

SITE PLAN	1:30	5
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FIRE GENERAL NOTES:

STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CHIEF ENGINEER.

NO OVERHEAD OBSTRUCTION SUCH AS THE SECOND STORY OF A BUILDING, POLE COCHERE, ETC., THE INTRUSION INTO THE REQUIRED CLEAR WIDTH OF FIRE VEHICLE ACCESS DRIVWAYS SHALL PROVIDE A MINIMUM CLEAR HEIGHT OF FIFTEEN (15) FEET.

OVERHEAD OBSTRUCTIONS SHALL BE REMOVED OR RELOCATED TO MEET THIS REQUIREMENT.

FIRE HYDRANTS ARE TO BE SPACED A MAXIMUM OF 250 FEET APART.

WATER AND WEED ABatement SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD.

GRAVES OF ANY TYPE SHALL BE MAINTAINED TO PREVENT OBSTRUCTION.

TRASH ENCLOSURES IN EXCESS OF 1.5 CUBIC YARDS SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF COMBUSTIBLE CONSTRUCTION OR BUILDING OPENINGS.

THE FIRE SERVICE WATERING SHALL BE LOOPED AND PROVIDED WITH TWO (2) INCHES OF DIAMETER OF SEPARATE PIPES.

FIRE EXTINGUISHERS SHALL BE PROVIDED PRIOR TO OCCUPANCY. FIRE EXTINGUISHER SHALL BEAR A CALIFORNIA STATE, FIRE MARSHALL'S SERVICE TAG, IT SHALL BE MAINTAINED AND RATED TO MEET THE REQUIREMENT. IT SHALL BE NOTED THAT THE RATING OF THE EXTINGUISHER DOES NOT EXCEED SEVEN-AND-A-HALF (7-1/2) FEET.

BUILDINGS HOUSING HIGH-PILED COMBUSTIBLE STOCK SHALL COMPLY WITH THE PROVISIONS OF THE UNIFORM FIRE CODE ARTICLE 811 AND NFPA STANDARD 231(c).

EXISTING COMBUSTIBLE STOCK SHALL BE REMOVED FROM THE BUILDING PRIOR TO SPRINKLER SYSTEMS, SMOKE VENTS, DRIFT CURTAINS, FIRE DEPARTMENT ACCESS AND FIRE DEPARTMENT ACCESS ROADS.

THE MINIMUM FIRE SPRINKLER DESIGN DENSITY REQUIRED SHALL BE FOR AN ORDINARY HAZARD, GROUP 2, AND NOT BE LESS THAN .20 gpm/100 sq. ft. BUILDINGS INTENDING TO HOUSE HIGH-PILED COMBUSTIBLE STORAGE SHALL BE PROVIDED WITH A FIRE SPRINKLER SYSTEM DESIGNED TO PROTECT THE POTENTIAL HAZARD.

AT NO TIME SHALL FIRE HYDRANTS OR FIRE LINES BE BLOCKED BY BUILDING MATERIALS, STORAGE, EQUIPMENT, AND/OR VEHICLES.





THE DEVELOPER SHALL HAVE ACCESS TO THE FIRE DEPARTMENT FROM TWO DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.

THE DEVELOPER SHALL HAVE CORONA FIRE DEPARTMENT TO DETERMINE LOCATIONS OF RED CURBING AND SIGNAGE FOR FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND DESIGNATED FIRE LANES ON SITE.

PROVIDE CLASS A ROOFING MATERIAL.

THE DEVELOPER SHALL MEET WITH CORONA FIRE DEPARTMENT PRIOR TO CONSTRUCTION TO DETERMINE THE LOCATION OF, FIRE DEPARTMENT CONNECTIONS FOR SPRINKLER SYSTEM, POST INDICATOR VALVES, ETC. CALL (909) 736 2220 TO REQUEST A MEETING TO REVIEW THE REQUIREMENTS OF THE FIRE FLOW REQUIREMENT BE SUBMITTED AND APPROVED PRIOR TO OCCUPANCY OR USE.

SITE PLAN - LEGEND

	ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (V.N.O.), AND 1:48 MAX CROSS SLOPE
	ACCESSIBLE PARKING STALL(S), TYP.
CA/ CP	PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
C	COMPACT PARKING STALL(S), TYP.
	LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
	FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS

[illegible]