

January 14, 2020

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429 Wynola Court, Corona, CA.



For the City Planning Commission Hearing regarding **TTM37719**

January 21, 2020 6PM; 400 S Vicentia Ave, Corona, CA.

3 Sections below to be addressed: Massive Wall Height, Traffic, Security

Lot at 429 Wynola Court APN 115-372-028 backs up to Lot 17 on the proposed development.

1) Developer plans to build a trio of walls

a) Walls

- i) 1st wall replaces the existing fence.
- ii) 2nd stacked wall inside lots 16, 17 and 18 with about 5ft inset into the new lots.
- iii) 3rd wall to fence off the new homes.

b) **The plans say "9 feet high (varying)" but, from the low point, this 2nd stacked wall (Verdura) will rise approx. 15-20 feet above the existing low point of the fence line grade.** If you were standing on my pool deck which is 10 feet inside my fence the existing rise/run is: pool deck vs. my retaining wall 4 feet up then 10 feet to the fence. Then there is a moderate uphill slope to the top of the developer's lot.

- i) **"9 feet high (varying)"** does not clearly represent the impact to my property. This will be a 15-20 wall rising up in my backyard from its low point. And, there will be a 3rd wall on top of that.
- ii) On top of the filled area a 2-story home will be built. The plans look like that home (17) and the one to the South (16) will be built as close to the stacked wall as possible. Lot 15 will be about the same.
- iii) Developer states that the Verdura wall will be built to have vegetation and that they will plant the vegetation and irrigation will be provided by the HOA/District.

c) Concerns

- i) Significant view intrusion from the 2-story homes. Will their fence be enough to stop view intrusion?
- ii) The State or the City will declare a drought and direct this HOA or District to cut back on watering. The vegetation on this stacked wall will die. 429 Wynola Court will then
 - (1) Look at 20+feet of wall that is dead.
 - (2) Have the heat that is radiated added to the existing heat.
- iii) The existing fruit trees will have sunlight blocked until late morning and produce less fruit.
- iv) The normal West-to-East wind pattern will be altered.
- v) The residents at 429 will be looking at something akin to living next to a concrete tilt-up warehouse.

d) Solutions

- i) Don't build that stacked wall at all or build it much further away and, Only build a 1-story home.
- ii) Or, if the stacked wall is built,
 - (1) Remove the concrete V-ditch and Plant tall trees, at the developer's expense, on the rear of 429 Wynola Court to mitigate the view intrusion and mitigate the heat that will

come from that wall - 3 Tipuana Tipu 36" crated trees, and indemnify 429 Wynola from root intrusion if it should occur on the developers lots (or their successors).

- (2) And, Developer and City to stipulate that the easements at rear and north side of 429 Wynola Court are no longer required and both City and Developer agree to remove the easements with no cost to 429 Wynola.

2) Traffic

- a) Looking at a larger picture, traffic on Cresta Road already backs up to Harding during afternoon and evening commuter hours. The new 3-story apartment complex that is under construction on Promenade will have 420+ units. My guess is that this will generate at least 800 car trips each day. I'm aware that Developer has done a traffic study but I want to hear that the City has taken into account the new apartment's traffic.
- b) Currently the Cresta Verde Golf Course has a traffic light on Cresta midway between the two intersections of Ripchak on Cresta. This light is set to turn red randomly and seems to be performing a 'traffic calming' function like I've notice in other parts of Corona.
- c) Traffic laws are rarely monitored or enforced on Cresta. The 30MPH law is almost never followed and commuters routinely run 45mph on this street and frequently don't stop.
- d) In my estimation there will be a problem at the Cresta and Harding intersection.
 - i) Harding is fairly close to Promenade. Traffic is going to be backed up and either will block the Harding intersection or there will be just enough of a gap to make a turn from Harding onto Cresta. Drivers turning from Promenade onto Cresta westbound will be going faster than 30 before they cross Harding. The new development will only have a stop sign to enter/ exit the area. Those drivers will not be able to see traffic from drivers turning from Promenade onto Cresta westbound due to the backup. There is going to be a collision there.

3) Security -Fence for Landscape Access

- a) My Concern is based on the existing neighbor – Cresta Verde Golf Course. The fencing around the GC has not been adequately maintained. The quality of the fencing appears to be what can be purchased at a "big box" store. Over the years that fencing rusted away and there are large sections of fencing missing. Not my idea of a "good neighbor".
- b) With this project I want the developer to install fencing that will last for many, many years, and that there will be a mechanism in place that compels the new HOA/District to keep that fence secure. I DO NOT WANT THAT MAINTENANCE ACCESS TO BECOME A CAMPGROUND LIKE THE CITY PARK!

Pictures for Section 1 – Massive Wall(s)
View from ground floor early morning



View from 2nd story mid-morning

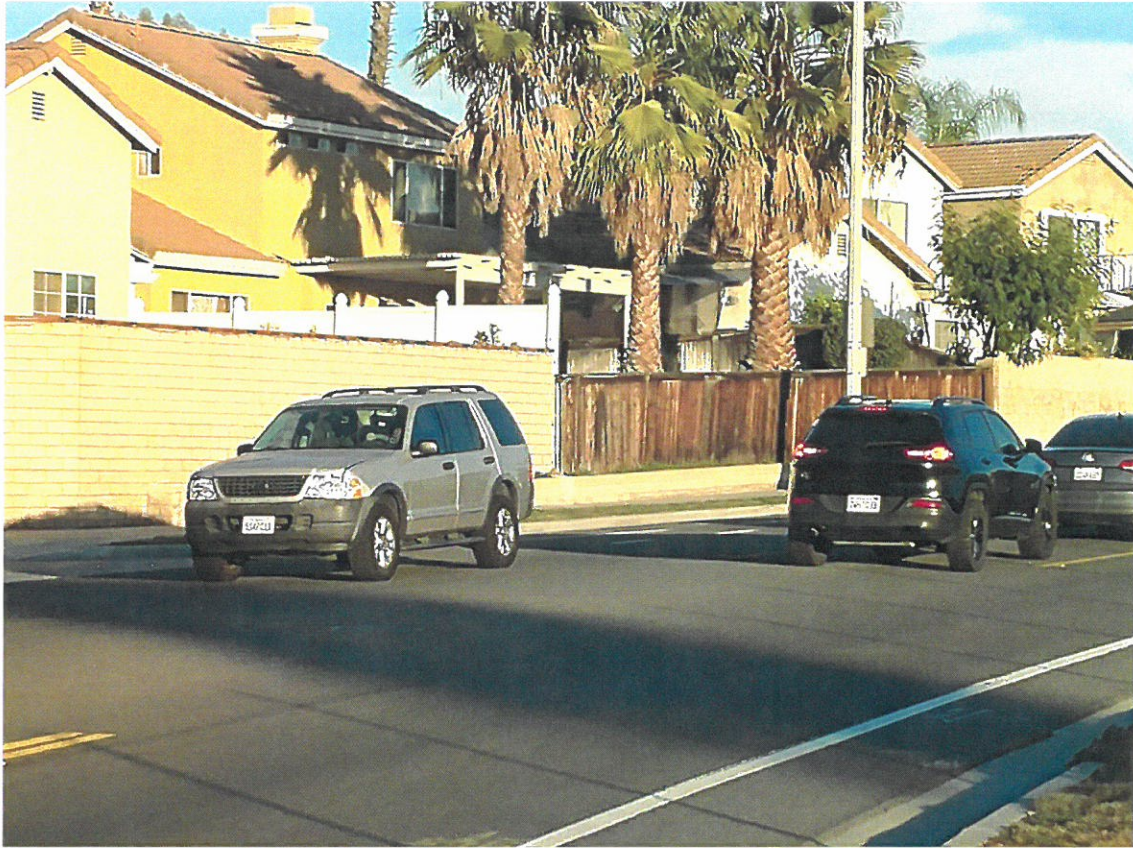


View from Promenade West – approx. Lot 17 toward 429 Wynola Ct. in the red circle.



Pictures for Section 2 - Traffic

Typical afternoon/evening commute backup of traffic east-bound on Cresta @ Promenade for left turns. Shown here is the traffic backed up to the Harding intersection.



Pictures for Section 3 – Security Concerns



