or their designee. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.</p> <p>51. The applicant shall provide a separate irrigation water service for all HOA- CFD landscaped lots or easements.</p> <p>52. The landscape plans of all parkway and Landscape Maintenance District (LMD) and Community Facilities District (CFD) lots shall be prepared by a licensed Landscape Architect and shall be submitted to the City for review and approval.</p> <p>53. The developer shall install automatic irrigation to all street trees separated from adjacent residences by a fence or wall prior to the issuance of a Certificate of Occupancy.</p> <p>54. Prior to map recordation or issuance of a grading permit, the developer shall ensure that the proposed perimeter walls will not be located at the bottom of any slopes. Prior to issuance of a permit, the applicant shall work with the Planning and Development Services Divisions to reduce the height of the retaining wall along the east perimeter of Lot 15. Alternatively, the applicant may eliminate the retaining wall by placing the perimeter wall at the top of the slope with a CFD easement dedicated over the slope.</p>



ROOF PLAN
Scale: 1/8"=1'-0"



FLOOR PLAN

PLAN 1 AREA
(ATTACHED W/ ADU
GARAGE)

3 BEDROOM & 2 BATH

LIVABLE	1475	S.F.
GARAGE	436	S.F.
ADU GARAGE	244	S.F.
TOTAL STRUCTURE	2155	S.F.

PLAN 1A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-02

Scale: 1/4"=1'-0"

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

Preliminary



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RAUL HANNOUCHE - PRINCIPAL

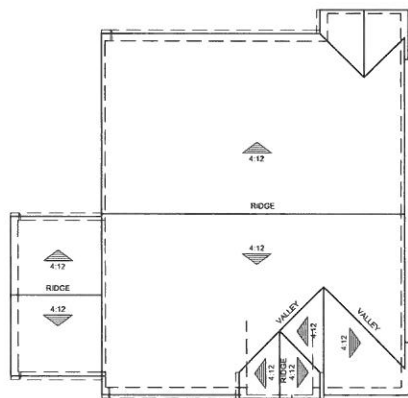
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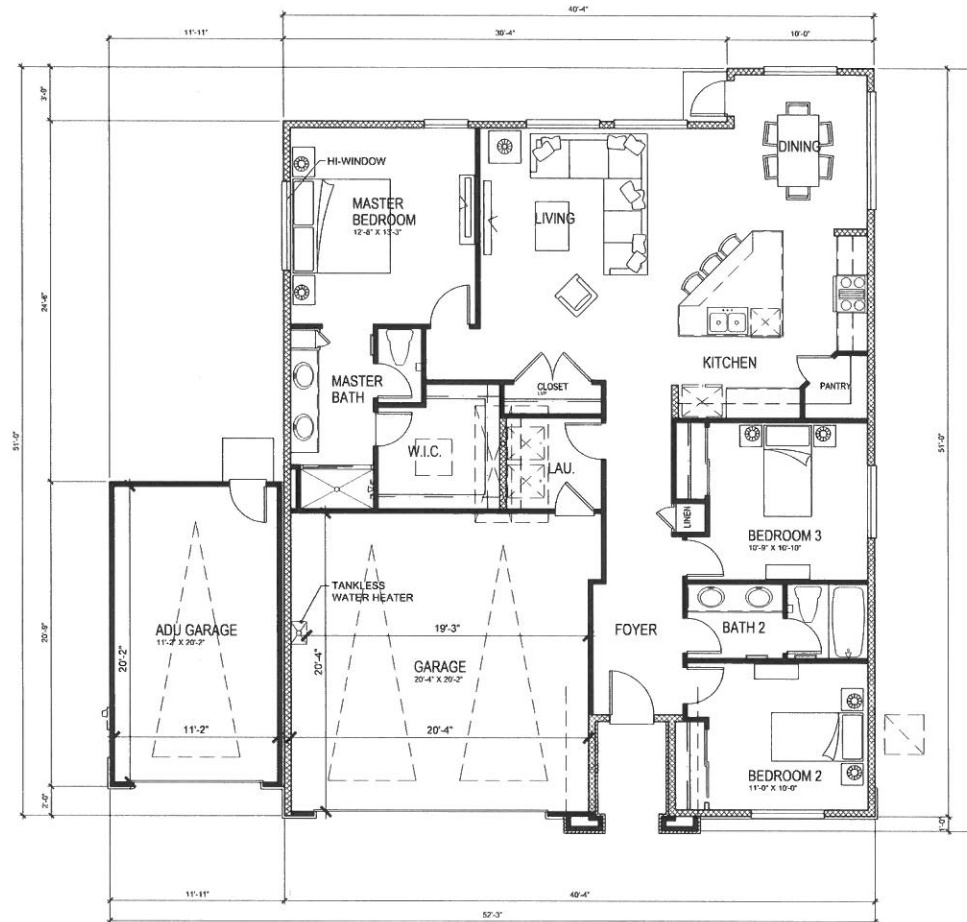
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PROJECT #2023017 September 20, 2023

CITRON
CORONA, CA

EXHIBIT 5



ROOF PLAN
Scale: 1/8"=1'-0"



FLOOR PLAN

PLAN 1
LIVABLE: 1475 SQ. FT.
GARAGE: 436 SQ.FT.
ADU GARAGE: 244 SQ. FT.

PLAN 1 AREA (ATTACHED W/ ADU GARAGE)		
3 BEDROOM & 2 BATH		
LIVABLE	1475	S.F.
GARAGE	436	S.F.
ADU GARAGE	244	S.F.
TOTAL STRUCTURE	2155	S.F.

PLAN 1C WITH ADU GARAGE
TUSCANY ELEVATION

A-07

Scale: 1/4"=1'-0"



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RAFAEL HANNOUCHE, ARCHITECT

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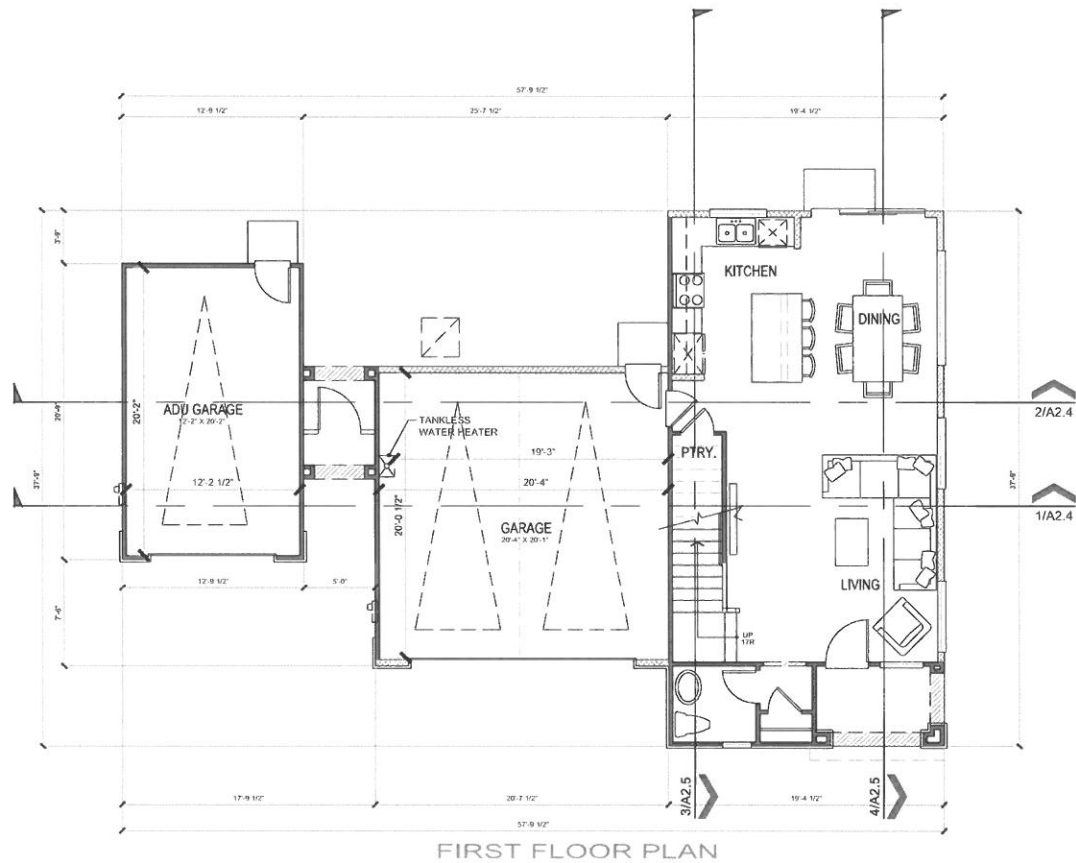
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949-348-8162

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PLAN 2 AREA (ATTACHED W/ ADU GARAGE)

3 BEDROOM & 2.5 BATH

LIVABLE	1592 S.F.
GARAGE	435 S.F.
ADU GARAGE	265 S.F.
TOTAL STRUCTURE	2292 S.F.

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

A-12

Scale: 1/8"=1'-0"

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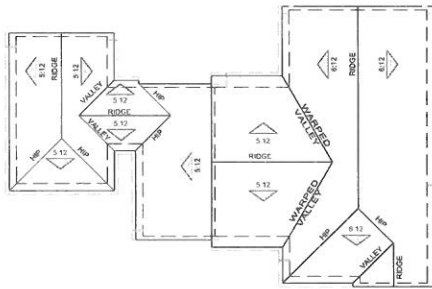
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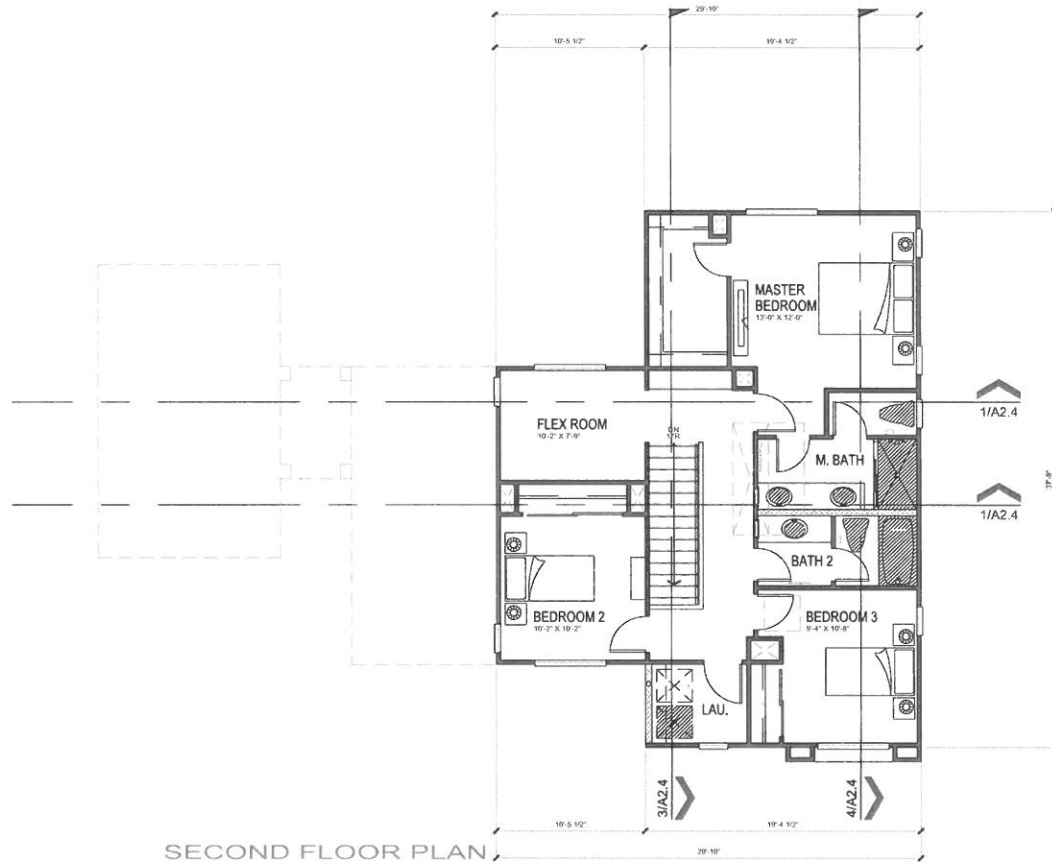
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CORONA, CA



ROOF PLAN
Scale: 1/16"=1'-0"



SECOND FLOOR PLAN

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

A-13

Scale: 1/8"=1'-0"

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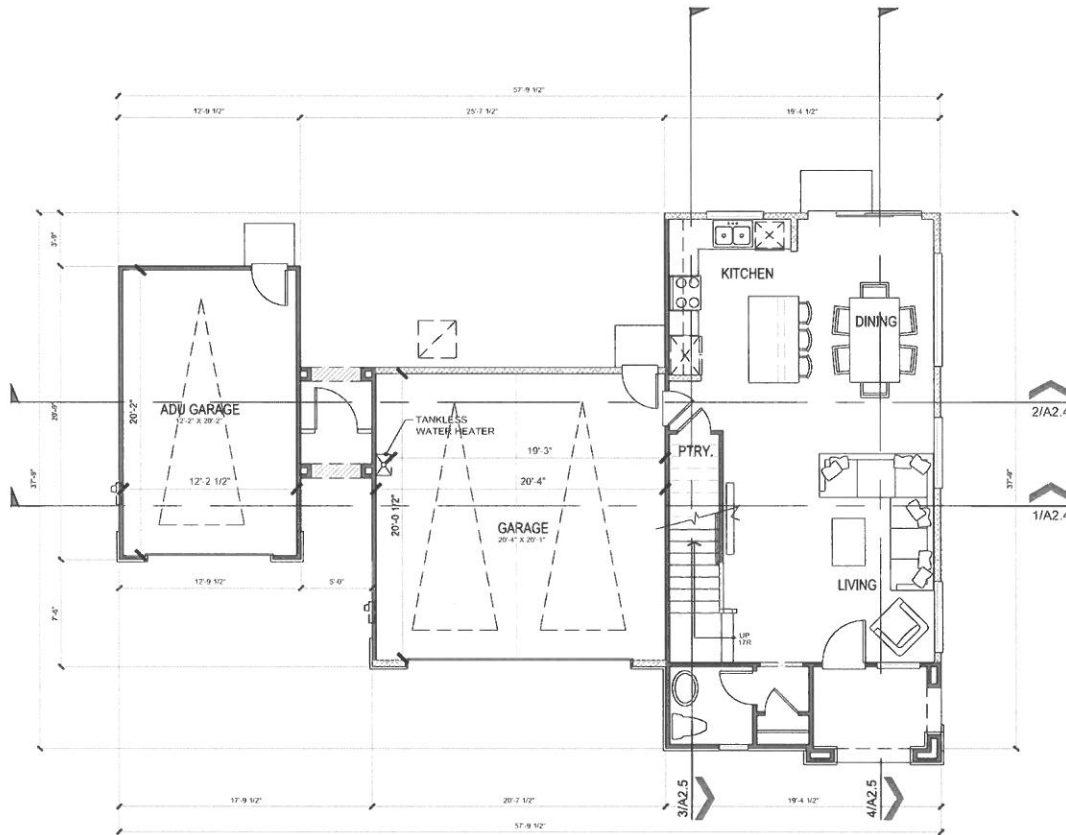
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FIRST FLOOR PLAN
PLAN 2

PLAN 2D WITH ADU GARAGE
CRAFTSMAN ELEVATION

PLAN 2 AREA (ATTACHED W/ ADU GARAGE)		
3 BEDROOM & 2.5 BATH		
LIVABLE	1592	S.F.
GARAGE	435	S.F.
TOTAL	2027	S.F.



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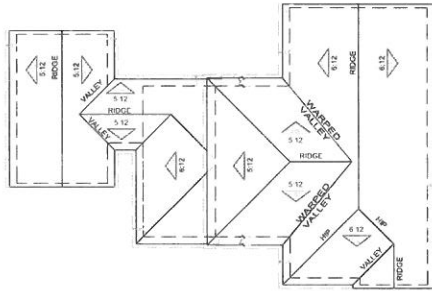
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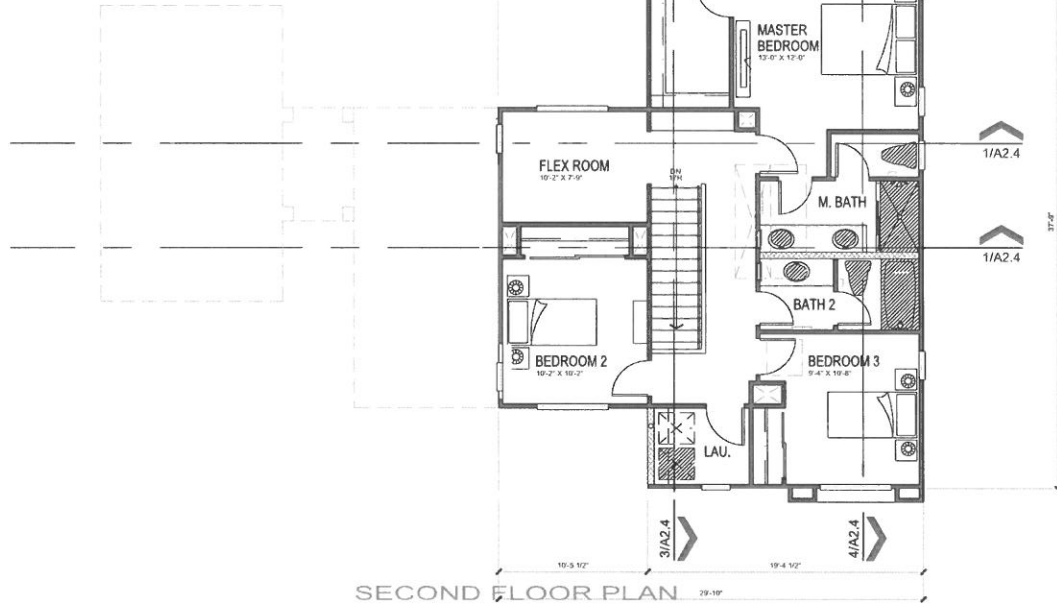
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A-18

Scale: 1/8"=1'-0"



ROOF PLAN
Scale: 1/16"=1'-0"



SECOND FLOOR PLAN

PLAN 2D
CRAFTSMAN ELEVATION

A-19

Scale: 1/8"=1'-0"

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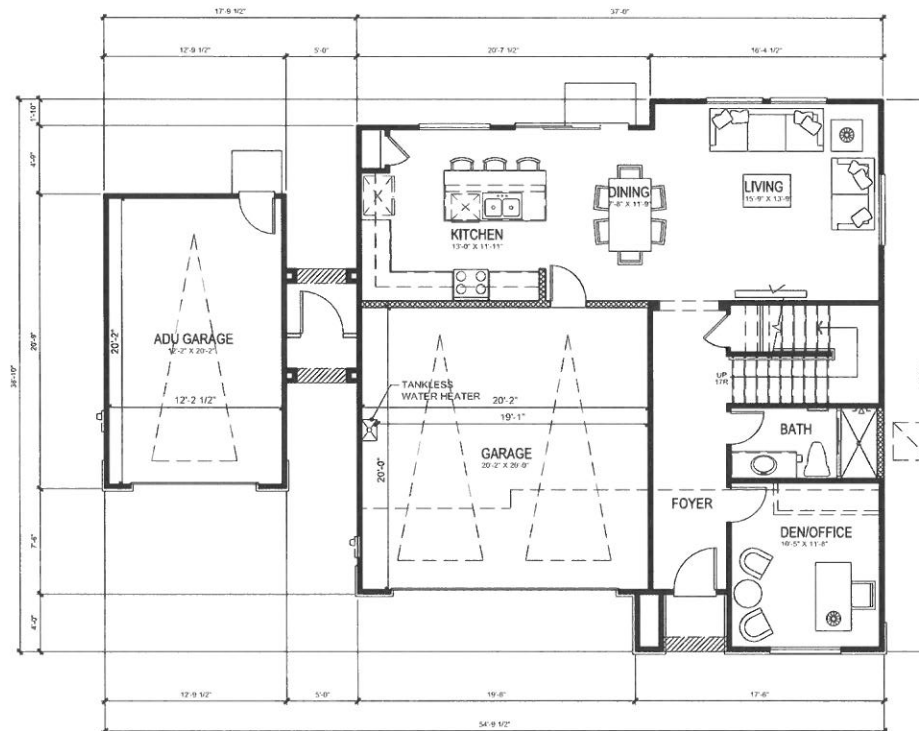
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FIRST FLOOR PLAN

PLAN 3 AREA (ATTACHED W/ ADU GARAGE)		
3 BEDROOM & 3 BATH W/ DEN/ OFFICE		
LIVABLE	1798	S.F.
GARAGE	419	S.F.
ADU GARAGE	265	S.F.
TOTAL STRUCTURE	2482	S.F.

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-24

Scale: 1/8"=1'-0"

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

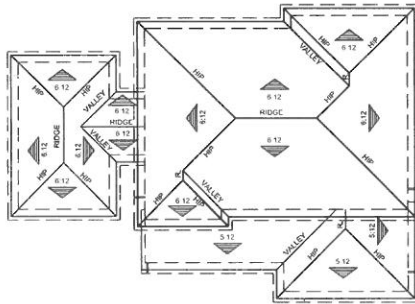
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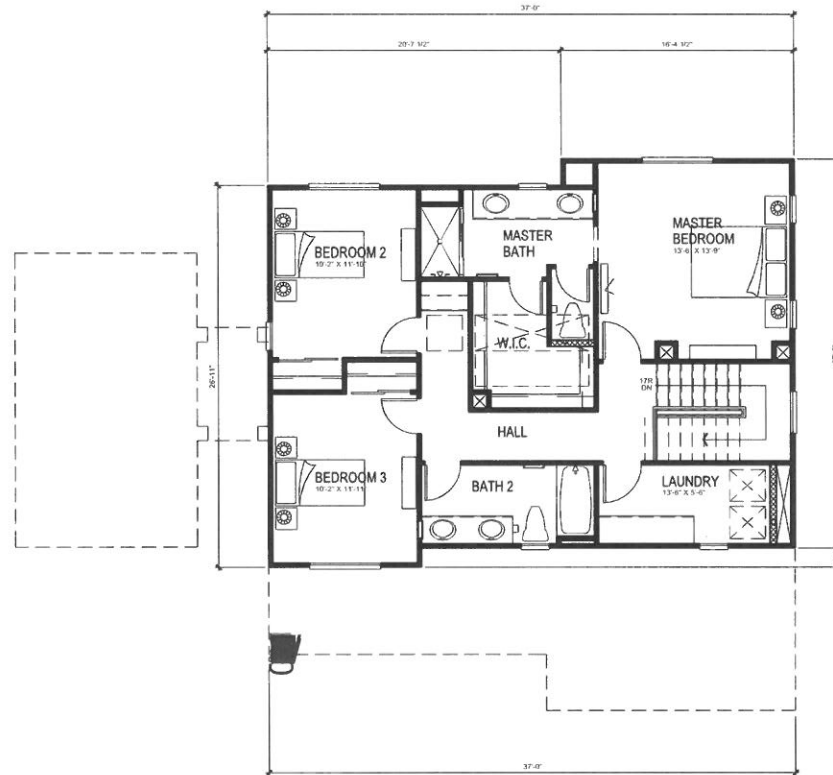
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PROJECT #2023017 September 20, 2023

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ROOF PLAN
Scale: 1/16"=1'-0"



SECOND FLOOR PLAN

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-25

Scale: 1/8"=1'-0"



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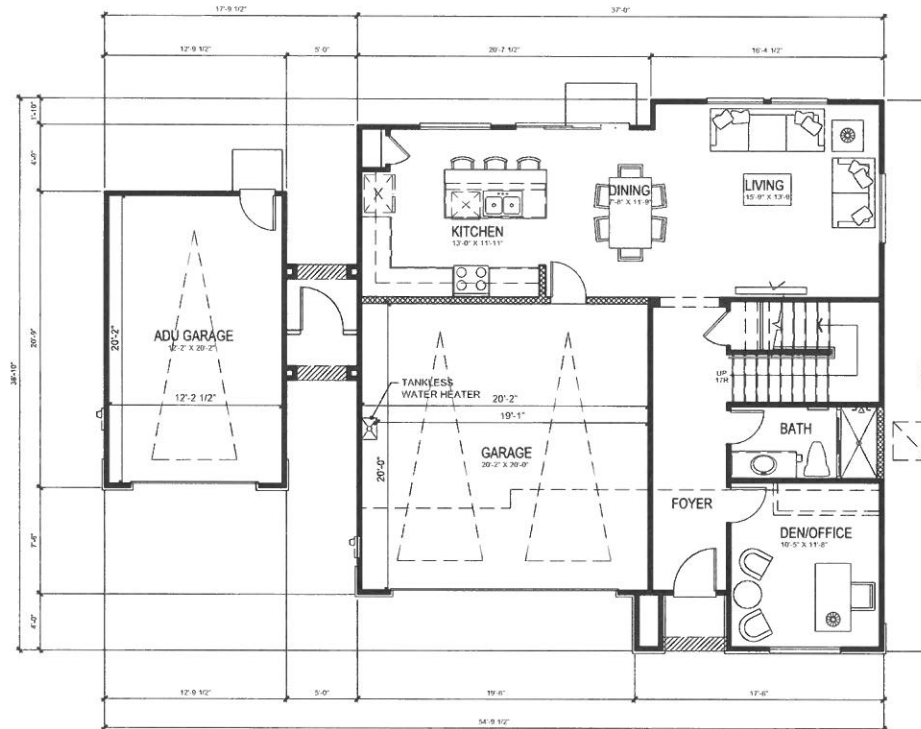
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PROJECT #2023017 September 20, 2023

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FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

Preliminary



FIRST FLOOR PLAN

PLAN 3 AREA (ATTACHED W/ ADU GARAGE)		
3 BEDROOM & 3 BATH W/ DEN/OFFICE		
LIVABLE	1798	S.F.
GARAGE	419	S.F.
TOTAL	2217	S.F.

PLAN 3C WITH ADU GARAGE
TUSCANY ELEVATION

A-30

Scale: 1/8"=1'-0"

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

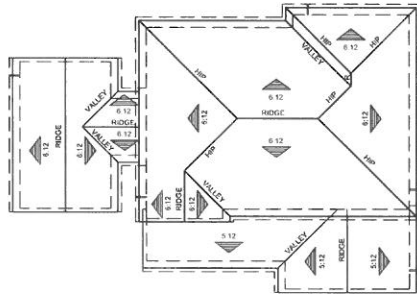
Preliminary



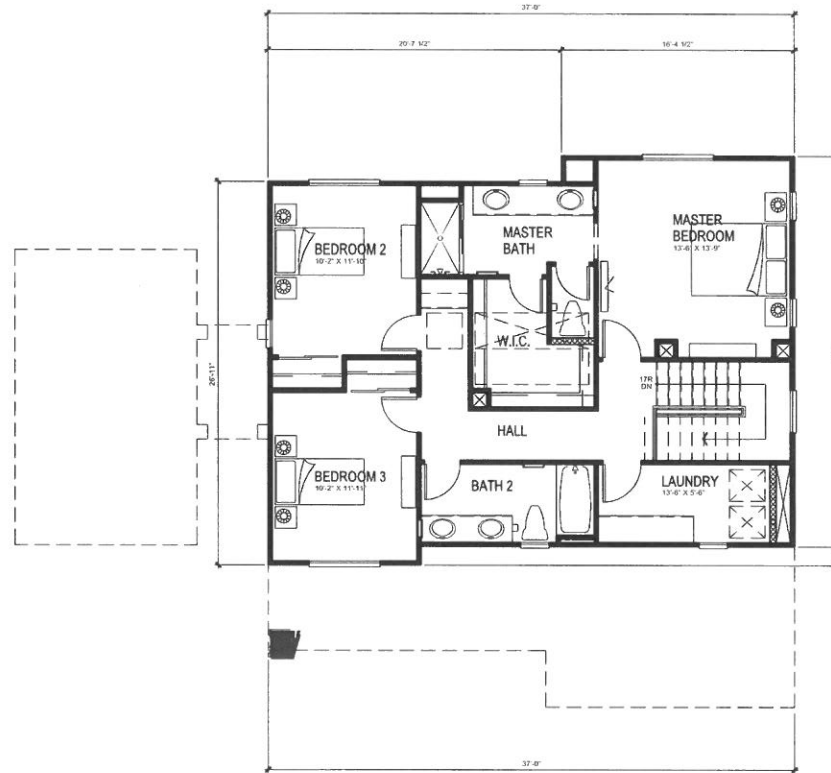
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949.261.2070
PROJECT #2023017 September 20, 2023

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ROOF PLAN
Scale: 1/16"=1'-0"



SECOND FLOOR PLAN

PLAN 3C
TUSCANY ELEVATION

A-31

Scale: 1/8"=1'-0"

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PROJECT #2023017 September 20, 2023

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EXTERIOR ELEVATION - KEYNOTES

□ SYMBOL OF REFERENCES

1. EXTERIOR STUCCO PLASTER
2. FLAT CONCRETE ROOF TILE
3. "S" CONCRETE ROOF TILE
4. BRICK VENEER
5. BRICK TRIM
6. DECORATIVE STONE VENEER
7. FOAM SHUTTER
8. FOAM TRIM
9. FOAM POTSHELF
10. FOAM OUTLOOKER
11. SECTIONAL METAL GARAGE DOOR
12. DECORATIVE LIGHT
13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 1A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-03

Scale: 1/4"=1'-0"

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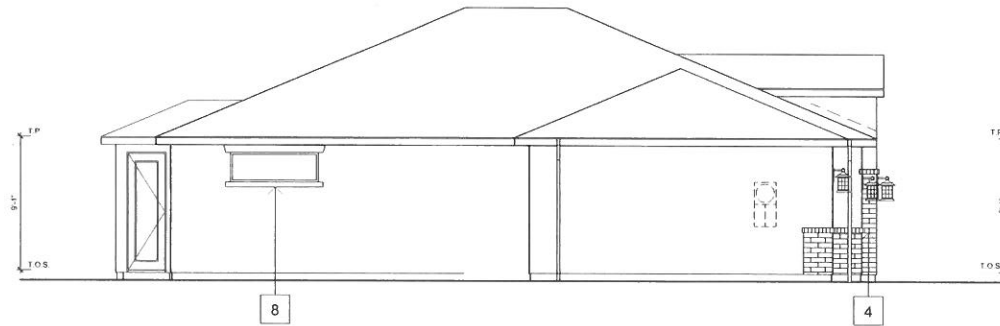
20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
PROJECT #2023017 September 15, 2023

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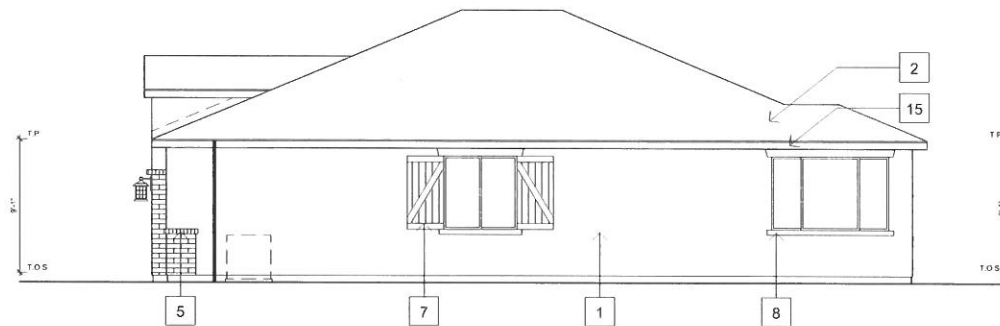
EXHIBIT 6

EXTERIOR ELEVATION - KEYNOTES

-  SYMBOL OF REFERENCES
1. EXTERIOR STUCCO PLASTER
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 12. DECORATIVE LIGHT
 13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
 14. FOAM VENT PIPE
 15. 2X FASCIA
 16. 2X BARGE BOARD
 17. DECORATIVE FOAM CORBEL
 18. ILLUMINATE ADDRESS NUMBER



LEFT ELEVATION



RIGHT ELEVATION

PLAN 1A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-04

Scale: 1/4"=1'-0"

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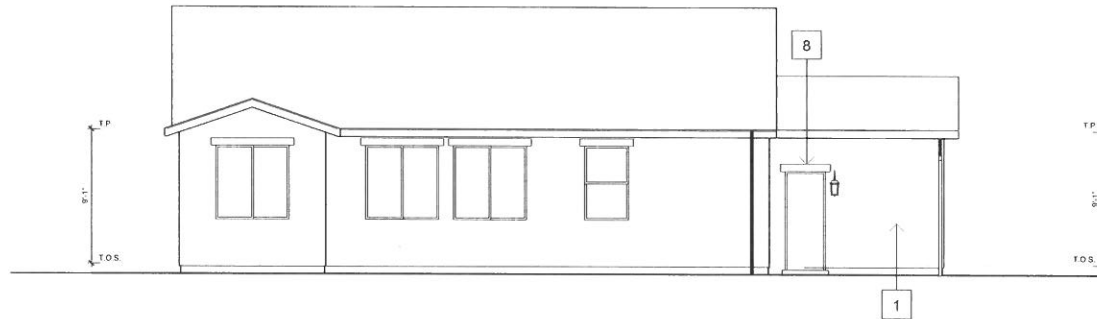
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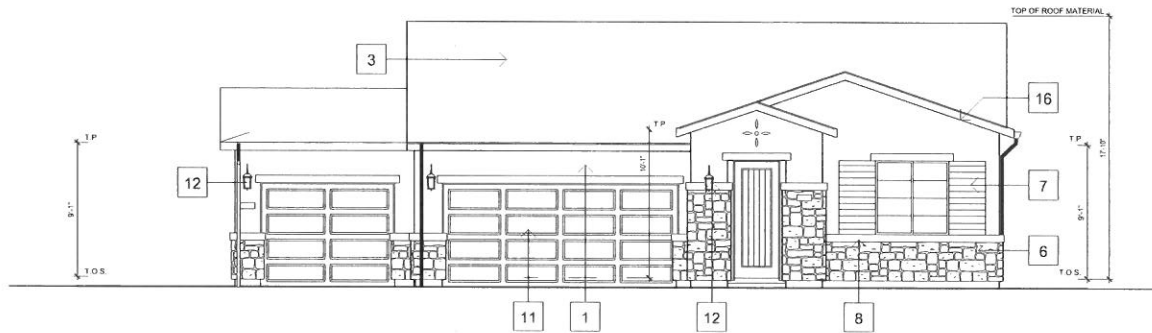
EXTERIOR ELEVATION - KEYNOTES

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14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 1C WITH ADU GARAGE
TUSCANY ELEVATION

A-08

Scale: 1/4"=1'-0"

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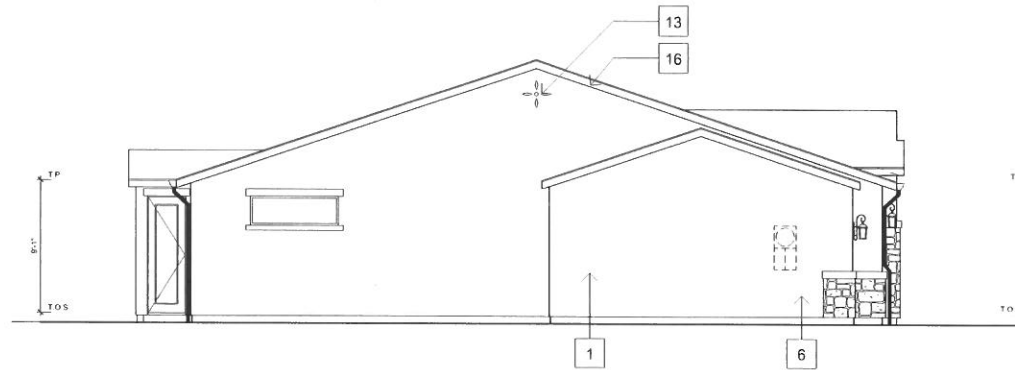
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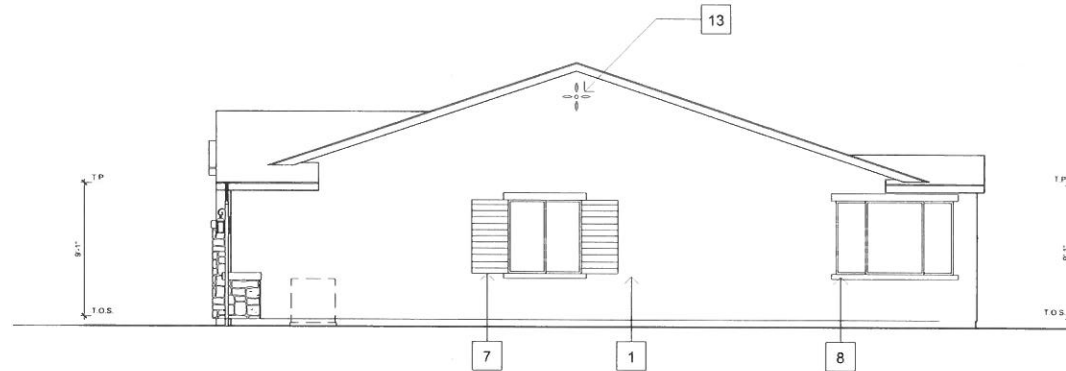
EXTERIOR ELEVATION - KEYNOTES

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14. FOAM VENT PIPE
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16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



LEFT ELEVATION



RIGHT ELEVATION

PLAN 1C WITH ADU GARAGE
TUSCANY ELEVATION

A-09

Scale: 1/4"=1'-0"

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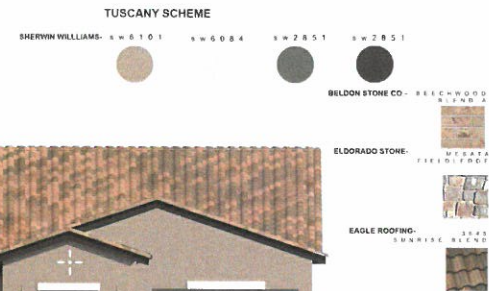
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REAR ELEVATION



FRONT ELEVATION

PLAN 1C WITH ADU GARAGE
TUSCANY ELEVATION

A-10



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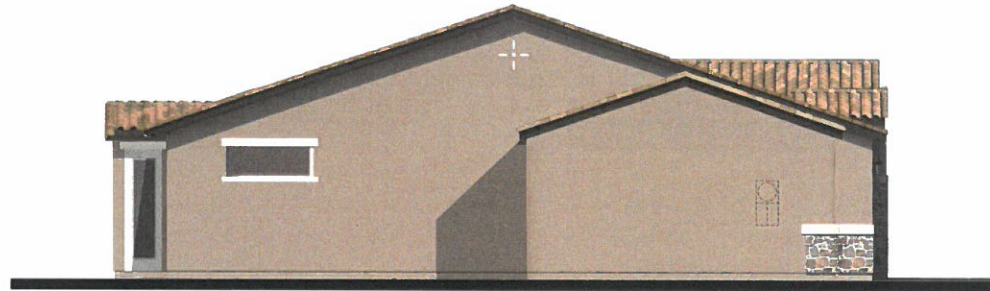
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LEFT ELEVATION



RIGHT ELEVATION

PLAN 1C WITH ADU GARAGE
TUSCANY ELEVATION

A-11



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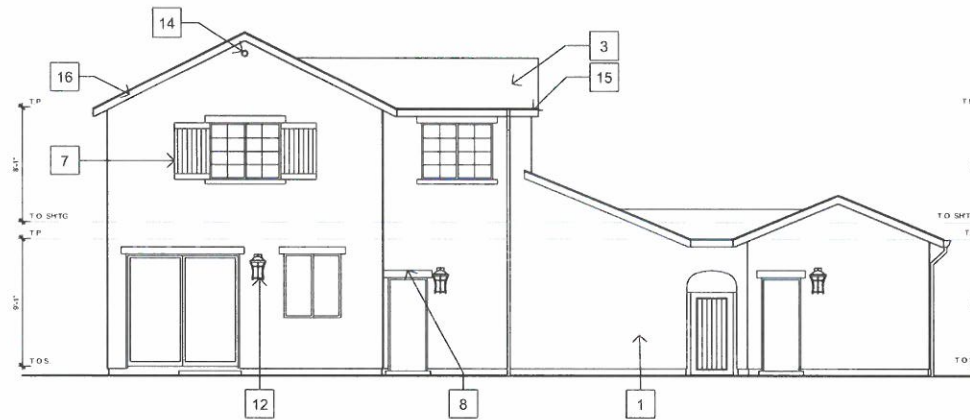
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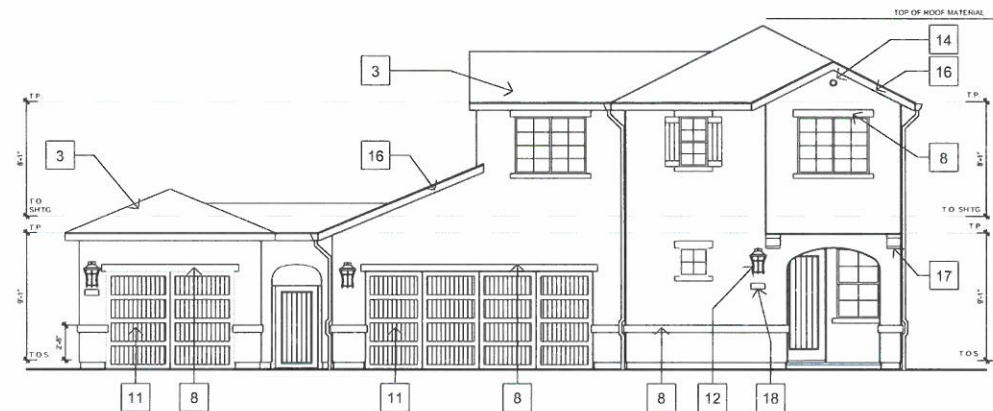
EXTERIOR ELEVATION - KEYNOTES

☐ SYMBOL OF REFERENCES

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2. FLAT CONCRETE ROOF TILE
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9. FOAM POTSHelf
10. FOAM OUTLOOKER
11. SECTIONAL METAL GARAGE DOOR
12. DECORATIVE LIGHT
13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

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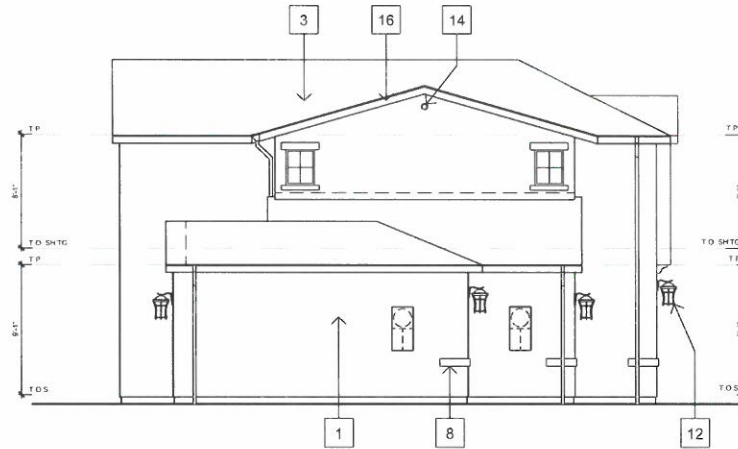
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A-14

Scale: 1/8"=1'-0"



LEFT ELEVATION



RIGHT ELEVATION

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

EXTERIOR ELEVATION - KEYNOTES

SYMBOL OF REFERENCES

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14. FOAM VENT PIPE
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18. ILLUMINATE ADDRESS NUMBER



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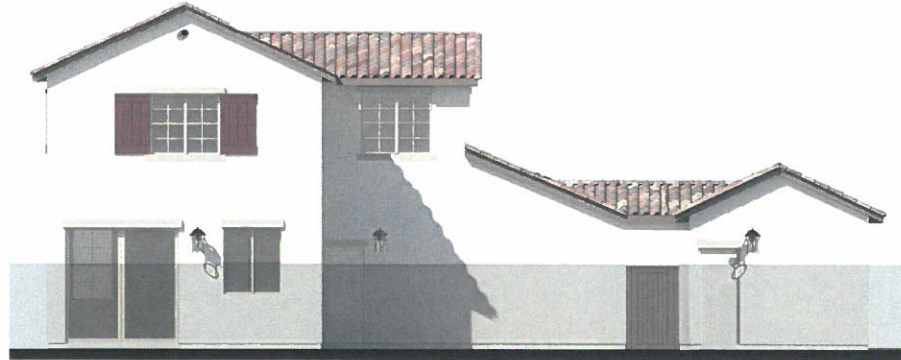
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27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

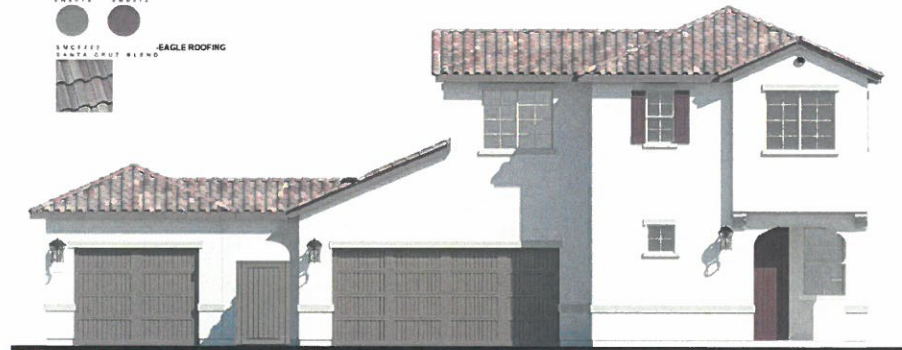
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A-15

Scale: 1/8"=1'-0"



REAR ELEVATION



FRONT ELEVATION

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

A-16



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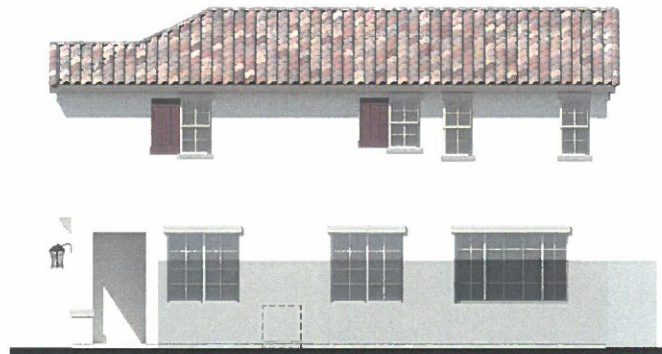
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LEFT ELEVATION



RIGHT ELEVATION

PLAN 2B WITH ADU GARAGE
SPANISH ELEVATION

A-17

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MISSION VIEJO, CA 92691
949-348-8162

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EXTERIOR ELEVATION - KEYNOTES

□ SYMBOL OF REFERENCES

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12. DECORATIVE LIGHT
13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 2D WITH ADU GARAGE
CRAFTSMAN ELEVATION

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A-20
Scale: 1/8"=1'-0"
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EXTERIOR ELEVATION - KEYNOTES

□ SYMBOL OF REFERENCES

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13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



LEFT ELEVATION



RIGHT ELEVATION

PLAN 2D WITH ADU GARAGE
CRAFTSMAN ELEVATION

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A-21

Scale: 1/8"=1'-0"

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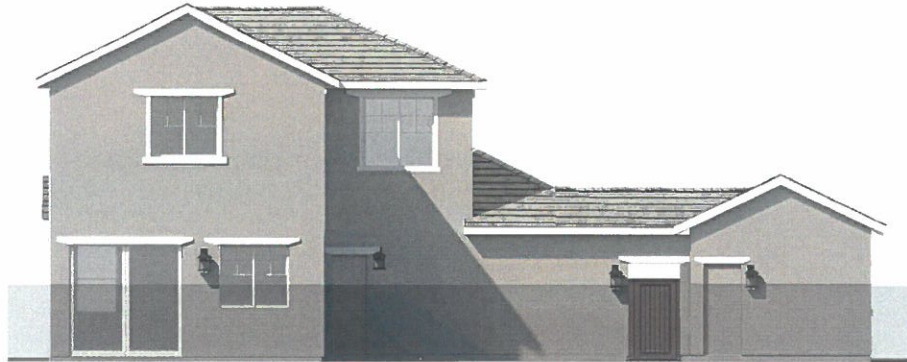


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REAR ELEVATION



FRONT ELEVATION

PLAN 2D WITH ADU GARAGE
CRAFTSMAN ELEVATION

A-22



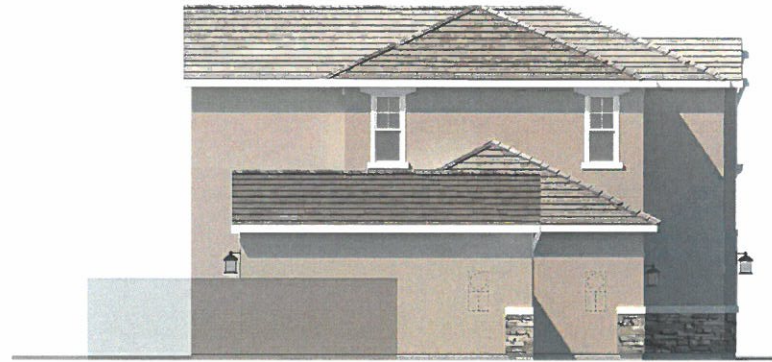
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LEFT ELEVATION



RIGHT ELEVATION

PLAN 2D WITH ADU GARAGE
CRAFTSMAN ELEVATION

A-23



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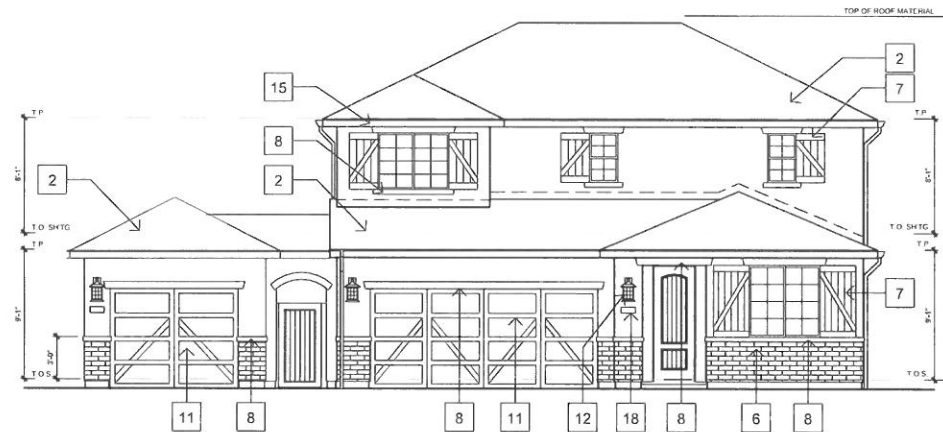
EXTERIOR ELEVATION - KEYNOTES

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13. DECORATIVE GABLE END PAINTED STUCCO ACCENT
14. FOAM VENT PIPE
15. 2X FASCIA
16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

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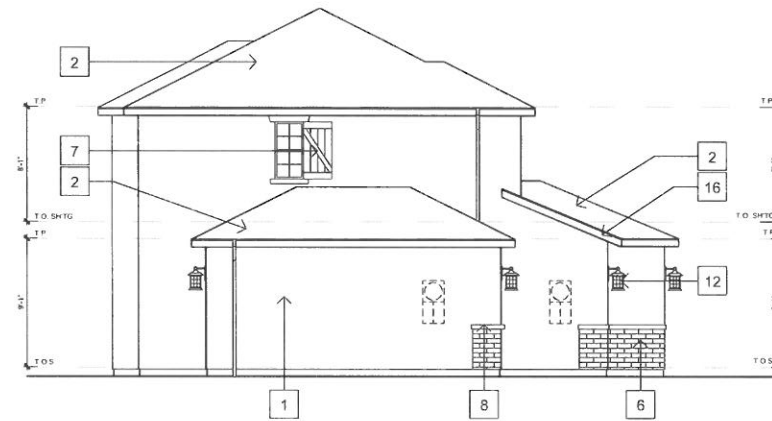
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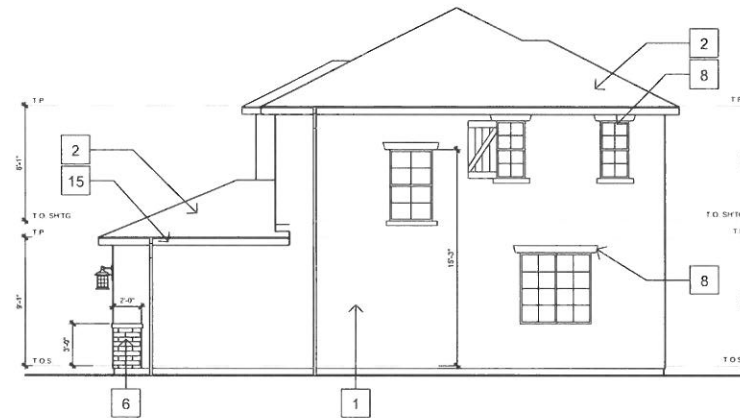
EXTERIOR ELEVATION - KEYNOTES

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16. 2X BARGE BOARD
17. DECORATIVE FOAM CORBEL
18. ILLUMINATE ADDRESS NUMBER



LEFT ELEVATION



RIGHT ELEVATION

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-27

Scale: 1/8"=1'-0"

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REAR ELEVATION



FRONT ELEVATION

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-28



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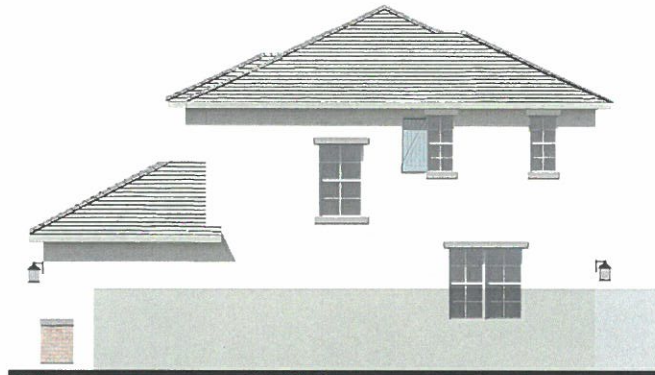
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LEFT ELEVATION



RIGHT ELEVATION

PLAN 3A WITH ADU GARAGE
FRENCH COUNTRY ELEVATION

A-29



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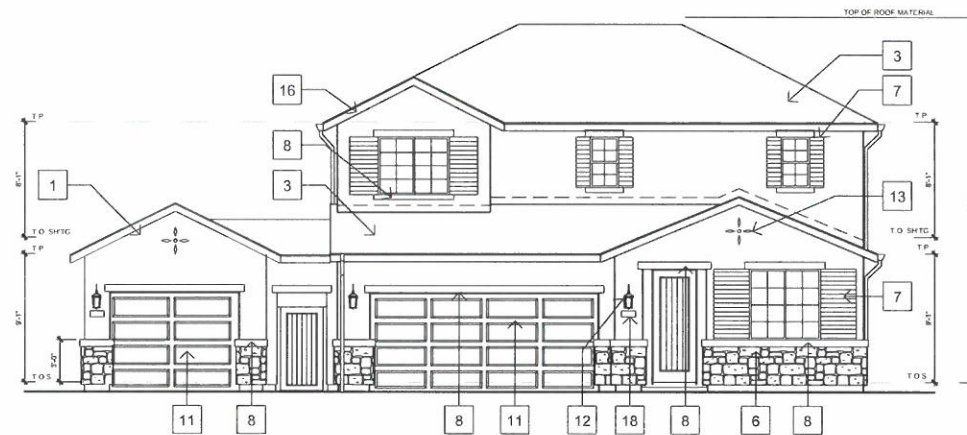
EXTERIOR ELEVATION - KEYNOTES

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16. 2X BARGE BOARD
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18. ILLUMINATE ADDRESS NUMBER



REAR ELEVATION



FRONT ELEVATION

PLAN 3C WITH ADU GARAGE
TUSCANY ELEVATION

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MISSION VIEJO, CA 92691
949-348-8162

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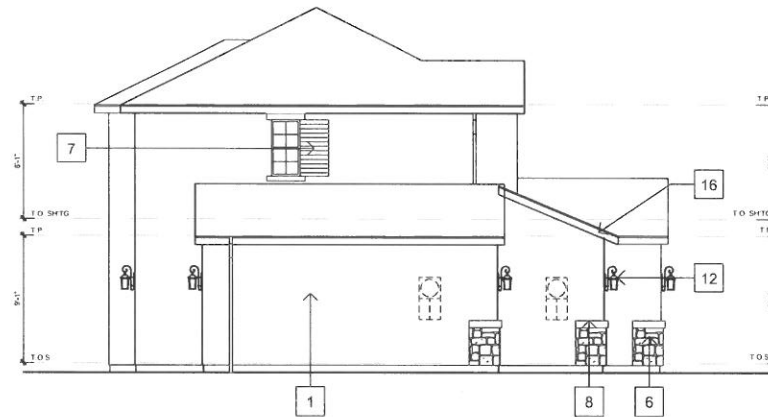
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Scale: 1/8"=1'-0"

EXTERIOR ELEVATION - KEYNOTES

 SYMBOL OF REFERENCES

1. EXTERIOR STUCCO PLASTER
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LEFT ELEVATION



RIGHT ELEVATION

PLAN 3C WITH ADU GARAGE
TUSCANY ELEVATION

CITRON
CORONA, CA



HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST., #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT #2023017 September 20, 2023

A-33

Scale: 1/8"=1'-0"

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

Preliminary



REAR ELEVATION



FRONT ELEVATION

PLAN 3C WITH ADU GARAGE
TUSCANY ELEVATION

A-34



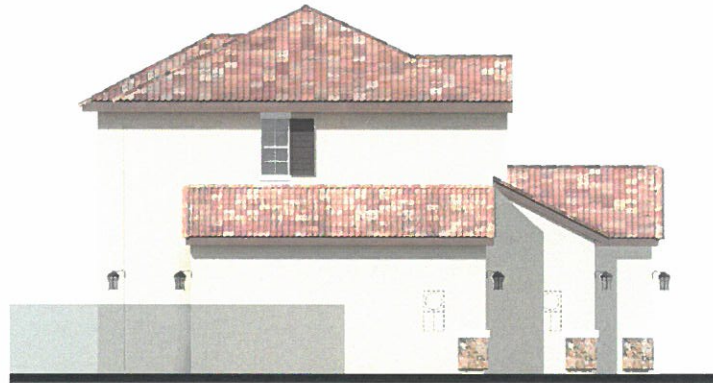
HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST. #145 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT #2023017 September 20, 2023

CITRON
CORONA, CA

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

Preliminary



LEFT ELEVATION



RIGHT ELEVATION

PLAN 3C WITH ADU GARAGE
TUSCANY ELEVATION

A-35



HANNOUCHE
ARCHITECTS

20250 SW ACACIA ST. #140 NEWPORT BEACH, CA 92660
949.261.2070
PROJECT #2023017 September 20, 2023

CITRON
CORONA, CA

FOREMOST PACIFIC GROUP
27271 LAS RAMBLAS, STE #100
MISSION VIEJO, CA 92691
949-348-8162

Preliminary

DEVELOPMENT PLAN REVIEW NUMBER:
DPR2023-0022

PP2023-0008

PLANNING & DEVELOPMENT DEPARTMENT NOTE, PLANNING DIVISION:
ALL FENCES AND WALLS SHALL BE SUBMITTED TO THE CITY'S BUILDING DIVISION AS A SEPERATE SUBMITTAL FOR PLAN CHECK. AT THE TIME OF PLAN CHECK SUBMITTAL, THE APPLICANT SHALL PAY THE APPLICABLE BUILDING DIVISION PLAN CHECK SUBMITTAL FEE.

COMMUNITY SERVICES DEPARTMENT:
PRIOR TO THE REMOVAL OF ANY STREET TREES, PLEASE CONTACT FACILITIES, PARKS & TRAILS MANAGER. ANY STREET TREE REMOVAL SHALL BE REPLACED AT A RATIO OF 2 TO 1 (2 REPLACEMENT TREES FOR EVERY SINGLE TREE TO BE REMOVED).



SHRUB LIST for COMMON AREAS

ALL PROPOSED SHRUBS WILL BE COMPLIANT WITH CAL GREEN REQUIREMENTS FOR WATER CONSERVING AND NON-INVASIVE AS DEFINED BY IPC.

SHRUBS:				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
LARGE / FOUNDATION:				
	ARBUS UNED0 'COMPACTA'	DWARF STRAWBERRY TREE	5 GAL	Low
	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	Low
	CORDIA BOISSIERI	TEXAS OLIVE	5 GAL	Low
	FREMONTEDENDRON 'CA GLORY'	FLANNEL BUSH	5 GAL	Low
	LEUCOPHYLLUM F. 'GREEN CLOUD'	GREEN CLOUD TEXAS RANGER	5 GAL	Low
	OLEA E. 'SKYLARK DWARF'	DWARF OLIVE	5 GAL	Mod.
	PHOTINIA FRASERI	RED-TIPPED PHOTINIA	5 GAL	Mod.
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	Mod.
MEDIUM / MIDDLEGROUND:				
	BERBERIS 'CRIMSON PYGMY'	BARBERRY	5 GAL	Low
	CAESALPINA GILLESII	YELLOW BIRD OF PARADISE	5 GAL	Low
	CALLISTEMON CITRINUS	LEMONG BOTTLEBRUSH	5 GAL	Mod.
	CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL	Mod.
	COTONEASTER LACTEUS	PARNEY COTONEASTER	5 GAL	Mod.
	DALEA PULCHRA	INDIGO BUSH	5 GAL	Low
	ELAEAGNUS PUNGENS	SILVERBERRY	5 GAL	Mod.
	LEUCOPHYLLUM F. 'COMPACTA'	DWARF TEXAS RANGER	5 GAL	Low
	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL	Low
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	Low
SMALL / FOREGROUND:				
	BACCHARIS P. 'PIGEON POINT'	DWARF COYOTE BUSH	1 GAL	Low
	HESPERALOE PARVIFOLIA	RED HESPERALOE	1 GAL	Low
	PYRACANTHA 'SANTA CRUZ'	FIRETHORN	5 GAL	Mod.
	ROSMARINUS PROSTRATUS	DWARF ROSEMARY	1 GAL	Low
	VIBURNUM 'SPRING BOUQUET'	COMPACT VIBURNUM	5 GAL	Mod.
GROUNDCOVERS:				
	ASPARAGUS SPRENGERI	ASPARAGUS FERN	1 GAL	Mod.
	COTONEASTER 'LOWFAST'	COTONEASTER	1 GAL	Mod.
	ZAUSCHNERIA CALIFORNICA	HUMMINGBIRD FLOWER	1 GAL	Low
SYNTHETIC TURF:				
	3" THICK DARK BROWN SHREDDED WOOD MULCH IN ALL SHRUB AREAS:			

GENERAL PLANTING NOTES

- ALL SHRUB AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF SHREDDED WOOD MULCH.
- SCREENING NOTE: SCREENING SHALL BE PROVIDED FOR ALL UTILITIES, INCLUDING TRANSFORMERS AND TELEPHONE BOXES. NO UTILITIES SHALL CONFLICT WITH PLANTING.
- IRRIGATION DESIGN SHALL COMPLY WITH AB1881 AND ESTIMATED ANNUAL WATER USE (EAWU) WILL NOT EXCEED MAXIMUM ANNUAL WATER USE (MAWA) CALCULATIONS.
- LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CITY OF CORONA DEVELOPMENT STANDARDS AND CODES FOR LANDSCAPE IMPROVEMENTS.
- TREES WITHIN 6 FEET OF HARDSCAPE SHALL BE INSTALLED WITH APPROVED ROOT CONTROL BARRIER (16 FEET LENGTH MIN. EACH TREE)
- PROPERTY MANAGEMENT MAINTAINED LANDSCAPE AREAS WILL BE ON A SUB-SURFACE DRIP IRRIGATION SYSTEM. TREES WILL BE IRRIGATED BY A DEEP ROOT WATERING BUBBLER.
- PROVIDE ROOT BARRIER ALONG PUBLIC STREETS ADJACENT HARDSCAPES.

LANDSCAPE MAINTENANCE NOTE:

- ALL COMMON LANDSCAPE AREAS (FRONT YARDS, PARKWAYS, AND DRAINAGE EASEMENT) TO BE MAINTAINED BY PROPERTY MANAGEMENT COMPANY.
- ALL REAR YARDS TO BE MAINTAINED BY RESIDENT.

TREES for RESIDENTIAL LOTS

BOTANICAL / COMMON NAME	SIZE	WUCOLS
STREET TREES: (QTY 1 per LOT): * PER CITY OF CORONA LIST		
LORRAINE DRIVE (7'-6" Parkway): AGONIS FLEXUOSA AUSTRALIAN WILLOW	24" BOX	MODERATE
SUSANNE STREET (7'-6" Parkway): TABEBUIA IPE PINK TRUMPET TREE	24" BOX	MODERATE
CITRON STREET (7'-6" Parkway): KOELREUTERIA BIPINNATA CHINESE FLAME TREE	24" BOX	MODERATE
TAYLOR STREET (7'-6" Parkway): PISTACIA CHINENSIS 'KEITH DAVEY' CHINESE PISTACHE	24" BOX	MODERATE
BACKGROUND TREES: (MIN. 2 TREES per LOT):		
ACACIA STENOPHYLLA SHOESTRING ACACIA	15 GAL.	LOW
ARBUS X MARINA HYBRID STRAWBERRY TREE	24" BOX	MODERATE
CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM - MULTI TRUNK	24" BOX	LOW
CHILOPSIS LINEARIS 'BURGANDY LACE' DESERT WILLOW	15 GAL	LOW
GEIJERA PARVIFLORA AUSTRALIAN WILLOW	15 GAL.	LOW
GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' HONEYLOCUST	24" BOX	MODERATE
LAURUS NOBILIS SWEET BAY - COLUMN	15 GAL.	LOW
PODOCARPUS GRACILIOR FERN PINE - COLUMN	15 GAL.	MODERATE
PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM BRIGHT 'N TIGHT CAROLINA LAUREL	15 GAL	MODERATE

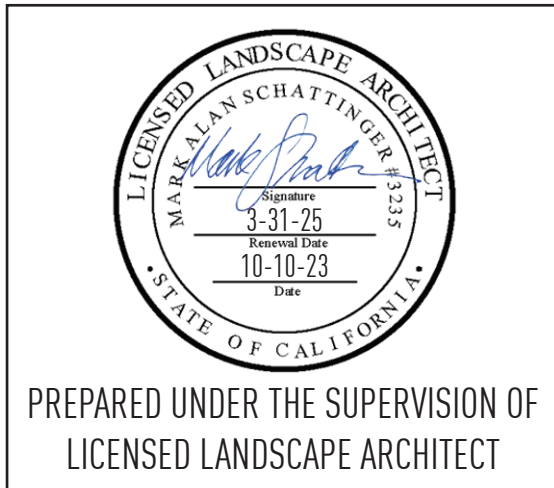
	SYNTHETIC TURF IN REAR YARDS
	WOOD MULCH IN FRONT YARDS
	3" LAYER WOOD MULCH IN REAR YARDS
	LOW GROUND COVER

SITE AREA:
4.73 ACRES GROSS/NET

APN: 110-342-031

TREE LOCATION NOTE:
ALL TREES TO BE LOCATED A MINIMUM OF 10 FT CLEAR OF SEWER / WATER LATERALS.

PLANNING & DEVELOPMENT DEPARTMENT, DEVELOPMENT SERVICES DIVISION:
THIS PROJECT WILL BE REQUIRED TO ANNEX INTO CFD 2016-1 AND 2016-3 AND IS SUBJECT TO FEES. THE ANNEXATION REQUIREMENTS, INCLUDING THE CURRENT FEE SCHEDULE ARE AVAILABLE ONLINE.



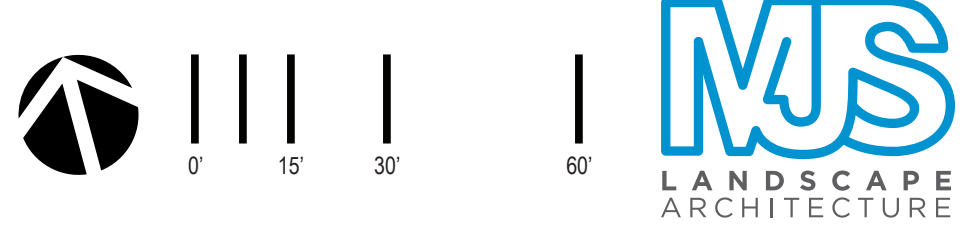
TENTATIVE TRACT NO. 37980 - CORONA, CA APN:110-342-031

FOREMOST PACIFIC GROUP

DECEMBER 11, 2023

EXHIBIT 7

CONCEPTUAL LANDSCAPE PLAN - L.1



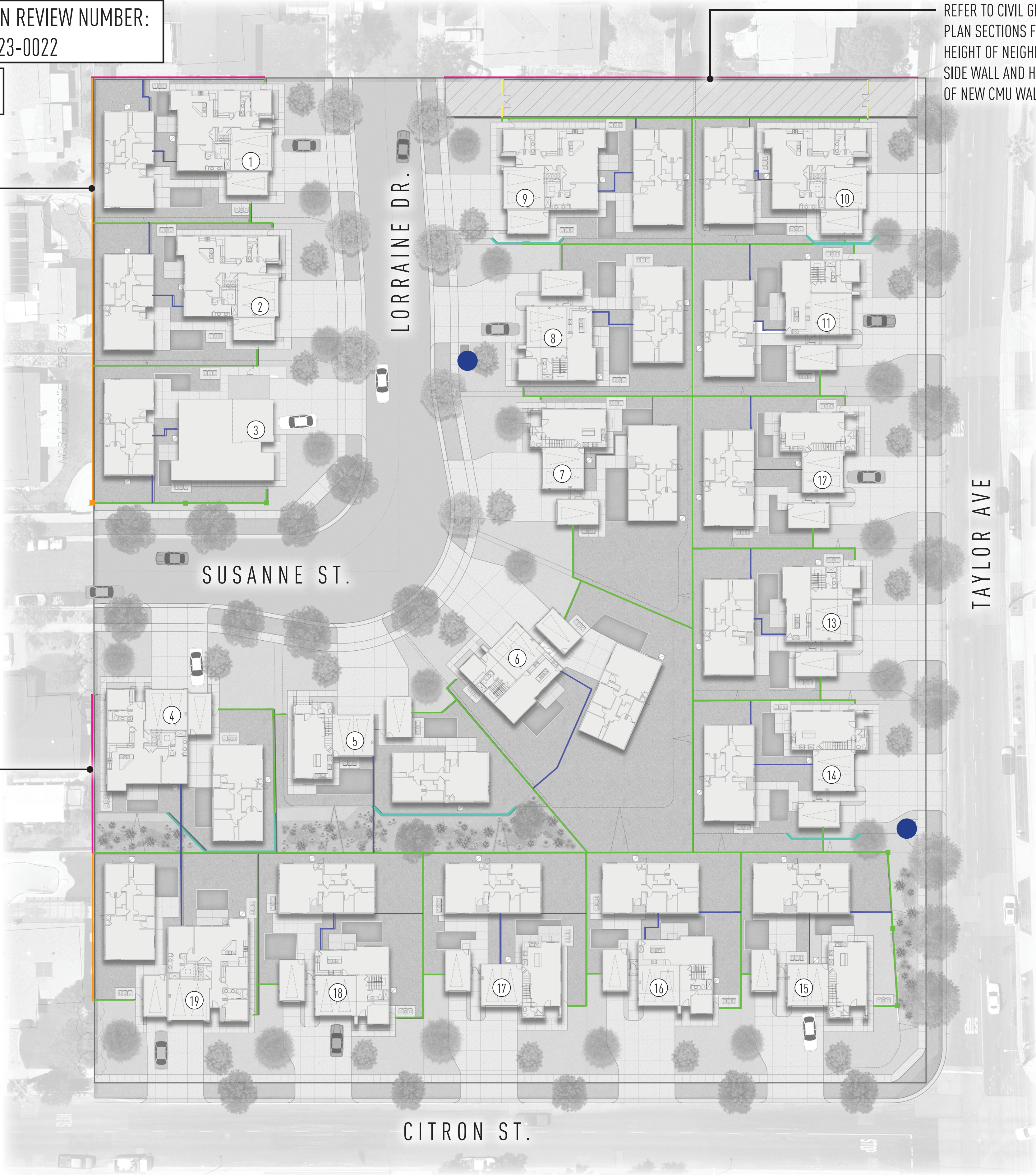
DEVELOPMENT PLAN REVIEW NUMBER:
DPR2023-0022

PP2023-0008

REFER TO CIVIL GRADING
PLAN SECTIONS FOR
HEIGHT OF NEIGHBOR
SIDE WALL AND HEIGHT
OF NEW CMU WALL.

REFER TO CIVIL GRADING
PLAN SECTIONS FOR
HEIGHT OF NEIGHBOR
SIDE WALL AND HEIGHT
OF NEW CMU WALL.

REFER TO CIVIL GRADING
PLAN SECTIONS FOR
HEIGHT OF NEIGHBOR
SIDE WALL AND HEIGHT
OF NEW CMU WALL.



KEY:	
	6'-0" HT TAN VINYL FENCE
	6'-0" HT TAN DECORATIVE CMU SPLIT FACE WALL , W/ PILASTERS*
	RETAINING WALL (PER CIVIL)
	6'-0" HT TUBE STEEL FENCE AND FENCE
	EXISTING BLOCK WALL (PROTECT IN PLACE)
	FREE-STANDING CMU WALL
	LOT #

* 6'-6" HT CMU SPLIT FACE PILASTER 60" OC WHEN FACING PUBLIC STREET



6'-0" HT TAN VINYL FENCE



6'-0" HT DECORATIVE TAN CMU
SPLITFACE FACE WALL



- MAIL KIOSK (2 LOCATIONS)
COLOR: DARK BROWN



6'-6" HT TAN CMU SPLITFACE
PILASTER, W/ PRECAST CAP

*only when facing street

TENTATIVE TRACT NO. 37980 - CORONA, CA APN:110-342-031

FOREMOST PACIFIC GROUP

DECEMBER 11, 2023

WALL AND FENCE EXHIBIT - L.2



November 16, 2023

Dear Neighbor,

Foremost Pacific Group is currently in escrow to purchase the vacant parcel off of Citron and Taylor, commonly referred to Tentative Tract Map 37980, and is in the process of obtaining final Precise Plan approval through the City of Corona, which consists of a site plan, conceptual landscaping and proposed architectural floor plans, including architectural elevations. Before we receive this final approval, I wanted to take the time and reach out to all the surrounding neighbors to introduce Foremost Pacific Group and apprise you of our intentions for the property.

Foremost Pacific Group is a strategic residential land acquisition, entitlement and development expertise with extensive experience building efficient, attractive and innovative homes. The Foremost management team has extensive experience in master-planned communities as well as single family detached and attached subdivisions. Our intent for this property is to build single and two-story homes on the approved 19 lot subdivision. We will also be completing the final street improvements on Citron, Taylor, Susanne and Lorraine as part of this development.

If you have any questions regarding this project, please contact me at bbergeron@foremostpacific.com or Rene Aguilar at the City of Corona Planning Office at (951) 739-4918.

Thank you for your time, and I look forward to being a part of this Corona neighborhood.

Cordially,

A blue ink handwritten signature, appearing to read "Bryan", is written over the word "Cordially,".

Bryan Bergeron

Vice President

EXHIBIT 8

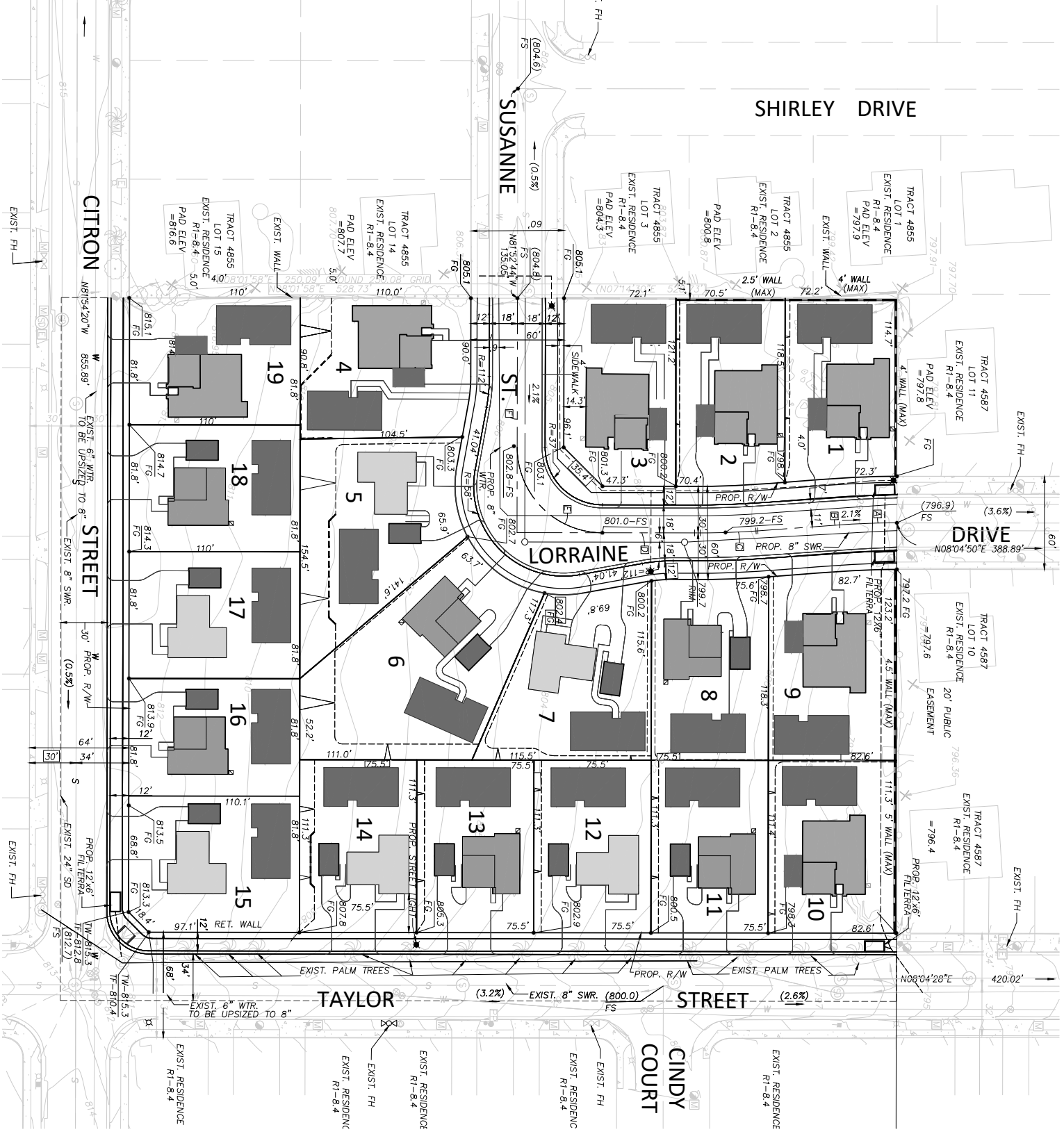
IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

TENTATIVE TRACT NO. 37980

BEING A SURVEY OF THE EASTERN HALF OF LOT 1 IN BLOCK 32 OF LANDS OF THE SOUTH RIVERSIDE LAND AND WATER COMPANY, AS SHOWN BY MAP FILED IN BOOK 9, PAGE 6 OF MAPS, RECORDS OF THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND LYING WITHIN SECTION 36, TOWNSHIP 3 SOUTH, RANGE 7 WEST OF THE SAN BERNARDINO BASE AND MERIDIAN.

ACS CONSULTING, INC.

DECEMBER, 2020



109-091-001
Granado Elena Angelina
1613 Taylor Ave
Corona, CA 92882-4800

109-091-004
Heng Victory V
513 W Crestview St
Corona, CA 92882-4825

109-091-007
Cuevas Jose
1604 S Merrill St
Corona, CA 92882-4840

109-092-016
Deniker Gloria E
413 W Crestview St
Corona, CA 92882-4823

109-093-003
Balandran Family Trust
1661 Taylor Ave
Corona, CA 92882-4848

109-093-006
Occupant
1662 Merrill Cir
Corona, CA 92882-4857

109-093-009
Fowler Suzanne L
1673 Merrill Cir
Corona, CA 92882-4858

109-093-012
Contreras Alex B
390 W Crestview St
Corona, CA 92882-4837

109-121-001
Hernandez Eli M
1739 Taylor Ave
Corona, CA 92882-4849

109-121-004
Caloca Refugio
1793 Taylor Ave
Corona, CA 92882-4849

109-091-002
Sanousi Rania Saad
1625 Taylor Ave
Corona, CA 92882-4800

109-091-005
Maag John L
501 W Crestview St
Corona, CA 92882-4825

109-092-014
Castillo Raymond J
395 W Crestview St
Corona, CA 92882-4821

109-093-001
Hoopii Ryan K
1685 Taylor Ave
Corona, CA 92882-4848

109-093-004
Tristan Alfredo Morales
1649 Taylor Ave
Corona, CA 92882-4848

109-093-007
Occupant
1674 Merrill Cir
Corona, CA 92882-4857

109-093-010
Meyer David Edward
412 W Crestview St
Corona, CA 92882-4822

109-093-013
Hansen V Lee
1674 Sheridan Cir
Corona, CA 92882-4845

109-121-002
Linares Humberto
1757 Taylor Ave
Corona, CA 92882-4849

109-121-005
Occupant
1790 Cook St
Corona, CA 92882-4819

109-091-003
Occupant
525 W Crestview St
Corona, CA 92882-4825

109-091-006
Sandoval Jose A Oliva
1626 S Merrill St
Corona, CA 92882-4840

109-092-015
Stafford David
401 W Crestview St
Corona, CA 92882-4823

109-093-002
Penners Bonnie S
1673 Taylor Ave
Corona, CA 92882-4848

109-093-005
Pedraza Jose
1650 Merrill Cir
Corona, CA 92882-4857

109-093-008
Castillo Guillermo
1685 Merrill Cir
Corona, CA 92882-4858

109-093-011
Sonja Bryson Living Tr
402 W Crestview St
Corona, CA 92882-4822

109-093-014
Tabarez Enrique
1685 Sheridan Cir
Corona, CA 92882-4845

109-121-003
Hendrickson Michael
1775 Taylor Ave
Corona, CA 92882-4849

109-121-006
Mckee Daniel W
1776 Cook St
Corona, CA 92882-4819

109-121-007
Nelson Joshua L
1762 Cook St
Corona, CA 92882-4819

109-122-002
Hernandez Eulogio
1761 Cook St
Corona, CA 92882-4820

109-122-005
Cervantes Yadia
1788 Cindy Ct
Corona, CA 92882-4813

109-122-008
Occupant
1746 Cindy Ct
Corona, CA 92882-4813

109-123-017
Haughey Carol
403 Cindy Ct
Corona, CA 92882-4812

109-123-020
Guillen Richard A
515 Cindy Ct
Corona, CA 92882-4853

109-171-010
Sanchez Guillermo Flores
711 Alta Vista Ave
Corona, CA 92882-4286

109-172-003
Mejia Armandina Zarate
680 W Citron St
Corona, CA 92882-4218

109-172-006
Robinson Pamela
669 Alta Vista Ave
Corona, CA 92882-4250

109-172-009
Hernandez Sergio
709 Alta Vista Ave
Corona, CA 92882-4251

109-121-008
Duncan Marvin L
1748 Cook St
Corona, CA 92882-4819

109-122-003
Esposito Ralph
1775 Cook St
Corona, CA 92882-4820

109-122-006
Occupant
1774 Cindy Ct
Corona, CA 92882-4813

109-123-015
Casanas Richard
385 Cindy Ct
Corona, CA 92882-4811

109-123-018
Baires Sara
415 Cindy Ct
Corona, CA 92882-4812

109-123-021
Manestar Rick
527 Cindy Ct
Corona, CA 92882-4853

109-172-001
Richie Lynne
708 W Citron St
Corona, CA 92882-4276

109-172-004
Cerna Maria Yessenia
656 W Citron St
Corona, CA 92882-4218

109-172-007
Occupant
701 Alta Vista Ave
Corona, CA 92882-4251

109-174-001
Olguin Ashley
708 Alta Vista Ave
Corona, CA 92882-4267

109-122-001
Nelson Mona Lee Trust
1747 Cook St
Corona, CA 92882-4820

109-122-004
Alvarado Carlos
1789 Cook St
Corona, CA 92882-4820

109-122-007
Kelly William G
1760 Cindy Ct
Corona, CA 92882-4813

109-123-016
Mechling John C
397 Cindy Ct
Corona, CA 92882-4811

109-123-019
Mariano Murdoc Gil
503 Cindy Ct
Corona, CA 92882-4853

109-171-009
Nohavec Joyce Alida
712 W Citron St
Corona, CA 92882-4220

109-172-002
Almasy Revocable Tr
704 W Citron St
Corona, CA 92882-4276

109-172-005
Frias Edgar T
659 Alta Vista Ave
Corona, CA 92882-4250

109-172-008
Druhora Daniel
705 Alta Vista Ave
Corona, CA 92882-4251

109-174-002
George and Bonnie Evans Tr
704 Alta Vista Ave
Corona, CA 92882-4267

109-174-003
Abdelsamia Mohamed A
702 Alta Vista Ave
Corona, CA 92882-4267

109-221-001
Occupant
646 W Citron St
Corona, CA 92882-4218

109-221-004
Fay Family Trust
616 W Citron St
Corona, CA 92882-4218

109-221-007
Rodriguez Rafael A
619 Alta Vista Ave
Corona, CA 92882-4250

109-221-010
Wahid Rehman
649 Alta Vista Ave
Corona, CA 92882-4250

109-222-003
Hart Family Living Trust
628 Alta Vista Ave
Corona, CA 92882-4249

109-223-001
Barrera Arnold Jr Family Trust
1897 Taylor Ave
Corona, CA 92882-5248

109-223-004
Esnasyous Michael
1849 Taylor Ave
Corona, CA 92882-5248

109-223-007
Byers Marina B
1801 Taylor Ave
Corona, CA 92882-5248

109-223-010
Lantry Jeffrey
1834 Cook Cir
Corona, CA 92882-5213

109-174-004
Garibay Christian
668 Alta Vista Ave
Corona, CA 92882-4249

109-221-002
Perry Paulette Rose
636 W Citron St
Corona, CA 92882-4218

109-221-005
Welton Trust
606 W Citron St
Corona, CA 92882-4218

109-221-008
German Elizabeth B
629 Alta Vista Ave
Corona, CA 92882-4250

109-222-001
Gosser James R
648 Alta Vista Ave
Corona, CA 92882-4249

109-222-004
Mccarthy Family Trust
618 Alta Vista Ave
Corona, CA 92882-4249

109-223-002
Razo Julian
1881 Taylor Ave
Corona, CA 92882-5248

109-223-005
Campos Mauro R Rev Trust
1833 Taylor Ave
Corona, CA 92882-5248

109-223-008
Magana Hilarion
1802 Cook Cir
Corona, CA 92882-5213

109-223-011
Mozqueda Thelma
1850 Cook Cir
Corona, CA 92882-5213

109-174-005
Salle Vincent L
658 Alta Vista Ave
Corona, CA 92882-4249

109-221-003
Martinez Omar Tenorio
626 W Citron St
Corona, CA 92882-4218

109-221-006
Vo Aivy
605 Alta Vista Ave
Corona, CA 92882-4250

109-221-009
Bastida Raul Villasenor
639 Alta Vista Ave
Corona, CA 92882-4250

109-222-002
Uhles John & Kathy Trust
638 Alta Vista Ave
Corona, CA 92882-4249

109-222-005
Martinez Freddie J
606 Alta Vista Ave
Corona, CA 92882-4249

109-223-003
Chase Family Trust
1865 Taylor Ave
Corona, CA 92882-5248

109-223-006
Guyett Lenny Ray
1817 Taylor Ave
Corona, CA 92882-5248

109-223-009
Sec Futures Pooled Spec Needs Tr
1818 Cook Cir
Corona, CA 92882-5213

109-223-012
Anderson Cory E
1866 Cook Cir
Corona, CA 92882-5213

109-223-013
Mcmahon Rory
1882 Cook Cir
Corona, CA 92882-5213

109-223-018
Mason Family Trust
1833 Cook Cir
Corona, CA 92882-5214

109-223-021
Segura Martin
1802 Cindy Cir
Corona, CA 92882-5211

109-223-024
Brouillette Geoffrey
1850 Cindy Cir
Corona, CA 92882-5211

110-341-003
Ocampo Antelma E
733 W Crestview St
Corona, CA 92882-4213

110-341-006
Hauser Jeff A Sep Prop Tr
685 W Crestview St
Corona, CA 92882-4212

110-341-009
Guerrero Teresa Rev Tr
637 W Crestview St
Corona, CA 92882-4212

110-342-001
Heipley Robert Munn
1692 Taylor Ave
Corona, CA 92882-4855

110-342-004
Medina Jose S
1656 Taylor Ave
Corona, CA 92882-4855

110-342-007
Hurley Bryce
1653 Lorraine Ave
Corona, CA 92882-4265

109-223-016
Argote Gustavo
1865 Cook Cir
Corona, CA 92882-5214

109-223-019
Bowman Kenneth E
1817 Cook Cir
Corona, CA 92882-5214

109-223-022
Chemello Living Trust
1818 Cindy Cir
Corona, CA 92882-5211

110-341-001
Johnson Coleman B
765 W Crestview St
Corona, CA 92882-4213

110-341-004
Ramirez Ricardo T
717 W Crestview St
Corona, CA 92882-4213

110-341-007
Ortiz David A
669 W Crestview St
Corona, CA 92882-4212

110-341-010
Occupant
621 W Crestview St
Corona, CA 92882-4212

110-342-002
Ballesteros Jerome P
1680 Taylor Ave
Corona, CA 92882-4855

110-342-005
Martell Stoney
1644 Taylor Ave
Corona, CA 92882-4855

110-342-008
Pischke Jerome D
1665 Lorraine Ave
Corona, CA 92882-4265

109-223-017
Escamilla Jesus Antonio
1849 Cook Cir
Corona, CA 92882-5214

109-223-020
Ayala Chris Anthony
1801 Cook Cir
Corona, CA 92882-5214

109-223-023
Occupant
1834 Cindy Cir
Corona, CA 92882-5217

110-341-002
Esparza Jose Refugio
749 W Crestview St
Corona, CA 92882-4213

110-341-005
Lyman Damon Kawika
701 W Crestview St
Corona, CA 92882-4213

110-341-008
Yos Samnang
653 W Crestview St
Corona, CA 92882-4212

110-341-011
Cruz Jose M
605 W Crestview St
Corona, CA 92882-4212

110-342-003
Kinser John P
1668 Taylor Ave
Corona, CA 92882-4855

110-342-006
Colas Joseph Wilfrid
1641 Lorraine Ave
Corona, CA 92882-4265

110-342-009
Cervantes Martha
1677 Lorraine Ave
Corona, CA 92882-4265

110-342-010
Howerton Jerome V
1689 Lorraine Ave
Corona, CA 92882-4265

110-342-013
Cox Mary Margaret Trust
1664 Lorraine Ave
Corona, CA 92882-4228

110-342-016
Mueller Jeffrey D
1645 Shirley Dr
Corona, CA 92882-4237

110-342-019
Occupant
1681 Shirley Dr
Corona, CA 92882-4237

110-342-034
Enciso Margarito
1733 Shirley Dr
Corona, CA 92882-4239

110-342-037
Arcos Graciela Trust
734 Susanne St
Corona, CA 92882-4241

110-342-040
Montero Hilario Leon
711 W Citron St
Corona, CA 92882-4221

110-342-043
Occupant
659 W Citron St
Corona, CA 92882-4219

110-343-002
Kneubuhler Michelle Ann
1718 Shirley Dr
Corona, CA 92882-4238

110-343-005
Manuel S and Silvia G Baray Tr
1666 Shirley Dr
Corona, CA 92882-4236

110-342-011
Garcia Javier
1688 Lorraine Ave
Corona, CA 92882-4228

110-342-014
Occupant
1652 Lorraine Ave
Corona, CA 92882-4228

110-342-017
Occupant
1657 Shirley Dr
Corona, CA 92882-4237

110-342-032
Estrada Aurora Sep Prop Tr
1701 Shirley Dr
Corona, CA 92882-4239

110-342-035
Chavez Ignacio Segura
698 Susanne St
Corona, CA 92882-4240

110-342-038
Occupant
752 Susanne St
Corona, CA 92882-4241

110-342-041
Quintard Jennifer L
707 W Citron St
Corona, CA 92882-4221

110-342-044
Rossi Thomas
649 W Citron St
Corona, CA 92882-4219

110-343-003
Rodriguez Patricio
1702 Shirley Dr
Corona, CA 92882-4238

110-343-006
Occupant
1654 Shirley Dr
Corona, CA 92882-4236

110-342-012
Hernandez Cesar
1676 Lorraine Ave
Corona, CA 92882-4228

110-342-015
Marron George C
1640 Lorraine Ave
Corona, CA 92882-4228

110-342-018
Schuman Family Trust
1669 Shirley Dr
Corona, CA 92882-4237

110-342-033
Collette Family Trust
1717 Shirley Dr
Corona, CA 92882-4239

110-342-036
Enciso Francisco Javier
716 Susanne St
Corona, CA 92882-4241

110-342-039
Mendoza Charline
770 Susanne St
Corona, CA 92882-4241

110-342-042
Rodriguez Dolores
669 W Citron St
Corona, CA 92882-4219

110-343-001
Perez Heriberto
1734 Shirley Dr
Corona, CA 92882-4238

110-343-004
Inacay Family Trust
1678 Shirley Dr
Corona, CA 92882-4236

110-343-007
Quezada Living Trust
1642 Shirley Dr
Corona, CA 92882-4236

110-343-008
Hernandez Jesus Garcia
1643 S Vicentia Ave
Corona, CA 92882-4245

110-343-011
Brewer Robyn K
1679 S Vicentia Ave
Corona, CA 92882-4245

110-343-014
Cleveland Rickey
1735 S Vicentia Ave
Corona, CA 92882-4247

110-353-018
Hansen Christina H
1662 S Vicentia Ave
Corona, CA 92882-4244

110-354-010
Todd Christopher Steven
1527 S Vicentia Ave
Corona, CA 92882-4132

110-362-029
Occupant
1721 Quail Cir
Corona, CA 92882-4156

110-362-035
Sencak John F
1784 S Vicentia Ave
Corona, CA 92882-4246

110-362-038
Castellon Edder Zobek
1720 S Vicentia Ave
Corona, CA 92882-4248

109-093-006
Zavala Yolanda
9504 Peartree Ln
Cypress, CA 90630-3250

109-122-006
Jones Denise A 2009 Rev Tr
11320 N Cowboy Trl
Prescott, AZ 86305-5823

110-343-009
Bargas Noe
1655 S Vicentia Ave
Corona, CA 92882-4245

110-343-012
Arjr Romanski Living Trust
1703 S Vicentia Ave
Corona, CA 92882-4247

110-353-016
Arbanas Patrick
1634 S Vicentia Ave
Corona, CA 92882-4244

110-353-019
Occupant
801 Lorna St
Corona, CA 92882-4164

110-362-002
Villamil Jose
1768 S Vicentia Ave
Corona, CA 92882-4277

110-362-030
Sloan Robert
1737 Quail Cir
Corona, CA 92882-4156

110-362-036
York Robert E
1752 S Vicentia Ave
Corona, CA 92882-4246

110-362-039
Gonzalez David
1704 S Vicentia Ave
Corona, CA 92882-4246

109-093-007
Stone Patricia O
Po Box 1093
Lake City, CO 81235-1093

109-122-008
Mechling John C
397 Cindy Ct
Corona, CA 92882-4811

110-343-010
Occupant
1667 S Vicentia Ave
Corona, CA 92882-4245

110-343-013
Ponce Celso
1719 S Vicentia Ave
Corona, CA 92882-4247

110-353-017
Mendez Juan J
1650 S Vicentia Ave
Corona, CA 92882-4244

110-353-020
Diaz Adalberto
809 Lorna St
Corona, CA 92882-4164

110-362-028
Alvarez Veronica Flores
1705 Quail Cir
Corona, CA 92882-4156

110-362-031
Occupant
1753 Quail Cir
Corona, CA 92882-4156

110-362-037
Hanna Abanoub Kameel Kamal
1736 S Vicentia Ave
Corona, CA 92882-4246

109-091-003
Delarosa Cesar
Po Box 6768
Buena Park, CA 90622-6768

109-121-005
Nakakihara Yuriko
2580 S Bundy Dr
Los Angeles, CA 90064-2720

109-172-007
Valencia 2019 Rev Family Tr
750 Avenida Terrazo
Corona, CA 92882-5892

109-221-001
Khattab Mostafa
807 W Grand Blvd B
Corona, CA 92882-3272

110-342-014
Paul Family Trust
8295 Trail Hollow Ct
Reno, NV 89523-4827

110-342-031
Priem Prop
12012 Knott St A-2
Garden Grove, CA 92841-2823

110-343-006
Casias Larry Raymond
1054 Shirley Dr
Corona, CA 92882

110-362-029
Hoang Family Trust
9330 Madison Ave
Westminster, CA 92683-5600

109-223-023
Nunez Sergio
2698 Cherrybark Ln
Corona, CA 92881-3529

110-342-017
Salvatierra Victor Manuel
1357 Shirley Dr
Corona, CA 92882

110-342-038
Stewart Marie Peacock
17060 Sage Ave
Riverside, CA 92504-5932

110-343-010
Medina Eleno A Estate Of
7790 Hillside St
Corona, CA 92881-3773

110-362-031
Higaki Anna Isabel
12930 Heather Crest Ct
Riverside, CA 92503-7910

110-341-010
Laitinen Richard J
1502 Arbor Rd NE
Arab, AL 35016-1627

110-342-019
Robert L and Leona Fobaire Tr
8425 Polaris Dr
Buena Park, CA 90620-3355

110-342-043
Ibarra Ruben
12305 Falena St
Victorville, CA 92392-8342

110-353-019
Richard & Marsha Reda Rev Tr
600 N Ohio St
Anaheim, CA 92805-2422



City of Corona Planning Department

Attention: Eva Choi

400 S. Vicentia Ave.

Corona CA 92882

RE: TTM 37980 SUBDIVISION INFORMATIONAL LETTER

PROJECT DESCRIPTION

The above-mentioned project (TTM 37980) is being submitted to acquire City approval for the Precise Application. The project is located at the northwest corner of Citron Street and Taylor Avenue and is surrounded by existing residential single tract homes. The development plan for this map is to subdivide the property into 19 residential detached lots. Each of the 19 lots will also receive an Accessory Dwelling Unit (ADU) per state regulations.

Tract 37980 plans to construct 19 1 & 2 story single family residential units along with 19 Accessory Dwelling Units (ADU) for a total of 38 units. Home square footage will range from approximately 1,100sqft to approximately 1,800sqft. Architectural elevations will complement the existing – surrounding residents, which will consist of French Country, Tuscany, Spanish and Craftsman. Each unit will have a 1 or 2 car garage with sufficient parking in the driveway. Building Materials will consist of stucco, brick or stone, shutters and miscellaneous enhancements per elevation. Each unit will have a front and rear yard that complies with the city setback requirements as well as a front yard landscaping palette that is water efficient. The community will be professionally managed and will be bound to covenants, conditions and restrictions (CCR's) that will be recorded on the site.

Respectfully,

Bryan Bergeron

Bryan Bergeron

Vice President

Foremost Pacific Group

EXHIBIT 9



NOTICE OF EXEMPTION

<p>TO:</p> <p><input type="checkbox"/> Office of Planning and Research P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Corona, Planning & Development Department</p> <p>(Public Agency) Address: 400 S. Vicentia Ave., Suite 120, Corona, CA 92882</p> <p>Telephone: 951-736-2434</p>
<p><input checked="" type="checkbox"/> Clerk of the Board of Supervisors or County Clerk (Include County name) Address: Click to enter address</p>	

1. Project Title:	Precise Plan 2023-0008 (PP2023-0008)
2. Project Applicant:	Bryan Bergeron with Foremost Pacific Group
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	Northwest corner of Taylor Avenue and Citron Street (APN: 110-342-031)
4. (a) Project Location – City: of Corona	(b) Project Location – County: Riverside
5. Description of nature, purpose, and beneficiaries of Project:	A Precise Plan application to review the site plan, architecture, fencing and landscaping for 19 single family dwelling units proposed on 4.73 acres located at the northwest corner of Taylor Avenue and Citron Street in the R1-8.4 (Single Family Residential, minimum lot size of 8,400 square feet) zone.
6. Name of Public Agency approving project:	City of Corona
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Bryan Bergeron with Foremost Pacific Group 27271 Las Ramblas, Suite 100, Mission Viejo, CA 92691
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	
(c) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))

(d) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	Per Section 15332 of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 32 (In-Fill Development Projects) categorical exemption.
(e) <input type="checkbox"/> Declared Emergency.	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	Per Section 15332 of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 32 (In-Fill Development Projects) categorical exemption. The project is consistent with the site's General Plan designation and applicable plan policies; zoning designation and regulations, is less than five acres in size, is surrounded by urban uses; has no habitat for endangered, rare and threatened species; the project would not result in significant traffic, noise, air quality or water quality effects; and the site is adequately served by utilities and public services.
10. Lead Agency Contact Person: Telephone:	Eva Choi 951-736-2434
11. If filed by applicant: Attach Preliminary Exemption Assessment (Form "A") before filing.	
12. Has a Notice of Exemption been filed by the public agency approving the project? Yes <input type="checkbox"/> No <input type="checkbox"/>	
13. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: Click to enter date	

Signature

Date: February 5, 2024

Name

Eva Choi

Title: Senior Planner

☐ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing: [Click to enter date](#)

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Eva Choi

From: Jim Collette <jimjan7171@gmail.com>
Sent: Sunday, February 4, 2024 10:52 AM
To: Eva Choi
Subject: FW: New Housing @Citron & Taylor tentative tract #37980

You don't often get email from jimjan7171@gmail.com. [Learn why this is important](#)

[CAUTION] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Sent from [Mail](#) for Windows

From: [Jim Collette](#)
Sent: Sunday, February 4, 2024 10:47 AM
To: [Eva.Choi@CoronaCA.gov](#)
Cc: [Mary M Cox](#)
Subject: New Housing @Citron & Taylor tentative tract #37980

Dear Eva:

My name is Jim Collette. I live at 1717 Shirley Drive, tract number is 4855, Lot 2. My house backs up the field of the proposed housing project.

My main concern is that myself and my adjacent neighbors have block wall fencing. Will there be a walkway/pathway behind our fencing which would provide a distance/separation from the new home properties? If not, what is proposed? WPG mailed us a tentative map of the proposed housing project last November 2023. The map details are not clear enough to actually figure out what the plan is.

Has the "final" plans been approved? What is the projected start date ?

What are the new homes going to be priced at?

Regards,
Jim
951-500-7253

Sent from [Mail](#) for Windows

**Public correspondence received after
Planning & Housing agenda was posted.**

Eva Choi

From: Joanne Coletta
Sent: Monday, February 12, 2024 11:13 AM
To: Sandra Vanian; Eva Choi
Subject: FW: Taylor and Citron Tract
Attachments: Exhibit 7 - Landscape Plan.pdf

Importance: High

Have we heard from Community Services on this?

-----Original Message-----

From: Herman Mayfarth <hmayfarth@tktn.com>
Sent: Monday, February 12, 2024 11:11 AM
To: bbergeron@foremostpacific.com
Cc: Joanne Coletta <Joanne.Coletta@CoronaCA.gov>
Subject: Fwd: Taylor and Citron Tract

[CAUTION] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Dear Mr. Bergeron,

Please find below my comments sent today's date to Mayor of Corona, Tom Richins. I would appreciate any comments you may have on this topic.

Thanks for your time.

----- Forwarded Message -----

Subject: Taylor and Citron Tract
Date: Mon, 12 Feb 2024 11:00:20 -0800
From: Herman Mayfarth <hmayfarth@tktn.com>
Organization: Tekton Construction Services
To: Tom Richins <Tom.Richins@CoronaCA.gov>

Dear Tom,

RE: Thirteen existing palm trees on Taylor St.

The COA for the tract map specify that these trees are to be relocated.
I had ass-u-med that the intention of this specification was that these trees be relocated onsite.

However, we are now presented with a proposed landscape plan which shows the existing historic palm trees removed from the site, to be replaced by two different species of street tree, specifically

- a) Eight (8) Chinese Flame Tree on Taylor
- b) Five (5) Chinese Pistache on Citron

The existing palm trees are a species of Washingtonia, which appear to me to be Washingtonia filifera

https://gcc02.safelinks.protection.outlook.com/?url=https%3A%2F%2Fen.wikipedia.org%2Fwiki%2FWashingtonia_filifera&data=05%7C02%7CEva.Choi%40CoronaCA.gov%7Ce52f3f9546b942536c7b08dc2bfe91ce%7C3073fa0cb6bb47bab92345ddce38e04d%7C0%7C0%7C638433619663510856%7CUnknown%7CTWFpbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTiI6I1haWwiLCJXVCI6Mn0%3D%7C0%7C%7C%7C&sdata=j7aCHe%2BdsMFjdTleuqFv20pMHWK7h5yJZ%2FGkS423Gg%3D&reserved=0

> Washingtonia filifera is the only palm native to the Western United States and one of the country's largest native palms

> Washingtonia filifera is widely cultivated as an ornamental tree. It is one of the hardiest coryphoid palms

Thus, the proposed landscape plan would replace mature native trees with immature non-native species. I have no problem with the non-native species proposed by the landscape architect, per se, but I believe it would be more appropriate, and both historically and aesthetically desirable to preserve the existing mature palm trees onsite.

In particular, Citron Street has many mature palm trees, and specifying Washingtonia filifera as the street tree on Citron would complement existing street trees, as well as preserving a portion of our heritage.

Regarding the trees themselves, it is my understanding from previous conversations with those knowledgeable about palm trees that Washingtonia species, being relatively fast growing palms, have no great commercial value, unlike slower growing species such as Canary Island Date Palms (Phoenix Canariensis). Thus, these trees have more aesthetic value and historic significance than they do commercial value.

For that reason, it is my guess that there will be a net cost, not a net gain, to the developer to have the trees uprooted and hauled off. If that is so, it may actually be cheaper to relocate the trees onsite, rather than hauling them off to a presently unknown location.

Three years ago, when I was investigating the likely costs to widen South Main Street, I was quoted a price of \$2800 per tree to relocate palms on South Main within the existing parkway. No doubt costs may have increased since then, and likely it would cost a bit more to relocate a tree from Taylor to Citron than to move it over a few feet on Taylor.

However, I doubt the overall cost to relocate 13 trees onsite would exceed \$5000 per tree (just a semi-informed guess), which would be a total cost estimate of \$65,000.

I would be interested in any comments on this topic.

--

Herman Mayfarth

Tekton Construction Services

<https://gcc02.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.tktn.com%2F&data=05%7C02%7CEva.Choi%40CoronaCA.gov%7Ce52f3f9546b942536c7b08dc2bfe91ce%7C3073fa0cb6bb47bab92345ddce38e04d%7C0%7C0%7C638433619663516981%7CUnknown%7CTWFpbGZsb3d8eyJWljoIMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTiI6I1haWwiLCJXVCI6Mn0%3D%7C0%7C%7C%7C&sdata=a9DUdQz8J3RnyEdmULvNL7B%2BktHqRZDxXMSRUqnzDqg%3D&reserved=0>
1-951-371-5713