

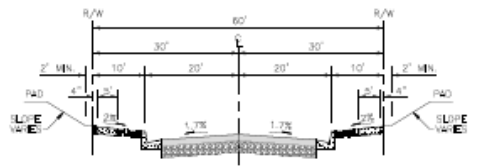
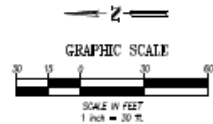
AERIAL & ZONING MAP



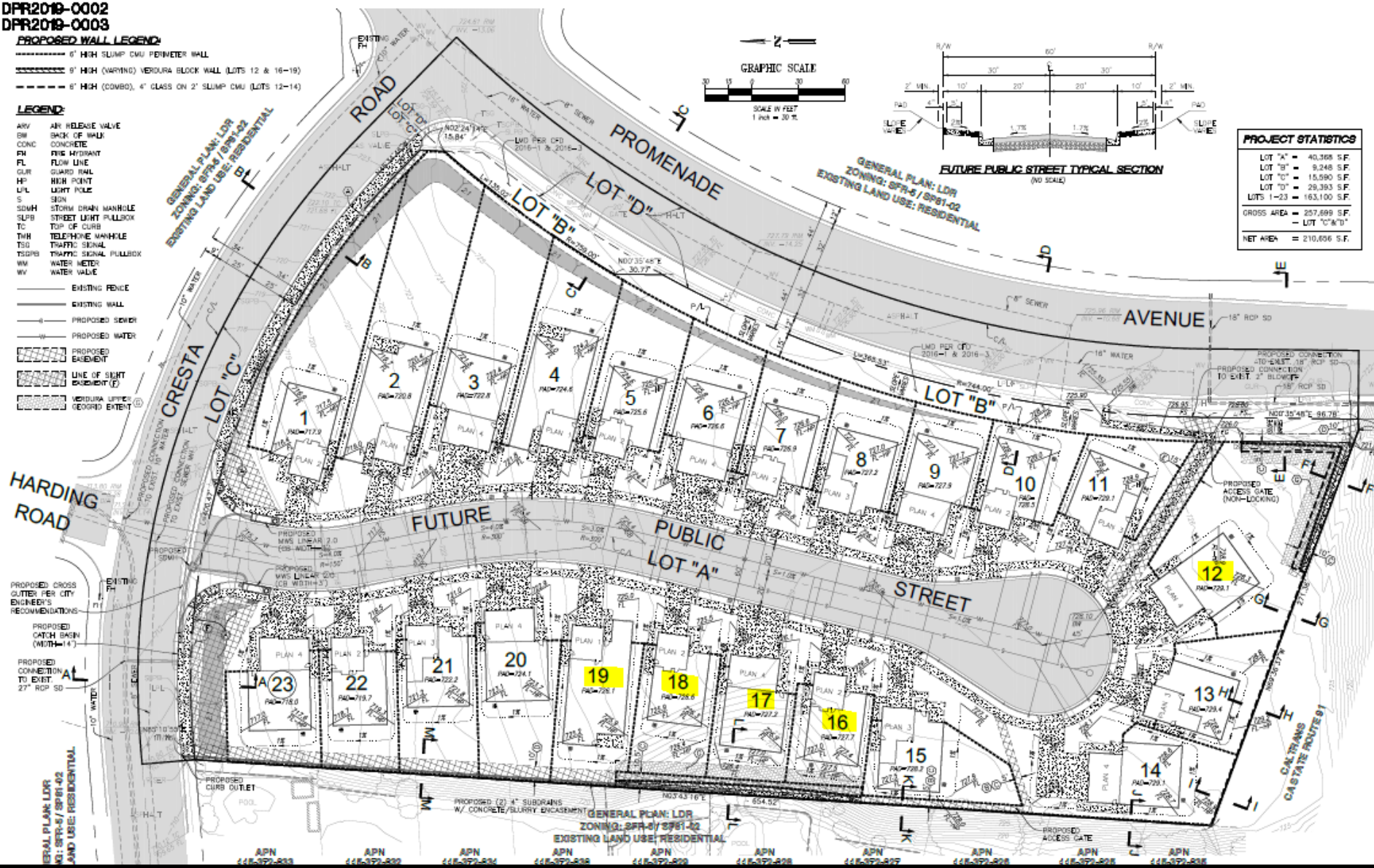
DPR2019-0002
DPR2019-0003

- PROPOSED WALL LEGEND**
- 6" HIGH SLUMP CMU PERIMETER WALL
 - 6" HIGH (VARYING) VERDURA BLOCK WALL (LOTS 12 & 16-19)
 - 6" HIGH (COMBO), 4" GLASS ON 2" SLUMP CMU (LOTS 12-14)

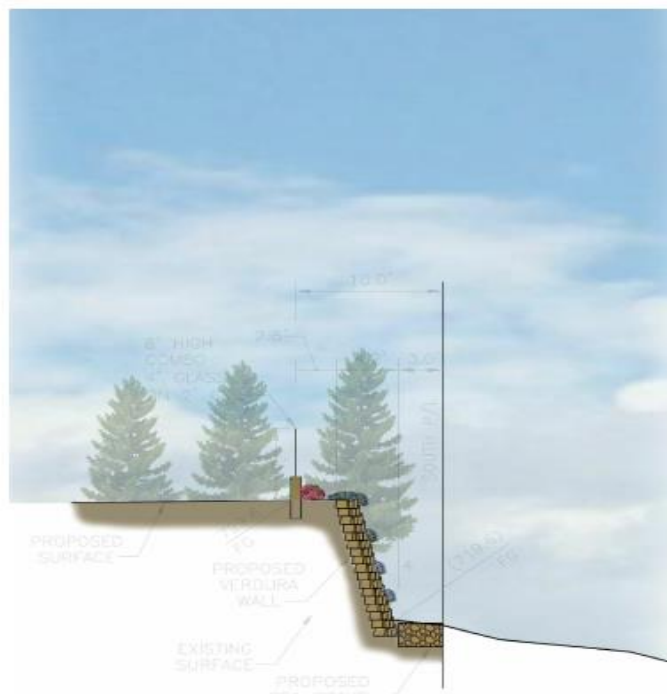
- LEGEND**
- AWV AIR RELEASE VALVE
 - BW BACK OF WALL
 - CONC CONCRETE
 - PH FIRE HYDRANT
 - FL FLOW LINE
 - GR GUARD RAIL
 - HP HIGH POINT
 - L/L LIGHT POLE
 - S SIGN
 - SDMH STORM DRAIN MANHOLE
 - SLPB STREET LIGHT PULLBOX
 - TC TOP OF CURB
 - TWH TELEPHONE MANHOLE
 - TSD TRAFFIC SIGNAL
 - TSDPB TRAFFIC SIGNAL PULLBOX
 - WM WATER METER
 - WV WATER VALVE
 - EXISTING FENCE
 - EXISTING WALL
 - PROPOSED SEWER
 - PROPOSED WATER
 - PROPOSED EASEMENT
 - LINE OF SIGHT EASEMENT (L)
 - VERDURA UPPER GEORGIA EASEMENT



PROJECT STATISTICS	
LOT "A"	40,368 S.F.
LOT "B"	9,248 S.F.
LOT "C"	15,590 S.F.
LOT "D"	29,393 S.F.
LOTS 1-23	163,100 S.F.
GROSS AREA	257,699 S.F.
- LOT "C" & "D"	
NET AREA	210,656 S.F.



GRADING PLAN

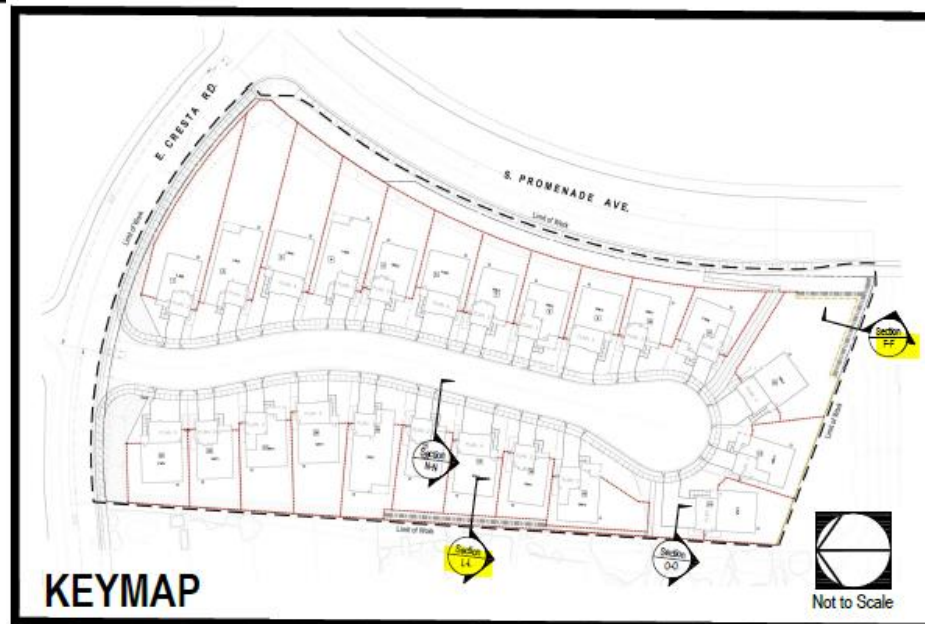


Section F-F

Scale: 1" = 10'-0"



Section L-L



Terrassa Project

6' High Freestanding Wall

Verdura Retaining Wall

VERDURA WALL





Terrassa Project

6' High Freestanding Wall

Verdura Retaining Wall








VERDURA WALL



VERDURA WALL

USED WALL LEGEND:

-
- 6" HIGH SLUMP CMU PERIMETER WALL
 --- 9" HIGH (VARYING) VERDURA BLOCK WALL (LOTS 12 & 16-19)
 --- 6" HIGH (COMBO), 4' GLASS ON 2' SLUMP CMU (LOTS 12-14)
- AIR RELEASE VALVE
 BACK OF WALK
 CONCRETE
 FIRE HYDRANT
 FLOW LINE
 GUARD RAIL
 LIGHT POLE
 SIGN
 STORM DRAIN MANHOLE
 STREET LIGHT PULLBOX
 TOP OF CURB
 TELEPHONE MANHOLE
 TRAFFIC SIGNAL
 TRAFFIC SIGNAL PULLBOX
 WATER METER
 WATER VALVE
- GENERAL PLAN: LDR
 ZONING: SFR-4 / SFR-4.02
 EXISTING LAND USE: RESIDENTIAL
- PROPOSED STREET LIGHT

-  EXISTING FENCE
 EXISTING WALL
 PROPOSED SEWER
 PROPOSED WATER
 BUILDING SETBACK LINE
 PROPOSED EASEMENT
 LINE OF SIGHT EASEMENT ZONE AND OBSTRUCTIONS

WARDING ROAD

CROSS
 R CITY
 :
 DATIONS
 USED
 H BASIN
 H-14')
 USED
 ECTION
 XIST.
 RCP 50-

RA-5/SP81-02
 USE: RESIDENTIAL

KEYNOTES

- ① 6'x10' CONCRETE TRASH PAD
② 40' LINE CONCRETE PAD

LOT "A" =	40,368 S.F.
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LOTS 1-23 =	163,100 S.F.
GROSS AREA =	257,699 S.F.
- LOT "C" & "D"	
NET AREA =	210,656 S.F.

- (A) LANDSCAPE MAINTENANCE BY HOA
(B) WALL ACCESS BY HOA
(C) WALL ACCESS & MAINTENANCE BY HOA
(D) UNDERGROUND DRAINAGE BY HOA
(E) WATER LINE EASEMENT TO CITY OF
CORONA & SURFACE MAINTENANCE BY H
(F) LINE OF SIGHT EASEMENT - HARDSCAPE
& LANDSCAPE NOT TO EXCEED 6-INCHES
FROM CURB/SIDEWALK ELEVATION.
(G) RESTRICTIVE USE EASEMENT
NOTE: LOCATION OF SEE EASEMENT TO BE
DETERMINED AT A LATER TIME PER SEPARA

NOTE: PROPOSED MWS LINEAR 2.0 WATER QUALITY CATCH BASINS AT ENTRANCE TO B MAINTAINED BY HOA.

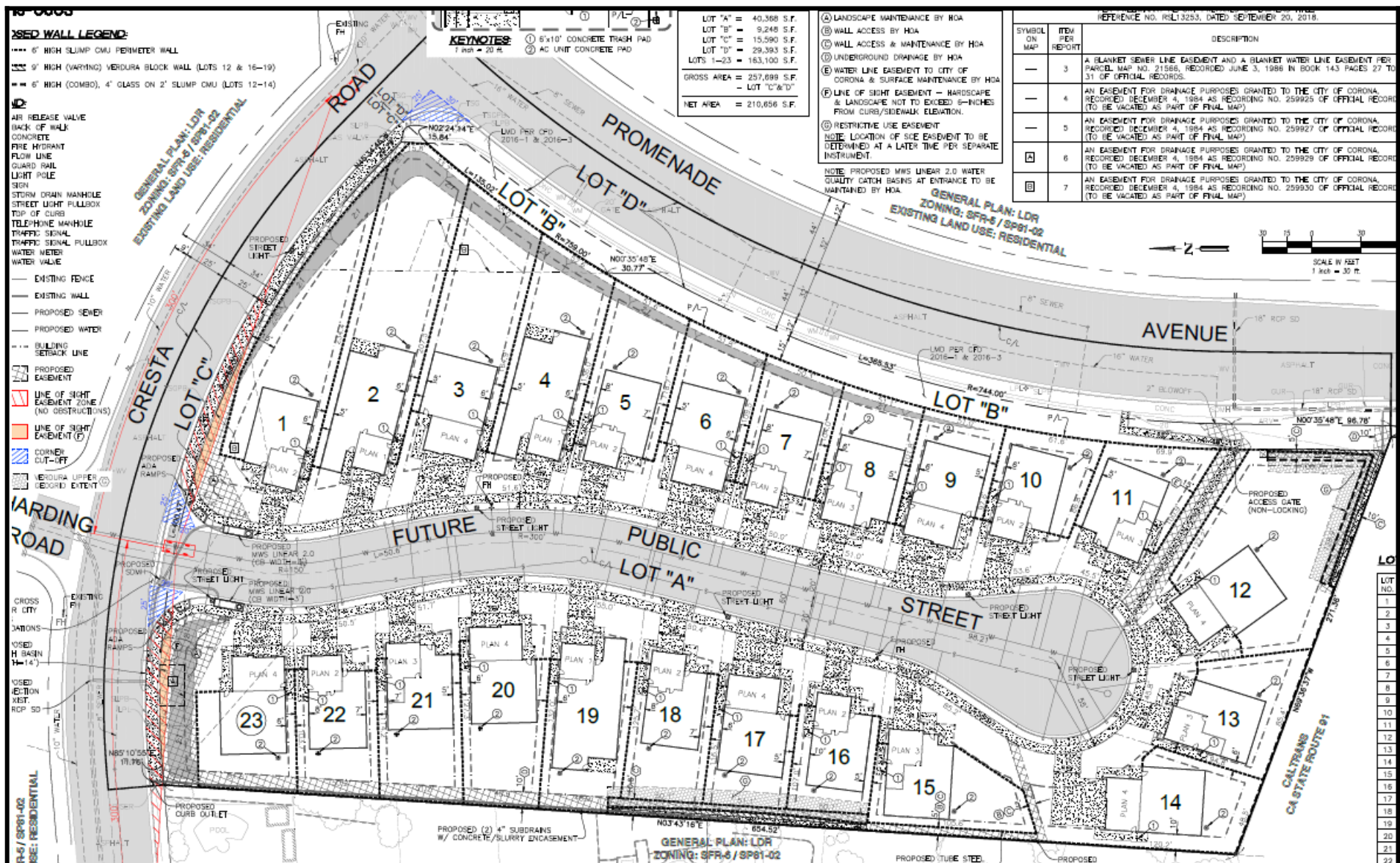
BASINS AT ENTRANCE TO BE
HOA.

GENERAL PLAN: LDR
ZONING: SFR-5 / SP81-02
EXISTING LAND USE: RESIDENTIAL

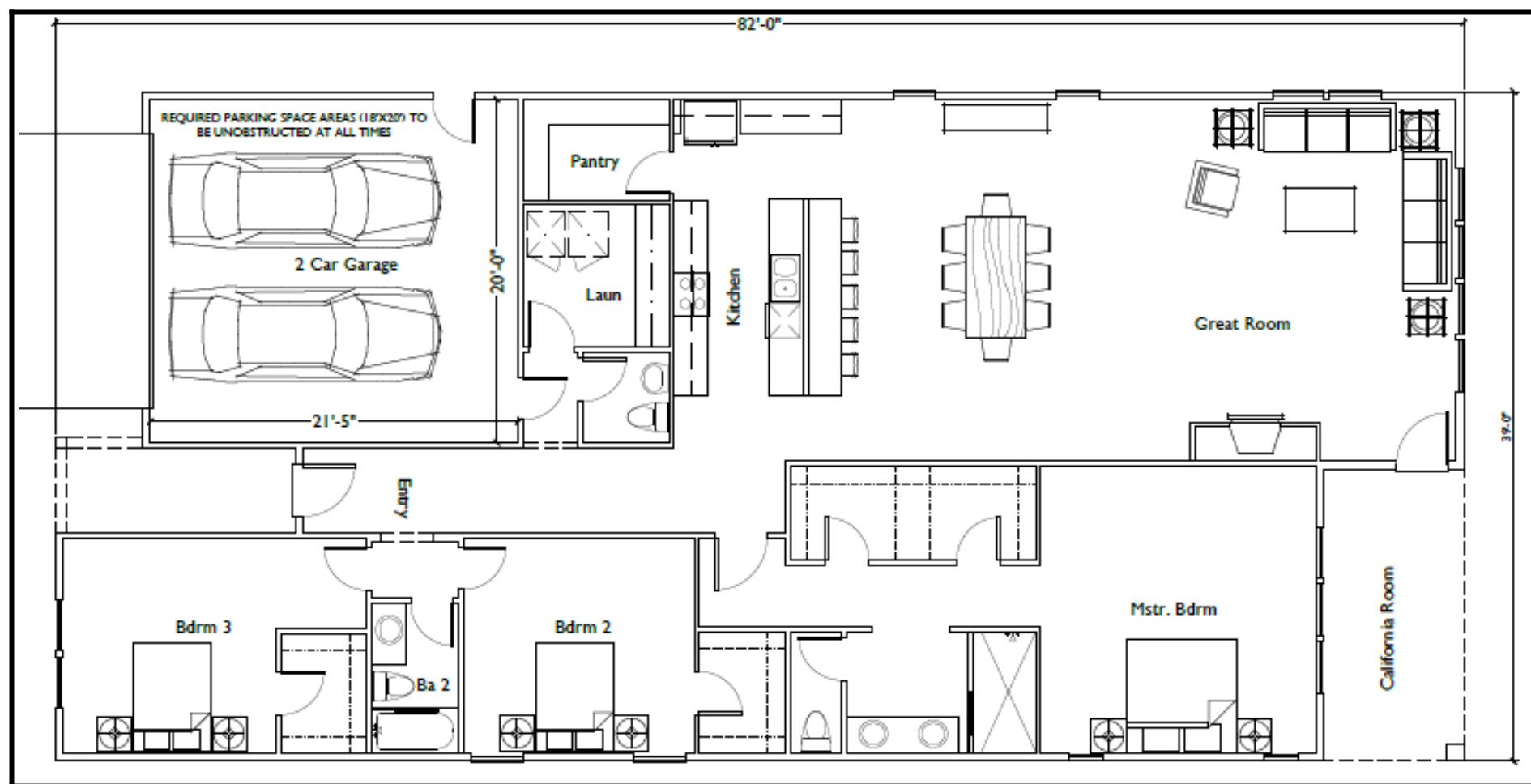
CITY OF CORONA, CALIFORNIA - OFFICIAL RECORDS INDEX		
REFERENCE NO. R0113253, DATED 16 DECEMBER 29, 2018		
SYMBOL ON MAP	ID# PER REPORT	DESCRIPTION
—	3	A BLANKET SEWER LINE EASEMENT AND A BLANKET WATER LINE EASEMENT PER PARCEL MAP NO. 21586, RECORDED JUNE 3, 1986 IN BOOK 143 PAGES 27 TO 31 OF OFFICIAL RECORDS.
—	4	An EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259955 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)
—	5	An EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259927 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)
[A]	6	An EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259959 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)
[B]	7	An EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259930 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)

30 15 0 30

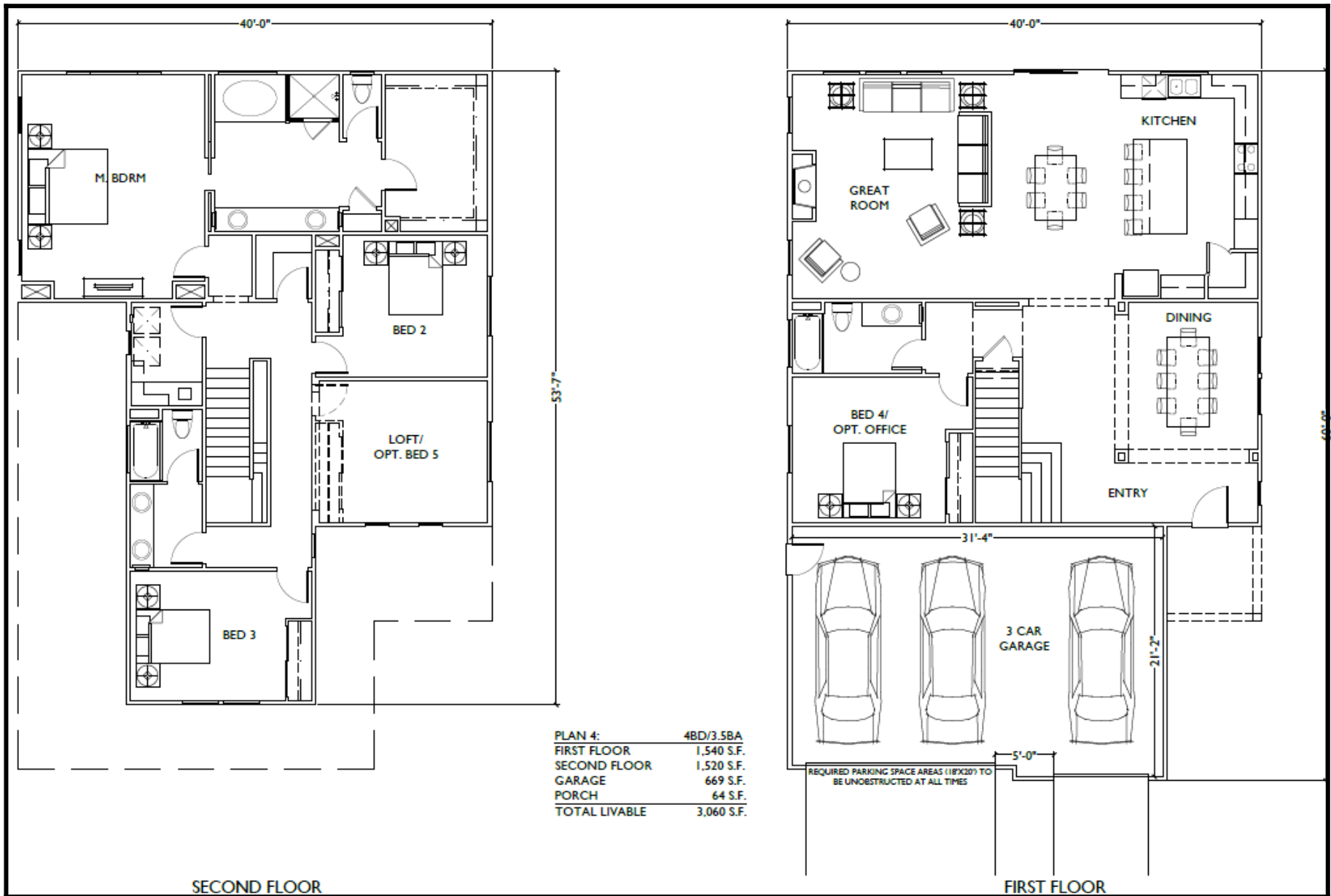
SCALE IN FEET
1 inch = 30 ft



SITE PLAN



SINGLE-STORY FLOOR PLAN
3DB/2.5 BA 2,430 SQ.FT.



TWO-STORY FLOOR PLAN
4DB/3.5 BA 3,060 SQ.FT.



SINGLE-STORY ELEVATIONS



LEFT ELEVATION

CORONA, CA

CORONA



FRONT ELEVATION

PLAN 4B TRADITIONAL ELEVATIONS- SCHEME F



LEFT ELEVATION

CORONA, CA

CORONA



FRONT ELEVATION

PLAN 4C COTTAGE ELEVATIONS- SCHEME I

TWO-STORY ELEVATIONS

LEGEND

1. Proposed Mailbox CBU's, final location per USPS review and approval.
2. Proposed wall, pilaster, gate or fence, per Wall & Fence Plan.
3. Proposed tree, per Planting Plan.
4. 5' wide street sidewalk, natural colored concrete, with light broom finish and narrow tooled joints.
5. 4' wide unit entry walk, with light top-cast finish and saw-cut joints.
6. Public street sidewalk and parkway, per Civil plans.
7. Internal street and curb, per Civil plans.
8. Natural colored concrete driveway, with light broom finish and tooled joints.
9. Private yard, homeowner installed and maintained.
10. Common area HOA landscape, builder installed and HOA maintained.
11. Property line.
12. Public street R.O.W.
13. CFD maintenance area.
14. Existing public street utilities to remain, per Civil plans.
15. DG path along easement.
16. Maintenance gate, per Wall & Fence Plan.

Traffic Sight-line Setback (per Civil Engineer's Plans)
All Landscaping Maintained to 24" Maximum Height

Traffic Sight-line Setback (per Civil Engineer's Plans)
All Landscaping Maintained to 24" Maximum Height

EXISTING SINGLE FAMILY RESIDENTIAL



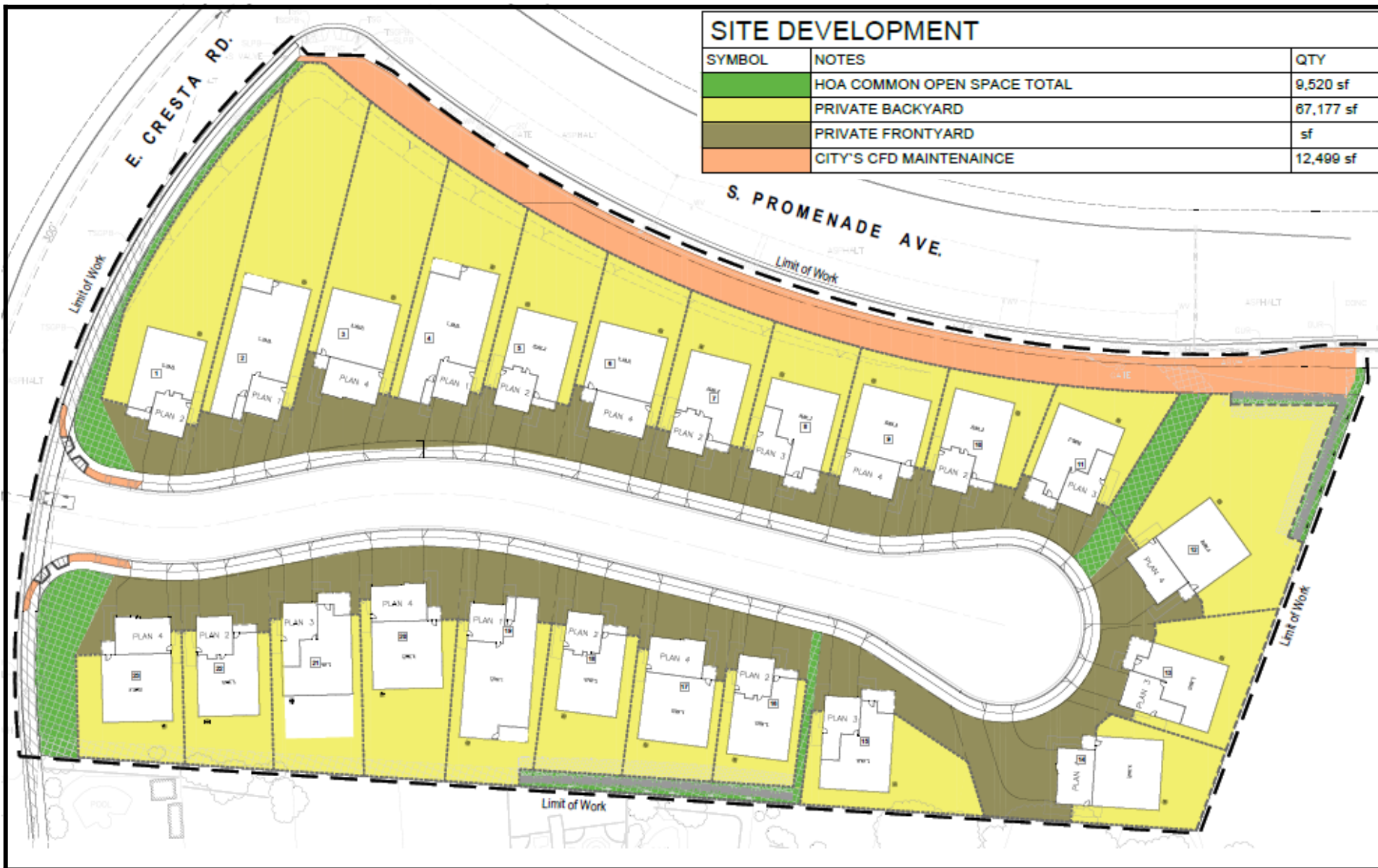
*Images Shown Are Conceptual Only.



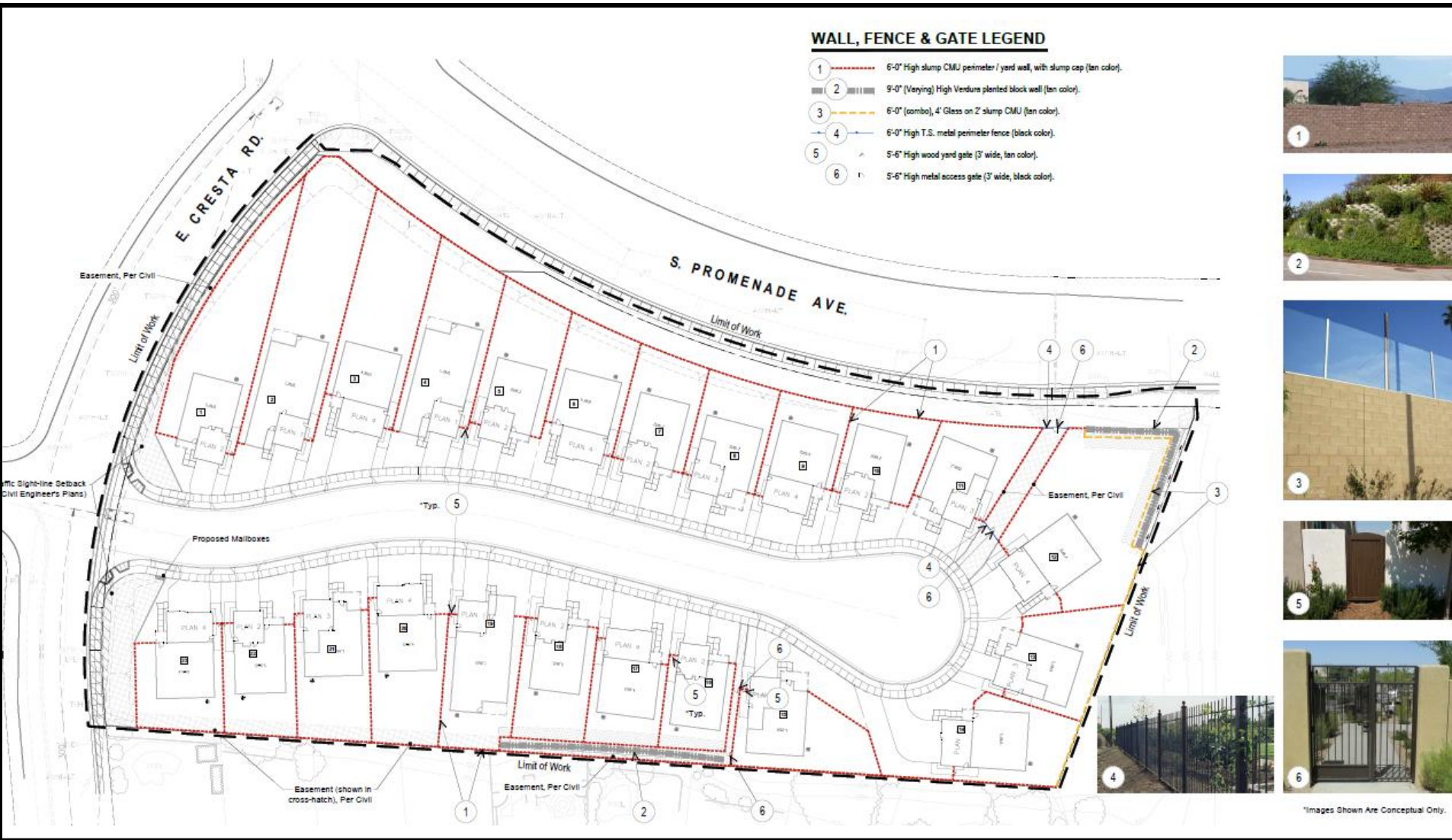
LANDSCAPE PLANS



TYPICAL FRONT YARD LANDSCAPE



HOA MAINTENANCE AREAS




USED WALL LEGEND:


- ==== 6' HIGH SLUMP CMU PERIMETER WALL
 === 9' HIGH (VARYING) VERDURA BLOCK WALL (LOTS 12 & 16-19)
 == 6' HIGH (COMBO), 4' GLASS ON 2' SLUMP CMU (LOTS 12-14)




- AIR RELEASE VALVE
- BACK OF WALK
- CONCRETE
- FIRE HYDRANT
- FLOW LINE
- GUARD RAIL
- LIGHT POLE
- SIGN
- STORM DRAIN MANHOLE
- STREET LIGHT PULLBOX
- TOP OF CURB
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL PULLBOX
- WATER METER
- WATER VALVE

— EXISTING FENCE
— EXISTING WALL
— PROPOSED SEWER
— PROPOSED WATER

 BUILDING SETBACK LINE

 PROPOSED EASEMENT

 LINE OF SIGHT EASEMENT ZONE (NO OBSTRUCTIONS)

 LINE OF SIGHT EASEMENT (F)
 CORNER CUT-OFF
 VERDURA UPPER BEDDING EXTENT (G)

CROSS CITY ROAD

EXISTING ROAD

PROPOSED ROAD

IR-5 / SP-81-02
JSE: RESIDENT

KEYNOTES:
1 inch = 20 mm

- KEYNOTES:** ① 6'x10' CONCRETE TRASH PAD
② AC UNIT CONCRETE PAD

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 - (F) LINE OF SIGHT EASEMENT - HARDSCAPE & LANDSCAPE NOT TO EXCEED 6-INCHES FROM CURB/SIDEWALK ELEVATION.
 - (G) RESTRICTIVE USE EASEMENT
- NOTE: LOCATION OF S/E EASEMENT TO BE DETERMINED AT A LATER TIME PER SEPARATE INSTRUMENT.

NOTE: PROPOSED MWS LINEAR 2.0 WATER QUALITY CATCH BASINS AT ENTRANCE TO BE MAINTAINED BY HOA.

GENERAL PL
ZONING: SFR-5
EXISTING LAND USE:

Table 1

ASPHALT

LMD PER CFO
2016-1 & 2016-

LOT 5

Detail 9 shows a cross-section of the parapet wall and roof assembly. It includes the roof deck, insulation, and the parapet wall structure. A circular detail is shown on the roof surface, and a vertical line indicates the edge of the parapet wall.

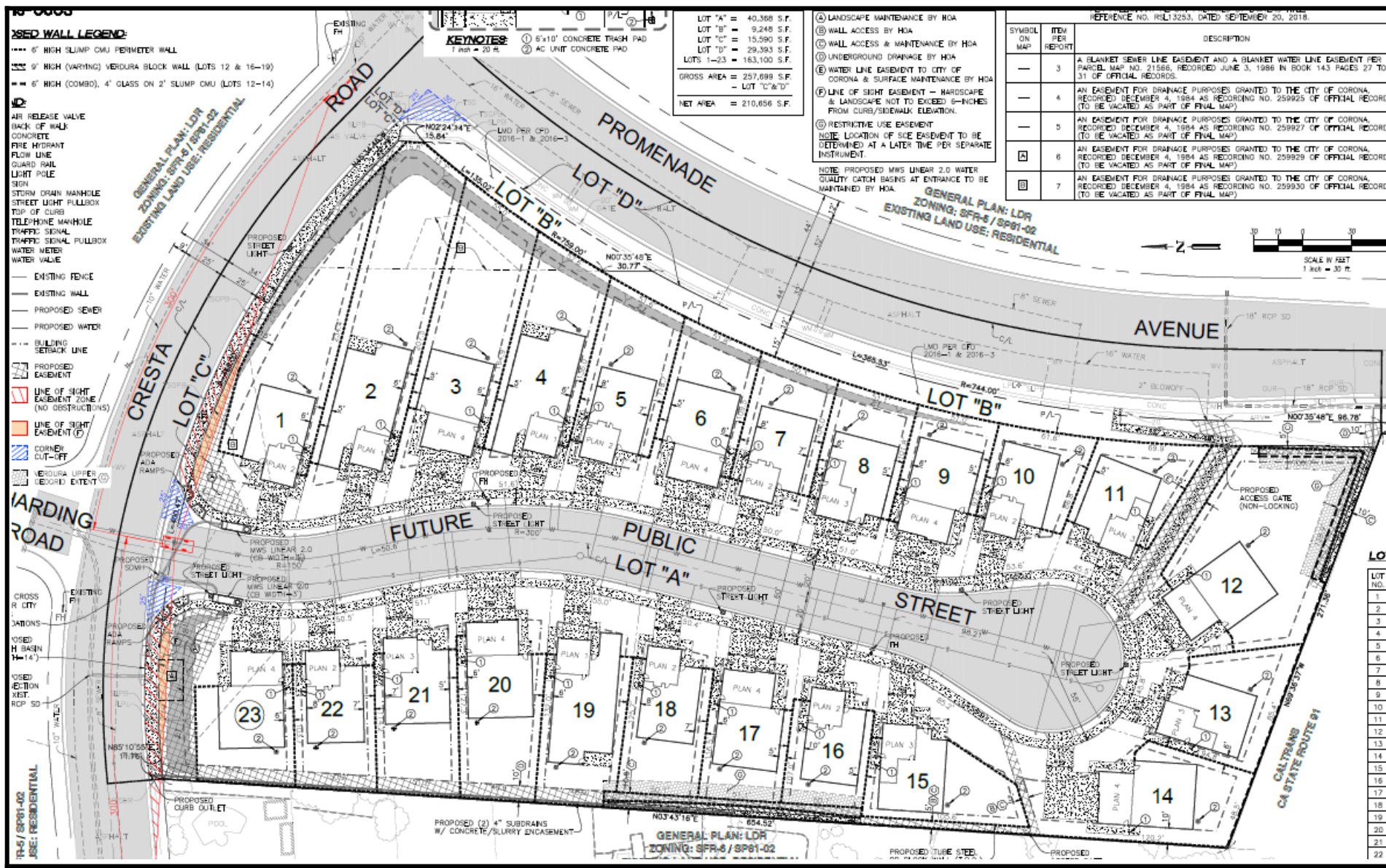
5' 2'

PROPOSED CRUISE SCHEDULE

N

N

REFERENCE NO. RSL 32553, DATED: SEPTEMBER 20, 2018. REFERENCE NO. RSL 32553, DATED: SEPTEMBER 20, 2018.		
SYMBOL ON MAP	ITEM # PER REPORT	DESCRIPTION
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A	6	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259929 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)
B	7	AN EASEMENT FOR DRAINAGE PURPOSES GRANTED TO THE CITY OF CORONA, RECORDED DECEMBER 4, 1984 AS RECORDING NO. 259930 OF OFFICIAL RECORDS (TO BE VACATED AS PART OF FINAL MAP)



SITE PLAN