



Agenda Report

File #: 19-0781

AGENDA REPORT REQUEST FOR CITY COUNCIL ACTION

DATE: 09/18/2019

TO: Honorable Mayor and City Council Members

FROM: Community Development Department

SUBJECT:

Public hearing for City Council consideration of Ordinance No. 3300, first reading of an Ordinance of the City of Corona, California for SPA2019-0001, amending the Downtown Corona Revitalization Specific Plan (SP98-01) to change the designation of seven properties totaling approximately 1.03 acres from Single Family (SF) and Commercial Services (CS) to Downtown (D) and establish the Downtown District on approximately 0.56 acres of public rights-of-way to facilitate the development of a medical office park on 3.48 acres (located on the south side of West Sixth Street between Sheridan Street and Belle Avenue). (Applicant: Richard Boureston of Boureston Development)

RECOMMENDED ACTION:

That the City Council:

1. Approve SPA2019-0001, as recommended by the Planning and Housing Commission.
2. Introduce by title only and waive full reading for consideration of Ordinance No. 3300, first reading of an ordinance approving an amendment to the Downtown Corona Revitalization Specific Plan (SP98-01) to change the designation of seven properties from Single Family (SF) and Commercial Services (CS) to Downtown (D) and establish the Downtown District on approximately 0.56 acres of public rights-of-way in order to facilitate the development of a medical office park on 3.48 acres of real property located on the south side of West Sixth Street between Sheridan Street and Belle Avenue. (SPA2019-0001)

ANALYSIS:

SPA2019-0001 is an amendment to the Downtown Revitalization Specific Plan to establish one zoning designation on a project site totaling 3.48 acres located on Sixth Street between Sheridan Street and Belle Avenue. The project site consists of 13 parcels and includes various zoning designations for Single Family, Community Services and Downtown. The project site is being planned for two new medical office buildings; therefore, to accommodate the medical office uses on the project site the zoning needs to be changed for certain parcels, which is the reason for SPA2019-0001.

Six parcels within the project boundary located on the north side of Seventh Street are zoned Downtown (D). Four parcels located on the south side of Seventh Street are zoned Single Family (SF), and three parcels also located in this area are zoned Community Services (CS). The applicant is proposing to change the zoning of the four SF-designated properties and three CS designated properties to Downtown. This will allow the entire project site to have a single zone of Downtown. The existing alleys and Seventh Street within the project boundary are also being vacated to create a cohesive 3.46 acres, all of which will have a zone of Downtown. The applicant is also processing a companion General Plan Amendment (GPA2019-0001) to ensure land use consistency between the specific plan and General Plan land use plan.

The specific plan amendment is consistent with Policy I.B.2 of the Downtown Revitalization Specific Plan because it encourages new development that is transit and pedestrian-oriented and that contributes to an integrated mix of land uses because the project site is located in proximity to bus stops, is within walking distance from residential neighborhoods, and is in walking distance to other supporting uses including a library, medical clinics, hospital, religious facilities, offices, and retail services.

The specific plan amendment is also consistent with the General Plan Land Use Policies 1.1.1 and 1.1.2 in that it supports the diverse needs of Corona's residents by accommodating uses that help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment; and Policy 1.4.3 as it would allow for the development of vacant lands within the City on the periphery of existing development that complements the scale and pattern of existing uses, protects development and population from natural hazards, and where it is logical and feasible to extend infrastructure improvements.

COMMITTEE ACTION:

The Infrastructure Committee at its meeting on July 31, 2017 was given an update on the proposed project.

STRATEGIC PLAN:

Not applicable.

FISCAL IMPACT:

The applicant paid \$4,399.00 in application processing fees for the Specific Plan Amendment.

ENVIRONMENTAL ANALYSIS:

Per Section 15070 of the State Guidelines for implementing the California Environmental Quality Act (CEQA) and Section 6.02 of the City's Local Guidelines, a Mitigated Negative Declaration was prepared for the project because the Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the project mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant or potentially significant effect on the environment.

PLANNING AND HOUSING COMMISSION ACTION:

At its meeting of August 26, 2019, the Planning and Housing Commission considered the subject

matter and took the following action:

Motion was made, seconded (Siqueland/Shah) and carried unanimously, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and approval of SPA2019-0001 to the City Council, based on the findings contained in the staff report and conditions of approval. The minutes of the Planning and Housing Commission meeting are included as Exhibit 4.

PREPARED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

REVIEWED BY: KERRY D. EDEN, ASSISTANT CITY MANAGER/ADMINISTRATIVE SERVICES DIRECTOR

REVIEWED BY: MICHELE NISSEN, ASSISTANT CITY MANAGER

SUBMITTED BY: MITCHELL LANSDELL, ACTING CITY MANAGER

Attachments:

1. Exhibit 1 - City Ordinance No. 3300.
2. Exhibit 2 - Locational and Zoning Map.
3. Exhibit 3 - Planning and Housing Commission Staff Report.
4. Exhibit 4 - Draft Minutes of the Planning and Housing Commission meeting of August 26, 2019.

APPLICANT INFORMATION

Richard Boureston, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626

ORDINANCE NO. 3300

AN ORDINANCE OF THE CITY OF CORONA, CALIFORNIA, APPROVING AN AMENDMENT TO THE DOWNTOWN REVITALIZATION SPECIFIC PLAN (SP98-01) TO CHANGE THE DESIGNATION ON SEVEN PROPERTIES FROM SINGLE FAMILY (SF) AND COMMERCIAL SERVICES (CS) TO DOWNTOWN (D) AND TO ESTABLISH THE DOWNTOWN DISTRICT ON APPROXIMATELY 0.56 ACRES OF PUBLIC RIGHT-OF-WAY IN ORDER TO FACILITATE THE DEVELOPMENT OF A MEDICAL OFFICE PARK ON 3.48 ACRES OF REAL PROPERTY LOCATED ON THE SOUTH SIDE OF WEST SIXTH STREET BETWEEN SHERIDAN STREET AND BELLE AVENUE (SPA2019-0001)

WHEREAS, on August 26, 2019, the Planning and Housing Commission of the City of Corona (“Planning Commission”) recommended that the City Council of the City of Corona (“City Council”) approve SPA2019-0001 to amend the Downtown Revitalization Specific Plan (SP98-01) to change the designation of seven (7) properties totaling approximately 1.03 acres from Single Family (SF) and Commercial Services (CS) to Downtown (D), and to establish the Downtown District on approximately 0.56 acres of public right-of-way in order to facilitate the development of a medical office park on 3.48 acres of real property located on the south side of West Sixth Street between Sheridan Street and Belle Avenue (“Subject Property”) and to amend and add corresponding changes to associated text and exhibits within the specific plan (the “Amendment”); and

WHEREAS, in connection with the approval of GPA2019-0001, a general plan amendment to amend the Land Use Map of the General Plan for the Subject Property, which is being reviewed concurrently with this Amendment, the City Council approved a Mitigated Negative Declaration (“MND”) and Mitigation Monitoring and Reporting Program, which were prepared pursuant to California Environmental Quality Act (Public Resources Code Section 21000 et seq.) (“CEQA”), the State CEQA Guidelines and the City of Corona Local CEQA Guidelines and which included an analysis of the environmental impacts of this Amendment. The MND indicated that all potential environmental impacts from this Amendment were less than significant or could be mitigated to a less-than-significant level; and

WHEREAS, the Planning Commission based its recommendation to adopt this Amendment on the findings set forth below, and the adoption of the MND; and

WHEREAS, on September 18, 2019, the City Council held a duly noticed public hearing at which all persons wishing to testify in connection with the Amendment were heard and the Amendment was comprehensively reviewed.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this Amendment, the City Council has reviewed and considered the information contained in the MND, the initial study and the administrative record for this Amendment, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the MND, the initial study and the administrative record, including all written and oral evidence presented to the City Council, the City Council finds that all environmental impacts of this Amendment are either less-than-significant or can be mitigated to a level of less-than-significance pursuant to the mitigation measures outlined in the MND, the Mitigation Monitoring and Reporting Program, and the initial study.

SECTION 2. Zoning Findings. Pursuant to Sections 17.53.090 and 17.53.100 of the Corona Municipal Code, Section (B)(9) of Chapter VIII of the Downtown Revitalization Specific Plan, and based on the entire record before the City Council, including all written and oral evidence presented to the City Council, the City Council hereby makes and adopts the following findings:

A. SPA2019-0001 systematically implements and is consistent with the General Plan for the following reasons:

(i) This Amendment is consistent with Policies 1.1.1 and 1.1.2 of the General Plan as it supports the diverse needs of Corona's residents by accommodating uses that help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimizes the need for Corona's residents to travel to surrounding communities for services and employment.

(ii) This Amendment is consistent with Policy 1.4.3 of the General Plan as it allows for the development of vacant lands on the periphery of existing development that complements the scale and pattern of existing uses, protects development and population from natural hazards, and where feasible, allows for the extension of public infrastructure improvements.

(iii) This Amendment is consistent with Policy 1.17.6 of the General Plan as the proposed project is designed with a centralized parking facility that can be shared by multiple tenants within the two medical office buildings.

(iv) This Amendment is consistent with Policy 1.17.7 of the General Plan as the proposed project allows for the development of a medical office park that is attractive in architectural design and landscaping and creates an environment conducive to economic revitalization in accordance with the Downtown Revitalization Specific Plan.

(v) This Amendment is consistent with Policy 1.17.9 of the General Plan as it promotes the consolidation of individual lots for the development of cohesive and well-designed commercial and mixed-use projects that maintain the area's character of low-rise and pedestrian-oriented buildings with distinctive storefronts.

B. SPA2019-0001 provides for development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications for the following reason:

(i) This Amendment will result in a project that continues to be comprehensively planned in accordance with the provisions of the Downtown Revitalization Specific Plan and Corona Municipal Code.

C. SPA2019-0001 provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long-term needs of the project and/or other area residents, and complements the orderly development of the City beyond the project's boundaries for the following reason:

(i) This Amendment will facilitate development that includes the appropriate infrastructure that will be required at the time of development of the overall project site.

D. SPA2019-0001 provides for the appropriate orientation and relationship between land uses within and adjacent to the project for the following reason:

(i) This Amendment will allow for development of a medical office land use in a manner that is compatible with the surrounding commercial, medical, quasi-public, and residential land uses.

E. SPA2019-0001 is consistent with the goals, policies and planning concepts of the Downtown Revitalization Specific Plan for the following reasons:

(i) This Amendment is consistent with Policy 1.B.2 of the Specific Plan because it encourages new development that is transit and pedestrian-oriented and contributes to an integrated mix of land uses. The development is located in proximity to bus stops, is within walking distance from residential neighborhoods and other supporting uses including a library, medical clinics, a hospital, religious facilities, offices and retail services.

(ii) This Amendment is consistent with Policy 1.B.9 of the Specific Plan because it will establish an area in the southwest quadrant of the Circle and incorporate medical/professional offices and senior housing.

(iii) This Amendment is consistent with Policy 2.B.6 of the Specific Plan because it facilitates a development that will establish special parking strategies and incentives for the Specific Plan area that will provide adequate parking while still retaining the small town, human scale character of Downtown. As demonstrated by the accompanying precise plan, PP2019-0003, the proposed project provides adequate on-site and on-street parking on Belle Avenue to service visitors to the proposed medical office park. The proposed project will also share the parking on Belle Avenue with the Corona Public Library which will enable library patrons to park within walking distance to the library and help retain a small downtown feel to the area.

(iv) This Amendment is consistent with Policy 3.B.6 of the Specific Plan because it facilitates a development that preserves the City's heritage while accommodating new development. As demonstrated by the accompanying precise plan, PP2019-0003, the proposed project has incorporated an architectural design that preserves historic design elements of the Commercial Block style which is one of the architectural themes prescribed by the specific plan for new development.

(v) This Amendment is consistent with Policy 3.B.9 of the Specific Plan because it facilitates a development that incorporates drought tolerant trees and landscaping throughout the parking facilities and perimeters of the proposed project.

SECTION 3. Approval of the Amendment (SPA2019-0001). The Amendment to the Downtown Revitalization Specific Plan (SPA2019-0001) is hereby approved. The text and exhibits of the Downtown Revitalization Specific Plan (SP98-01) is hereby amended as shown in Exhibit "A" attached to this Ordinance and incorporated herein by reference.

SECTION 4. Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings are based are located at City Hall for the City of Corona, located at 400 S. Vicentia Avenue, Corona, California. Joanne Coletta, Community Development Director, is the custodian of the record of proceedings.

SECTION 5. Effective Date of Ordinance. The Mayor shall sign this Ordinance and the City Clerk shall attest thereto and shall within fifteen (15) days of its adoption cause it, or a summary of it, to be published in a general circulation newspaper published in the City of Corona. This Ordinance shall take effect and be in force on the 30th day after its adoption.

ADOPTED this 2nd day of October, 2019.

Mayor, City of Corona, California

ATTEST:

City Clerk, City of Corona, California

CERTIFICATION

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Ordinance was regularly introduced at a regular meeting of the City Council of the City of Corona, California, duly held the 18th day of September, 2019, and thereafter at an adjourned meeting held on the 2nd day of October, 2019, it was duly passed and adopted by the following vote of the Council:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 2nd day of October, 2019.

City Clerk of the City of Corona, California

EXHIBIT “A”
**AMENDMENT TO THE
TEXT AND EXHIBITS OF THE
DOWNTOWN REVITALIZATION STREET SPECIFIC PLAN**

(SEE ATTACHED 2 PAGES)

III. LAND USE & DEVELOPMENT STANDARDS



**Table III - I
LAND USE SUMMARY**

LAND USE DISTRICT	AREA (Ac.)*
Downtown District (D)	37 38
Gateway Business (GB)	26
Transitional Commercial (TC)	26
Community Services (CS)	55 54
General Commercial (GC)	43
Residential Office (RO)	8
Single Family Residential (SF)	141 140
Multi-family Residential (MF)	13
Business Park (BP)	29
Open Space (OS)	31
Subtotal	408
Streets and Freeway	212 213**
Total	621

***Acres are rounded**

****Acreage reflects the partial vacation of West Eighth Street, South Belle Avenue, and some alley right-of-way per SPA12-006. Acreage also reflects the vacation of Seventh Street between Sheridan Street and Belle Avenue and some alley rights-of-way per SPA2019-0001.**

LOCATIONAL & ZONING MAP



Date: 08/21/2019

GPA2019-0001, SPA2019-0001,
PM 37565, and PP2019-0003



EXHIBIT 2



Agenda Report

File #: 19-0757

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 8/26/2019

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

SPA2019-0001: Application to amend the Downtown Corona Revitalization Specific Plan (SP98-01) to change the designation of seven properties totaling approximately 1.03 acres from Single Family (SF) and Commercial Services (CS) to Downtown (D) and establish the Downtown District on approximately 0.56 acres of public rights-of-way to facilitate the development of a medical office park on 3.48 acres located on the south side of West Sixth Street between Sheridan Street and Belle Avenue. (Applicant: Richard Boureston, Boureston Development, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and **APPROVAL of SPA2019-0001** to the City Council, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of property: 1.96 acres combined

Existing General Plan: LDR (Low Density Residential, 3-6 du/ac)
OP (Office Professional)

Proposed General Plan: OP (Office Professional) and MUD (Mixed Use Downtown)

Specific Plan: Downtown Corona Revitalization Specific Plan (SP98-01)

Existing Zoning: SF (Single Family District)
CS (Community Services District)

Proposed Zoning: D (Downtown District)

Existing Land Use: Vacant land

Proposed Land Use: Medical office buildings

Surrounding Land Uses / Zoning:

S: Parking lot / CS District of SP98-01

N: Vacant land and parking lot / D District of SP98-01

E: Corona Public Library / D District of SP98-01

W: Single-family residences / TC (Transitional Commercial District) of SP98-01

BACKGROUND

The project site is comprised of two blocks containing 13 parcels located on the south side of West 6th Street between Sheridan Street and Belle Avenue. The two blocks are physically separated by 7th Street which will be vacated adjacent to the project site so that the land area can be included as part of the project's on-site improvements. Two alleys which are located between the parcels will also be vacated adjacent to the project site and included within the project boundary. In total, the project site is 3.48 acres which will be developed with two medical office buildings totaling 58,900 square feet. The development also includes on-site parking to serve the buildings and on-street parking located on Belle Avenue adjacent to the project site.

The project site consists of 12 vacant parcels and one developed parcel containing a parking lot for the Corona Public Library which is located east of the project site. The parking lot and the adjacent vacant property (315 W. 7th Street) located directly west of the parking lot are currently under the ownership of the City of Corona. The remaining 11 vacant parcels are under the ownership of the Corona Housing Authority.

On November 7, 2018, the city entered into a Development and Disposition Agreement with the applicant, Boureston Companies, to allow the applicant to acquire the 11 properties owned by the Corona Housing Authority. The applicant is also acquiring the two city-owned properties. All 13 properties are currently under escrow and, per the terms of the Agreement, the sale of the properties will be finalized once the applicant has obtained project approval.

The Agreement establishes certain milestones for the construction of the project which will be phased. Phase 1 will be the construction of Building A which is located closest to Sixth Street and Phase 2 will be the construction of Building B which is located on the southern portion of the project site closest to the Corona Regional Medical Center. The Agreement requires the applicant to complete construction of the building associated with Phase 1 and all necessary related off-site public improvements within 36 months after the close of escrow. The building associated with Phase 2 is required to be completed within 36 months of the first certificate of occupancy issued for the building in Phase 1. However, the Agreement does not prevent the applicant from constructing both buildings at the same time under Phase 1. Building A is intended to be occupied by City of Hope, a cancer treatment center. Building B will be a medical office building occupied by multiple tenants specializing in specific medical practices.

To make up for the loss of the 49 parking spaces within the library's off-site parking lot, the city will be entering into a shared parking agreement with the applicant to allow library patrons to utilize the new on-street parking spaces proposed on Belle Avenue which will have 54 parking spaces. Library patrons will be able to utilize the parking spaces during the evenings and weekends when the library is heavily trafficked. This agreement was discussed at the Infrastructure Committee meeting on July 31, 2017. The Committee was receptive to the proposed on-street parking as it would provide parking that is much needed, and the spaces are also at a safe walking distance to the library. The Committee also discussed the appearance of the buildings from Sixth Street with then-Council Member Jason Scott directing that if the rear elevations of the buildings face Sixth Street they should receive as much architectural detail along the backs as the fronts.

The project requires a precise plan (PP2019-0003) to review the site plan and architecture of the

project and a parcel map (PM 37565) to merge the 13 lots into two parcels. In addition, the 13 parcels have varied General Plan land use designations under the Downtown Corona Revitalization Specific Plan. As such, the project requires a General Plan Amendment (GPA2019-0001) which would bring each parcel into one General Plan designation. Parcel 1, as proposed by PM 37565, will maintain its existing General Plan designation of Mixed Use Downtown and Parcel 2, as proposed by PM 37565, is proposed to have a General Plan designation of Office Professional. The area for Parcel 2 contains two General Plan designations of Low Density Residential and Office Professional. Therefore, to facilitate the creation of the new parcel being created by this parcel map, the parcel needs to have one General Plan designation.

The project was initially reviewed by staff through the city's Development Plan Review (DPR) process in November 2018. The applicant officially submitted the GPA, SPA, parcel map, and precise plan applications to the city on March 15, 2019. The applicant was issued an application incomplete letter due to missing or incomplete application items. The applicant over time submitted the required application materials to staff with the applications finally considered complete on July 23, 2019, and cleared for public hearing before the Planning and Housing Commission on August 26, 2019.

PROPOSED SPECIFIC PLAN AMENDMENT

The proposed Specific Plan Amendment will enable the development of two medical office buildings on the project site. As indicated, the 13 parcels are within the Downtown Corona Revitalization Specific Plan and have varied zonings. As shown in Exhibit D, the six properties located on the north block (north side of 7th Street) are zoned Downtown (D). The four properties located on the south block on the south side of 7th Street between Sheridan Street and the alley are zoned Single Family (SF). The three properties located on the south block between the alley and Belle Avenue are zoned Community Services (CS). The project is a medical office use which is permitted under the Downtown and CS designations; however, the use is not permitted under the SF designation. Therefore, the applicant is seeking to change the zoning of the four SF-designated properties located on the south block to Downtown in order to permit the use on this portion of the site and to allow all the parcels to be developed comprehensively by the applicant. In addition, the three CS-designated properties that are located on the same block are also being changed to the Downtown zone so that the development standards applied to the entire project are the same. For the segment of 7th Street and the two alleys that will be vacated, the Downtown zone will also be established over these areas in order for them to be consistent with the land use designation established on the adjoining parcels. Exhibit A illustrates the proposed General Plan designations that will be established across the project site.

ENVIRONMENTAL ANALYSIS

Per Section 15070 of the State Guidelines for implementing the California Environmental Quality Act (CEQA) and Section 6.02 of the City's Local Guidelines, a Mitigated Negative Declaration was prepared for the project because the Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the project mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant or potentially significant effect on the environment. The Mitigation Negative Declaration is recommended for adoption (Exhibit I).

FISCAL IMPACT

The applicant paid \$4,399.00 in application processing fees for the specific plan amendment.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, staff has received calls from two property owners of two residential properties located on Sheridan Street south of Eighth Street. The property owners requested clarification on the location and use of the project with one property owner expressing support for having the City of Hope in the Corona.

Staff also received a letter of protest from Mr. John Vazirian who owns the automobile dealership and three residential properties located to the west of the project site. The letter is attached in Exhibit J. Mr. Vazirian's concern is related directly to the design of the project and is not related to the specific plan amendment but is being included with this staff report for informational purposes. Mr. Vazirian indicates that Building A would visually obstruct his business and future commercial development on his properties from Sixth Street. His letter includes three site plans depicting alternative layouts of Building A that would reduce visual impacts to his properties. Staff has spoken to Mr. Vazirian and informed him that his properties including the residential properties are zoned Transitional Commercial which requires only an 8-foot front yard setback. Therefore, any future commercial development proposed on his properties could be built as close as 8 feet from the Sixth Street right-of-way line. This setback is closer to Sixth Street than the setback that is being proposed for Building A which is designed to have a 10-foot setback from Sixth Street with the majority of the building being set back 20 feet from Sixth Street. Also, the medical office buildings could be built up to a height of 60 feet which is allowed in the Downtown District but the applicant has chosen to design them as two-story buildings with a height of approximately 40 feet. It is also worth mentioning that this segment of 6th Street is intended for commercial development and the city's development standards do not require the preservation or protection of views along the street from certain distances. The development standards are adopted by the city to provide equal application of the standards to all property owners that develop their property in accordance with the zoning of the property.

STAFF ANALYSIS

Extending the Downtown designation from the northern portion of the project site to the southern portion of the project site is logical and creates zoning consistency for the project site while facilitating the development of a medical office park on vacant and underutilized land. The proposed zoning is consistent with the General Plan designation of Office/Professional that is being proposed for the southern portion of the project site by the project's General Plan Amendment application GPA2019-0001. Also, the proposed zoning is compatible with the surrounding land uses which consists of commercial, medical office, hospital, residential, and quasi-public type uses. Finally, the specific plan amendment is consistent with several General Plan and Downtown Corona Revitalization Specific Plan policies established for the Downtown. Therefore, based on the following findings and conditions of approval attached as Exhibit B, SPA2019-0001 is recommended for approval.

FINDINGS OF APPROVAL FOR SPA2019-0001

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:

- a. *The project applicant has agreed to revise the project to avoid these significant effects or to mitigate the effects to a point where it is clear that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit B.*
 - b. *There is no substantial evidence before the City that the revised project may have a significant effect.*
2. The plan systematically implements and is consistent with the General Plan for the following reasons:
 - a. *The amendment is consistent with Land Use Policies 1.1.1 and 1.1.2 in that it supports the diverse needs of Corona's residents by accommodating uses that help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.*
 - b. *The amendment is consistent with Growth and Development Policy 1.4.3 as it would allow for the development of vacant lands within the City on the periphery of existing development that complements the scale and pattern of existing uses, protects development and population from natural hazards, and where it is logical and feasible to extend infrastructure improvements.*
 - c. *The amendment is consistent with Downtown Corona Policy 1.17.6 in that the project is designed with a centralized parking lot that can be shared by multiple tenants within the two medical office buildings.*
 - d. *The amendment is consistent with Downtown Corona Policy 1.17.7 in that it would allow for the development of a medical office park that is attractive in architectural design and landscaping and creates an image conducive to economic revitalization in accordance with the Downtown Corona Revitalization Specific Plan.*
 - e. *The amendment is consistent with Downtown Corona Policy 1.17.9 because it promotes the consolidation of individual lots for the development of cohesive and well-designed commercial and mixed-use projects that maintain the area's character of low-rise and pedestrian-oriented buildings with distinctive storefronts.*
3. The Plan provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications for the following reasons:
 - a. *SPA2019-0001 will result in a project that continues to be comprehensively planned in accordance with the provisions of the Downtown Corona Revitalization Specific Plan and Corona Municipal Code.*
4. The Plan provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long-term needs of the project and/or other area residents, and complements the orderly development of the City beyond the project's boundaries for the following reason
 - a. *The amendment will facilitate development that includes the appropriate infrastructure that will be required at the time of development of the overall project site.*

5. The Plan provides for the appropriate orientation and relationship between land use within and adjacent to the project for the following reason:
 - a. *The proposed medical office land use on the project site is compatible with the surrounding commercial, medical, quasi-public, and residential land uses.*
6. The proposed amendment is consistent with the goals, policies and planning concepts of the Downtown Revitalization Specific Plan for the following reasons:
 - a. *The amendment is consistent with Specific Plan Policy I.B.2 because it encourages new development that is transit and pedestrian-oriented and that contributes to an integrated mix of land uses. The development is located in proximity to bus stops, is within walking distance from residential neighborhoods, and is in walking distance to other supporting uses including a library, medical clinics, hospital, religious facilities, offices, and retail services.*
 - b. *The amendment is consistent with Specific Plan Policy I.B.9 because it helps to establish an area in the southwest quadrant of the Circle that facilitate medical/professional offices and senior housing.*
 - c. *The amendment is consistent with Specific Plan Policy 2.B.6 because it facilitates a development that will establish special parking strategies and incentives for the Specific Plan area that will provide for adequate parking while still retaining the small town, human scale character of the Downtown. As demonstrated by the accompanying precise plan, PP2019-0003, the project provides adequate on-site and on-street parking on Belle Avenue to serve visitors of the proposed medical office park. The project will also share the parking on Belle Avenue with the Corona Public Library which will enable library patrons to park within walking distance to the library and help retain a small town downtown feel to the area.*
 - d. *The amendment is consistent with Specific Plan Policy 3.B.6 because it facilitates a development that preserves the City's heritage while accommodating new development. As demonstrated by the accompanying precise plan, PP2019-0003, the proposed medical office buildings have incorporated an architectural design that preserves historic elements and design elements of the Commercial Block style which is one of architectural themes prescribed by the Specific Plan for new development.*
 - e. *The amendment is consistent with Specific Plan Policy 3.B.9 because it facilitates a development that incorporates drought tolerant trees and landscaping throughout the parking lot and perimeters of the project site.*

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBIT

1. Locational and Zoning Map
2. Exhibit A - Proposed Specific Plan Amendment.
3. Exhibit B - Conditions of Approval.
4. Exhibit C - Aerial Map.

5. Exhibit D - Existing Specific Plan Designation.
6. Exhibit E - Existing General Plan Designation.
7. Exhibit F - Site Plan.
8. Exhibit G - Applicant's letter dated March 5, 2019, explaining Specific Plan and General Plan amendments.
9. Exhibit H - Legal description of the specific plan amendment site.
10. Exhibit I - Environmental Documentation.
11. Exhibit J - Public Correspondence.

Case Planner: Sandra Yang (951) 736-2262

LOCATIONAL & ZONING MAP



Date: 08/21/2019

**GPA2019-0001, SPA2019-0001,
PM 37565, and PP2019-0003**





Project Conditions

City of Corona

Project Number: SPA2019-0001

Description: CONSTRUCTION OF (2) MEDICAL OFFICE BUILDINGS

Applied: 3/15/2019

Approved:

Site Address: SIXTH STREET AND BELLE BLVD ,

Closed:

Expired:

Status: INCOMPLETE

Applicant: BOURESTON DEVELOPMENT

Parent Project: PM2019-0001

650 TOWN CENTER DRIVE, SUITE 890 COSTA MESA CA, 92626

Details:

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
FIRE	Cindi Schmitz
<ol style="list-style-type: none">1. A minimum fire flow of 3000 gpm shall be provided.2. Fire hydrants are to be spaced a maximum 250 feet apart.	
PLANNING	Sandra Yang
<ol style="list-style-type: none">1. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees.2. The applicant or his successor in interest shall comply with the mitigation measures established in the Mitigated Negative Declaration prepared for the project.3. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.4. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.	



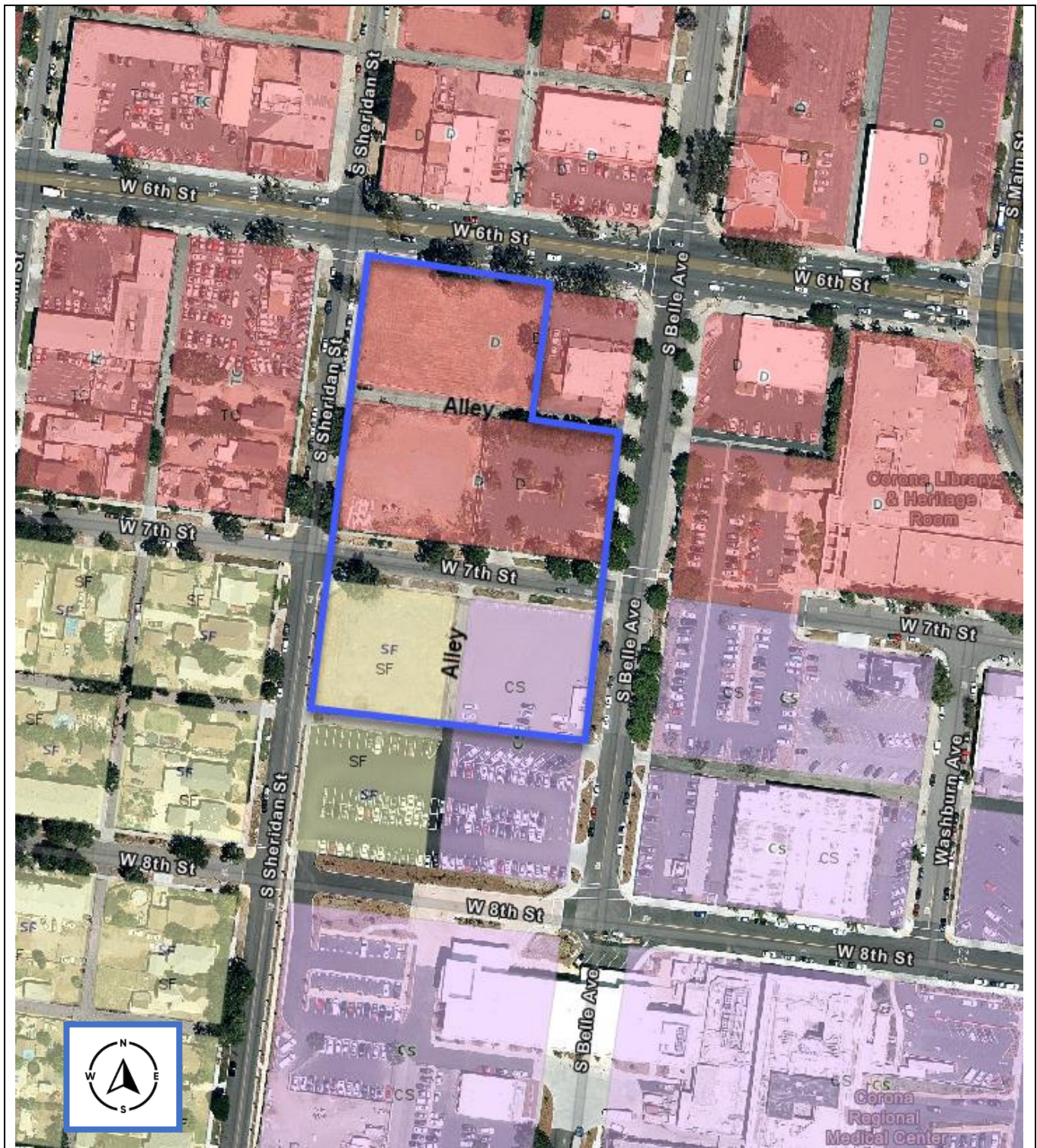
Aerial Map

Legend



Project Site





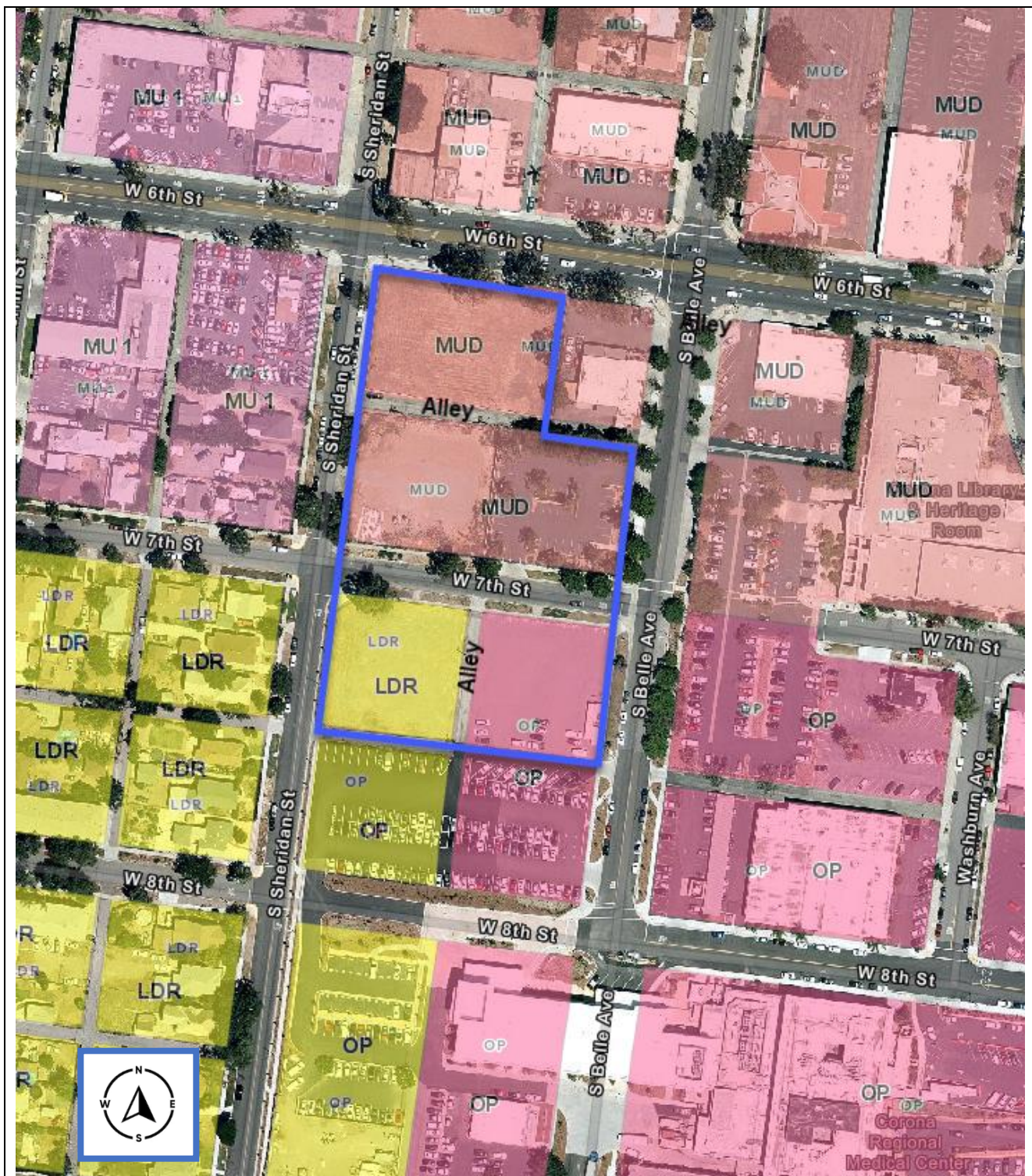
Existing Zoning

Downtown Corona Revitalization Specific Plan

Legend:

- CS – Community Services District
- D – Downtown District
- SF – Single Family District
- TC – Transitional Commercial District



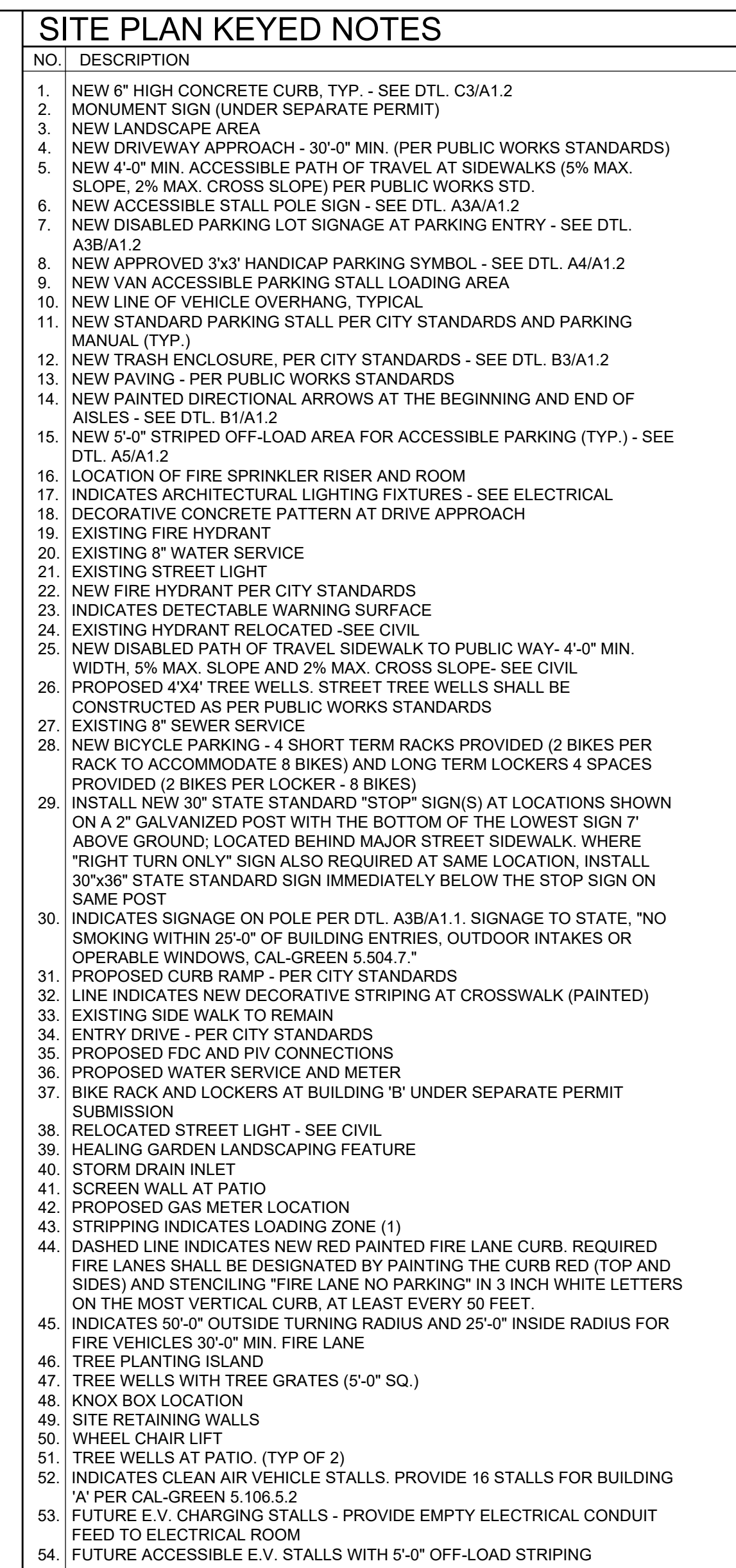


Existing General Plan Designation

Legend:

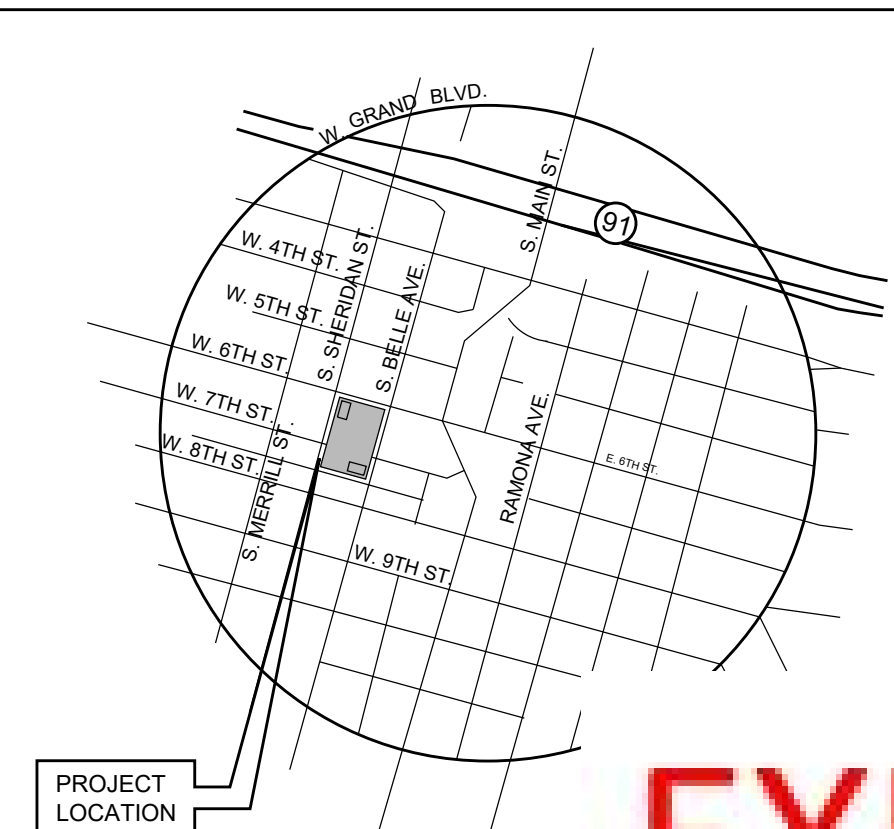
- MU – Mixed Use: Downtown
- MU 1 – Mixed Use: Commercial and Residential
- LDR – Low Density Residential, 3-6 du/ac
- OP – Office/Professional





NO.	DESCRIPTION
1.	ELECTRICAL TRANSFORMER LOCATIONS ARE PRELIMINARY ONLY. LOCATIONS TO BE VERIFIED WITH UTILITY PLAN.
2.	PARKING LOT LIGHTING TO BE SUBMITTED AS PART OF BUILDING 'B' SUBMISSION
3.	DISABLED PARKING BASED ON NET BUILDING SQUARE FOOTAGE: BUILDING 'A' NET S.F. 27,325 S.F. PER MUNICIPAL CODE 17.76.030 PROVIDE STALLS AT 1/200 S.F. PROVIDE 137 STALLS. PER CBC 11B-208.2 PROVIDE 10% OF PARKING SPACES AS ACCESSIBLE. (10% OF 137 STALLS = 14 STALLS REQUIRED - 14 STALLS PROVIDED)

SCALE: 1" = 30'



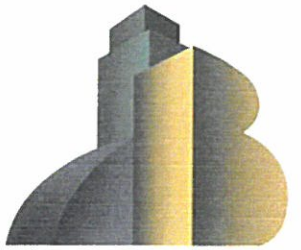
Shell Building for:
Corona Medical Center
Medical Office Building

Sixth Street and Belle Avenue
Corona, Ca

Issue Date:	Issue Description:
3-8-17	PRELIMINARY
12-13-18	DEVELOPMENT REVIEW
12-27-18	PLAN CHECK

Drawing

EXHIBIT F



THE
BOURESTON
COMPANIES
March 5, 2019

City of Corona
Planning Department
400 S. Vicentia Ave., Suite 315
Corona, CA 92509

RE: Description for GPA and SPA

This project consists of two Class A Two-Story Medical Office buildings, one 32,500 sq. ft. and the other 26,200 sq. ft. The 32,500 sq. ft. Medical Office building is a build-a-suit for City of Hope. The 26,200 sq. ft. Medical Office building is a multi-tenant building expect to house a pharmacy, urgent care, surgery center, along with other key health providers sorely needed in the Corona community.

We are asking for a zone change to Downtown in order to take advantage of off-site parking. This allows this project to have the maximum amount of medical office space on the site, for the surrounding community's benefit.

Regards,

Richard E. Boureston

Cc: Ryan Cortez
Economic Development

LEGAL DESCRIPTION

PARCEL 2: (APN: 117-186-002 and 117-186-015)

312 and 322 W. 7th Street

THE EASTERLY 46 FEET OF LOT 7 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

PARCEL 3: (APN: 117-186-003)

705 S. Sheridan St.

LOT 8 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

PARCEL 4: (APN: 117-186-004)

711 S. Sheridan St.

LOT 9 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

PARCEL 5: (APN: 117-186-010)

706 S. Belle Ave.

LOT 5 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

PARCEL 6: (APN: 117-186-011)

705 S. Belle Ave.

LOT 6 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

PARCEL 7: (APN: 117-186-012)

708 S. Belle Ave.

LOT 4 OF BLOCK 122 OF SOUTH RIVERSIDE TOWNSITE, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 9, PAGE 8 OF MAPS, SAN BERNARDINO COUNTY RECORDS.

TOGETHER WITH THAT PORTION OF THE ALLEY AS VACATED BY RESOLUTION NO. 77-107 OF THE CITY COUNCIL OF THE CITY OF CORONA, DATED SEPTEMBER 07, 1977, ADJOINING SAID PROPERTY ON THE SOUTH, WHICH WOULD PASS BY OPERATION OF LAW WITH A CONVEYANCE OF SAID PROPERTY, A CERTIFIED COPY OF SAID RESOLUTION RECORDED OCTOBER 12, 1977 AS INSTRUMENT NO. 201333 OF OFFICIAL RECORDS, AND RE-RECORDED NOVEMBER 15, 1977 AS INSTRUMENT NO. 228024 OF OFFICIAL RECORDS.

EXHIBIT H



CITY OF CORONA

MITIGATED NEGATIVE DECLARATION

NAME, DESCRIPTION AND LOCATION OF PROJECT:

GPA2019-0001: An application to amend the General Plan designation of four properties totaling approximately 0.50 acres from Low Density Residential (LDR) to Office Professional (OP) and establish the Office Professional designation on approximately 0.43 acres of public right-of-way (7th Street) to facilitate the development of a 3.48-acre medical office park located on the south side of West Sixth Street, between Sheridan Street and Belle Avenue.

SPA2019-0001: An application to amend the Downtown Corona Revitalization Specific Plan (SP98-01) to change the designation of seven properties totaling approximately 1.03 acres from Single Family District and Commercial Services District to Downtown District and establish the Downtown District on approximately 0.43 acres of public right-of-way (7th Street) to facilitate the development of a 3.48-acre medical office park located on the south side of West Sixth Street, between Sheridan Street and Belle Avenue.

PM 37565: A parcel map application to create two parcels totaling 3.48 acres to facilitate the development of two medical office buildings located on the south side of West Sixth Street, between Sheridan Street and Belle Avenue.

PP2019-0003: A precise plan application to review the site plan and architecture of two medical office buildings totaling 58,900 on 3.48 acres located on the south side of West Sixth Street, between Sheridan Street and Belle Avenue in the Downtown District of the Downtown Corona Revitalization Specific Plan (SP98-01).

ENTITY OR PERSON UNDERTAKING PROJECT:

The City Council, having reviewed the initial study of this proposed project and the written comments received prior to the public meeting of the City Council, and having heard, at a public meeting of the Council, the comments of any and all concerned persons or entities, including the recommendation of the City's staff, does hereby find that the proposed project may have potentially significant effects on the environment, but mitigation measures or revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to a point where clearly no significant effects will occur. **Therefore, the City Council hereby finds that the Mitigated Negative Declaration reflects its independent judgment and shall be adopted.**

The Initial Study and other materials which constitute the records of proceedings, are available at the office of the City Clerk, City of Corona City Hall, 400 South Vicentia Avenue, Corona, CA 92882.

Date: _____

Mayor
City of Corona

Date filed with County Clerk: _____

CITY OF CORONA

INITIAL STUDY / ENVIRONMENTAL CHECKLIST

PROJECT TITLE: GPA2019-0001, SPA2019-0001, PM 37565, and PP2019-0003

PROJECT LOCATION:

South side of West Sixth Street, between Sheridan Street and Belle Avenue, in the City of Corona, County of Riverside.

Assessors' Parcel Numbers: 117-181-002, -003, -011, -012, -015, -016, 117-186-001, -002, -003, -004, -006, -007, -010, -011, -012, -013, and -014.

PROJECT PROPONENT:

Richard T. Boureston
Boureston Development
650 Town Center Drive, Suite 890
Costa Mesa, CA 92626

PROJECT DESCRIPTION:

The proposed project is for the development of two medical office buildings totaling 58,900 square feet on 3.48 acres located on the south side of Sixth Street between Sheridan Street and Belle Avenue. The project site is comprised of 13 properties which are located within the Downtown Corona Revitalization Specific Plan and zoned Downtown (D), Community Services (CS), and Single Family (SF). The project site also includes a portion of 7th Street that bisects the project site from Sheridan Street to Belle Avenue and two alleys which will vacated and included within the project boundary. Each medical office building is two stories and approximately 40 feet in height. The development includes a parking lot containing 231 parking spaces which will shared among the tenants within the buildings. In addition, 54 off-site parking spaces will be provided on Belle Avenue adjacent to the project site to serve the buildings.

Development of the proposed project requires multiple entitlements which include a general plan amendment, specific plan amendment, parcel map, and a precise plan. The following describes the reason for each entitlement.

- **GPA2019-0001:** GPA2019-0001 is a proposal to amend the General Plan land use designation of four properties totaling approximately 0.50 acres located on the southwest corner of the project from Low Density Residential (LDR) to Office/Professional (OP). The amendment will also establish the Office/Professional designation the section of 7th Street (approximately 0.43 acres) that bisects the project site and two alleys that are located within the project site.
- **SPA2019-0001:** SPA2019-0001 is a proposal to amend the Downtown Corona Revitalization Specific Plan to change the zoning of seven parcels totaling approximately 1.03 acres located on the southern portion of the project site from Single Family (SF) and Commercial Services (CS) to Downtown (D). The amendment will also establish the Downtown designation on the section of 7th Street (approximately 0.43 acres) that bisects the project site and two alleys located within the project site.
- **PM 37565:** PM 37565 is a parcel map application that will merge the 13 existing lots plus the 0.43-acre section of 7th Street and two alleys into two parcels totaling 3.48 acres to accommodate the two medical office buildings. Each lot will contain its own building and a portion of the shared parking lot.
- **PP2019-0003:** PP2019-0003 is a precise plan application to review the site plan and architecture of the two medical office buildings on the project site.

ENVIRONMENTAL SETTING:

Site Description: The project site is comprised of 13 properties, a section of 7th Street and two alleys. The section of 7th Street and two alleys will be vacated as part of this development proposal so that they can be included within the project boundary. Refer to Figure 1. The two most northerly parcels that abut Sixth Street were previously developed for commercial purposes but are currently vacant. The middle parcel that abuts Belle Avenue is developed with a parking lot for the Corona Public Library which is located across Belle Avenue to the east of the project site. The remaining 10 properties were previously developed with single family homes but are currently vacant.

Site Surroundings: The project site is located in an urbanized area considered the city's downtown. The project site is bounded to the north and northeast by Sixth Street and a tire shop, respectively. To the west is Sheridan Street with a car dealership and single family residences located beyond Sheridan Street. To the east is Belle Avenue with a medical clinic and the Corona Public Library located beyond Belle Avenue. To the south is a parking lot for the Corona Regional Medical Center.

GENERAL PLAN \ ZONING:

General Plan: The existing General Plan designation of the 13 properties are varied. Refer to Figure 2. Per the city's General Plan map, the six properties located on the northern portion of the project site between Sixth Street and 7th Street are designated as Mixed Use: Downtown (MUD). The four properties located on the southwest portion of the project site abutting Sheridan Street are designated as Low Density Residential (LDR, 3-6 du/ac). The three properties located on the southeast portion of the project site are designated as Office/Professional (OP). The MUD and OP designations permit the proposed project; however, the LDR does not. Compliance with the General Plan is being addressed through the general plan amendment application, GPA2019-0001, which proposes to change the General Plan designation of the LDR properties to OP to allow for the development of the proposed project. The OP designation would be consistent with the OP properties located within the same block on the southeast portion of the project site.

Zoning: The 13 properties are located within the Downtown Corona Revitalization Specific Plan and have different zoning. Refer to Figure 3. Per the Specific Plan's land use map, the six properties located on the northern portion of the project site between Sixth Street and 7th Street are currently zoned Downtown. The four properties located on the southwest portion of the project site abutting Sheridan Street are currently zoned Single Family (SF). The three properties located on the southeast portion of the project site are currently zoned Community Services (CS). The medical office buildings are a permitted use in the Downtown and Community Services Districts, but not in the Single Family District. Compliance with the Specific Plan's land use map is being addressed through the specific plan amendment application, SP2019-0001, which proposes to change the zoning of the Single Family portion to Downtown to allow for the medical office use. Also, even though the proposed use is already permitted on the Community Services portion of the project site, the amendment will also change the Community Services portion to Downtown. This would allow the entire project site to be developed under the same zoning and development standards of the Downtown District.

STAFF RECOMMENDATION:

The City's Staff, having undertaken and completed an initial study of this project in accordance with the City's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)", has concluded and recommends the following:

- ___ The proposed project could not have a significant effect on the environment. **Therefore, a NEGATIVE DECLARATION will be prepared.**
- ___ The proposed project could have a significant effect on the environment, however, the potentially significant effects have been analyzed and mitigated to below a level of significance pursuant to a previous EIR as identified in the Environmental Checklist attached. **Therefore, a NEGATIVE**

DECLARATION WILL BE PREPARED.

- ☒ The Initial Study identified potentially significant effects on the environment but revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to below a level of significance. **Therefore, a MITIGATED NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project may have a significant effect on the environment. **Therefore, an ENVIRONMENTAL IMPACT REPORT is required.**
- ☐ The proposed project may have a significant effect on the environment, however, a previous EIR has addressed only a portion of the effects identified as described in the Environmental Checklist discussion. As there are potentially significant effects that have not been mitigated to below significant levels, a **FOCUSED EIR will be prepared to evaluate only these effects.**
- ☐ There is no evidence that the proposed project will have the potential for adverse effect on fish and wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The following indicates the areas of concern that have been identified as "Potentially Significant Impact" or for which mitigation measures are proposed to reduce the impact to less than significant.

- | | | |
|--|---|---|
| <input type="checkbox"/> Land Use Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Agricultural Resources |
| <input type="checkbox"/> Population and Housing | <input checked="" type="checkbox"/> Hazards / Hazardous Materials | <input type="checkbox"/> Greenhouse Gases |
| <input type="checkbox"/> Geologic Problems | <input checked="" type="checkbox"/> Noise | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Public Services | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Utilities | |
| <input type="checkbox"/> Transportation / Traffic | <input checked="" type="checkbox"/> Aesthetics | |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | |

Date Prepared: August 5, 2019

Prepared By: Sandra Yang, Senior Planner

Contact Person: Sandra Yang

Phone: (951)279-3553

AGENCY DISTRIBUTION

(check all that apply)

- ☐ Responsible Agencies
- ☐ Trustee Agencies (CDFG, SLC, CDPR, UC)
- ☐ State Clearinghouse (CDFG, USFWS, Redev. Projects)
- ☐ AQMD
- ☒ Pechanga
- ☒ Soboba
- ☐ WQCB
- ☒ Other: Gabrieleno/Tongva San Gabriel Band, Rincon, Torres Martinez Desert Cahuilla Indians, Santa Rosa

UTILITY DISTRIBUTION

- ☐ Southern California Edison
- Southern California Edison
Adriana Mendoza-Ramos, Esq.
Region Manager, Local Public Affairs
1351 E. Francis St.
Ontario, CA 91761

Southern California Edison
Karen Cadavona
Third Party Environmental Review
2244 Walnut Grove Ave.
Quad 4C 472A
Rosemead, CA 91770

Note: This form represents an abbreviation of the complete Environmental Checklist found in the City of Corona CEQA Guidelines. Sources of reference information used to produce this checklist may be found in the City of Corona Community Development Department, 400 S. Vicentia Avenue, Corona, CA.

1. LAND USE AND PLANNING:				
	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with any land use plan/policy or agency regulation (general plan, specific plan, zoning)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with surrounding land uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Physically divide established community	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

The project site is comprised of multiple properties (13) that have different General Plan designations and zoning. Per the city's General Plan map (Figure 2), the six properties located on the northern portion of the project site between Sixth Street and 7th Street are currently designated as Mixed Use: Downtown (MUD). The four properties located on the southwest portion of the project site abutting Sheridan Street are currently designated as Low Density Residential (LDR, 3-6 du/ac). The three properties located on the southeast portion of the project site are currently designated as Office Professional (OP). The MUD and OP designations permit the proposed medical office buildings; however, the LDR does not. Compliance with the General Plan is being addressed through the general plan amendment application, GPA2019-0001, which proposes to change the General Plan designation of the LDR properties to OP to allow for the medical office use and to be consistent with the OP properties that are located on the same block.

Per the Downtown Corona Revitalization Specific Plan's land use map (Figure 3), the six properties located on the northern portion of the project site between Sixth Street and Seventh Street are currently zoned Downtown. The four properties located on the southwest portion of the project site abutting Sheridan Street are currently zoned Single Family (SF). The three properties located on the southeast portion of the project site are currently zoned Community Services (CS). The medical office buildings are a permitted use in the Downtown and Community Services Districts, but not in the Single Family District. Compliance with the Specific Plan's land use map is being addressed through the specific plan amendment application, SP2019-0001, which proposes to change the zoning of the Single Family portion to Downtown to allow for the medical office use. Also, even though the proposed use is already permitted on the Community Services portion of the site, the amendment will also change the Community Services portion to Downtown. This would allow the entire project site to be developed under the same zoning and development standards of the Downtown District. Approval of the general plan and specific plan amendments would result in the project being in conformance with the city's General Plan and Specific Plan. This would result in no impacts and no mitigation would be required.

The project site is located in an urbanized part of the city. It is bounded to the north and northeast by Sixth Street and a tire shop, respectively. Located beyond Sixth Street to the north are existing retail and commercial service shops. To the west is Sheridan Street with a car dealership and six single family residences located on the other side. To the east is Belle Avenue with a medical clinic and the Corona Public Library located on the other side. To the south is a parking lot which serves the Corona Regional Medical Center located at 800 S. Main Street. The project site expands across two blocks that are zoned primarily for commercial and office use. The surrounding uses that are located on the same side of Sheridan Street as the project site consist of commercial and medical buildings, a hospital, parking lots, a library, and other quasi-public type uses. Therefore, rezoning and developing the project site to accommodate medical office buildings would be a logical continuation of the existing surrounding land uses. This would result in a less than significant impact and no mitigation is required.

2. POPULATION AND HOUSING:				
	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Induce substantial growth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing housing or people	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

The project site is comprised primarily of vacant undeveloped land. Only a portion of the project site is currently developed for a parking lot for the Corona Public Library. As the project is for two medical office buildings and there are no existing residences on the project site, development of the proposed project would not induce substantial growth or displace housing or people. No impacts are expected, and no mitigation is required.

3. GEOLOGIC PROBLEMS:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fault /seismic failures (Alquist-Priolo zone) /Landslide/Liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Grading of more than 100 cubic yards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Grading in areas over 10% slope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantial erosion or loss of topsoil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Unstable soil conditions from grading	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Expansive soils	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

A preliminary geotechnical investigation report was prepared for the project by GMU Geotechnical, Inc. (October 5, 2018) to evaluate the subsurface conditions at the project site for the purpose of making geotechnical recommendations related to the design and construction of the proposed medical office buildings. Per the geotechnical investigation report, the project site is relatively flat with a gentle slope descending to the northwest towards Sixth Street. As the site is comprised of multiple properties, portion of the site contains vegetation, asphalt parking lot, and gravel parking lot. GMU drilled 11 holes to a maximum depth of 51.5 feet below the existing ground surface to determine the subsurface geologic and groundwater conditions and to obtain bulk and drive samples for geotechnical testing. Based on the soils test, the site contains alluvia fan deposits overlain by artificial fill. The alluvial fan deposits were observed throughout the 51.5-foot depth. Artificial fill was encountered within two of the drill holes at depths of approximately 1.5 to 2 feet. However, based on previous site conditions observed from historic aerial photographs, the depth of existing artificial fill could vary across the site and may be as thick as 5 feet.

Groundwater was not encountered during the drilling. A separate research performed for the site indicates that groundwater is situated at a depth of approximately 90 feet from the existing ground surface and may vary across the site due to stratigraphic and hydrologic conditions but is not expected to impact development of the site. Therefore, no impacts are expected.

The site is not located within an Alquist-Priolo Earthquake Fault Zone, and no known active faults are in the area of the project site. The nearest active faults are the Chino and Elsinore fault systems, which are located approximately 2.1 and 3.4 miles from the site, respectively, and are capable of generating a maximum earthquake magnitude of 6.8 and 7.8, respectively. Given the site's proximity to these and other active and potentially active faults, the site will likely be subject to earthquake ground motions in the future. The project will be subject to city and county local codes, the latest California Building Code (CBC), and the engineering recommendations in the project's geotechnical investigation report. Therefore, any potential impacts related to fault/seismic failures would be reduced to a less than significant impact and no further mitigation would be necessary.

The site is not located in a zone that requires investigation for liquefaction. In addition, based on the soils encountered at the site, GMU opines that the liquefaction potential at the site is low. No impacts are expected from liquefaction.

Based on GMU's review of available geologic maps, literature, topographic maps, aerial photographs, and soils evaluation, the potential for landslides to occur at the site is considered negligible. No impacts are expected as it pertains to landslides.

The soils encountered at the site exhibit a medium to high expansion potential. As such, GMU recommends using a high expansion potential in the design of the structures. Compliance with the recommendations in the geotechnical investigation report would reduce potential impacts to less than significant and no mitigation is required.

Development of the site would involve grading of more than 100 cubic yards. There would also be grading in areas with greater than 10 percent slopes. Adherence to the city's grading regulations and the grading specifications identified in the geotechnical investigation report would ensure a less than significant impact would occur and no further investigation would be required.

4. HYDROLOGY AND WATER QUALITY:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than significant Impact	No Impact
a. Violate water quality standards/waste discharge requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Deplete groundwater supplies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Alter existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Increase flooding hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Degrade surface or ground water quality	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Within 100-year flood hazard area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase exposure to flooding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Exceed capacity of storm water drainage system	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

Per the project's hydrology report (Fusco Engineering, July 2019), the site currently drains from the southeast corner of the project site to the northwest corner. For the existing Corona Public Library parking lot, runoff surface flows toward curb and gutter and ultimately to Belle Avenue. The existing streets surrounding the project site do not have any existing catch basin inlets to capture any of the surface runoff from the project site. There are also no underground drainage lines to carry runoff to the city's public storm drain system. Development of the proposed project would alter the existing drainage pattern onsite. The project will be designed to match the historic drainage pattern flow of the existing conditions. The proposed drainage for the project will have storm water runoff surface flow towards the northwest corner near the intersection of Sixth Street and Sheridan Street which will then travel west down Sixth Street and Seventh Street till they join with a public storm drain line on Merrill Street. Low flows will be collected to one of two on-site underground infiltration galleries via pervious pavement proposed within the parking lot. Flow through planter areas in the landscape medians will be used as a water quality method for treating runoffs. Overall, the project will not adversely affect the downstream facilities or neighborhood and will reduce the impact on the existing infrastructure. Therefore, no mitigation is required.

Development of the project site would increase the area of impermeable surface paving which will result in an increase in surface runoff. The applicant has submitted a preliminary Water Quality Management Plan (WQMP) prepared by Fusco Engineering (September 17, 2018) to ensure that the project addresses potential water quality impacts. The applicant will be required to implement on site the Best Management Practices (BMPs) identified in the preliminary WQMP to minimize pollutant runoff into the City's storm water drainage system. These include maintaining and periodically repainting or replacing inlet markings, providing regular maintenance of the landscaping, and sweeping sidewalks and parking areas regularly and to prevent accumulation of litter and debris. Prior to issuance of a grading permit, the applicant will be required to submit a final WQMP to be reviewed by the Corona Public Works Department. This will result in a less than significant impact to water quality and therefore, no further mitigation is required.

According to the project's geotechnical investigation report (GMU, October 5, 2018), review of Riverside County FEMA Flood Insurance Rate Map indicates that the site is located within "Zone X", an area of 0.2% annual chance flood, 1% annual chance flood with average depths of less than one foot or with drainage areas less than one square mile, and protected by levees from 1% annual chance flood. The potential for the site to be adversely impacted by significant flooding is considered low. Additionally, the project site is not located within the 100-year flood hazard area. Development of the project site will not result in a flooding hazard nor will it expose the site and surrounding area to flooding. Therefore, no impacts are anticipated with respect to flooding and no mitigation is required.

5. AIR QUALITY:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with air quality plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Violate air quality standard	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Net increase of any criteria pollutant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to pollutants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

The project site is located within the South Coast Air Basin, an area covering approximately 6,745 square miles and bounded by the Pacific Ocean to the west and south and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east. The Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. Air quality within the Basin is regulated by the SCAQMD which is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the Basin is in nonattainment. The project would be subject to SCAQMD's Air Quality Management Plan (AQMP), which contains a comprehensive list of pollution control strategies directed at reducing emissions and achieving ambient air quality standards. The AQMP is based on projections originating with county and city general plans. Since the proposed project is required to be consistent with the City of Corona General Plan, the project would be consistent with the AQMP. Therefore, no impacts would occur with respect to AQMP implementation, and no mitigation measures are required.

An air quality study was prepared for the project by RK Engineering (February 28, 2019) to analyze potential air impacts associated with the proposed project. Emissions were calculated using the California Emission Estimator Model (CalEEMod) Version 2016.3.2, which was the latest version available at the time of the preparation of the report. The CalEEMod is a computer model approved by the South Coast Air Quality Management District (SCAQMD) to calculate criteria pollutant emissions. The following discusses the project's compliance to air quality plans and potential short-term and long-term air quality impacts.

Construction (Short-term) Emissions Impacts

Short-term air impacts include construction related activities associated with the proposed project. These activities would result in emissions of VOC, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} which have regional significance thresholds established by the SCAQMD. Any project with daily regional emissions that exceed any of the regulated thresholds should be considered as having an individually and cumulatively significant air quality impact. It is anticipated that construction of the project would be completed in approximately 12 months. During construction, the project is expected to comply with the regulatory construction requirements under the SCAQMD Rules which include but are not limited to Rule 1403 (Asbestos), Rule 1113 (Architectural Coatings), and Rule 403 (Fugitive Dust). The project's estimated maximum daily construction emissions are summarized below in Table 5-A. As shown, emissions resulting from project construction would not exceed the SCAQMD regional thresholds of significance for regulated pollutants. Therefore, a less than significant impact would occur and no mitigation is required.

TABLE 5-A
Estimated Construction Maximum Daily Air Pollutant Emissions (lbs/day)

Construction Phase	Maximum Emissions (lbs/day)					
	VOC	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
Maximum Daily Emissions during Summer or Winter (includes both on-site and off-site project emissions)	32.79	45.64	22.86	0.06	9.50	6.05
SCAQMD Thresholds	75	100	550	150	150	55
Threshold Exceeded?	No	No	No	No	No	No

Construction Related Localized Emissions

The project's air quality study also included a construction related localized emissions impact analysis. SCAQMD established Localized Significance Thresholds (LSTs) to show whether a proposed project would cause or contribute to localized air quality impacts at the nearest sensitive receptor. Sensitive receptors include residences, schools, hospitals, and similar uses

that are sensitive to adverse air quality. For this project, the nearest sensitive receptors include residential properties located approximately 60 feet to the west and a hospital (Corona Regional Medical Center) located approximately 100 feet to the south. LSTs take into account the size of the project and a project's distance to the sensitive receptor, and apply only to NO_x, CO, PM₁₀, and PM_{2.5}. Tables 5-B and 5-C show the project's construction emission rates with and without implementation of **Mitigation Measure 1**. With implementation of **Mitigation Measure 1**, the project would not exceed the SCAQMD's Localized Significance Thresholds (LSTs) established for sensitive receptors located 25 meters from the project site if **Mitigation Measure 1** is implemented. Therefore, compliance with **Mitigation Measure 1** would reduce impacts to less than significant. Note that Tables 5-B and 5-C assume that the project would be implementing standard SCAQMD rules and requirements for fugitive dust control.

TABLE 5-B
Unmitigated Construction LST Impacts

Construction Phase	Maximum Emissions (lbs/day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum On-site Emissions	45.57	22.06	9.30	6.0
SCAQMD Threshold	216.88	1,335.8	9.0	6.3
Threshold Exceeded?	No	No	Yes	No

TABLE 5-C
Mitigated Construction LST Impacts

Construction Phase	Maximum Emissions (lbs/day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum On-site Emissions	28.35	23.28	6.92	3.81
SCAQMD Threshold	216.88	1,335.8	9.0	6.3
Threshold Exceeded?	No	No	No	No

Construction Related Diesel Particulate Matter

The greatest potential for toxic air contaminant emissions from the project would be related to diesel particulate matter (DPM) emissions associated with heavy diesel equipment used during construction. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of "individual cancer risk" which is the likelihood that a person exposed to concentrations of toxic air contaminants over a 30-year lifetime will contract cancer based on the use of standard risk-assessment methodology. As shown in Table 5-B, construction-based particulate matter (PM) emissions including diesel exhaust emissions have the potential to exceed local emissions levels. Therefore, the project is required to implement **Mitigation Measure 1** to reduce particulate matter (PM) from diesel exhaust. The project shall also implement the best available pollution control strategies to minimize potential health risks, which are listed under **Mitigation Measure 2**. Compliance with **Mitigation Measures 1 and 2** would reduce impacts related to DMP to less than significant.

Operational (Long-term) Emissions Impacts

Long-term operational activities associated with the proposed project will result in emissions of VOC, NO_x, CO, SO₂, PM₁₀, and PM_{2.5}. Operational emissions would be expected from energy sources (electricity consumption), mobile sources (vehicle trips), and area sources (landscape equipment and architectural coating emissions). As shown in Table 5-D, the project's expected daily long-term emissions would not exceed the SCAQMD thresholds for VOC, NO_x, CO, SO_x, PM₁₀, and PM_{2.5}. Therefore, this would be less than significant and no mitigation is required.

TABLE 5-D
Project Operational Emissions

Emissions Source	Estimated Emissions (lbs/day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Total Emissions From Mobile, Energy, and Area Sources	4.89	9.55	40.79	0.13	11.26	3.06
SCAQMD Thresholds	55	55	550	150	150	55
Threshold Exceeded?	No	No	No	No	No	No

Operational Related Localized Emissions

Table 5-E shows the localized operational emissions and compares the results to SCAQMD LST thresholds of significance. As shown in Table 5-E, the emissions will be below the SCAQMD thresholds of significance for localized operational emissions. The project will result in less than significant localized operational emissions impacts and no mitigation is required.

TABLE 5-E
Operational LST Impacts

LST Pollutants	Maximum Emissions (lbs/day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum On-site Emissions	0.53	2.12	0.6	0.2
SCAQMD Threshold	216.88	1,335.8	2.4	1.8
Threshold Exceeded?	No	No	No	No

Construction and Operational Related Odors

Land uses generally associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting operations, refineries, landfills, dairies, fiberglass molding facilities. The project does not contain land uses associated with emitting objectionable odors. Potential odor sources associated with the proposed project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities. However, these activities would be temporary, short-term, and intermittent in nature and would cease upon completion of the project's construction phase. Other potential odor sources associated with the project include the temporary storage of typical solid waste (refuse) associated with the project's long-term operational uses. However, it is expected that project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the City's solid waste regulations. The project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the project's construction and operations would be less than significant and no mitigation would be required.

Operational Related Toxic Air Contaminants

The proposed medical office use is not considered a typical source of significant toxic air contaminants (TAC). A TAC is defined as air pollutants that may cause or contribute to an increase in mortality or serious illness, or which may pose a hazard to human health, and for which there is no concentration that does not present some risk. The primary source of TACs from non-industrial land use development projects would include diesel particulate matter (DPM) generated from diesel exhaust emissions. The medical office use may attract some light-heavy trucks for shipping and delivery purposes, but would not be a truck intensive use that would generate a significant amount of DPM. Based on the project's trip generation taken from the project's Traffic Impact Analysis (RK Engineering Group, December 2018), the project is expected to generate a maximum of 30 heavy truck trips per day.

According to SCAQMD, any project that has the potential to expose the public to toxic air contaminants in excess of the following thresholds would be considered to have a significant air quality impact:

- If the maximum incremental cancer risk is 10 in one million or greater; or
- Toxic air contaminants from the proposed project would result in a Hazard Index increase of 1 or greater.

Based on the project's trip generation, it is not expected that the project would result in significant incremental increases in potential cancer risks to surrounding sensitive receptors. This is considered a less than significant impact and no mitigation is required.

CO Hot Spots Emissions

A CO hot spot is a localized concentration of carbon monoxide (CO) that is above the state one-hour standard of 20 ppm (parts per million) or the eight-hour standard of 9 ppm. When the 1993 CEQA Air Quality Handbook was published, the South Coast Air Basin which includes the project site was designated nonattainment, and so CO hot spot analyses were required to be performed to ensure that development did not exacerbate an existing problem. Since that time, the South Coast Air Basin has achieved attainment status and the potential for hot spots caused by vehicular traffic congestion has been greatly reduced. In fact, the SCAQMP Air Quality Management Plan found that peak CO concentrations were primarily the result of unusual meteorological and topographical conditions, not traffic congestion. Additionally, the 2003 SCAQMD Air Quality Management Plan found that, at the four of the busiest intersections in the South Coast Air Basin, there were no CO hot spots concentrations. Furthermore, the project's Traffic Impact Analysis found that traffic generated by the project would not cause significant adverse impacts. Therefore, it is reasonable to conclude that the project would not significantly increase traffic congestion in the vicinity of the site that would lead to the formation of CO hot spots. This is considered a less than significant impact and no mitigation is required.

Mitigation Measures

1. Require all construction equipment to have low emission Tier 4 "clean diesel" engines with diesel oxidation catalysts and diesel particulate filters that meet the latest CARB best available control technology.

2. In order to ensure the level of DPM exposure is reduced as much as possible, the project shall implement the following best available pollution control strategies to minimize potential health risks:
 - a. Utilize low emission “clean diesel” equipment with new or modified engines (Tier 4 or better) that include diesel oxidation catalysts, diesel particulate filters or Moyer Program retrofits that meet CARB best available control technology.
 - b. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors.
 - c. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
 - d. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.

6. TRANSPORTATION/TRAFFIC:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict of be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Increase the total daily vehicle miles traveled per service population (population plus employment) (VMT/SP) above the baseline level for the jurisdiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause total daily VMT within the study area to be higher than the No Project alternative under cumulative conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Change in air traffic patterns	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Traffic hazards from design features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Emergency access	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Conflict with alternative transportation policies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

Senate Bill (SB) 743 was passed by the California State Legislature and signed into law in 2013 requiring public agencies to analyze a project's potential traffic impact on the environment using vehicle miles traveled (VMT) instead of level of service (LOS) when evaluating for CEQA compliance. Section 15064.3 of the 2019 CEQA Guidelines provide the criteria for analyzing transportation impacts of projects when measuring vehicle miles traveled. On May 1, 2019, the City of Corona adopted updates to the city's Local Guidelines For Implementing CEQA which incorporated the provisions of Section 15064.3. The city also has a draft memorandum regarding VMT Analysis Guidelines prepared for Fehr & Peers dated January 11, 2019 which establishes the methodologies for analyzing VMTs. A separate memorandum prepared by Fehr & Peers dated March 27, 2019 establishes that VMT should be analyzed under two scenarios – a baseline year and at buildout which is year 2040. Furthermore, under the VMT Analysis Guidelines, a significant impact would occur if either condition below is met:

- **Project Level Impact:** The buildout of the project increases the total daily VMT per service population (VMT/SP) above the baseline level (year 2017) for the city.
- **Cumulative Effect on VMT:** The buildout of the project causes total daily VMT/SP within the city to be higher than the no-project alternative under cumulative conditions at buildout (year 2040).

The city's established VMT thresholds are based on a 2017 baseline year and at buildout year 2040:

- 2017 Baseline Year – 30.2 VMT/SP
- 2040 Buildout Year – 32.6 VMT/SP

Per the state's Office of Planning and Research Technical Advisory On Evaluating Transportation Impacts in CEQA, certain projects can be screened from being required to conduct a VMT assessment as these types of projects are expected to cause a less than significant impact. These projects include the following:

- Projects that generate less than 110 daily trips.
- Local serving retail less than 50,000 square feet.

- Local serving schools.
- Development in a Transit Priority Area and consistent with the Regional Transportation Plan (RTP)/Sustainable Communities Strategy (SCS).
- Development in a low VMT generating area, consistent with the RTP/SCS, and consistent with development currently in that zone.

The project site is located within Corona's Transit Priority Area (TPA) which consists of the areas located approximately within one mile north and south of State Route 91 from approximately Serfas Club Drive to the eastern limits of the city boundaryline. The city's TPA consists of the Metrolink Rail line and RTA bus route on Sixth Street. As such, the Public Works Department did not require a VMT analysis to be prepared for the proposed project. This would be a less than significant impact and no mitigation pertaining to VMT is warranted.

Traffic Impact Analysis

Although the city's CEQA checklist no longer considers level of service or LOS as a means of determining a significant effect on the environment, the city still uses LOS to determine if an applicant's project needs to construct certain circulation improvements or participate in the fair share cost toward the construction of future circulation improvements. Circulation improvements, if required, would be added as a condition of approval for the project. A Traffic Impact Analysis (TIA) was prepared for the project by RK Engineering Group (December 20, 2018, and updated August 21, 2019) to evaluate the project's potential traffic impact in terms of LOS to the surrounding area. Per the General Plan, the acceptable LOS for intersections within the City of Corona is LOS C or better for local intersections in residential/industrial areas, and LOS D or better for collector and arterial intersections.

The project is anticipated to open in year 2020 and is expected to generate approximately 2,050 average daily trips with approximately 164 trips during the AM peak hour, and approximately 204 trips during the PM peak hour.

Access into the project site is planned to be provided via four unsignalized driveways:

- One full-access driveway on Sheridan Street;
- One right-in/right-out driveway along Sixth Street;
- Two full-access driveways on Belle Avenue.

The following street intersections were studied in the TIA because of their proximity to the project site:

1. W. Grand Blvd. / W. Sixth St.
2. Sheridan St. / W. Sixth St.
3. Belle Ave. / W. Sixth St.
4. S. Main St. / Sixth St.
5. S. Main St. / Eighth St.
6. S. Main St. / Ninth St.
7. Sheridan St. / Project Driveway 1
8. Project Driveway 2 / W. Sixth St.
9. Belle Ave. / Project Driveway 3
10. Belle Ave. / Seventh St – Project Driveway 3
11. Sheridan St. / Seventh St.

The following street segments were studied in the TIA because of their proximity to the project site:

1. W. Sixth St., from W. Grand Blvd. to Main St.
2. S. Main St., from Sixth St. to Ninth St.
3. Sheridan St., from W. Sixth St. to Ninth St.
4. W. Ninth St., from Sheridan St. to S. Main St.
5. S. Belle Ave., from W. Sixth St. to Eighth St.
6. W. Eighth St., from Belle Ave. to S. Main St.

The TIA evaluated traffic conditions under the following scenarios:

- Existing Conditions (2018)
- Existing Plus Project Conditions (2018)
- Project Opening Year (2020) with Background Traffic
- Project Opening Year (2020) with Background Traffic and Proposed Project
- Build-out Year (2040) with Background Traffic

- Built-out Year (2040) with Background Traffic and Proposed Project

Existing Conditions (2018): Per the TIA, all study intersections are currently operating at an acceptable level of service (LOS D or better) during the AM and PM peak hours.

Existing Plus Project Conditions (2018): This scenario assumes that Seventh Street from Sheridan Street to Belle Avenue was removed as planned to accommodate the project and as such, traffic from Seventh Street has been redistributed accordingly throughout the study area roadway network. Per the TIA, all study intersections are expected to continue to operate at an acceptable level of service (LOS D or better) during the AM and PM peak hours.

Project Opening year (2020) with Background Traffic Conditions: For this scenario, a conservative annual grow rate of 2 percent was applied to the existing traffic volumes over a two-year period (2.5% total) to account for area wide/ambient growth. Per the TIA, all study intersections are expected to continue to operate at an acceptable level of service (LOS D or better) during the AM and PM peak hours under this scenario.

Project Opening year (2020) with Background Traffic Conditions and Proposed Project Conditions: For this scenario, a conservative annual grow rate of 2 percent was applied to the existing traffic volumes over a two-year period (4% total) to account for area wide/ambient growth. In addition, this scenario assumes that Seventh Street from Sheridan Street to Belle Avenue was removed as planned to accommodate the project and as such, traffic from Seventh Street has been redistributed accordingly throughout the study area roadway network. Per the TIA, all study intersections are expected to continue to operate at an acceptable level of service (LOS D or better) during the AM and PM peak hours under this scenario.

Buildout Year (2040) with Background Traffic Conditions: For both 2040 scenarios, since the project area is projected to experience a more practical annual grow rate of 1.25% as opposed to a 2% annual growth rate, a 1.25% annual growth rate was applied to the existing traffic volumes over a 22-year period to account for area wide/ambient growth. Per the TIA, all study intersections are expected to continue to operate at an acceptable level of service (LOS D or better) during the AM and PM peak hours under this scenario.

Buildout Year (2040) with Background Traffic Conditions and Proposed Project Conditions: The more practical annual grow rate of 1.25% was applied to the existing traffic volumes over a 22-year period to account for area wide/ambient growth for this scenario. Also, this scenario assumes that Seventh Street from Sheridan Street to Belle Avenue will be removed as planned to accommodate the project and as such, traffic from Seventh Street has been redistributed accordingly throughout the study area roadway network. Per the TIA, all study intersections are expected to continue to operate at an acceptable level of service (LOS D or better) during the AM and PM peak hours under this scenario.

Because the studied intersections are expected to continue to operate at acceptable levels of service, no additional circulation improvements are required by the applicant.

Roadway Segments: All studied roadway segments are expected to be operating at acceptable levels of service (LOS C or better), with the exception of the following two segments:

1. W. Sixth St., from W. Grand Blvd. to Main St. – forecast to operate deficiently at Buildout Year 2040 without and with Project conditions.
2. S. Main St., from Sixth St. to Ninth St. – forecast to operate deficiently at Buildout Year 2040 without and with Project conditions.

Therefore, to determine the true deficiency of these two roadway segments at Buildout Year with the Project conditions, an analysis was done using peak hours. The TIA indicates that the impacted roadway segments would be operating at LOS A in the peak hours in year 2040 with the project. Therefore, the project is not considered to have an impact on this roadway segment.

7. BIOLOGICAL RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Endangered or threatened species/habitat	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Riparian habitat or sensitive natural community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Adversely affects federally protected wetlands	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interferes with wildlife corridors or migratory species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflicts with local biological resource policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Conflicts with any habitat conservation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

A biological survey was conducted for the project by ECORP Consulting, Inc. (December 18, 2018) to demonstrate the project's compliance with local, state, and federal regulations regarding listed, protected, and sensitive species. The survey was conducted in accordance with the Multiple Species Habitat Conservation Plan (MSHCP) which is a habitat conservation plan for Western Riverside County that identifies land to be preserved for habitat for threatened, endangered or key sensitive populations of plant and wildlife species. The site is located within the boundaries of the MSCHP; however, it is not located within a cell group or criteria cell of the MSCHP. It is also not located within an area requiring a survey for amphibians, criteria area species survey, mammal survey, narrow endemic plants, or burrowing owls. The project site is not located in any United States Fish and Wildlife designated critical habitat. There are no jurisdictional features, hydric soils, or wetlands on the project site. No scalebroom weed were identified on the site. No burrowing owls or suitable habitat were observed on the site. However, potential nesting habitat for migratory birds and raptors protected by the Migratory Bird Treaty Act and California Fish and Game Code was present within a large olive and eucalyptus tree located in the parkways adjacent to Sheridan and Sixth Streets and within ornamental trees and shrubs located in the paved library parking lot. Raptors breed between February and August, and songbirds and other passerines nest between March and August. If construction of the project occurs during the bird breeding season (February 1 through August 31), ground disturbing construction activities could directly affect birds protected by the MBTA and their nests through the removal of habitat on the project site, and indirectly through increased noise, vibrations, and increased human activity. Compliance with Mitigation Measure 3 would reduce impacts to less than significant.

The project site will not interfere with wildlife corridors because the project site is highly disturbed and surrounded by development on all sides. Therefore, it does not provide movement opportunities for wildlife. The site is also isolated from larger, contiguous blocks of native habitat. Therefore, there is no impact and no mitigation is required.

Mitigation Measures

3. If project grading occurs during the bird breeding season (February 1 through August 31), the developer shall submit a pre-construction survey to the Community Development Department for review. The survey shall be conducted and submitted 7-10 days prior to issuance of a grading permit.

8. MINERAL RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Loss of mineral resource or recovery site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

Per Figure 4.5-7 of the General Plan Technical Background Report, the project site does not contain mineral resources. Therefore, the project does not impact mineral resources, and no mitigation is warranted.

9. HAZARDS AND HAZARDOUS MATERIALS:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Transport, use or disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Risk of accidental release of hazardous materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Hazardous materials/emissions within ¼ mile of existing or proposed school	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Located on hazardous materials site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Conflict with Airport land use plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair emergency response plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase risk of wildland fires	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

A Phase I Environmental Site Assessment (ESA) was prepared for the project site by TGE Resources, Inc. (January 11, 2019) to evaluate the physical conditions of the project site and to uncover any hazardous wastes that may have previously been used, treated, stored, or disposed on the project site. Based on the Phase I ESA, the northern portion of the project site by Sixth Street was occupied by a commercial building, auto sales business, and service station in the 1920s. The middle and southern portions were previously developed for residential use since 1900. In the 1960s, the northern portion was occupied by the California State Guard and a service station. By the early 1960s, the northern portion was occupied by a furniture store and warehouse. By the mid 1990s, the eastern portion was converted from residential use to the Corona Library parking lot. Between the mid 1990s and 2010, the commercial structures on the northern portion and the residential structures on the rest of the project site were removed from the site. Due to the previous service station use on the project site and the adjacent tire retail and installation shop to the east, the Phase I ESA recommended a Phase II ESA to investigate the site for the actual presence of hazardous substances.

A Limited Phase II ESA was prepared (TGE Resources, March 6, 2019) to analyze the soils on site. Sample soils were collected from the site for analysis which showed the presence of a RCRA metal (lead) along the northeastern property boundary, which constitutes a REC for the site. In addition, the VOC 1,4-dioxane is present in soil vapor within the northern of the site, which was the historical location of a gasoline station from the late 1920s through at least the early 1950s, with final disposition of fuel systems (tanks and ancillary product lines) unknown. Given this unknown outcome, this VOC in soil vapor is a confirmed REC for the site. The Limited Phase II ESA recommended further assessment of the soils. As such, a supplemental Limited Phase II ESA was prepared (May 24, 2019) to quantify (laterally and vertically delineate) the previously documented surface soil source areas for regulated concentrations of RCRA metal lead and to analyze the soil characterization in areas slated for excavation/disturbance during the development of the site. Soils were taken from various locations within the project site. A total 27 soil borings were made. The soil samples collected from the borings reported lead at concentrations ranging from 5.92 mg/kg to 752 mg/kg. Additionally, are composite samples reported arsenic at concentrations ranging from 4.93 mg/kg to 9.69 mg/kg. These concentrations exceed the DTSC (Department of Toxic Substance Control) residential and commercial recommended screening levels for lead and arsenic. Gasoline Range Organics (GRO) were also detected in the soil samples.

Potential surface soil exposure is limited in that the majority of the project site will be capped by concrete building foundations and asphalt driveway/parking areas associated with the proposed development. Additionally, in conjunction with site development, the disposal of nonhazardous concentrations of RCRA metal (arsenic and lead) impacted surface soil (deemed geotechnically unsuitable for construction) will occur via excavation and transport to a regulated/licensed disposal facility. There is potential for construction workers to engage in invasive activities such as excavating, grading, trenching, utility installation, and/or landscaping will encounter slightly elevated levels of lead and arsenic impacted soil during the construction of the site. Given the presence of the soil being impacted by RCRA metals (arsenic and lead) and GRO (gasoline range organics), the Phase II ESA recommended that the developer report the findings to the DTSC and Riverside County Environmental Health Department for review and determination of interest in possible case management. In addition, the developer should prepare and implement a soil management plan to ensure use of appropriate worker protection and proper management/disposal of the contaminated soils. Compliance with these mitigation measures (**Mitigation Measures 4-5**) would reduce impacts to less than significant.

The nearest schools to the project site are Jefferson Elementary School and Corona Fundamental Intermediate School which are located less than one-half mile from the project site. The schools are separated from the project site by developed

residential and commercial properties. Development of the proposed project on the site would not include any activities that would result in hazardous emissions. It also does not include the handling of hazardous materials, substances, or waste in a manner that could result in toxic emissions. Therefore, this would be a non-issue and no mitigation would be required.

The project site is not located in proximity to the Cleveland National Forest nor is it considered an area that can be described as a wildland area. The project site is an infill site located within an urbanized area. Due to the urbanized nature of the surrounding area, the proposed development would not be considered at high risk for fire hazards. Furthermore, all development within the City of Corona is required to comply with all fire code requirements associated with adequate fire access, fire flows, and number of hydrants. Therefore, the project would have no impact and no mitigation is required.

The nearest airport to the project site is the Corona Municipal Airport, located approximately 2.0 miles northwest of the project site. Based on the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not within any identified safety or compatibility zone and therefore, does not conflict with the ALUCP and no mitigation is warranted.

Mitigation Measures

4. Prior to issuance of a grading permit, the developer shall report the soil findings to the Department of Toxic Substance Control and Riverside County Environmental Health Department for review and determination of interest in possible case management. The developer shall submit to the Public Works Department documentation as proof of this report.
5. Prior to issuance of a grading permit, the developer shall submit to the Public Works Department for review a soil management plan to ensure use of appropriate worker protection and proper management/disposal of site soils.

10. NOISE:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed noise level standards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure to excessive noise levels/vibrations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Permanent increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Temporary increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Conflict with Airport Land Use Plan noise contours	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

A noise analysis was prepared for the project by RK Engineering (August 16, 2018) to evaluate the potential noise and vibration impacts associated with development of the project. The following discusses the findings of the analysis.

Short-term Noise Impacts (Construction)

Short-term noise exposure would include noise during construction. This would come from using heavy machinery during grading and clearing of the site as well as during construction and paving of the project. The nearest sensitive receptors are existing residential properties located approximately 60 feet west of the project site. Noise associated with construction of the site is expected to reach up to 83 dBA measured at the residential properties. Located to the east of the project site is the Corona Public Library and an urgent care facility. The library and urgent care buildings are approximately 250 and 146 feet, respectively, from the project site. Noise associated with construction of the site is expected to reach up to 74.6 dBA measured at the urgent care and library building facades. Located to the south of the project site is the Corona Regional Medical Center (hospital). The hospital building is approximately 240 feet from the project site. Noise associated with construction of the site is expected to reach up to 72.1 dBA measured at the hospital building façade. Design features are recommended by the noise analysis which would reduce impacts to less than significant. These are shown as **Mitigation Measures 6-10**.

Construction Vibration

Construction of the project will not require the use of vibration inducing equipment such as pile drivers or blasting. The main source of vibration impacts would be from jack hammering activity during demolition, bulldozer activity during site preparation and grading, and loading trucks during excavation. The worst-case vibratory impact from the site at the residential structures to the west is estimated to be 0.034 PPV (peak particle velocity inches/second). The annoyance potential of vibration from construction activities would be barely perceptible and no potential damage would be expected to the residential structures and commercial buildings in the nearby vicinity.

Long-term Noise Impacts

The main sources of potential noise impacts from the project would include on-site stationary noise impacts from the rooftop HVAC units, trash truck/loading activities and parking lot noise. Noise levels were measured at the nearest sensitive receptors which are the residential properties to the west of the project site and the urgent care and library to the east of the project site. Per the noise analysis, the noise level generated by the project would be within the allowable limits of the Corona Municipal Code noise standards for stationary noise. Table 10-A shows the project's noise levels at each sensitive receptor location.

**Table 10-A
Stationary Noise Impact Analysis**

Source	Noise Level (dBA)					
	Leq	Lmax	L ₂ (1 min)	L ₈ (5 min)	L ₂₅ (15 min)	L ₅₀ (30 min)
Combined Project Noise Levels (Rooftop HVAC units, trash truck activities, and parking lot noise)	53.9	69.6	64.0	55.0	51.7	50.8
City of Corona Exterior Noise Standard for Daytime (7:00 AM to 10:00 PM)	55.0	75.0	70.0	65.0	60.0	55.0
Exceed Noise Level Standard?	No	No	No	No	No	No

Traffic Source Noise

Traffic noise along Sixth Street, Sheridan Street, and Belle Avenue will be the main source of noise impacting the project site. Traffic noise is analyzed to determine the project's noise/land use compatibility setting. Per the noise analysis, the estimated noise levels at the project site will range from approximately 76.4 dBA CNEL for areas near the north of the site facing Sixth Street to 59.8 dBA CNEL towards the southern portion of the site facing Sheridan Street. As such, traffic noise have the potential to exceed the city's Transportation Noise Source Standard of 65 CNEL for exterior areas on the project site. However, since the project does not have habitat exterior areas, only interior areas would need to meet the 65 CNEL standard. Design features (**Mitigation Measures 11-15**) are recommended by the noise analysis which reduce the interior noise levels within the buildings to meet the city's Transportation Noise Source Standard of 45 CNEL for interior areas. This would reduce impacts to less than significant.

Mitigation Measures

6. Construction-related noise activities shall comply with Corona Municipal Code Section 17.84.040: Construction noise is prohibited between the hours of 8:00 p.m. to 7:00 a.m., Monday through Saturday and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays.
7. No impact pile driving activities shall be allowed on the project site.
8. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment should be turned off when not in use.
9. Locate staging area, generators and stationary construction equipment as far from the western property line, as reasonably feasible.
10. Obtain a construction work permit from the City of Corona prior to starting construction.
11. All rooftop mounted HVAC equipment shall be fully shielded or enclosed from the line of sight of adjacent residential uses. Shielding/parapet wall shall be at least as high as the equipment.
12. Truck deliveries, unloading/loading activity, and trash pick-up shall be limited to daytime (7 a.m. to 10 p.m.) hours only.
13. Limit engine idling time for all trucks to 5 minutes or less.
14. A "windows closed" condition is required for all the units within the medical office buildings. To accommodate a window closed conditions, all units shall be equipped with adequate fresh air ventilation, per the requirements of the California Building Code (UBC).
15. Prior to issuance of building permits, the developer shall demonstrate to the Corona Building Division that the proposed building shell assembly and window assemblies will achieve exterior to interior noise reduction that will meet the state/city building code requirement of 45 dBA CNEL.

11. PUBLIC SERVICES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Parks & recreation facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Other public facilities or services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

Development of the project site will potentially impact existing schools and city services, such as streets, police and fire services, parks and library services. Therefore, in order to upgrade and finance existing and proposed public facilities, the developer is required to pay the applicable adopted development impact fees that are in effect at the time of issuance of building permits, and construct necessary facilities, if any. This is enforced by city ordinance (CMC Chapter 16.23); therefore, no additional mitigation is warranted with respect to impacts on city and public services.

12. UTILITIES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed wastewater treatment requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Involve construction/expansion of water or wastewater treatment facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Involve construction/expansion of storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Sufficient water supplies/compliance with Urban Water Management Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Adequate wastewater treatment capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Adequate landfill capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Comply with solid waste regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

As required for all projects by the City's Department of Water and Power (DWP), the project is required to construct or guarantee the construction of all necessary public water and sewer facilities needed to serve the project. All water and sewer facilities are required to be designed per the standards of the DWP and Riverside County Department of Health Services and will be reviewed by the DWP during the plan check process. This would reduce the impacts to less than a significant level and therefore, no further mitigation would be required.

The installation of impermeable surfaces, such as buildings and pavement, generally increases the velocity and volume of surface runoff. As runoff flows over lawns, gardens, sidewalks, and streets, it carries off pollutants such as automobile oil and antifreeze, pesticides, pet waste, and litter into the storm drain system. The storm drain system collects water from the streets and transports it directly or indirectly to local water supplies and nearby waterways where it is typically not filtered or treated. The project will be designed to include two onsite underground infiltration galleries covered by pervious pavement constructed within the parking lot to capture additional runoff created by the proposed project. The project is required to adhere to storm drainage requirements found within the NPDES permit process as well as provisions required by the Public Works Department. Since the proposed project would be required to adhere to NPDES permit requirements and City of Corona storm water provisions, impacts associated with this issue are considered to be less than significant and no mitigation would be required.

Waste Management (WM) is contracted by the City of Corona as the sole hauler of solid waste and provider of recycling services. WM provides refuse collection to residential, commercial, and industrial customers. Based on the solid waste generation identified in Table 12-A, the proposed commercial project would generate approximately 0.38 tons/day of solid waste. Solid waste from the project would be transported to the El Sobrante landfill located at 10910 Dawson Canyon in Corona. The El Sobrante landfill accepts a maximum 16,054 tons of waste per day and has a remaining capacity of 145,530,000 tons and an estimated closure date of 2045 (<http://www.calrecycle.ca.gov/SWFacilities/Directory/33-AA-0217/Detail/>).

TABLE 12-A
Project Solid Waste Projections

Proposed use	Square foot	Solid Waste Generation Factor	Project Solid Waste Generated (tons/year)
Commercial	58,900 s.f.	0.0024 tons/sf/year ¹	141.36
TOTAL (tons/year)			141.36
TOTAL (tons/day)			0.38

1. Source: Table 4.5-5 Generation of Solid Waste at General Plan buildout within the City, City of Corona General Plan Final Environmental Impact Report, March 2004

Development of the proposed project would not significantly impact current operation of or the expected lifetime of the El Sobrante Landfill because solid waste generated by the proposed project represents substantially less than one percent of the landfill's maximum allowable daily capacity. Additionally, solid waste service fees would be charged to individual property owners when services is initiated to offset operation costs associated with solid waste collection and disposal. Therefore, the project is anticipated to create a less than significant impact to landfill capacity and no mitigation would be required.

13 AESTHETICS:

Potentially Significant Impact Potentially Significant Unless Mitigation Incorporated Less than Significant Impact No Impact

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a. Scenic vista or highway | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Degrade visual character of site & surroundings | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. Light or glare | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d. Scenic resources (forest land, historic buildings within state scenic highway) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

Per the General Plan, Sixth Street, Sheridan Avenue, and Belle Avenue are not designated as scenic highways in the city. The project site, however, is located within one-half mile to Grand Boulevard and Main Street which are designated as scenic highways. The project site is located in the downtown area which has been shaped by different eras and maintains various architectural styles. The project is subject to the development standards and architectural design guidelines of the Downtown Corona Revitalization Specific Plan, which would ensure that the project is well designed and that the buildings are compatible with other existing buildings in the project area. The specific plan prescribes four architectural themes for new development within the Downtown District which are Spanish Colonial, Mediterranean, Commercial Block, and Classic. In addition, the specific plan requires new buildings to incorporate historical architectural elements to retain/restore historic or memorable features to the downtown fabric. It should be noted that replicating the architecture of the existing historic building is not required.

The project proposes two medical office buildings which are two stories each and designed within the Commercial Block style. The front entrance is recessed and flanked by large windows in a traditional transitional order with transom window panels. The window panels are separated with pillars in the commercial two-story style. The entry has a raised element with an extended cornice. In keeping with the Commercial Block massing and design, the buildings' two-story wall panel has a cornice with an accent relief panel below. Brick is used at the entry and along the corners only on the first floor, as this design is common on historic buildings to give the buildings a visual base. The colors of the brick have tan, brown, and yellow hues which are historically common colors. The buildings have a combination of vertical and horizontal elements with a flat roof that give the elevations a grid-like look which is the quintessential look of the Commercial Block style. In addition to the architectural guidelines, the project is also required to comply with all other applicable development standards such as building setbacks, landscaping, signage, and building height to ensure that the project is well designed and compatible with the existing nearby commercial and office developments and not degrade the visual character of the site and surroundings. Therefore, impacts related to this issue are expected to be less than significant and no mitigation is required.

The project site does not immediately abut existing residential uses. The nearest residential properties are located across Sheridan Street to the west. The project is designed with one building (Building A) located on the northwest corner of the site and the other building (Building B) located on the southeast corner of the site. The buildings would not be located directly in front of the six residential structures on Sheridan Street. Only one residence would be facing the rear portion of the northerly building. The other five residences would be facing the project's parking lot which would not be as visually impactful. Also, Sheridan Street currently provides a separation and buffer between the project site and residential properties.

Development of the proposed project would necessitate the installation of outdoor lighting necessary for the maintenance of public safety and security. The project site is located in a heavily developed area with existing ambient lighting, thus, implementation of the proposed project would not result in a significant change in the existing ambient lighting. Furthermore, the Corona Municipal Code requires exterior lighting to be directed downward with minimal spillover onto adjacent properties. The project is required to submit a photometric analysis demonstrating the project's compliance with CMC Section 17.84.070 which requires exterior lighting to be designed to direct light downward with minimal spillover onto adjacent residences and sensitive land uses. The nearest residential uses are located on the west side of Sheridan Street across from the project site. Submittal of a photometric analysis would ensure that lighting from the project would not spillover onto the residential properties. Compliance with Mitigation Measure 16 would ensure that impacts associated with light and glare effects resulting from the project would be less than significant.

Mitigation Measures

16. Prior to issuance of a building permit, the developer shall submit a photometric analysis demonstrating the project's compliance with CMC Section 17.84.070 which requires exterior lighting including building and parking lot lighting to be designed to direct light downward with minimal spillover onto the nearest residences located west of the project site.

14. CULTURAL RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Historical resource	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Archaeological resource	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Paleontological resource or unique geologic feature	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Disturb human remains	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

Per the cultural resource survey prepared for the project by ECORP Consulting, Inc., seven historic-period resources consisting of residential structures were once located within the project area. All seven buildings were removed between 1980 and 2009. A historic district, Grand Boulevard, is located within one-half mile from the project area. A field survey was conducted which identified five new historic-period features that are part of the city's infrastructure (street, sidewalk, driveways, utility poles, trees) that served the seven buildings that are no longer present. The five newly identified features are not within the city's Grand Boulevard historic district or associated with a historic landmark on the city's register of historic resources; therefore, the five features have no historic or architectural significance. ECORP also conducted a search of the Sacred Lands File through the Native American Heritage Commission (NAHC) which indicated no presence of any Native American cultural resources within one mile of the project area.

The project is subject to SB 18 and AB 52 tribal consultation. As part of the SB 18 process, the Community Development Department obtained a list of local Native American tribes from the Native American Heritage Commission, dated December 3, 2018, to contact. Written notification, dated December 4, 2018, were sent to 12 tribes inviting them to participate in tribal consultation. The Department also contacted six tribes through the city's Letter of Transmittal, dated March 25, 2019, pursuant to AB 52. The Department received written request for consultation from Pechanga, Gabrieleno, and Rincon within the response 90-day and 30-day response time frame allowed under SB 18 and AB 52, respectively. Consultation was held separately with the Rincon, Pechanga, and Gabrieleno, tribes on May 2, May 6, and May 30, 2019, respectively. The Rincon and Gabrieleno tribes requested tribal monitoring in which mitigation measures were agreed upon between the City and tribes to reduce potential impacts to cultural resources to a less than significant level (**Mitigation Measures 7-12**). Consultation with the Pechanga tribe did not result in an agreement on mitigation measures as Pechanga became nonresponsive to staff's emails over the course of the consultation period. As such, staff decided to conclude consultation with the Pechanga tribe as of August 12, 2019 as staff felt that a good faith effort has been made in consulting with the Pechanga tribe. However, given that two tribes have requested tribal monitoring, staff is assuming that Pechanga will also request tribal monitoring, unless

otherwise determined by Pechanga that the mitigation measures are no longer needed.

Mitigation Measures

17. **Tribal Monitoring:** Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement with each tribe, if required by each tribe. A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.
18. **Archaeological Monitoring:** At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.
 - a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include:
 - i. Project grading and development scheduling;
 - ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists;
 - iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation.
19. **Treatment and Disposition of Cultural Resources:** In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project. The following procedures will be carried out for treatment and disposition of the discoveries:
 - a. **Temporary Curation and Storage:** During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and
 - b. **Treatment and Final Disposition:** The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same:
 - i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;
 - ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;
 - iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and.
 - iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the

project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.

20. **Sacred Sites:** All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.
21. **Fossil Specimens:** In the event that fossils are inadvertently discovered during the course of grading for this Project. The following procedures will be carried out:
- a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.
 - b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of all material collected and identified will be provided to the museum repository along with the specimens.
22. **Discovery of Human Remains:** In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.

The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).

15. AGRICULTURE RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Williamson Act contract	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conversion of farmland to nonagricultural use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

The California Land Conservation Act of 1965, commonly referred to as the Williamson Act, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use. In return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The purpose of the Act is to encourage property owners to continue to farm their land, and to prevent the premature conversion of farmland to urban uses. The project site is

not located within a Williamson Act contract area. Therefore, no impact to Williamson Act lands will result from the proposed development and no mitigation is required.

The project site is not a designated farmland per the farmland maps compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP). For this reason, development of the project site would not result in the conversion of farmland to nonagricultural uses; therefore, there would be no impacts and no mitigation would be required.

16. GREENHOUSE GAS:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Generate greenhouse gases	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Conflict with a plan, policy or regulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

The City of Corona adopted the City of Corona Climate Action Plan (CAP) in 2012 which utilizes the *Greenhouse Gas Emissions CEQA Thresholds and Screening Tables* to determine whether or not a project would have a significant impact on greenhouse gas emissions. The screening tables are to provide guidance in measuring GHG reductions attributable to certain design and construction measures incorporated into development projects. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP and would thus be considered less than significant. Utilizing the screening tables would also allow the City to meet its GHG emissions target for year 2020.

Per the CAP, small projects that are expected to emit GHG emissions that are less than 3,000 MtCO₂e (metric tons of CO₂e equivalent) are not required to utilize the screening tables as they would be expected to have a less than significant individual and cumulative impact for GHG emissions. To demonstrate that the applicant's project is a "small project" a greenhouse gas analysis was prepared for the project by RK Engineering Group (February 28, 2019). The annual greenhouse gas emissions associated with the construction of the project is estimated to be approximately 494.64 MTCO₂e which include on-site and off-site emissions. SCAQMD recommends amortizing the emissions over a period of 30 years (the anticipated lifetime of commercial projects). The project's amortized emissions is approximately 16.49 MTCO₂e per year. For operational emissions, the project is expected to generate 2,065.99 MTCO₂e per year. The project's construction and operational emissions would not exceed the threshold of 3,000 MTCO₂e per year for small land use projects and thus, the project was not required to use the screening tables which demonstrates the project's compliance with the CAP. Therefore, the project would result in a less than significant impact and no mitigation is warranted.

17. TRIBAL CULTURAL RESOURCES		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b.	A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

The project site is not listed on the California Register of Historical Resources or on the City's register of historic resources.

See 14 above for a detailed discussion and mitigation measures that apply to Tribal Cultural Resources.

18. MANDATORY FINDING OF SIGNIFICANCE:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fish/ wildlife population or habitat or important historical sites	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cumulatively considerable impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantial adverse effects on humans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Short-term vs. long-term goals	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

Based on the Initial study, the project has the potential to result in significant impacts to the following environmental topic:

- Biological Resources
- Hazards and Hazardous Materials
- Air Quality
- Noise
- Aesthetics
- Cultural Resources

However, appropriate mitigation measures have been developed. Mitigation Measures 1-22 successfully mitigate all identified potential impacts to less than significant levels. Therefore, project impacts to fish/wildlife population or habitat, important historical sites, cumulatively considerable impacts, substantial adverse effects on humans, or short-term vs. long-term goals are considered less than significant.

19. WILDFIRE:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Substantially impair an adopted emergency response plan or emergency evacuation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Due to slope, prevailing wind, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability or drainage changes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion

According to the California Department of Forest and Fire Protection (Cal Fire), the proposed project is not within a state responsibility area (SRA) or land classified as Very-High Fire Hazard Severity zone. Furthermore, the project site is not adjacent to any wildlands or undeveloped hillsides where wildland fires might be expected as the project site is located in the city's downtown area on Sixth Street between Sheridan Street and Belle Avenue. Access for emergency vehicles would be provided via Sixth Street, Sheridan Street, or Belle Avenue. Therefore, implementation of the proposed Project would not substantially impair an adopted emergency response plan or emergency evacuation plan. Impacts are considered to be less than significant, and no mitigation is required.

The proposed project site is on a relatively flat area. The proposed medical office project will not contribute to the spreading of wildfire since the project's design is in compliance with the current CBC which includes fire construction standards. Therefore, since the project will not exacerbate wildfire risks, then impacts to exposing people to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfires are considered to be less than significant, and no mitigation is required.

The proposed project would not require the installation or maintenance of roads, fuel breaks, emergency water sources, or power lines. Also, the project site is not located within a Very-High Fire Hazard Severity Zone. As such, impacts are considered to be less than significant, and no mitigation is required.

The project site is relatively flat and not located adjacent to a hillside area. Thus, implementation of the proposed project would not pose a risk to a downslope or downstream flooding or landslides, and the project did not change existing drainage patterns. Therefore, impacts to exposing people or structures to significant risks as a result of runoff, post-fire slope instability, or drainage changes are considered to be less than significant and no mitigation is required.

20. ENERGY:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion

An energy use assessment was prepared for the project by LSA Associates (May 16, 2019) to determine the potential energy related impacts associated with the development and operation of the project. Energy use during construction and operation of the project were analyzed. The following discusses each phase of the development.

Construction Period Energy Use

The project would increase the demand for electricity, natural gas, and gasoline. The project's construction schedule anticipates 12 months of construction that would require demolition, paving, and architectural coating. Energy would be needed for the manufacture and transportation of building materials, preparation of the site for demolition and grading activities, and building construction. Petroleum fuels (e.g. diesel and gas) would be the primary sources of energy for these activities. The project's air quality and greenhouse gas study (RK Engineering Group, February 2019) included recommended design features that would be included in the conditions of approval for the project and integrated into the design. Incorporation of the design features would increase energy efficiency on the site during project construction. The design features include the following:

- All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
- Utilize low emission "clean diesel" equipment with new or modified engines that include diesel oxidation catalysts, diesel particulate filters or Moyer Program retrofits that meet CARB best available control technology.
- Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
- Use haul trucks with on-road engines instead of off-road engines for on-site hauling.

In addition, construction activities are not anticipated to result in an inefficient use of energy as gasoline and diesel fuel would be supplied by construction contractors who would conserve the use of their supplies to minimize their costs on the project. Energy usage on the project site during construction would be temporary in nature and would be relatively small in comparison to the state's available energy sources. Therefore, construction energy impacts would be less than significant, and no mitigation would be required.

Operational Energy Use

The project's operational energy use would result from using electricity, natural gas, and gasoline. Table 20-A shows the estimated potential increased electricity, natural gas, and gasoline demand associated with the proposed project. The estimated potential increased electricity demand associated with the proposed project is 600,068 kilowatt-hours (kWh) per year. In 2017, California consumed approximately 288,614 gigawatt-hours (GWh) or 288,614,000,000 kWh. Of this total, Riverside County consumed 15,906 GWh or 15,906,310,734 kWh. Therefore, electricity demand associated with the proposed project would be less than 0.01 percent of Riverside County's total electricity demand.

As it pertains to natural gas, which would be used for heating, the estimated potential increased natural gas demand associated with the proposed project is 2,044 therms per year. In 2017, California consumed approximately 12,571 million therms or 12,571,000,000 therms, while Riverside County consumed approximately 393 million therms of approximately 393,428,777

therms. Therefore, natural gas demand associated with the proposed project would be less than 0.01 percent of Riverside County's total natural gas demand.

As it pertains to gasoline, the project would result in energy usage associated with gasoline to fuel project-related vehicular trips. As shown in Table 20-A, it is expected that vehicle trips associated with the project would consume approximately 182,530 gallons of gasoline per year. In 2015, vehicles in California consumed approximately 15.1 billion gallons of gasoline. Therefore, gasoline demand generated by vehicle trips associated with the proposed project would be a minimal fraction of gasoline and diesel fuel consumption in California. The air quality and greenhouse analysis recommended the following measures which would help to reduce transportation-related energy use:

- Limit energy idling time to 5 minutes or less.
- Encourage trucks accessing the site to be equipped with the latest cleaner-burning diesel fuel technology.
- Encourage trucks that visit the site to be retrofit engines with particle-trapping filters.
- Encourage the use of alternative fuels, such as natural gas, propane and electricity instead of diesel whenever possible.

In addition, new automobiles purchased by visitors driving to and from the project site would be subject to fuel economy and efficiency standards applied throughout the state. As such, fuel efficiency of vehicles associated with the project site would increase throughout the life of the project. Therefore, implementation of the proposed project would not result in a substantial increase in transportation related energy use. Furthermore, the project is required to comply with the state's CALGreen building codes and Title 24 Part 6 Building Efficiency Standards, which would further help to reduce energy and natural gas consumption. Therefore, the project would not result in wasteful, inefficient, or unnecessary consumption of fuel or energy and would incorporate renewable energy or energy efficiency measures into building design, equipment use, and transportation. Impacts would be less than significant, and no mitigation measures would be necessary.

Table 20-A
Estimated Annual Energy Use of Proposed Project

Land Use	Electricity Use (kWh per year)	Natural Gas Use (therms per year)	Gasoline (gallons per year)
Medical-Dental Office Buildings	560,728	2,044	1882,530
Parking Lot	39,340	0	0
Total	600,068	2,044	182,530

Consistency with State or Local Plan for Renewable Energy or Energy Efficiency

As indicated, energy usage on the project site during construction would be temporary in nature. In addition, energy usage associated with the operation of the buildings would be relatively small compared to the state's available energy sources and energy impacts would be negligible at the regional level. Because California's energy conservation planning actions are conducted at a regional level, and because the project's total impact to regional energy supplies would be minor, the project would conflict with California's energy conservation plans as described in the California Energy Commission's 2017 Integrated Energy Policy Report. In addition, the project would be required to comply with CALGreen and Title 24 standards, the Corona Municipal Code, and the city's Climate Action Plan. Therefore, the project would not conflict with or obstruct a state or local plan for renewable energy or energy efficiency and no mitigation would be required.

21. PREVIOUS ENVIRONMENTAL ANALYSIS:

Earlier analysis may be used when one or more of the environmental effects have been adequately analyzed in an earlier EIR or Negative Declaration (Section 15063).

DOCUMENTS INCORPORATED BY REFERENCE:

1. City of Corona General Plan, March 17, 2004
2. Phase I ESA, prepared by RK Engineering, January 11, 2019
3. Phase II ESA, prepared by RK Engineering, March 6, 2019
4. Supplemental Phase II ESA, prepared by RK Engineering, May 24, 2019
5. Preliminary WQMP, prepared by Fuscoe Engineering, September 17, 2018
6. Traffic Impact Study, prepared by RK Engineering, December 20, 2018
7. Biological Technical Report and MSHCP Consistency Analysis, prepared by ECORP Consulting, Inc., December 18, 2018
8. Energy Use Assessment, prepared by LSA Associates, May 16, 2019
9. Cultural Resources Inventory, prepared by ECORP Consulting, Inc., December 2018
10. Hydrology Report, prepared by Fuscoe Engineering, July 2019
11. Preliminary Geotechnical Report, prepared by GMU Geotechnical, Inc., October 5, 2018
12. Noise Impact Study, prepared by RK Engineering, August 16, 2018
13. Air Quality and Greenhouse Gas Impact Study, prepared by RK Engineering, February 28, 2019

FIGURES:

- **Figure 1 – Aerial Map**
- **Figure 2 – General Plan Map**
- **Figure 3 – Zoning Map**



MITIGATION MONITORING AND REPORTING PROGRAM CITY OF CORONA

No.	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person
	Air Quality				
1	Require all construction equipment to have low emission Tier 4 “clean diesel” engines with diesel oxidation catalysts and diesel particulate filters that meet the latest CARB best available control technology.	Condition of Approval	Submittal of grading plans.	At plan check and field inspection.	Planning and Public Works
2	<p>In order to ensure the level of DPM exposure is reduced as much as possible, the project shall implement the following best available pollution control strategies to minimize potential health risks:</p> <ul style="list-style-type: none"> a. Utilize low emission “clean diesel” equipment with new or modified engines (Tier 4 or better) that include diesel oxidation catalysts, diesel particulate filters or Moyer Program retrofits that meet CARB best available control technology. b. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors. c. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible. d. Use haul trucks with on-road engines instead of off-road engines for on-site hauling. 	Condition of Approval	Submittal of grading plans.	At plan check and field inspection.	Planning and Public Works

	Biological Resources				
3	If project grading occurs during the bird breeding season (February 1 through August 31), the developer shall submit a pre-construction survey to the Community Development Department for review. The survey shall be conducted and submitted 7-10 days prior to issuance of a grading permit.	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning
	Hazards and Hazardous Materials				
4	Prior to issuance of a grading permit, the developer shall report the soil findings to the Department of Toxic Substance Control and Riverside County Environmental Health Department for review and determination of interest in possible case management. The developer shall submit to the Public Works Department documentation as proof of this report.	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning and Public Works
5	Prior to issuance of a grading permit, the developer shall submit to the Public Works Department for review a soil management plan to ensure use of appropriate worker protection and proper management/disposal of site soils.	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning and Public Works
	Noise				
6	Construction-related noise activities shall comply with Corona Municipal Code Section 17.84.040: Construction noise is prohibited between the hours of 8:00 p.m. to 7:00 a.m., Monday through Saturday and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays.	Condition of Approval	Field inspection.	During grading and construction.	Public Works
6	No impact pile driving activities shall be allowed on the project site.	Condition of Approval	Field inspection.	During grading and construction.	Public Works
8	During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment should be turned off when not in use.	Condition of Approval	Field inspection.	During grading and construction.	Public Works
9	Locate staging area, generators and stationary construction equipment as far from the western property line, as reasonably feasible.	Condition of Approval	Submittal of grading plans and field inspection.	Prior to issuance of a grading permit and during grading and construction.	Public Works

10	Obtain a construction work permit from the City of Corona prior to starting construction.	Condition of Approval	Submittal of building and grading plans.	Prior to issuance of a building and grading permit.	Building and Public Works
11	All rooftop mounted HVAC equipment shall be fully shielded or enclosed from the line of sight of adjacent residential uses. Shielding/parapet wall shall be at least as high as the equipment.		Submittal of building plans.	Prior to issuance of a building permit.	Building and Planning
12	Truck deliveries, unloading/loading activity, and trash pick-up shall be limited to daytime (7 a.m. to 10 p.m.) hours only.	Condition of Approval	Field inspection.	Ongoing.	Developer or Property Owner
13	Limit engine idling time for all trucks to 5 minutes or less.	Condition of Approval	Field inspection.	Ongoing.	Developer or Property Owner
14	A "windows closed" condition is required for all the units within the medical office buildings. To accommodate a window closed conditions, all units shall be equipped with adequate fresh air ventilation, per the requirements of the California Building Code (UBC).	Condition of Approval	Submittal of building plans.	Prior to issuance of a building permit.	Building and Planning
15	Prior to issuance of building permits, the developer shall demonstrate to the Corona Building Division that the proposed building shell assembly and window assemblies will achieve exterior to interior noise reduction that will meet the state/city building code requirement of 45 dBA CNEL	Condition of Approval	Submittal of building plans.	Prior to issuance of a building permit.	Building and Planning
	Aesthetics				
16	Prior to issuance of a building permit, the developer shall submit a photometric analysis demonstrating the project's compliance with CMC Section 17.84.070 which requires exterior lighting including building and parking lot lighting to be designed to direct light downward with minimal spillover onto the nearest residences located west of the project site.	Condition of Approval	Submittal of a photometric analysis.	Prior to issuance of a building permit.	Building and Planning

	Cultural Resources				
17	<p>Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement with each tribe, if required by each tribe. A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.</p>	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning
18	<p>Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.</p> <ul style="list-style-type: none"> a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include: <ul style="list-style-type: none"> i. Project grading and development scheduling; ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists; iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in 	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning

	the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation.				
19	<p>Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <ul style="list-style-type: none"> a. Temporary Curation and Storage: During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and b. Treatment and Final Disposition: The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same: <ul style="list-style-type: none"> i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed; ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The 	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning

	<p>collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;</p> <p>iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and.</p> <p>iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.</p>				
20	<p>Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.</p>	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning
21	<p>Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project. The following procedures will be carried out:</p> <p>a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall</p>	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning

	<p>salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.</p> <p>b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of all material collected and identified will be provided to the museum repository along with the specimens.</p>				
22	<p>Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.</p> <p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p> <p>According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and</p>	Condition of Approval	Submittal of report or documentation.	Prior to issuance of a grading permit.	Planning

	disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).				
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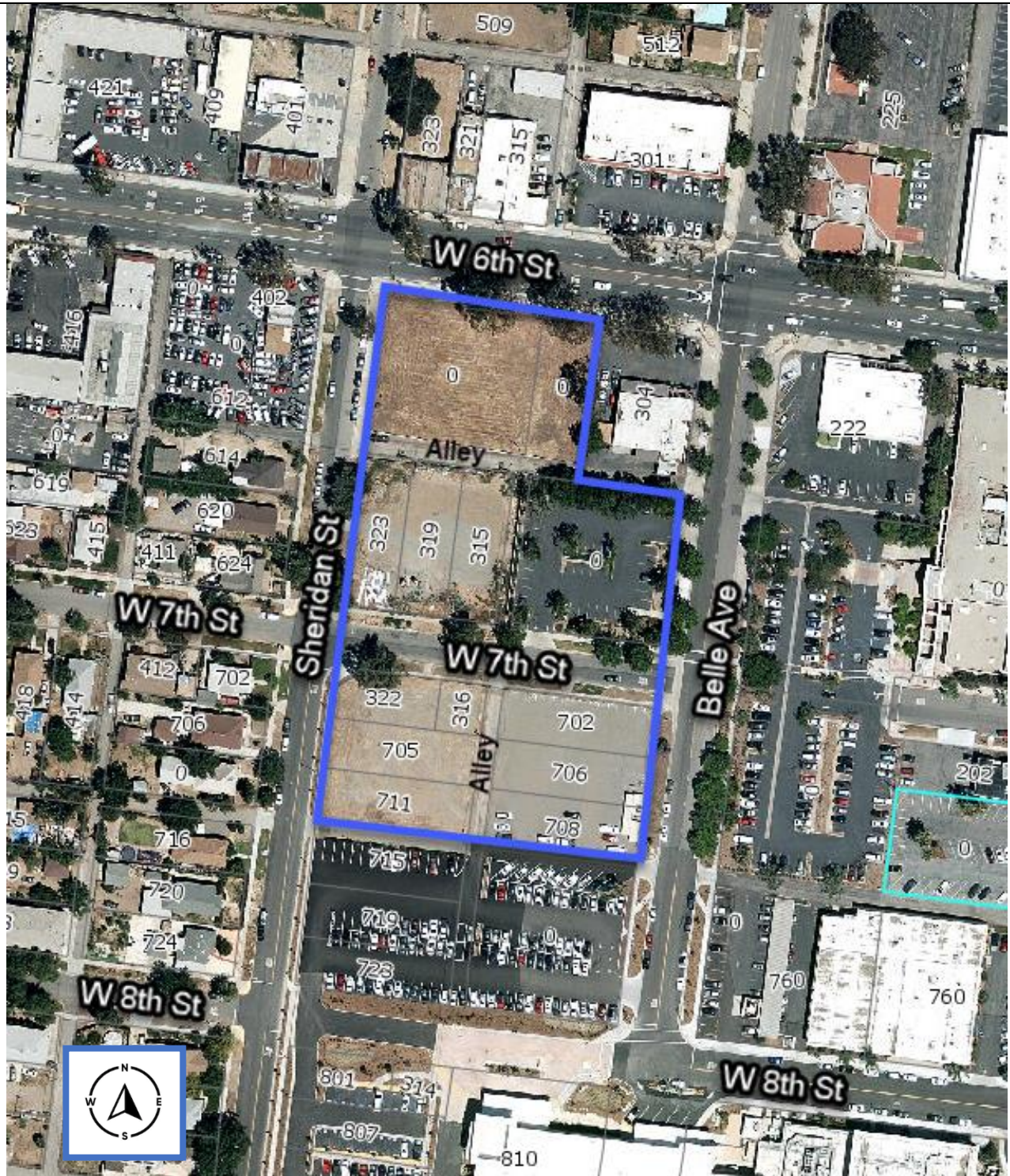


Figure 1 – Aerial Map

Legend



Project Site





Figure 2 – Existing General Plan Map

General Plan Land Use Legend:

- MU – Mixed Use: Downtown
- MU 1 – Mixed Use: Commercial and Residential
- LDR – Low Density Residential, 3-6 du/ac
- OP – Office/Professional





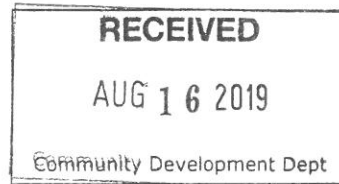
Figure 3 – Existing Zoning Map

Zoning Legend:

CS – Community Services District
 D – Downtown District
 SF – Single Family District
 TC – Transitional Commercial District



Planning Commission
Community Development Department
400 South Vicentia Ave.
Corona, CA 92882
08/15/2019



Dear Planning Commission:

My name is John Vazirian and I own the property to the west side of the proposed medical building. Specifically, my properties are 402 West Sixth Street and 614, 620, and 624 Sheridan Street. The entire property is TC Commercial Zone.

I am very delighted to see the medical building being developed and I believe this development will add great value to the City of Corona.

However, I am deeply concerned with the proposed location and size of the medical office building (See Site Plan A). The medical office has been designed without consideration of its negative impact on our properties. Specifically, the building dimensions being 40 feet high and 165 feet lengthwise, in conjunction with its location on the property, will only isolate our property by obstructing it from view on Sixth Street. Our property has already been obstructed from view from the west side by the adjacent car wash.

In order to open space at the corner of Sheridan and Sixth Street, I am providing you with three other alternative site plans: B, C, and D.

These site plans may not meet all the requirements, but I believe this issue can be properly addressed if there is a design by an unbiased architect.

Should the design and layout plan remain as is, the proposed medical office will undoubtedly diminish the value of our property by blocking, isolating and discouraging the placement of any future commercial buildings on my properties. This would result in a total loss to the property financially.

I am hopeful that the planning commission will select a layout that would be more beneficial to all surrounding properties.

Thank you for your time and consideration,

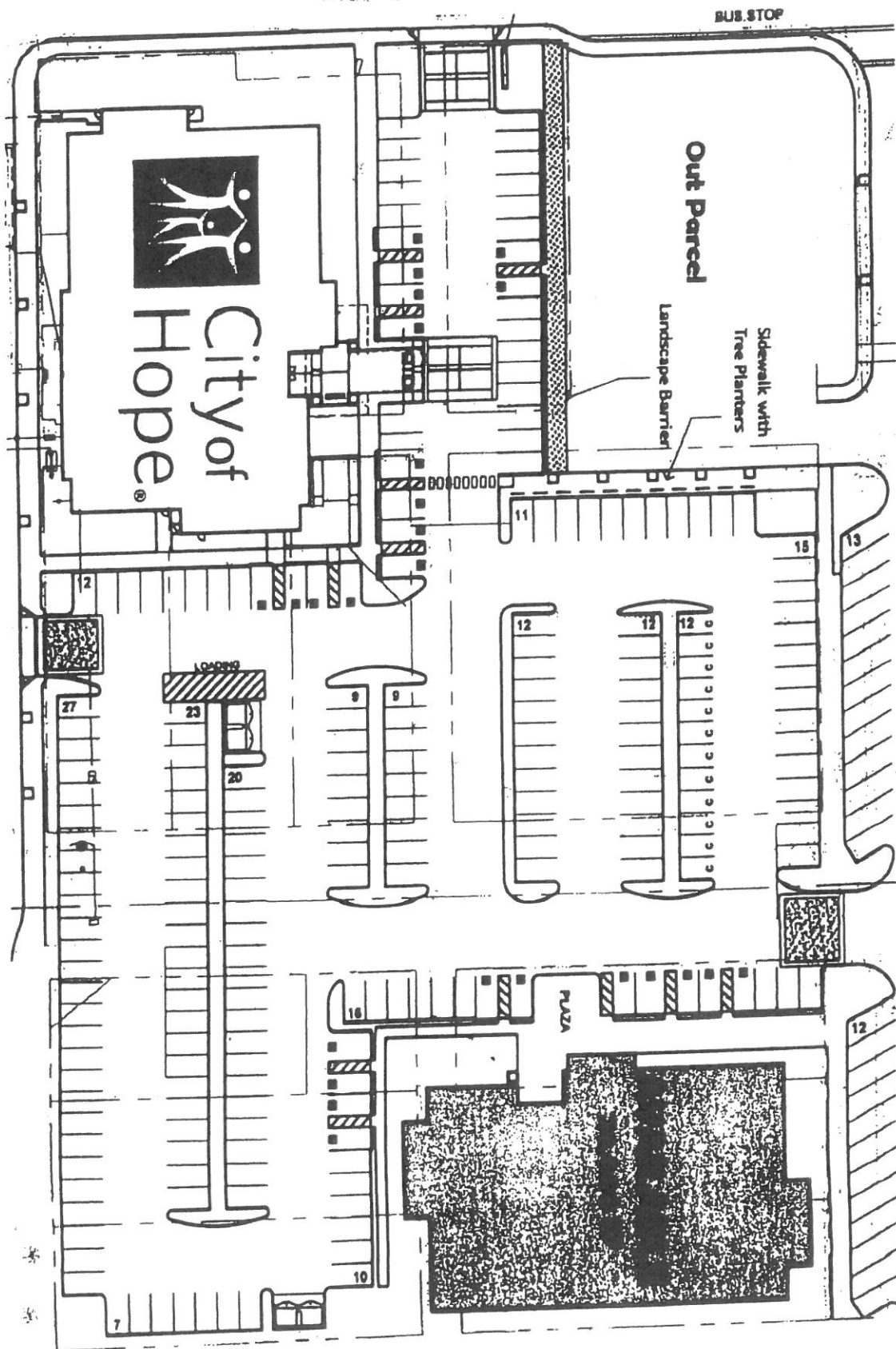

John Vazirian

Enclosures: (5)

EXHIBIT J



City of Hope



SITE PLAN A

TC COMMERCIAL

STUDY

City of
Hope®

Out Parcel

Sidewalk with Tree Planters

BUS STOP

AVAILABLE

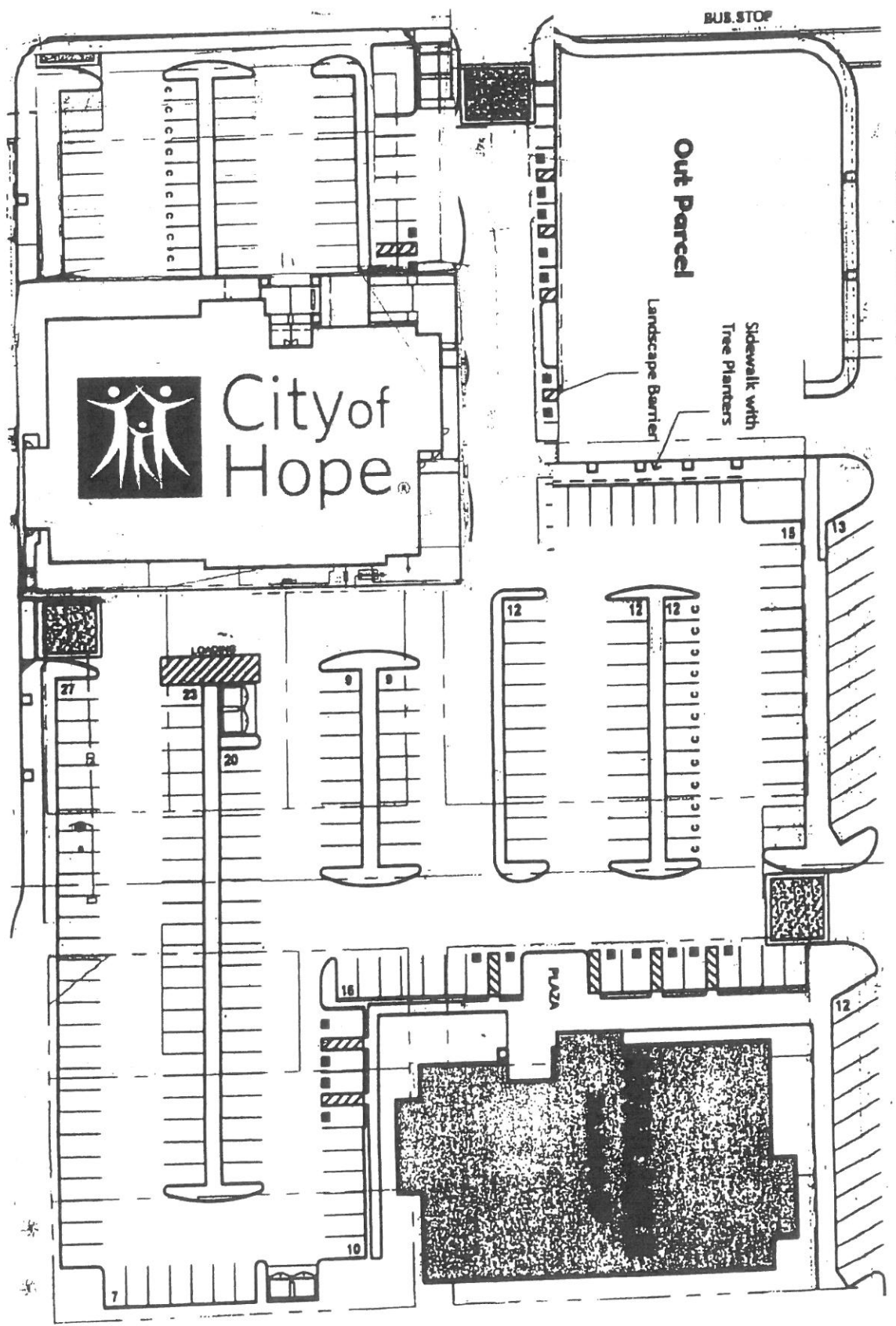
2000

SITE PLAN B

OUR PROPERTY LINE

TC COMMERCIAL

7th St



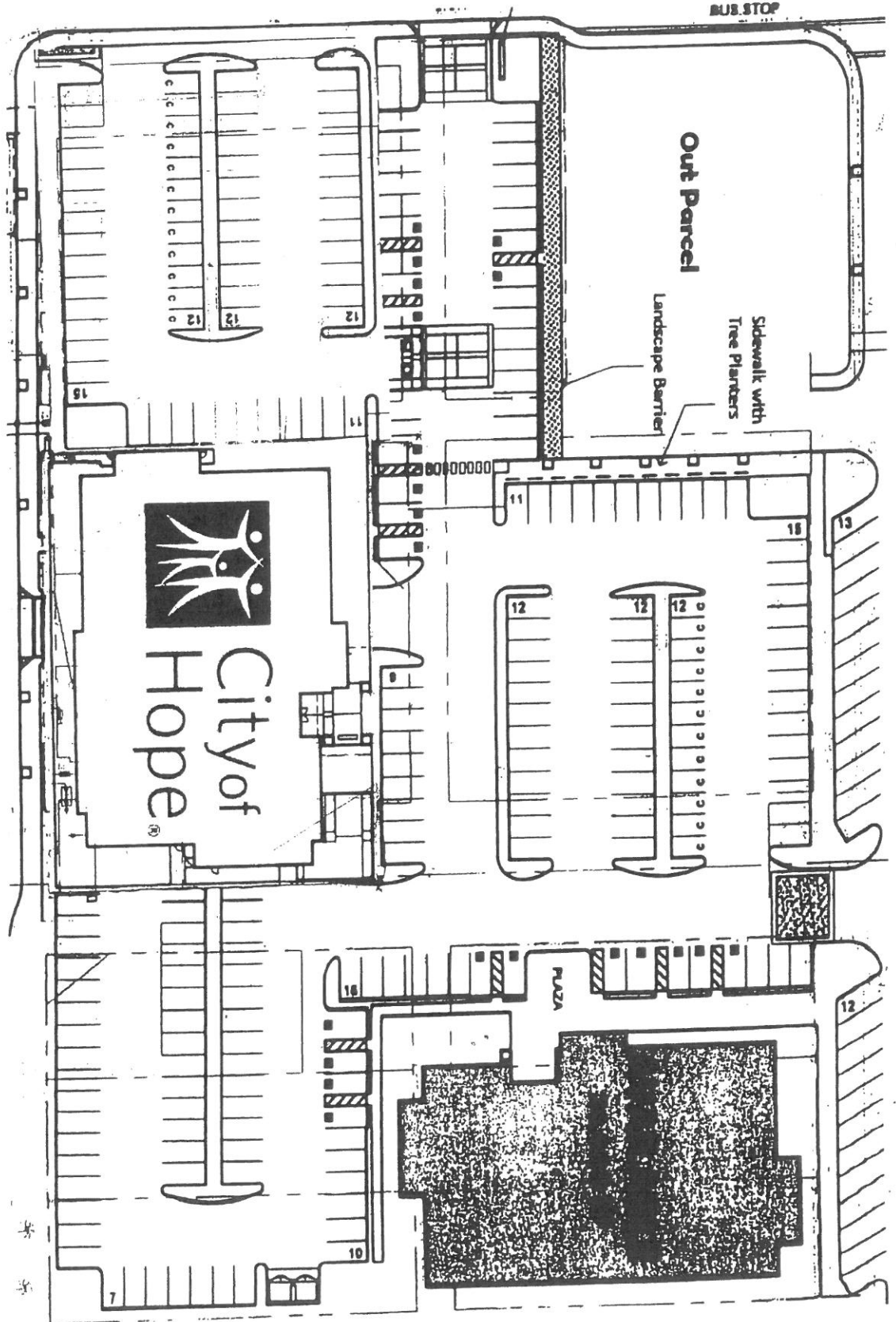
SITE PLAN C

OUR PROPERTY LINE

TC COMMERCIAL

7th St

10th St



SITE PLAN D

City of Corona

400 S. Vicentia Ave.
Corona, CA 92882



Minutes - Draft

Monday, August 26, 2019

6:00 PM

Council Chambers

Planning and Housing Commission

Karen Alexander, Chair
Timothy Jones, Vice Chair
David Hooks, Commissioner
Craig Siqueland, Commissioner
Viren Shah, Commissioner

EXHIBIT 4

ROLLCALL

Present 5 - Commissioner Viren Shah, Vice Chair Tim Jones, Chair Karen Alexander, Commissioner Craig Siqueland, and Commissioner David Hooks

1. CALL TO ORDER

Chair Alexander called the meeting to order.

2. PLEDGE OF ALLEGIANCE

Commissioner Hooks led the Pledge of Allegiance.

3. ORAL COMMUNICATIONS FROM THE PUBLIC

None.

4. CONSENT ITEMS

None.

5. PUBLIC HEARINGS

[19-0752](#)

CUP2018-0014 (CONTINUED): Conditional Use Permit application to establish and operate a 4,375 square foot public charter school within an existing commercial building located at 700 North Main Street in the CR (Commercial Retail) District of the North Main Street Specific Plan (SP99-01) (Applicant: Bill Calleja of Pivot Charter School, 700 North Main Street, Corona, CA 92880).

Attachments: [Staff Report](#)

A motion was made by Commissioner Shah, seconded by Commissioner Siqueland, that the Planning and Housing Commission CONTINUE item CUP2018-0014 to the Planning and Housing Commission meeting of September 9, 2019. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

[19-0754](#)

HRLM2019-0002: Application to nominate a Victorian Hipped Roof Cottage residence built in 1900 located at 506 E. Seventh Street in the Single Family District of the Downtown Corona Revitalization Specific Plan (SP98-01) as a landmark on the Corona Register of Historic Resource. (Applicant: Robert and Angela Montanez).

Attachments: [Staff Report](#)[Locational and Zoning Map](#)[Exhibit A - Statement of architectural and historical significance](#)[Exhibits B1-B14 - Photographs of Property](#)[Exhibit C - CHPS letter dated August 4, 2019](#)[Exhibit D - Environmental Documentation](#)[Exhibit E - Aerial map of property](#)[HRLM2019-0002 PP Presentation](#)

At the request of Chair Alexander, Lupita Garcia, Assistant Planner, reviewed the staff report for HRLM2019-0002. At the conclusion of her presentation, Ms. Garcia offered to answer any questions of the Commission.

Chair Alexander asked if the applicant would like to speak on the item before the public hearing is opened.

TOM RICHINS, SPOKE ON BEHALF OF APPLICANT ROBERT MONTANEZ, gave a brief description on the history of the home and provided clarification regarding the add-on to the home and the year the home was built. He also stated that if the home is approved for a Mills Act contract, the applicant would be allowed to take the savings and apply it towards the preservation and maintenance of the home.

ANGELA MONTANEZ, APPLICANT, commented that trees in the front yard will be pruned.

Chair Alexander opened the public hearing.

RICHARD WINN, REPRESENTING CORONA HISTORIC PRESERVATION SOCIETY (CHPS), spoke about CHPS's concerns for this home being listed as a local landmark. He indicated the current condition of the home and property does not compare to other historic homes that have been given local landmark status and that the owner should do more work on the property to better the appearance before it is listed as a local landmark. He also showed an example of another home in the city that is same style as the applicant's home, but demonstrates a better appearance from the street.

Chair Alexander closed the public hearing.

Commissioner Hooks expressed his agreement on the recommendation for the trees to be pruned.

Vice Chair Jones asked if the attic ventilation located on the roof can be removed or relocated to keep the historic value of the home.

Angela Montanez responded yes.

Mr. Richins expressed his acknowledgement of the Mills Act and agreed that the attic ventilation should be removed to keep the historic value of the home; and that it can be easily done with the cost savings the owner will have through the Mills Act.

Vice Chair Jones asked that the removal of the attic ventilation be added to the conditions of approval.

Commissioner Siqueland commented he believes the home is a good example of a historic home in Corona. He also recommends that a landscape maintenance agreement be established for this property to include tree trimming.

JOANNE COLETTA, DIRECTOR OF COMMUNITY DEVELOPMENT, stated an improvement plan can be added to the Mills Act contract. Ms. Coletta explained the terms of the Mills Act contract to the Commissioners.

Chair Alexander expressed she likes the historic preservation in the city and thanked the CHPS and the applicant for all their work. She also commented on the letter she received from Mr. Winn. She agrees this home meets the requirements stated in the Corona Municipal Code (CMC) for placement as a historic landmark, which was also stated in the letter received from CHPS.

Commissioner Shah asked if there will be a plaque in front of the home identifying it as a historic landmark.

Mr. Richins responded he only knows of one home that current displays a plaque. He mentioned people can look up historic homes on the website.

Chair Alexander thanked the Riverside Cultural Heritage Commissioner and the Redlands Historic Society and spoke about the CHPS considering a similar tier program to the Riverside and Redlands Historic Society. She also thanked the previous three presidents of the CHPS and the Richins family.

A motion was made by Commissioner Siqueland, seconded by Vice Chair Jones, that the Planning and Housing Commission recommend APPROVAL of HRLM2019-0002 to the City Council, based on the satisfaction of the listed criteria

contained in the staff report and the added conditions of approval that a maintenance plan for the front yard landscaping shall be included in the initial 10-year workplan for the Mills Act contract, the trees in the front yard shall be pruned prior to approval of the Mills Act contract and the roof turbine shall be relocated to make it less visible from the street. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

19-0737

PP2018-0005: A precise plan application to review the site plan and architecture of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad on five acres located north of west Sixth Street and east of Smith Avenue (1415 and 1435 W. Sixth Street) in the C-3 (General Community Commercial) zone. (Applicant: Greg Gill for Fitness International, LLC, 3161 Michelson Drive, Suite 600, Irvine, CA 92612).

Attachments: [Staff Report](#)

[Resolution No. 2540](#)

[Locational and Zoning Map](#)

[Exhibit A - Site Plan](#)

[Exhibit B - Conditions of Approval](#)

[Exhibit C- Floor Plan](#)

[Exhibit D - Colored Elevations](#)

[Exhibit E - Wall Elevations](#)

[Exhibit F - Colored Landscape Plan](#)

[Exhibits G1-G3 - Proposed Signage](#)

[Exhibit H - Applicant's letter dated August 23, 2018, addressing criteria for Precise Plans](#)

[Exhibit I - Environmental Documentation](#)

[Exhibit J - Letter dated July 13, 2018 sent to six properties adjacent to project site along Pleasant View Avenue](#)

[Exhibit K - Letter dated August 8, 2018 sent to all properties within 500 feet](#)

[PP2018-0005 Presentation](#)

At the request of Chair Alexander, Lupita Garcia, Assistant Planner, reviewed the staff report for PP2018-005. At the conclusion of her presentation, Ms. Garcia offered to answer any questions of the Commission.

Chair Alexander asked if the applicant would like to speak on the application before the public hearing is opened.

MIKE CALAHAN, REPRESENTING LA FITNESS ON BEHALF OF APPLICANT, GREG GILL, thanked the Commissioners and Ms. Garcia for all their hard word they put into this project. Mr. Calahan expressed all the

conditions of approval are acceptable except for condition #5 under the Building Division. He believes since the pool is located inside a building, in a separate room, a fence should not be required. He asked for that condition to be removed.

Commissioner Siqueland expressed his approval for this project. He asked if there will be an impact to the residents located behind the property with regards to the retaining wall being built.

Mr. Calahan replied there will be no impact to the residents and the wall will be within the LA Fitness parcel.

Commissioner Siqueland asked for additional clarification and wanted to know if the wall will be built behind the existing fence.

Mr. Calahan replied yes, but the residents will have ability remove their existing wood fence along their rear property line and use the new block wall.

Commissioner Siqueland asked if the vacant lot (Pad B) will be irrigated and maintained until it is fully developed.

Mr. Calahan responded yes.

Commissioner Siqueland asked if the operating hours are a part of the application and can they be changed at any given time.

Mr. Calahan responded yes the operating hours can be changed without the city's approval.

Vice Chair Jones asked if the main entrance is the only access entry into the building for members.

Mr. Calahan responded all members will have to come through the main entrance to enter the building because of the check-in procedures for members.

Vice Chair Jones asked if there will be any security measures installed on the building.

Mr. Calahan responded they did not propose security cameras on the outside of the building as it is not required by city ordinance, but have done exterior cameras in other cities.

Vice Chair Jones expressed his security concerns for the patrons who park

towards the rear of the building.

Mr. Calahan responded they will consider installing security cameras to monitor the parking lot.

Vice Chair Jones asked if there are other measures that could be taken to make sure the site is more secure around the perimeter of the building.

Mr. Calahan gave an explanation as to why the site plan was designed as it is and explained all measures were considered in the planning process.

Vice Chair Jones agreed with Mr. Calahan and expressed his concern for the safety of patrons to the rear of the building going to their cars.

Mr. Calahan responded the applicant will consider installing security cameras to monitor the rear parking lot.

Commissioner Hooks expressed his concerns over the safety of the patrons and asked if the lighting at the rear of the building will be attached to the building or free standing.

Mr. Calahan responded the lighting will be free standing and additional lighting will be outside the rear exit doors. He explained the design of the lighting and that it will not have an impact to the residents.

Chair Alexander expressed her concerns regarding trespassing to the rear of the building due to the type of shrubs that may conceal trespassers. She suggested a different type of ground cover be considered instead of shrubs along the rear planter. She also suggested a motion sensor be installed to the rear of the building.

Mr. Calahan responded it will be considered.

Chair Alexander expressed her concerns for loitering at the future Pad B location. She suggested a fence be placed around the site to prevent loitering.

Mr. Calahan responded a fence will be considered.

Vice Chair Jones asked what the time frame would be for the block wall to be built between the site and the residents.

Mr. Calahan responded it will take approximately six weeks for the wall to be built and a temporary fence will be placed during construction so residents privacy will not be impacted.

Commissioner Siqueland asked city staff about the condition regarding the fence being placed around the pool.

Ms. Coletta responded it is a standard condition of approval, but this condition does not apply to this project and will be removed from the conditions of approval.

Chair Alexander opened the public hearing.

JOE MORGAN, RESIDENT, expressed his approval for this project and thanked the applicant and city staff.

Chair Alexander closed the public hearing.

A motion was made by Commissioner Shah, seconded by Vice Chair Jones, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and adopt Resolution No. 2540 GRANTING PP2018-0005, based on the findings contained in the staff report and conditions of approval with the removal of condition 5 (building division) and the added conditions: to install security cameras in the parking lot with signage indicating the property is under surveillance and the security tapes be kept for 30 days for retention purposes, install a temporary three-foot high white vinyl fence or other fencing approved by the Community Development Department around Pad B to prevent loitering with signage indicating private property and the parking lot light poles located along the north perimeter of the project site be designed to prevent glare on to the adjacent residential properties to the north. The light poles will be determined by staff in conjunction with staff's review of the project's photometric analysis and light fixture design plan which the applicant shall submit to the city prior to issuance of a building permit. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

[19-0747](#)

GPA2019-0001: An application to amend the General Plan designation of four properties totaling approximately 0.50 acres from Low Density Residential (LDR) to Office Professional (OP) and establish the Office Professional and Mixed Use Downtown (MUD) designation on approximately 0.56 acres of public rights-of-way to facilitate the development of a medical office park on a total of 3.48 acres located on the south side of West Sixth Street, between Sheridan Street and Belle Avenue. (Applicant: Richard Boureston, Boureston Development, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626)

Attachments: [Staff Report](#)
[Resolution No. 2538](#)
[Locational & Zoning Map](#)
[Exhibit A - Proposed General Plan Amendment](#)
[Exhibit B - Aerial Map](#)
[Exhibit C - Existing General Plan Designation](#)
[Exhibit D - Site Plan](#)
[Exhibit E - Environmental Documentation](#)
[Exhibit F - Public Correspondence](#)
[GPA2019-0001, SPA2019-0001, PM 37565, PP2019-0003 PP Presentation](#)

At the request of Chair Alexander, Sandra Yang, Senior Planner, presented the staff reports for GPA2019-0001, SPA2019-0001, PP2019-0001 and PM 37565. At the conclusion of her presentation, Ms. Yang offered to answer any questions of the Commission.

Vice Chair Jones asked if the parking on Belle Avenue is required parking for the proposed site.

Ms. Yang responded the site is over parked and the street parking would be excess parking.

Commissioner Siqueland asked how much of the building will City of Hope occupy and what services will be offered.

RICHARD BOURESTON, REPRESENTING BOURESTON DEVELOPMENT, responded City of Hope will be occupying all of Building A and they provide a broad range of services.

RICHARD GANN, REPRESENTING CITY OF HOPE, explained they are a cancer research hospital and he explained the services that will be provided.

Chair Alexander asked how this new facility will impact the existing facility located in Corona.

Mr. Gann responded they will be relocating from the current location to this new location.

Chair Alexander opened the public hearing.

Ms. Yang provided clarification on the street parking on Belle Avenue. She stated 24 parking spaces on Belle Avenue are part of the required parking

for the site.

Vice Chair Jones asked for clarification, are 24 parking spaces required to meet the building parking requirements and will the other remaining spaces be for excess parking. He asked how many parking spaces will be constructed on Belle Avenue.

Ms. Yang responded 24 parking spaces are required and a total of 54 parking spaces are planned on Belle Ave.

Commissioner Shah asked how many parking spaces are on Belle Avenue.

Ms. Yang responded the plan proposes 54 parking spaces on Belle Avenue.

Chair Alexander opened the public hearing.

ELIZABETH MCCREARY, CITY OF CORONA PARKS AND RECREATION COMMISSIONER, expressed her concerns regarding the parking because this project would remove the overflow parking lot currently used by the library.

Ms. Yang responded the existing parking lot contains 41 parking stalls and the parking will be replaced with 54 parking spaces planned on Belle Avenue. The applicant and city will have a shared parking agreement that will allow library patrons to use the on-street parking during the medical offices off-peak business hours.

Chair Alexander asked what the office hours will be for the City of Hope.

Mr. Gann responded the operating hours for City of Hope are normally 8:00 a.m. to 5:00 p.m. and at times patients getting infusion treatments may go later into the afternoon with radiology and oncology patients mostly seen in the morning hours.

Chair Alexander asked with the doubling of the square footage, if services could expand beyond 5:00 p.m.

Mr. Gann responded it is difficult to predict but their clientele is reduced toward the end of the day.

Ms. Coletta asked if the clientele would be different in the evening hours.

Mr. Gann responded it would depend on the type of treatments that are

being done, such as infusion care.

KEVIN CHENG, REPRESENTING CITY OF HOPE, responded the current hours of operation are 8:00 a.m. to 5:00 p.m. He also explained which procedures are typically done in the morning versus the afternoon.

DENNIS RALLS, PUBLIC WORKS PROGRAM MANAGER, stated that he is working with city management and the Library department on ways to improve the library parking lot and their availability for parking. He stated they are evaluating ways to reconfigure the library parking lot.

DOTTIE LARADEN, RESIDENT / RETIRED LIBRARIAN, spoke about her concern with the parking on Belle Avenue and it being a route for ambulances.

Mr. Ralls responded ambulances will still route through Belle Avenue. He explained that the proposed street parking is designed to allow cars to pass on the street with the parking.

Chair Alexander closed the public hearing.

Commissioner Shah asked if there is a plan to have a mutual access to the parking lot between the two proposed buildings and the hospital parking lot.

Ms. Yang responded no.

TOM KOPER, PUBLIC WORKS ASSISTANT DIRECTOR, explained the sewer line in the alley between the two buildings and mentioned the diagonal parking on the hospital parking lot will remain.

Commissioner Shah asked if Building B will have interface with City of Hope.

Mr. Koper responded Building B will not be affiliated with the City of Hope.

Vice Chair Jones asked if Building B will have similar operating hours as the City of Hope.

Mr. Boureston responded various tenants will occupy Building B which can include a surgery center and urgent care, and this building will have no direct affiliation with the City of Hope.

Vice Chair Jones commented he supports this project.

A motion was made by Vice Chair Jones, seconded by Commissioner Shah, that the Planning and Housing Commission recommend adoption of the Mitigated

Negative Declaration and the Mitigation Monitoring Plan and APPROVAL of GPA2019-0001, based on the findings contained in the staff report and adopt Resolution No. 2538 granting GPA2019-0001 as part of Cycle I of the General Plan Amendments for 2019. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

[19-0757](#)

SPA2019-0001: Application to amend the Downtown Corona Revitalization Specific Plan (SP98-01) to change the designation of seven properties totaling approximately 1.03 acres from Single Family (SF) and Commercial Services (CS) to Downtown (D) and establish the Downtown District on approximately 0.56 acres of public rights-of-way to facilitate the development of a medical office park on 3.48 acres located on the south side of West Sixth Street between Sheridan Street and Belle Avenue. (Applicant: Richard Boureston, Boureston Development, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626)

Attachments: [Staff Report](#)

[Locational & Zoning Map](#)

[Exhibit A - Proposed Specific Plan Amendment](#)

[Exhibit B - Conditions of Approval](#)

[Exhibit C - Aerial Map](#)

[Exhibit D - Existing Specific Plan Designation](#)

[Exhibit E - Existing General Plan Designation](#)

[Exhibit F - Site Plan](#)

[Exhibit G - Applicant's letter dated March 5, 2019, explaining Specific Plan and General Plan amendments](#)

[Exhibit H - Legal description of the specific plan amendment site](#)

[Exhibit I - Environmental Documentation](#)

[Exhibit J - Public Correspondence](#)

A motion was made by Commissioner Siqueland, seconded by Commissioner Shah, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and APPROVAL of SPA2019-0001 to the City Council, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

[19-0759](#)

PP2019-0003: A precise plan application to review the site plan and architecture of two medical office buildings totaling 58,900 square feet on 3.48 acres located on the south side of West 6th Street between Sheridan Street and Belle Avenue in the Downtown District zone of the Downtown Corona Revitalization Specific Plan (SP98-01) (Applicant: Richard Boureston, Boureston Development, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626)

Attachments: [Staff Report](#)[Resolution No. 2539](#)[Locational & Zoning Map](#)[Exhibit A - Site Plan](#)[Exhibit B - Conditions of Approval](#)[Exhibit C - Parcel Map 37565](#)[Exhibit D1 & D2 - Floor Plans](#)[Exhibit E - Colored Elevations for Building A](#)[Exhibit F - Colored Elevations for Building B](#)[Exhibit G - Detailed Elevations for Building A](#)[Exhibit H - Detailed Elevations for Building B](#)[Exhibit I - Applicant's letter dated June 6, 2019, addressing the architecture of the buildings](#)[Exhibit J - Landscape Plan](#)[Exhibit K - Sign Program](#)[Exhibit L - Proposed Corona Cruiser Bus Route Change](#)[Exhibit M - Angled parking design on Belle Avenue](#)[Exhibit N - Applicant's letter dated March 15, 2019, addressing criteria for Precise Plans](#)[Exhibit O - Environmental Documentation](#)[Exhibit P - Public Correspondence](#)

A motion was made by Commissioner Shah, seconded by Vice Chair Jones, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and Resolution No. 2539 GRANTING PP2019-0003, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

19-0758

PM 37565: A parcel map application to create two parcels totaling 3.48 acres to facilitate the development of two medical office buildings located on the south side of West 6th Street between Sheridan Street and Belle Avenue in the Downtown District zone of the Downtown Corona Revitalization Specific Plan (SP98-01). (Applicant: Richard Boureston, Boureston Development, 650 Town Center Drive, Suite 890, Costa Mesa, CA 92626)

Attachments: [Staff Report](#)[Locational & Zoning Map](#)[Exhibit A - Parcel Map 37565](#)[Exhibit B - Conditions of Approval](#)[Exhibit C - Site Plan](#)[Exhibit D - Proposed Corona Cruiser Bus Route Change](#)[Exhibit E - Applicant's letter dated May 21, 2019 giving essential subdivision information](#)[Exhibit F - Environmental Documentation.pdf](#)[Exhibit G - Public Correspondence](#)

A motion was made by Vice Chair Jones, seconded by Chair Alexander, that the Planning and Housing Commission recommend adoption of the Mitigated Negative Declaration and the Mitigation Monitoring Plan and APPROVAL of PM 37565 to the City Council, based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 5 - Commissioner Shah, Vice Chair Jones, Chair Alexander, Commissioner Siqueland, and Commissioner Hooks

6. WRITTEN COMMUNICATIONS

None.

7. ADMINISTRATIVE REPORTS

None.

8. PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

9. ADJOURNMENT

Chair Alexander adjourned the meeting at 7:39 p.m. to the Planning and Housing Commission meeting of Monday, September 9, 2019, commencing at 6:00 p.m. in the City Hall Council Chambers.