



# CITY OF CORONA

## PLANNING AND HOUSING COMMISSION

### STAFF REPORT

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AGENDA ITEM: **E-3**

- MEETING DATE:** March 6, 2017
- APPLICATION REQUEST:** **TTM 37030:** Application for a Tentative Tract Map to subdivide approximately 54 acres into 45 lots for condominium purposes and 17 lettered lots for open space, park and street right-of-way purposes in the Low Density Residential, Medium Density Residential, High Density Residential, and Park designations of the Arantine Hills Specific Plan (SP09-001).
- PROPERTY LOCATION:** South of Eagle Glen Parkway, west of Interstate 15.
- APPLICANT:** John Sherwood  
The New Home Company  
85 Enterprise, Suite 450  
Aliso Viejo, CA 92656
- RECOMMENDED ACTION:** *That the Planning and Housing Commission recommend **APPROVAL OF TTM 37030** to the City Council, based on the findings contained in the staff report and conditions of approval.*

#### PROJECT SUMMARY

Tentative Tract Map 37030 will establish a map for condominium purposes as the first phase of development in the Arantine Hills Specific Plan area adjacent to Eagle Glen Parkway. The map will facilitate the construction of 393 residential units that are evaluated under the associated Precise Plan 16-012. Forty-five numbered lots will accommodate units in the form of 100 single family detached condominiums, 96 detached units in clusters of six with shared drive access, 96 paired units in clusters of eight with shared drive access, and 101 townhomes. The residential land uses accommodate the densities of Low (3-6 du/ac), Medium (6-15 du/ac), and High (15-36 du/ac), and as demonstrated under PP16-012, the project is in compliance with the density categories. Lettered lots contain open space areas, trail areas, and an active park.

The subject site is Phase 1 of the master planned area that was approved in May 2016. The approval included a Specific Plan Amendment (SPA15-002), General Plan

Amendment (GPA15-001), master tentative map (TTM36294R), Development Agreement (DA15-001) and a Supplemental Environmental Impact Report. TTM 37030 will facilitate the development of a project that is consistent with the governing specific plan and consistent with a number of goals and policies that pertain to the project site as an opportunity district to develop in a manner compatible with surrounding existing uses. The proposed map ensures the installation of adequate infrastructure to support the proposed development as prescribed by the Arantine Hills master plan for infrastructure.

**PERTINENT FACTS**

Area of Property:	54 acres
Existing Zoning:	Low Density Residential (LDR), Medium Density Residential (MDR), High Density Residential (HDR), Park (P) designations of the Arantine Hills Specific Plan (SP09-001)
Existing General Plan:	Low Density Residential (LDR, 0-6 du/ac) Medium Density Residential (MDR, 6-15 du/ac) High Density Residential (HDR, 15-36 du/ac) Park
Existing Land Use:	Undeveloped
Proposed Land Use:	Single Family Condominiums of varying densities and product types
Surrounding Land Use/Zoning:	N: Single Family Residential, Commercial and Interstate 15 E: Interstate 15, Estate Residential in Unincorporated Riverside County S: Estate Residential in Unincorporated Riverside County W: Single Family Residential

**BACKGROUND**

The Arantine Hills Specific Plan was originally adopted in 2012. A major amendment to the plan was approved in May 2016 (SPA15-002) along with a General Plan Amendment

(GPA15-001), master subdivision map (TTM 36294R), Development Agreement (DA15-001), and Supplemental Environmental Impact Report. The amendment reduced the intensity of the original plan by eliminating Mixed Use land uses, reducing commercial acreage, and redistributing the same number of allowed dwelling units (up to 1,806 overall) across the 276-acre master plan area. Subsequently, the first builder map (TTM 37030) and this associated Precise Plan (PP16-012) were reviewed by staff in June and October 2016.

The development of the Arantine Hills site is closely tied to the requirement for the Cajalco interchange to be reconstructed to accommodate project and area traffic. The traffic analysis prepared for the project concluded that up to 308 single family units, or the equivalent in condominium units generating less than or equal to the same level of traffic that equates to 308 single family units, can be constructed and occupied before the need for the reconstruction of the Cajalco interchange is triggered. Beyond those units, the adopted development agreement (DA15-001) provides that increments of additional units can be built coincidental with the incremental progression of the interchange improvements.

It should be noted that traffic generation rates are lesser for attached condominium type products based on the ITE Trip Generation Manual (9<sup>th</sup> Edition, 2012, Urban Crossroads Revised Trip Generation Analysis dated January 6, 2017). Based on the type of product mix in the proposed Phase 1 and the trip generation rates for those unit types, up to 384 units can be occupied before the Cajalco interchange improvements would be triggered. It is anticipated that the construction of the interchange will be well underway before this number of units could be built and occupied as the interchange construction is imminent waiting only for funding. It should also be noted that, since model homes are not factored into trip generation as occupied residences are, out of the 393 units in this precise plan proposal, nine of the single family detached units will be set aside as models and will remain so until such time that further unit construction is enabled coinciding with the progression of the interchange improvements pursuant to the approved Development Agreement.

## **PROJECT DESCRIPTION**

TTM 37030 establishes 45 lots for condominium purposes located in Phase 1 of the Arantine Hills Specific Plan. Although the original version of this map featured 41 lots, the item was continued from the February 6, 2017 Planning and Housing Commission meeting in order to increase the number of lots to 45 for potential sale to one or more merchang builders. Additionally, 17 lettered lots will accommodate open space and trail uses, an active park with recreation amenities as detailed in the associated precise plan, and interior streets to serve the subdivision. Exhibit A illustrates the map on a number of sheets depicting different aspects of the map. Sheet 1 is the foundational layout of each of the lots with street cross-sections and easement locations. Sheet 2 illustrates the B map (TTM 37030) parcel lines in relation to the lot lines of the underlying A map (TTM 36294R).

Sheet 3 details the lot summaries and easement descriptions. Sheets 4 & 5 illustrate the concept grading with retaining wall locations and cross-sections as detailed further below. In terms of what the various lots accommodate, the following table summarizes which uses fall into the various lots.

**TABLE A  
RESIDENTIAL UNIT DISTRIBUTION AMONG LOTS**

<b>Lots</b>	<b>Product</b>	<b>Planning Area</b>
1 - 4	Townhomes	6
5 - 11	Single Family Detached	8
12 - 15	Model Complex with all unit types	8 (overlay)
16 - 20	Single Family Detached	8
21 - 30	Cluster units in 6-pack configurations	5
31 - 40	Cluster units in 6-pack and 8-pack configurations	6
41 - 45	Clusters in 8-pack configurations	6

The lots range in area from 7,445 to 113,325 square feet meeting the applicable standards as imposed by the specific plan. As detailed under the associated precise plan, the densities associated with the various residential land uses are also being met with the project as proposed. Furthermore, the Exclusive Use Areas for the single family detached portion of the development are also detailed under the associated precise plan.

Lots A and B contain the open space slope adjacent to C Street. Lots C and F contain a pathway trail along the northerly boundary of the project site which serves as both an amenity and maintenance access for open space and slope areas around the development perimeter next to the off-site slope owned by the Eagle Glen Homeowners' Association. Lots D and E contain additional open space along the northerly perimeter. Design details of the open space areas are provided under the associated precise plan. Lot G contains the active park in Planning Area 7 with design details also provided in the precise plan. The remaining lettered lots contain the private streets accessing the interior of the development and detailed further below.

The boundary of TTM 37030 does not include the park in Planning Area 4 which is adjacent to the C Street entry into the master plan area. This is because the park is part of the underlying master map TTM 36294, and being detached from the preponderance of the site by C Street, it is not necessary to be rededicated as part of this map. The improvement of this park is discussed under the associated Precise Plan 16-012.

## **ACCESS, CIRCULATION AND PARKING**

Primary access into the project area is part of the underlying backbone infrastructure established with the underlying map (TTM 36294R) which designs and guarantees the main access roadway network via Streets A, B, and C. The underlying map must record before the subject map can record and development be implemented. From B Street the interior private streets take access. Exhibit A illustrates all of the applicable street sections including those provided for with the underlying master map. The interior streets labeled as A, B, and L serve as the main interior loop street for this subdivision with a 66 foot right of way. The rest of the interior street sections are designed with a 56 foot right-of-way in accordance with the specific plan. The cross-section exhibits also portray for informational purposes the underlying streets created with the master map. Street O is a stubbed street access to future Phase 2.

The specific plan allows for some flexibility in how the sidewalks and parkways are situated horizontally in relation to the nearest adjacent uses. For example, Streets A and L shift the pavement area toward one side minimizing the parkway area on one side (but still maintaining minimum standard) in favor of the opposite side to have a wider parkway such as next to the active park and along the main access loop. Although the associated precise plan illustrates the design treatment of the streetscapes, and the design appropriately provides for landscaping between sidewalks and perimeter walls or fences, the conditions of approval associated with this map ensure that no design will result in sidewalks immediately adjacent to any perimeter or interior walls or fences.

Parking associated with the site development plan is evaluated in detail under the associated precise plan.

## **Grading and Retaining Walls**

Sheets 4 and 5 of Exhibit A provide illustrations of retaining wall locations and cross-sections depicting the relationship of the development areas where various retaining walls are necessary across the site to capture the grade fall across the site. The associated precise plan also discusses the retaining walls because the development design is closely tied to the grading concept and are required under that approval to be decorative in design where visible from streets or other areas of public visibility. Retaining walls located on the development interior range in height from one foot to five feet. Retaining walls that are associated with the master map such as the large Verdura wall retaining C Street as it ascends to meet grade with Eagle Glen Parkway are illustrated as well in the cross-sections. The Verdura wall will receive planting to look similar in finished form to that of the Tri-Pointe development located at Foothill Parkway and State Street. The plans indicate that the grading associated with the master plan is balanced with no soil export or import needed to accommodate the plan as shown.

### **Easements**

The shared drive access ways into the cluster units as well as throughout the townhome sections of the plan are shown as easements for access. The access and parking for the Park in Planning Area 7 are also contained in easements. Other easements depicted on the map include the two-foot public utility easements that will line the interior drives providing service to the units and allowing for any necessary future access to the subterranean utilities. A 30 foot wide easement for storm drain and utilities extends from J Street northward through Lot 12 toward future Phase 2. The map also identifies other older existing easements to be removed or protected in place.

### **Fuel Modification**

A project level fuel modification plan was prepared for Phase 1 by Firesafe Planning Solutions. Exhibit C illustrates in detail the fuel modification plan that will keep the proposed development protected from any fire risks posed by natural areas that surround the subject site. The plan establishes five provisions for fire protection related to this phase which include a Zone A setback zone, a Zone B wet zone, special maintenance areas, a 100 foot wide temporary fuel modification area, and a radiant heat wall barrier in certain locations.

To expound, the Zone A setback is no less than ten feet and is a level graded area that is maintained by the homeowner as it is the closest to the residential structure. Zone A setbacks are indicated on Sheet F-4 of the plan adjacent to the single family detached units along the northerly perimeter of the phase. Zone A separates the private yards from the next zone, Zone B, which is the wet zone that must be established at a width of 41 feet to 100 feet and be permanently irrigated and landscaped with approved drought tolerant deep-rooted moisture retentive material. These areas are shown along the northerly perimeter of the phase between the development and the off-site open space slope adjacent to Eagle Glen Parkway. This wet zone is also indicated between the development in Phase 1 and the Bedford Canyon Wash. This separation includes the B Street spine road and beyond into the upper reach of the wash for a total width of 100 feet. The conditions of approval require a revised fire protection plan for this area because the Bedford Canyon Wash must remain in a natural state in perpetuity and cannot accommodate irrigation and the special planting associated with the fuel modification plan.

Special Maintenance Areas are shown along the C Street slopes and across the full site of the park in Planning Area 4 adjacent to the C Street entrance. These special areas will be perpetually maintained by the Homeowners' Association with the same drought tolerant types of materials that not only pose minimal fire risk but also constitute erosion control for the steeper slope areas.

Finally, the radiant heat wall is prescribed adjacent to lots that have less than 100 feet of fuel modification area and warrant additional protection. These walls will be a minimum of

six feet high masonry or combination masonry with tempered glass. Six lots along the northerly perimeter are indicated with this wall protection. All provisions of the fuel modification plan must be applied to the working drawings per the conditions of approval and will be verified at the time of plan check. The temporary fuel modification area is indicated to the west of the project site along the west side of Street C and on the downslope located along the easterly perimeter of Phase 1. This area is 100 feet wide and will be planted with vegetation to be maintained at two feet in height year round cut to four inches twice per calendar year per the specifications in the plan until those future phases develop. The HOA will conduct this maintenance until such time that future Phase 2 is constructed.

### **Water, Wastewater and Reclaimed Water**

As previously stated, the underlying master map establishes the backbone infrastructure for utilities into the project site. This map is designed to continue the master planned provisions for all utilities into the interior of the development with appropriate design for the type of units to be served.

### **DEPARTMENTAL AND AGENCY COMMENTS**

Before TTM 37030 can record, the master map (TTM 36294R) must be recorded. Currently, the developer is working through the process with the Riverside County Flood Control, the wildlife agencies, and The Riverside-Corona Resource Conservation District (RCRCD) as it relates to the final design and approval of the Bedford Canyon Wash and the perpetual maintenance responsibility. TTM 37030 cannot record, nor can development occur until the master map records and all bonds and agreements are in place to secure not only the improvement of the wash but also the guarantees associated with the Cajalco interchange improvements.

### **PUBLIC NOTICE AND COMMENTS**

A 10-day public notice was mailed to all property owners and occupants within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly* newspaper and posted on the site. Exhibit F contains correspondence received in response to the public noticing.

### **ENVIRONMENTAL DETERMINATION**

Per Sections 15162 and 15163 of the State Guidelines for Implementing CEQA, no subsequent environmental evaluation is required when an EIR has been certified for a project and no substantial changes have been made to the project. In May 2016, a Supplemental Environmental Impact Report was certified which comprehensively evaluated an amendment to the Arantine Hills Specific Plan (SPA15-002). The evaluation pertained programmatically to the overall Arantine Hills development plan which was

revised from the original plan adopted in 2012 to reduce land use intensities by eliminating mixed uses, reducing commercial uses, and reallocating the same number of allowable units across the project site. The subject applications of TTM 37030 and PP16-012 are project level proposals that are wholly consistent with and will implement the entitled master plan. Mitigation measures identified in the SEIR will be carried through to each project level development plan that implements the master plan, and therefore, subsequent evaluation at the project level under CEQA is not required. For purposes of declaration, staff has prepared a Preliminary Exemption Assessment and Notice of Exemption to be filed with the county clerk upon approval of TTM 37030 and PP16-012. Those documents are attached as Exhibit E.

### **STAFF ANALYSIS**

TTM 37030 will create lots designed to accommodate a range of residential units that include single family detached, paired, and townhomes all that can be sold as condominiums. The lots correspond to the respective planning areas and product types that are detailed in the associated precise plan constituting Phase 1 of the Arantine Hills master plan. The subdivision is designed to comply with the subdivision standards imposed by the specific plan and the municipal code. This map is but one implementation tool for the overall master plan. The proposed map implements a number of General Plan goals and policies that relate specifically to the subject site as well as to residential development in the city in general. The orderly development of the site is secured through the conditions of approval that apply to this map as well as the underlying master map, and therefore, TTM 37030 properly implements Phase 1 of the approved master plan.

### **FINDINGS FOR APPROVAL TTM 37030**

1. The proposed project has been fully evaluated as part of the master plan comprehensively evaluated under the Supplemental Environmental Impact Report for Arantine Hills certified May 19, 2016, and therefore, subsequent evaluation is not required under CEQA. This declaration is articulated on a preliminary exemption assessment attached as an exhibit to this report declaring that CEQA requirements have been satisfied and that no further environmental assessment is warranted.
2. None of the conditions provided in Section 66474 of the California Government Code exists for the following reasons:
  - a. *The proposed map is consistent with the General Plan designations of Low Density Residential (0-6 du/ac), Medium Density Residential (6-15 du/ac), High Density Residential (15-36 du/ac), and Park as shown on the city's General Plan land use map and in accordance with the goals and policies related to the project site and residential development in general.*
  - b. *The proposed subdivision is designed in accordance with the standards imposed by the respective land use designations of the Arantine Hills Specific Plan and the Corona Municipal Code.*

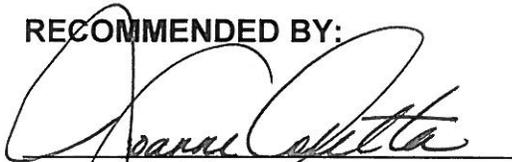


6. The proposal is in conformance with Title 16 (Subdivisions) of the Corona Municipal Code for the following reasons:
- a. *The proposed map meets the city's subdivision standards for lot area, width, depth as prescribed by the Arantine Hills Specific Plan development standards and requirements for street access.*
  - b. *All necessary public improvements to support the proposed project are guaranteed with this subdivision.*

### FISCAL IMPACT

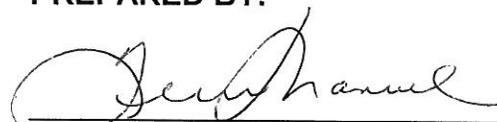
The applicant has paid all the required application processing fees.

#### RECOMMENDED BY:



Joanne Coletta  
Community Development Director

#### PREPARED BY:



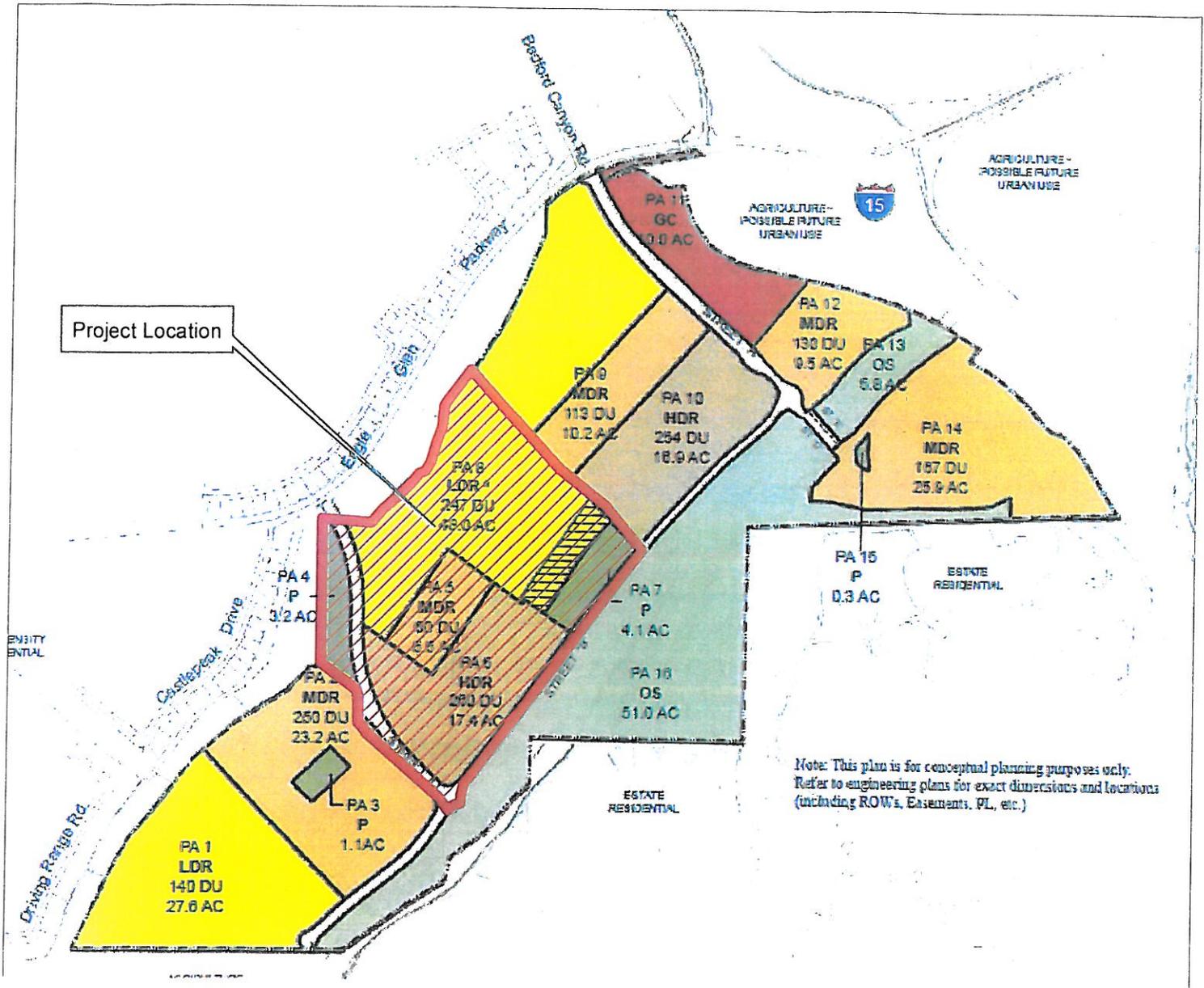
Terri Manuel, AICP  
Planning Manager

### EXHIBITS

1. Locational and Zoning Map
2. Exhibit A-1 – A-5 - Tentative Tract Map 37030
3. Exhibit B - Conditions of Approval
4. Exhibit C-1 – C-6 – Fuel Modification Plan
5. Exhibit D-1 – D-2 - Applicant's revised letter dated February 27, 2017 providing required subdivision information; Applicant's letter dated February 27, 2017 summarizing revisions to the map
6. Exhibit E - Environmental Documentation
7. Exhibit F - Public correspondence

CASE PLANNER: Terri Manuel, Planning Manager (951) 736-2434

# Locational Exhibit



Date: 01/04/2017

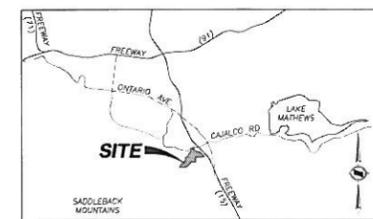
The New Home Company  
TTM 37030 & PP16-012

**EXHIBIT 1**

# TENTATIVE TRACT MAP NO. 37030 FOR CONDOMINIUM PURPOSES

BEING A SUBDIVISION OF A PORTION OF LOTS 3, 4, 5, 7, 9, A, B, C, G, I, J AND O OF TRACT NO. 36294, FILED IN BOOK \_\_\_\_\_  
PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_, INCLUSIVE, OF TRACT MAPS, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

ZONING: SF2  
TRACT NO. 28575  
M.B.: 27710-25



VICINITY MAP

### NOTES

- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING GENERAL PLAN LAND USE DESIGNATION: ARANTINE HILLS SPECIFIC PLAN SPA 15-007 LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED GENERAL PLAN LAND USE DESIGNATION: LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- EXISTING ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, PARK
- ASSESSOR PARCEL NUMBERS: PORTION OF 279-180-024, 279-190-045, 282-030-008, 282-030-006, 282-030-005, 279-240-018, 282-030-003 AND 282-030-004
- TOTAL GROSS AREA: 53.75 AC
- WATER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
- SEWER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
- GAS SERVICE PROVIDED BY: SOUTHERN CALIFORNIA GAS COMPANY, P.O. BOX 3150, SAN DIMAS, CA 91773, (800) 427-2200
- ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON, P.O. BOX 6400, RANCHO CUCAMONGA, CA 91729, (800) 993-7788
- TELEPHONE SERVICE PROVIDED BY: AT&T, 1265 N. VAN BUREN STREET, SUITE 180, ANAHEIM, CA 92807, (800) 750-2355
- CABLE PROVIDED BY: TIME WARNER, 26487 YNEZ ROAD, SUITE G, TEMECULA, CA 92591, (951) 645-2316
- REFUSE PROVIDED BY: WASTE MANAGEMENT OF THE INLAND EMPIRE, 800 SOUTH TEMESCAL STREET, CORONA, CA 92816, (951) 280-4500
- THE PROJECT IS LOCATED WITHIN THE CORONA-NORCO UNIFIED SCHOOL DISTRICT, 2820 CLARK AVENUE, NORCO, CA 92860, (951) 736-5000
- STREET LINEAR FOOTAGE:  
"A" STREET - 936' "I" STREET - 794'  
"B" STREET - 1,286' "J" STREET - 513'  
"C" STREET - 148' "K" STREET - 539'  
"D" STREET - 318' "L" STREET - 942'  
"E" STREET - 226' "M" STREET - 722'  
"F" STREET - 325' "N" STREET - 722'  
"G" STREET - 308' "O" STREET - 454'  
"H" STREET - 261'
- THE PROJECT SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 09060513000, EFFECTIVE DATE AUGUST 28, 2008.
- ALL IMPROVEMENTS SHALL BE PER ARANTINE HILLS SPECIFIC PLAN UNLESS OTHERWISE APPROVED
- PROPOSED DEVELOPMENT (PHASE 1) IS IN CONFORMANCE WITH THE APPROVED WQMP AND APPROVED DRAINAGE REPORT

### EARTHWORK SUMMARY

CUT	FILL
138,895 CYS	138,895 CYS

### LEGEND

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- LOT NUMBER

### STATEMENT OF OWNERSHIP

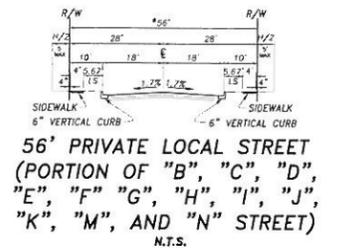
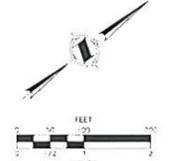
I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

DATE \_\_\_\_\_

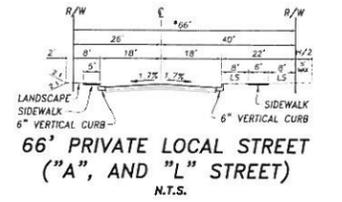


DATE	REVISION	BY

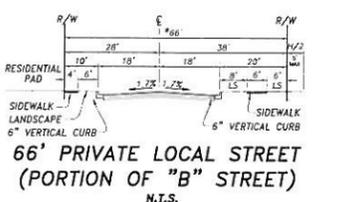
DATE: 02-27-2017  
 W.O.: 2749-18  
 GROSS AREA: 53.75±  
 CONTOUR INTERVAL: 5'  
 NUMBERED LOTS: 45  
 LETTERED LOTS: 17



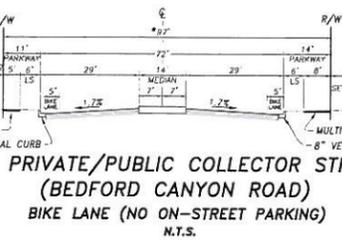
56' PRIVATE LOCAL STREET (PORTION OF "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "M", AND "N" STREET) N.T.S.



66' PRIVATE LOCAL STREET ("A", AND "L" STREET) N.T.S.



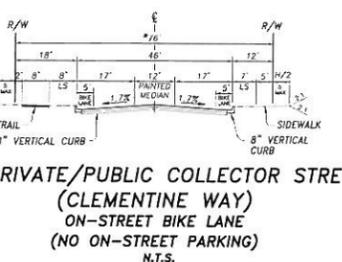
66' PRIVATE LOCAL STREET (PORTION OF "B" STREET) N.T.S.



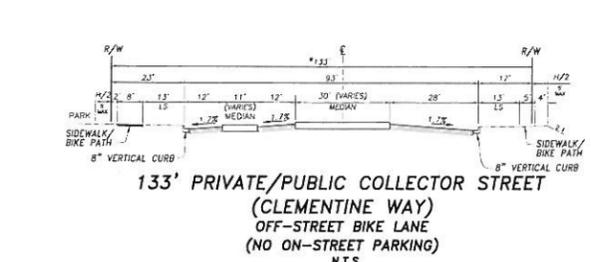
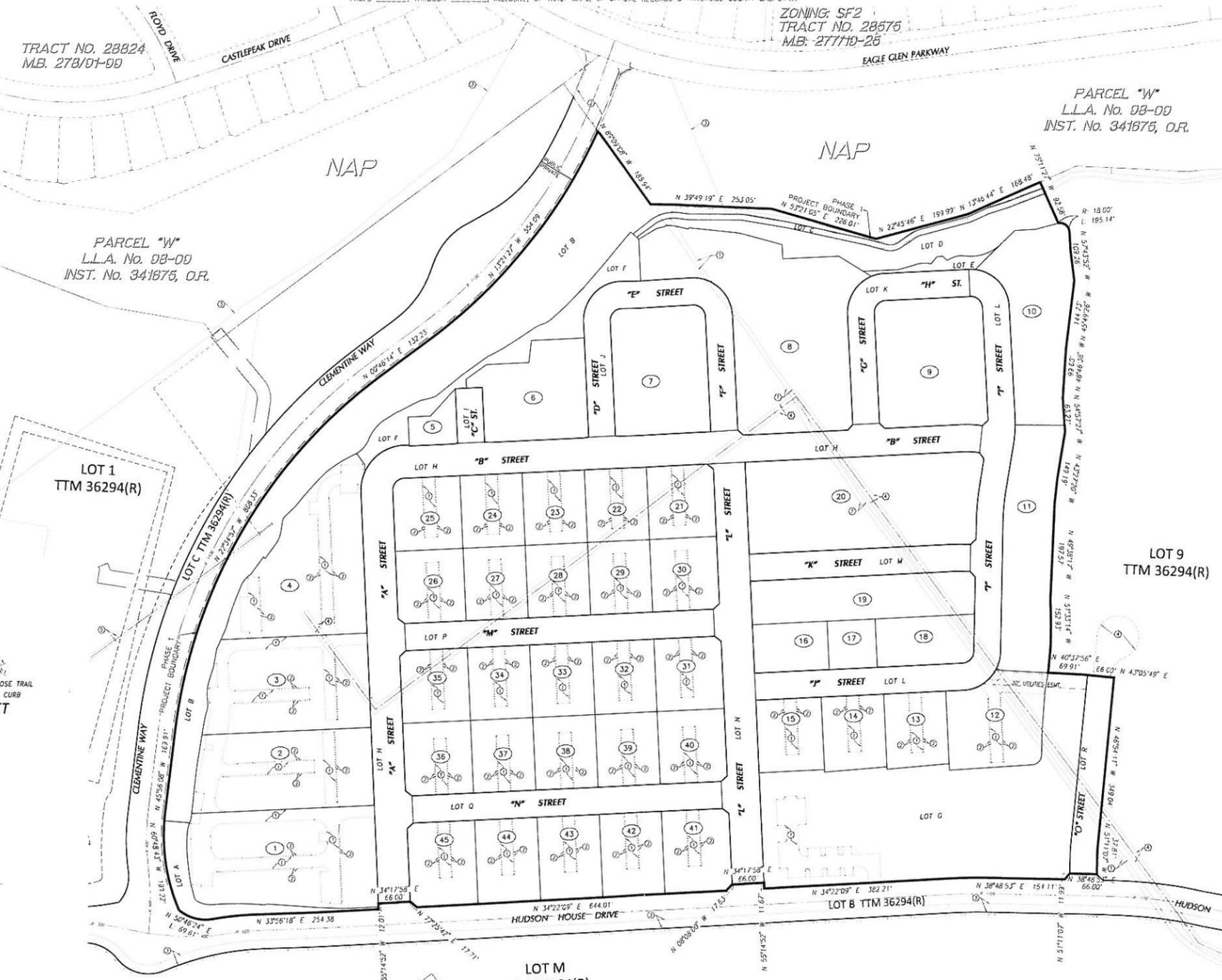
97' PRIVATE/PUBLIC COLLECTOR STREET (BEDFORD CANYON ROAD) BIKE LANE (NO ON-STREET PARKING) N.T.S.



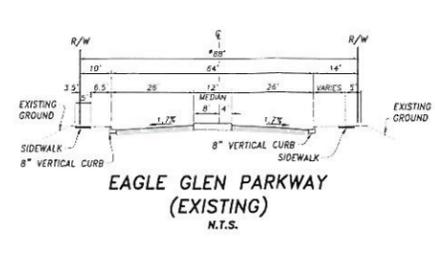
71' PRIVATE COLLECTOR STREET (HUDSON HOUSE DRIVE) (NO ON-STREET PARKING) N.T.S.



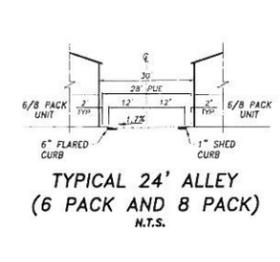
76' PRIVATE/PUBLIC COLLECTOR STREET (CLEMENTINE WAY) ON-STREET BIKE LANE (NO ON-STREET PARKING) N.T.S.



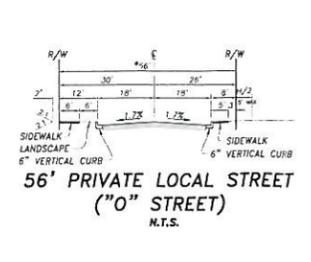
133' PRIVATE/PUBLIC COLLECTOR STREET (CLEMENTINE WAY) OFF-STREET BIKE LANE (NO ON-STREET PARKING) N.T.S.



EAGLE GLEN PARKWAY (EXISTING) N.T.S.



TYPICAL 24' ALLEY (6 PACK AND 8 PACK) N.T.S.

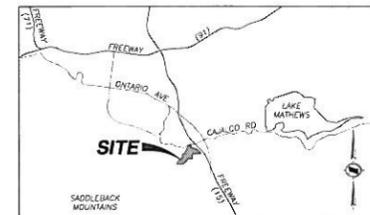
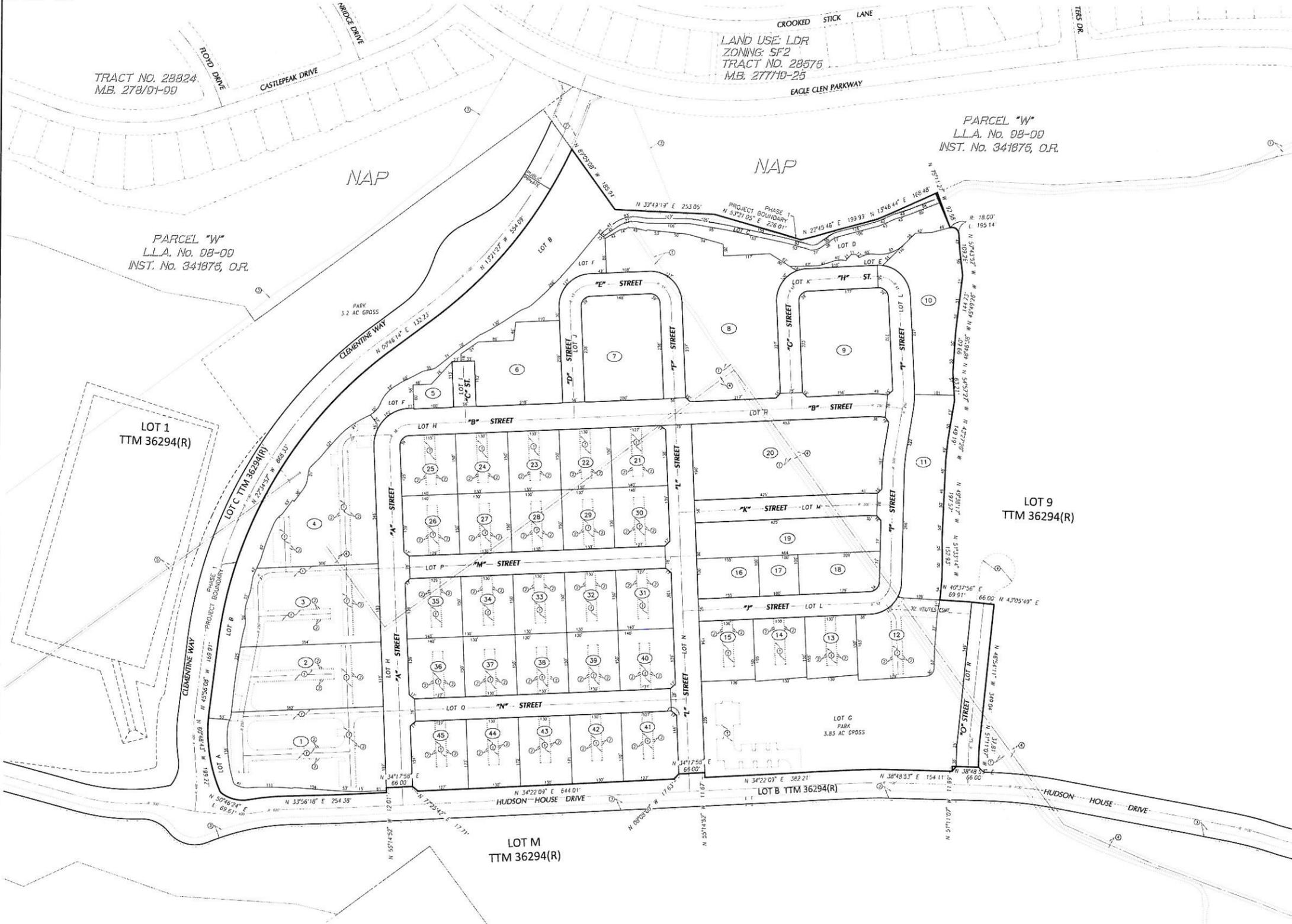


56' PRIVATE LOCAL STREET ("O" STREET) N.T.S.

\* NOTE: INGRESS EGRESS AND EMERGENCY ACCESS OVER PRIVATE STREETS AND PUBLIC UTILITY PURPOSES

NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	DS	DRAWN BY:	LP	DESIGNED BY:	DS	PREPARED FOR:	THE NEW HOME COMPANY 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766	OWNER:	ARANTINE HILLS HOLDINGS, LP A DELAWARE LIMITED PARTNERSHIP 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766	PREPARED BY:	HUNSAKER & ASSOCIATES IRVINE, INC. PLANNING • ENGINEERING • SURVEYING Three Hughes • Irvine, CA 92618 • PH: (949) 583-1010 • FX: (949) 583-0759	SHEET	TENTATIVE TRACT NO. 37030 FOR CONDOMINIUM PURPOSES City of Corona	1 OF 5
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VICINITY MAP

NOTES

- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING GENERAL PLAN LAND USE DESIGNATION: ARANTINE HILLS SPECIFIC PLAN SPA 15-1002 LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED GENERAL PLAN LAND USE DESIGNATION: LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH RESIDENTIAL, PARK
- EXISTING ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, PARK
- ASSESSOR PARCEL NUMBERS: PORTION OF 279-180-024, 279-180-045, 282-030-008, 282-030-006, 282-030-005, 279-240-018, 282-030-003 AND 282-030-004
- TOTAL GROSS AREA: 53.75 AC
- WATER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92780, (951) 736-2234
- SEWER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92780, (951) 736-2234
- GAS SERVICE PROVIDED BY: SOUTHERN CALIFORNIA GAS COMPANY, P.O. BOX 3150, SAN DIMAS, CA 91773, (800) 427-2200
- ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON, P.O. BOX 6400, RANCHO CUCAMONGA, CA 91729, (800) 990-7788
- TELEPHONE SERVICE PROVIDED BY: AT&T, 1265 N VAN BUREN STREET, SUITE 180, ANAHEIM, CA 92807, (800) 750-2355
- CABLE PROVIDED BY: TIME WARNER, 25487 YNEZ ROAD, SUITE 6, TEMECULA, CA 92591, (951) 643-2316
- REFUSE PROVIDED BY: WASTE MANAGEMENT OF THE MIDLAND EMPIRE, 800 SOUTH TEMESCAL STREET, CORONA, CA 92706, (951) 280-4500
- THE PROJECT IS LOCATED WITHIN THE CORONA-NORCO UNIFIED SCHOOL DISTRICT, 2820 CLARK AVENUE, NORCO, CA 92860, (951) 736-5000
- STREET LINEAR FOOTAGE:
  - A" STREET - 936'
  - B" STREET - 1,286'
  - C" STREET - 148'
  - D" STREET - 318'
  - E" STREET - 226'
  - F" STREET - 325'
  - G" STREET - 308'
  - H" STREET - 261'
  - I" STREET - 794'
  - J" STREET - 513'
  - K" STREET - 539'
  - L" STREET - 842'
  - M" STREET - 722'
  - N" STREET - 722'
  - O" STREET - 454'
  - P" STREET - 261'
- THE PROJECT SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 060505C13600, EFFECTIVE DATE AUGUST 28, 2008.
- ALL IMPROVEMENTS SHALL BE PER ARANTINE HILLS SPECIFIC PLAN UNLESS OTHERWISE APPROVED
- PROPOSED DEVELOPMENT (PHASE 1) IS IN CONFORMANCE WITH THE APPROVED WOMP AND APPROVED DRAINAGE REPORT

EARTHWORK SUMMARY

CUT	FILL
138,885 CYS	138,885 CYS

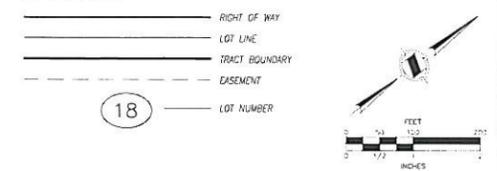
EXISTING EASEMENTS

- APPROXIMATE LOCATION OF EASEMENT IN FAVOR OF THE RIVERSIDE COUNTY TRANSPORTATION COMMISSION FOR ACCESS PURPOSES, RECORDED 12/26/2008 AS INST. NO. 2008-0672263, O.R. TO BE RELOCATED
- IRREVOCABLE OFFER OF DEDICATION IN FAVOR OF THE CITY OF CORONA FOR PUBLIC RIGHT-OF-WAY PURPOSES, RECORDED 7/19/2012 AS INST. NO. 2012-0336145, O.R.
- A PERMANENT EASEMENT FOR INGRESS, EGRESS, MAINTAINING AND IMPROVING A ROAD FOR VEHICLE AND PEDESTRIAN ACCESS, DRAINAGE AND DIVERSION OF SURFACE WATERS, INSTALLING, MAINTAINING AND REPLACING LANDSCAPING AND APPLICANT IMPROVEMENTS AND INCIDENTAL PURPOSES, RECORDED JULY 9, 2003 AS INSTRUMENT NO. 2003-510547 OF OFFICIAL RECORDS
- A TEMPORARY EASEMENT FOR INGRESS AND EGRESS FOR THE PURPOSES OF PERFORMING GRADING AND CONSTRUCTION AND INCIDENTAL PURPOSES, RECORDED JULY 9, 2003 AS INSTRUMENT NO. 2003-510547 OF OFFICIAL RECORDS
- EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON FOR POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED 2/26/1992 AS INST. NO. 064680, O.R. TO BE OUTLINED 2015-0564507
- EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON & CTE CALIFORNIA FOR PUBLIC UTILITY AND INCIDENTAL PURPOSES, RECORDED 6/23/1988 AS INST. NO. 173196, O.R. OUTLINED 2015-0564508

PROPOSED EASEMENTS

- 24' INGRESS EGRESS AND EMERGENCY ACCESS OVER PRIVATE STREETS AND PUBLIC UTILITY PURPOSES
- 2' EASEMENT FOR PUBLIC UTILITY PURPOSES
- 18' CHANNEL TRAIL/PARKWAY (TO BE DEDICATED PER THE FINAL MAP FOR TENTATIVE TRACT 36294(R))
- EASEMENT FOR TURN-AROUND PURPOSES

LEGEND



RESIDENTIAL LOTS

Lot No.	S.F.	Acres	Land Use	Lot No.	S.F.	Acres	Land Use
1	77,121	1.77	Residential	24	19,500	0.45	Residential
2	59,814	1.36	Residential	25	20,866	0.48	Residential
3	64,992	1.49	Residential	26	20,942	0.48	Residential
4	70,809	1.61	Residential	27	19,100	0.44	Residential
5	7,245	0.17	Residential	28	19,500	0.45	Residential
6	41,026	0.94	Residential	29	19,500	0.45	Residential
7	52,327	1.20	Residential	30	20,916	0.48	Residential
8	113,375	2.60	Residential	31	20,908	0.48	Residential
9	59,257	1.37	Residential	32	19,493	0.45	Residential
10	51,478	1.18	Residential	33	19,493	0.45	Residential
11	52,091	1.20	Residential	34	19,493	0.45	Residential
12	36,328	0.83	Residential	35	20,934	0.48	Residential
13	19,816	0.46	Residential	36	20,951	0.48	Residential
14	19,829	0.46	Residential	37	19,506	0.45	Residential
15	20,765	0.47	Residential	38	19,506	0.45	Residential
16	15,500	0.36	Residential	39	19,509	0.45	Residential
17	10,000	0.23	Residential	40	20,918	0.48	Residential
18	20,419	0.47	Residential	41	21,609	0.50	Residential
19	41,887	0.96	Residential	42	22,128	0.51	Residential
20	50,588	1.15	Residential	43	22,384	0.51	Residential
21	20,028	0.46	Residential	44	22,092	0.51	Residential
22	19,500	0.45	Residential	45	24,093	0.55	Residential
23	19,500	0.45	Residential				

LETTER LOTS

Lot No.	S.F.	Acres	Land Use
A	15,715	0.36	Open Space
B	164,282	3.77	Open Space
C	10,698	0.25	Total
D	38,430	0.88	Open Space
E	4,430	0.10	Open Space
F	77,371	1.76	Open Space
G	166,737	3.83	Park/Rec. Center
H	139,383	3.20	Private Street
I	6,520	0.15	Private Street
J	44,300	1.02	Private Street
K	77,332	1.76	Private Street
L	74,903	1.72	Private Street
M	25,782	0.59	Private Street
N	59,169	1.36	Private Street
P	36,054	0.83	Private Street
Q	36,054	0.83	Private Street
R	22,919	0.53	Private Street

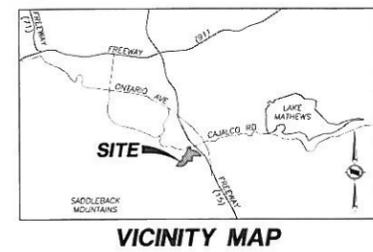
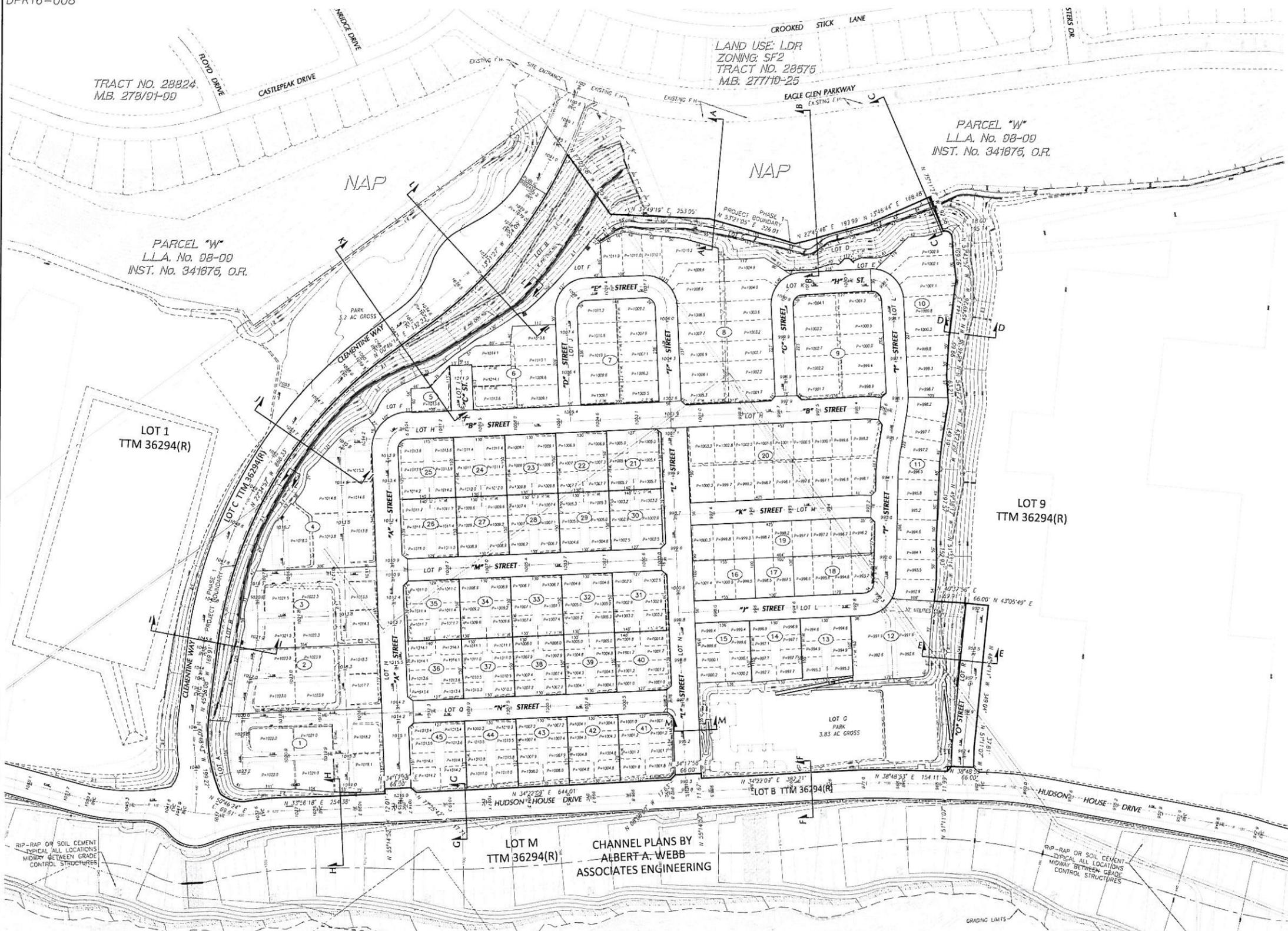
SUMMARY OF ALL LOTS

LAND USE	TOTAL AREA (AC)
RESIDENTIAL	133.32
PARK	3.83
TRAIL	0.25
OPEN SPACE	5.18
STREET	10.14
TOTAL	58.75

PRODUCT SUMMARY

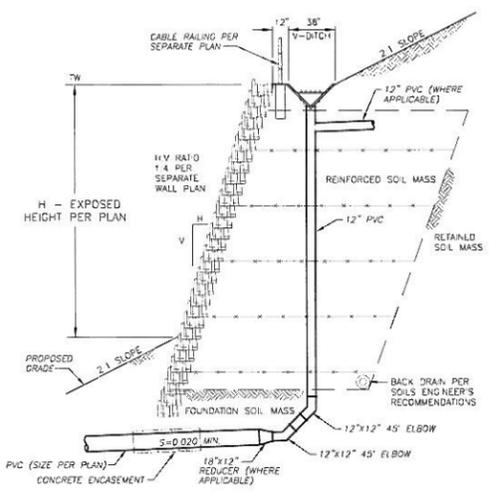
PRODUCT	UNITS
SPACK	21
SOLOD	59
TRAIL	1
SPACK	96
SPACK	96
TOWNSHOUSES	101
SUB-TOTAL	383

NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	DS	DRAWN BY:	LP	DESIGNED BY:	DS
PREPARED FOR: <b>THE NEW HOME COMPANY</b> 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766				OWNER: <b>ARANTINE HILLS HOLDINGS, LP                  A DELAWARE LIMITED PARTNERSHIP</b> 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766		PREPARED BY: <b>HUNSAKER &amp; ASSOCIATES</b> IRVINE, INC. PLANNING ■ ENGINEERING ■ SURVEYING Three Hughes • Irvine, CA 92618 • PH: (949) 583-1010 • FX: (949) 583-0759		SHEET TENTATIVE TRACT NO. 37030 FOR CONDOMINIUM PURPOSES City of Corona <b>EXHIBIT 3 OF 5</b> <b>A-3</b>	



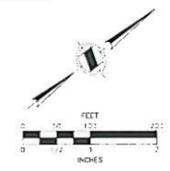
NOTES

- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING GENERAL PLAN LAND USE DESIGNATION: ARANTINE HILLS SPECIFIC PLAN SPA 15-002 LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED GENERAL PLAN LAND USE DESIGNATION: LOW MEDIUM RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH RESIDENTIAL, PARK
- EXISTING ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, GENERAL COMMERCIAL, PARK
- PROPOSED ZONING: LOW DENSITY RESIDENTIAL, MEDIUM DENSITY RESIDENTIAL, HIGH DENSITY RESIDENTIAL, PARK
- ASSESSOR PARCEL NUMBERS: PORTION OF 279-180-024, 279-190-045, 282-030-008, 282-030-009, 282-030-005, 279-740-018, 282-030-003 AND 282-030-004
- TOTAL GROSS AREA: 53.75 AC
- WATER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
- SEWER SERVICE PROVIDED BY: CORONA DEPARTMENT OF WATER AND POWER, 755 CORPORATION YARD WAY, CORONA, CA 92880, (951) 736-2234
- GAS SERVICE PROVIDED BY: SOUTHERN CALIFORNIA GAS COMPANY, P.O. BOX 3150, SAN DIMAS, CA 91773, (800) 427-2200
- ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON, P.O. BOX 6400, RANCHO CUCAMONGA, CA 91729, (800) 990-7788
- TELEPHONE SERVICE PROVIDED BY: AT&T, 1265 N. VAN BUREN STREET, SUITE 180, ANAHEIM, CA 92807, (800) 750-2355
- CABLE PROVIDED BY: TIME WARNER, 26487 1NEZ ROAD, SUITE G, TEMECULA, CA 92591, (951) 845-2316
- REFUSE PROVIDED BY: WASTE MANAGEMENT OF THE INLAND EMPIRE, 800 SOUTH TEMESCAL STREET, CORONA, CA 92876, (951) 280-4500
- THE PROJECT IS LOCATED WITHIN THE CORONA-NORCO UNIFIED SCHOOL DISTRICT, 2820 CLARK AVENUE, NORCO, CA 92860, (951) 236-5000
- STREET LINEAR FOOTAGE:  
 "A" STREET - 936' "J" STREET - 794'  
 "B" STREET - 1,286' "K" STREET - 513'  
 "C" STREET - 149' "L" STREET - 942'  
 "D" STREET - 318' "M" STREET - 722'  
 "E" STREET - 226' "N" STREET - 722'  
 "F" STREET - 325' "O" STREET - 454'  
 "G" STREET - 261'
- THE PROJECT SITE IS LOCATED WITHIN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 08055C1360C, EFFECTIVE DATE AUGUST 28, 2008.
- ALL IMPROVEMENTS SHALL BE PER ARANTINE HILLS SPECIFIC PLAN UNLESS OTHERWISE APPROVED
- PROPOSED DEVELOPMENT (PHASE 1) IS IN CONFORMANCE WITH THE APPROVED WGMP AND APPROVED DRAINAGE REPORT



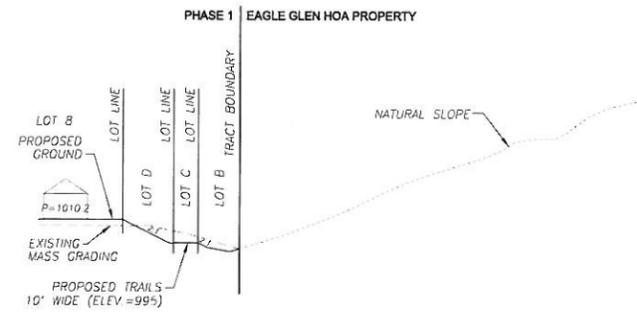
LEGEND

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- TOP AND TOE OF SLOPE
- CONTOUR
- RETAINING WALL
- LOT NUMBER

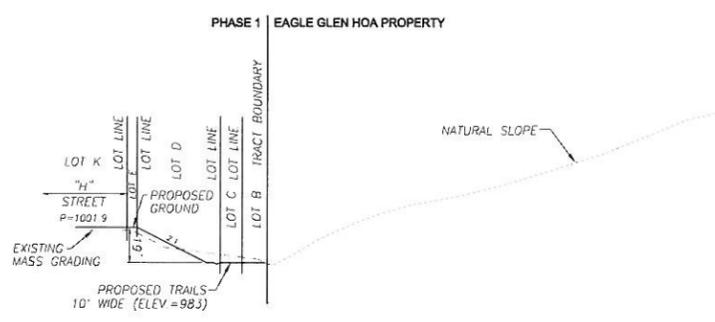


DRAWN BY: LP DESIGNED BY: DS CHECKED BY: DS	PREPARED FOR: <b>THE NEW HOME COMPANY</b> 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766	OWNER: <b>ARANTINE HILLS HOLDINGS, LP</b> A DELAWARE LIMITED PARTNERSHIP 85 ENTERPRISE, SUITE 450 ALISO VIEJO, CA 92656 (949) 382-2766	PREPARED BY: <b>HUNSAKER &amp; ASSOCIATES</b> IRVINE, INC. PLANNING • ENGINEERING • SURVEYING Three Hughes • Irvine, CA 92618 • PH: (949) 583-1010 • FX: (949) 583-0799	CONCEPTUAL GRADING TENTATIVE TRACT NO. 37030 FOR CONDOMINIUM PURPOSES City of Corona	SHEET <b>4 OF 5</b> <b>A-4</b>
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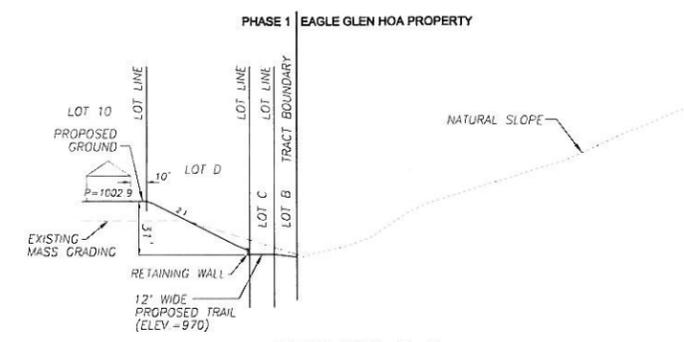
# SITE SECTIONS



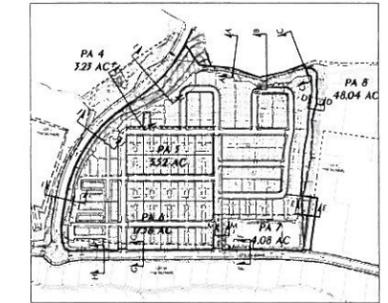
**SECTION A-A**  
SCALE 1"=40'



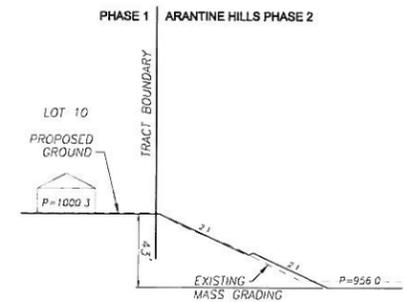
**SECTION B-B**  
SCALE 1"=40'



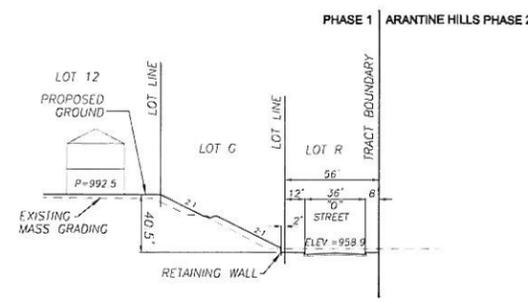
**SECTION C-C**  
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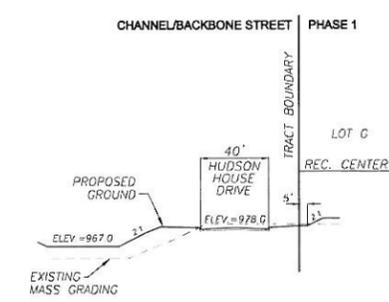
**KEY MAP**



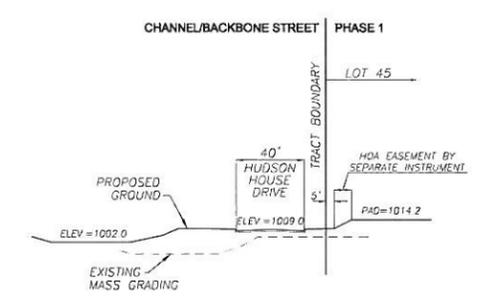
**SECTION D-D**  
SCALE 1"=40'



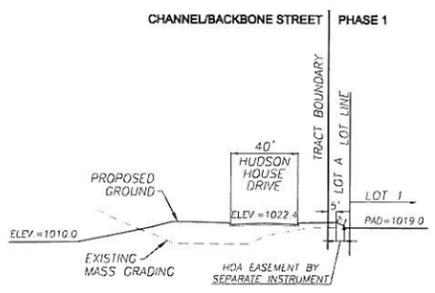
**SECTION E-E**  
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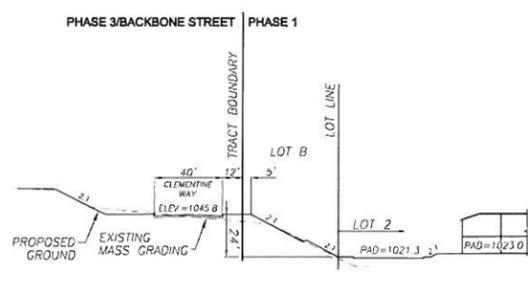
**SECTION F-F**  
SCALE 1"=40'



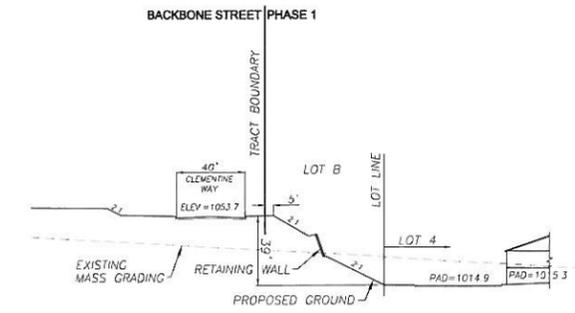
**SECTION G-G**  
SCALE 1"=40'



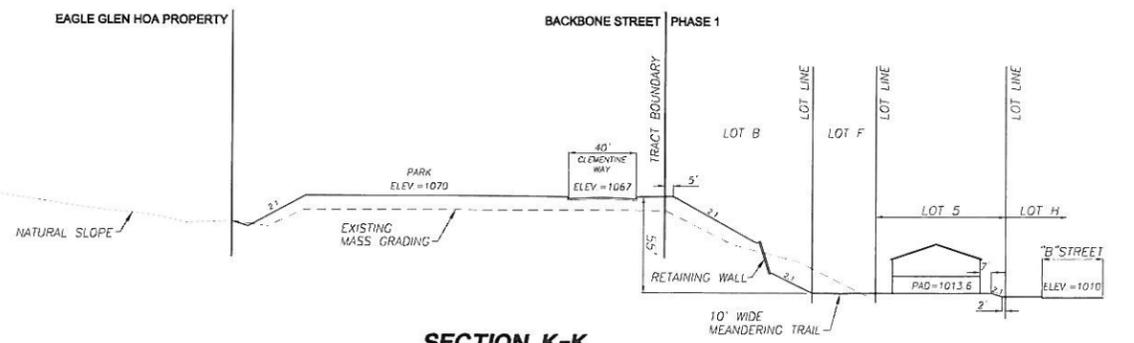
**SECTION H-H**  
SCALE 1"=40'



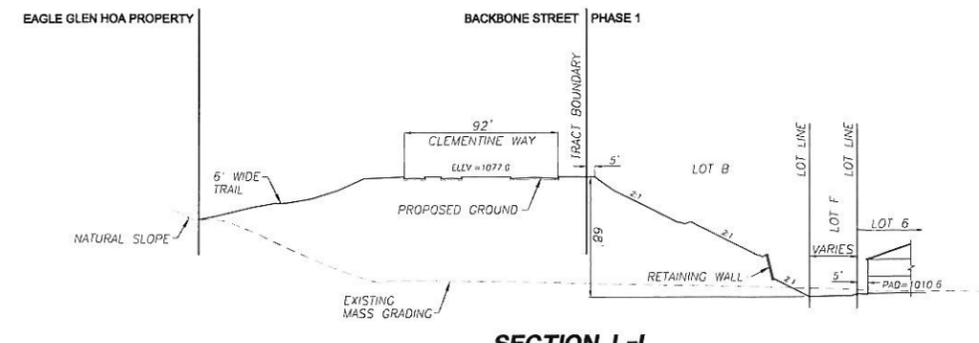
**SECTION I-I**  
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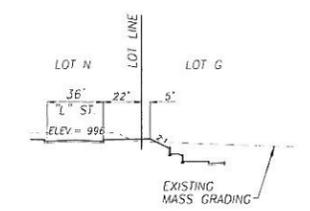
**SECTION J-J**  
SCALE 1"=40'



**SECTION K-K**  
SCALE 1"=40'



**SECTION L-L**  
SCALE 1"=40'



**SECTION M-M**  
SCALE 1"=40'

NO.	DATE	REVISIONS	APPROVED	CHECKED BY

**DRAWN BY:** LP  
**DESIGNED BY:** DS  
**PREPARED FOR:** THE NEW HOME COMPANY  
 85 ENTERPRISE, SUITE 450  
 ALISO VIEJO, CA 92656  
 (949) 382-2766  
**OWNER:** ARANTIME HILLS HOLDINGS, LP  
 A DELAWARE LIMITED PARTNERSHIP  
 85 ENTERPRISE, SUITE 450  
 ALISO VIEJO, CA 92656  
 (949) 382-2766

**PREPARED BY:**  
**HUNSAKER & ASSOCIATES**  
 IRVINE, INC.  
 PLANNING ■ ENGINEERING ■ SURVEYING  
 Three Hughes • Irvine, CA 92618 • Ph: (949) 583-1010 • Fx: (949) 583-0759

TENTATIVE TRACT NO. 37030  
 FOR CONDOMINIUM PURPOSES  
 City of Corona

SHEET

5 OF 5

**EXHIBIT A-5**



not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.

- 1PL-004 The interior streets shall provide for landscape between the back of the sidewalks and any perimeter or private yard walls or fences where they occur and shall in no case feature design with sidewalk directly adjacent to any perimeter wall or fence.
- 1PL-005 Map notes shall be corrected to remove reference to General Commercial as a land use as this map contains no commercial land uses.
- 1PL-006 Street O shall be designed with a temporary turn-around as illustrated on the associated precise plan until access to future Phase 2 is designed and secured with a subdivision map.
- 1PL-007 This project site is subject to the MSHCP fee for residential developments according to the density categories of Low, Medium and High Density Residential. Fees are payable at the time building permits are issued.
- 1PL-008 The map shall indicate the landscape easements or lots to be maintained by the property owner's association.
- 1PL-009 Prior to the issuance of a Precise Grading Plan, the developer shall submit for approval by the Fire Department a final corrected Fuel Modification Plan with the maintenance language also in the CC & R's.
- 1PL-010 Prior to dropping lumber or introducing any combustible materials to the project site, the developer shall implement those portions of the Fuel Modification plan determined to be necessary by the Fire Department.
- 1PL-011 Prior to the issuance of occupancy certificates, all fuel modification zones relative to the construction areas shall be installed, inspected and accepted by the Fire Department.
- 1PL-012 All provisions of the Fuel Modification plan shall be implemented and continued in perpetuity as prescribed by the plan and reflected in the CC & R's.
- 1PL-013 The Fuel Modification Plan shall be revised to remove any fuel modification treatment from the Bedford Canyon Wash which must remain in a natural state and replace with equally effective fire protection design..

**CONDITIONS OF APPROVAL**  
**TTM 37030, Arantine Hills Phase 1 ("B" Map)**  
**54-AC Residential Master Planned Community**  
**South of Eagle Glen Parkway, West of Interstate 15**  
**Temescal Valley Benefit Area or Arantine Hills Development Agreement**

**PUBLIC WORKS DEPARTMENT**

The following are the Public Works Department Conditions of Approval for this project which shall be satisfied at no cost to any government agency. All questions regarding the intent of the following conditions shall be referred to the Public Works Department Land Development Section. The applicant shall use the design standard and criteria listed below. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.

**GENERAL CONDITIONS**

1. The developer shall comply with the State of California Subdivision Map Act; the Arantine Hills Development Agreement (DA); these Conditions of Approval; all applicable City ordinances and resolutions; the development's adopted Arantine Hills Specific Plan, and the mitigation measures identified in the certified Environmental Impact Report for the development. Should any conflict arise between these Conditions of Approval and the DA, the DA shall prevail.
2. Prior to map recordation of TTM 37030, the "A" Map, TTM 36294R shall be recorded and all applicable conditions shall be complied with including the posting of all required securities guaranteeing the construction of all public improvements. Prior to the issuance of any certificate of occupancy within TTM 37030, all improvements shall be completed as specified by Arantine Hills Specific Plan Phasing exhibits. Subject to approval of Public Works Director.
3. Prior to final map recordation or issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.
4. The submitted tentative tract map shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said tentative tract map to be resubmitted for further consideration.
5. The tentative tract shall be recorded as one final tract map, and shall be developed as one tract. Financial security shall be provided for all improvements within the tract prior to the final tract map recordation.
6. All existing and new utilities on the property or within city public right of way adjacent to the project shall be placed underground in accordance with City of Corona ordinances.
7. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar with permanent black ink only and wet-signed by a registered civil engineer or other registered/licensed professional as required.

8. The project requires the dedication and construction of necessary utilities, streets or other improvements outside the boundaries of this development if the improvements are needed for circulation, parking and access or for the welfare or safety of future occupants of the development. These improvements are detailed in the development's amended specific plan, Development Agreement, certified EIR, supplemental EIR, and approved Traffic Impact Analysis. The developer, his successors or assigns, shall comply with the recommendations and implement the mitigation measures in the approved EIR, Traffic Impact Analysis, and amended Specific Plan.
9. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City. In the event that the developer requires the City's assistance to condemn said right-of-way or easements for master plan facilities only, the developer shall enter into an agreement with the City for the acquisition of said right-of-way or easements pursuant to Government Code Section 66462.5, and pay any and all costs, as determined by the City, associated with the condemnation process.
10. The developer, his successor or assigns, shall ensure that all the requirements in the technical studies approved for this development are complied with. These will include: (a) Phase I and Phase II Environmental, (b) Soils and Geological Report(s), (c) Hydrology and Hydraulic studies, (d) Traffic Impact Analysis, (e) Water, Sewer and Reclaimed Water studies (f) Sediment and Transport Study.
11. No precise grading permits for any area within the map boundary shall be issued prior to recordation of the final tract map unless approved by the Public Works Director.
12. Prior to recordation of the final tract map, the developer shall ensure the Phase I project, Precise Plan (PP) 16-012, is addressed by the master homeowner's association (HOA) or property owner's association (POA) for the purpose of maintaining all private streets, common areas and private utilities. The association documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Public Works Department and shall be recorded concurrently with the final tract map.
  - (a) The developer, his successors or assigns, shall be responsible for maintenance of all private streets, common areas, and private utilities until such time that the HOA/POA can take over
13. Prior to building permit issuance, a condo map shall be approved by the City of Corona and prior to certificate of occupancy by the BRE, unless otherwise approved by the Public Works Director.
14. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.

15. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
- (a) Removal of spoils, debris or other construction material deposited on any public street no later than the end of each working day.
  - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
  - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

16. All handling of solids waste, recyclables and/or construction & demolition debris during all phases of construction and post construction shall conform to the City of Corona Municipal Code, Title 8, Chapter 8.20.80, as well as conform to applicable Federal, State and local laws, rules, regulations, ordinances and all provisions.
17. Prior to map recordation the developer shall construct or guarantee the construction of all public and private infrastructure improvements. Said improvements shall include, but are not limited to, the following:
- a) All missing or deficient street facilities along Hudson House Drive and Clementine Way including but not limited to street lights, curb, gutter and sidewalk
  - b) All street improvements for "A" through "O" Street including but not limited to street lights, curb, gutter and sidewalk and temporary turnaround on "O" street
  - c) All private drive aisles in Lots "1" through "4", "12" through "15", and "21" through "45"
  - d) All drainage facilities along Hudson House Drive, Clementine Way, "O" Street and all the onsite drainage facilities (within the project limits).
  - e) All required grading, including erosion control and retaining walls.
  - f) All required sewer, water and reclaimed water facilities.
  - g) All required landscaping and/or park facilities including Lots "A" through "G".
  - h) All under grounding of overhead utilities, except for cables greater than 33k volts.
  - i) All required on site and off site traffic signals.

### **GRADING**

18. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36, unless otherwise approved by the Public Works Director.

19. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.
20. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.
21. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.
22. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP) for the development. A copy of the SWPPP shall be made available at the construction site at all times during construction, and one copy to the Public Works Department for review and records.
23. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.
24. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad (rough grade and soils) certifications and compaction test reports for the subject lots where building permits are requested.
25. Prior to release of grading security for each phase or sub-phase, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans that includes Water Quality Control facilities.
26. Prior to issuance of any grading permit, where grading is proposed within environmentally sensitive areas, the developer shall be required to obtain all applicable and necessary permits from various agencies which include but are not limited to the California Department of Fish and Wildlife and the United States Army Corps of Engineers, or provide verification that the project is exempt from permit requirements.
27. Prior to issuance of any grading permit, any environmental Phase I and Phase II findings indicating possible contamination resulting from previous use of the subject site shall be addressed and recommended actions shall be implemented.
28. All side yard down slopes that abut on to streets shall be placed in an easement for the Homeowners Association to maintain and shall have an individual water service.

29. Prior to the issuance of any grading permits, the applicant shall post security guaranteeing the construction of all retaining walls and drainage structures within Lots "A", "B", "C", "D", "E", "F" and "G".

### **NPDES/WQMP**

30. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
31. A Preliminary Water Quality Management Plan (WQMP) that requires construction of two Bio retention basins was approved for the entire development. Ownership and maintenance of the basins shall be the responsibility of the development master Homeowners Association (HOA). A Final WQMP (F-WQMP) shall be prepared for the Phase I development in substantial conformance with the approved preliminary WQMP, and shall include an analysis of the availability of the basins to treat project flows. The Phase I F-WQMP shall provide Site Design BMPs and Treatment Control BMPs to ensure compliance with the preliminary WQMP. No grading permit for Phase I development shall be issued prior to approval of the F-WQMP.
  - (a) Upon approval of the F-WQMP, the applicant shall submit one copy on a CD-ROM in PDF format
32. Prior to final map recordation, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or shall enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved Final WQMP.
33. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future homeowners and/or occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved Final WQMP.
34. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.

### **DRAINAGE**

35. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District (RCFC&WCD) standards. The drainage design shall also comply with all the provisions of the development's amended Specific Plan.
36. Prior to final map recordation or approval of any improvement plans, the applicant shall submit a detailed final hydrology and hydraulics study for review and approval. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all

existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.

37. Prior to issuance of any building permits (except for model homes), proof of approval of the CLOMR certification process by FEMA shall be submitted to the Public Works Department subject to the approval of the Public Works Director.
38. Prior to release of any grading or public improvement securities (Bonds) associated with the master planned drainage facilities, the developer shall secure FEMA's approval for the Letter of Map Revision (LOMR) and provide proof to the Public Works Department subject to the approval of the Public Works Director.
39. Prior to recordation of the final map, any 100-year flood plain boundaries on the property shall be delineated on an environmental constraint sheet to accompany the final map. Calculations and the applicable data used to determine these boundaries shall be submitted to the Public Works Director for review prior to recordation of the final map. The area within the delineated flood plain shall be labeled "Flood Plain" and shall be kept free of all buildings and obstructions subject to the approval of the Public Works Director.
40. Prior to issuance of the first production unit building permit, the master developer shall functionally complete the construction of the Bedford Canyon Wash/Channel improvements as determined by the Public Works Director.
41. Prior to issuance of the first Certificate of Occupancy within Phase 1 as detailed in Exhibit 5.22 of the amended Specific Plan, the master developer shall complete the construction of the following:
  - (a) The detention/water quality basin in planning area 12 in conformance with the approved preliminary WQMP and drainage study.
  - (b) All RCP drainage lines and other drainage facilities in streets "A" (Bedford Canyon Road), "B" (Hudson House Drive), and "C" (Clementine Way), and in planning areas 5, 6, 7, 8, 9, 10, and 12. Subject to approval of Public Works Director.
42. Prior to recordation or approval of improvement plans, the improvement plans submitted by the applicant shall address the following:
  - (a) The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site.
  - (b) The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow.
  - (c) All lots shall drain toward the street. Residential lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks.

## **STREETS**

43. Street design criteria and cross sections shall be prepared in accordance with City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.
44. Prior to map recordation, the developer shall offer for dedication all public streets rights-of-ways within the project boundaries, subject to completion of required improvements. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director.
45. Prior to map recordation, the developer shall offer for dedication easements over the private streets (Lots H through R) and private aisles, within Lots "1" through "4" for emergency vehicle access and public utilities. Public utility easements shall be offered for private aisles within Lots "12" through "15", and "21" through "45".
46. The classification and sections for Streets "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", and "O" shall conform to the Arantine Hills Amended Specific Plan and the approved Traffic Impact Analysis for the development, and please note "O" Street shall be revised to match the street section as depicted in the Specific Plan unless otherwise approved by the Public Works Director.
47. Prior to recordation of the final tract map, the developer shall construct or guarantee the construction of the following private streets within the development:
  - (a) Streets "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", and "O", including temporary turnaround on "O" street and the private aisles within Lots "1" through "4". These improvements shall include all required public water, reclaimed water, sewer facilities, public and private storm drain facilities, private street light facilities and parkway landscaping.

The improvements shall include any required sidewalks and bike lanes as depicted in the Specific Plan, or as approved by the Public Works Director.
48. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall include the following:
  - (a) All public or private roadways' vertical and horizontal alignments shall be approved by the Director of the Public Works Department.
  - (b) All driveways shall conform to the applicable City of Corona standards and shall be shown on the street improvement plans.
  - (c) All street intersections shall be at ninety (90) degrees or as approved by the Public Works Director.
  - (d) All reverse curves shall have a minimum tangent of fifty (50) feet in length.

- (e) Undergrounding of existing and proposed utility lines on the property or within city public right of way adjacent to the project.
  - (f) Street lights.
49. Prior to approval of the street improvement plans, the plans shall include improvements to any affected existing streets to half width plus ten (10) additional feet past the centerline. If it is determined that the existing street is substandard, the Public Works Director may require the developer to provide full reconstruction of the street to current City standards as directed by the Public Works Director. Prior to approval of the improvement plans, the developer shall cause the Engineer of Record to make the field assessment and incorporate a design recommendation on the plans for review and approval by the Public Works Director.
50. The Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction (SSPWC), may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrants its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.
51. Prior to recordation of the final map, all street names shall be approved by the Public Works Director. The developer shall include at least one auction street name in each phase, as shown on Exhibit 5.17 Conceptual Phasing Plan, of the amended Arantine Hills Specific Plan. The private drive aisles in Lot "1" may need to be assigned street names as determined by the Fire Marshal.
52. Prior to release of public improvement security, or Certificate of Occupancy, whichever occurs first, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.

### **TRAFFIC**

53. A comprehensive Traffic Impact Analysis (TIA) known as the Arantine Hills Modified Project, Traffic Study dated September 11, 2015 was prepared by Urban Crossroads for this development. The TIA was reviewed and approved by the Public Works Department. The developer shall comply with all the recommendations of the Arantine Hills Development Agreement (DA) and TIA. For the purposes of these traffic conditions, all phases referenced herein are defined in the DA.

### **OFF-SITE STREET IMPROVEMENTS:**

54. Prior to the issuance of the first (1<sup>st</sup>) production unit building permit, the master developer shall post bonds for that portion of the total estimated cost of the I-15/Cajalco Road Interchange Improvement Project as indicated in the Development Agreement.
55. Prior to the issuance of the first (1<sup>st</sup>) production unit building permit, the master developer shall pay to the City the project fair share of the full cost as defined in the TIA for the following off-site improvements: new traffic signals or roundabouts, whichever is greater, at the following locations: Masters Drive / California Avenue (64%). This fair share amount shall be collected for the purpose of a future Masters Drive Capital

Improvement Project. The master developer and City shall enter into an improvement agreement for the Masters Drive Capital Improvement Project.

56. Prior to the issuance of the first (1<sup>st</sup>) production unit building permit, the master developer shall pay to the City the full cost to construct a new traffic signal at Bedford Canyon Road / Georgetown Drive and shall complete and make fully operational the improvements as defined in the TIA for the following off-site improvements: traffic signal modification at Eagle Glen Parkway / Cajalco Road / Bedford Canyon Road / Street "A" to the 2017 With Project Phase 1 conditions.
57. No additional production unit building permits after Phase 1 (308 single family production units on the Property or a combination of single family and condominium/townhome production units that have the same or a lesser external trip count as 308 single family production units) will be issued until the I-15/Cajalco Road Interchange Improvement Project is under construction, except as otherwise provided in the Arantine Hills Development Agreement.
58. Prior to the issuance of the first (1<sup>st</sup>) Certificate of Occupancy, the master developer shall construct the following improvements: new traffic signal and ITS components at Eagle Glen Parkway / Masters Drive, and the new traffic signal and ITS components at Eagle Glen Parkway / Street "C" (Clementine Way) as defined in the approved project TIA.

#### ON-SITE TRAFFIC SIGNALS AND ROUNDABOUT:

59. Prior to the issuance of the first (1<sup>st</sup>) Certificate of Occupancy, the master developer shall construct and make operational Street "C" (Clementine Way), Street "B" (Hudson House Drive) from Street "C" (Clementine Way) to Model Home access point, and roundabout at the intersection of Street "B" (Hudson House Drive) / Street "C" (Clementine Way).
60. Prior to the issuance of the first (1<sup>st</sup>) production unit Certificate of Occupancy, the master developer shall construct and make operational Street "A" (Bedford Canyon Road), Street "B" (Hudson House Drive), and the roundabout at Street "A" (Bedford Canyon Road) and Street "B" (Hudson House Drive).
61. Prior to the issuance of any Certificate of Occupancy in project Traffic Analysis Zone (TAZ) 4 as defined in the TIA, the master developer shall construct and make operational the new traffic signal and ITS components for Street "A" (Bedford Canyon Road).
62. Each new or modified traffic signal required for the project shall comply with the latest City of Corona Traffic Signals and Street Lights Special Provisions, which include but are not limited to, Cabinet Type, Traffic Controller, Video Detection, Battery Backup System, Ethernet Switch, and Fiber Optic Connections.

**CITY ITS/TELECOMMUNICATION FACILITIES:**

63. Prior to issuance of the first (1st) Certificate of Occupancy the master developer shall install an Interim ITS Improvement that shall use wireless and in ground infrastructure to connect the following traffic signals to the Corona Advanced Traffic Management System: Cajalco / I-15 NB Ramp, Cajalco / I-15 SB Ramp, Eagle Glen / Bedford Canyon, Eagle Glen / Masters, and Eagle Glen / Street "C" (Clementine Way). This interim ITS improvement shall include a new CCTV to be installed at Eagle Glen / Bedford Canyon / Cajalco / Street "A" (Bedford Canyon Road) per City specifications.
64. In conjunction with the I-15 / Cajalco Road Interchange Improvement Project, the master developer shall construct the Advanced Traffic Management System's (ATMS) Intelligent Transportation System (ITS) components as specified in the latest City of Corona Traffic Signals and Street Lights Special Provisions, which include but are not limited to, conduit, pull boxes, fiber optic cable (FOC), FOC enclosures, and FOC terminations along the south side of Eagle Glen Parkway to include Bedford Canyon, Masters Drive and Street "C" (Clementine Way) traffic signals, and along Street "A" (Bedford Canyon Road) between Eagle Glen Parkway and the future on-site traffic signal at the main entrance to the area identified in the TIA as TAZ 4.
65. The master developer shall install or fund the telecommunications infrastructure from any City facility to the nearest Traffic Signal along City facility access easements to provide telecommunications to any City facility built as part of the development project. Telecommunications include all infrastructure, conduit, pull boxes, fiber optic cable, communication devices and connections required to communicate City facilities with their master system. City facilities shall include but are not limited to, Department of Water and Power Lift Station and Reservoir Tanks.

**DEPARTMENT OF WATER AND POWER, MAINTENANCE, PARKS AND LANDSCAPE MAINTENANCE**

66. Prior to the first building permit issuance (except for model homes) within TTM 37030, the following master plan public improvements, which are conditioned and guaranteed per the "A" Map, TTM 36294R shall be constructed and in operation: (Prior to issuance of any model home permits, the developer shall comply with all Fire Department requirements).

**Water Pipelines**

- (a) 1220 Zone Water lines 12-inch waterline in Street "A" (Bedford Canyon Road) from Eagle Glen Parkway to Street "B" (Hudson House Drive)
- (b) 12-inch waterline in Street "B" (Hudson House Drive) from Street "A" (Bedford Canyon Road) Street "C" (Clementine Way)
- (c) 12-inch waterline from Street "B" (Hudson House Drive) to Planning Area 9
- (d) 12-inch waterline in Street "C" (Clementine Way) from Bennett Avenue to Street "B" (Hudson House Drive)
- (e) 12-inch 1220 zone waterline in Bedford Canyon Road from Foothill Parkway to the existing 12-inch water line in Georgetown Drive.

### **Reclaimed Water pipelines**

- (a) 8-inch reclaimed waterline in Street "A" (Bedford Canyon Road) from Eagle Glen Parkway to Street "B" (Hudson House Drive)
- (b) 8-inch reclaimed waterline in Street "B" (Hudson House Drive) from Street "A" (Bedford Canyon Road) to Street "C" (Clementine Way)
- (c) 8-inch reclaimed waterline in Street "C" (Clementine Way) from Eagle Glen Parkway to Street "B" (Hudson House Drive)

### **Sewer Lines**

- (a) 8-inch sewer line in Street "C" (Clementine Way) to Street "B" (Hudson House Drive)
- (b) 8-inch sewer line in Street "B" (Hudson House Drive) from Street "C" (Clementine Way) to a point where the sewer line transitions to a 10-inch line as shown in exhibit 5.9a of the Arantine Hills Specific Plan.
- (c) 10-inch sewer line from Street "B" (Hudson House Drive) to Street "A" (Bedford Canyon Road)
- (d) 12-inch sewer line in Street "B" (Hudson House Drive) to the Arantine Hills Lift Station
- (e) 8-inch sewer line from PA (9) to the 12-inch line in Street "B" (Hudson House Drive)

67. All sewer, water and reclaimed water design criteria shall be per City of Corona Standards, Specification and Design policy, City of Corona Municipal Code, California Department of Public Health Code of Regulations Title 22 and Riverside County Department of Health Services Standards unless otherwise approved by the Department of Water and Power General Manager or his/her designee.

68. Prior to recordation or approval of improvement plans, when applicable, the applicant shall submit detailed sewer and water studies, prepared by a registered civil engineer, which shall be submitted to the Public Works Department Land Development Section for review and approval. The study shall analyze the existing and proposed onsite sewer and water facilities. Results of the system analysis may require special construction for the sewer and water systems, such as upsizing downstream sewer lines, installing pressure regulators, booster pumps, special material for pipeline construction, backwater valves and construction of other appurtenances as necessary

- to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Public Works Department and the Department of Water and Power.
69. Prior to map recordation, the applicant shall construct or guarantee the construction of all required onsite public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and/or easements.
  70. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 24 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the Department of Water and Power General Manager or his/her designee.
  71. The Project will be required conform to Corona Municipal Code section 17.70.070 as it pertains to irrigation of landscape areas and the use of reclaimed water.
  72. The project will be required to conform with City of Corona Municipal Code Section 13.14.080 as it pertains to providing dedicated publicly owned water meters for each residential property and residential unit. This includes single and multi-family properties.
  73. Prior to issuance of any building permits, the Developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
  74. Prior to building permit or map recordation, whichever comes first, the Developer shall pay the appropriate Quimby, Park Improvement, Aquatic, and Community Facility fees as specified in the Development Agreement.
  75. Prior to the issuance of the first certificate of occupancy, the upgrades to Hayden Reservoir shall be completed as specified in the approved master water study. This public improvement is a condition on "A" map TTM 36294R, and the developer is required to post security guaranteeing these improvements prior to the "A" Map recordation. Unless otherwise approved by the Public Works Director.
  76. Prior to public improvement plan approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive isle or path of travel.
  77. Prior to issuance of any building permits a domestic water and fire flow system shall be approved by the Department of Water and Power and constructed by the Developer, to the satisfaction of the Department of Water and Power and Fire Chief.
  78. Fire Hydrants shall be a maximum 300 feet apart or as directed by the Fire Department.
  79. The applicant shall provide a separate reclaimed irrigation water service for all HOA/ CFD landscaped lots or easements.

80. The landscape plans of all parkway and Landscape Maintenance District (LMD) and Community Facilities District (CFD) lots shall be prepared by a licensed Landscape Architect and shall be submitted to the City of Corona Public Works Department for review and approval.
81. Prior to map recordation, the developer shall construct or guarantee the construction of all HOA/CFD landscaping and irrigation improvements.
82. The Developer shall install automatic irrigation to all street trees separated from adjacent residences by a fence or wall prior to the issuance of a Certificate of Occupancy.
83. All grading, planting and irrigation of CFD lots and maintenance access to CFD lots shall be designed and installed per the City's CFD Formation and Design Guidelines.
84. Street trees shall be a minimum 24" box size and installed per City Standard Plan no. 614-0. The City Street Tree Planting detail is to be included in all submitted landscape plans.
85. All onsite and parkway landscaping shall be planted with California friendly plant pallet. Planting shall conform to the Landscape Design Guidelines for Residential Development.
86. Manhole rim elevations shall be lower than all pad elevations immediately downstream; otherwise a back flow prevention valve will be required.
87. Static pressures exceeding 80 psi require an individual pressure regulator.
88. Reclaimed water shall be used for any construction activity except for the testing of potable water facilities. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.

### **SPECIAL DISTRICTS**

89. Prior to final map recordation, the applicant shall annex the property into City of Corona Community Facilities District 2016-1 for the purpose of providing public services including but not limited to emergency services. All assessable parcels shall be subject to annual CFD special taxes for such services. The developer shall be responsible for all costs incurred to annex the property to the CFD.
90. Prior to final tract map recordation, the master developer shall establish a Community Facilities Maintenance District (CFD) or annex into City of Corona CFD 2016-3 following the provisions of the Mello-Roos Community Facilities Act of 1982 over the property, to pay for the maintenance of all public facilities including but not limited to landscaping, street lighting, pavement, drainage and water quality improvements, etc. The developer shall be responsible for all costs incurred in the formation of or annexation into the CFD.
91. The master developer shall retain ownership, and remain responsible for the maintenance of the Bedford Canyon Wash including the access road until ownership of

these facilities have been accepted by the Riverside County Flood Control and Water Conservation District (RCFC&WCD) and/or other resource agency such as the Riverside-Corona Resource Conservation District, as approved by the City of Corona and RCFC & WCD.

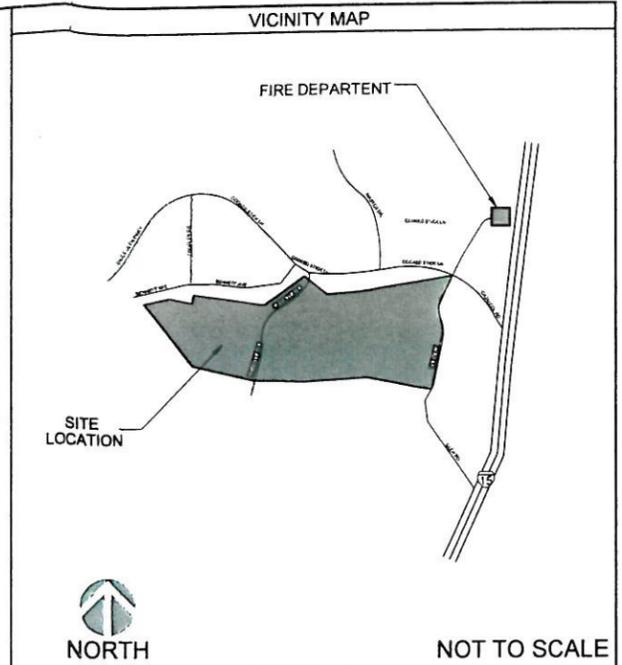
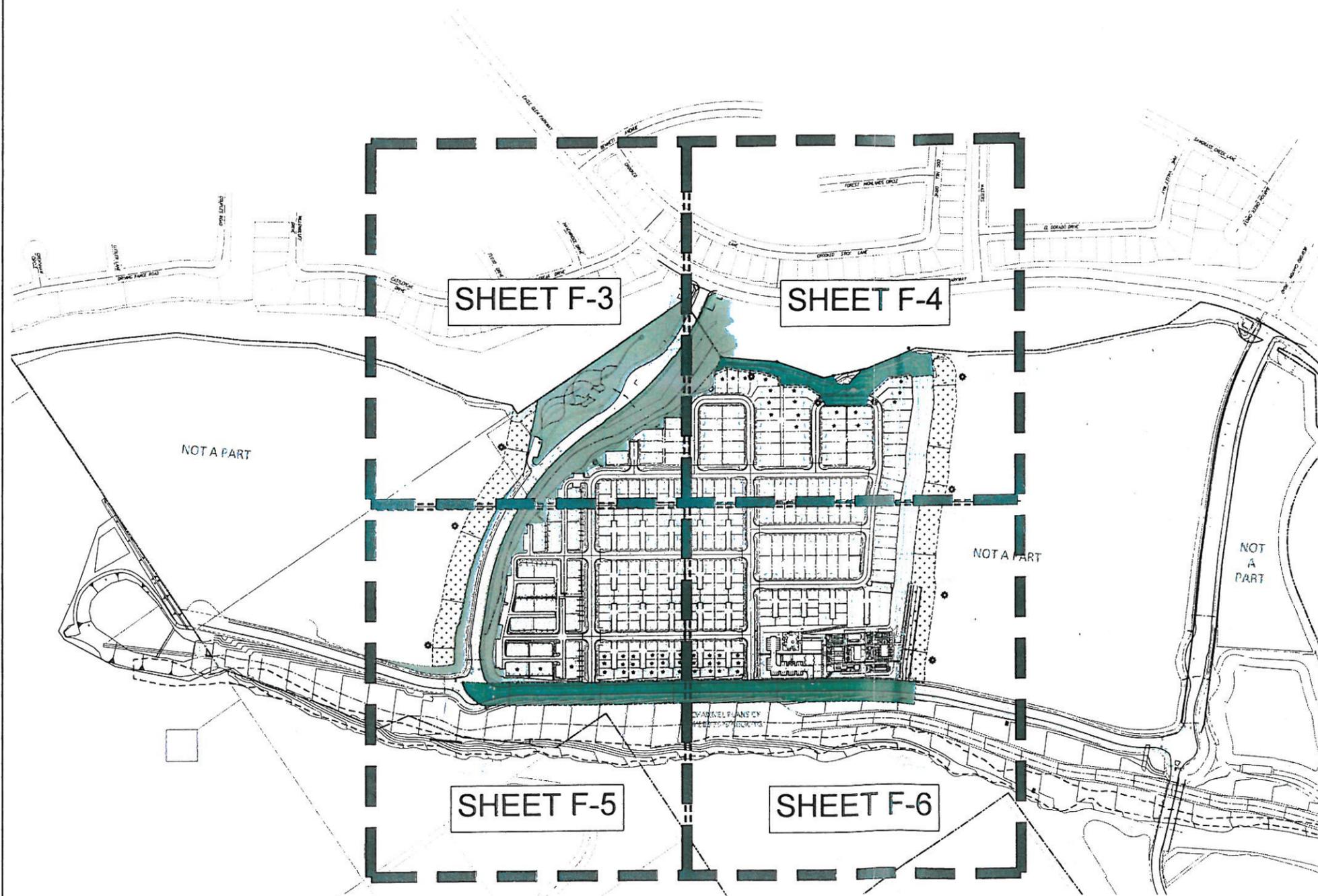
92. Prior to final map recordation, the applicant shall prepare a disclosure statement indicating that the property is within a Community Facilities District and will be subject to an annual levy. The disclosure statement is subject to the review and approval of the Public Works Department and shall be recorded concurrently with the final map.
93. Prior to final map recordation, the applicant shall submit for approval all proposed parkway, slope maintenance, and/or landscaping easements to be maintained by the Community Facilities District for operations and maintenance, as specified on the tentative map or final Conditions of Approval. Said information shall be submitted to the Public Works Department and Department of Water and Power for approval.
94. Prior to issuance of the first (1<sup>st</sup>) Certificate of Occupancy, all proposed publicly maintained parkways, slopes, and/or median landscaping specified in the tentative map or in these final Conditions of Approval shall be constructed.
95. Prior to final map recordation, the master developer shall submit preliminary or conceptual plans/exhibits depicting all proposed public streetlights, parkways, slopes, landscaping easements, and multi-purpose trail maintenance easements to be granted to the City for maintenance by the Community Facilities District, as specified in the tentative tract map or the final Conditions of Approval. The plans/exhibits shall provide approximate acreages and number of landscaped areas and street lights respectively, which the maintenance districts will maintain. Said information shall be submitted to the Public Works Department Land Development Section and Department of Water and Power for approval.
96. Prior to the issuance of the first (1<sup>st</sup>) Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
97. Prior to issuance of the first (1<sup>st</sup>) Certificate of Occupancy, all proposed public landscaped areas and easements, and public street lights to be maintained by the CFD within the respective phase shall be constructed to City standards and specifications.

**FEES AND CREDITS**

98. Prior to the recordation of subsequent tract maps and/or issuance of any building permits, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be calculated at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances and/or as specified in the Arantine Hills Development Agreement and shall take into account any applicable impact fee credits.

# BEDFORD AT ARANTINE HILLS

CITY OF CORONA  
 FUEL MODIFICATION PLAN  
 TTM 37030



FUEL MODIFICATION SHEET INDEX

CANYON HILLS FUEL MODIFICATION PLAN

NO. IN SET	SHEET TITLE
F-1	TITLE SHEET
F-2	DETAILS, GUIDELINES AND NOTES
F-3	FUEL MODIFICATION LAYOUT
F-4	FUEL MODIFICATION LAYOUT
F-5	FUEL MODIFICATION LAYOUT
F-6	FUEL MODIFICATION LAYOUT

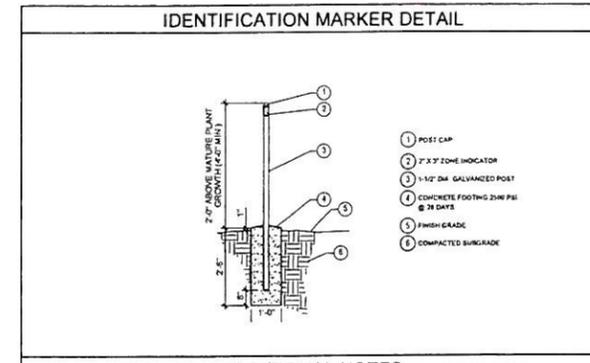
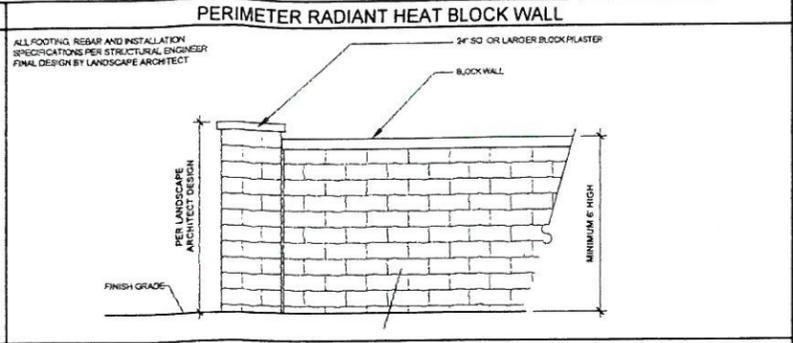
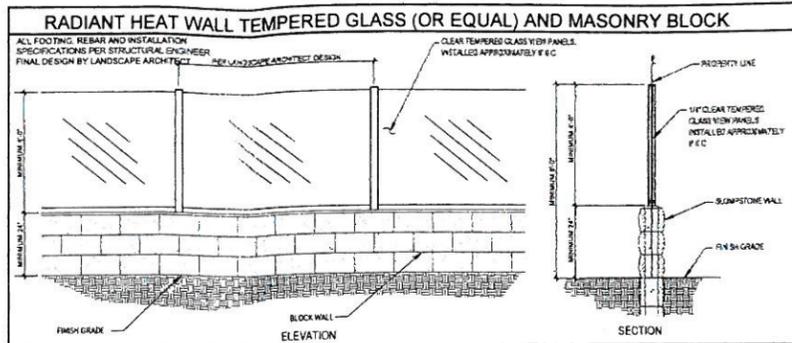
NO.	DATE	REVISIONS
1		
2		
3		
4		

CORONA CITY FIRE DEPARTMENT APPROVAL

<p>SCALE: 1" = 200'-0"</p> <p>0 200' 400' 600' 800'</p> <p>NORTH</p>	<p>ENGINEER</p> <p>H&amp;A</p> <p>HORSAKER &amp; ASSOCIATES          1000 N. G ST.          SUITE 100          CORONA, CA 92626          (949) 233-1111</p>	<p>PREPARED FOR</p> <p><b>THE NEW HOME COMPANY</b></p> <p>85 ENTERPRISE, SUITE 450          ATISU VILLAGE, CA 92626</p>	<p>PREPARED BY</p> <p>firesate</p> <p>302 N. EL CAMINO REAL, SUITE 202          SAN CLEMENTE, CA 92672          (949) 233-5911</p>	<p>BEDFORD AT ARANTINE HILLS              TITLE SHEET</p> <p>CITY OF CORONA, CA - TTM 37030</p> <p>CITY OF CORONA FIRE DEPARTMENT</p>	<p>SHEET  <b>F-1</b>          OF 6</p>
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EXHIBIT

cl



**ADDITIONAL NOTES**

- ALL INDIVIDUAL HOMEOWNERS AND THE HOMEOWNERS ASSOCIATION SHALL RECEIVE A COPY OF THE APPROVED FUEL MODIFICATION PLAN FOR THEIR KNOWLEDGE AND RECORDS
- LOTS SHALL BE MAINTAINED WEED FREE DURING CONSTRUCTION IN ACCORDANCE WITH CFD WEED ABATEMENT PROGRAM

**UNDESIRABLE PLANT LIST**  
100% REMOVAL OF THIS VEGETATION WITHIN FUEL MODIFICATION ZONES

The following plant species shall be removed from all fuel modification zones:

BOTANICAL NAME	COMMON NAME
Adenostoma fasciculatum	Chamise
Adenostoma sparsifolium	Red Shanks
Artemisia californica	Mayweed
Artemisia tridentata	California Sagebrush
Brassica nigra	Black Mustard
Brassica rapa	Wild Turnip, Yellow Mustard
Cardaria draba	Noisy Cress, Perennial Peppergrass
Centaurea solstitialis	Yellow Star-Thistle
Cirsium vulgare	Wild Artichoke
Conyza canadensis	Horserweed
Cortaderia selloana	Pampas Grass
Cynara cardunculus	Artichoke Thistle
Dalrymplea wrightii	Junco-weed
Eriogonum fasciculatum	Common Buckwheat
Foeniculum vulgare	Fennel
Heterotheca grandiflora	Telegraph Plant
Lactuca scariola	Prickly Lettuce
Malosma laurina	Laurel Sumac
Nicotiana glauca	Indian Tobacco
Nicotiana glauca	Tree Tobacco
Salvia mellifera	Black Sage
Salsola australis	Russian Thistle, Tumbleweed
Silybum marianum	Milk Thistle
Rhus typhina	Castor Bean Plant
Urtica urens	Burning Nettle

**ORNAMENTALS**

BOTANICAL NAME	COMMON NAME
Cortaderia selloana	Pampas Grass
Cupressus sp.	Cypress
Eucalyptus sp.	Eucalyptus
Juniperus sp.	Juniper
Pinus sp.	Pine

The plants listed above are to be 100% removed from all Fuel Modification Zones and shall not be installed within any interior landscaped areas within the project.

Debris and trimmings produced by thinning and pruning shall be removed from the site, or if left, shall be converted into mulch by a chipping machine and evenly dispersed to a maximum depth of three (3) inches.

In the fuel modification zones, sensitive and/or protected plant species shall be identified on the Fuel Modification plans and tagged in the field for further disposition. Trees and large tree-form shrubs (e.g. Oaks, Sycamores, and Tans) which are being retained with the approval by the City or Fire Dept. shall be pruned to provide clearance of three (3) times the height of the underlying plant material or ten (10) feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.

**FUEL MODIFICATION MAINTENANCE NOTES**

**Zone A - Setback Zone:**  
The purpose of the setback zone is to provide a defensible space for fire suppression forces and to protect structures from direct flame impingement, radiant heat or convective heat. In no case shall the A Zone be less than 20 feet minimum. This zone is located on a level graded area and shall be between Zone B and the structure.

**Zone A - Specific Maintenance Requirements:**

- Installation of automatic irrigation systems to maintain high moisture content and be regularly irrigated.
- Pruning of foliage to reduce fuel load, maintain vertical continuity, and removal of plant litter and dead wood.
- Complete removal of undesirable plant species. There is also minimal allowance for retention of selected native vegetation with approval of CFD.
- Plants in this zone shall be highly fire resistant and selected from the approved plant list.
- Tree species within Zone A are not allowed within 10 feet of combustible structures (measured from the edge of a full growth crown).
- Maintenance includes thinning and removal of overgrowth, replacement of dead/dying plant material with approved fire resistant plantings.
- Devices that burn solid fuels are not permitted in any fuel modification zone.
- No combustible construction shall be allowed within Zone A.

**Zone B - Modified Zone:**  
The portion of fuel modification consists of irrigated landscaping or a special dry zone plant palette. The irrigated zone is a minimum of 55 feet. The Zone B can be either wet or dry. Wet Zone B shall be cleared of all undesirable plant species and be irrigated and planted with species from the CFD guidelines and shall comply with horizontal spacing and vertical separation requirements. Exceptions to save desirable species may be submitted for approval by the CFD on a site-specific basis. Ornamental trees may be used within this zone when specifically approved by the Precise Fuel Modification Plan. Dry Zone B design shall consist of low volume fuels, succulents and noncombustible/hardscape feature that prevent fire from moving from the native fuels to the adjacent structures. Dry Zone B would need to be a minimum of 110 feet (encompasses the C zone area as well).

**Zone B (Wet) - Specific Maintenance Requirements:**

- Groundcover shall be installed and maintained at a height not to exceed 2 feet.
- In order to maintain proper coverage, landscape islands with native grasses shall be allowed to go to seed. Native grasses shall be cut after annual seeding. Cut heights shall be approximately 4 inches.
- Apply irrigation rates to maintain healthy vegetation with high moisture content based on plant species specific needs.
- All plant species designed for Zone B shall be selected from the approved plant palette (wet or dry).
- Groups of trees, tree-form shrubs, and shrubs that naturally exceed 2 feet in height shall be vertically pruned, and horizontally spaced in accordance with this section.
- Removal of dead and dying vegetation and undesirable plant species from Appendix C.
- Devices that burn solid fuels are not permitted in any fuel modification zone.
- Combustible construction is not allowed within Zone B.

**Special Maintenance Areas:**  
The Special Maintenance Areas have maintenance requirements to reduce the chances of ignition from wildfires. They need maintenance just as fuel modification zones do and shall be maintained on a year round basis, with removal of all dead and dying plant material, replacement of dead or diseased species with plant material with the same growth characteristics from the approved landscape plans. Irrigation shall be verified on a regular basis to ensure it is in a working condition and the plants shall be irrigated as necessary to keep them healthy with their appropriate moisture content. A copy of the approved Landscape Plans shall be provided to the HOA by the developer and remain on record indefinitely with the HOA. Copies of plans shall be provided to the contracted maintenance company. It is the responsibility of the HOA to forward a copy of the approved Landscape Plans to any new property management company. The HOA shall inspect the special maintenance areas twice a year to ensure the special maintenance areas retain the original design of the areas company.

**Special Maintenance Requirements:**

- Other than trees, a large percentage of the special maintenance area shall consist of a ground cover that naturally grows no taller than 2 feet in height.
- The areas are completely irrigated and have plans that need irrigation to retain healthy fuel moisture or are planted with approved dry fuel modification plant palette.
- Any dead and dying specimens and branches shall be removed.
- Leaf litter on top of vegetative cover shall be removed.
- Landscape design Plans shall be reviewed by the HOA indefinitely and the slopes shall always remain as they were designed.
- As plants migrate or new plants seed-in, those shall be removed to retain the original design.
- Future changes to slope designs shall be approved by CFD.
- The maintenance requirements of the special maintenance areas shall be factored into the funding with the fuel modification zones.
- Special Maintenance Areas shall be designed and also maintained as to not provide direct flame or an excessive amount of radiant heat on structures.
- Special Maintenance Areas shall have a limited use of native grasses as approved by CFD.
- Vegetative under-story must not create a ladder fuel or create the potential for ground fires.

**Fuel Modification Implementation & Required Inspections:**

- Prior to Rough Grading Permit Issuance:** The developer/builder shall have approved stamped Conceptual or Precise Fuel Modification Plan.
- Prior to Precise Grading Permit Issuance:** The developer/builder shall have approved stamped Precise Fuel Modification Plan, with applicable note stating maintenance language will be provided in CC&Rs and reviewed prior to issuance of certificate of occupancy.
- Prior to Building Permit Issuance:** Prior to dropping lumber, the developer/builder shall implement these portions of the approved fuel modification plan determined to be necessary by the Corona City Fire Department prior to the introduction of any combustible materials into the area. Removal of undesirable species may meet this requirement as a separation of combustible vegetation for a minimum distance of 100 feet from the location of the structure and lumber stock-pile. This generally involves removal and burning of plant materials indicated on the approved plan. An inspection and/or release letter to the building department is required.
- Prior to Issuance of Certificate of Occupancy:** The fuel modification zones adjacent to structures must be installed, irrigated, and inspected. This includes physical installation of features identified in the approved precise fuel modification plan (including, but not limited to, plant establishment, thinning, irrigation, zone markers, access easements, etc.). A Corona City Fire Department inspector will provide written approval of completion at the time of this final inspection. A written disclosure may be requested by the Corona City Fire Department inspector indicating that the homeowner is aware of the fuel modification zone on their land and that they are aware of the associated restrictions of the zone. Copies of buyer or builder signed emergency and maintenance access easements shall be presented upon occupancy final.
- Prior to Home Owner Association (HOA) Maintenance Acceptance from Developer:** This inspection/meeting must include the Fire Inspector and the following representatives:
  - Landscape design professional
  - Installing landscape contractor
  - HOA management representative
  - HOA landscape maintenance contractor
 The fuel modification areas shall be maintained as originally installed and approved. A copy of the approved plans must be provided to the HOA representatives at the time. Landscape professionals must convey ongoing maintenance requirements to HOA representatives. The CC&R language for maintenance must also be provided and approved by the Corona City Fire Department.
- Annual Inspection and Maintenance:** The property owner is responsible for all maintenance of the fuel modification. All areas must be maintained indefinitely in accordance with notes on the approved fuel modification plans. This includes a minimum of two growth reduction maintenance activities throughout all fuel modification zones each year: Perform maintenance sometime within time periods of mid to late spring and once again in early to mid fall. Other activities include maintenance of irrigation systems, replacement of dead or dying vegetation with approved species, removal of dead plant material, removal of trees and shrubs on the approved plans, and removal of undesirable highly combustible species. The Corona City Fire Department may conduct inspections of established fuel modification areas. Ongoing maintenance shall be conducted a minimum of twice each year regardless of the dates of these inspections. The property owner shall retain all approved fuel modification plans. The plans should be used to perform the maintenance. As property is transferred, property owners shall disclose the location and regulations of fuel modification zone to the new property owner.

**CORONA FIRE DEPARTMENT NOTES**

- All new developments shall have vehicle access roadways to the project site as specified during the Development Plan Review or Building Plan Check, prior to the delivery of combustible materials to the site.
- Approved vehicle access shall meet the City of Corona construction standards for public or private streets.
- All emergency vehicle access roadways shall be approved prior to combustible construction.
- Emergency access roadways shall be of an all-weather surface (asphalt or concrete) and shall be certified as capable of supporting 70,000 pounds gross vehicle weight.
- Turns in access roadways shall be constructed with a minimum of 25' inside radius and 50' outside radius.
- Fire Department emergency access roadways shall be maintained free from obstruction at all times. Gates or other obstructions shall be approved by the Fire Department and the Public Works Department, prior to installation. Vehicular parking on emergency access roadways is subject to citation.
- All required fire hydrants shall be tested, accepted and placed in service prior to the delivery of any combustible materials.
- At no time shall fire hydrants be blocked by building materials or equipment.
- Should the water supply for the project be reduced or compromised, the Corona Fire Department shall be notified immediately at (951) 736-2220. If the water supply is compromised after normal business hours, the contractor shall notify Corona Fire Dispatch at (951) 736-2334.
- Buildings four or more stories in height shall be equipped with not less than one standpipe during construction, per CFC Section 3313.
- Buildings that require an automatic fire sprinkler system shall not be occupied until the system has been tested and approved, per CFC Section 3314, except as approved by the Fire Marshal, and in accordance with CFC Chapter 1, Section 105.3.3.
- Building materials shall be stored on site in a manner and location approved by both the Fire and Public Works Departments.
- Combustible scrap materials and scrap lumber shall be picked up on a daily basis, or more frequently, as required by the Fire Department. Combustible debris shall not be accumulated within buildings.
- The owner shall designate a person to be the fire prevention program superintendent. He/she shall determine that all fire protection equipment is maintained and serviced in accordance with the CFC.
- The fire prevention program superintendent shall be responsible for supervising the permit system for hot work operations in accordance with CFC Chapter 35.
- All welding, including arc welding, shall only be approved when there is a fire extinguisher or hose equipped with a suitable nozzle, able to reach all points of the building or site and connected to a reliable water supply on the premises.

**MAINTENANCE GUIDELINES**

**SAMPLE CC&R MAINTENANCE LANGUAGE**  
It is recommended that the following language be included in the CC&Rs recorded for a common interest development:

The duty of the homeowners' association to perform "Fire Prevention Maintenance" (as defined below) for all Fuel Modification Zones and manufactured interior slopes within the development shall be included as an express obligation in the recorded CC&Rs for the development. Similarly, each Owner whose Lot (or Condominium) is subject to Fuel Modification Zone restrictions (e.g., non-combustible structure setback, etc.) shall be obligated to comply with such restrictions.

- The Corona City Fire Department will be designated as a third party beneficiary of a homeowner association's duty to perform "Fire Prevention Maintenance" (as defined below) for all portions of the Association Property (or Common Area) that constitute fuel modification zones and designated interior/manufactured slopes to be maintained by the homeowners' association, and of any Owner's duty to comply with any fuel modification zone restrictions applicable to their lot (or condominium). Additionally, Corona Fire Department shall have the right, but not the obligation, to enforce the homeowners' association's duty to perform such "Fire Prevention Maintenance", and to enforce compliance by any owner with any fuel modification zone restrictions applicable to their lot (or condominium). In furtherance of such right the Corona City Fire Department shall be entitled to recover its costs of suit, including its actual attorneys' fees. If it prevails in an enforcement action against a homeowners' association and/or an individual owner. (A sample third party beneficiary provision to be incorporated into the CC&Rs is attached hereto as Addendum "1").
- As used herein, "Fire Prevention Maintenance" shall mean the following:
  - All portions of the Association Property (or Common Area) that constitute fuel modification zones or designated interior/manufactured slopes shall be regularly maintained by the homeowners' association on a year-round basis in accordance with the fuel modification plan on file with the property manager for the development.
  - The irrigation system for fuel modification zones or designated interior/manufactured slopes shall be kept in good condition and proper working order at all times. The irrigation system shall not be turned off except for necessary repairs and maintenance.

**ADDENDUM "1"**

Enforcement by the Corona City Fire Department: The Corona Fire Department is hereby designated as an intended third party beneficiary of the Association's duties to perform "Fire Prevention Maintenance" for all portions of the Association Property (or Common Area) consisting of fuel modification zones or designated interior/manufactured slopes in accordance with the fuel modification plan, and of each Owner's duty to comply with any fuel modification zone or designated interior/manufactured slopes restrictions applicable to the Lot (or condominium) as set forth in the fuel modification plan. In furtherance thereof, the Corona Fire Department shall have the right, but not the obligation, to enforce the performance by the association of its duties and any other fire prevention requirements which were imposed by the Corona Fire Department or other public agency as a condition of approval for the development (e.g., prohibition of parking in fire lanes, maintenance of the blue reflective markers indicating the location of fire hydrants, etc.) and shall also have the right, but not the obligation, to enforce compliance by any owner with any fuel modification zone or designated interior/manufactured slopes restrictions applicable to his lot (or condominium) as set forth in the fuel modification plan. If in its sole discretion, the Corona City Fire Department shall deem it necessary to take legal action against the association or any owner to enforce such duties or other requirements, and prevails in such action, the Corona City Fire Department shall be entitled to recover the full costs of said action including its actual attorneys' fees, and to impose a lien against the association property, or an owner's lot (or condominium), as the case may be, until said costs are paid in full.

**HORIZONTAL SPACING AND VERTICAL SEPARATION REQUIREMENTS FOR INSTALLATION AND MAINTENANCE IN ALL FUEL MODIFICATION ZONES**

**Horizontal Spacing**  
Less than 2 feet in Height (Ground Cover / Grasses):  

- No horizontal spacing or vertical separation is required. Ground cover / Grasses should cover the entire ground between groups of shrubs or trees.
- Ground cover shall not exceed 2 feet in height.

 2 feet in Height or Greater:  
 Shrub and Tree Group Size:  

- All Shrubs and Trees can be in groups of 3 specimens or less. No horizontal spacing is required inside the group.
- Shrub / Tree-form Shrub Group Spacing:  
 Groups of shrubs shall be spaced by the greater of the following two measurements. A distance of 15 feet minimum (or) 3 times the height of the tallest specimen in any of the groups.
- Tree Group Spacing:  
 No vegetation over 2 feet in height is allowed within 15 feet from the edge of tree canopy(s).
- Tree Group Spacing:  
 Groups of Trees shall be spaced by a distance of 30 feet minimum regardless of height.

**Vertical Separation**  
Less than 10 Feet in Height:  

- When the fuel modification zone is within 30 feet of the structure, a vertical separation of 2 feet minimum is required from the vegetation below.

 10 Feet in Height or Greater:  

- A vertical separation of 4 feet minimum is required to be maintained from the vegetation below.
- Trees only: All vegetation located underneath trees, shall be a maximum of 2 feet in height.

BEDFORD - FUEL MODIFICATION PLAN SET	PLAN SET	A
PLAN CONTROL	DATE:	12/01/2016

ENGINEER: **H&A** HUNTER & ASSOCIATES, INC. 1000 N. GARDEN ST., SUITE 100, ANAHEIM, CA 92815. PHONE: (714) 933-1100. FAX: (714) 933-1101. WWW.HUNTERANDASSOCIATES.COM

PREPARED FOR: **THE NEW HOME COMPANY** 55 ENTERPRISE, SUITE 450, ALISO VIEJO, CA 92656

PREPARED BY: **firesafe** 302 N. EL CAMINO REAL, SUITE 202, SAN CLEMENTE, CA 92572. (949) 240-5881

**BEDFORD AT ARANTINE HILLS**  
PRECISE FUEL MODIFICATION PLAN  
DETAILS, GUIDELINES & NOTES  
CITY OF CORONA, CA - TTM 37080  
CITY OF CORONA FIRE DEPARTMENT

SHEET **F-2** OF 6



**ADDITIONAL NOTES**

- ALL INDIVIDUAL HOMEOWNERS AND THE HOMEOWNER'S ASSOCIATION SHALL RECEIVE A COPY OF THE APPROVED FUEL MODIFICATION PLAN FOR THEIR KNOWLEDGE AND RECORDS
- LOTS SHALL BE MAINTAINED WEED FREE DURING CONSTRUCTION IN ACCORDANCE WITH CFD WEED ABATEMENT PROGRAM

**UNDESIRABLE PLANT LIST**

100% REMOVAL OF THIS VEGETATION WITHIN FUEL MODIFICATION ZONES

The following plant species shall be removed from all fuel modification zones

BOTANICAL NAME	COMMON NAME
Adenostoma fasciculatum	Chamise
Adenostoma sparsifolium	Red Shanks
Artemisia cotula	Hayweed
Artemisia californica	California Sagebrush
Brassica nigra	Black Mustard
Brassica rapa	Wild Turnip, Yellow Mustard
Cardaria draba	Nearly Cress, Perennial Peppergrass
Centaurea solstitialis	Yellow Star-Thistle
Cirsium vulgare	Wild Artichoke
Conyza canadensis	Horseweed
Cortaderia selloana	Pampas Grass
Cynara cardunculus	Artichoke Thistle
Datura wrightii	Jimsonweed
Eriogonum fasciculatum	Common Buckwheat
Foeniculum vulgare	Fennel
Heterotheca grandiflora	Telegraph Plant
Lactuca scariola	Prickly Lettuce
Malosma laurina	Laurel Sumac
Nicotiana glauca	Indian Tobacco
Nicotiana glauca	Tree Tobacco
Salvia mellifera	Black Sage
Salsola australis	Russian Thistle, Tumbleweed
Silybum marianum	Milk Thistle
Ricinus communis	Castor Bean Plant
Urtica urens	Burning Needle

BOTANICAL NAME	COMMON NAME
Cortaderia selloana	Pampas Grass
Cupressus sp.	Cypress
Eucalyptus sp.	Eucalyptus
Juniperus sp.	Juniper
Pinus sp.	Pine

The plants listed above are to be 100% removed from all Fuel Modification Zones and shall not be installed within any interior landscaped areas within the project.

Debris and trimmings produced by thinning and pruning shall be removed from the site, or if left, shall be converted into mulch by a chipping machine and evenly dispersed to a maximum depth of three (3) inches.

In the fuel modification zones, sensitive and/or protected plant species shall be identified on the Fuel Modification plans and tagged in the field for further disposition. Trees and large tree-form shrubs (e.g. Oaks, Sumac, and Toyon) which are being retained with the approval by the City or Fire Dept. shall be pruned to provide clearance of three (3) times the height of the understory plant material or ten (10) feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.

**FUEL MODIFICATION LEGEND**

	<b>ZONE A - SETBACK ZONE</b> IN NO CASE SHALL THE A ZONE BE LESS THAN 10 FEET MINIMUM. THIS ZONE IS LOCATED ON A LEVEL GRADED AREA AND SHALL BE BETWEEN ZONE B AND THE STRUCTURE. ZONE A SHALL BE MAINTAINED BY THE PRIVATE HOMEOWNER.
	<b>ZONE B - WET ZONE</b> FIRST 4'-0" TO 100'-0" OUT FROM ZONE A. ZONE B SHALL BE PERMANENTLY IRRIGATED, FULLY LANDSCAPED WITH APPROVED DROUGHT TOLERANT, DEEP ROOTED, MOISTURE RETENTIVE MATERIAL. IF ANY NEW PLANT MATERIAL IS ADDED THE ZONE SHALL BE PLANTED WITH CONTAINER SHRUB MATERIAL. ZONE B AREA SHALL BE MAINTAINED THE HOMEOWNERS ASSOCIATION.
	<b>SPECIAL MAINTENANCE AREA (SMA)</b> AREAS INDICATED AS SPECIAL MAINTENANCE AREAS SHALL BE INSTALLED AND MAINTAINED PER REQUIREMENTS PROVIDED ON THIS PLAN.
	<b>100' TEMPORARY FUEL MODIFICATION AREA</b> TEMPORARY FUEL MODIFICATION TO BE PROVIDED BETWEEN CURRENT AND FUTURE PHASES AS INDICATED ON THIS PLAN. PLANTING MANUFACTURES SLOPES SHALL SERVE AS TEMPORARY FUEL MODIFICATION. VEGETATION TO BE MAINTAINED AT 2' IN HEIGHT ON A YEAR ROUND BASIS, AND CUT DOWN TO 4' IN HEIGHT TWICE PER CALENDAR YEAR, ONCE BY MAY 15 AND ONCE AUGUST 15 OF EACH YEAR. TEMPORARY FUEL MODIFICATION SHALL BE MAINTAINED BY THE HOA.
	<b>RADIANT HEAT WALL FOR LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION</b> MINIMUM 6" HIGH BLOCK WALL OR COMBINATION BLOCK WALL WITH TEMPERED GLASS, PER REQUIREMENTS ON DETAILS PROVIDED AT LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION. FINAL DESIGN AND LOCATION BY LANDSCAPE ARCHITECT
	<b>INDICATES LOTS WITHIN 200- FEET OF NATIVE VEGETATION</b> ALL DWELLING UNITS THAT WILL BE WITHIN 200' OF THE NATIVE VEGETATION AS INDICATED SHALL HAVE 1-HOUR RATED EAVES
	<b>ACCESS POINT</b> FUEL MODIFICATION WALK IN ACCESS POINT (A 5' NON-COMBUSTIBLE TUBULAR STEEL GATE WILL ONLY BE PROVIDED WHERE NECESSARY)
	<b>IDENTIFICATION MARKER</b> PERMANENT IDENTIFICATION MARKERS SHALL BE CONSTRUCTED TO IDENTIFY THE LIMITS OF APPLICABLE FUEL MODIFICATION ZONES. MARKER DESIGN SHALL BE 2" DIA. X 8'-0" LONG GALVANIZED PIPE EMBED MINIMUM 2'-6" INTO SOLID GROUND. 1" REFLECTOR TAPE BAND AT TOP. EXPOSE PIPE 2'-0" ABOVE VEGETATION MINIMUM

SCALE: 1" = 60'-0"

0 60 120 180 240' NORTH

BEDFORD - FUEL MODIFICATION	PLAN SET "A"
PLAN CONTROL	DATE 12/01/2016

ENGINEER

**H & SA**

HUNTSAKER & ASSOCIATES  
10000 E. 15th Ave., Suite 100  
Denver, CO 80231  
Tel: (303) 755-1244 Fax: (303) 755-1507

PREPARED FOR

**THE NEW HOME COMPANY**

85 ENTERPRISE, SUITE 450  
10150 VILLAGE CA 92656

PREPARED BY

**firesafe**

302 N. EL CAMINO REAL, SUITE 202  
SAN CLEMENTE, CA 92672  
(949) 240-5811

BEDFORD AT ARANTINE HILLS

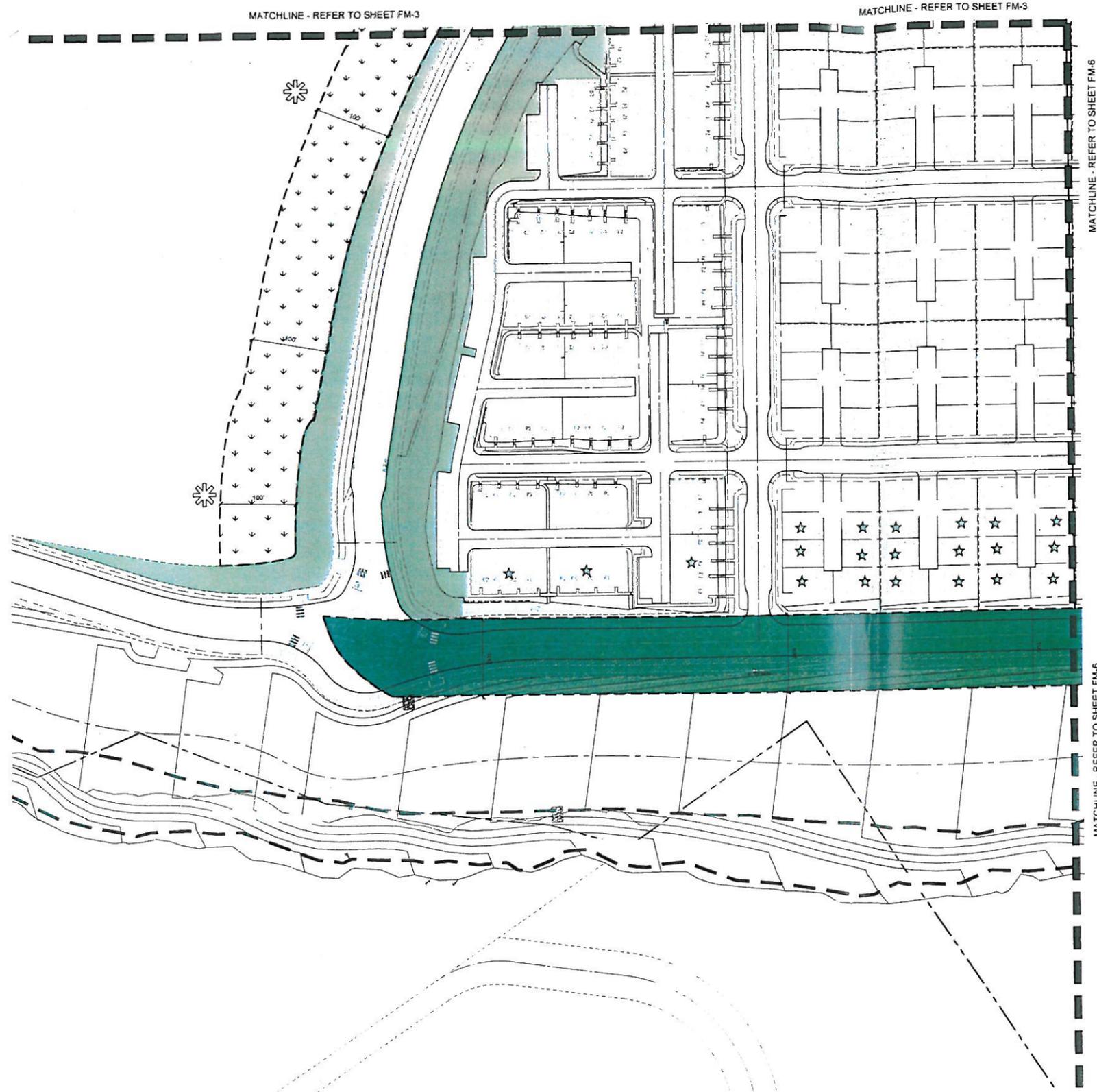
**FUEL MODIFICATION LAYOUT**

CITY OF CORONA, CA - TTM 37030

CITY OF CORONA FIRE DEPARTMENT

SHEET **F-3** OF 6

**EXHIBIT C3**



**ADDITIONAL NOTES**

- ALL INDIVIDUAL HOMEOWNER'S AND THE HOMEOWNER'S ASSOCIATION SHALL RECEIVE A COPY OF THE APPROVED FUEL MODIFICATION PLAN FOR THEIR KNOWLEDGE AND RECORDS
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Urtica urens	Burning Needle

**ORNAMENTALS**

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The plants listed above are to be 100% removed from all Fuel Modification Zones and shall not be installed within any interior landscaped areas within the project.  
Debris and trimmings produced by thinning and pruning shall be removed from the site, or if left, shall be converted into mulch by a chipping machine and evenly dispersed to a maximum depth of three (3) inches.  
In the fuel modification zones, sensitive and/or protected plant species shall be identified on the Fuel Modification plans and tagged in the field for further disposition. Trees and large tree form shrubs (e.g. Oaks, Sumac, and Toyon) which are being retained with the approval by the City or Fire Dept. shall be pruned to provide clearance of 10-feet (3) times the height of the understory plant material or ten (10) feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.

**FUEL MODIFICATION LEGEND**

- ZONE A - SETBACK ZONE**  
IN NO CASE SHALL THE A ZONE BE LESS THAN 10 FEET MINIMUM. THIS ZONE IS LOCATED ON A LEVEL GRADED AREA AND SHALL BE BETWEEN ZONE B AND THE STRUCTURE. ZONE A SHALL BE MAINTAINED BY THE PRIVATE HOMEOWNER.
- ZONE B - WET ZONE**  
FIRST 41'-0" TO 100'-0" OUT FROM ZONE A. ZONE B SHALL BE PERMANENTLY IRRIGATED, FULLY LANDSCAPED WITH APPROVED DROUGHT TOLERANT, DEEP ROOTED, MOISTURE RETENTIVE MATERIAL. IF ANY NEW PLANT MATERIAL IS ADDED THIS ZONE SHALL BE PLANTED WITH CONTAINER SHRUB MATERIAL. ZONE B AREA SHALL BE MAINTAINED THE HOMEOWNERS ASSOCIATION.
- SPECIAL MAINTENANCE AREA (SMA)**  
AREAS INDICATED AS SPECIAL MAINTENANCE AREAS SHALL BE INSTALLED AND MAINTAINED PER REQUIREMENTS PROVIDED ON THIS PLAN.
- 100' TEMPORARY FUEL MODIFICATION AREA**  
TEMPORARY FUEL MODIFICATION TO BE PROVIDED BETWEEN CURRENT AND FUTURE PHASES AS INDICATED ON THIS PLAN. PLANTING MANUFACTURES SLOPES SHALL SERVE AS TEMPORARY FUEL MODIFICATION VEGETATION TO BE MAINTAINED AT 2' IN HEIGHT ON A YEAR ROUND BASIS, AND CUT DOWN TO 4" IN HEIGHT TWICE PER CALENDAR YEAR, ONCE BY MAY 15 AND ONCE AUGUST 15 OF EACH YEAR. TEMPORARY FUEL MODIFICATION SHALL BE MAINTAINED BY THE HOA.
- RADIANT HEAT WALL FOR LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION**  
MINIMUM 6" HIGH BLOCK WALL WITH TEMPERED GLASS. PER REQUIREMENTS ON DETAILS PROVIDED AT LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION. FINAL DESIGN AND LOCATION BY LANDSCAPE ARCHITECT.
- ★** INDICATES LOTS WITHIN 200- FEET OF NATIVE VEGETATION  
ALL DWELLING UNITS THAT WILL BE WITHIN 200' OF THE NATIVE VEGETATION AS INDICATED SHALL HAVE 1-HOUR RATED EAVES.
- ☼** ACCESS POINT  
FUEL MODIFICATION WALK IN ACCESS POINT (A 5' NON-COMBUSTIBLE TUBULAR STEEL GATE WILL ONLY BE PROVIDED WHERE NECESSARY)
- IDENTIFICATION MARKER  
PERMANENT IDENTIFICATION MARKERS SHALL BE CONSTRUCTED TO IDENTIFY THE LIMITS OF APPLICABLE FUEL MODIFICATION ZONES. MARKER DESIGN SHALL BE 2" DIA. X 8'-0" LONG GALVANIZED PIPE, EMBED MINIMUM 2'-6" INTO SOLID GROUND. 1" REFLECTOR TAPE BAND AT TOP. EXPOSE PIPE 2'-0" ABOVE VEGETATION MINIMUM.

SCALE: 1" = 60'-0"

NORTH

BEDFORD - FUEL MODIFICATION PLAN SET  
PLAN CONTROL DATE: 12/01/2016

DESIGNED BY  
**H&A**  
HERRMANN & ASSOCIATES  
1000 N. GARDEN ST. SUITE 200  
SAN CLEMENTE, CA 92672  
(949) 240-5919

PREPARED FOR  
**THE NEW HOME COMPANY**  
55 LINDENRIPPSH SUITE 450  
SAN CLEMENTE, CA 92672

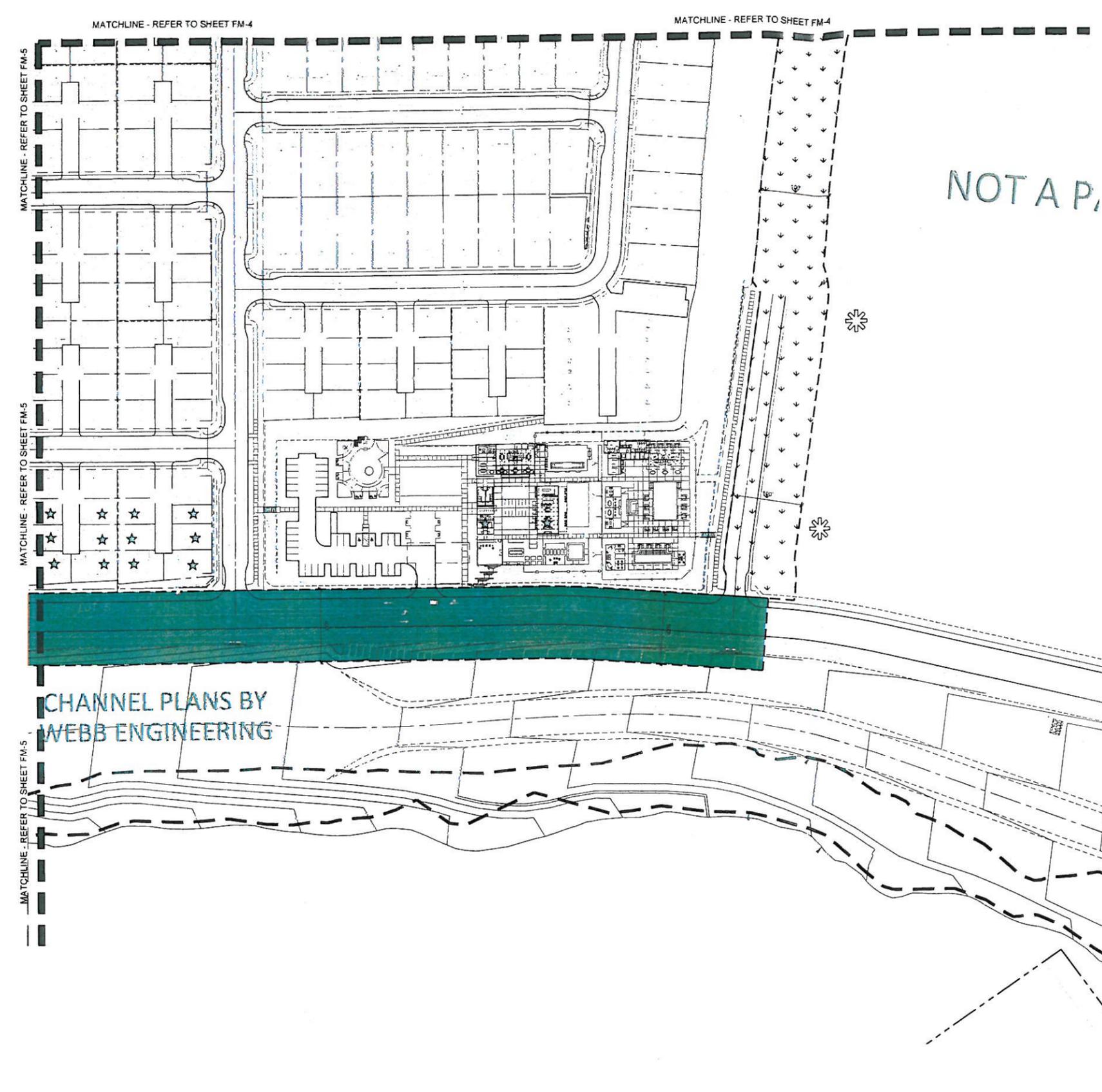
PREPARED BY  
**firesafe**  
LANDSCAPE ARCHITECTS  
302 N. EL CAMINO REAL, SUITE 202  
SAN CLEMENTE, CA 92672  
(949) 240-5919

BEDFORD AT ARANTINE HILLS  
**FUEL MODIFICATION LAYOUT**  
CITY OF CORONA, CA - TTM 37080  
CITY OF CORONA FIRE DEPARTMENT

SHEET **F-5** OF 6

**EXHIBIT**

*04*



CHANNEL PLANS BY  
WEBB ENGINEERING

NOT A P...

**ADDITIONAL NOTES**

- ALL INDIVIDUAL HOMEOWNER'S AND THE HOMEOWNER'S ASSOCIATION SHALL RECEIVE A COPY OF THE APPROVED FUEL MODIFICATION PLAN FOR THEIR KNOWLEDGE AND RECORDS
- LOTS SHALL BE MAINTAINED WEED FREE DURING CONSTRUCTION IN ACCORDANCE WITH CFD WEED ABATEMENT PROGRAM

**UNDESIRABLE PLANT LIST**

100% REMOVAL OF THIS VEGETATION WITHIN FUEL MODIFICATION ZONES  
The following plant species shall be removed from all fuel modification zones

BOTANICAL NAME	COMMON NAME
Adenostoma fasciculatum	Chamise
Adenostoma sparsifolium	Red Shanks
Anthemis cotula	Mayweed
Artemisia californica	California Sagebrush
Brassica nigra	Black Mustard
Brassica rapa	Wild Turnip, Yellow Mustard
Cardaria draba	Noary Cress, Perennial Peppergrass
Centaurea solstitialis	Yellow Star-Thistle
Cirsium vulgare	Wid Artichoke
Corypha canadensis	Horseweed
Cortaderia seloana	Pampass Grass
Cynara cardunculus	Artichoke Thistle
Datura wrightii	Jimsonweed
Eriogonum fasciculatum	Common Buckwheat
Foeniculum vulgare	Fennel
Heterotheca grandiflora	Telegraph Plant
Lactuca serriola	Prickly Lettuce
Naiasma laurina	Laurel Sumac
Nicotiana bigelovii	Indian Tobacco
Nicotiana glauca	Tree Tobacco
Salvia mellifera	Black Sage
Salvia australis	Russian Thistle, Tumbleweed
Silybum marianum	Milk Thistle
Ricinus communis	Castor Bean Plant
Urtica urens	Burning Needle

BOTANICAL NAME	COMMON NAME
Cortaderia seloana	Pampas Grass
Cupressus sp.	Cypress
Eucalyptus sp.	Eucalyptus
Juniperus sp.	Juniper
Pinus sp.	Pine

The plants listed above are to be 100% removed from all Fuel Modification Zones and shall not be installed within any interior landscaped areas within the project.

Debris and trimmings produced by thinning and pruning shall be removed from the site, or if left, shall be converted into mulch by a chipping machine and evenly dispersed to a maximum depth of three (3) inches.

In the fuel modification zones, sensitive and/or protected plant species shall be identified on the Fuel Modification plans and tagged in the field for further disposition. Trees and large tree form shrubs (e.g. Oaks, Sumacs, and Toyons) which are being retained with the approval by the City or Fire Dept. shall be pruned to provide clearance of three (3) times the height of the underlying plant material or ten (10) feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.

**FUEL MODIFICATION LEGEND**

- ZONE A - SETBACK ZONE**  
IN NO CASE SHALL THE A ZONE BE LESS THAN 10 FEET MINIMUM. THIS ZONE IS LOCATED ON A LEVEL GRADED AREA AND SHALL BE BETWEEN ZONE B AND THE STRUCTURE. ZONE A SHALL BE MAINTAINED BY THE PRIVATE HOMEOWNER.
- ZONE B - WET ZONE**  
FIRST 4'-0" TO 100'-0" OUT FROM ZONE A, ZONE B SHALL BE PERMANENTLY IRRIGATED, FULLY LANDSCAPED WITH APPROVED DROUGHT TOLERANT, DEEP ROOTED, MOISTURE RETENTIVE MATERIAL. IF ANY NEW PLANT MATERIAL IS ADDED THIS ZONE SHALL BE PLANTED WITH CONTAINER SHRUB MATERIAL. ZONE B AREA SHALL BE MAINTAINED THE HOMEOWNERS ASSOCIATION.
- SPECIAL MAINTENANCE AREA (SMA)**  
AREAS INDICATED AS SPECIAL MAINTENANCE AREAS SHALL BE INSTALLED AND MAINTAINED PER REQUIREMENTS PROVIDED ON THIS PLAN.
- 100' TEMPORARY FUEL MODIFICATION AREA**  
TEMPORARY FUEL MODIFICATION TO BE PROVIDED BETWEEN CURRENT AND FUTURE PHASES AS INDICATED ON THIS PLAN. PLANTING MANUFACTURE SLOPES SHALL SERVE AS TEMPORARY FUEL MODIFICATION. VEGETATION TO BE MAINTAINED AT 2' IN HEIGHT ON A YEAR ROUND BASIS, AND CUT DOWN TO 4' IN HEIGHT TWICE PER CALENDAR YEAR, ONCE BY MAY 15 AND ONCE AUGUST 15 OF EACH YEAR. TEMPORARY FUEL MODIFICATION SHALL BE MAINTAINED BY THE HOA.
- RADIANT HEAT WALL FOR LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION**  
MINIMUM 6' HIGH BLOCK WALL, OR COMBINATION BLOCK WALL WITH TEMPERED GLASS, PER REQUIREMENTS ON DETAILS PROVIDED AT LOTS WITH LESS THAN 100- FEET OF FUEL MODIFICATION. FINAL DESIGN AND LOCATION BY LANDSCAPE ARCHITECT.
- INDICATES LOTS WITHIN 200- FEET OF NATIVE VEGETATION**  
ALL DWELLING UNITS THAT WILL BE WITHIN 200' OF THE NATIVE VEGETATION AS INDICATED SHALL HAVE 1-HOUR RATED EAVES.
- ACCESS POINT**  
FUEL MODIFICATION WALK IN ACCESS POINT (A 5' NON-COMBUSTIBLE TUBULAR STEEL GATE WILL ONLY BE PROVIDED WHERE NECESSARY).
- IDENTIFICATION MARKER**  
PERMANENT IDENTIFICATION MARKERS SHALL BE CONSTRUCTED TO IDENTIFY THE LIMITS OF APPLICABLE FUEL MODIFICATION ZONES. MARKER DESIGN SHALL BE 2" DIA. X 8'-0" LONG GALVANIZED PIPE, EMBED MINIMUM 2'-5" INTO SOLID GROUND. 1" REFLECTOR TAPE BAND AT TOP. EXPOSE PIPE 2'-0" ABOVE VEGETATION MINIMUM.

SCALE: 1" = 60'-0"

0 60 120 180 240' NORTH

BEDFORD - FUEL MODIFICATION	PLAN SET "A"
PLAN CONTROL	DATE 12/01/2015

ENGINEER: H&A HUNSAKER & ASSOCIATES

PREPARED FOR: THE NEW HOME COMPANY

PREPARED BY: firesafe

302 N. EL CAMINO REAL, SUITE 202  
SAN CLEMENTE, CA 92672  
(949) 442-5511

BEDFORD AT ARANTINE HILLS  
FUEL MODIFICATION LAYOUT  
CITY OF CORONA, CA - TTM 37030  
CITY OF CORONA FIRE DEPARTMENT

SHEET F-6 OF 6

EXHIBIT CS





# HUNSAKER & ASSOCIATES

IRVINE, INC.

January 25, 2017  
Revised February 27, 2017

PLANNING  
ENGINEERING  
SURVEYING  
GOVERNMENT RELATIONS

IRVINE  
LOS ANGELES  
PALM DESERT  
RIVERSIDE  
SAN DIEGO

Ms. Terri Manuel, AICP  
Planning Manager  
CITY OF CORONA  
400 S. Vicentia Avenue  
Corona, CA 92882

Subject: **Arantine Hills - TTM 37030 (DPR16-008)**  
**Revised per City Comments dated February 23, 2017**



Dear Ms. Manuel:

On behalf of Arantine Hills Holding, LP, Hunsaker & Associates Irvine, Inc. is submitting Tentative Tract Map 37030 ("B" Map) to the City of Corona for its review and approval for the development of 393 residential units and master developer conceptual architectural and landscaping improvements in accordance with Corona Municipal Code Section 16.12.060.

The tentative map shall be accompanied by reports and written statements from the subdivider giving essential information regarding the following matters:

(A) Subdivision development plan:

Tentative Tract Map 37030 (TTM 37030) for condominium purposes proposes the development of 62 lots (45 numbered lots, 17 lettered lots) and associated improvements on an approximate 53.75 acre site. *The total number of lettered lots has increased from 41 to 45 lots, primarily in Planning Area 6 to break up the townhomes as conveyance lots, now Lots 1-4 and previous SFD Lot 7 has been split into two lots, now Lot 10 and 11. Lot 5 (previously Lot 2, 5,988 square feet) has been increased to 7,445 square feet to meet the minimum lot area requirement.* TTM 37030 is proposed Phase 1 of underlying Tract Map 36294. TTM 37030 is supplemented with a Precise Plan that will consist of 393 residential units with high, medium and low density residential designations per the Arantine Hills Specific Plan. Five housing types are proposed within Planning Areas 5, 6, 7 and 8 that include 91 single family detached products (50x90 and 50x100), 170 cluster products (6 unit cluster and 8 unit cluster) and 89 townhomes. Architectural styles for each product will consist of Spanish, Mediterranean, Contemporary Farmhouse and Monterey.

Primary access to the project site is provided off of Eagle Glen Parkway at Clementine Way (76' Private/Public Collector Street) which is located at the westerly boundary of the site. Interior access to the project's development area will be via "A" and "L" Street (66' Private Local Street) off of Hudson House Drive (71' Private Collector Street) which is located along the southerly boundary, just north of the Bedford Canyon Channel. Internal circulation and access to Planning Areas 5, 6, 7 and 8 will be via onsite private local streets. Sidewalks and community walkways will be provided for pedestrian circulation within the neighborhood. *The Master Backbone Streets and In Tract Backbone Streets will be constructed by the Master Developer per the Arantine Hills – Phasing Plan.*

Three Hughes  
Irvine, California  
92618-2021  
(949) 583-1010 PH  
(949) 583-0759 FX  
www.hunsaker.com

**EXHIBIT 01**



Ms. Terri Manuel, AICP  
Planning Manager  
CITY OF CORONA  
February 27, 2017  
Page 2

Parking for the development will consist of covered parking for each dwelling unit, uncovered on-street parking and guest (on/off street) parking. Off-street parking requirements will only apply to the Townhomes. The total required parking for the project site is 944 parking spaces and 1,450 parking spaces will be provided. *In the event portions of the Townhome project are sold in increments, each increment's parking requirement shall be met within each increment. Notwithstanding the foregoing, an increment's parking requirement may be combined with a prior contiguous increment.*

Open space areas will consist of landscape slopes, trails, and a park/recreation center comprising approximately 9.76 acres. Two parks are proposed for this development; a 3.83 acre park/recreation center located at the southwesterly corner of Hudson House Drive and "O" in Planning 7 and "C" Street Park, a 3.2 acre park located just south of the site entrance. "C" Street Park amenities will include a community trail, dog park, children's play area, activity lawn, picnic area and parking lot. A 10' trail is proposed that will traverse northeasterly and continue easterly along the southerly boundary of Phase 1 and connect to Phase 2.

- (B) Source, quality and estimate of available quantity of domestic water supply:

Domestic water services to TTM 37030 will be provided by the City of Corona Department of Water and Power. The Arantine Hills Specific Plan's water distribution system has been designed to satisfy the water requirements for residential, commercial, recreational, landscaping, and fire-fighting purposes.

- (C) Type of street improvements and utilities which the subdivider proposes to install:

TTM 37030 proposes the following street improvements:

- 56' Private Local Streets
  - "B" Street – 1,286'
  - "C" Street – 148'
  - "D" Street – 318'
  - "E" Street – 226'
  - "F" Street – 325'
  - "G" Street – 308'
  - "H" Street – 261'
  - "I" Street – 794'
  - "J" Street – 513'
  - "K" Street – 539'
  - "M" Street – 722'
  - "N" Street – 722'
  - "O" Street – 454'



Ms. Terri Manuel, AICP  
Planning Manager  
CITY OF CORONA  
February 27, 2017  
Page 3

- 66' Private Local Streets
  - "A" Street – 936'
  - "L" Street – 942'

TTM 37030 proposes to install the following wet and dry utilities:

Wet Utilities

- Storm Drain
- Sewer
- Water
- Reclaimed Water

Dry Utilities

- Electric (SCE)
- Gas (SCG)
- Telephone (AT&T)
- Cable (Spectrum)

(D) Proposed method of sewage disposal:

Sewer improvements will consist of proposed in tract sewer lines with service provided the City of Corona Department of Water and Power and all discharges within the TTM 37030 shall comply with the City's Waste Discharge Pretreatment and Source Control Program.

(E) Proposed storm drains, including grade and size:

TTM 37030 proposes 18", 24", 30" and 42" RCP storm drain lines with an average 3.76% percent grade. The storm drain lines within the tract boundary will connect to the master back bone storm drain system and outlet to the project's detention basin.

(F) Protective covenants to be recorded:

In order to designate maintenance responsibilities for open space, parks and amenities and landscaping, Covenants, Codes and Restrictions (CC&R's) will be recorded. The CC&R's will delineate the areas to be maintained and set forth the means by which the Homeowner's Association will allocate funds for said maintenance.

The CC&R's will also encumber the property with guidelines for future homeowner improvements as well as restrictions allowing the Homeowner's Association to enforce other requirements such as the uses of the residences and exclusive use common area, parking restrictions, etc.

In addition to the CC&R's, Condominium Plans will be recorded which will create the various ownership designations such as the condominium unit, common areas, and exclusive use common areas.



Ms. Terri Manuel, AICP  
Planning Manager  
CITY OF CORONA  
February 27, 2017  
Page 4

Should you have any questions, please do not hesitate to call.

Sincerely,

HUNSAKER & ASSOCIATES IRVINE, INC.

A handwritten signature in blue ink that reads 'M. Parker'.

Martin Parker  
Planner

MP:tl

Attachments:

xc: Ryan La Vigne, The New Home Company

W.O. 2749-18

(f:\c\wo\2749\18 L09-mp.docx)



## TTM 37030 Plan Revisions DPR16-008

February 27, 2017

1. The total number of numbered lots has gone from 41 to 45 primarily in PA 6 to break up the townhomes in conveyable lots with commensurate acreage changes for the affected lots. Lettered lots have been adjusted but still total 17.
2. SFD Lot 7 is split into two lots.
3. Lot 5 (previously Lot 2) has been increased in area to meet COA 1PL-004.
4. Street O – future access to Phase 2 – has been reduced in width to 56 feet meeting the minimum standard in the SP. This accommodates some grading changes at the park site and provision of adequate ADA access.
5. Revised pedestrian access (ADA) from “L” street to the recreational center.
6. Only Slight pad elevation changes at points across the site.
7. Curb returns in lots 1 through 4 have been revised to a 25’ radii for fire truck access throughout the townhome development. This change resulted in the adjustment of parking stalls, causing us to lose three off-street parking stalls.
8. On/Off Street and Guest parking has been renumbered.
9. Removed linear park design in Lot F.
10. Lot G has been revised, on all plans and table summaries, to the correct park acreage of 3.83 AC.
11. Created an easement for the turnaround at the end of “O” Street.
12. Removed any reference to “general commercial” under the notes.

85 Enterprise, Suite 450, Aliso Viejo, CA 92656 • T 949. 382. 7800 • NWHM.com



**EXHIBIT** D2



**CITY OF CORONA**  
**PRELIMINARY EXEMPTION ASSESSMENT**  
(Certificate of Determination When attached to Notice of Exemption)

**Name, Description and Location of Project:** TTM 37030 and PP16-012

**TTM 37030** – Tentative Tract Map application to subdivide approximately 54 acres into 41 numbered lots and 17 lettered lots for condominium purposes to accommodate a development of varied densities in the Low Density Residential (LDR), Medium Density Residential (MDR), High Density Residential (HDR), and Park (P) designations of the Arantine Hills Specific Plan (SP09-001) located south of Eagle Glen Parkway, west of Interstate 15.

**PP16-012** - A Precise Plan application for the review of the site plan, architecture, landscaping and fence/wall design associated with the development of 393 residential units consisting of 100 single family detached condominiums, 192 attached and detached condominiums in cluster configurations, 101 townhomes in the Low Density (LDR), Medium Density (MDR), High Density Residential, and Park designations of the Arantine Hills Specific Plan (SP09-001).

**Entity or Person Undertaking Project:**

A. Public Agency:

B. Other (private):

Name: *John Sherwood*  
*The New Home Company*  
Address: *85 Enterprise, Suite 450*  
*Aliso Viejo, CA 92656*  
Telephone No.: *(949) 382-7800*

**Staff Determination:**

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- A. The proposed action does not constitute a project under CEQA.
- B. The project is a Ministerial Project.
- C. The project is an Emergency Project.
- D. The project constitutes a feasibility or planning study.
- E. The project is categorically exempt.
- F. The project is a statutory exemption. Code section number:
- G. The project is otherwise exempt on the following basis: *The proposed project implements a master plan that was fully evaluated under the Arantine Hills Specific Plan Supplemental Environmental Impact Report certified May 19, 2016.*
- H. The project involves another public agency which constitutes the lead agency. Name of Lead Agency:

Date: \_\_\_\_\_



Terri Manuel, AICP, Planning Manager  
Lead Agency Representative

**EXHIBIT E**



## NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF  
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA  
COMMUNITY DEVELOPMENT DEPARTMENT  
400 S. VICENTIA AVE, SUITE 120  
CORONA, CA 92882

1. Project title: **TTM 37030 and PP16-012**
2. Project location (specific): *South of Eagle Glen Parkway, west of Interstate 15*
3. a. Project location - City of Corona  
b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project:

**TTM 37030** – Tentative Tract Map application to subdivide approximately 54 acres into 41 numbered lots and 17 lettered lots for condominium purposes to accommodate a development of varied densities in the Low Density Residential (LDR), Medium Density Residential (MDR), High Density Residential (HDR), and Park (P) designations of the Arantine Hills Specific Plan (SP09-001) located south of Eagle Glen Parkway, west of Interstate 15.

**PP16-012** - A Precise Plan application for the review of the site plan, architecture, landscaping and fence/wall design associated with the development of 393 residential units consisting of 100 single family detached condominiums, 192 attached and detached condominiums in cluster configurations, 101 townhomes in the Low Density (LDR), Medium Density (MDR), High Density Residential, and Park designations of the Arantine Hills Specific Plan (SP09-001).

5. Name of public agency approving project: *City of Corona*
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:

*John Sherwood, The New Home Company, 85 Enterprise, Suite 450, Aliso Viejo, CA 92656*

7. Exempt Status (check one):
  - a.  Ministerial Project
  - b.  Not a project
  - c.  Emergency project
  - d.  Categorical Exemption. State type and class number: Class 32, State CEQA Guidelines § 15332.
  - e.  Declared Emergency
  - f.  Statutory Exemption. State code section number:
  - g.  Other: Explain: Previous evaluation under certified Supplemental EIR for Arantine Hills Specific Plan

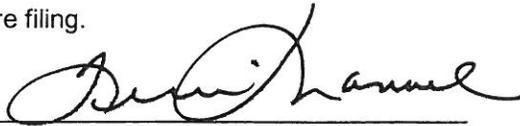
8. Reasons why the project is exempt:

*TTM 37030 and PP16-012 together implement a master plan that was fully evaluated under the Arantine Hills Specific Plan Supplemental Environmental Impact Report certified May 19, 2016.*

9. Contact Person/Telephone No.: Terri Manuel (951) 736-2434

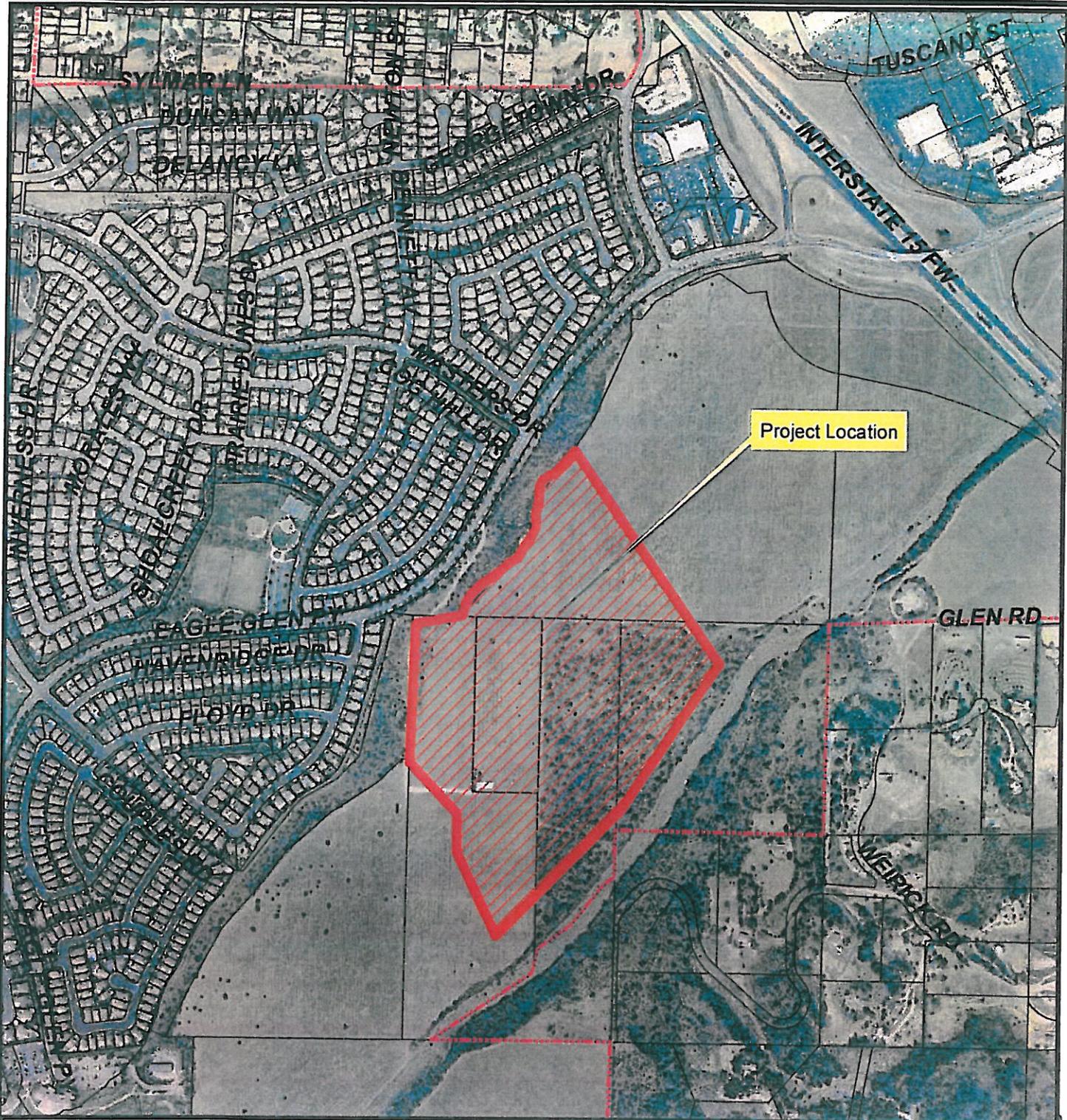
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date received for filing: \_ :\_

Signature: 

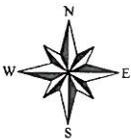
Terri Manuel, AICP, Planning Manager  
Lead Agency Representative

# Aerial Exhibit



Date: 01/04/2017

The New Home Company  
TTM 37030 & PP16-012



**Terri Manuel**

---

**From:** Tuesday Rogers <smileitstooz@yahoo.com>  
**Sent:** Thursday, January 19, 2017 12:07 PM  
**To:** Terri Manuel  
**Cc:** Tuesday Knigge  
**Subject:** [BULK] ARANTINE HILLS

**Importance:** Low

TO: THE PLANNING AND HOUSING  
COMMISSION SECRETARY/TERRI MANUEL

WHEN I PURCHASE MY HOME AT EAGLE  
GLEN IN JULY OF 1999. MY SALES  
REPRESENTATIVES FOR FORCAST HOMES  
THAT ASSISTED ME WERE DAN LOCASCIO  
AND BILL WETRICH. THEY WENT OVER THE  
PLANS FOR THE COMMUNITY AND SHOWED  
ME ON THE MAP THE HOUSES THAT WERE  
NOT BACKED UP TO ANY HOMES IN THE  
5TH PHASE. I WAITED FOR THIS  
PARTICULAR PHASE AND LOT BECAUSE IT  
WAS A "VIEW LOT" WITH ONLY VIEWS OF  
THE ORANGE GROVE. MY QUESTION I  
SPECIFICALLY ASKED WAS, WILL THERE BE  
HOUSING GOING IN WHERE THE ORANGE  
GROVES ARE? DAN AND BILL ASSURED ME

EXHIBIT F

THAT THE LEASE ON THE LAND FOR THE ORANGE GROVE THAT THE FARMER OWNED WAS FOR 100 YEARS AND THEY COULDN'T BUILD THERE EVEN IF THEY WANTED TO BECAUSE IT WOULD BE IN A FLOOD ZONE. SO I DECIDED TO WAIT FOR LOT 21 ON CROOKED STICK LANE 4139 AND PAID THE EXTRA AMOUNT FOR THE LOT AND WAITED AND PAID MORE FOR THIS SPECIFIC PHASE 5. NOW I COME HOME FROM WORK AT 3 AM AND HEAR TRUCKS AT 4 AM PARKING IN THE MIDDLE OF EAGLE GLENN PARKWAY UNLOADING THERE TRACTORS THEN UNLOADING WITH BACK UP BUZZERS AND MEN SCREAMING WHICH WAKES UP OUR DOGS AND BOTH NEIGHBORS DOGS ON BOTH SIDE. I BOUGHT MY HOME ON THIS LOT SO I WOULD NOT HAVE HOMES BEHIND ME AND ALSO THAT I WOULDNT HAVE TO LISTEN TO HOUSES BEING BUILT EVER. NOW THEY ARE BUILDING 900 +HOMES/CONDOS/TOWN HOMES AND ITS IN MY BACKYARD. THE TRAFFIC IS ALREADY HORRIFIC SINCE THEY NEVER

WIDEN THE BRIDGE OVER THE 15 SOUTH  
16 YEARS AGO AS I WAS ALSO TOLD BY  
BILL AND DAN. NOW TO TOP IT OFF, 900  
TO 1800 MORE HOMES/CARS ON OUR  
STREET, IT'S SO OVER CROWDED ALREADY.  
I DON'T THINK IT'S FAIR THAT I WAS LIED  
TO AND THAT'S OK. I WAITED AND PAID  
MORE FOR MY VIEW LOT.

TUESDAY M ROGERS-KNIGGE  
AARON R KNIGGE  
4139 CROOKED STICK LANE  
CORONA CALIFORNIA 92883  
951 531 7136  
714 366 1100

EAGLE GLEN  
LOT 21

Patty Choate  
Resident, Eagle Glen Community  
Corona, CA  
[plt.choate@yahoo.com](mailto:plt.choate@yahoo.com)

---

Terri Manuel  
Planning Manager, City of Corona, CA  
[Terrim@ci.corona.ca.us](mailto:Terrim@ci.corona.ca.us)  
951-736-2262

RE: ARANTINE HILLS, CORONA, CA, Amendment No. 1, Adopted June 2016 (SPA15-002) August 2016 Prepared for: City of Corona 400 S. Vicentia Avenue, Corona, California 92882 Tel (909) 736-2293 • Fax (909) 279-3550  
Contacts: Joanne Coletta, Community Development Director Terri Manuel, Planning Manager Property Owner: Arantine Hills Holdings, L.P. Applicant: The New Home Company Contact: John Sherwood, Vice President of Project Management Prepared by: KTG Y Group, Inc. (Planning/Entitlement) 17911 Von Karman Avenue, Suite 200, Irvine, California 92614 Tel (949) 851-2133 Contacts: Xiaofan Li, Project Manager In memory of Mark Hickner, Planning & Entitlement Director (1961 - 2015) In Association with: CASC Engineering & Consulting (Civil Engineering) C2 Collaborative (Landscape Architecture) Firesafe Planning Solutions (Fuel Modification) Hunsaker & Associates ("B" Map) Urban Crossroads (Traffic)

Hello Ms. Manuel:

My family as well as hundreds of my neighbors oppose the Arantine Hills project. I have attended and spoke out against the plan at City Council meetings and at meetings with the developer.

**-500 FOOT NOTICE:** Although The 500 foot notice to neighbors is legal, it is not an accurate reach to the immediate community the development will truly affect.

**-CAJALCO BRIDGE:** A new Bridge with 6 lanes each way MUST be completed before Arantine Hills site construction begins, NOT prior to first certificate of occupancy of dwelling unit and/or commercial office or industrial office. Failure to allow the plan as is, simply put is poor city planning and unacceptable by the community of neighbors affected by the Arantine Hills Project.

The existing Cajalco Bridge has one (1) lane in each direction. The bridge includes a small section for Northbound and Southbound Interstate 15 freeway entrances. The entrances create an overflow onto the one lane of through traffic in each direction.

Currently the Cajalco Bridge is heavily overburdened with community use traffic and pass through traffic. Pass through traffic considering commuters traveling to any city North, South East or the West.

With mobile APPS as Google Maps and Waze (to name a couple), commuters who were once unaware of Corona City streets allowing connectivity to the 15 freeway at Eagle Glen Parkway / Cajalco to bypass the

Corona crawl (71, 91 & 15 connectors) are now informed. They reroute by exiting the 91 freeway traveling East via exits beginning at Green River and finding their way to the Cajalco Bridge or traveling West exiting Woods, El Sobrante, La Sierra, etc. then connecting to Cajalco then the Cajalco Bridge / Eagle Glen Parkway. From the Cajalco Bridge they continue via street or by entering the 15 freeway to travel North or South to their destination.

The New Home Company documents an Average Daily Traffic Volume Expected 2035 in their plan. Did they account for the use of APPs guiding travelers through our City when traffic on the 91 or 15 is dreadful and commuters are inching their way to their destination? They do not state so, therefore, it's most likely they did not.

Corona City officials have cited, once the 91 freeway construction is completed, the commuter traffic will improve. The City of Corona and the developer are both assuming *more* commuters will use Fast Track lanes traveling East and South once the Toll lanes are completed. This is not a fact. It is an estimate. An improvement for non Fast Track users could mean rather than going 10 miles per hour the traffic will move at the rate of 15 miles per hour? This is an improvement but not significant enough to assume travelers will not exit the freeway and drive towards Eagle Glen Parkway / Cajalco / Cajalco Bridge.

I monitored the corner of Eagle Glen Parkway / Cajalco as early as 5 AM to 7AM (before parents drop off their children at local schools) and from 4 PM to 7 PM. I witnessed anywhere from 20 to 50 or more vehicles backed up at Eagle Glen, Cajalco, Masters and Bedford Canyon. The 91 and 15 modifications may improve the commute for travelers using the Toll lanes traveling East and South however, traffic for the average commuter traveling in the same directions will not improve, the rerouting will continue. Who wants to sit on a freeway in traffic when one has the choice to exit and travel through a City? Who wants to sit in their vehicle traveling 5 to 10 or 15 miles an hour when they can exit and travel 25 miles per hour and reach their destination sooner?

Per a 2007 report the average length of compact sedans and compact sport utility vehicles in America are **177.2 inches** and 172.3. Medium sedans and SUVs are **10 to 20 inches** longer than their compact counterparts, while large cars are longer by a further **15 to 20 inches** (*information obtained from reference.com*). I saw more SUV's and Compact sedans. Using the 20 vehicle count at the average of 177.2 inches per car, that's 3,544 inches / 295.33 foot long stretch of backed up vehicles waiting to clear a stop sign or stop signal on all roads connecting to the Cajalco Bridge; Cajalco, Eagle Glen Parkway, Masters, Bedford Canyon. All the streets listed are directly connected to the Arantine Hills site. The vehicle count increases when commuters who normally stay on the 91 or 15 exit the freeways and reroute through our community to re-connect to Interstate 15 or other local roads to reach their destination.

**CONCERN FOR ACCESS TO EMERGENCY SERVICES:** Construction to begin without building a six (6) lane Bridge places nearby residents at risk, the traffic in the Arantine Hills project area is already an ***access to emergency services issue***. Include additional employee vehicles and heavy construction equipment a development this size will bring, Existing residents will be at risk of not being able to exit their community to reach emergency services, as will first responders to enter our communities to provide emergency services. We presented this issue of concern during City Council meetings but our concerns were ignored by each Council Member as they

voted in favor of this plan as is. The City of Corona is ignoring the lack of safety and emergency access to its residents in the surrounding area of the project.

Even though a Fire Station is located on Bedford Canyon, there is no guarantee the emergency team will be on site and ready to react to an emergency when needed. If our station is out on duty elsewhere (as has been the case when there were fires in other regions of the state), other stations will be dispatched but could have difficulty entering our communities, delaying access to emergency services.

**-HIGH DENSITY HOUSING:** I am in favor of high density housing for 55 and over. Corona has approved plenty of high density housing in our immediate area with more in the construction phase as I write this letter. The City of Corona should be planning for seniors who will wish to downsize in the future with access to amenities as we have at the Eagle Glen, Crossings at Corona and Dos Lagos shopping centers.

**-DARK SKY COMPLIANT LIGHTING:** We expect the City of Corona to ensure the New Home Development installs Dark Sky Compliant lighting for the entire project. I do not recall reading anything from the plan calling for or committing to Dark Sky Compliant lighting. We have plenty of extremely bright lights from the Crossings at Corona and prefer not to see the same at the Arantine Hills project.

**-RETAIL SPACE:** Before any more approvals are issued, we want to know exactly what the developer plans to place in the retail space.

Respectfully,

Patty Choate