

January 14, 2020

Alan and Eileen Foate

429 Wynola Court, Corona, CA.



For the City Planning Commission Hearing regarding **TTM37719**

January 21, 2020 6PM; 400 S Vicentia Ave, Corona, CA.

3 Sections below to be addressed: Massive Wall Height, Traffic, Security

Lot at 429 Wynola Court APN 115-372-028 backs up to Lot 17 on the proposed development.

1) Developer plans to build a trio of walls

a) Walls

- i) 1<sup>st</sup> wall replaces the existing fence.
- ii) 2<sup>nd</sup> stacked wall inside lots 16, 17 and 18 with about 5ft inset into the new lots.
- iii) 3<sup>rd</sup> wall to fence off the new homes.

b) **The plans say "9 feet high (varying)" but, from the low point, this 2<sup>nd</sup> stacked wall (Verdura) will rise approx. 15-20 feet above the existing low point of the fence line grade.** If you were standing on my pool deck which is 10 feet inside my fence the existing rise/run is: pool deck vs. my retaining wall 4 feet up then 10 feet to the fence. Then there is a moderate uphill slope to the top of the developer's lot.

- i) **"9 feet high (varying)"** does not clearly represent the impact to my property. This will be a 15-20 wall rising up in my backyard from its low point. And, there will be a 3<sup>rd</sup> wall on top of that.
- ii) On top of the filled area a 2-story home will be built. The plans look like that home (17) and the one to the South (16) will be built as close to the stacked wall as possible. Lot 15 will be about the same.
- iii) Developer states that the Verdura wall will be built to have vegetation and that they will plant the vegetation and irrigation will be provided by the HOA/District.

c) Concerns

- i) Significant view intrusion from the 2-story homes. Will their fence be enough to stop view intrusion?
- ii) The State or the City will declare a drought and direct this HOA or District to cut back on watering. The vegetation on this stacked wall will die. 429 Wynola Court will then
  - (1) Look at 20+feet of wall that is dead.
  - (2) Have the heat that is radiated added to the existing heat.
- iii) The existing fruit trees will have sunlight blocked until late morning and produce less fruit.
- iv) The normal West-to-East wind pattern will be altered.
- v) The residents at 429 will be looking at something akin to living next to a concrete tilt-up warehouse.

d) Solutions

- i) Don't build that stacked wall at all or build it much further away and, Only build a 1-story home.
- ii) Or, if the stacked wall is built,
  - (1) Remove the concrete V-ditch and Plant tall trees, at the developer's expense, on the rear of 429 Wynola Court to mitigate the view intrusion and mitigate the heat that will

come from that wall - 3 Tipuana Tipu 36" crated trees, and indemnify 429 Wynola from root intrusion if it should occur on the developers lots (or their successors).

- (2) And, Developer and City to stipulate that the easements at rear and north side of 429 Wynola Court are no longer required and both City and Developer agree to remove the easements with no cost to 429 Wynola.

2) Traffic

- a) Looking at a larger picture, traffic on Cresta Road already backs up to Harding during afternoon and evening commuter hours. The new 3-story apartment complex that is under construction on Promenade will have 420+ units. My guess is that this will generate at least 800 car trips each day. I'm aware that Developer has done a traffic study but I want to hear that the City has taken into account the new apartment's traffic.
- b) Currently the Cresta Verde Golf Course has a traffic light on Cresta midway between the two intersections of Ripchak on Cresta. This light is set to turn red randomly and seems to be performing a 'traffic calming' function like I've notice in other parts of Corona.
- c) Traffic laws are rarely monitored or enforced on Cresta. The 30MPH law is almost never followed and commuters routinely run 45mph on this street and frequently don't stop.
- d) In my estimation there will be a problem at the Cresta and Harding intersection.
  - i) Harding is fairly close to Promenade. Traffic is going to be backed up and either will block the Harding intersection or there will be just enough of a gap to make a turn from Harding onto Cresta. Drivers turning from Promenade onto Cresta westbound will be going faster than 30 before they cross Harding. The new development will only have a stop sign to enter/ exit the area. Those drivers will not be able to see traffic from drivers turning from Promenade onto Cresta westbound due to the backup. There is going to be a collision there.

3) Security -Fence for Landscape Access

- a) My Concern is based on the existing neighbor – Cresta Verde Golf Course. The fencing around the GC has not been adequately maintained. The quality of the fencing appears to be what can be purchased at a "big box" store. Over the years that fencing rusted away and there are large sections of fencing missing. Not my idea of a "good neighbor".
- b) With this project I want the developer to install fencing that will last for many, many years, and that there will be a mechanism in place that compels the new HOA/District to keep that fence secure. I DO NOT WANT THAT MAINTENANCE ACCESS TO BECOME A CAMPGROUND LIKE THE CITY PARK!

Pictures for Section 1 – Massive Wall(s)  
View from ground floor early morning





View from 2<sup>nd</sup> story mid-morning





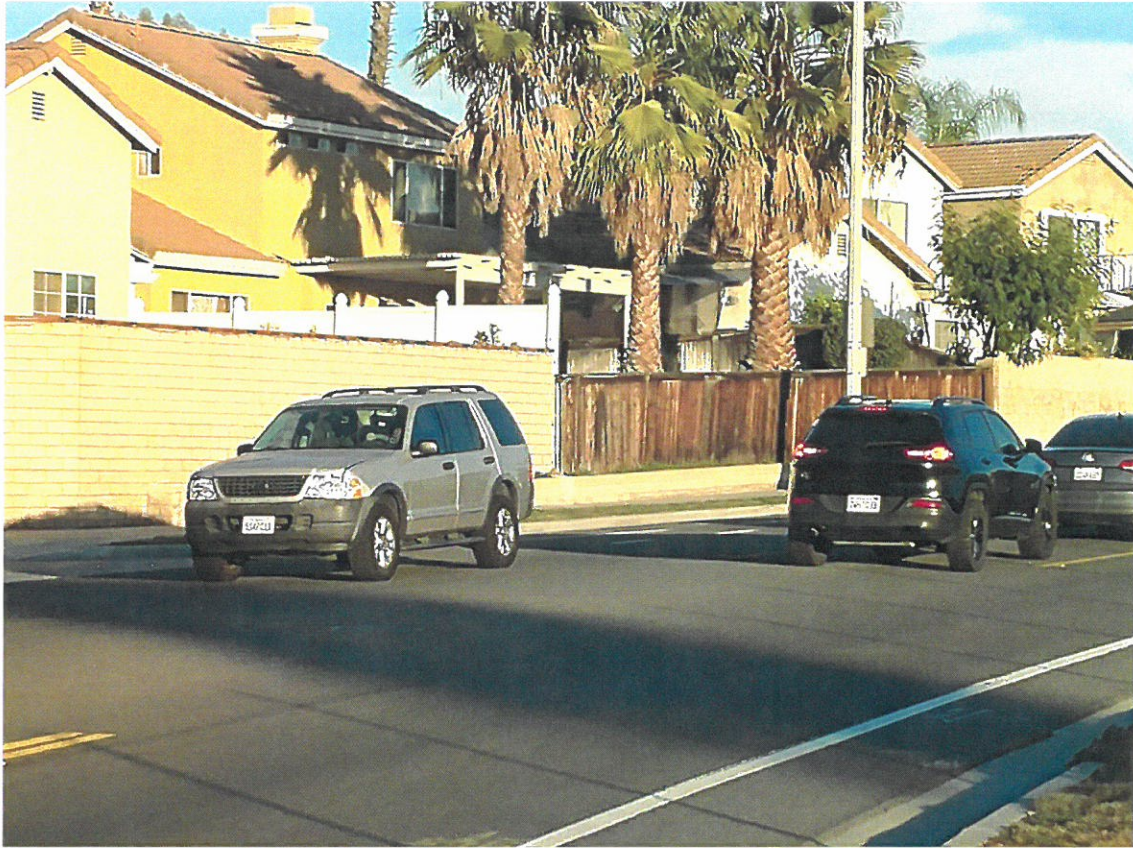
View from Promenade West – approx. Lot 17 toward 429 Wynola Ct. in the red circle.





## Pictures for Section 2 - Traffic

Typical afternoon/evening commute backup of traffic east-bound on Cresta @ Promenade for left turns. Shown here is the traffic backed up to the Harding intersection.





Pictures for Section 3 – Security Concerns





TTM 37719

DPR2019-0002  
DPR2019-0003

**PROPOSED WALL LEGEND:**

- 6" HIGH SLUMP CMU PERIMETER WALL
- 9" HIGH (VARYING) VERDURA BLOCK WALL (LOTS 12 & 16-19)
- 6" HIGH (COMBO), 4" CLASS ON 2" SLUMP CMU (LOTS 12-14)

**LEGEND:**

- AVN AIR RELEASE VALVE
- BW BACK OF WALK
- CONC CONCRETE
- FM FIRE HYDRANT
- FL FLOW LINE
- GR GUARD RAIL
- LIGHT LIGHT POLE
- S SIGN
- SDMH STORM DRAIN MANHOLE
- SLPB STREET LIGHT PULLBOX
- TC TOP OF CURB
- TMH TELEPHONE MANHOLE
- TSC TRAFFIC SIGNAL
- TSGPB TRAFFIC SIGNAL PULLBOX
- WM WATER METER
- WV WATER VALVE

- EXISTING FENCE
- EXISTING WALL
- PROPOSED SEWER
- PROPOSED WATER
- BUILDING SETBACK LINE
- PROPOSED EASEMENT

- LINE OF SIGHT EASEMENT ZONE (NO OBSTRUCTIONS)
- LINE OF SIGHT EASEMENT
- CORNER CUT-OFF

- VERDURA UPPER GEORGID EXTENT
- PROPOSED ADA RAMPS
- PROPOSED ADA RAMP

- PROPOSED CROSS CUTTER
- PROPOSED CATCH BASIN (WIDTH=14')
- PROPOSED CONNECTION TO EXIST. 27" RCP 50

- PROPOSED CURB OUTLET
- PROPOSED CURB
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**PROJECT STATISTICS**

LOT "A" = 40,388 S.F.  
LOT "B" = 9,248 S.F.  
LOT "C" = 15,990 S.F.  
LOT "D" = 28,393 S.F.  
LOTS 1-23 = 183,100 S.F.  
GROSS AREA = 257,899 S.F.  
- LOT "C" & "D"  
NET AREA = 210,656 S.F.

**PROPOSED EASEMENTS**

- 1. LANDSCAPE MAINTENANCE BY HOA
- 2. WALL ACCESS BY HOA
- 3. WALL ACCESS & MAINTENANCE BY HOA
- 4. UNDERGROUND DRAINAGE BY HOA
- 5. WATER LINE EASEMENT TO CITY OF CORONA & SURFACE MAINTENANCE BY HOA
- 6. LINE OF SIGHT EASEMENT - HANDSCAPE & LANDSCAPE NOT TO EXCEED 6-INCHES FROM CURB/SIDEWALK ELEVATION.
- 7. RESTRICTIVE USE EASEMENT

NOTE: LOCATION OF SCE EASEMENT TO BE DETERMINED AT A LATER TIME PER SEPARATE INSTRUMENT.

NOTE: PROPOSED WMS LINEAR 2.0 WATER QUALITY CATCH BASINS AT ENTRANCE TO BE MAINTAINED BY HOA.

**EXISTING EASEMENTS**

PER PRELIMINARY REPORT PREPARED BY LAWYERS TITLE, REFERENCE NO. RSL13253, DATED SEPTEMBER 20, 2018.

SYMBOL	ITEM	DESCRIPTION
---	3	A BLANKET SEWER LINE EASEMENT AND A BLANKET WATER LINE EASEMENT PER PARCEL MAP NO. 21365, RECORDED JUNE 3, 1986 IN BOOK 143 PAGES 27 TO 31 OF OFFICIAL RECORDS.
---	4	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDED NO. 259925 OF OFFICIAL RECORDS. (TO BE VACATED AS PART OF FINAL MAP)
---	5	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDED NO. 259927 OF OFFICIAL RECORDS. (TO BE VACATED AS PART OF FINAL MAP)
A	6	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDED NO. 259928 OF OFFICIAL RECORDS. (TO BE VACATED AS PART OF FINAL MAP)
B	7	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDED NO. 259930 OF OFFICIAL RECORDS. (TO BE VACATED AS PART OF FINAL MAP)



**VICINITY MAP**  
(NO SCALE)

**DEVELOPER/APPLICANT:**  
EB CORONA, LLC  
2711 SERPENTINA BOULEVARD, #530  
MANHATTAN BEACH, CA 90266  
(310) 546-9500

**ENGINEER:**  
LAND DEVELOPMENT CONSULTANTS  
1520 BROOKHOLLOW DRIVE, SUITE 33  
SANTA ANA, CA 92705  
(714) 557-7700

**ARCHITECT:**  
SUMMA ARCHITECTURE  
3255 SOUTH MISSION ROAD, SUITE 404  
BONSAI, CA 92003  
(760) 724-1198

**ASSESSOR'S PARCEL NUMBER**  
115-100-046, 115-415-001 &  
115-415-002

**LETTERED LOTS**  
LOT "A" = FUTURE PUBLIC STREET & UTILITY  
LOT "B" = FUTURE LANDSCAPE EASEMENT TO CITY (LMD PER CFD 2018-1 & 2018-3)  
LOT "C" = STREET DEDICATION TO CITY (STREET & UTILITY PURPOSES)  
LOT "D" = STREET DEDICATION TO CITY (STREET & UTILITY PURPOSES)

**LOT SUMMARY TABLE**

LOT NO.	LOT S.F. (GROSS)	LOT S.F. (NET)	LOT S.F. (NET) %	LOT S.F. (NET) %	LOT S.F. (NET) %	LOT S.F. (NET) %
1	10,897	81.0	230.40	17.0%	76.9%	8.1%
2	11,418	50.0	220.95	25.2%	87.3%	7.5%
3	9,441	31.0	186.20	23.4%	65.2%	11.4%
4	7,471	50.0	150.45	36.5%	51.0%	10.5%
5	6,321	50.0	127.35	29.3%	60.3%	10.4%
6	5,804	51.0	114.10	38.1%	46.8%	15.1%
7	5,324	50.0	106.75	34.7%	53.3%	12.0%
8	5,832	51.0	102.50	40.5%	47.1%	12.4%
9	5,148	51.0	99.70	42.9%	40.7%	16.4%
10	5,050	53.1	92.20	36.6%	49.3%	14.1%
11	5,230	53.1	98.85	35.4%	45.2%	14.3%
12	14,286	97.6	106.00	15.5%	72.7%	11.8%
13	5,784	59.8	97.95	36.7%	51.7%	11.6%
14	8,025	96.3	80.00	27.5%	53.9%	18.6%
15	7,144	81.6	81.40	29.6%	58.2%	12.2%
16	5,216	51.0	102.30	35.4%	52.3%	12.3%
17	5,698	51.0	111.75	38.8%	44.7%	16.5%
18	6,054	50.0	121.10	30.5%	56.6%	10.9%
19	6,712	52.8	118.85	42.9%	45.9%	13.2%
20	6,853	54.8	129.65	32.2%	55.0%	12.8%
21	6,171	51.0	120.75	34.3%	40.7%	12.2%
22	5,405	50.0	106.95	34.2%	53.8%	11.9%
23	8,429	82.2	92.50	26.2%	63.3%	10.5%
TOTAL LOT S.F. = 183,100						
AVERAGE LOT AREA = 7,959 S.F. (LOT WIDTH & LOT DEPTH MEASURED PER C.M.C. SECTIONS 17,040.350' & 17,044.357')						

**GENERAL NOTES:**

**GENERAL PLAN:** LDR (LOW DENSITY RESIDENTIAL, 3-6 DU/AC)  
**ZONING:** SFR-5 (SINGLE-FAMILY RESIDENTIAL, 5,000 SQUARE-FOOT MIN. LOT SIZE)  
**DESIGNATION OF THE NORTHEAST CORONA SPECIFIC PLAN (SPB1-02)**  
**EXISTING LAND USE:** VACANT  
**PROPOSED LAND USE:** SINGLE-FAMILY RESIDENTIAL  
**DENSITY:** GROSS = 3.89 DU/ACRE (23 LOTS / 5,916 ACRES)  
NET = 4.70 DU/ACRE (23 LOTS / 4,836 ACRES)

DATED: 12-03-2019

**CITY OF CORONA**  
**SITE PLAN**  
TENTATIVE TRACT MAP NO. 37719

**LEGAL DESCRIPTION:**

PER PRELIMINARY REPORT PREPARED BY LAWYERS TITLE, REFERENCE NO. RSL13253, DATED SEPTEMBER 20, 2018. ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
PARCEL 1: LOTS 18 AND 19 OF TRACT 19181-1, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 172 PAGES 73 THROUGH 79, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
ASSESSOR'S PARCEL NOS. 115-415-001 & 115-415-002-3

PARCEL 2: THAT PORTION OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 4 WEST, RANGE 12 SOUTH, BEING ALSO THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED AS A PORTION OF SAID SECTION 29 IN PARCEL 17 OF DEED TO THE STATE OF CALIFORNIA, RECORDED SEPTEMBER 11, 1986 IN BOOK 134, PAGE 43 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, DISTANT THEREON NORTH 73°15'11" EAST 307.89 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL, THENCE SOUTH 87°10'00" WEST 126.39 FEET, THENCE NORTH 72°19'30" WEST 250.32 FEET, THENCE SOUTH 14°22'57" WEST 206.00 FEET, THENCE SOUTH 87°00'00" WEST 49.92 FEET TO THE WESTERN

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