



Agenda Report

File #: 20-0680

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 8/24/2020

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

PP2020-0001: Precise Plan application for the review of an apartment complex consisting of 15 units on 1.13 acres in the R-3 (Multiple Family Residential) zone located on the north side of West 8th Street, approximately 170 feet east of Sherman Avenue. Applicant is Hannibal Petrossi of Petrossi & Associates, Inc., 1300 Bristol Street North, Suite 270, Newport Beach, CA 92660.

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2559 GRANTING PP2020-0001 based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 1.13 acres

Existing Zoning: R-3 (Multiple Family Residential)

Existing General Plan: HDR (High Density Residential, 15-36 du/ac)

Existing Land Use: Undeveloped

Proposed Land Use: 15-unit apartment complex

Surrounding Zoning/Land Uses:

N: C-3 (General Commercial) zone / 7th Street and commercial buildings

E: MP (Mobile Park) zone / Riverside County Flood Control storm drain channel and mobile home park

S: R-3 zone / 8th Street and church

W: R-3 zone / Senior Apartments

BACKGROUND

Precise Plan 2020-0001 is an application to review the development of 15 apartments on 1.13 acres located east of Sherman Avenue between 7th and 8th Streets. The site is a rectangular-shaped parcel with frontage on both streets. An improved concrete flood channel runs along the eastern perimeter

of the site. Senior apartments are located to the west. Properties to the north and south contain commercial development and a church.

The zoning of the project site is R-3 (Multiple Family Residential) and the General Plan designation is High Density Residential (HDR), which permits multiple-family units and a maximum density of 36 dwelling units per acre.

The site was previously approved for 16 condominium units in 2005, by Conditional Use Permit (04-020) and Tentative Tract Map (33058). However, the development was never constructed, and the approvals expired in 2007.

The current proposal was preliminarily reviewed by staff as DPR2019-0026 on December 5, 2019. The applicant submitted the official precise plan application to the City on April 8, 2020, which was reviewed by the Project and Environmental Review Committee on April 23, 2020. Staff deemed the application incomplete and provided the applicant a letter outlining missing items. The applicant submitted the missing items and the application was deemed complete on July 27, 2020 and scheduled for a hearing before the Planning and Housing Commission on August 24, 2020.

Recently Approved Housing Legislation

On October 9, 2019 Governor Newsome signed into law Senate Bill 330, known as the Housing Crisis Act of 2019, which is intended to address California's housing shortage. The bill went into effect January 1, 2020. Under the bill a housing development may only be required to comply with the ordinances, policies, and standards that are adopted by a local agency, and in effect when a preliminary application is submitted. Essentially this means a residential developer only needs to meet the minimum code requirements that were in effect at the time the developer submitted his/her Development Plan Review (DPR) application. For example, if the residential project meets the minimum parking requirement and open space requirement under the Corona Municipal Code (CMC), the City cannot require additional parking or open space, even if the project is subject to a discretionary review process.

PROJECT DESCRIPTION

Site Plan

Attached as Exhibit 3.A is the project's proposed site plan. The development proposes to construct two two-story buildings containing a total of 15 attached apartments. Building A contains six units which are located along the site's west perimeter. Building B contains nine units which are located along the east perimeter. Both buildings are designed with the units facing inward towards a central 28-foot wide interior drive aisle that provides vehicular access to all the units' garages. The north end of the site contains a trash enclosure, common outdoor area, and guest parking lot.

By code definition, when a lot has two street frontages, the shorter street frontage is considered the front yard, which dictates building setbacks. For the project site, the 7th Street frontage is the shorter of the two, therefore the front yard faces 7th Street, and the rear yard faces 8th Street. The R-3 zone requires the following perimeter building setbacks:

- 25 feet for the front yard;
- 10 feet for the rear yard;
- 7.5 feet for the interior side yards for two-story buildings.

The proposed buildings comply with the minimum perimeter setbacks. The buildings are also separated from each other by 45 feet, which is the minimum requirement for two-story buildings separated by a drive aisle.

Architecture

As shown on Exhibit 3.C, the buildings have Mediterranean architectural accents, and the walls have a stucco finish painted in a warm neutral color. A darker accent color and stone veneer material are proposed around the garage openings. Stone veneer is also applied around the lower portions of the buildings. The roof material is comprised of brown clay tiles. A roof is provided over the two-car garages as an accent to the buildings. Decorative ceramic accent tiles with foam molding trims are placed throughout the building's facades.

The buildings are approximately 31 feet in height, which complies with the R-3 zone's maximum building height limit of 40 feet. The buildings also include parapet walls to screen rooftop air conditioning units from public view.

Floor Plans

The floor plans of the buildings are shown in Exhibit 3.D. Each unit has two floors with an attached two-car garage. The living area, exclusive of the garage, is approximately 1,335 square feet. The R-3 zone requires a minimum living area requirement of 600 square feet. The ground floor contains an exterior entry into the unit, a living and dining area, powder room, kitchen, and the garage, which has access into the living area. Washer and dryer hookups are provided within the garage. The second floor contains two bedrooms, a den/study area, two bathrooms, and storage space.

Trash Enclosures

Per CMC Section 17.79.040, the City requires a ratio of six (6) square feet of trash enclosure per dwelling unit. The project requires a trash enclosure of at least 90 square feet. As shown on Exhibits 3.A and 3.H, the project proposes a 254 square-foot enclosure adjacent to the guest parking spaces. The enclosure has a veneer base with a stucco finish on the upper portion, which matches the architecture of the buildings. The enclosure is required to be designed to accommodate an organic waste bin, per CMC Section 8.20.

Common and Private Outdoor Living Space

Section 17.24.220 of the municipal code requires the project to provide usable outdoor living space based on a minimum ratio of 200 square feet of outdoor living space per unit. With 15 proposed units, 3,000 square feet of outdoor living space is required. At least 50 percent of the total required space shall be provided onsite in a single common area for recreational purposes. Also, at least 25 percent of the total required space shall be provided in the form of a private balcony or patio contiguous to each unit. The following table summarizes the project's outdoor living space requirement:

Table A
Outdoor Living Space

| Use | Minimum Requirement per CMC § 17.24.220 | Provided |
|---------------------------|--|----------------------------|
| Total outdoor living area | 3,000 sq. ft. | 5,427 sq. ft. |
| Single common area | 1,500 sq. ft. | 3,069 sq. ft. |
| Private patios | 50 sq. ft. per patio | 227 sq. ft. to 828 sq. ft. |

The private patios and common outdoor area are shown on the applicant's site plan and landscape plan in Exhibits 3.A and 3.E, respectively. The single common area is proposed on the north portion of the site and includes a lawn area, tot lot, covered picnic table, and barbeque station.

Landscaping

Exhibit 3.E depicts the project's conceptual landscape plan, which will be installed by the applicant. The plan proposes six different species of trees ranging in size from 24-inch to 36-inch box. The trees will be planted along the central drive aisle between the units, around the common area, and along both street frontages on 7th and 8th Streets. Also proposed are various shrubs, vines, and groundcover to be planted within the front yard setback and in the common open space. Live turf is proposed for open lawn areas within the common open space, consistent with the City's landscape ordinance, which only allows live turf in multi-family residential projects when used for recreational or functional purposes.

The applicant is required to install landscaping and 24-inch street trees within the parkway along 8th Street adjacent to the project site. No parkway planting is required on 7th Street adjacent to the project site as the segment of 7th Street from Sherman Avenue to the project site is currently designed with no parkway.

Fences and Walls

Solid perimeter fencing is proposed around the project site for privacy and buffering purposes. The west perimeter will have a six-foot high vinyl fence between the project's patios and the senior apartments to the west. The site's east perimeter has an existing 18 to 24-inch wall, which the applicant proposes to maintain and top with a new four-foot high vinyl fence. This would result in a six-foot high combination fence consisting of block and vinyl. The north perimeter of the site, which abuts a commercial development, keeps an existing combination block and wrought iron fence. The northeast corner has an existing wrought iron fence that the applicant will replace with a six-foot high block wall. The patios on the end-units will be enclosed by a six-foot high decorative block wall, as these areas would be directly visible from the public streets. All private patios will be separated by six-foot high vinyl fencing.

Access, Circulation, and Public Improvements

The project's primary vehicular access into the site is provided from 7th Street via a 28-foot wide driveway located on the north end of the site. A secondary access point is located on the south end of the site and provides vehicular access from 8th Street. Both driveways allow for ingress and egress. The site has a centrally located drive-aisle that provides vehicular access to the garages. The drive aisle meets the Fire Department's 28-foot width requirement for fire truck access and will

serve as a fire lane. The drive aisle curbs will be painted red to prohibit parking within the fire lane.

The applicant is required to construct the missing public improvements on 7th and 8th Streets adjacent to the site. On 7th Street, the improvements include the construction of curb and gutter and a six-foot wide sidewalk. On 8th Street, the improvements include curb and gutter and a 12-foot wide landscape parkway, which includes a 4-foot wide sidewalk. The applicant is also required to grind and overlay the north half of 8th Street adjacent to the site, plus 10 additional feet on the south half of 8th Street.

Parking

Per Chapter 17.76 of the municipal code, which regulates off-street parking requirements, multiple family residential developments are required to provide parking based on the following ratios:

- 1-bedroom unit - 1.5 covered spaces, plus 1 uncovered guest space/5 units
- 2-bedroom unit - 2 covered spaces, plus 1 uncovered guest space/5 units
- 3 or more bedroom unit - 2.5 covered spaces, plus 1 uncovered guest space/5 units

All 15 units within the project have two bedrooms per unit; therefore, the project is required to provide a minimum of 30 covered parking spaces and 3 uncovered guest spaces. The proposed project proposes a two-car garage for each unit and 7 uncovered guest parking spaces. Table B summarizes the parking requirements.

Table B
Parking Requirement

| Building | No. of dwelling units | Parking Ratio | Parking Required | Parking Provided |
|-----------------|------------------------------|--|-------------------------|-------------------------|
| A | 6 | 2 covered spaces/2-bedroom unit | 12 | 12 |
| B | 9 | 2 covered spaces/2- bedroom unit | 18 | 18 |
| | | 1 uncovered guest parking/5 dwelling units | 3 | 7 |
| | | Total | 33 | 37 |

Signage

The applicant's site plan conceptually depicts the locations where a monument sign could be constructed at the project driveways on 7th and 8th Streets. Exhibit 3.G depicts the proposed monument sign, which is six feet in height and has a sign area of 24 square feet. The R-3 zone permits a maximum sign area of 60 square feet per Section 17.74.150 of the municipal code. The signs match the buildings in terms of color and materials. The sign has a triangular cap with fabric aluminum trim and channel letterings displaying the name "Corona Apartment Homes". The proposed monument sign is outside the required 10-foot corner cut-off area at each driveway, which provide adequate visibility of traffic and pedestrians.

ENVIRONMENTAL ANALYSIS

Per Section 15332 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.22 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 32 (Infill Development Projects) categorical exemption. The proposed multifamily residential development is consistent with the site's HDR General Plan designation and R-3 zone. The site is within city limits, less than five acres, and substantially surrounded by urban uses. The site has no value as habitat for endangered, rare, or threatened species, and approval of the project would not result in significant effects relating to traffic, noise, air-quality, or water-quality. The site can be adequately served by all required utilities and public services. The Notice of Exemption is attached as Exhibit 4.

FISCAL IMPACT

The applicant has paid the application processing fees to cover the cost of the precise plan review, as required by City resolution.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly News* and posted at the project site. As of the preparation of this report, the Community Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

The proposed apartment development is a permitted use in the R-3 zone, and its density of 13.27 dwelling units per acre is within the density range of 15 to 36 dwelling units per acre allowed under the General Plan's HDR designation. The proposed multifamily residential use is appropriate for the area, which is comprised primarily of commercial and multifamily residential uses.

The project has been designed to meet the standards for building setbacks, parking, common and private outdoor space, and signage. Perimeter fencing will be provided to provide privacy for the future residences within the development, and from surrounding land uses. There is no prevailing architectural theme that can be seen with the surrounding developments, so the proposed architecture with Mediterranean accents does not conflict with any neighborhood themes. The architecture includes neutral colors with stucco and stone veneer materials, which are compatible with the surrounding residential and commercial buildings. The on-site landscaping complies with the City's landscape ordinance and includes the use of water efficient irrigation and California-friendly plant materials.

A traffic impact analysis prepared by K2 Traffic Engineering (March 2020) indicates that the project would generate 110 daily trips, with 2 inbound and 5 outbound trips in the AM peak hour, and 5 inbound and 4 outbound trips in the PM peak hour. The study also analyzed future traffic impacts generated by the project at three nearby street intersections:

- Sherman Avenue @ Sixth Street
- Sherman Avenue/Border Avenue @ Smith Avenue/10th Street
- Lincoln Avenue @ Sixth Street

All three study intersections are anticipated to operate at an acceptable Level of Service (LOS) D or better under project conditions in the AM and PM peak hours. An LOS D is considered acceptable by the City's General Plan. K2 Traffic Engineering and the City's Public Works Department consider the project's projected traffic impacts to be insignificant.

The project addresses the goals of current state law, which encourage housing development. It also serves the City's General Plan goals and policies that encourage infill development, including General Plan Housing Goal H-1, which promotes a balance of housing types and corresponding affordability levels to provide for the community's demand for housing within all economic segments of the City. The project also fulfills General Plan Land Use Policy LU-8.1 because the project would result in the development of an infill housing development that is compatible in density and scale with the existing and surrounding land uses. The Planning Division recommends approval of PP2020-0001 based on the findings listed below, and staff's recommended conditions of approval.

FINDINGS OF APPROVAL FOR PP2020-0001

1. The City of Corona has determined that this project is exempted from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State Guidelines for Implementing CEQA and Section 3.22 of the City's Local CEQA Guidelines because the project qualifies as a Class 32 categorical exemption (Infill Development Projects). The proposed multi-family residential development is consistent with the site's HDR (High Density Residential) General Plan designation and R-3 zone. The site is within city limits, less than five (5) acres, and substantially surrounded by urban uses. The site has no value as habitat for endangered, rare, or threatened species, and approval of the project would not result in significant effects relating to traffic, noise, air-quality, or water-quality. The site can be adequately served by all required utilities and public services.
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91 of Corona Municipal Code exist in reference to PP2020-0001 for the following reasons:
 - a. *The 15-unit apartment complex is consistent with the High Density Residential land use designation of the General Plan because this land use is intended to accommodate multifamily residential developments. Also, the project would result in a density of 13.27 dwelling units per acre, which does not exceed the maximum density of 36 dwelling units per acre.*
 - b. *The proposal complies with the R-3 zone, which permits the development of multiple family residential buildings. Additionally, the project complies with the development standards established by the Corona Municipal Code for the R-3 zone with respect to building setbacks, parking, landscaping, common and private open space, fencing, signage, and trash enclosure requirements.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempt from further review.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking, and other physical features of the proposal, as demonstrated by the project's plans*

attached to this report as Exhibits 3.A through 3.H.

- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards under the Corona Municipal Code. Development of the project will generate the necessary public improvements within 7th and 8th Streets along the project frontage. The project's projected traffic impacts to the area have been analyzed and determined to be insignificant. The buildings are designed to be compatible with the existing character of the surrounding area.*
 - f. The proposed architectural design of the proposed development is compatible with the character of the surrounding neighborhood, which does not have a prevailing architectural theme, and it will enhance the visual character of the neighborhood by improving a vacant-undeveloped infill property, and will provide for the harmonious, orderly, and attractive development of the site. The project also includes landscaping that will further enhance the site and its environment.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through materials, texture, and color that is aesthetically appealing, and will retain a reasonably adequate level of maintenance as the project design in detail and as a whole consist of high quality materials, meeting the standards established in the Corona Municipal Code and the City's Residential Architectural Design Guidelines. The building colors are neutral and harmonious with the neighboring buildings.*
3. The proposal is consistent with the General Plan of the following reasons:
- a. The project's architectural design, perimeter fencing, and overall layout fulfill Land Use Policy LU-7.8, which requires that new multi-family residential projects be designed to convey a high level of visual and physical quality and distinctive neighborhood character.*
 - b. The project serves Housing Goal H-1 by contributing to the City's goal of having a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.*
 - c. Development of the project site fulfills Land Use Policy 8.1 by allowing for development of an infill housing development that is compatible in density and scale with the existing and surrounding land uses.*
4. The proposal is consistent with the R-3 zone of the Corona Municipal Code for the following reason:
- a. The project is consistent with the Corona Municipal Code because multiple family residential structures are permitted uses in the R-3 zone. Also, the project complies with the development standards of the R-3 zone in terms of setbacks, building height, parking, architecture, fencing and walls, and landscaping.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2559
2. Locational and Zoning Map
- 3.A - Site Plan
- 3.B - Conditions of Approval
- 3.C - Elevations
- 3.D - Floor & Roof Plans
- 3.E - Conceptual Landscape Plan
- 3.F - Fence and Wall Plan
- 3.G - Signage
- 3.H - Trash Enclosure
- 3.I - Preliminary Grading and Utility Plans
- 3.J - Applicant's letter dated May 20, 2020, addressing the proposed project
4. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2559

APPLICATION NUMBER: PP2020-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN FOR THE REVIEW OF AN APARTMENT COMPLEX CONSISTING OF 15 UNITS ON 1.13 ACRES IN THE R-3 (MULTIPLE FAMILY RESIDENTIAL) ZONE LOCATED ON THE NORTH SIDE OF WEST 8TH STREET, APPROXIMATELY 170 FEET EAST OF SHERMAN AVENUE. (APPLICANT: HANNIBAL PETROSSI OF PETROSSI & ASSOCIATES, INC.)

WHEREAS, the application to the City of Corona, California, for a Precise Plan under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission to review a 15-unit apartment complex proposed on 1.13 acres in the R-3 (Multiple Family Residential) zone located on the north side of West 8th Street, approximately 170 feet east of Sherman Avenue.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PP2020-0001 on August 24, 2020, as required by law; and

WHEREAS, the Planning and Housing Commission finds that this project is exempt from CEQA pursuant to Section 15332 of the State CEQA Guidelines and Section 3.22 of the City of Corona Local Guidelines for Implementing CEQA as an Infill Development Project.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PP2020-0001 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PP2020-0001 on certain conditions of approval and the findings set forth below.

**NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION
OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

SECTION 1. CEQA Findings. As the decision-making body for this PP2020-0001, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as a categorical exemption for Infill Development Projects under CEQA per Section 15332 of the State Guidelines and Section 3.22 of the City of Corona adopted Local Guidelines for implementing CEQA. There is no evidence presented to the city that the project will have any significant effects on the environment.

SECTION 2. PP2020-0001 Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. The City of Corona has determined that this project is exempted from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the State Guidelines for Implementing CEQA and Section 3.22 of the City’s Local CEQA Guidelines because the project qualifies as a Class 32 categorical exemption (Infill Development Projects). The proposed multi-family residential development is consistent with the site’s HDR (High Density Residential) General Plan designation and R-3 zone. The site is within city limits, less than five (5) acres, and substantially surrounded by urban uses. The site has no value as habitat for endangered, rare, or threatened species, and approval of the project would not result in significant effects relating to traffic, noise, air-quality, or water-quality. The site can be adequately served by all required utilities and public services.
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91 of Corona Municipal Code exist in reference to PP2020-0001 for the following reasons:
 - a. *The 15-unit apartment complex is consistent with the High Density Residential land use designation of the General Plan because this land use is intended to accommodate multifamily residential developments. Also, the project would result in a density of 13.27 dwelling units per acre, which is within the allowable density range of 15 to 36 dwelling units per acre.*
 - b. *The proposal complies with the R-3 zone, which permits the development of multiple family residential buildings. Additionally, the project complies with the development standards established by the Corona Municipal Code for the R-3 zone with respect to building setbacks, parking, landscaping, common and private open space, fencing, signage, and trash enclosure requirements.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempt from further review.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking, and other physical features of the proposal, as*

demonstrated by the project's plans attached to this report as Exhibits 3.A through 3.H.

- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards under the Corona Municipal Code. Development of the project will generate the necessary public improvements within 7th and 8th Streets along the project frontage. The project's projected traffic impacts to the area have been analyzed and determined to be insignificant. The buildings are designed to be compatible with the existing character of the surrounding area.*
 - f. The proposed architectural design of the proposed development is compatible with the character of the surrounding neighborhood, which does not have a prevailing architectural theme, and it will enhance the visual character of the neighborhood by improving a vacant-undeveloped infill property, and will provide for the harmonious, orderly, and attractive development of the site. The project also includes landscaping that will further enhance the site and its environment.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through materials, texture, and color that is aesthetically appealing, and will retain a reasonably adequate level of maintenance as the project design in detail and as a whole consist of high quality materials, meeting the standards established in the Corona Municipal Code and the City's Residential Architectural Design Guidelines. The building colors are neutral and harmonious with the neighboring buildings.*
3. The proposal is consistent with the General Plan of the following reasons:
- a. The project's architectural design, perimeter fencing, and overall layout fulfill Land Use Policy LU-7.8, which requires that new multi-family residential projects be designed to convey a high level of visual and physical quality and distinctive neighborhood character.*
 - b. The project serves Housing Goal H-1 by contributing to the City's goal of having a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.*
 - c. Development of the project site fulfills Land Use Policy 8.1 by allowing for development of an infill housing development that is compatible in density and scale with the existing and surrounding land uses.*
4. The proposal is consistent with the R-3 zone of the Corona Municipal Code for the following reason:
- a. The project is consistent with the Corona Municipal Code because multiple family residential structures are permitted uses in the R-3 zone. Also, the project complies with the development standards of the R-3 zone in terms of setbacks, building height, parking, architecture, fencing and walls, and landscaping.*

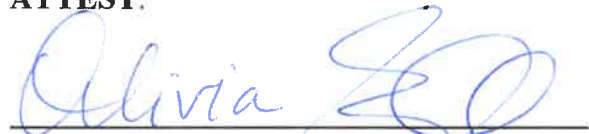
BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said PP2020-0001.

Adopted this 24th day of August, 2020.



Karen Alexander, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Olivia Sanchez
Secretary, Planning and Housing Commission
City of Corona, California

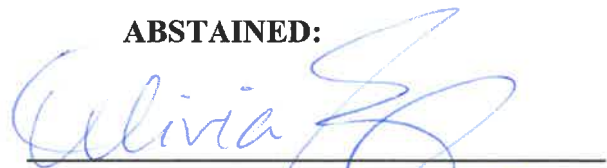
I, Olivia Sanchez, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 24th day of August, 2020, and was duly passed and adopted by the following vote, to wit:

AYES: Alexander, Siqueland, Hooks, Jones, Meza

NOES:

ABSENT:

ABSTAINED:



Olivia Sanchez
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & ZONING MAP



Date: 08/13/2020

PP2020-0001



EXHIBIT 2



Project Conditions

City of Corona

Project Number: PP2020-0001

Description: 15 MULTI-FAMILY UNIT HOMES WITH 2 BUILDINGS

Applied: 4/8/2020

Approved:

Site Address: BETWEEN 7TH ST AND 8TH STREET CORONA, CA 0

Closed:

Expired:

Status: COMPLETE

Applicant: Petrossi & Associates In

Parent Project: DPR2019-0026

1300 Bristol St. N.#270 Newport Beach CA, 92660

Details: Two buildings consist of 6 and 9 unit rental townhomes with two car garage each between 8th St and 7th St

LIST OF CONDITIONS

| DEPARTMENT | CONTACT |
|---|--------------|
| BUILDING | Dana Andrews |
| <ol style="list-style-type: none">1. BUILDING DEPARTMENT CONDITIONS2. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.3. Construct trash enclosures per city standards. May be obtained at Bldg. Dept. Counter.4. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.5. Provide draft stops in attic areas in line with common walls.6. Roofing material shall be Class A.7. Exterior walls shall be constructed of the required fire rating in accordance with U.B.C. Table 5-A.8. Openings in exterior walls shall be protected in accordance with U.B.C. Table 5-A.9. Walls and floors separating dwelling units in the same building shall not be less than 1-hour fire resistive construction.10. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.11. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.12. Provide Method of both airborne and impact sound transmission control between dwelling units.13. Fees - a. Occupancy fee of \$255.00 at the time of permit per unit. b. Property Development Tax at \$960.00 per dwelling unit. c. Storm water drainage fee at \$0.13 per square foot for Residential/ \$0.025 per square foot for Commercial \u0026 Manufacturing. d. School Fees shall be paid prior to issuance of permit. Provide copy of receipt to the Building Department.14. Separate permits are required for all fences, walls and paving.15. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.16. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.17. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance18. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance19. Provide accessible parking calculations indicating the required number of accessible spaces including van spaces. | |



Project Conditions

City of Corona

| BUILDING | Dana Andrews |
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| <p>20. Where 5 or more multifamily dwelling units are constructed, provide permanent recycling facilities for the building occupants for recycling of nonhazardous materials in compliance with the California Green Building Standards Code.</p> <p>21. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.</p> <p>22. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Provide enlarged plans and details for construction of trash/recycling enclosures.</p> | |
| FIRE | Cindi Schmitz |
| <p>1. Place Fire Department DPR comments on plans as general notes.</p> <p>2. Plans shall show a minimum drive width of 28 feet.</p> <p>3. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</p> <p>4. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer.</p> <p>5. Any overhead obstruction such as the second story of a building, Porte cochere, etc., that intrudes into the required clear width of fire vehicle access drives shall provide a minimum clear height of fifteen (15) feet unless otherwise approved by the Fire Chief.</p> <p>6. A Knox Padlock shall be provided for building(s) in this project. To apply for a Knox product visit https://www.knoxbox.com/</p> <p>7. A minimum fire flow of 2500 gallons per minute at 20 psi shall be provided for multi-family dwellings.</p> <p>8. Fire hydrants are to be spaced a maximum 250 feet apart.</p> <p>9. Provide Class A roofing material on all structures per the Corona Municipal Code.</p> <p>10. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.</p> <p>11. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r</p> <p>12. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s).</p> <p>13. Smoke detectors and/or carbon monoxide detectors shall be installed per the California Building, Fire and Residential Code.\r\r\r</p> <p>14. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r</p> <p>15. Multiple unit buildings shall have suite number identification assigned by the Fire Department. Submit an exhibit for review and approval to the Fire Department. A copy of the Premise Identification Standard is available at coronaca.gov/fire</p> <p>16. Residential Fire Sprinklers shall be installed per California Fire and Residential Code, and NFPA 13.</p> | |



Project Conditions

City of Corona

PLANNING

1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.
2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.
3. The project shall comply with all applicable requirements for the R-3 zone under Corona Municipal Code (CMC) and ordinances including the payment of all required fees.
4. The project shall comply with the approved exhibits and conditions of approval for PP2020-0001
5. Approval of PP2020-0001 is conditional upon the privileges being utilized by the securing of the first permit within two (2) years of the effective date of this precise plan approval, and if construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have elapsed.
6. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$2,500 to the Planning Division which will be applied towards landscape plan check and inspection services to be provided by a landscape consultant. Any money left remaining at the completion of the project will be reimbursed to the developer. Please note, this deposit is separate from the Building Division's plan check submittal fee.
7. The applicant shall, prior to issuance of a building permit, submit landscape plans prepared by a licensed landscape architect for review and approval by the Community Development Department. Plans shall be prepared in accordance with the state and local city guidelines.
8. Prior to the issuance of a certificate of occupancy for each residential unit, the on-site landscaping, parkways, walls and fences shall be installed per the approved plans.
9. Prior to the start of earthwork on the project site, the developer shall send grading and construction notices to the nearby residents closest to the project site. The notice shall provide contact information for construction concerns involving noise and dust.
10. The developer shall install a perimeter chain link fence with a dust tamer screening during construction.
11. The proposed six-foot high vinyl fencing for the perimeters and between units shall be compatible with the buildings color and design. All block walls shall be constructed of decorative block material as approved by the Community Development Department.
12. All block walls shall be treated with an anti-graffiti coating
13. All fences and walls shall be submitted for plan-check under a separate submittal.
14. The proposed monument sign on 8th Street shall provide a 10-foot corner cut-off area from property line in order to allow visibility for traffic and pedestrians.



Project Conditions

City of Corona

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| PLANNING | |
| <p>15. Parking spaces that are perpendicular to the street shall be screen by 3-foot high shrubs for headlight buffering purposes.</p> <p>16. A sign permit shall be obtained from the Planning and Building divisions prior to the installation of any signs on the project site.</p> <p>17. All signage shall be constructed in accordance with the sign criteria under the Corona Municipal Code as applicable.</p> <p>18. All trash enclosures shall be constructed of decorative masonry such as splitface or slumpstone block or stucco finish to match buildings as approved by the Community Development Department.</p> <p>19. The applicant shall demonstrate at plan-check that the trash enclosure is designed to accommodate an organic bin in accordance with CMC Chapter 8.20.</p> <p>20. This project is subject to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) fee under the category of residential density between 8.0 and 14 dwelling units per acre. This fee shall be paid at time of building permit issuance.</p> <p>21. The applicant shall provide additional landscaping in the form of mature Cyprus trees or solid screen landscaping to screen the common open space along the northerly boundary of the project site, adjacent to the commercial buildings to the north. The trees shall be shown on the landscape plans, shall be of a size that creates near-term screening, and shall be planted accordingly per the recommendations of the licensed landscape architect [ADDED BY THE PLANNING AND HOUSING COMMISSION ON AUGUST 24, 2020].</p> <p>22. The apartment complex lease agreements shall include language requiring garages to be used and remain available for parking at all times, and neither garage parking space shall be used for storage. [ADDED BY THE PLANNING AND HOUSING COMMISSION ON AUGUST 24, 2020]</p> <p>23. The lease agreement shall limit the number of tenant occupants within each unit to the maximum occupancy permitted based on number and size of bedrooms, as determined under the Building Code. [ADDED BY THE PLANNING AND HOUSING COMMISSION ON AUGUST 24, 2020.]</p> <p>24. The property owner shall install, maintain and enforce signage in the guest parking lot to restrict guest spaces to tenant's guests. [ADDED BY THE PLANNING AND HOUSING COMMISSION ON AUGUST 24, 2020]</p> | |
| POLICE | Cindi Schmitz |
| <p>1. The Corona Police Department recommends additional cameras, lighting or windows to dissuade vandalism due to the lack of windows in the rear of the buildings.</p> | |
| PUBLIC WORKS | Michele Hindersinn |
| <p>1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.</p> <p>2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.</p> <p>3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.</p> <p>4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.</p> <p>5. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.</p> <p>6. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.</p> <p>7. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.</p> <p>8. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.</p> | |



Project Conditions

City of Corona

| PUBLIC WORKS | Michele Hindersinn |
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| | <p>9. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:</p> <ul style="list-style-type: none"> (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day. (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code, unless otherwise extended or shortened by the Public Works Director or Building Official. (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. <p>Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.</p> <p>10. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:</p> <ul style="list-style-type: none"> a) All street facilities fronting the project along W. Eighth Street and W. Seventh Street b) All drainage facilities c) All required grading, including erosion control. d) All required sewer, water and reclaimed water facilities. e) All required landscaping f) All under grounding of overhead utilities, except for cables greater than 32k volts. <p>11. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.</p> <p>12. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.</p> <p>13. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.</p> <p>14. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDD # shall be displayed on the title sheet of the grading plans.</p> <p>15. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.</p> <p>16. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (<i>Lepidospartum Squamatum</i>) has been completed.</p> <p>17. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.</p> <p>18. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.</p> <p>19. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.</p> |



Project Conditions

City of Corona

| PUBLIC WORKS | Michele Hindersinn |
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| | <ol style="list-style-type: none"> 20. Prior to issuance of any grading permit, any environmental Phase I and Phase II findings and recommended actions to remove contamination resulting from previous use of the subject site shall be implemented. 21. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director. 22. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Public Works Land Development Section for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format. 23. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP. 24. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future homeowners and/or occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP. 25. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational. 26. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director. 27. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site. 28. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All residential lots shall drain toward the street. Lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains. 29. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director. 30. Prior to issuance of a building permit, the applicant shall offer for dedication all required street rights-of-way along W. Eighth Street to meet Local Low Volume Standard (City Std. 108) and along W. Seventh Street to meet a modified Low Volume Standard (City Std. 108) and Offset Cul-De-Sac (City Std. 127), or as otherwise approved by the Public Works Director. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director. 31. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall include the following: <ol style="list-style-type: none"> a) All local and/or major arterial highways' vertical and horizontal alignments shall be approved by the Director of the Public Works Department. b) All driveways shall conform to the applicable City of Corona standards and shall be shown on the street improvement plans. c) All street intersections shall be at ninety (90) degrees or as approved by the Public Works Director. d) All reverse curves shall have a minimum tangent of fifty (50) feet in length. e) Under grounding of existing and proposed utility lines. f) Street lights. g) All other public improvements shall conform to City of Corona standards. |



Project Conditions

City of Corona

| PUBLIC WORKS | Michele Hindersinn |
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| | <p>32. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.</p> <p>33. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.</p> <p>34. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.</p> <p>35. The developer shall comply with the approved traffic study recommendations.</p> <p>36. Prior to improvement plan approval, the developer shall submit a line of sight analysis for approval by the Traffic Engineer to determine the extent of red painted curbing that may be required at the project's entrance along W. Eighth Street. Any red curbing shall be completed prior to issuance of a certificate of occupancy.</p> <p>37. Prior to building permit issuance the applicant shall provide all of the necessary documents and fees needed to annex this project into a City of Corona Community Facilities District (CFD) 2016-1 (Public Services) and 2016-3 (Maintenance Services). All assessable parcels therein shall be subject to annual CFD charges (special taxes or assessments). The developer shall be responsible for all costs incurred during annexation into the CFDs.</p> <p>38. Prior to issuance of a Certificate of Occupancy, all proposed parkway landscaping specified in these Conditions of Approval shall be constructed.</p> <p>39. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.</p> <p>40. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.</p> <p>41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.</p> <p>42. Prior to approval of improvement plans, the applicant shall obtain all necessary easements for any required offsite water and sewer facilities.</p> <p>43. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.</p> <p>44. Prior to issuance of the first Certificate of Occupancy, all weather access road(s) shall be provided to all sewer manholes not located within public right-of-way.</p> <p>45. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.</p> <p>46. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.</p> |

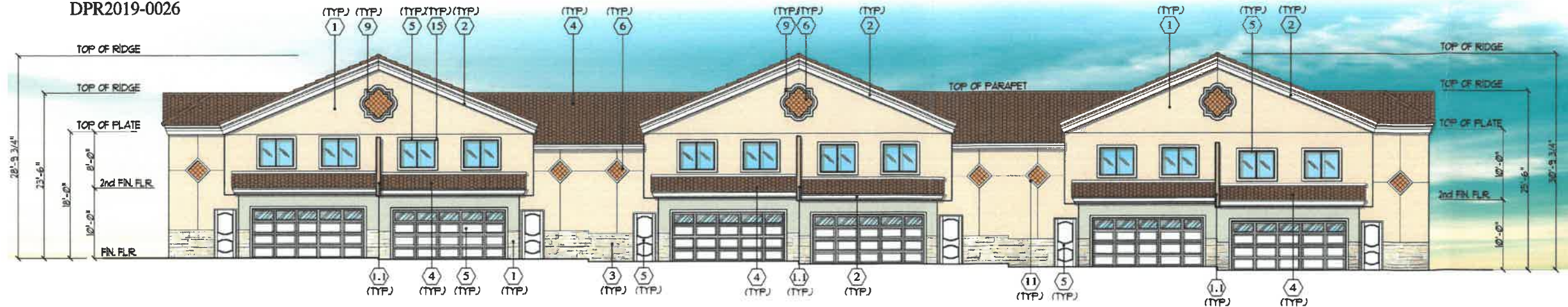


Project Conditions

City of Corona

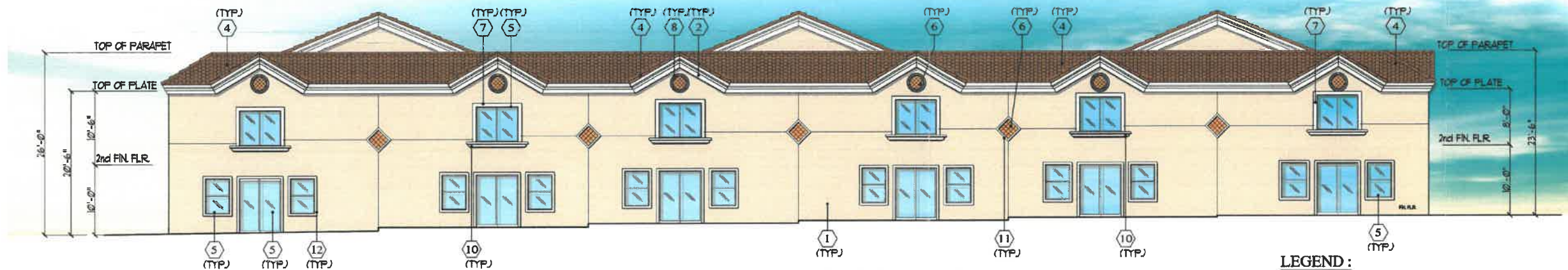
| PUBLIC WORKS | Michele Hindersinn |
|--------------|--|
| | <p>47. Prior to recordation or approval of improvement plans, when applicable, the applicant shall submit detailed potable water, reclaimed water and sewer studies, prepared by a registered civil engineer, which shall be submitted to the Public Works Department Land Development Section for review and approval. The study shall analyze the existing and proposed sewer and water facilities. Results of the system analysis may require special construction for the potable water, reclaimed water and sewer systems, such as upsizing downstream sewer lines, installing pressure regulators, booster pumps, special material for pipeline construction, backwater valves and construction of other appurtenances as necessary to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Public Works Department and the Department of Water and Power.</p> <p>48. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, potable water services, sewer laterals, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.</p> <p>49. Prior to building permit issuance, the developer shall:</p> <p style="padding-left: 40px;">A. Construct or guarantee the construction of an 8-inch ductile iron waterline connection from existing terminus in W. Seventh Street through site to connect to existing 8-inch line in W. Eighth Street per City of Corona Department of Water and Power Standard Plans and Specifications.</p> <p style="padding-left: 40px;">B. Construct or guarantee the construction of an 8- inch diameter ductile iron water line in W. Eighth Street across the project frontage to tie into the existing 6-inch waterline to the west of the project and the existing 8-inch waterline to the east of the project per City of Corona Department of Water and Power Standard Plans and Specifications.</p> <p style="padding-left: 40px;">Construction of the above improvements shall be completed prior to issuance of Certificate of Occupancy.</p> <p>50. Prior to issuance of a building permit, the developer shall construct or guarantee the construction of an 8-inch sewer line in Seventh Street from Sherman Ave to the project frontage per City of Corona Department of Water and Power Standard Plans and Specifications.</p> <p style="padding-left: 40px;">Construction shall be completed prior to issuance of a certificate of occupancy.</p> <p>51. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.</p> <p>52. Prior to building permit issuance, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.</p> <p>53. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.</p> <p>54. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.</p> <p>55. Static pressures exceeding 80 psi require an individual pressure regulator.</p> <p>56. The applicant shall provide a separate irrigation water service for all common area landscaping..</p> <p>57. The landscape plans of all parkway and Landscape Maintenance District (LMD) and Community Facilities District (CFD) lots shall be prepared by a licensed Landscape Architect and shall be submitted to the City for review and approval.</p> <p>58. The developer shall install automatic irrigation to all street trees separated from adjacent residences by a fence or wall prior to the issuance of a Certificate of Occupancy.</p> |

DPR2019-0026



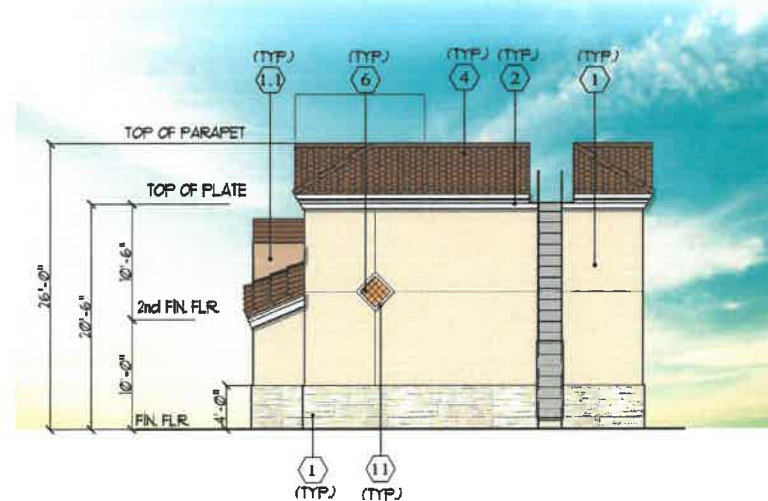
EAST ELEVATION BUILDING "A"

SCALE : 1/8" = 1'-0"



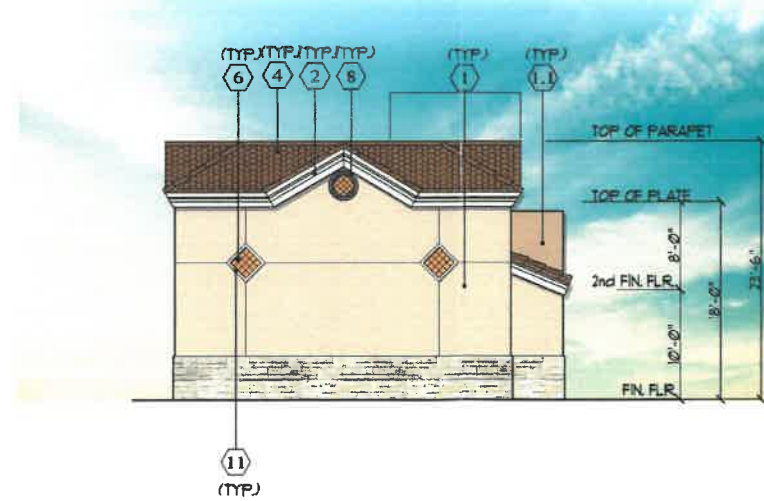
WEST ELEVATION BUILDING "A"

SCALE : 1/8" = 1'-0"



NORTH ELEVATION BUILDING "A"

SCALE : 1/8" = 1'-0"



SOUTH ELEVATION BUILDING "A"

SCALE : 1/8" = 1'-0"

NOTES:

1. ALL STUCCO AND PLASTER SHALL BE 20/20 FINISH

LEGEND:

- 1 EXTERIOR PLASTER:
COLOR TO MATCH DUNN EDWARDS DE616
DOVER PLAINS
- 1.1 EXTERIOR PLASTER ACCENT:
COLOR TO MATCH DUNN EDWARDS DE611
COLORADO TRAIL
- 2 MOLDINGS/TRIMS:
ADVANCED FOAM CORNICE SC046 MEDIUM,
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 3 STONE VENEERS:
CORONADO, PRO-LEDGE, SHASTA
- 4 CLAY ROOFING TILE:
"MCA" CLASSIC "S" MISSION
COLOR CB364-R VINTAGE CARAMEL BLEND
(MEDIUM VARIATION)
- 5 WINDOW AND DOORS:
COLOR TO MATCH STONE WHITE
- 6 CERAMIC ACCENT TILE:
6"x6" TILE BY DAL - TILE CHAMPAGNE
TOAST Q B5 & TOTALLY TANGERINE
Q B1 IN THE CHECKER PATTERN
- 7 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW TRIM STYLE ST332 MEDIUM, COLOR TO
MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 8 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SP320 R=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 9 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SP311 WIDTH=48",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 10 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW SILL 88502 LARGE, COLOR
TO MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 11 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SP311 WIDTH=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 12 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW TRIM BULLNOSE 2"x4" STYL
ST335, COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT

REVISIONS: DATE:

DESIGNED BY
Petros
AND ASSOCIATES

100 N BRISTOL STREET SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 833-2240
FAX: (949) 833-1145
E-MAIL: VP@PETROSSASSOC.COM

PROJECT

CORONA APARTMENT HOMES

APN : 110-040-046
CORONA, CA 92882

DRAWING:

BUILDING "A"
OVERALL ELEVATIONS

CHECKED BY:

DATE: 5-20-2020

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

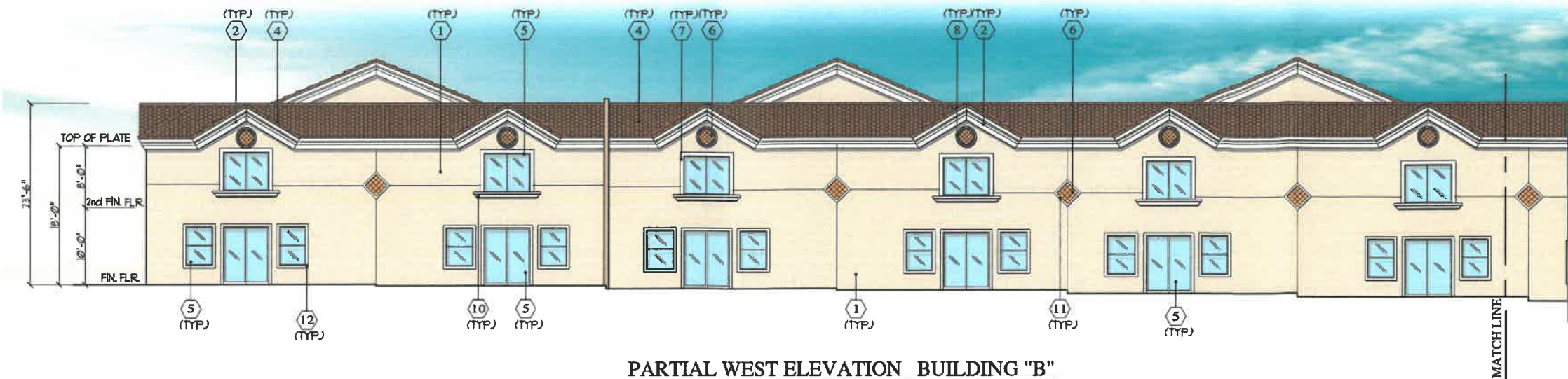
CONSTRUCTION

DRAWN BY

SHEET NO:

A-2.1

EXHIBIT 3.C



PARTIAL WEST ELEVATION BUILDING "B"

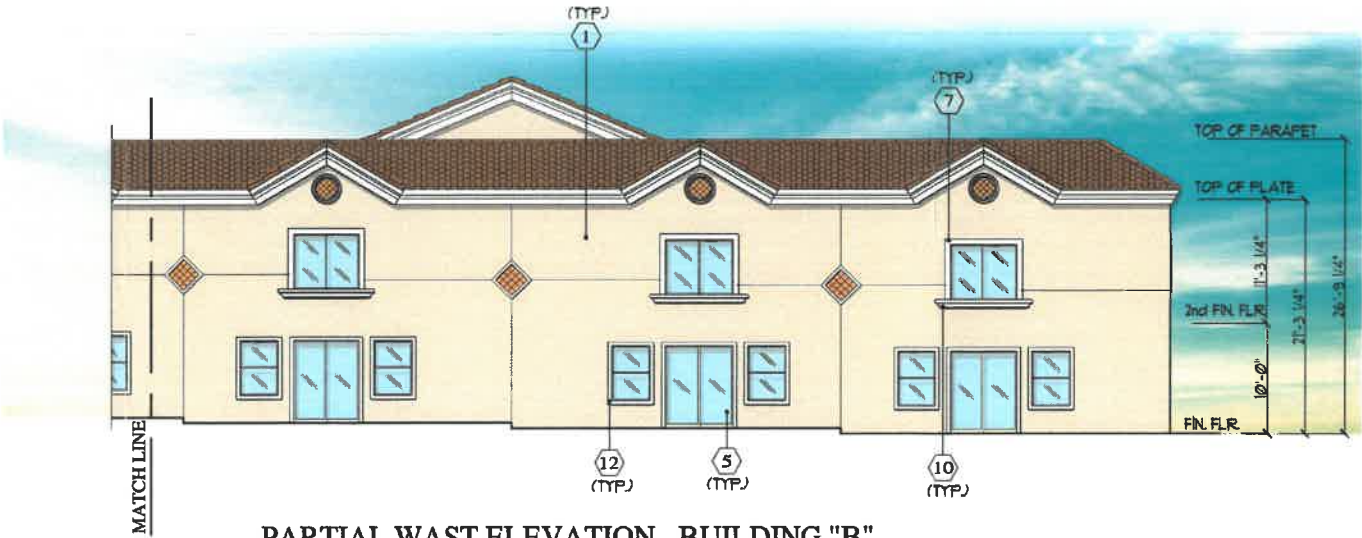
SCALE : 1/8" = 1'-0"

LEGEND :

- 1 EXTERIOR PLASTER :
COLOR TO MATCH DUNN EDWARDS DE6116
DOVER PLAINS
- 1.1 EXTERIOR PLASTER ACCENT :
COLOR TO MATCH DUNN EDWARDS DE6117
COLORADO TRAIL
- 2 MOLDINGS/TRIMS
ADVANCED FOAM CORNICE SC046 MEDIUM,
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 3 STONE VENEERS :
CORONADO, PRO-LEDGE, SHASTA
- 4 CLAY ROOFING TILE :
"MCA" CLASSIC "S" MISSION
COLOR CB364-R VINTAGE CARAMEL BLEND
(MEDIUM VARIATION)
- 5 WINDOW AND DOORS :
COLOR TO MATCH STONE WHITE
- 6 CERAMIC ACCENT TILE:
6"x6" TILE BY DAL- TILE CHAMPAGNE
TOAST Q 150 & TOTALLY TANGERINE
Q 151 IN THE CHECKER PATTERN
- 7 MOLDINGS/TRIMS
ADVANCED FOAM WINDOW TRIM STYLE ST332 MEDIUM, COLOR TO
MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 8 MOLDINGS/TRIMS
ADVANCED FOAM TRIM QUATREFOILS SF320 R=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 9 MOLDINGS/TRIMS
ADVANCED FOAM TRIM QUATREFOILS SF311 WIDTH=48",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 10 MOLDINGS/TRIMS
ADVANCED FOAM WINDOW SILL SS502 LARGE, COLOR
TO MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 11 MOLDINGS/TRIMS
ADVANCED FOAM TRIM QUATREFOILS SF311 WIDTH=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 12 MOLDINGS/TRIMS
ADVANCED FOAM WINDOW TRIM BULLNOSE 2"x4" STYLE
ST315, COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT

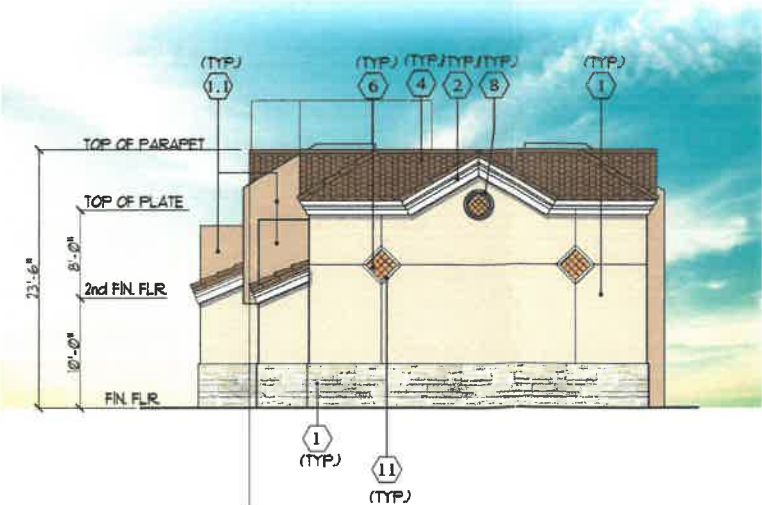
NOTES :

- 1. ALL STUCCO AND PLASTER SHALL BE 20/20 FINISH



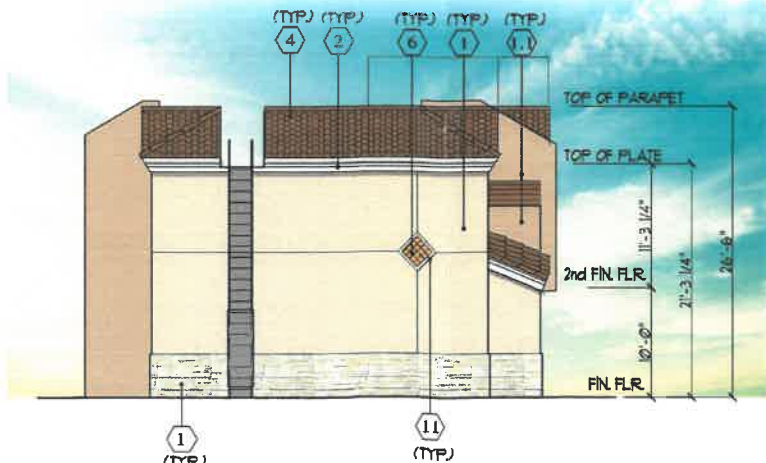
PARTIAL WEST ELEVATION BUILDING "B"

SCALE : 1/8" = 1'-0"



SOUTH ELEVATION "B"

SCALE : 1/8" = 1'-0"



NORTH ELEVATION "B"

SCALE : 1/8" = 1'-0"

| | |
|------------|--------|
| REVIS/CHG: | DATE : |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

DESIGNED BY
Petrossi
AND ASSOCIATES
100 N BIRKBECK STREET SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 833-3280
FAX: (949) 833-1145
E-MAIL: HQ@PETROSSIASSOC.COM

PROJECT

CORONA APARTMENT HOMES

APN : 110-040-046
CORONA, CA 92882

DRAWING:

BUILDING "B"
OVERALL REAR
SIDES / ELEVATIONS

CHECKED BY:

DATE: 5-20-2020

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY

SHEET NO.:

A-3.4

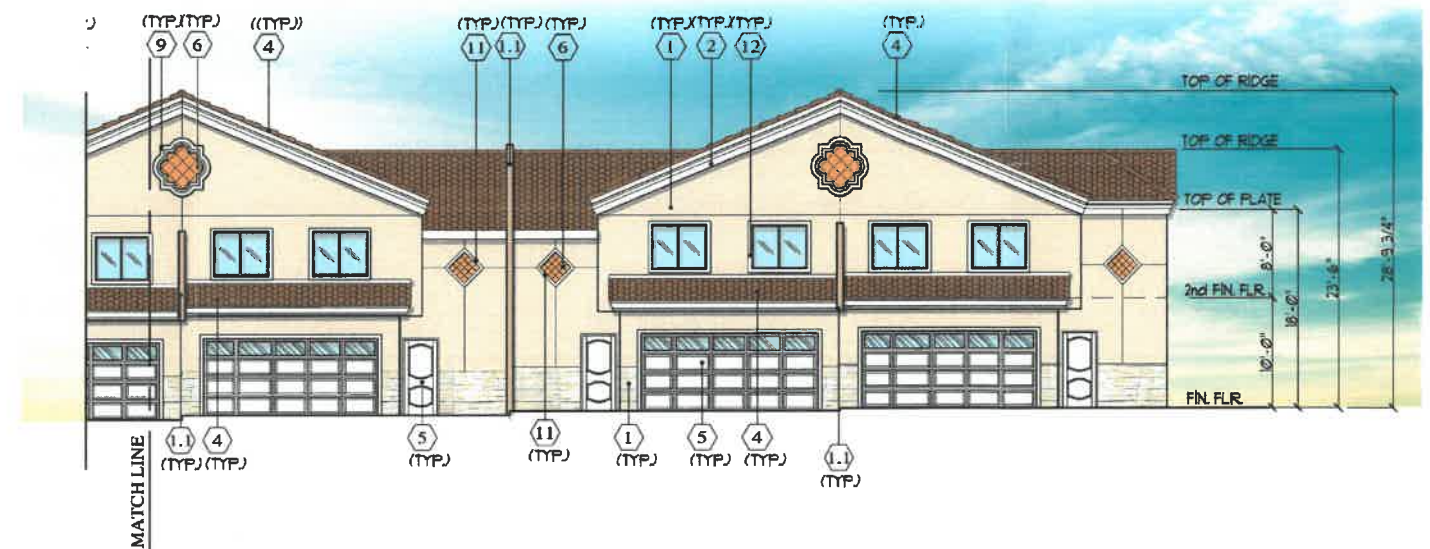
CADFILE:

JOB NO. 405P-0619

SCALE : 1/8" = 1'-0"

- 1 EXTERIOR PLASTER:
COLOR TO MATCH DUNN EDWARDS DE616
DOVER PLAINS
- 1.1 EXTERIOR PLASTER ACCENT:
COLOR TO MATCH DUNN EDWARDS DE617
COLORADO TRAIL
- 2 MOLDINGS/TRIMS:
ADVANCED FOAM CORNICE SC046 MEDIUM,
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 3 STONE VENEERS:
CORONADO, PRO-LEDGE, SHASTA
- 4 CLAY ROOFING TILE:
"MCA" CLASSIC "S" MISSION
COLOR CB364-R VINTAGE CARAMEL BLEND
(MEDIUM VARIATION)
- 5 WINDOW AND DOORS:
COLOR TO MATCH STONE WHITE
- 6 CERAMIC ACCENT TILE:
6"x6" TILE BY DAL- TILE CHAMPAGNE
TOAST Q 150 & TOTALLY TANGERINE
Q 151 IN THE CHECKER PATTERN
- 7 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW TRIM STYLE ST332 MEDIUM, COLOR TO
MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 8 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SF820 R=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 9 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SF811 WIDTH=48",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 10 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW SILL S6502 LARGE, COLOR
TO MATCH DUNN EDWARDS DE 6120 TEE BISCUIT
- 11 MOLDINGS/TRIMS:
ADVANCED FOAM TRIM QUATREFOILS SF811 WIDTH=32",
COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT
- 12 MOLDINGS/TRIMS:
ADVANCED FOAM WINDOW TRIM BULLNOSE 2"x4" STYLE
ST335, COLOR TO MATCH DUNN EDWARDS DE 6120 TEE
BISCUIT

1. ALL STUCCO AND PLASTER SHALL BE 20/20 FINISH



SCALE : 1/8" = 1'-0"

DESIGNED BY
Petrocelli
AND ASSOCIATES
INC.

600 N BRISTOL STREET SUITE 270
NEWPORT BEACH, CA 92660
TEL (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSIASSOC.COM

PROJECT

CORONA APARTMENT HOMES

APN: 110-040-046
CORONA, CA 92882

BUILDING "B" OVERALL ELEVATIONS

DATE: 5-20-2020

REVIEW

PLAN CHECK

BIDDING

PERMIT



CONSTRUCTION

DRAWN BY

A-3.3

CADFILE:

JOB NO. 405P-0619

| | |
|---|-------|
| REVISED: | DATE: |
|  | |
|  | |
| 100 N HENSTOL STREET SUITE 200 NEWPORT BEACH, CA 92660 TEL. (949) 833-3240 FAX (949) 833-1145 E-MAIL HP@PETROSSIASSOC.COM | |
| PROJECT | |
| CORONA APARTMENT HOMES | |
| APN : 110-040-046 | |
| CORONA, CA 92882 | |
| DRAWING: | |
| BUILDING "B" OVERALL SECOND FLOOR PLAN | |
| CHECKED BY: | |
| DATE: 5-20-2020 | |
| ISSUED FOR: | |
| REVIEW | |
| PLAN CHECK | |
| BIDDING | |
| PERMIT | |
| CONSTRUCTION | |
| DRAWN BY | |
| SHEET NO.: | |
| A-3.1 | |



[illegible]

CORONA APARTMENT HOMES

APN : 110-040-046

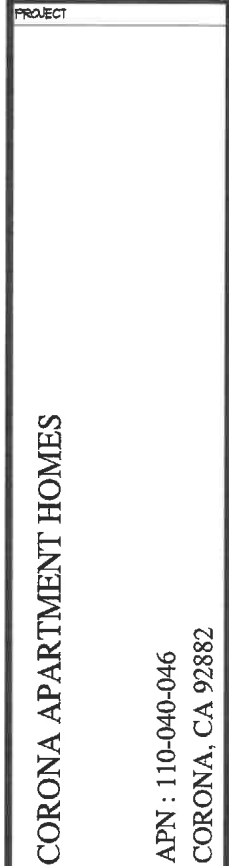
CORONA, CA 92882

| |
|---|
| DRAWING: |
| BUILDING "B" OVERALL FIRST FLOOR PLAN |
| CHECKED BY: |
| DATE: 5-20-2020 |
| ISSUED FOR: |
| REVIEW |
| PLAN CHECK |
| BIDDING |
| PERMIT |
| CONSTRUCTION |
| DRAWN BY |
| SHEET NO: |
| A-3 |
| CADFILE: |
| JOB NO. 405P-0619 |

| REVISIONS: | DATE : |
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SCALE : 1/8" = 1'-0"



SCALE : 1/8" = 1'-0"

























SCALE : 1/8" = 1'-0"



A-2

| | |
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| CADFILE: | |
| JOB NO. | 405P-0619 |

| PLANT SCHEDULE | | | | | | | |
|---|---------|--------------------------------------|-------------------------------|--------------------------------|--|-----|--------|
| TREES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | QTY | WUCOLS |
|  | ARB MAR | Arbutus x 'Marina' | Marina Strawberry Tree | 24" & 36" Box | Std. | 4 | M |
|  | JAC MUL | Jacaranda mimosifolia | Jaceranda Multi-Trunk | 36" Box | Multi-trunk | 2 | M |
|  | LAG DYN | Lagerstroemia indica 'Dynamite' | Dynamite Crape Myrtle | 24" Box | Std. | 8 | M |
|  | MAG STA | Magnolia grandiflora 'St. Mary' | Southern Magnolia | 24" Box | Std. | 6 | M |
|  | TRI ELE | Tristanopsis laurina 'Elegant' | Elegant Water Gum | 24" Box | Std. | 8 | M |
|  | QUE AGR | Quercus agrifolia | City Street Tree | 24" Box (or per city standard) | To match existing | 2 | L |
| SHRUBS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | QTY | WUCOLS |
|  | CAL DWA | Callistemon viminalis 'Little John' | Dwarf Weeping Bottlebrush | 5-gal. | | 63 | L |
|  | DIE HYB | Dietes x 'Orange Drop' | Orange Drop Fortnight Lily | 5-gal. | | 51 | M |
|  | LEU COM | Leucophyllum frutescens 'Compacta' | Compact Texas Ranger | 5-gal. | | 32 | L |
|  | MUH REG | Muhlenbergia capillaris 'Regal Mist' | Regal Mist Muhly | 5-gal. | | 38 | M |
|  | NAN SE7 | Nandina domestica 'Selika' | Obsession Heeverly Bamboo | 5-gal. | | 28 | M |
|  | PHO MA2 | Phormium tenax 'Maori Queen' | Maori Queen New Zealand Flax | 5-gal. | | 7 | M |
|  | RHA BA4 | Rhephtolepis indica 'Ballerina' | Ballerina Indian Hawthorn | 5-gal. | | 29 | M |
|  | XYL COM | Xylosma congestum 'Compacta' | Compact Xylosma | 5-gal. | | 10 | M |
| VINES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | QTY | WUCOLS |
|  | FIC REP | Ficus repens | Creeping Fig | 5-gal. | Train on wall | 2 | M |
| GROUND COVERS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | QTY | WUCOLS |
|  | AJU BB | Ajuga reptans 'Bronze Beauty' | Bronze Beauty Carpet Bugle | Flats | Plant 12" o.c. | | M |
|  | GAZ MI2 | Gazania x 'Mitsuwa Orange' | Mitsuwa Orange Gezenia | Flats | Plant 24" o.c. | | M |
|  | LAN HYB | Lantana x 'New Gold' | New Gold Lantana | 1-gal. | Plant 18" o.c. | | L |
|  | TRA JAS | Trachelospermum jasminoides | Star Jasmine | Flats | Plant 18" o.c. | | M |
|  | | Stenotaphrum secundatum | St. Augustine Grass | | | | M |
|  | | | Stabilized decomposed granite | | | | |
|  | | | Play area safety surface | | mulch, rubber mulch, sand, or playground safe equivalent | | |



| REVISIONS | BY |
|-----------|----|
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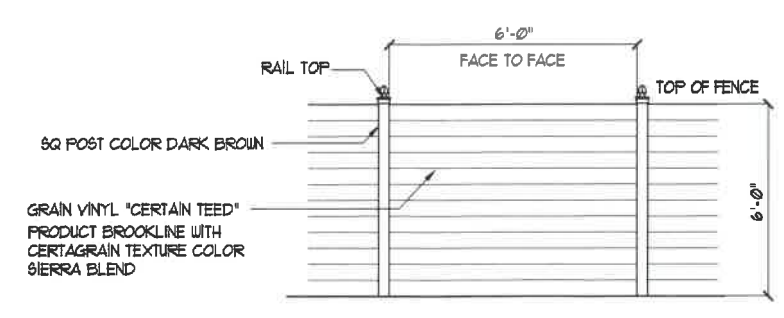
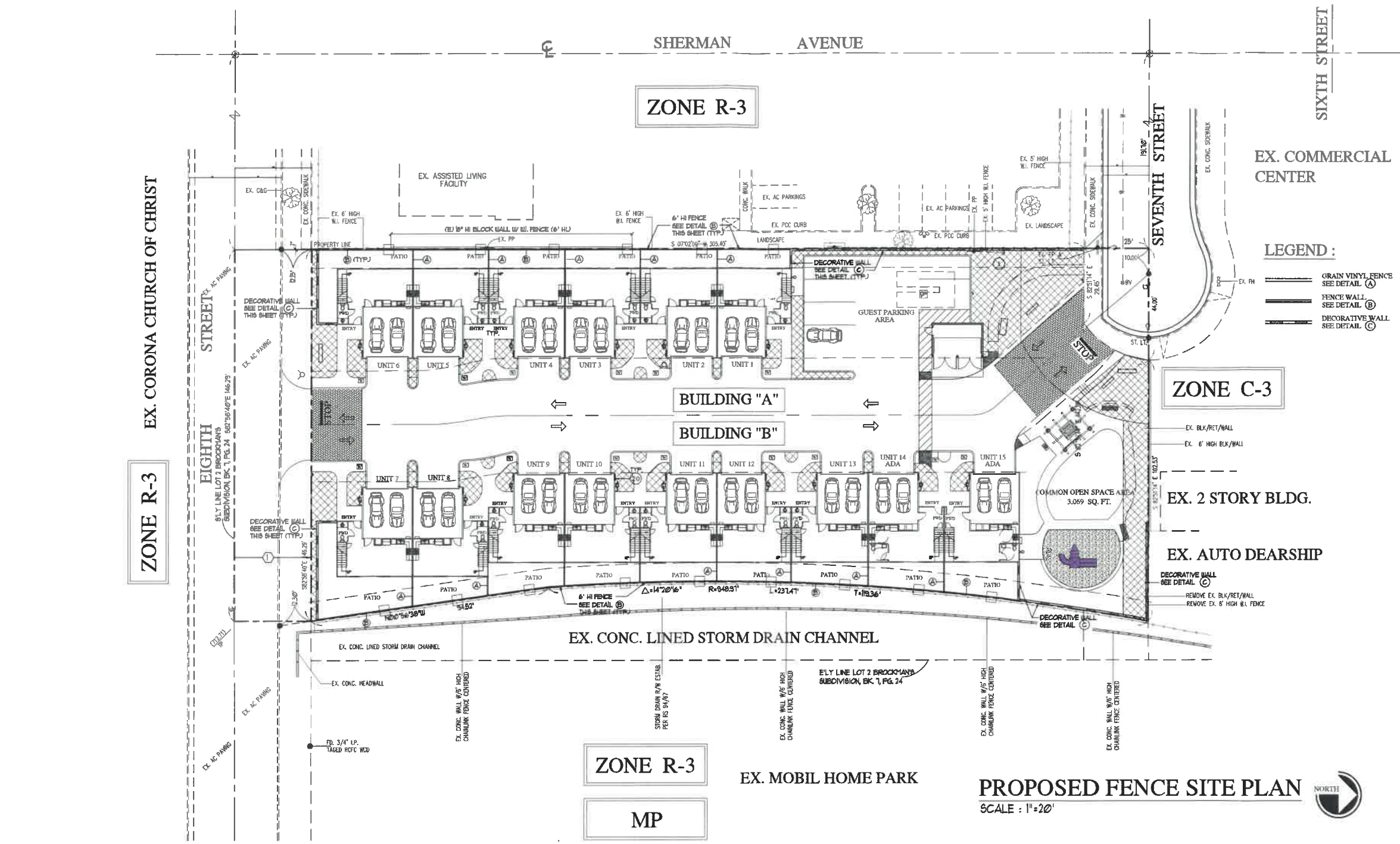
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ROYAL OAK DESIGN
SYLVIA E. LYONS, Landscape Architect #1549
2456 Hummingbird Way
La Verne, CA 91750-2371
Telephone: (909)593-4158
Email: royaloakdesign@verizon.net

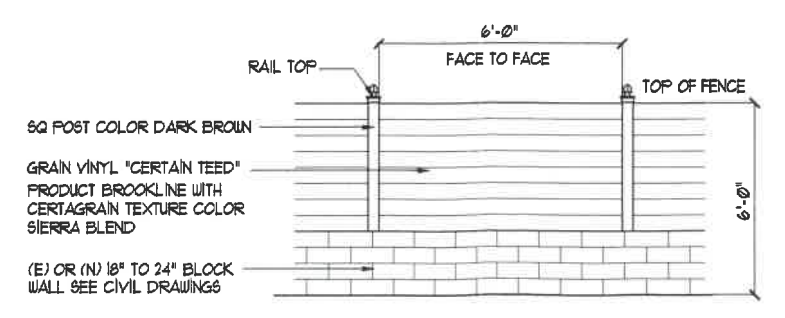
PRELIMINARY COLORED LANDSCAPE PLAN
PROJECT: APARTMENT COMPLEX
ADDRESS: 746 S. CANO LANE, CORONA, CA



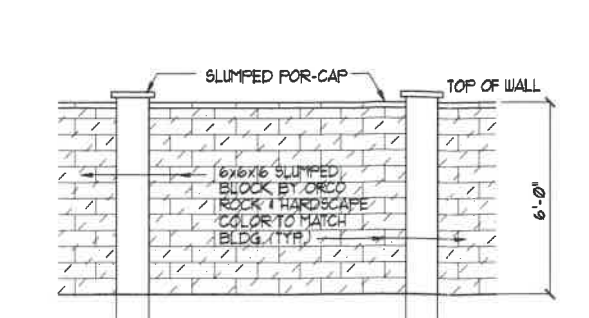
DRAWN
S.L./J.S.
DATE
5/20/2020
SCALE
1" = 20' - 0"
JOB NO.
5347
SHEET
L-1



FENCE DETAIL ELEVATION (A)
NTS.

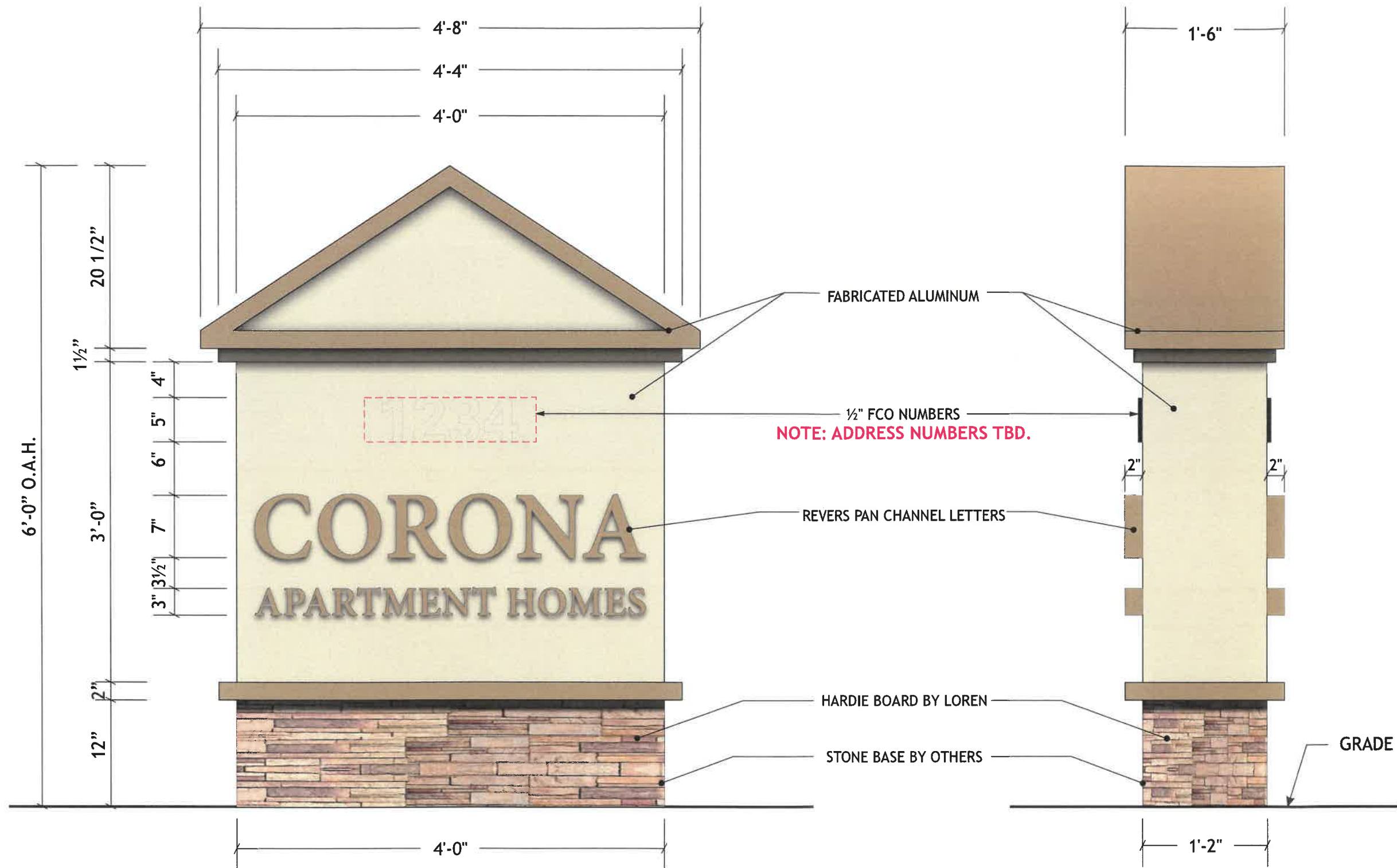


FENCE DETAIL ELEVATION (B)
NTS.



FENCE DETAIL ELEVATION (C)
NTS.

| | |
|---|-------|
| REVISIONS: | DATE: |
| | |
| 130 N BRISTOL STREET SUITE 270 NEWPORT BEACH, CA 92660 TEL: (949) 835-1234 FAX: (949) 835-1145 E-MAIL: INFO@DESIGNBYPROCESS.COM | |
| PROJECT: | |
| CORONA APARTMENT HOMES | |
| APN: 110-040-046 | |
| CORONA, CA 92882 | |
| DRAWING: | |
| FENCE SITE PLAN | |
| CHECKED BY: | |
| DATE: 5-20-2020 | |
| ISSUED FOR: | |
| REVIEW | |
| PLAN CHECK | |
| BIDDING | |
| PERMIT | |
| CONSTRUCTION | |
| DRAWN BY: | |
| SHEET NO. | |
| A-1.1 | |
| CADFILE: | SITE |
| DATE: | DATE: |



QTY: 2

6' MONUMENT SIGN

SIGN AREA: 24 SQ. FT.

N1

SCOPE OF WORK

- 1.) Manufacture and install type double faced monument as shown.
- 2.) Cabinet to be fabricated w/1 1/2" alum. angle & skinned w/.090" alum.
- 3.) Reverse pan letters to be mounted to monument.

Scale: 1" = 1'-0"



LOREN
LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA

**CORONA
APARTMENT
HOMES**

DRAWING/REVISION NO.:

02-20-0018R1

PAGE NO.:

4 OF 4

CLIENT:

CORONA APARTMENT HOMES

ADDRESS

APN: 110-040-04 68th St.
Corona, CA 92882

Approval Signature

DATE:

03/05/2020

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

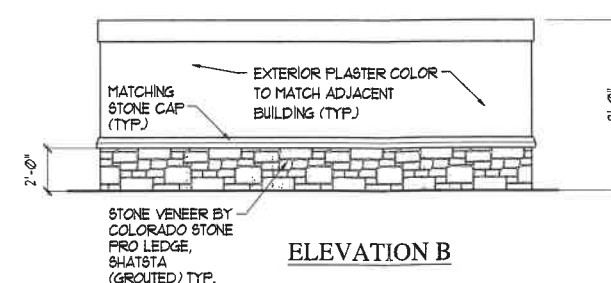
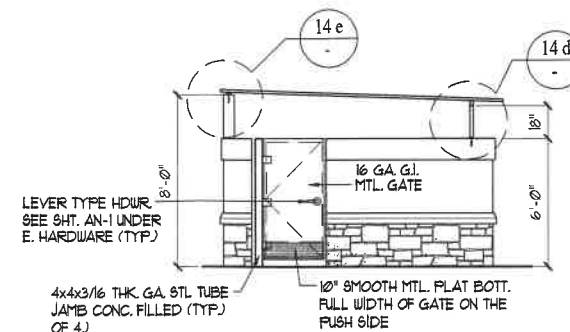
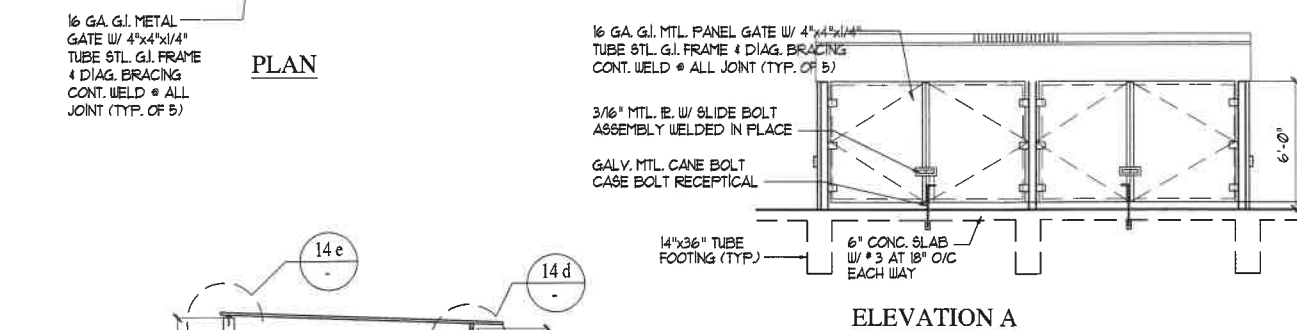
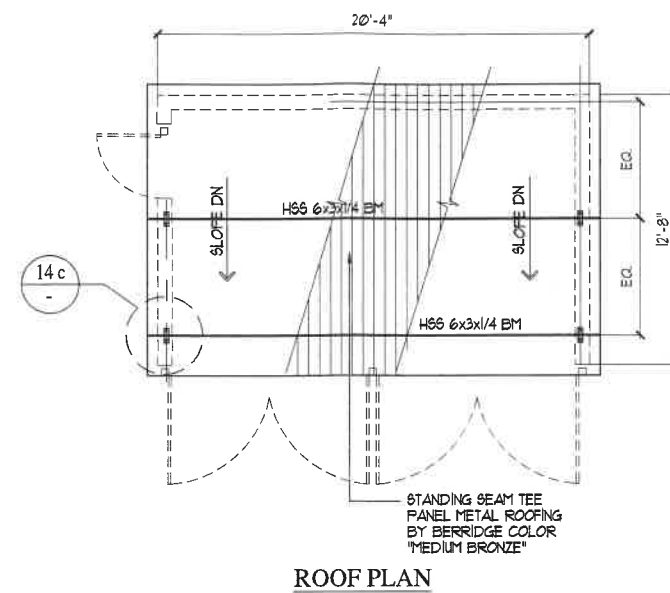
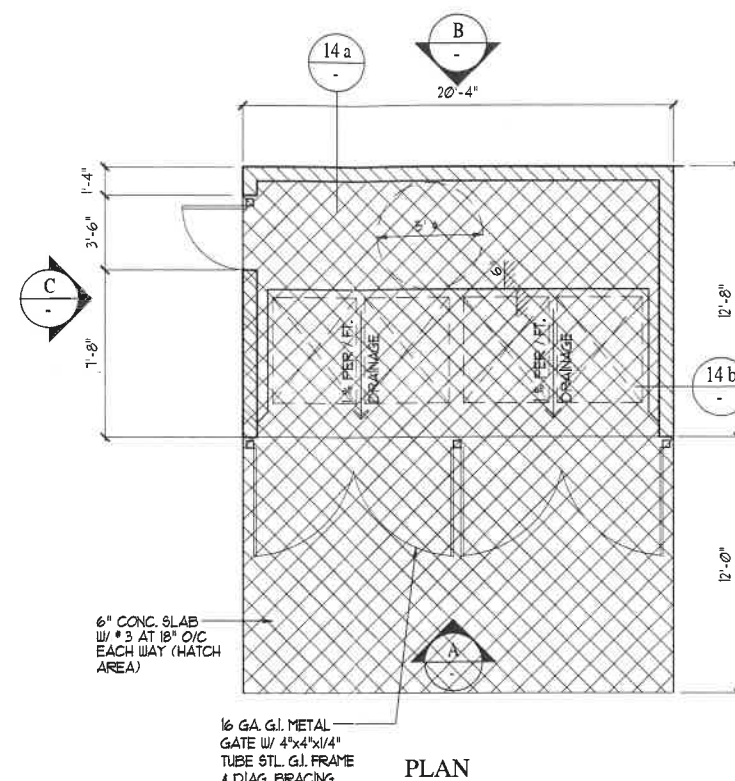
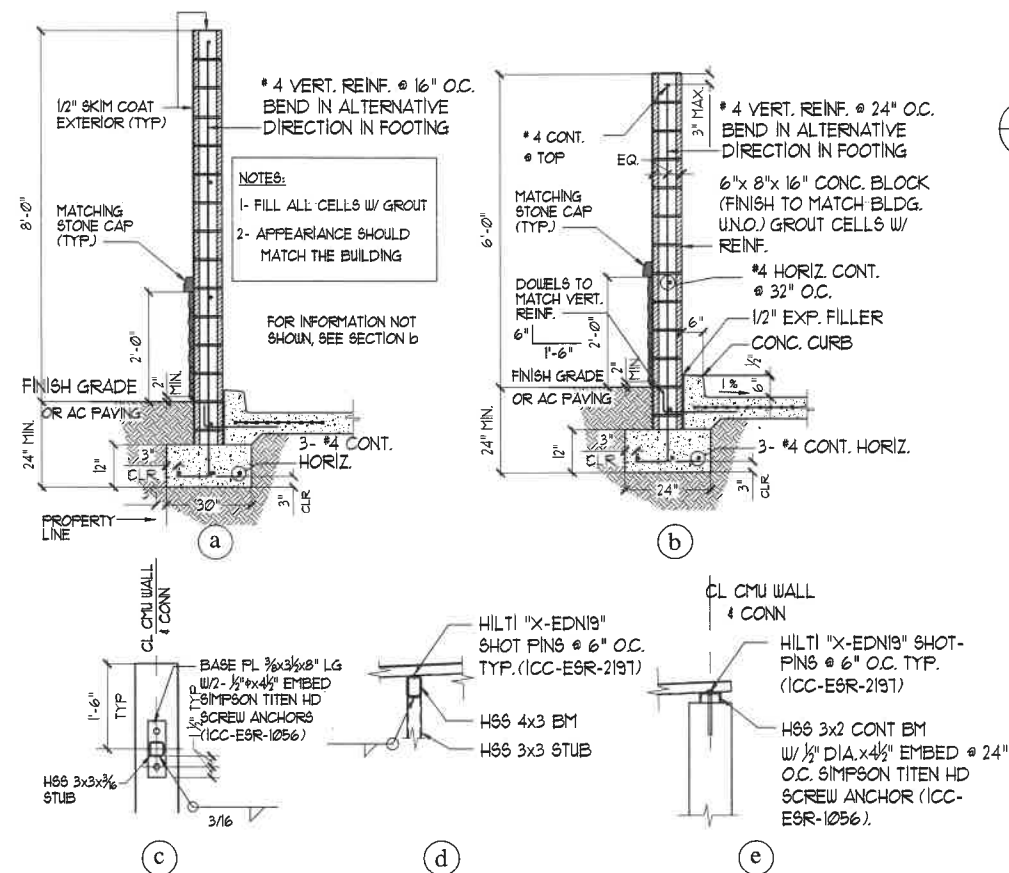
03/05/2020

REVISION BY:

EC

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PERMISSION OF LOREN ELECTRIC

EXHIBIT 3.G



REVISIONS: _____ DATE: _____

▲

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▲

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DESIGNED BY
Petrocci
AND ASSOCIATE
INC.

1300 N BOSTON STREET SUITE 22
NEWPORT BEACH, CA 92660

TEL. (949) 833-3240
FAX (949) 833-1145
E-MAIL HP@PETROSSIASSOC.COM

PROJECT

CORONA APARTMENT HOMES

APN: 110-040-046
CORONA, CA 92882

DRAWING:

TRASH ENCLOSURE

CHECKED BY:

DATE: 7-7-2020

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

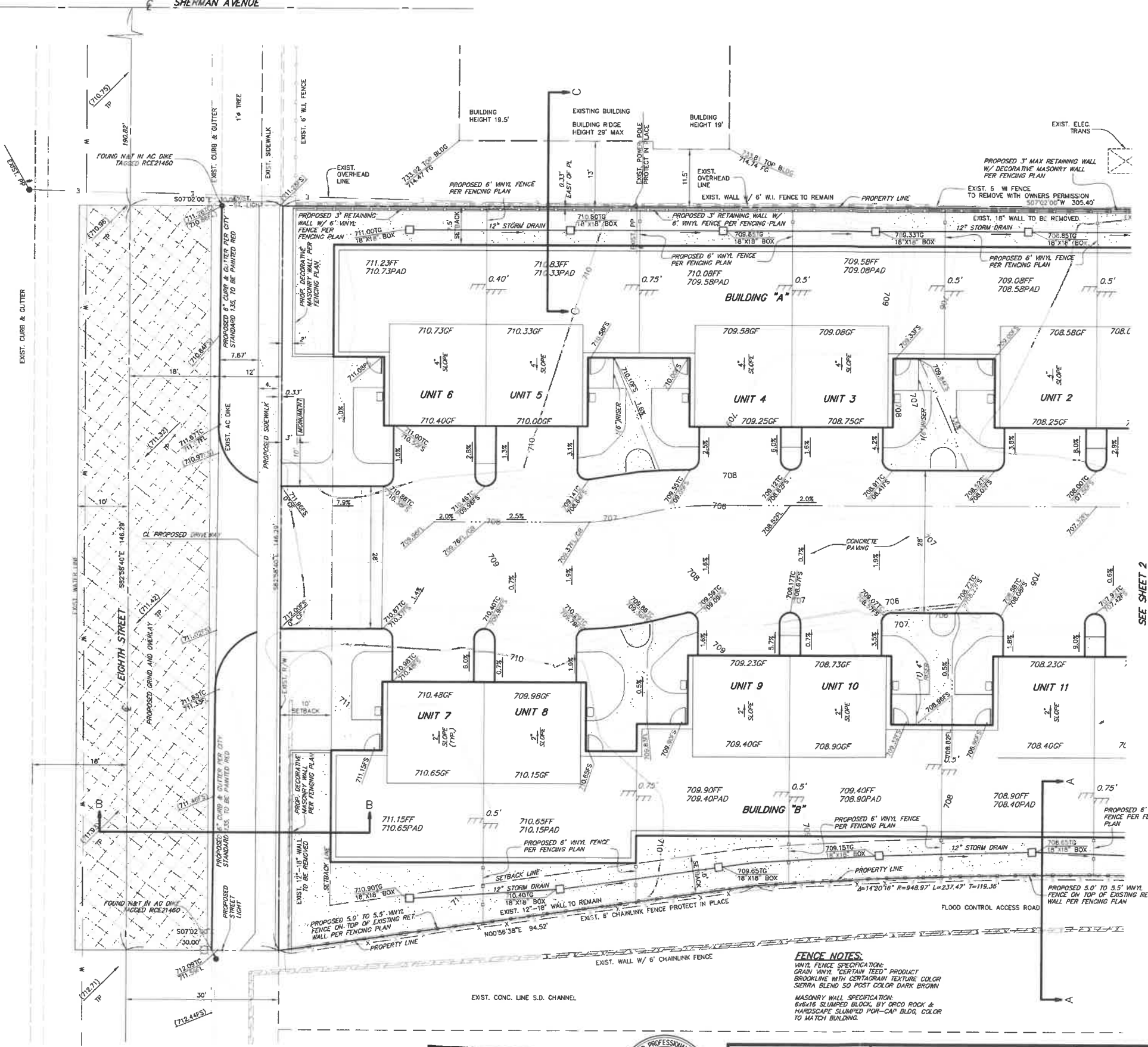
PERMIT

CONSTRUCTION

DRAWN BY

SHEET NO.:

A-1.2



SEE SHEET 2

LEGEND

| | |
|-----|------------------------------|
| PL | PROPERTY LINE |
| TS | TOP OF SLOPE |
| RS | RATE OF SLOPE |
| TOE | TOE OF SLOPE |
| ES | EXISTING SEWER |
| EW | EXISTING WATER |
| BW | BACK OF WALK |
| EG | EXISTING GRADE |
| FG | FINISH GRADE |
| FS | FINISH SURFACE |
| TC | TOP OF CURB |
| FL | FLOW LINE |
| EP | EDGE OF PAVEMENT |
| FF | FINISH FLOOR |
| PAD | PAD GRADE |
| TW | TOP OF WALL |
| TF | TOP OF FOOTING |
| HP | HIGH POINT |
| LP | LOW POINT |
| CF | CURB FACE |
| TG | TOP OF GRATE |
| TRW | TOP OF RETAINING WALL |
| EDF | EXTRA DEPTH FOOTING |
| INV | INVERT OF PIPE |
| Q | EXISTING FIRE HYDRANT |
| Q | EXISTING FDC |
| Q | EXISTING WATER VALVE |
| Q | EXISTING GAS METER |
| Q | EXISTING WATER METER |
| Q | EXISTING PULL BOX |
| Q | EXISTING BOLLARD |
| Q | EXISTING ICV |
| SCO | EXISTING SEWER CLEANOUT |
| ● | FOUND MONUMENT AS NOTED |
| ○ | EXISTING PARKING LIGHT |
| ○ | EXISTING STREET LIGHT |
| ○ | EXISTING EDISON MANHOLE |
| ○ | EXISTING TELEPHONE MANHOLE |
| ○ | EXISTING SEWER MANHOLE |
| ○ | EXISTING STORM DRAIN MANHOLE |
| ○ | EXISTING ELECTRIC CABINET |
| ○ | EXISTING GTE-TELEPHONE BOX |
| ○ | EXISTING EDGE OF PAVEMENT |
| ○ | EXISTING CHAINLINK FENCE |
| ○ | EXISTING WROUGHT IRON FENCE |
| ○ | PROP. GAS METER |
| ○ | EXIST. CONCRETE |
| ○ | REMOVAL |
| ○ | GRIND |
| ○ | OVERLAY |

FENCE NOTES:

VINYL FENCE SPECIFICATION:
GRAIN VINYL "CERTAIN TEE" PRODUCT
BROOKLINE WITH CERTAIN TEE TEXTURE COLOR
SIERRA BLEND 50 POST COLOR DARK BROWN
MASONRY WALL SPECIFICATION:
8"x16" SLUMPED BLOCK, BY ORCO ROCK &
HARDSCAPE SLUMPED FOR-CAP BLDG. COLOR
TO MATCH BUILDING.
ALL MASONRY WALL ALONG THE STREET TO
BE TREATED WITH AN ANTI-GRAFFITI COATING.

PLANNING DESIGNATION:

ZONING: R-3 (MULTIPLE FAMILY RESIDENTIAL GENERAL PLAN: HDR (HIGH DENSITY
RESIDENTIAL, 15-36 DU/AC)
PROPOSED DENSITY - 13.27 DU/AC

EASEMENTS:

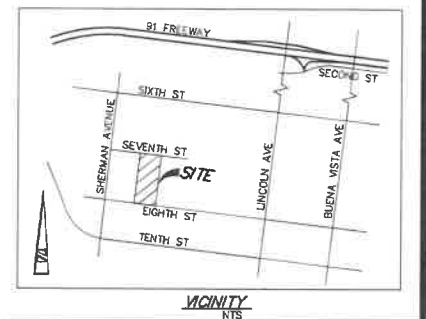
- AN EASEMENT IN FAVOR OF THE CITY OF CORONA, FOR RIGHT OF WAY TO CONSTRUCT, MAINTAIN, OPERATE, REPAIR, ALTER, AND REMOVE PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED OCTOBER 9, 1967 AS INSTRUMENT NO. 88714 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC STREET AS SHOWN ON SUBDIVISION MAP BOOK 7, PAGE 24 AS RECORDED IN THE COUNTY OF RIVERSIDE, CALIFORNIA, (WITHIN EIGHT STREET)

LEGAL DESCRIPTION:

IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, LOT 3, AND THAT PORTION OF THE VACATED STREET (FORMERLY SEVENTH STREET) AND THAT PORTION OF THE VACATED STORM DRAIN IN BROOKMAN'S SUBDIVISION, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP OF SAID SUBDIVISION RECORDED IN BOOK 7, PAGE 24 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF SAID STORM DRAIN WITH THE SOUTHERLY LINE OF SIXTH STREET, AS SHOWN ON SAID MAP OF BROOKMAN'S SUBDIVISION; THENCE SOUTHERLY, ON THE CENTERLINE OF SAID STORM DRAIN TO THE INTERSECTION WITH THE CENTERLINE OF SAID SEVENTH STREET AND THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTHERLY ALONG THE CENTERLINE OF SAID STORM DRAIN TO THE SOUTHERLY LINE OF SAID BROOKMAN'S SUBDIVISION; THENCE WESTERLY ON SAID SOUTHERLY LINE TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE NORTHERLY ON THE WEST LINE OF SAID LOT 3, AND ITS NORTHERLY EXTENSION TO THE INTERSECTION WITH THE CENTERLINE OF SAID SEVENTH STREET; THENCE EASTERLY ALONG SAID CENTERLINE TO THE TRUE POINT OF BEGINNING.

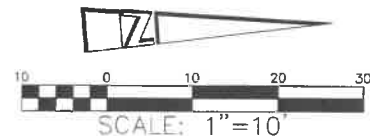
EXCEPTING THEREFROM THAT PORTION GRANTED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT AS DESCRIBED IN DEED RECORDED AUGUST 6, 1994 AS INSTRUMENT NO. 31125, OF OFFICIAL RECORDS.

APH-110-010-048

PP2020-001
DPR 2019-0026

LAND DEVELOPMENT DESIGN COMPANY, LLC
2313 E. Philadelphia St., Ste. F
Ontario, CA 91761
(909) 930-1466 • FAX (909) 930-1468
PLANNING • CIVIL • SURVEYING

DIGALERT
DIAL TOLL FREE
811
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



BENCHMARK: NO. C-118

A 2-1/2" BRASS DISC STAMPED "C-118"
SET IN THE TOP OF CURB, LOCATED 5'
NORTH OF THE E.C.R. OF THE
NORTHEASTERLY CURB RETURN OF THE
INTERSECTION OF SMITH AVENUE AND
SIXTH STREET.

ELEV: 694.421 DATED: 4/88

REVISIONS:

PREPARED UNDER THE SUPERVISION OF:

KEVIN J. RICHER
R.O.S. 43714 LIC. EXP. 03/31/21
APPROVED BY:

DATE

PRELIMINARY GRADING PLAN

SITE:
SEVENTH STREET
CORONA, CA

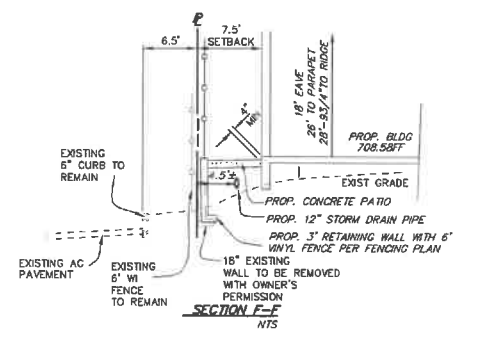
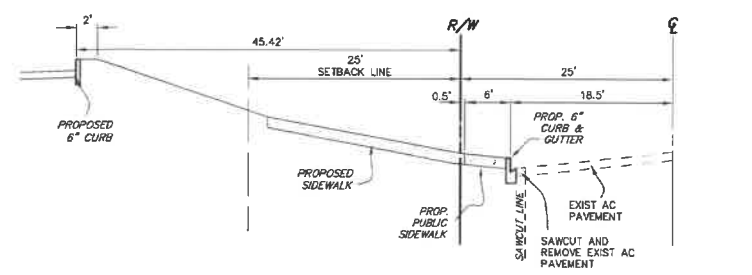
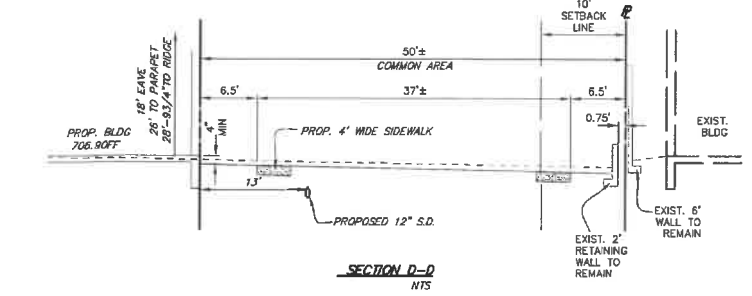
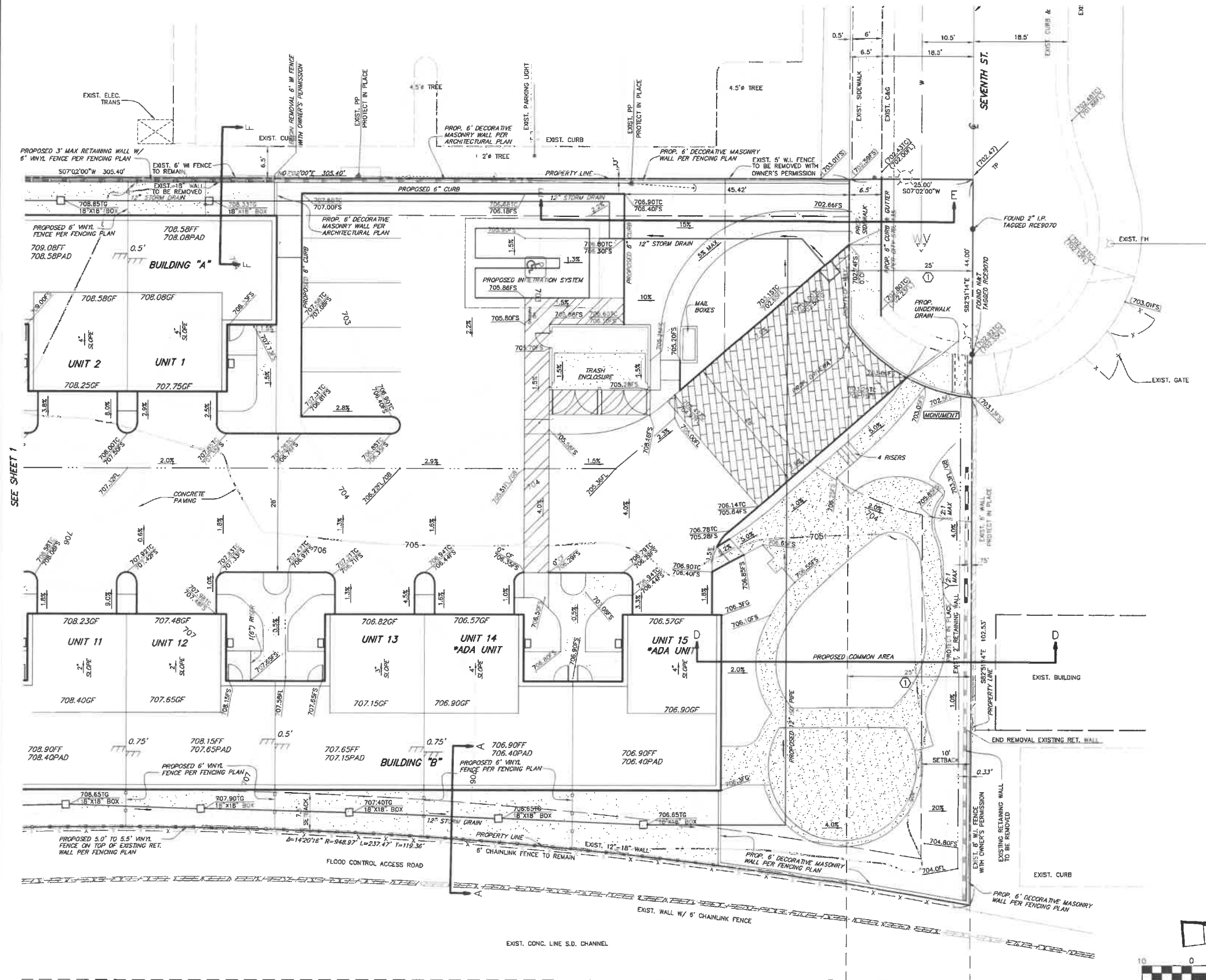
PREPARED BY:
PETROSSY &
1300 BRISTOL
NEWPORT, CA

DATE: 5/20/20

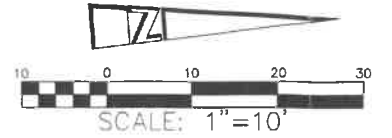
JOB NO. 6136

SCALE: 1"=10'

EXHIBIT 3.1



- EASEMENTS:**
- AN EASEMENT IN FAVOR OF THE CITY OF CORONA, FOR RIGHT OF WAY TO CONSTRUCT, MAINTAIN, OPERATE, REPAIR, ALTER, AND REMOVE PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED OCTOBER 5, 1987 AS INSTRUMENT NO. 88714 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR PUBLIC STREET AS SHOWN ON SUBDIVISION MAP BOOK 7, PAGE 24 AS RECORDED IN THE COUNTY OF RIVERSIDE, CALIFORNIA. (WITHIN EIGHT STREET)



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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



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SIXTH STREET.
ELEV: 694.421 DATED: 4/88

REVISIONS:

PREPARED UNDER THE SUPERVISION OF:
KEVIN J. RICHTER
R.C.E. 43714 LIC. EXP. 03/31/21
APPROVED BY:
DATE:

PRELIMINARY GRADING PLAN

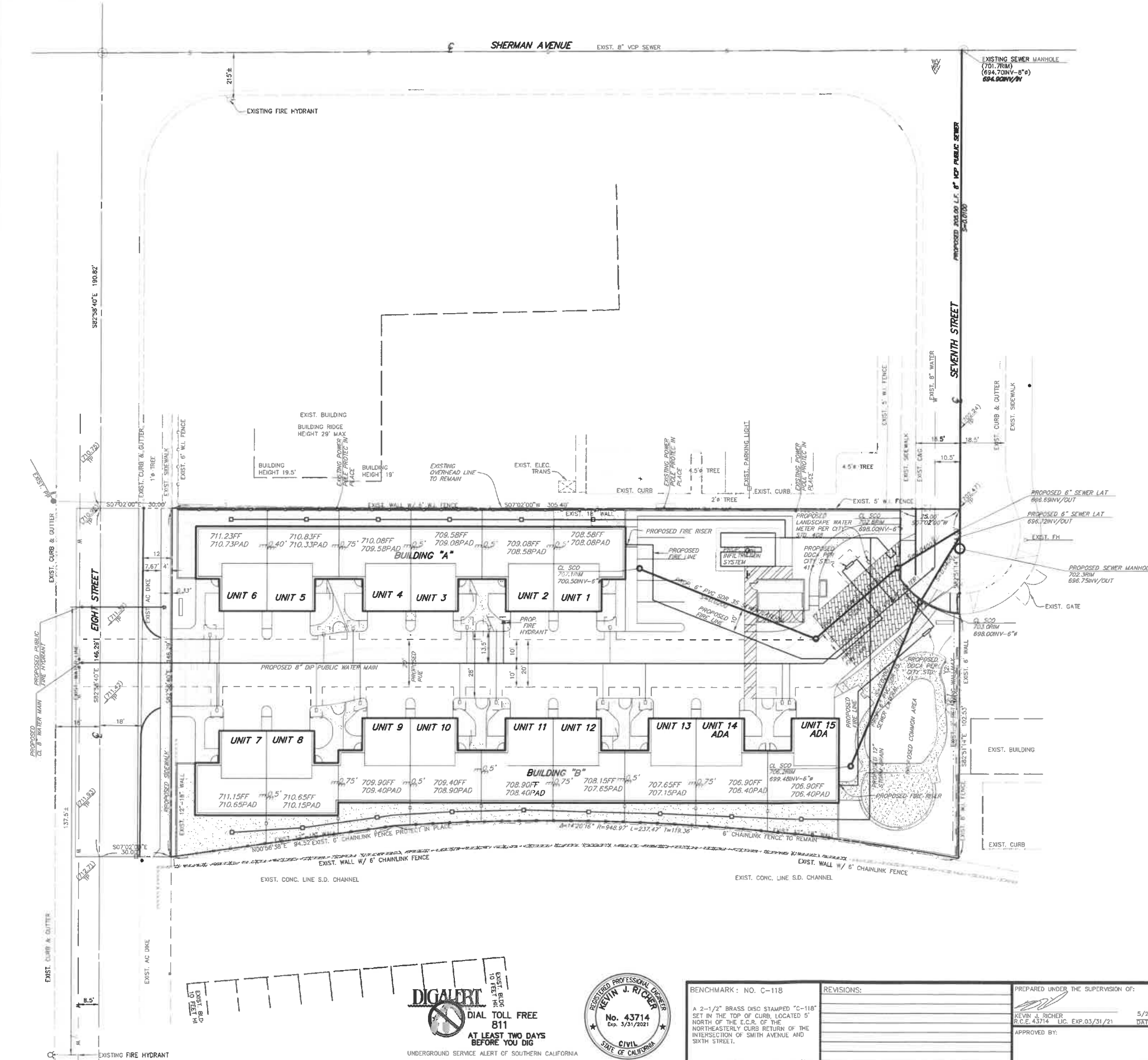
SITE:
SEVENTH STREET
CORONA, CA

PREPARED FOR:
PETROSSI & ASSOCIATED, INC.
1300 BRISTOL ST., SUITE 110
NEWPORT, CA 92660

LAND DEVELOPMENT DESIGN COMPANY, LLC

2313 E. Philadelphia St., Ste. F
Ontario, CA 91761
(909) 930-1466 • FAX (909) 930-1468

| | | | |
|--------------|---------|---------|----------|
| DATE: | 5/20/20 | JOB NO. | 8136 |
| DRAWN BY: | RAS | SCALE | 1"=10' |
| DESIGNED BY: | --- | SHEET | 2 |
| CHECKED BY: | KJR | OF | 2 SHEETS |

**LEGEND**

- PL PROPERTY LINE
- S- EXISTING SEWER
- W- EXISTING WATER
- FF FINISH FLOOR
- PAD PAD GRADE
- INV INVERT OF PIPE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- EXISTING STREET LIGHT
- EXISTING SEWER MANHOLE
- EXISTING EDGE OF PAVEMENT
- EXISTING CHAINLINK FENCE
- EXISTING WROUGHT IRON FENCE
- EXIST. CONCRETE
- PROP. WATER METER PER CITY STD. 408
- PROP. SEWER CLEANOUT
- PROP. WATER METER EASEMENT

WATER NOTES:

PROPOSED WATER METER TO BE CONSTRUCTED PER CITY STD. 408
 PROPOSED DOUBLE DETECTOR CHECK ASSEMBLY TO BE CONSTRUCTED PER CITY STD. 417

EASEMENTS:

- ① AN EASEMENT IN FAVOR OF THE CITY OF CORONA, FOR RIGHT OF WAY TO CONSTRUCT, MAINTAIN, OPERATE, REPAIR, ALTER, AND REMOVE PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED OCTOBER 9, 1967 AS INSTRUMENT NO. 88714 OF OFFICIAL RECORDS.
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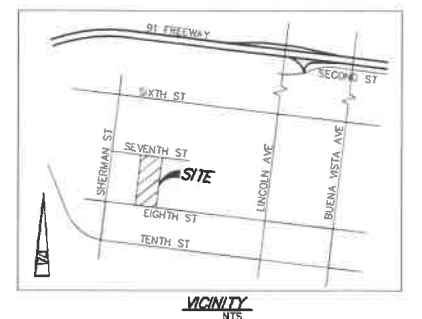
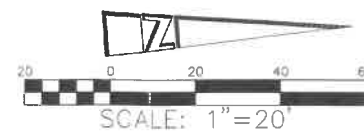
LEGAL DESCRIPTION:

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EXCEPTING THEREFROM THAT PORTION GRANTED TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT AS DESCRIBED IN DEED RECORDED AUGUST 6, 1994 AS INSTRUMENT NO. 31135, OF OFFICIAL RECORDS.

APN: 110-010-046



LAND DEVELOPMENT DESIGN COMPANY, LLC
 2313 E. Philadelphia St., Ste. F
 Ontario, CA 91761
 (909) 930-1458 • FAX (909) 930-1468

PP2020-001
 DPR 2019-0026

PLANNING - CIVIL - SURVEYING

PRELIMINARY UTILITY PLAN

SITE:
 SEVENTH STREET
 CORONA, CA

PREPARED FOR:
 PETROSSI & ASSOCIATED, INC.
 1300 BRISTOL ST., SUITE N
 NEWPORT, CA 92660

| | | | |
|--------------|---------|---------|----------|
| DATE: | 5/20/20 | JOB NO. | 6136 |
| DRAWN BY: | VAP | SCALE | 1"=20' |
| DESIGNED BY: | | SHEET | 1 |
| CHECKED BY: | KJR | OF | 1 SHEETS |

BENCHMARK: NO. C-118

REVISIONS:

PREPARED UNDER THE SUPERVISION OF:

KEVIN J. RICHER
 R.C.E. 43714 LIC. EXP. 03/31/21 DATE 5/20/20

APPROVED BY:

DATE

A 2-1/2" BRASS DISC STAMPED "C-118" SET IN THE TOP OF CURB, LOCATED 5' NORTH OF THE E.C.R. OF THE NORTHEASTERLY CURB RETURN OF THE INTERSECTION OF SMITH AVENUE AND SIXTH STREET.

ELEV: 594.421 DATED: 4/88



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 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



Scope of Work Letter for DPR 2019-0026

May 20, 2020

The project site is 1.13 acres that consist of 2 multifamily, 2 story townhouse type buildings with total of 15 rental units including 2 car garage per unit and average of 250 square feet of private patios which 2 of these 15 units are ADA units.

This development includes 7 guest parking and over 3,000 square feet of open site from 7th and 8th Streets.

Design of buildings are Mediterranean style compatible with surrounding existing buildings, as this site is surrounded by multifamily development to the South, West and East.

A concrete lined stormwater channel abuts the site to the East and a commercial development is located to the North.

The landscape has been designed to meet City's requirements for water conservation and tree shading. Plants have been selected for longevity, color and shade tolerance where applicable, and ease of maintenance.

The open space area features a play lawn, BBQ area, seat walls, a play equipment area, and a looped walk for trikes and pedestrian access. Perimeter of site and between the units will be fenced by 6 feet high wood composite fence to match buildings style.

Hannibal Petrossi

Petrosi & Associates, Inc.

EXHIBIT 3.J



CITY OF CORONA

PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

Name, Description and Location of Project: PP2020-0001

Application for the review of the site plan, architecture, fencing/walls, landscaping associated with the development of two two-story apartment buildings containing a total of 15-units on 1.13 acres located on the north side of West 8th Street, approximately 170 feet east of Sherman Avenue in the R-3 (Multiple Family Residential) zone

Entity or Person Undertaking Project:

☐ A. Public Agency:

☒ B. Other (private):

Name: Hannibal Petrossi of Petrossi and Associates, Inc.
Address: 1300 Bristol Street North, Suite 270, Newport Beach, CA 92660
Telephone No.: (949) 833-3240

Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
☐ B. The project is a Ministerial Project.
☐ C. The project is an Emergency Project.
☐ D. The project constitutes a feasibility or planning study.
☒ E. The project is categorically exempt: Per Section 15332 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.22 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 32 (Infill Development Projects) categorical exemption. The proposed multifamily residential development is consistent with the site's HDR General Plan designation and R-3 zone. The site is within city limits, less than five acres, and substantially surrounded by urban uses. The site has no value as habitat for endangered, rare, or threatened species, and approval of the project would not result in significant effects relating to traffic, noise, air-quality, or water-quality. The site can be adequately served by all required utilities and public services.
☐ F. The project is a statutory exemption. Code section number:
☐ G. The project is otherwise exempt on the following basis:
☐ H. The project involves another public agency, which constitutes the lead agency. Name of Lead Agency:

Date: _____

Rafael Torres, Assistant Planner
Lead Agency Representative

EXHIBIT 4



NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA
COMMUNITY DEVELOPMENT DEPARTMENT
400 S. VICENTIA AVE, SUITE 120
CORONA, CA 92882

1. Project title: PP2020-0001
2. Project location (specific): north side of West 8th Street, east of Sherman Avenue (APN: 110-040-046).
3. a. Project location - City of Corona
b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project:

Application for the review of the site plan, architecture, fencing/walls, landscaping associated with the development of two two-story apartment buildings containing a total of 15-units on 1.13 acres located on the north side of West 8th Street, approximately 170 feet east of Sherman Avenue in the R-3 (Multiple Family Residential) zone.

5. Name of public agency approving project: **City of Corona**
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity: **Hannibal Petrossi of Petrossi and Associates, Inc., 1300 Bristol Street North, Suite 270, Newport Beach, CA 92660.**
7. Exempt Status (check one):
 - a. ☐ Ministerial Project
 - b. ☐ Not a project
 - c. ☐ Emergency project
 - d. ☒ Categorical Exemption. State type and class number: **Section 15332 (In-Fill Development Project).**
 - e. ☐ Declared Emergency
 - f. ☐ Statutory Exemption. State code section number:
 - g. ☐ Other: Explain:

8. Reasons why the project is exempt:

PP2020-0001 is exempt from further CEQA review per Section 15332 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.22 of the City's Local CEQA Guidelines because the project qualifies as a Class 32 (Infill Development Projects) categorical exemption. The proposed multifamily residential development is consistent with the site's HDR General Plan designation and R-3 zone. The site is within city limits, less than five acres, and substantially surrounded by urban uses. The site has no value as habitat for endangered, rare, or threatened species, and approval of the project would not result in significant effects relating to traffic, noise, air-quality, or water-quality. The site can be adequately served by all required utilities and public services.

9. Contact Person/Telephone No.: Rafael Torres, Assistant Planner (951) 739-4973
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date received for filing:_____

Signature:_____

Rafael Torres, Assistant Planner Manager
Lead Agency Representative