

CORONA FIRE DEPT. TURNING RADIUS | N.T.S. | 6

NET SITE AREA	SF	ACRES
Gross	209,329	4.81
Street Dedication	0	0.00
NET SITE AREA	209,329	4.81

BUILDING AREA	BUILDING 1
Ground Floor Office	5,000
Manufacturing	10,000
Warehouse	81,690
Total Building Footprint	96,690
Mezzanine (1)	5,000
TOTAL BUILDING AREA	101,690

COVERAGE	FAR
46.2%	48.6%

PARKING REQUIRED	Office	Manufacturing	Warehouse	TOTAL PARKING REQUIRED
1/250	40	20	82	142
1/500				
1/1000				

PARKING PROVIDED	Standard Stalls	Handicap Stalls	Parallel Stalls	Compact Stalls (40%)	TOTAL PARKING PROVIDED
	91	6	4	4	142

PARKING RATIO	DOCK DOORS	GRADE DOORS	TRAILER STALLS
1.40/1000	11	2	0

LANDSCAPE	Required (10%)	Provide SF	TRASH ENCLOSURE	SF
	20,933	21,859	0 to 20,000 sf	60 sf/10,000 sf
			20,000 sf +	60 sf/50,000 sf
	10.4%		TOTAL	218

PROJECT TABULATIONS | 4

SITE INFORMATION	
TENTATIVE PARCEL MAP NO.	XXX
APN:	117-270-021-7, 117-270-022-8
TENTATIVE PARCEL MAP:	
LEGAL DESCRIPTION:	
PARCELS 3 AND 4 OF PARCEL MAP RECORDED APRIL 13, 1976, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 23, PAGE 70 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA	
LAND USE / ZONING:	
EXISTING/PROPOSED GENERAL PLAN:	DOWNTOWN REVITALIZATION SP
EXISTING/PROPOSED ZONING:	BP - BUSINESS PARK
EXISTING LAND USE:	AUTO WORKS BUILDING
UTILITIES:	
WATER:	METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA
SEWER:	CITY OF CORONA DEPARTMENT OF WATER & POWER
GAS:	SOUTHERN CALIFORNIA GAS COMPANY
ELECTRIC:	SOUTHERN CALIFORNIA EDISON
SCHOOL DISTRICT:	
NORCO UNIFIED SCHOOL DISTRICT	
CODE ANALYSIS:	
2018 CBC CODE	B, S
BUILDING OCCUPANCY:	III-B
CONSTRUCTION TYPE:	II-B
FIRE SPRINKLERS (AUTOMATIC):	YES
STORIES:	1
ZONING ANALYSIS:	
MAX COVERAGE/FAR:	50.7%
REG. LANDSCAPING:	10%
MAX. BLDG. HEIGHT:	50'
PARKING/LOADING:	
STANDARD STALL:	9'x20'
COMPACT STALL:	8.5'x17' .40% ALLOWED
PARALLEL PARKING:	10'x25'
MIN. AISLE:	25'; 28' FIRE DEPARTMENT ACCESS LANES

SITE PLAN & CITY NOTES

- NOTES:**
- THE PROPERTY IS NOT WITHIN A SPECIFIC PLAN.
 - THIS AREA IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
 - THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
 - SUBSURFACE SEPTIC SEWAGE IS NOT INTENDED FOR THIS SITE.
 - THE PROPERTY DOES NOT CONTAIN ANY FLAMMABLE/COMBUSTIBLE MATERIALS OR WASTE.
 - THE PROPERTY'S WATER QUALITY FEATURES ARE SHOWN AS PART OF THE CIVIL PACKAGE.
 - LOADING SPACES WILL BE PAVED WITH CONCRETE.
 - SERVICE GATES WILL BE MANUALLY OPERATED W/ KNOX PAD LOCK.
 - SIGN PROGRAM WILL BE UNDER SEPARATED PERMIT.
 - NO ABOVE/GROUND TANKS ARE PROVIDED.
 - SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
 - LANDSCAPE PLANS MUST ALSO BE SUBMITTED AND COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - ALL LANDSCAPING (ON-SITE AND WITHIN THE ROW), FENCES, AND WALLS SHALL BE INSTALLED PER THE APPROVED PLANS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - LANDSCAPE PLANS ARE REQUIRED FOR SLOPES OVER THREE (3) FEET IN HEIGHT WITH SLOPES GREATER THAN 4:1 REQUIRING EROSION CONTROL PLANTING.
 - ALL FENCES, GATES, AND FREESTANDING WALLS SHALL BE SUBMITTED FOR PLAN CHECK AS A SEPARATE SUBMITTAL.

- FIRE DEPARTMENT NOTES:**
- FIRE DEPARTMENT ACCESS SHALL COMPLY WITH FIRE DEPARTMENT FIRE PROTECTION STANDARDS.

- CALGREEN NOTES:**
- PROJECT SITE IS LARGER THAN ONE ACRE - A STORM WATER POLLUTION PLAN IS REQUIRED (CG 5.106.1).
 - VISITOR BICYCLE PARKING RACKS SHALL BE PROVIDED WITHIN 200 FEET OF BUILDING ENTRANCES, FOR A MINIMUM OF 5% NEW VISITOR VEHICULAR PARKING (CG 5.106.4.1).
 - IN BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, SECURE, LONG-TERM BICYCLE ENCLOSURES OR LOCKERS SHALL BE PROVIDED ON-SITE, FOR A MINIMUM OF 5% NEW TENANT VEHICULAR PARKING (CG 5.106.5.1). COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT INDOORS IN AMOUNTS PROPORTIONAL TO THE PARKING REQUIRED FOR EACH TENANT IMPROVEMENT.
 - CLEAN AIR PARKING SPACES SHALL BE PROVIDED ON SITE FOR CARPOOLS & FUEL-EFFICIENT VEHICLES, FOR A MINIMUM NUMBER OF SPACES PROPORTIONAL TO REQUIRED VEHICLE PARKING PER CALGREEN TABLE (CG5.106.5.2).
 - LIGHTING DESIGN SHALL LIMIT GLARE AND UPLIGHT AND COMPLY WITH LOCAL CODES AND CALGREEN (CG 5.106.8).
 - THIS PROJECT'S PLUMBING FIXTURES SHALL BE 20% WATER-CONSERVING (CG 5.303.2). BEING A SHELL BUILDING, COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT.
 - FOR PROJECTS WITH OVER 1,000 SF OF LANDSCAPING, SEPARATE SUBMITTERS OR METERING DEVICES SHALL BE INSTALLED FOR OUTDOOR POTABLE WATER USE, AND IRRIGATION SYSTEM SHALL HAVE WEATHER-OR SOIL MOISTURE-BASED AUTOMATIC CONTROLLERS (CG 5.304.2&3).
 - A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE DEVELOPED, DEMONSTRATING A MINIMUM OF 50% RECYCLING AND/OR SALVAGING OF NON-HAZARDOUS CONSTRUCTION WASTE AND COMPLYING WITH CALGREEN REQUIREMENTS (CG 5.408.1).
 - 100% OF LAND-CLEARED SOILS AND VEGETATION SHALL BE REUSED OR RECYCLED (CG 5.408.3).
 - PER SECTION 5.410.2, EXCEPTIONS 1 & 2, COMMISSIONING IS NOT REQUIRED FOR DRY STORAGE WAREHOUSES OR AREAS USED FOR OFFICES LESS THAN 10,000 SF IN DRY STORAGE WAREHOUSES (CG 5.410.3).
 - ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE VOC AND TOXIN LIMITS LISTED (CG 5.504).
 - SMOKING SHALL BE PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS (CG 5.504.7).

- FIRE GENERAL NOTES:**
- STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
 - ANY OVERHEAD OBSTRUCTION SUCH AS THE SECOND STORY OF A BUILDING, PORTE COCHERE, ETC., THAT INTRUDES INTO THE REQUIRED CLEAR WIDTH OF FIRE VEHICLE ACCESS DRIVES SHALL PROVIDE A MINIMUM CLEAR HEIGHT OF FIFTEEN (15) FEET UNLESS OTHERWISE APPROVED BY THE FIRE CHIEF.
 - FIRE HYDRANTS ARE TO BE SPACED A MAXIMUM OF 250 FEET APART.
 - GROVES AND NEED ABATEMENT SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD UNTIL TIME OF DEVELOPMENT.
 - TRASH ENCLOSURES IN EXCESS OF 1.5 CUBIC YARDS SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF COMBUSTIBLE CONSTRUCTION OR BUILDING OPENINGS.
 - THE FIRE SERVICE WATERLINE SHALL BE LOOPED AND PROVIDED WITH TWO (2) SEPARATE POINTS OF CONNECTION.
 - FIRE EXTINGUISHERS SHALL BE PROVIDED PRIOR TO OCCUPANCY. FIRE EXTINGUISHERS SHALL BEAR A CALIFORNIA STATE FIRE MARSHAL'S SERVICE TAG; IT SHALL BE APPROPRIATELY RATED FOR THE HAZARD; IT SHALL BE MOUNTED SO THAT THE TOP OF THE EXTINGUISHER DOES NOT EXCEED SEVENTY-FIVE (75) FEET.
 - THE BUILDINGS HOUSING HIGH-PILED COMBUSTIBLE STOCK SHALL COMPLY WITH THE PROVISIONS OF THE UNIFORM FIRE CODE ARTICLE 81 AND NFPA STANDARD 231(c). HIGH-PILED COMBUSTIBLE STOCK MAY REQUIRE MODIFICATIONS OF THE FIRE SPRINKLER SYSTEMS, SMOKE VENTS, DRAFT CURTAINS, FIRE DEPARTMENT ACCESS AND FIRE DEPARTMENT ACCESS ROADS.
 - IN STRUCTURES OF UNDETERMINED USE, THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE FOR AN ORDINARY HAZARD, GROUP 2, AND NOT BE LESS THAN 20 gpm/1500 SF OF BUILDINGS INTENDING TO HOUSE HIGH-PILED COMBUSTIBLE STORAGE SHALL BE PROVIDED WITH A FIRE SPRINKLER SYSTEM DESIGNED TO PROTECT THE POTENTIAL HAZARD.
 - AT NO TIME SHALL FIRE HYDRANTS OR FIRE LANES BE BLOCKED BY BUILDING MATERIALS, STORAGE, EQUIPMENT, AND/OR VEHICLES.
 - PROJECT SHALL HAVE APPROVED ALL WEATHER ACCESS FROM TWO DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.
 - MEET WITH CORONA FIRE DEPARTMENT TO DETERMINE LOCATIONS OF RED CURBING AND SIGNAGE BY FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND DESIGNATED FIRE LANES ON-SITE.
 - PROVIDE CLASS A ROOFING MATERIAL.
 - THE DEVELOPER SHALL MEET WITH CORONA FIRE DEPARTMENT PRIOR TO CONSTRUCTION TO DETERMINE THE LOCATION OF FIRE DEPARTMENT CONNECTIONS FOR SPRINKLER SYSTEM, POST INDICATOR VALVES, ETC. CALL (909) 736 2220.
 - HAZARDOUS MATERIALS DISCLOSURE AND BUSINESS EMERGENCY PLAN REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO OCCUPANCY OR USE.

KEYNOTES	
1.0 GENERAL	
1.1	PROPERTY LINE/ R.O.W. - REFER TO CIVIL DRAWINGS
1.2	EASEMENT - REFER TO CIVIL DRAWINGS
1.3	STANDARD PARKING STALL(S) - TYP.
1.4	ADA-ACCESSIBLE PARKING STALL(S)
1.5	CLEAN AIR/ VAN POOL/ EV PARKING STALL(S) PER CALGREEN 5.106.5.2
1.6	COMPACT PARKING STALL(S)
1.7	5-WAY DRIVE AISLE: 24'W MIN.
1.8	FIRE DEPT. ACCESS DRIVE: 30'W MIN.
3.0 CONCRETE	
3.1	TILT-UP CONCRETE BUILDING WALL
3.2	CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
3.3	CONCRETE STAIR W/ HANDRAIL
3.4	TILT-UP CONCRETE SCREEN WALL, PTD.
3.5	TILT-UP CONCRETE TRASH ENCLOSURE WITH (4) 3 C.Y. BINS, 6' TALL TYP. REFER TO 4/A1.2
3.6	TILT-UP CONCRETE GUARDRAIL T.O.W. 42" ABOVE HIGH SIDE
3.7	CONCRETE RETAINING WALL - SEE CIVIL
5.0 METAL FABRICATIONS	
5.1	STEEL PIPE BOLLARD, REFER TO 1/A0.2
12.0 FURNISHINGS	
12.1	BICYCLE RACK PER CAL GREEN; LONG-TERM 5% OF EMPLOYEE PARKING - REFER TO TABULATIONS
12.2	BICYCLE RACK PER CAL GREEN; SHORT-TERM 5% OF VISITOR PARKING - REFER TO TABULATIONS
21.0 FIRE SUPPRESSION - REFER TO FIRE PROTECTION DRAWINGS	
21.1	NOT IN USE
32.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.	
32.1	LANDSCAPE PLANTING AREA
32.2	CONCRETE WALKWAY
32.3	CONCRETE CURB, TYP.
32.4	PRECAST CONCRETE WHEEL STOP
32.5	VEHICULAR PAVING
32.6	CONCRETE COMMERCIAL DRIVEWAY
32.7	CONCRETE TRUCK DOCK APRON
32.8	WROUGHT IRON GATE W/ MOTOR & KNOX PADLOCK - 8' TALL
32.9	MAJOR VARIANCE - REDUCE REAR LANDSCAPE SETBACK TO 0'-0"
32.10	10' CORNER CUT
33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL	
33.1	BIO-SWALE
33.2	ELECTRICAL TRANSFORMER
33.3	(E) POWER POLE
33.4	(E) FIRE HYDRANT
33.5	PROPOSED FIRE HYDRANT SPACED 250' APART MAX.

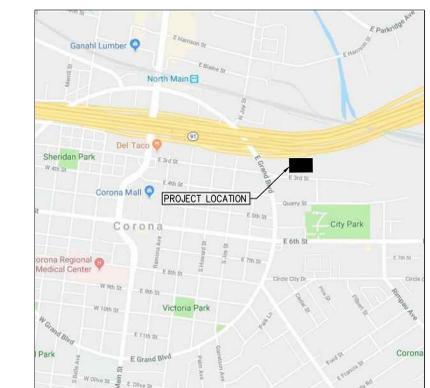
GENERAL NOTES

- GUARDS SHALL BE LOCATED ALONG OPEN SIDE OF WALKING SURFACES, STAIRS, FRAMES AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS ARE NOT REQUIRED ON THE LOADING SIDE OF LOADING DOCKS (CG 1013.2).
- THE RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2.083%).
- THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM.
- THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.

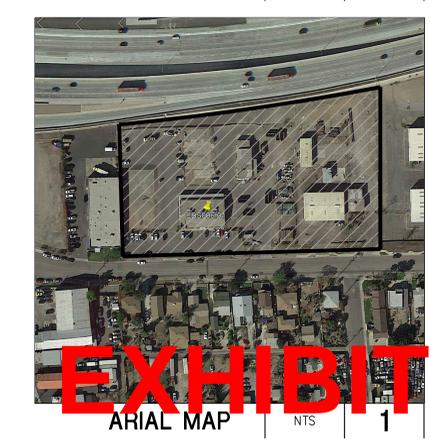
SITE PLAN - LEGEND

- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.), AND 1:48 MAX CROSS SLOPE
- ACCESSIBLE PARKING STALL(S), TYP.
- PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- COMPACT PARKING STALL(S), TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS

KEYNOTES | N.T.S. | 3

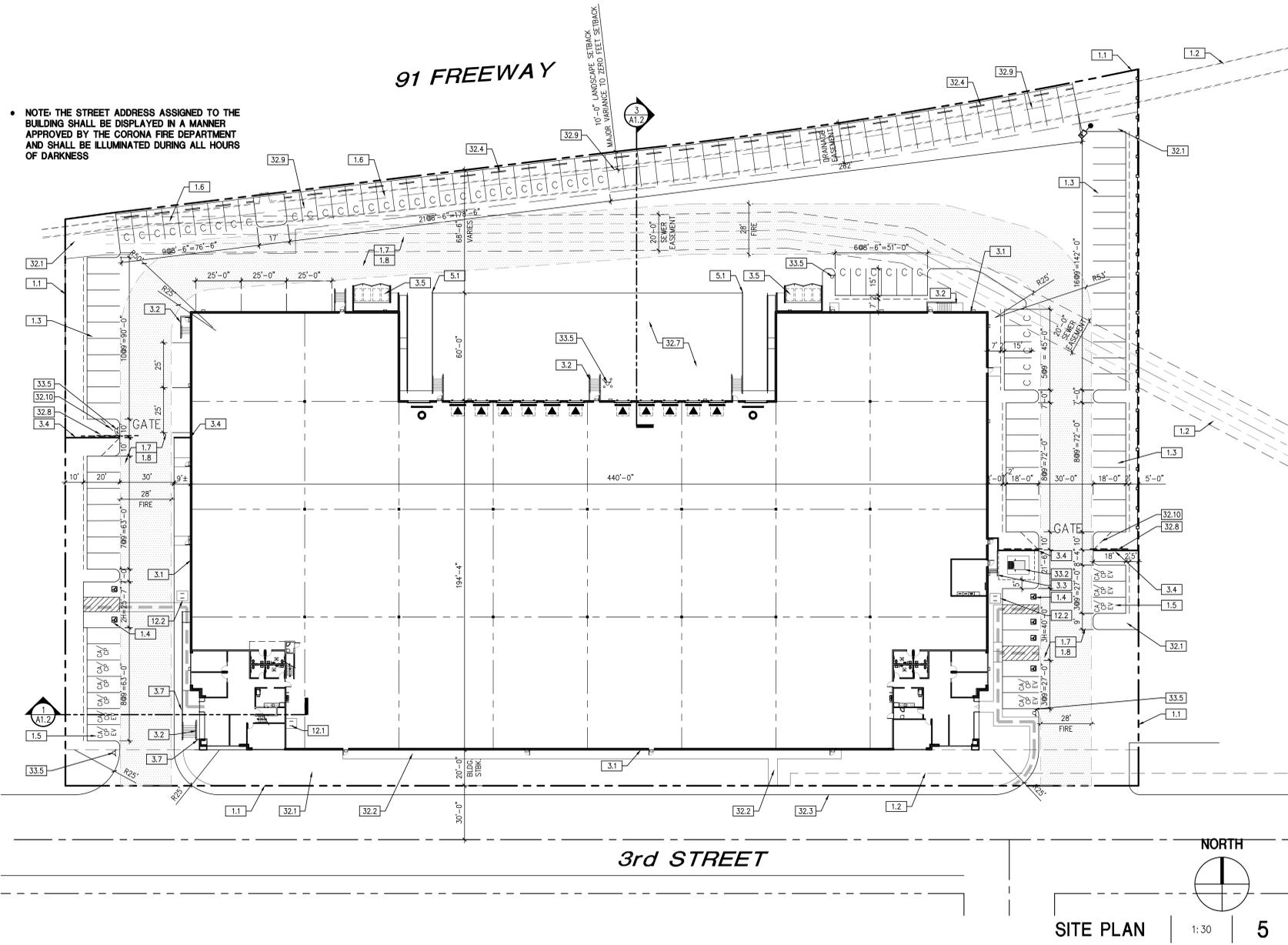


VICINITY MAP | N.T.S. | 2



ARIAL MAP | N.T.S. | 1

NOTE: THE STREET ADDRESS ASSIGNED TO THE BUILDING SHALL BE DISPLAYED IN A MANNER APPROVED BY THE CORONA FIRE DEPARTMENT AND SHALL BE ILLUMINATED DURING ALL HOURS OF DARKNESS



SITE PLAN | 1:30 | 5



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EBS REALTY PARTNERS
INDUSTRIAL PARK
903 EAST THIRD STREET WAREHOUSE
CORONA, CA 92879
DEVELOPED FOR:
EBS REALTY PARTNERS

NO.	DESCRIPTION	DATE
1	DESIGN REVIEW SUBMITTAL	08/20/19
2	DESIGN REVIEW 2nd SUBMITTAL	09/19/19

SITE PLAN PROJECT TABULATIONS

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JOB NO.	EBS006.01	SHEET NO.
DATE	06/03/19	A11
DR	GAA	
FILE NAME	EBS006_L1	

EXHIBIT 2