



Agenda Report

File #: 20-0608

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 8/24/2020
TO: Honorable Chair and Commissioners
FROM: Community Development Department

APPLICATION REQUEST:

PPM2020-0002: Modification to Precise Plan 2018-0002 originally approved on May 7, 2018 to add two new single family floorplans with various architectural themes for the remaining 137 lots within Tract 36541 located south of Green River Road and Sierra Bella Drive, in the LDR-1 designation of the Sierra Bella Specific Plan (SP04-001). (Applicant: Jennifer Johnson with Lennar Homes of California, Inc., 980 Montecito Drive, Suite 302, Corona, CA 92879)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2560 GRANTING PPM2020-0002 based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 313 acres

Existing Zoning: LDR-1 (Low Density Residential 1; 7,200 square feet minimum lot area) and Open Space of the Sierra Bella Specific Plan (SP04-01)

Existing General Plan: RR2 (Rural Residential, 0.5-1 du/ac)

Existing Land Use: Single family residential

Proposed Land Use: Single family residential and open space

Surrounding Zoning/Land Uses:

N: LDR (Low Density Residential) within the Sierra del Oro Specific Plan/ Single family residences

E: LDR2 (Low Density Residential 2) within the Sierra Bella Specific Plan/ Undeveloped residential

S: Cleveland National Forest, County of Riverside

W: Natural open space within the Sierra Bella Specific Plan/ Conserved natural open space

BACKGROUND

On May 7, 2018, Lennar Homes obtained approval of Precise Plan 2018-0002 for the development of 237 single family residential lots associated with Tract 36541. Tract 36541 has been entirely graded

and all the public improvements associated with the project have been constructed. All of the 237 lots are finished and ready for housing unit construction. The development is a gated residential community known as Sierra Bella, which is located south of Green River Road and Sierra Bella Drive. The lots are within the Sierra Bella Specific Plan and zoned LDR-1 (Low Density Residential), which is a single family residential zone that requires a minimum lot size of 7,200 square feet. The precise plan was approved with two product lines that are being marketed under the names Sonata and Adagio. The approval also included a 0.93-acre private park within the interior of the development; and a 2.7-acre public park outside of the development. Both parks have been constructed. Additionally, the project's landscaping and perimeter fencing were included in the approval of the precise plan.

The Sonata line featured a combination of single-story and two-story floorplans ranging in size from 2,498 to 3,401 square feet (Exhibit 3.J). Sonata had four floor plans and three varied architectural styles, which included Italianate, Bungalow and Tuscan.

The Adagio line had larger floor plans and was intended for the larger lots with views. This line featured a combination of single-story and two-story floorplans ranging in size from 2,552 to 2,626 square feet (Exhibit 3.K). Adagio had four floor plans, and four varied architectural styles which included Spanish Eclectic, Italian, European Cottage, and Traditional.

As of the preparation of the staff report, Lennar Homes has constructed 87 houses between the two approved product lines. Since sales began December 2018, Lennar Homes has found that the current product lines have not been well received by potential home buyers. The applicant intends to build only 13 more lots with the approved product, and is seeking a precise plan modification to replace the products on the 137 remaining lots with two new product lines. The new products will be marketed under the names Toccata and Crescendo. The Toccata line will replace the Sonata line; and the Crescendo line will replace the Adagio line. The applicant hopes that the change in floorplans will make the homes more marketable for the Corona housing market and accommodate homebuyers that are looking to downsize. The applicant is not proposing any changes to the approved architectural styles.

The new floor plans required the applicant to seek a minor variance from the Community Development Department to reduce the side yard and rear yard setbacks for 13 of the 137 lots. The LDR-1 designation requires a minimum setback of 5 feet and 10 feet for the side yards, and 20 feet for the rear yard. Because of the wider floor plan associated with the new product line, seven lots ended up with 16-foot deep rear yards and six lots resulted in 9-foot wide side yards. The reductions were less than 20 percent of the minimum rear and side yard requirements and qualified as a minor variance subject to review by the Zoning Administrator under Section 17.99.060 of the Corona Municipal Code. The minor variance, V2020-0002, was approved by the Zoning Administrator on July 7, 2020.

PPM2020-0002 was submitted to the City on May 6, 2020, which was reviewed by city staff at the Project and Environmental Review Committee meeting on May 28, 2020. Staff issued an incomplete application letter to the applicant on June 3, 2020, noting items missing from the application submittal. Application PPM2020-0002 was deemed complete on July 7, 2020.

PROJECT DESCRIPTION

Site Plan

The new Toccata and Crescendo product lines will be plotted within the project site as shown in Exhibit 3.A. The Toccata lots are shown in blue and are primarily located along the center and at the east end of the site. The Crescendo lots are shown in green and are located at the southwest perimeter of the site. The lots built with the existing product lines are shown in grey. The LDR-1 designation prescribes the following minimum building setbacks and lot coverage:

- Front yard - 10 feet to the front porch and 15 feet to the dwelling;
- Interior Side yards - 5 feet on one side yard and 10 feet on the other side yard;
- Street Side yard - 10 feet; and
- Rear yard - 20 feet
- Maximum lot coverage of 45 percent of the total lot area

Except for the 13 lots already approved by a minor variance, the new floor plans are capable of complying with the required building setbacks.

The new floor plans are capable of complying with the required lot coverage, with the exception of four Toccata lots (5-1, 11-2, 13-2, and 15-2), which provide a lot coverage of 46 to 47 percent. However, the applicant is being conditioned to switch out the four floor plans with floor plans that comply with the 45 percent maximum lot coverage prescribed for the LDR-1 designation. Additionally, the floor plans will have different architectural styles and the same elevation will not be repeated adjacent to one another.

Toccata (formerly Sonata)

The Toccata product line includes three floor plans ranging from 2,365 to 2,944 square feet (Exhibit 3.C). All three floor plans are single-story with two to four bedrooms. The single-story design is meant to appeal to home buyers who are downsizing for various reasons, including buyers whose children have left home. Table A provides a side-by-side comparison of the original (Sonata) and new (Toccata) floorplans.

Table A
Floor Plan and Architectural Summary

	Original Floor Plans for Sonata	Proposed Floor Plans for Toccata
Number of Floor Plans	4	3
Floor Plan Sizes:		
Plan 1	2,497 sq. ft.	2,365 sq. ft.
Plan 2	2,891 sq. ft.	2,765 sq. ft.
Plan 3	3,085 sq. ft.	2,944 sq. ft. (Includes NexGen home)
Plan 4	3,401 sq. ft.	
Number of Floors	1-story and 2-story	1-story
Architectural Styles	Italianate Bungalow Tuscan	Italianate Bungalow Tuscan

Architectural Changes		Italianate style added wood shutters to a front window and a shelf under the front window to create a pop-out feature.
		Bungalow style changed the front column, from a tapered stucco column to a double wood post with stone veneer.
		Tuscan style added a shelf under the front window to create a pop-out feature.

The largest floor plan (Plan 3-AX) is described by the applicant as a multi-generational home because it features a 569 square foot "NexGen home" within the home. This area is designed as an independent space with its own bedroom, bathroom, sitting area, washer and dryer closet, space for a full size refrigerator and counter space for counter-top kitchen appliances, such as a microwave. The NexGen home is accessible from within the home and has its own separate side-door entrance. The NexGen home is not an accessory dwelling unit (ADU) as defined by the city's Accessory Dwelling Unit Ordinance because it does not include its own permanent cooking facilities (i.e. stove). Should a homebuyer decide to convert the NexGen home into an ADU, the homebuyer would need to demonstrate to the applicable city departments that the conversion meets the city's ADU regulations and obtain a building permit for the conversion.

Another key item for the Toccata floorplans is Lennar's sloping ceiling feature located in the great room, which creates a traditional joist and beam interior design element. The sloping ceiling feature has been a major selling point for Lennar (Exhibit 3.D).

The architectural styles for Toccata include Italianate, Bungalow, and Tuscan, which are consistent with the design themes established in the Specific Plan and identical to the architectural styles approved for the Sonata product line. Exhibit 3.E illustrates typical elevations for each architectural style. Exhibit 3.F illustrates the three color schemes for the Toccata line.

Crescendo (formerly Adagio)

The Crescendo product line is the larger of the two product lines. This line features three floor plans which are all two-stories ranging from 3,423 to 4,134 square feet (Exhibit 3.G). A NexGen home is also included within the largest floor plan, which is identified as Plan 6-A. The NexGen home includes its own bedroom, sitting room, retreat, kitchen, laundry room, and bathroom. It has access from within the main home and a separate side-door entrance. Table B provides a side-by-side comparison of the original (Adagio) and new (Crescendo) floorplans.

The architectural styles for Crescendo include Spanish Eclectic, Italian, European Cottage, and Traditional, which are consistent with the design themes established in the Specific Plan and identical to the architectural styles approved for the Adagio product line. Exhibits 3.H illustrate typical elevations for each architectural style. Exhibits 3.I illustrates the three color schemes for the new Crescendo product line.

Table B
Floor Plan and Architectural Summary

	Original Floor Plans for Adagio	Proposed Floor Plans for Crescendo
Number of Floor Plans	4	3
Floor Plan Sizes		
Plan 1	2,624 sq. ft.	3,423 sq. ft.
Plan 2	3,288 sq. ft.	3,912 sq. ft.
Plan 3	3,654 sq. ft.	4,134 sq. ft. (Includes NexGen home)
Plan 4	4,187 sq. ft.	
Number of Floors	1-story and 2-story	2-story
Architectural Styles	Spanish Eclectic Italian European Cottage Traditional	Spanish Eclectic Italian European Cottage Traditional
Architectural Changes		Spanish Eclectic added wood shutters to the front second floor window.
		Italian changed the grid pattern for the vinyl windows.
		European Cottage style removed the stone veneer around the garage door. The stone veneer around the front door was maintained to draw attention to the home's main entrance. Traditional style added a front porch with wood posts and removed the roof awning above the second-floor window.

Landscaping

The project's landscape plan is attached as Exhibit 3.L. Landscaping has been updated to reflect the new product lines within the unbuilt lots, although no changes to the California-friendly plant palette are proposed with this modification. The plant palette consists of low water use trees and ground cover for the slope areas and low to medium water use trees for street trees and parkways.

Exhibit 3.M shows the typical residential front yard for the lots, which features ground cover, a variety of accent shrubs and 15-gallon size trees. The homes constructed thus far have front yard landscaping and irrigation in place. The remaining lots with the new product lines will have the same type of landscaping.

No changes are proposed to the project's approved Fuel Modification Plan which appropriately establishes irrigated wet zones, non-combustible construction areas and special maintenance areas relative to the portions of the development that are near significant slopes and/or wildland areas. The Fuel Modification Plan was approved by the Corona Fire Department with the original precise plan.

ENVIRONMENTAL ANALYSIS

Per Section 15162 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA), no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On August 17, 2005, the City Council certified the Sierra Bella Specific Plan EIR. PPM2020-0002 does not change the current configuration of the project site or alter the grading that has already occurred on the site. The project is a cosmetic change to the residential units that are capable of fitting within the residential lots already graded on the property. Therefore, the modified project will not result in new significant environmental effects from that previously analyzed in the EIR. A Notice of Exemption has been prepared for the project, which is attached as Exhibit 4.

FISCAL IMPACT

The applicant has paid the application processing fees to cover the cost of the precise plan modification review, as required by City resolution.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly News* and posted at the project site. As of the preparation of this report, the Community Development Department has not received any inquiries from the public in response to the notice.

STAFF ANALYSIS

PPM2020-0002 will allow the applicant to change their product lines for the remaining 137 lots within the Sierra Bella residential community. Lennar Homes spent a considerable amount of time and research designing two new lines, Toccata and Crescendo, to meet the needs of buyers in the Corona housing market. The products have varied elevation styles and home sizes, similar to the original approval, resulting in a project that continues to be well suited for the area. The proposed architectural styles and color schemes comply with the architectural design guidelines in the Sierra Bella Specific Plan and will blend seamlessly with the original plans. The proposed floor plans comply with the city's development standards including those that have been granted a minor variance in accordance with the provisions allowed by CMC Section 17.99.060.

The applicant has chosen to plot the single-story Toccata homes together in a central location within the site, with the two-story Crescendo homes farther southwest, at higher elevations. This layout groups together the single-story homes to maximize their privacy and maximizes the views of the higher elevated two-story homes. The design of the development creates an attractive and desirable community.

The private streets and main perimeter walls and fencing within the site have been constructed. Most slopes and parkways within the site have been landscaped. No changes are proposed to these areas as part of this application. No changes are proposed to the lots themselves.

PPM2020-0002 is consistent with General Plan Land Use Policy LU-7.7, which requires single-family housing be well designed in a manner that will enhance and maintain a high level of neighborhood quality through the articulation of building elevations and masses, variation of rooflines, architectural

design, and the use of entries and windows on street facing elevations. The Planning Division recommends approval of PPM2020-0002 based on the findings listed below and staff's recommended conditions of approval.

FINDINGS OF APPROVAL FOR PPM2020-0002

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On August 17, 2005, the City Council certified the Sierra Bella Specific Plan EIR. PPM2020-0002 does not change the current configuration of the project site or alter any grading that has already occurred on the site. The project is a cosmetic change to the residential units that are capable of fitting within the residential lots already graded on the property. Therefore, the modified project will not result in new significant environmental effects from that previously analyzed in the EIR.
2. All the criteria necessary for granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code, have been met for PPM2020-0002, as follows:
 - a. *The proposal is consistent with the site's General Plan land use designation of Rural Residential because this land use is intended for single-family residential and open space land uses. The Rural Residential designation prescribes a density of 0.5 - 1 du/ac. The project's density is 0.76 du/ac, which is below the maximum density prescribed. No changes to the project's density are proposed with application PPM2020-0002.*
 - b. *The project complies with the LDR-1 designation of the Sierra Bella Specific Plan and as applicable with the Corona Municipal Code, in terms of building setbacks, lot coverage, architectural design, and landscaping, as demonstrated by Exhibits 3.A - 3.0 attached herein and the conditions of approval for the project.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempted from further review.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal. The new product lines are capable of meeting the minimum building setback requirements, lot coverage, architectural design, landscaping, and other applicable development standards prescribed by the Sierra Bella Specific Plan.*
 - e. *The design, scale and layout of the proposed modification and overall development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the Sierra Bella Specific Plan's development standards for the LDR-1 designation and the applicable development standards governed by the Corona Municipal Code.*
 - f. *The architectural design of the proposed development is compatible with the character*

of the surrounding neighborhood, will enhance the visual character of the neighborhood as it is designed in accordance with hillside standards and the architectural standards prescribed within the Sierra Bella Specific Plan, providing for the harmonious, orderly and attractive development of the site.

- g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that are aesthetically appealing and will retain a reasonably adequate level of maintenance, as the project design in detail and as a whole is demonstrated to be of high quality meeting the standards established in the specific plan.*
- h. The proposed development is compatible with and enhances the design of existing buildings and other physical features of the site because the two new product lines (Toccata and Crescendo) proposed by PPM2020-0002 have architectural styles that are the same as the original styles approved under the original precise plan, PP2018-0002. Additionally, the new floor plans fit within the scale of the residential community.*

3. The proposal is consistent with the General Plan for the following reason:

- a. The proposed modification is consistent with Land Use General Plan Policy LU-7.7, which requires single-family housing be well designed in a manner that will enhance and maintain a high level of neighborhood quality through the articulation of building elevations and masses, variation of rooflines, architectural design, and the use of entries and windows on street facing elevations. PPM2020-0002 has been designed with a variety of architectural styles, such as Italianate, Bungalow, Tuscan, Spanish Eclectic, Italian, European Cottage, and Traditional to create variation and interest within the Sierra Bella residential community.*

4. The proposal is consistent with the conditions required under Section 6.5.2 of the Sierra Bella Specific Plan (SP04-01):

- a. The project implements the LDR-1 designation (Low Density Residential, 7,200 square foot minimum lot area).*
- b. The project with its conditions of approval is designed in accordance with the design guidelines, architectural themes, and development standards applicable to the LDR-1 designation.*

PREPARED BY: LUPITA GARCIA, ASSOCIATE PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBITS

- 1- Resolution No. 2560
- 2- Locational Map
- 3.A - Site Plan
- 3.B - Conditions of Approval
- 3.C - Toccata Floor Plans
- 3.D - Lennar's Sloping Ceiling Feature
- 3.E - Toccata Elevation Plans
- 3.F - Toccata Color Schemes
- 3.G - Crescendo Floor Plans
- 3.H - Crescendo Elevation Plans
- 3.I - Crescendo Color Schemes
- 3.J - Sonata Elevation Plans (previously approved plan)
- 3.K - Adagio - Elevation Plans (previously approved plan)
- 3.L - Conceptual Landscape Plan
- 3.M - Typical Front Yard Landscape Plan
- 3.N - Conceptual Wall and Fence Plan
- 3.O - Slope Exhibit
- 3.P - Applicant's letter dated August 6, 2020
- 4 - Environmental Documentation

Case Planner: Lupita Garcia (951) 736-2293



RESOLUTION NO. 2560

APPLICATION NUMBER: PPM2020-0002

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN MODIFICATION TO PRECISE PLAN 2018-0002 ORIGINALLY APPROVED ON MAY 7, 2018 TO ADD TWO NEW SINGLE FAMILY FLOORPLANS WITH VARIOUS ARCHITECTURAL THEMES FOR THE REMAINING 137 LOTS WITHIN TRACT 36541 LOCATED SOUTH OF GREEN RIVER ROAD AND SIERRA BELLA DRIVE IN THE LDR-1 DESIGNATION OF THE SIERRA BELLA SPECIFIC PLAN (SP04-001). (APPLICANT: JENNIFER JOHNSON WITH LENNAR HOMES OF CALIFORNIA, INC.)

WHEREAS, the application to the City of Corona, California, for a Precise Plan Modification under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission to modify Precise Plan 2018-0002 originally approved on May 7, 2018 to add two new single family floorplans with various architectural themes for the remaining 137 lots within Tract 36541 located south of Green River Road and Sierra Bella Drive in the LDR-1 designation of the Sierra Bella Specific Plan (SP04-001).

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PPM2020-0002 on August 24, 2020, as required by law; and

WHEREAS, the Planning and Housing Commission finds that this project is exempt from CEQA pursuant to Section 15162 of the State CEQA Guidelines and Section 3.03 of the City of Corona Local Guidelines for Implementing CEQA because there is no possibility that the activity may have a significant effect of the environment.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting PPM2020-0002 as set forth in Corona

Municipal Code Section 17.91.070 and Section 6.5.2 of the Sierra Bella Specific Plan do exist in reference to PPM2020-0002 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PPM2020-0002 on certain conditions of approval and the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this PPM2020-0002, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as an exemption under CEQA per Section 15162 of the State Guidelines and Section 3.03 of the City of Corona Guidelines for implementing CEQA. There is no evidence presented to the city that the project will have any significant effects on the environment.

SECTION 2. PPM2020-0002 Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.070 and Section 6.5.2 of the Sierra Bella Specific Plan and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On August 17, 2005, the City Council certified the Sierra Bella Specific Plan EIR. PPM2020-0002 does not change the current configuration of the project site or alter any grading that has already occurred on the site. The project is a cosmetic change to the residential units that are capable of fitting within the residential lots already graded on the property. Therefore, the modified project will not result in new significant environmental effects from that previously analyzed in the EIR.
2. All the criteria necessary for granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code, have been met for PPM2020-0002, as follows:
 - a. *The proposal is consistent with the site's General Plan land use designation of Rural Residential because this land use is intended for single-family residential and open space land uses. The Rural Residential designation prescribes a density of 0.5 – 1 du/ac. The project's density is 0.76 du/ac, which is below the maximum density prescribed. No changes to the project's density are proposed with application PPM2020-0002.*
 - b. *The project complies with the LDR-1 designation of the Sierra Bella Specific Plan and as applicable with the Corona Municipal Code, in terms of building setbacks, lot coverage, architectural design, and landscaping, as demonstrated by Exhibits*

3.A – 3.0 attached herein and the conditions of approval for the project.

- c. The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempted from further review.*
- d. The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal. The new product lines are capable of meeting the minimum building setback requirements, lot coverage, architectural design, landscaping, and other applicable development standards prescribed by the Sierra Bella Specific Plan.*
- e. The design, scale and layout of the proposed modification and overall development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the Sierra Bella Specific Plan's development standards for the LDR-1 designation and the applicable development standards governed by the Corona Municipal Code.*
- f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood as it is designed in accordance with hillside standards and the architectural standards prescribed within the Sierra Bella Specific Plan, providing for the harmonious, orderly and attractive development of the site.*
- g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that are aesthetically appealing and will retain a reasonably adequate level of maintenance, as the project design in detail and as a whole is demonstrated to be of high quality meeting the standards established in the specific plan.*
- h. The proposed development is compatible with and enhances the design of existing buildings and other physical features of the site because the two new product lines (Toccata and Crescendo) proposed by PPM2020-0002 have architectural styles that are the same as the original styles approved under the original precise plan, PP2018-0002. Additionally, the new floor plans fit within the scale of the residential community.*

3. The proposal is consistent with the General Plan for the following reason:

- a. The proposed modification is consistent with Land Use General Plan Policy LU-7.7, which requires single-family housing be well designed in a manner that will enhance and maintain a high level of neighborhood quality through the articulation of building elevations and masses, variation of rooflines, architectural design, and the use of entries and windows on street facing elevations. PPM2020-0002 has been designed with a variety of architectural styles, such as Italianate, Bungalow, Tuscan, Spanish Eclectic, Italian, European Cottage, and Traditional to create variation and interest within the Sierra Bella residential community.*

4. The proposal is consistent with the conditions required under Section 6.5.2 of the Sierra Bella Specific Plan (SP04-01):
 - a. *The project implements the LDR-1 designation (Low Density Residential, 7,200 square foot minimum lot area).*
 - b. *The project with its conditions of approval is designed in accordance with the design guidelines, architectural themes, and development standards applicable to the LDR-1 designation.*

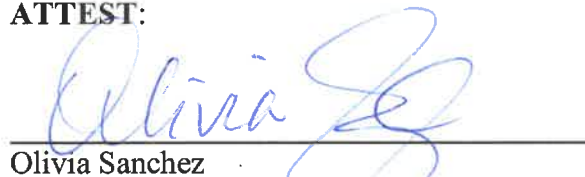
BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said PPM2020-0002.

Adopted this 24th day of August, 2020.



Karen Alexander, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Olivia Sanchez
Secretary, Planning and Housing Commission
City of Corona, California

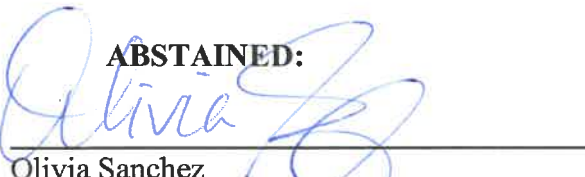
I, Olivia Sanchez, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 24th day of August, 2020, and was duly passed and adopted by the following vote, to wit:

AYES: Siqueland, Hooks, Jones, Meza

NOES: Alexander

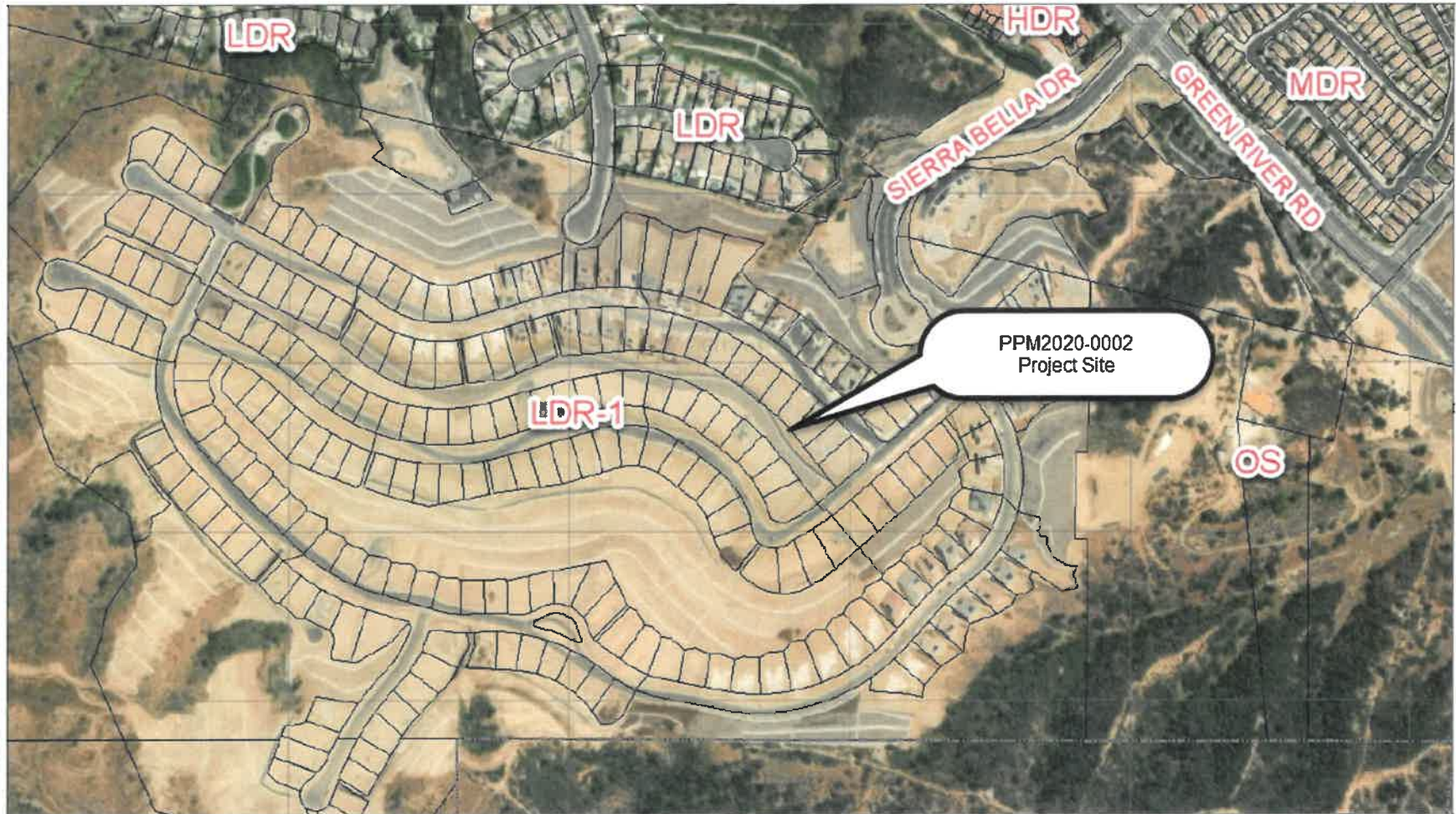
ABSENT:

ABSTAINED:



Olivia Sanchez
Secretary, Planning and Housing Commission
City of Corona, California

LOCATIONAL & ZONING MAP



Date: 08/18/2020

**Sierra Bella
PPM2020-0002**

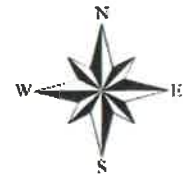
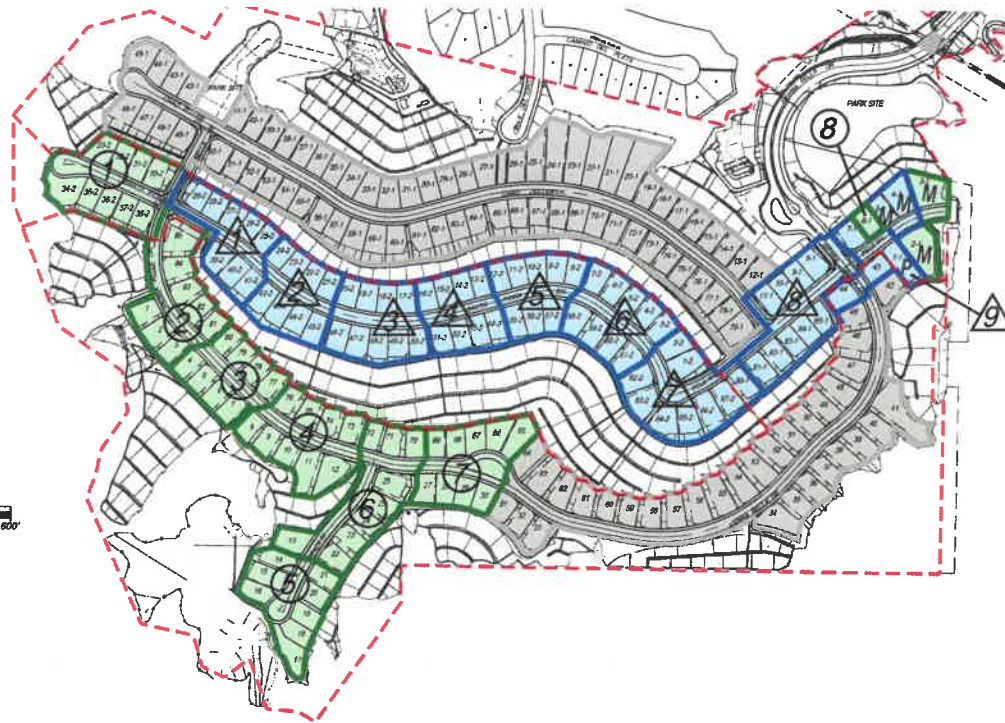
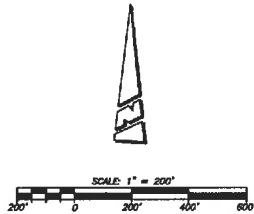
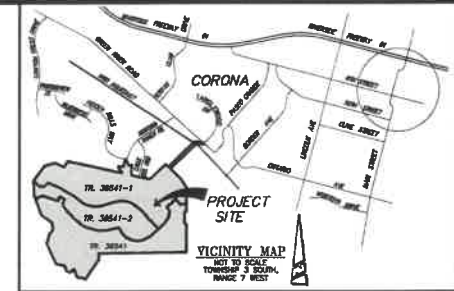


EXHIBIT 2

AMENDED PRECISE PLAN TR. 36541-1, 36541-2 AND 36541 CRESCENDO AND TOCCATA APRIL 2020



APPLICANT / OWNER:
LENNAR
355 E. JONSON ST. SUITE #300
CORONA, CA 92609
CONTACT: JENNIFER EVANS
(951) 698-5529

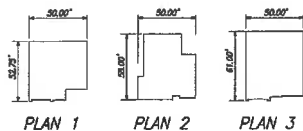
PREPARER:
PROACTIVE ENGINEERING WEST
25109 JEFFERSON AVE. SUITE 200
MURRISSETTA, CA 92563
(951) 200-6840

CRESCENDO PLOT MIX TABLE			
PHASE	1	2	3
PHASE 1	4	2	3
PHASE 2	2	3	1
PHASE 3	3	3	2
PHASE 4	2	4	3
PHASE 5	2	3	3
PHASE 6	3	3	3
PHASE 7	3	3	3
PHASE 8B0	1	0	0
MOCKLS	0	1	1
TOTAL	29	22	2
PERCENT	31.75%	34.52%	13.73%

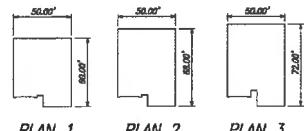
TODCATA PLOT MIX TABLE			
PHASE	1	2	3
PHASE 1	2	3	0
PHASE 2	2	3	0
PHASE 3	2	3	0
PHASE 4	2	3	0
PHASE 5	2	3	0
PHASE 6	2	3	0
PHASE 7	2	3	0
PHASE 8	2	3	0
PHASE 9	2	3	0
PHASE 10	2	3	0
PHASE 11	2	3	0
PHASE 12	2	3	0
PHASE 13	2	3	0
PHASE 14	2	3	0
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PHASE 93	2	3	0
PHASE 94	2	3	0
PHASE 95	2	3	0
PHASE 96	2	3	0
PHASE 97	2	3	0
PHASE 98	2	3	0
PHASE 99	2	3	0
PHASE 100	2	3	0
TOTAL	200	300	0
PERCENT	33.33%	50.00%	0.00%

LEGEND:

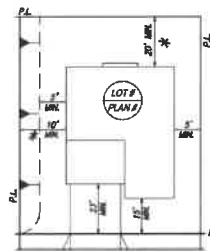
- ⑤ - LOT NUMBER
- ① - PLAN NUMBER
- PHASE LINE CRESCENDO
- PHASE LINE TOCCATA
- TRACT BOUNDARY
- RETAINING WALL
- CRESCENDO PHASE NUMBER
- TOCCATA PHASE NUMBER
- MODELS
- MODELS PARKING
- CRESCENDO
- TOCCATA
- NOT A PART
- 82-1 - LOT NUMBER-TRACT NUMBER (NO DASH-FINAL TRACT)



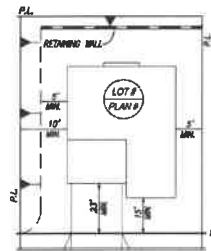
CRESCENDO



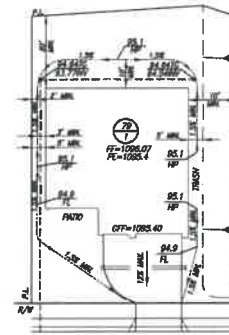
TOCCATA



TYPICAL LOT DETAIL
NO RETAINING WALL
N.T.S.



TYPICAL LOT DETAIL
WITH RETAINING WALL
N.T.S.



TYPICAL LOT
DRAINAGE DETAIL
N.T.S.

* ALL LOTS COMPLY WITH STANDARD SET BACK
CONDITION UNLESS OTHERWISE NOTED ON PLAN



PROACTIVE ENGINEERING
CONSULTANTS WEST
25109 JEFFERSON AVE. SUITE 200
MURRISSETTA, CA 92563
PH: 951-200-6840

LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
CRESCENDO AND TOCCATA

SHEET 1

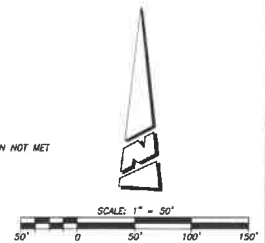
EXHIBIT 3.A



SEE SHEET 5

LEGEND:

- NOT A PART
- RETAINING WALL
- STANDARD SETBACK CONDITION NOT MET



SHEET 3

SEE SHEET 4

PROACTIVE ENGINEERING
CONSULTANTS WEST
20100 HERRING AVE. SUITE 100
BAYVIEW, CA 94552
925-975-8440

LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
CRESCENDO

SEE SHEET 3



PROACTIVE ENGINEERING
CONSULTANTS WEST
20100 JEFFERSON AVE. SUITE 100
BENICU, CA 92602
(916) 275-1825

LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
CRESCENDO

SEE SHEET 3

SEE SHEET 6

SEE SHEET 4

LEGEND:

- NOT A PART

— - RETAINING WALL

* -STANDARD SETBACK CONDITION NOT MET



SCALE: 1" = 50'

SHEET 5

**LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
TOCCATA**



PROACTIVE ENGINEERING CONSULTANTS WEST
25109 JEFFERSON AVE. SUITE 100
HUNTERC, CA 92582
951-205-6840

SEE SHEET 5


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
- NOT A PART
- RETAINING WALL
- * - STANDARD SETBACK CONDITION NOT MET

SHEET 6

PROACTIVE ENGINEERING WEST
CONSULTANTS WEST
2000 JEFFERSON AVE SUITE 100
BERKELEY, CA 94704
925-878-0850

LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
TOCCATA AND CRESCENDO

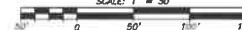
 - NOT A PART

 - RETAINING WALL

* - STANDARD SETBACK CONDITION NOT MET



SCALE: 1" = 50'



SHEET 6



PROACTIVE ENGINEERING CONSULTANTS WEST
2516 Jefferson Ave. Suite 100
Riverside, CA 92502
951-279-8820

**LENNAR HOMES
AMENDED PRECISE PLAN
TR. 36541-1, 36541-2 AND 36541
TOCCATA AND CRESCENDO**



Project Conditions

City of Corona

Project Number: PPM2020-0002

Description: MODIFY PP2018-0002 FOR ARCHITECTURAL AND FLOOR PLAN CHANGES

Applied: 4/21/2020

Approved:

Site Address: Sierra Bella ,

Closed:

Expired:

Status: RECEIVED

Applicant: LENNAR HOMES OF CALIFORNIA INC.

Parent Project: PP2018-0002

980 MONTECITO DR., SUITE 302 CORONA CA, 92879

Details:

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
1. Comply with 2019 California Building Codes, California Code of Regulations / Title 24	
FIRE	Cindi Schmitz
<ol style="list-style-type: none">1. Upon submittal of building plans show compliance with the approved fuel modification plan and all CBC Chapter 7A requirements.2. Place Fire Department DPR comments on plans as general notes.3. Plans shall show a minimum drive width of 28 feet.4. Show two (2) all weather surface access ways to be approved by the Fire Marshal and construct the access way(s) to accommodate 70,000 lbs. gross vehicle weight during all phases of construction.5. Dead end access drives shall not exceed one hundred fifty (150) feet in length.6. Provide turn-around for access drive(s) meeting Fire Department standards/approval.7. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s).8. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer.9. A minimum fire flow of 1500 gallons per minute at 20 psi shall be provided for one- and two-family dwellings.10. Fire hydrants are to be spaced a maximum 250 feet apart.11. Fire hydrants are to be spaced a maximum 300 feet apart, one- and two-family dwellings only.12. Provide one-hour constructed eaves for all homes located within two hundred (200) feet of wildland areas. Entire house perimeter shall comply.13. Fuel modification is required for this project. Consult with a qualified firm to provide a submittal to the fire department for review and approval.14. Provide Class A roofing material on all structures per the Corona Municipal Code.15. This development is located in an area that requires a fire facility fee of \$231 and acre per the Corona Municipal Code. This fee is due prior to building permit issuance.16. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.17. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.18. Smoke detectors and/or carbon monoxide detectors shall be installed per the California Building, Fire and Residential Code.19. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.	



Project Conditions

City of Corona

FIRE	Cindi Schmitz
<p>20. This project is located within the City's very-high fire hazard severity zone, show California Building Code Chapter 7A compliance on building plan submittal. Reference can be made to Wildland Urban Interface products at the office of the State Fire Marshal at www.osfm.fire.ca.gov</p> <p>21. Residential Fire Sprinklers shall be installed per California Fire and Residential Code, and NFPA 13.</p>	
PLANNING	Lupita Garcia
<ol style="list-style-type: none"> 1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 3. This Precise Plan Modification hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof within two (2) years after the construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed. 4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees. 5. The project shall comply with the approved exhibits and conditions of approval for PP2018-0002 and the previously approved subdivision map (TTM 36541). 6. The applicant or his successor in interest shall comply with the certified Sierra Bella Specific Plan Environmental Impact Report. 7. All landscaping, onsite and within the parkway, shall be installed per the approved plans prior to issuance of certificate of occupancy. 8. The applicant shall obtain approval of a separate Model Home Permit for the second model home complex proposed on the northeast end of the project site prior to issuance of a building permit for any model homes associated with the precise plan modification. 9. Lot coverage calculations cannot exclude the California Rooms and not exceed the 45% maximum established by the Sierra Bella Specific Plan LDR-1 designation. 10. Whether maintained by a Landscape Maintenance District or a Homeowners Association, all open space lots shall be developed in accordance with the City's Landscape Maintenance District guidelines. 11. Prior to the issuance of a certificate of occupancy for each residential unit, the on-site landscaping, walls and fences shall be installed. 12. The manufactured slopes shall be landscaped with each phase of construction. 13. Residential units and accessory structures shall adhere to the setback provisions of the fuel modification plan for certain lots. 	



Project Conditions City of Corona

PLANNING	Lupita Garcia
14. The applicant shall switch out the four Toccata floor plans (5-1, 11-2, 13-2, and 15-2) with floor plans that comply with the 45 percent maximum lot coverage prescribed for the LDR-1 designation. The same elevation/architectural style shall not be repeated adjacent to one another.	
PUBLIC WORKS	Michele Hindersinn
1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.	



Project Conditions

City of Corona

PUBLIC WORKS

Michele Hindersinn

2. GENERAL

- a. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
- b. The development shall comply with all mitigation requirements as specified in the Environmental Impact Report.
- c. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
- d. The developer and his successors or assigns shall be responsible for the maintenance of common areas, such as slopes or basins, until such time they become a part of the Homeowner's Association.
- e. Prior to issuance of any Certificate of Occupancy in each map phase, the developer shall cause the engineer of record to submit project base line work, for the respective map phase, for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
- f. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - i. Removal of spoils, debris or other construction material deposited on any public street no later than the end of each working day.
 - ii. Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - iii. The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
- g. Prior to issuance of any Certificate of Occupancy in each map phase, the developer shall finish the construction of all private or public improvements required by the respective map phase. Said improvements shall include, but are not limited to, the following:
 - i. All street facilities within the respective map phase, along the entry road into the tract, and missing improvements along Green River Road.
 - ii. All drainage facilities within the respective map phase, temporary and permanent basins required, etc.
 - iii. All required grading, including erosion control.
 - iv. All required sewer, water and reclaimed water facilities.
 - v. All required landscaping and/or park facilities.
 - vi. All under grounding of overhead utilities, except for cables greater than 32k volts.



Project Conditions

City of Corona

PUBLIC WORKS

Michele Hindersinn

3. GRADING

- a. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
- b. Prior to issuance of building permits, the civil engineer of record and soils engineer of record for the approved grading plans shall submit pad certifications and compaction test reports for the subject lots where building permits are requested.
- c. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
- d. All manufactured slopes shall be landscaped and irrigated per City of Corona standards and in accordance with the City of Corona Municipal Code.

4. NPDES/WQMP

- a. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
- b. The developer, his successors or assigns shall be responsible for the maintenance and upkeep of interim water quality facilities and erosion control until such time that interim facilities are no longer required and final improvements are completed per approved improvement plan and final WQMP.
- c. Prior to issuance of the any Certificate of Occupancy in each map phase, the developer shall provide proof of notification to the future homeowners and/or occupants in the respective map phase of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.
- d. Prior to issuance of a first Certificate of Occupancy, all basins (debris, water quality, detention) shall be constructed and in operation.

5. STREETS

- a. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.
- b. Prior to issuance of the first building permit within Tract Map 36541-2, all required street improvements for this phase, as shown by the respective map and in conformance with the Tentative Map, shall be completed.



Project Conditions

City of Corona

PUBLIC WORKS

Michele Hindersinn

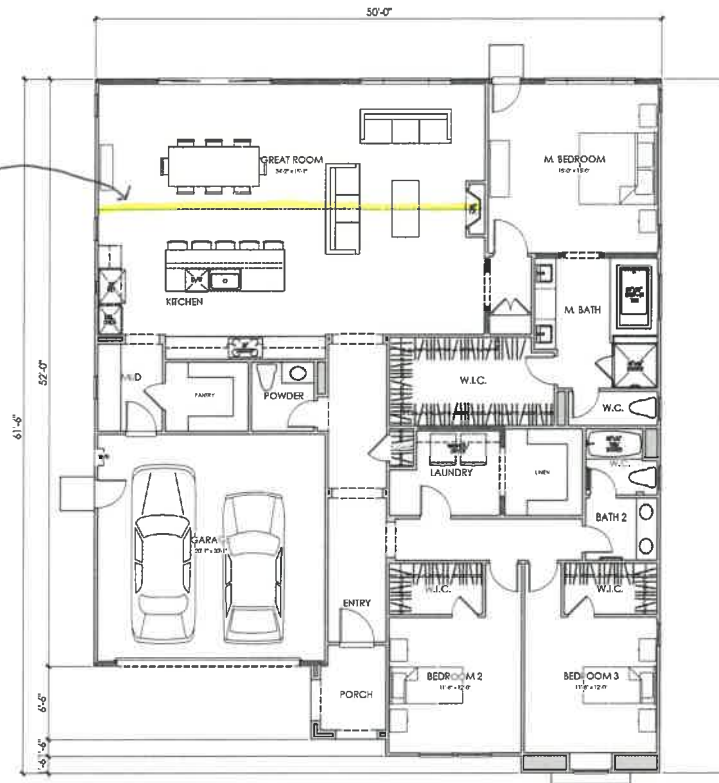
6. SEWER AND WATER

- a. All the sewer, water and reclaimed water design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the General Manager of the Department of Water and Power or his official designee.
- b. Prior to the issuance of the first building permit within Tract Map 36541 (Final), the looped 12-inch waterline in Sierra Bella Drive and 8-inch "D" Street shall be completed and in operation.
- c. Prior to the issuance of the first building permit within Tract Map 36541 (Final), the following 8-inch sewer lines shall be completed and in operation:
 - i. "D" Circle
 - ii. Sierra Bella Drive
- d. Prior to issuance of the first Certificate of Occupancy, all weather access road(s) shall be provided to all sewer manholes not located within public right-of-way.
- e. All landscaped areas that are maintained by the HOA, CFD or City of Corona shall be irrigated by reclaimed water.
- f. Prior to the issuance of the first building permit within Tract Map 36541 (Final), the following 8-inch reclaimed waterlines shall be completed and in operation:
 - i. "D" Circle
 - ii. "C" Street from phase 1 construction limits to Sierra Bella Drive
 - iii. Sierra Bella Drive from Phase 1 construction limits to phase 3 construction limits

7. SPECIAL DISTRICTS

- a. Prior to issuance of any Certificate of Occupancy in each map phase, all proposed parkway, slope maintenance, and/or median landscaping required for the respective map or in these Conditions of Approval shall be constructed.
- b. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
- c. The developer and his successors or assignees shall be responsible for all parkway landscaping maintenance until such time as the District accepts maintenance duties.

(N) sloping ceiling
feature



FIRST FLOOR PLAN
PLAN 1 (2365) "A"
3 BEDROOMS, 2.5 BATH, 2 CAR GARAGE

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	2,365 SQ. FT.
TOTAL DWELLING	2,365 SQ. FT.
UNCONDITIONED SPACE	
PORCH	53 SQ. FT.
GARAGE	419 SQ. FT.



LENNAR

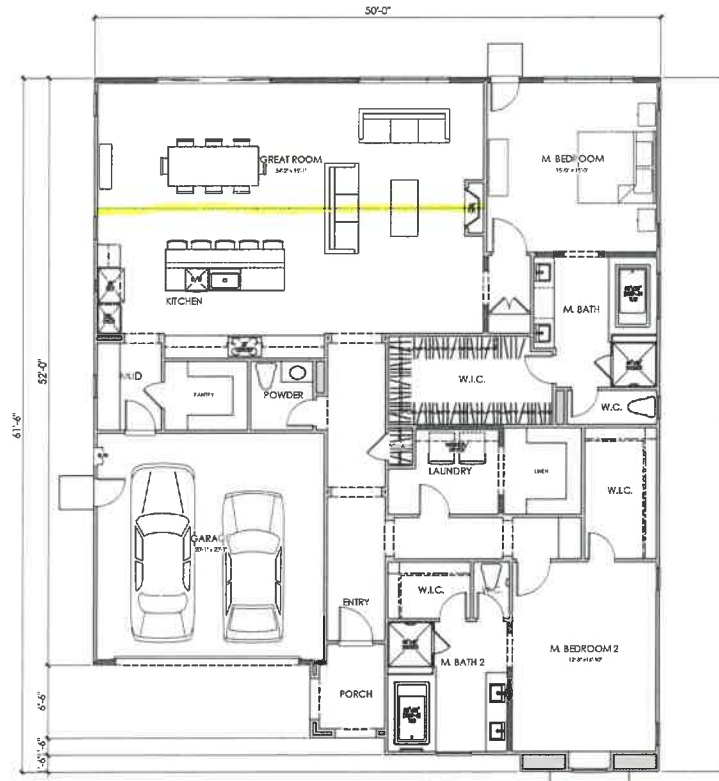
Sierra Bella
CORONA, CA

TOCCATA

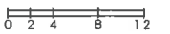
08/11/20
A-1

Kevin L. Creek
Architect
Inc.
#19090

EXHIBIT 3.C



FIRST FLOOR PLAN
 PLAN 1 (2365) "AX"
 2 BEDROOMS (DUAL MASTERS), 2.5 BATH, 2 CAR GARAGE



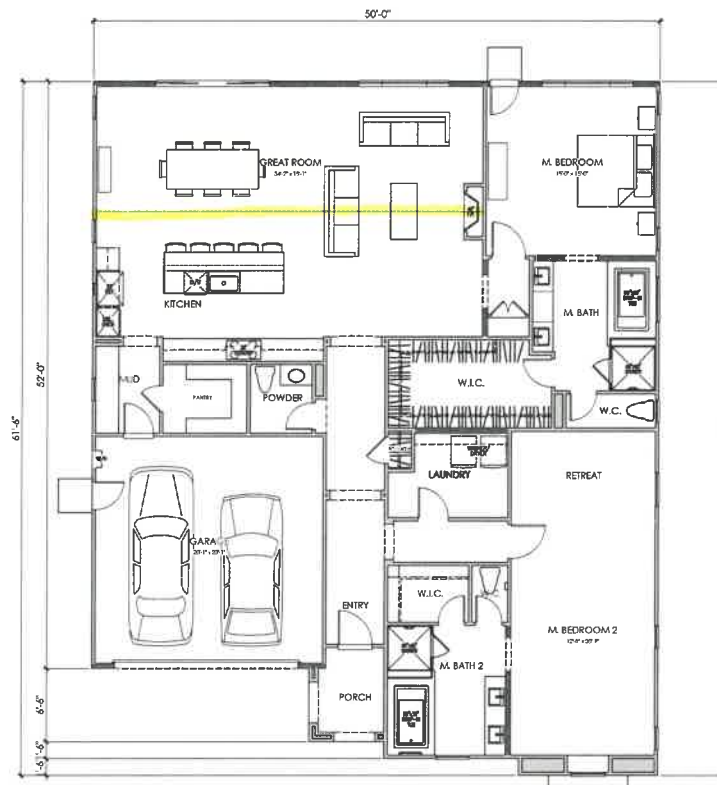
LENNAR

Sierra Bella
 CORONA, CA

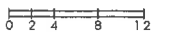
TOCCATA

08/11/20
 A-2

Kevin L. Crook
 Architect
 Inc.
 #19090



FIRST FLOOR PLAN
PLAN 1 (2365) "AY"
 2 BEDROOMS (DUAL MASTERS, 2ND W/ RETREAT), 2.5 BATH, 2 CAR GARAGE



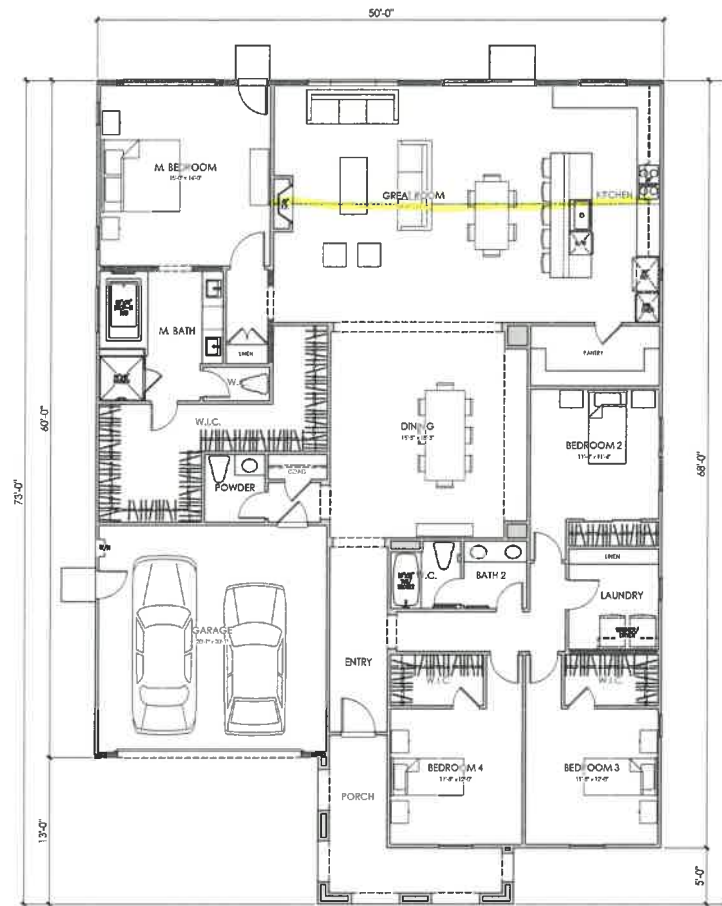
LENNAR

Sierra Bella
 CORONA, CA

TOCCATA

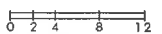
08/11/20
 A-3

Kevin L. Crook
Architect
 Inc.
 #00611



FIRST FLOOR PLAN
PLAN 2 (2765) "A"
 4 BEDROOMS, 2.5 BATH, FORMAL DINING, 2 CAR GARAGE

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	2,765 SQ. FT.
TOTAL DWELLING	2,765 SQ. FT.
UNCONDITIONED SPACE	
PORCH	73 SQ. FT.
GARAGE	419 SQ. FT.



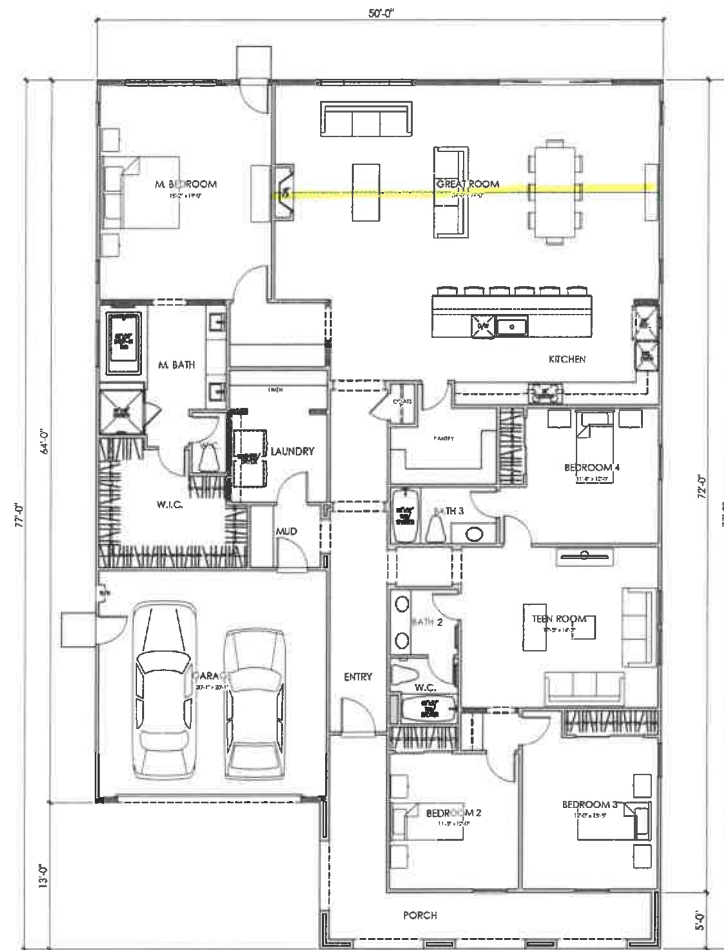
LENNAR

Sierra Bella
 CORONA, CA

TOCCATA

08/11/20
 A-9

Kevin L. Crook
Architect
 Inc.
 #19090



FIRST FLOOR PLAN
 PLAN 3 (2944) "A"
 4 BEDROOMS, 3 BATHS, TEEN ROOM, 2 CAR GARAGE

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	2,944 SQ. FT.
TOTAL DWELLING	2,944 SQ. FT.
UNCONDITIONED SPACE	
PORCH	166 SQ. FT.
GARAGE	420 SQ. FT.



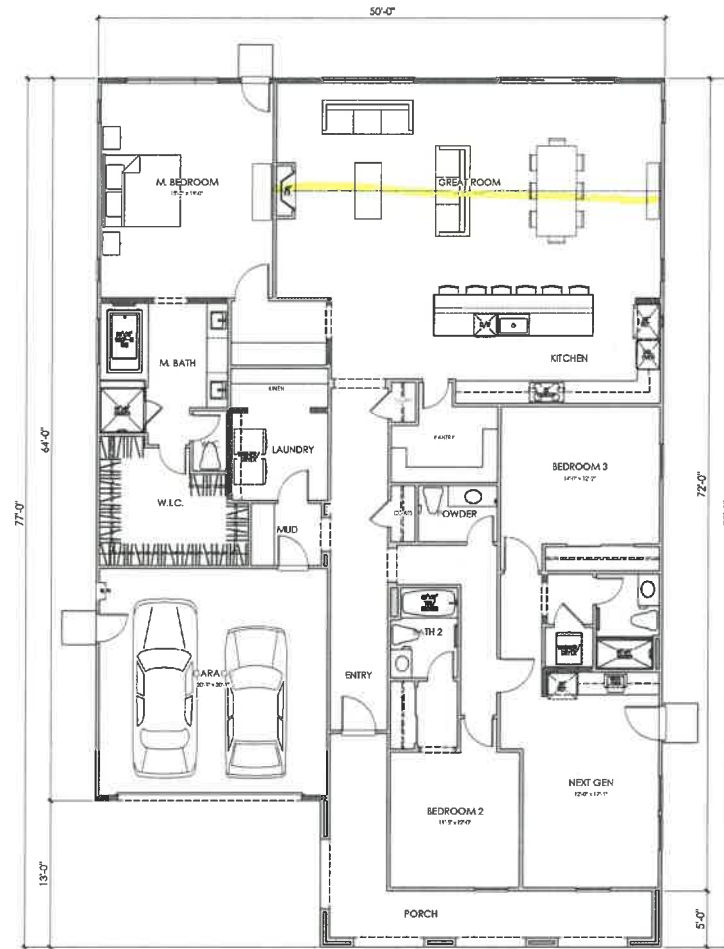
LENNAR

Sierra Bella
 CORONA, CA

TOCCATA

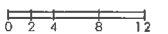
08/11/20
 A-15

Kevin L. Crook
 Architect
 Inc.
 #190910



FIRST FLOOR PLAN
PLAN 3 (2944) "AX"
 3 BEDROOMS W/ **NEXT GEN.**, 3.5 BATHS, 2 CAR GARAGE

PLAN 1 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	2,844 SQ. FT.
TOTAL DWELLING	2,944 SQ. FT.
UNCONDITIONED SPACE	
PORCH	188 SQ. FT.
GARAGE	420 SQ. FT.



LENNAR

Sierra Bella
 CORONA, CA

TOCCATA

08/11/20
 A-16

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EXHIBIT 3.D



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ITALIANATE

Refer to landscape drawings for wall, tree, and shrub locations

"A" ITALIANATE



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Refer to landscape drawings for wall, tree, and shrub locations

"B" BUNGALOW



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Refer to landscape drawings for wall, tree, and shrub locations

"C" TUSCAN

PLAN 1 (2365)
FRONT ELEVATIONS

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A-4

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#19000

0 2 4 8 12

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EXHIBIT 3.E



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ITALIANATE

Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND
(WHERE OCCURS)
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL
ROOF: CONCRETE "S" TILE
FASCIA: 2x6 WOOD
WALL: STUCCO
WINDOWS: VINYL W/ GRIDS
SHUTTERS: SIMULATED WOOD
TRIM: STUCCO OVER RIGID FOAM



REAR



LEFT

COLOR SCHEME 1
PLAN 1 (2365) "A"
ITALIANATE

0 2 4 8 12

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A-5

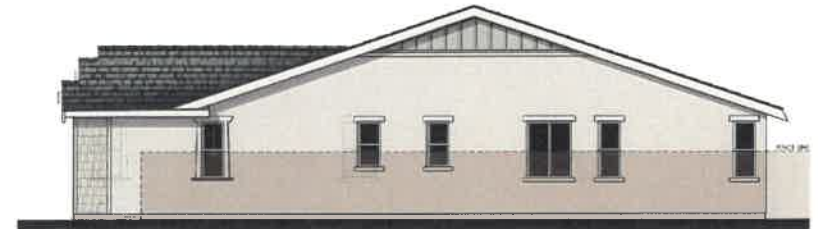
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



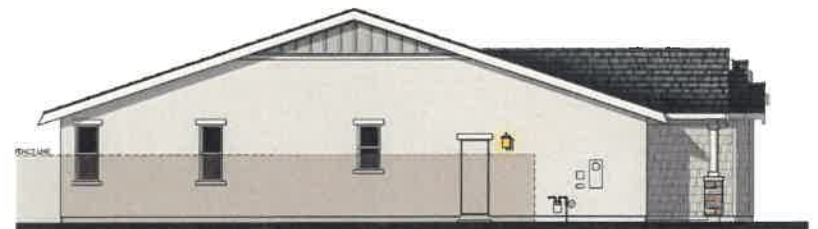
RIGHT

MATERIALS LEGEND

(WHERE OCCURS)	
FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	3x10 WOOD
GABLE END:	BOARD & BATTEN SIDING
WALL:	STUCCO/SINGLE SIDING
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
TRIM:	STUCCO OVER RIGID FOAM
VENEER:	DECORATIVE STONE



REAR



LEFT

COLOR SCHEME 4
PLAN 1 (2365) "B"
 BUNGALOW

0 2 4 8 12

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 A-6

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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND

(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE FLAT TILE
FASCIA:	2x6 WOOD
BARGE:	2x6 WOOD
GABLE END:	CORBELS
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
SHUTTERS:	SIMULATED WOOD
TRIM:	WOOD/ STUCCO OVER RIGID FOAM



REAR



LEFT

COLOR SCHEME 7
PLAN 1 (2365) "C"
TUSCAN

0 2 4 8 12

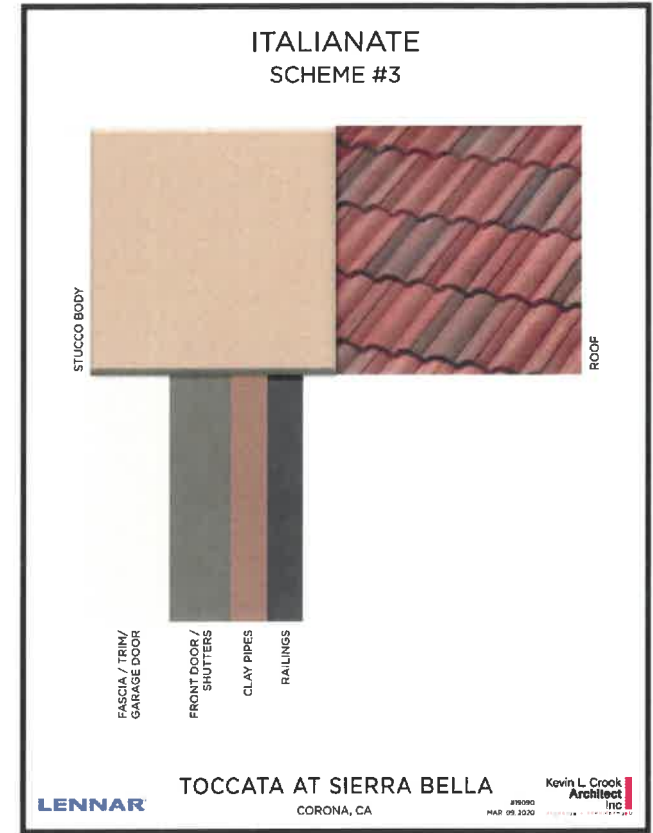
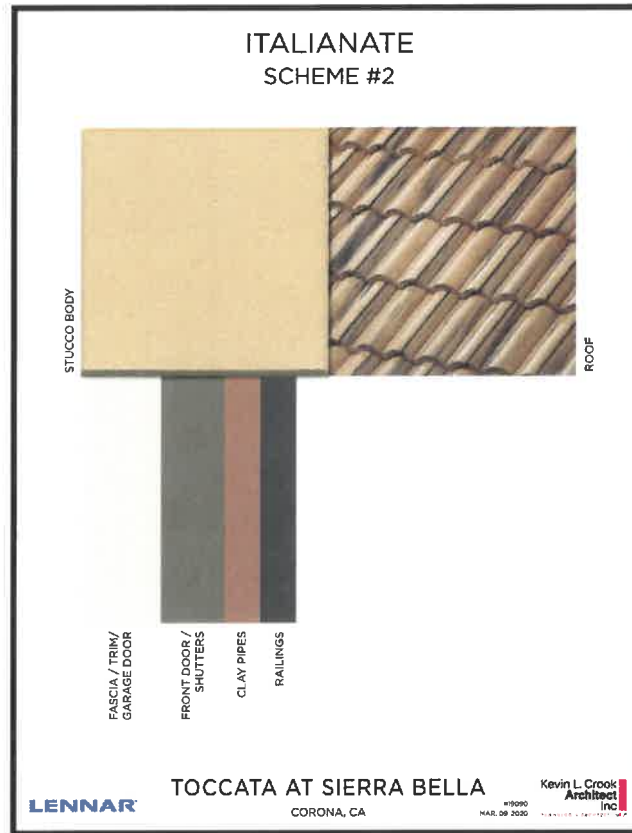
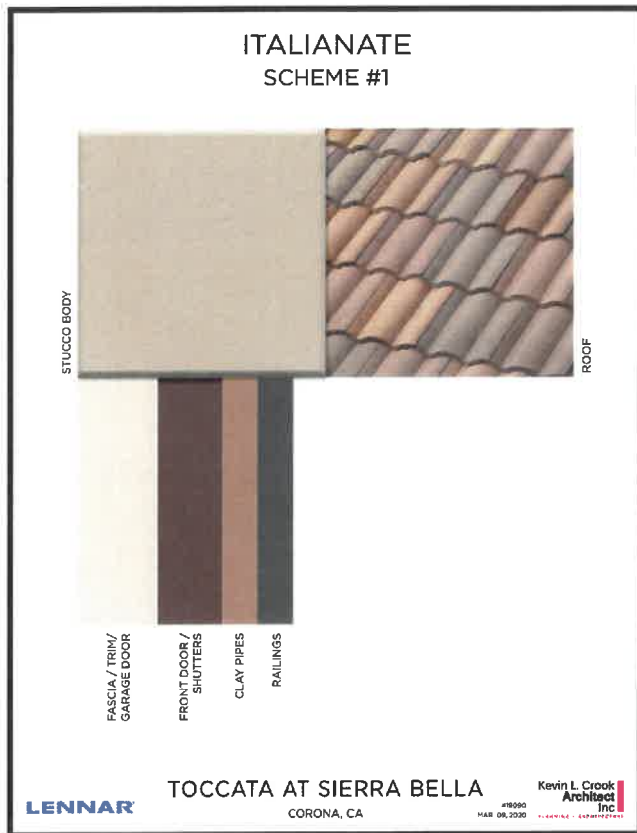
LENNAR

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A-7

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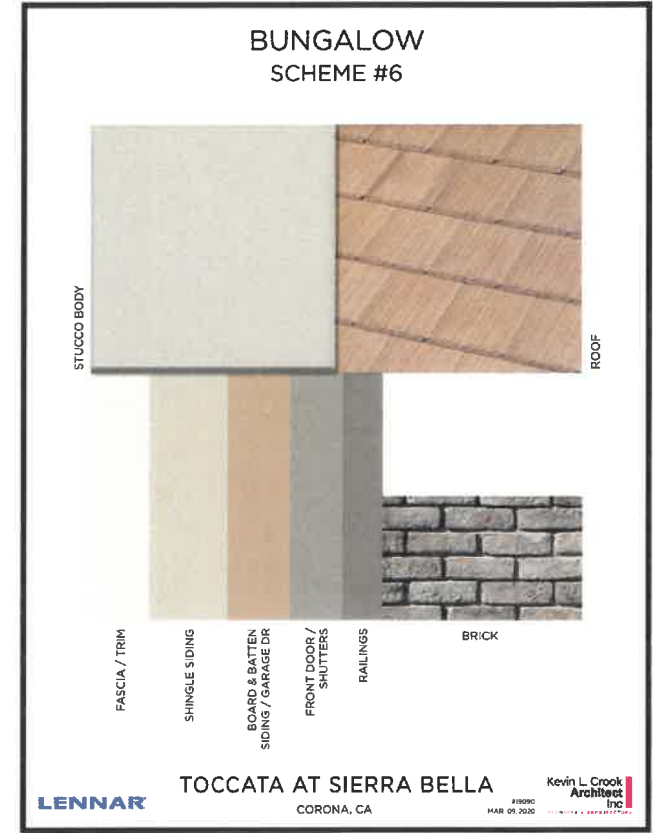
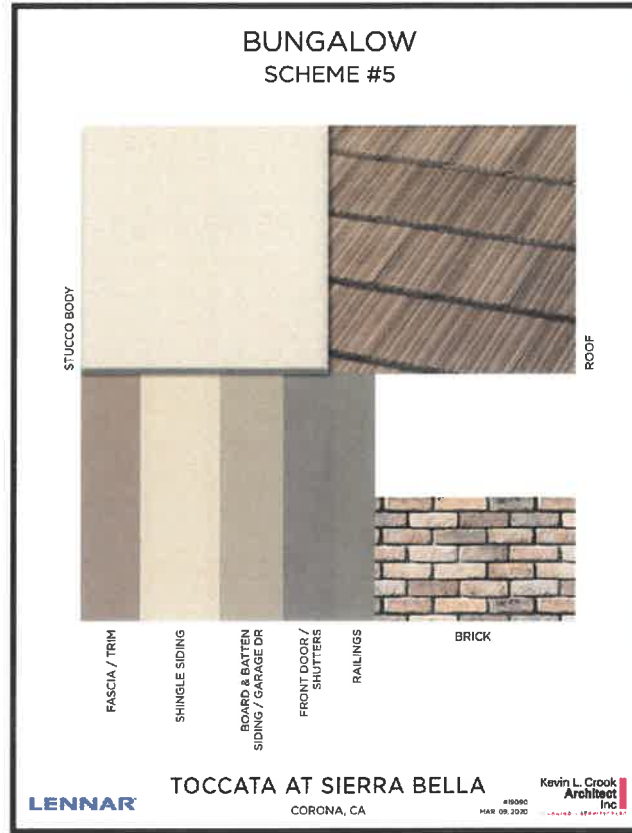
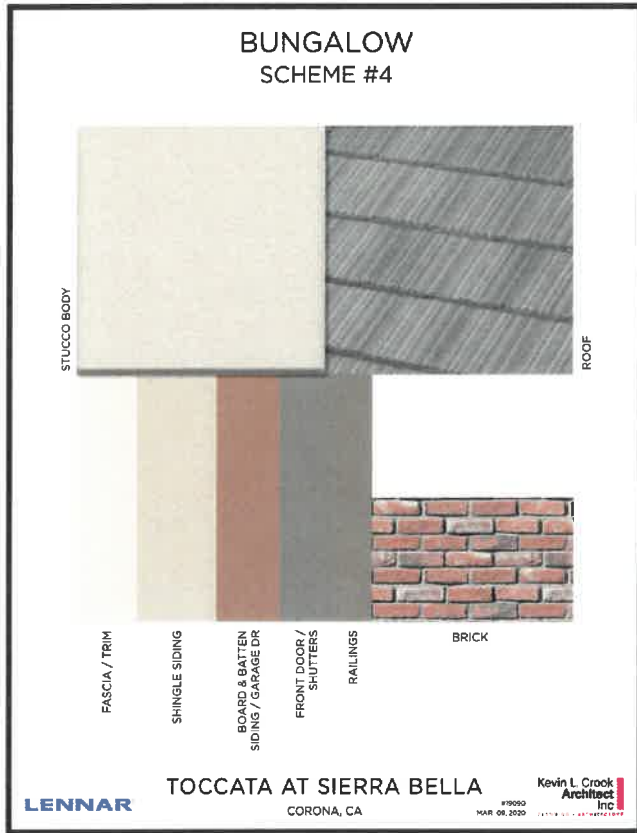


COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - ITALIANATE



EXHIBIT 3.F



COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - BUNGALOW

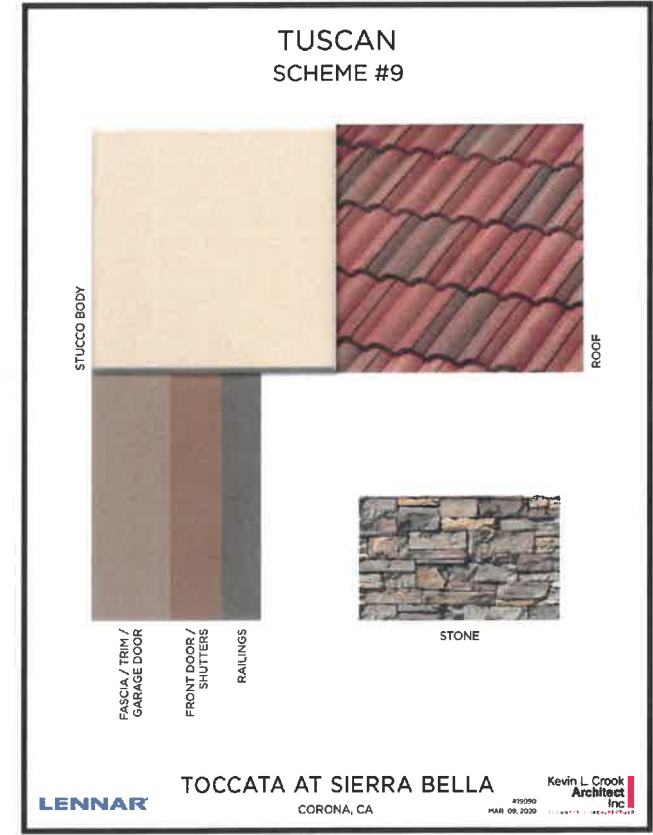
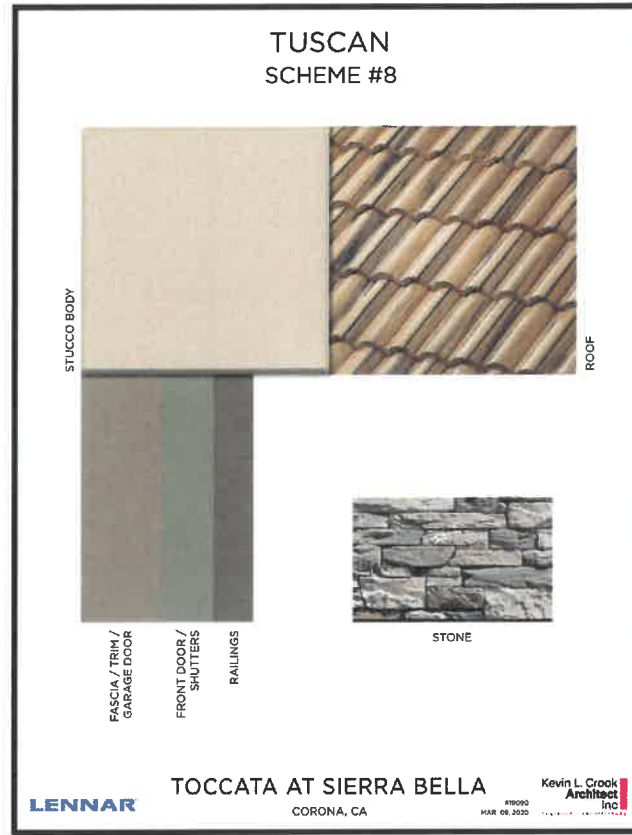
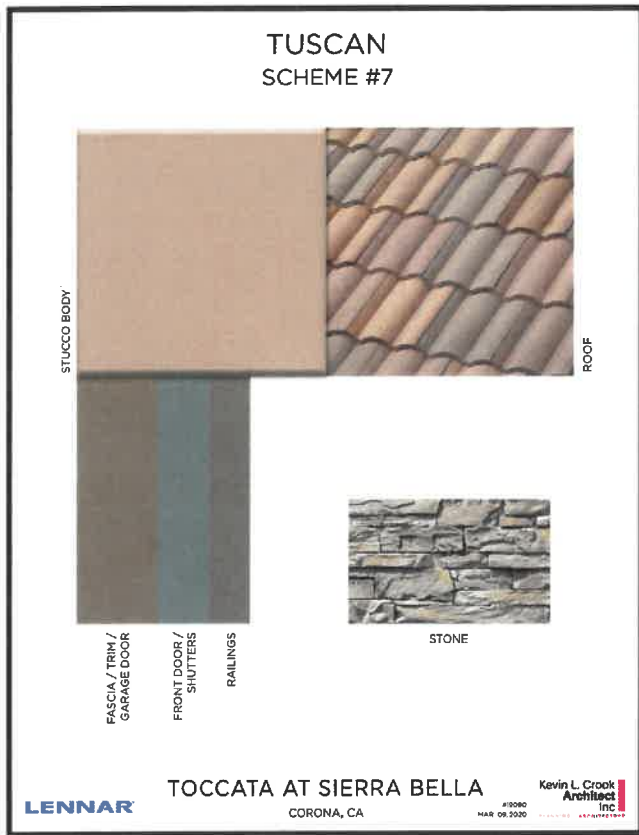
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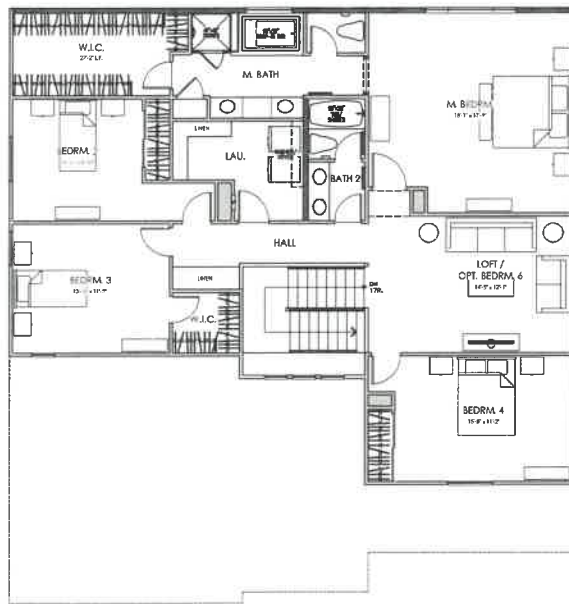
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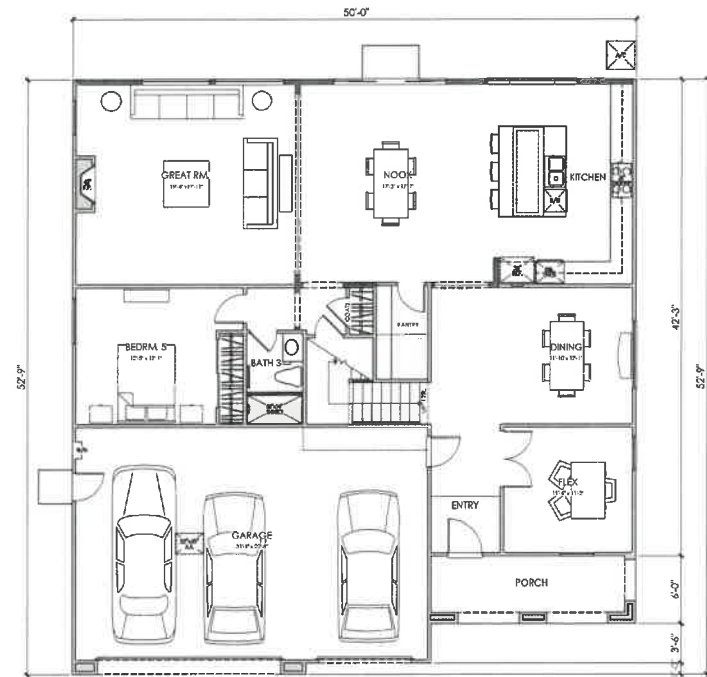


COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - TUSCAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 4 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	1754 SQ. FT.
SECOND FLOOR	1669 SQ. FT.
TOTAL DWELLING	3423 SQ. FT.
UNCONDITIONED SPACE	
PORCH	110 SQ. FT.
GARAGE	659 SQ. FT.



PLAN 4 (3423) "A"

5 BEDROOM, 3 BATH, OFFICE, LOFT, OPT. BEDRM. 6, 3 CAR GARAGE

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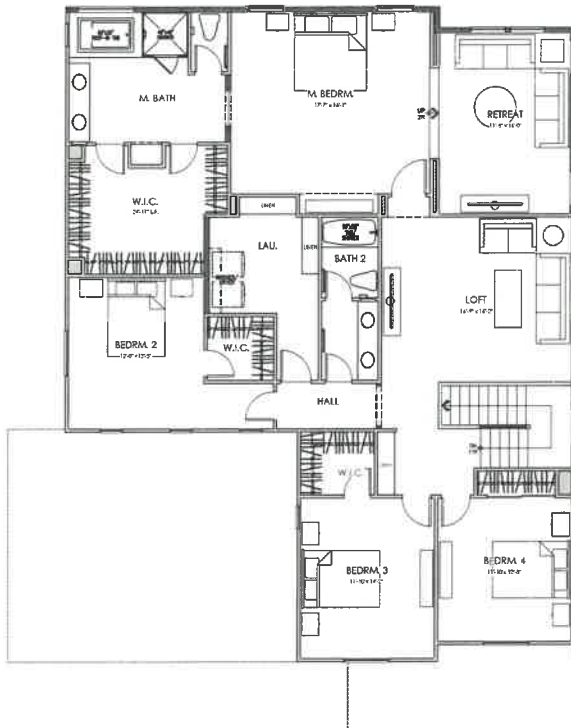
Sierra Bella
CORONA, CA

CRESCENDO

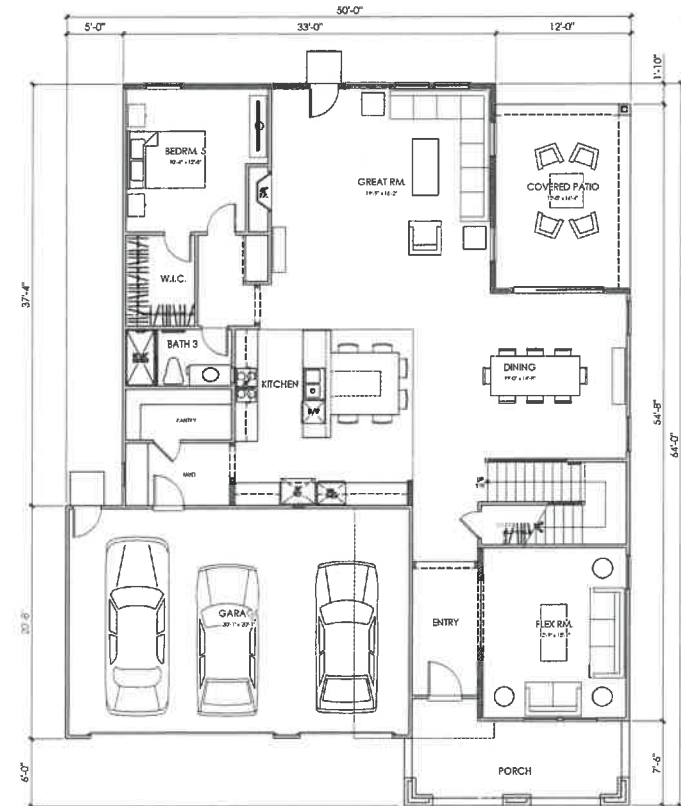
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A-26

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EXHIBIT 3.G



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 5 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,833 SQ. FT.
SECOND FLOOR AREA	2,079 SQ. FT.
TOTAL DWELLING	3,912 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	621 SQ. FT.
PORCH "A"	181 SQ. FT.
PORCH "B"	151 SQ. FT.
PORCH "C"	101 SQ. FT.
COVERED PATIO	196 SQ. FT.



PLAN 5 (3912) "B"
5 BEDROOM, 3 BATH, 3 CAR GARAGE, BONUS, FLEX

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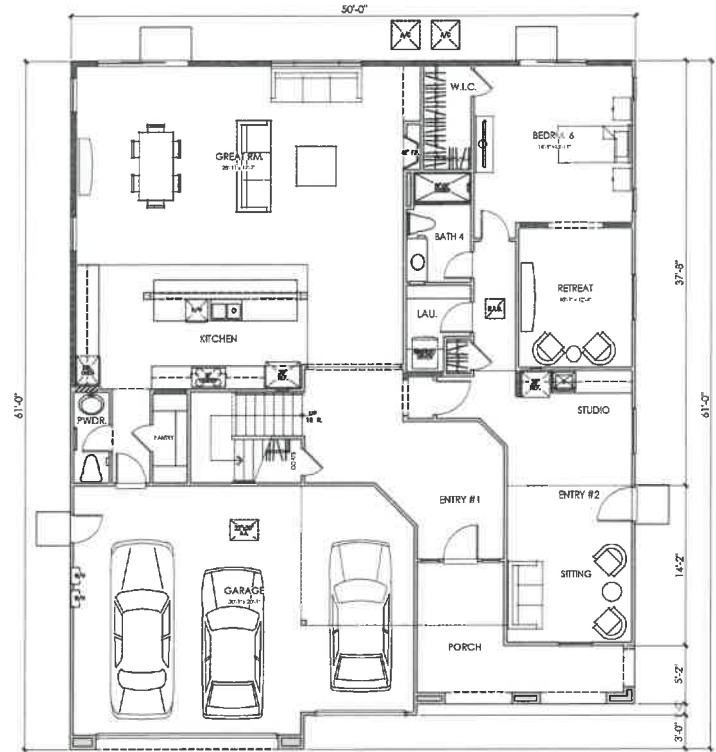
CRESCENDO

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A-31

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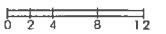


SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 6 AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR AREA	1,237 SQ. FT.
FIRST FLOOR STUDIO	871 SQ. FT.
SECOND FLOOR AREA	2,026 SQ. FT.
TOTAL DWELLING	4,134 SQ. FT.
UNCONDITIONED SPACE	
GARAGE	678 SQ. FT.
PORCH	156 SQ. FT.



PLAN 6 (4134) "A"
6 BEDROOM, 4.5 BATH, 3 CAR GARAGE, STUDIO, RETREAT, OPT. BEDRM. 7

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08/11/20
A-36

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Refer to landscape drawings for wall, tree, and shrub locations

"A" SPANISH ECLECTIC



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Refer to landscape drawings for wall, tree, and shrub locations

"B" ITALIAN



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Refer to landscape drawings for wall, tree, and shrub locations

"C" EUROPEAN COTTAGE

PLAN 4 (3423)
FRONT ELEVATIONS

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A-37

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0 2 4 8 12

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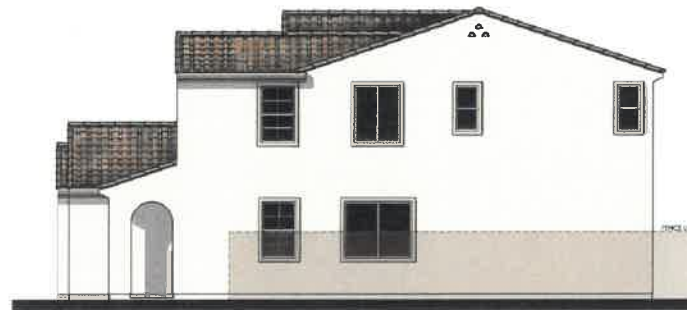
EXHIBIT 3.H



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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



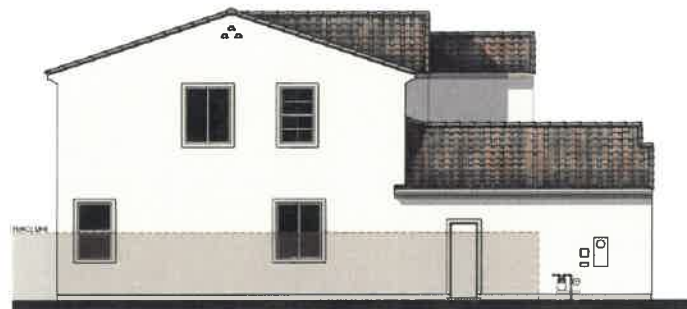
RIGHT

MATERIALS LEGEND
(WHERE OCCURS)

FRONT DOOR:	FIBERGLASS
GARAGE DOOR:	METAL SECTIONAL
ROOF:	CONCRETE "S" TILE
ROOF EXTENSIONS:	RIGID FOAM CORBEL
FASCIA:	2x6 WOOD
SARGE:	STUCCO
GABLE END:	SIMULATED CLAY TILE
WALL:	STUCCO
WINDOWS:	VINYL W/ GRIDS
TRIM:	STUCCO OVER RIGID FOAM



REAR



LEFT

COLOR SCHEME 1
PLAN 4 (3423) "A"
SPANISH ECCLECTIC

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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



RIGHT

MATERIALS LEGEND
(WHERE OCCURS)
FRONT DOOR: FIBERGLASS
GARAGE DOOR: METAL SECTIONAL
ROOF: CONCRETE "S" TILE
FASCIA: 2x6 WOOD
WALL: STUCCO
WINDOWS: VINYL W/ GRIDS
SHUTTERS: SIMULATED WOOD
TRIM: STUCCO OVER RIGID FOAM



REAR



LEFT

COLOR SCHEME 4
PLAN 4 (3423) "B"
ITALIAN

0 2 4 8 12

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08/11/20
A-29

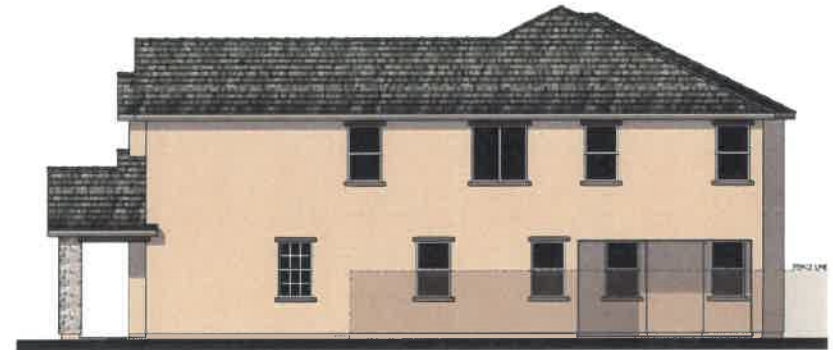
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



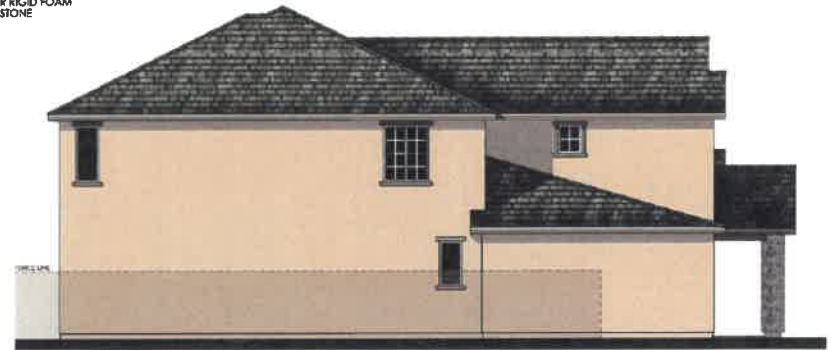
RIGHT

MATERIALS LEGEND

(WHERE OCCURS)
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE END: DECORATIVE VENT
 WALL: STUCCO / LAP SIDING
 WINDOWS: VINYL W/ GRIDS
 SHUTTERS: SIMULATED WOOD
 TRIM: STUCCO OVER RIGID FOAM
 VENEER: DECORATIVE STONE



REAR



LEFT

COLOR SCHEME 8
 PLAN 5 (3912) "C"
 EUROPEAN COTTAGE

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 CORONA, CA

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08/11/20
 A-34

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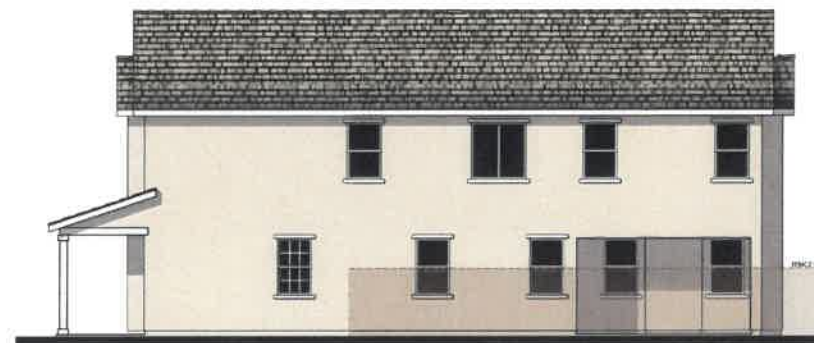
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Refer to landscape drawings for wall, tree, and shrub locations

FRONT



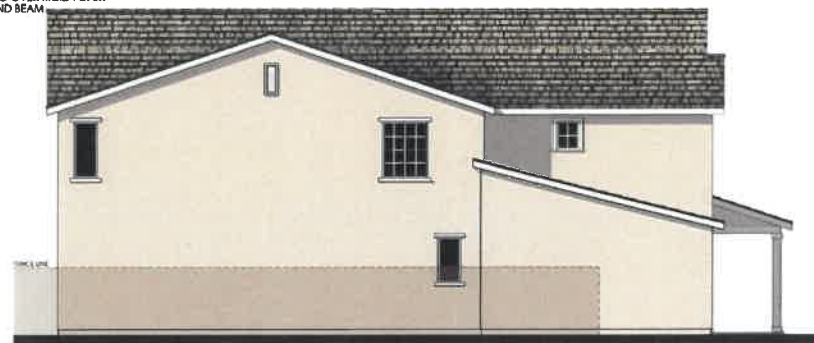
RIGHT

MATERIALS LEGEND

(WHERE OCCURS)
 FRONT DOOR: FIBERGLASS
 GARAGE DOOR: METAL SECTIONAL
 ROOF: CONCRETE FLAT TILE
 FASCIA: 2x6 WOOD
 BARGE: 2x6 WOOD
 GABLE END: DECORATIVE VENTS
 WALL: STUCCO/ BOARD & BATTEN
 WINDOWS: VINYL W/ GRIDS
 SHUTTERS: SIMULATED WOOD
 TRIM: WOOD/ STUCCO OVER RIGID FOAM
 PORCH: WOOD POST AND BEAM



REAR



LEFT

COLOR SCHEME 10
 PLAN 5 (3912) "D"
 TRADITIONAL

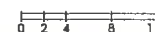
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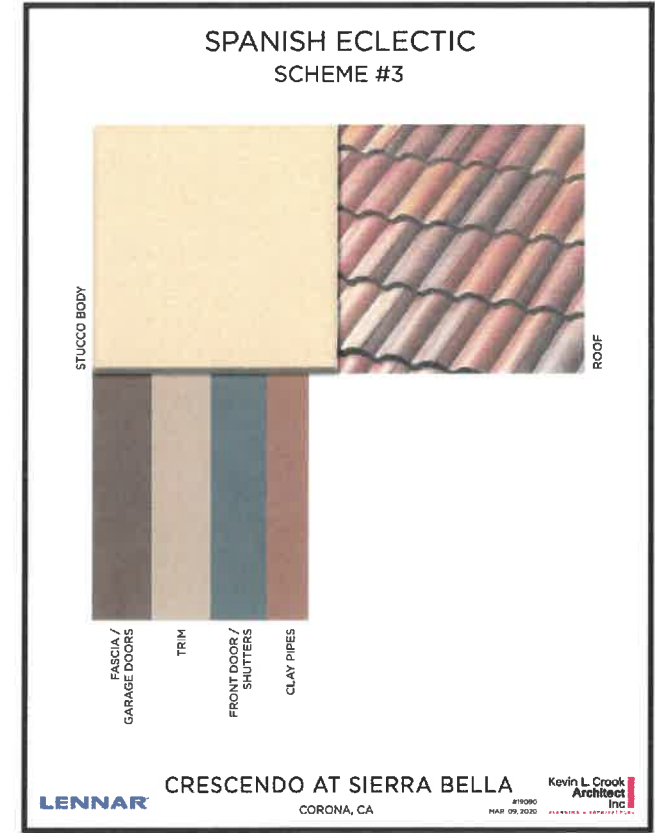
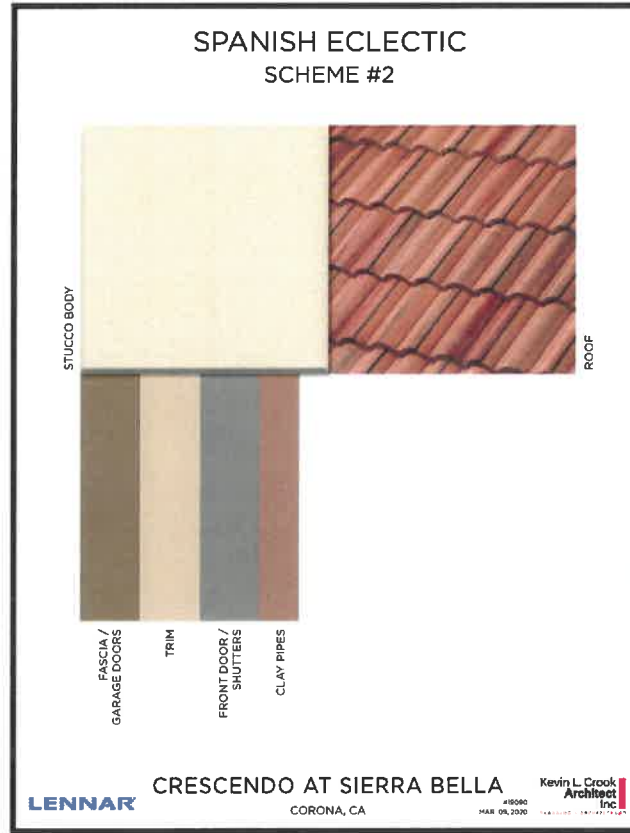
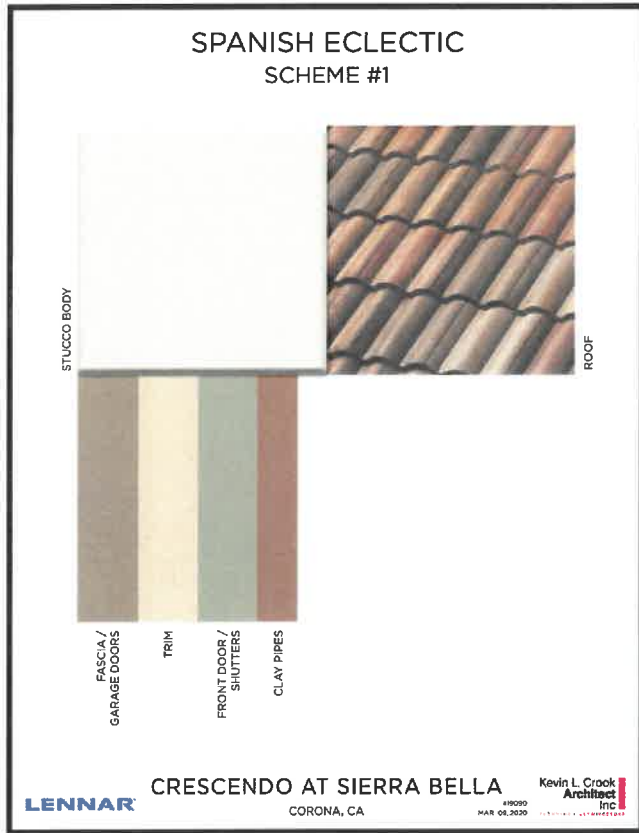
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08/11/20
 A-35

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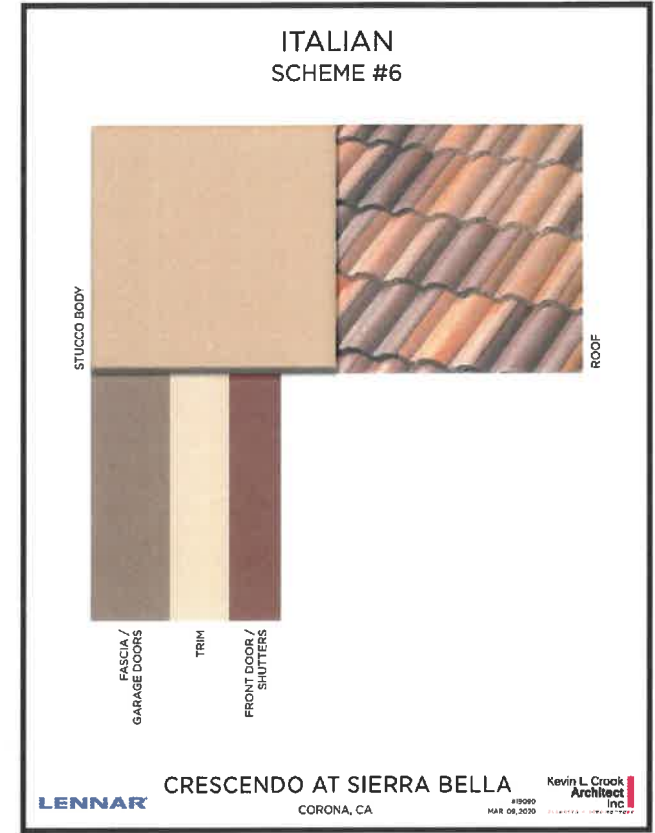
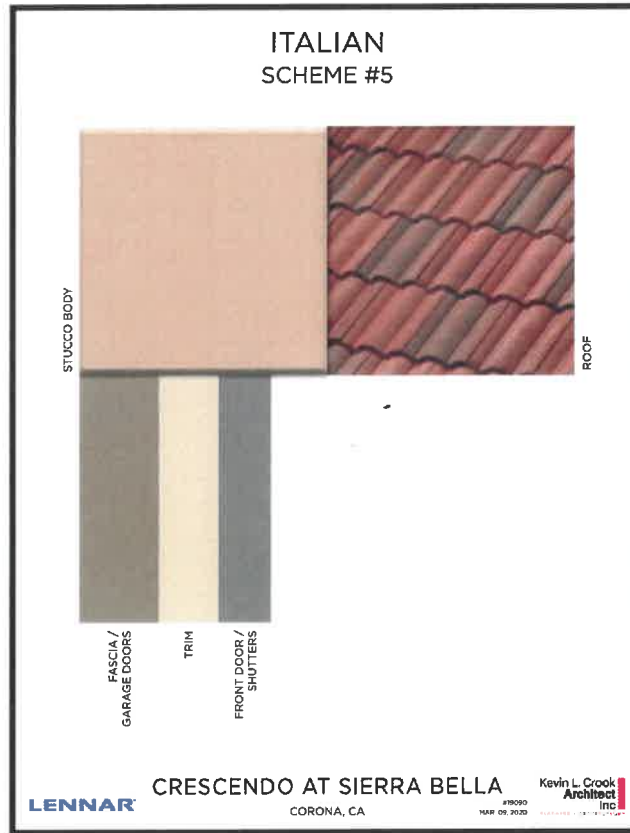
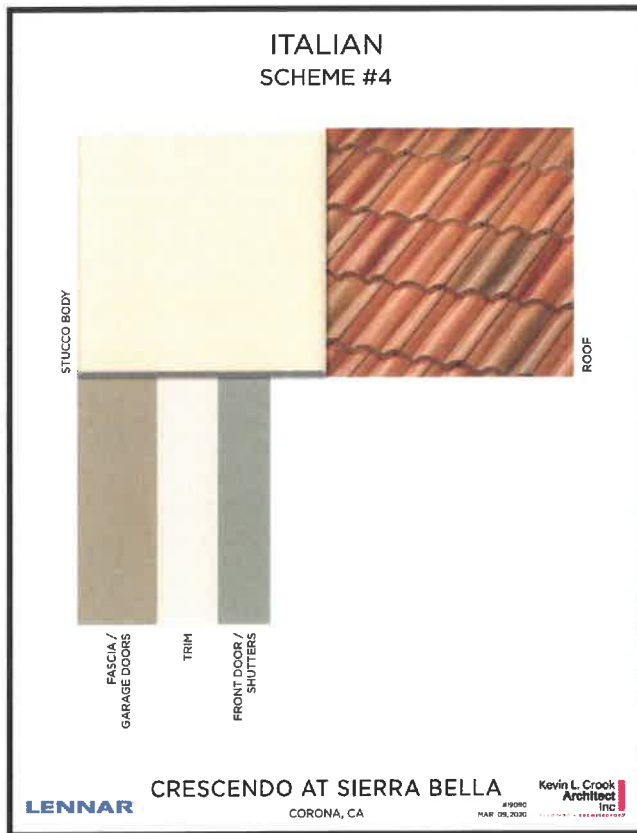


COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - SPANISH ECLECTIC

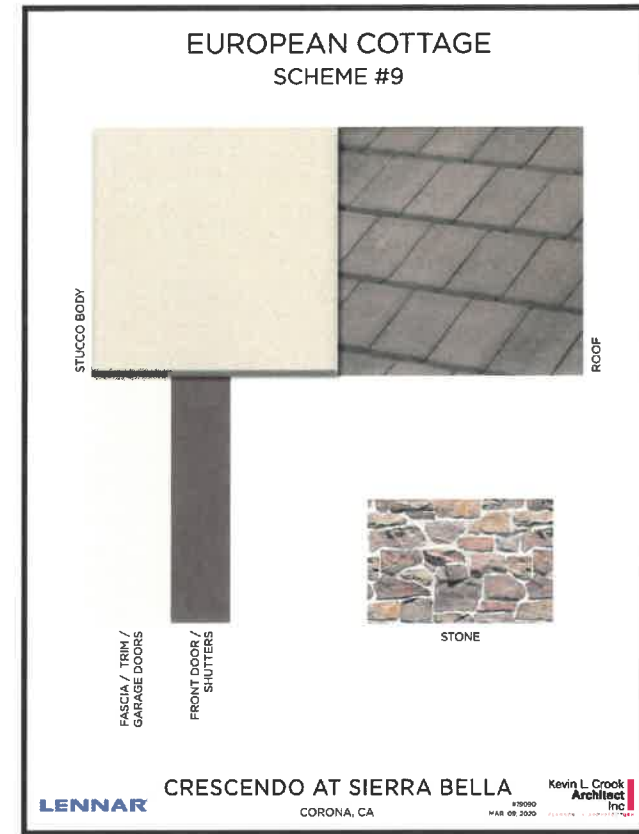
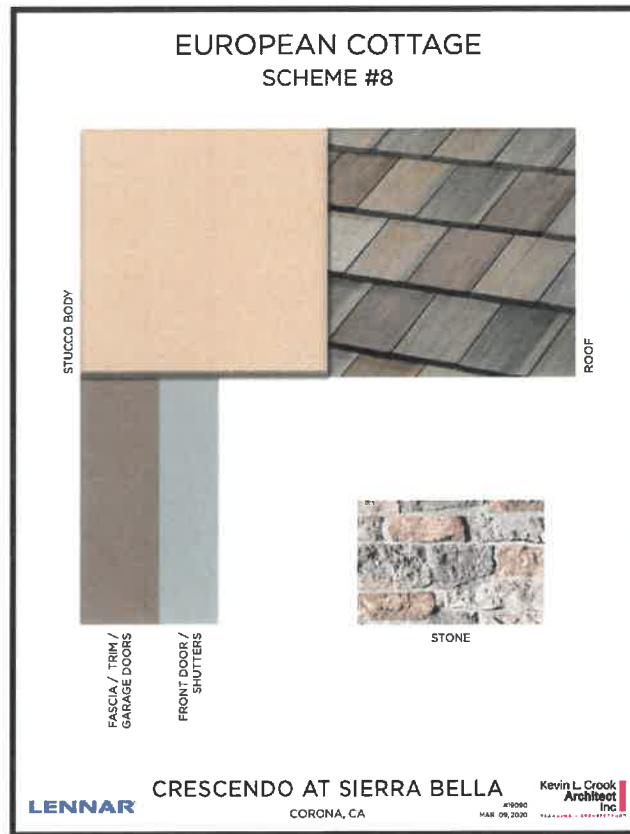
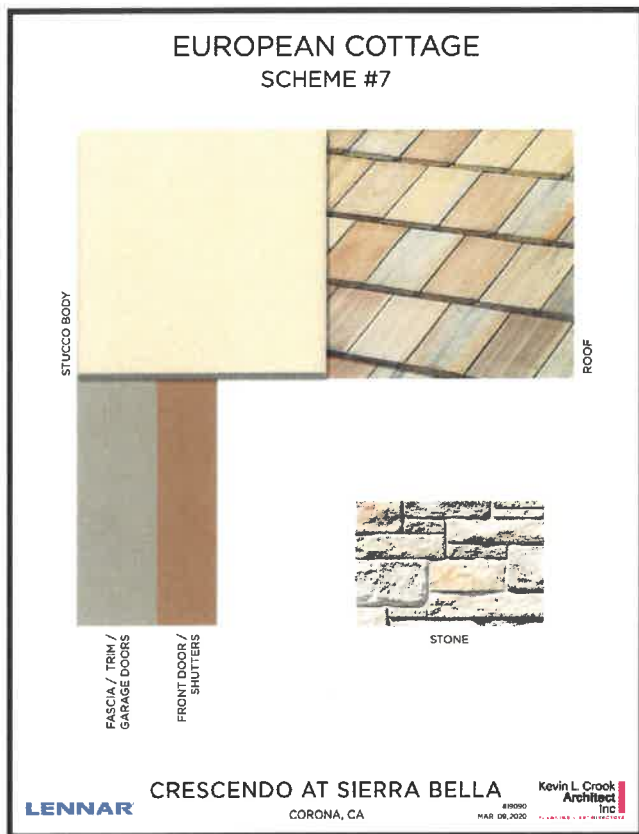


EXHIBIT 3.I



COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - ITALIAN



COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - EUROPEAN COTTAGE

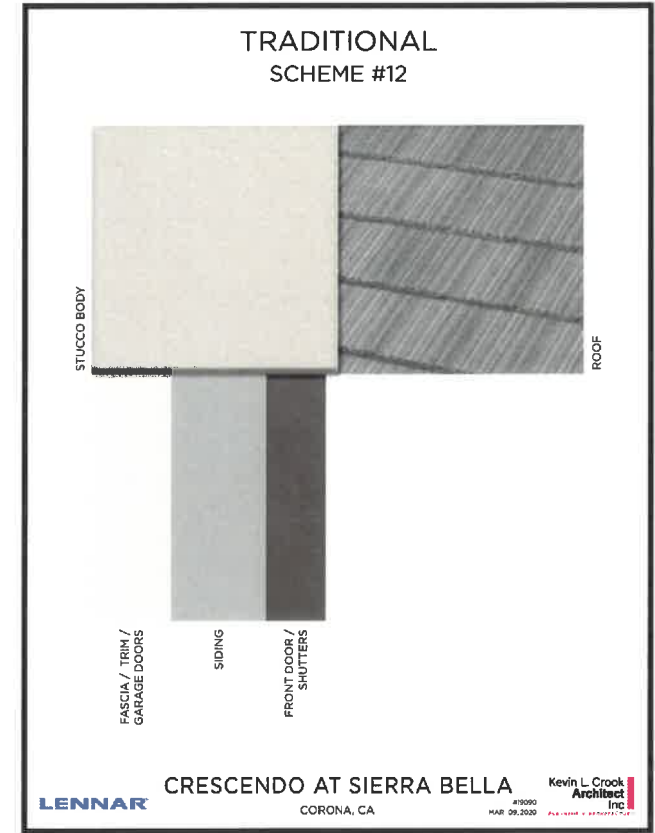
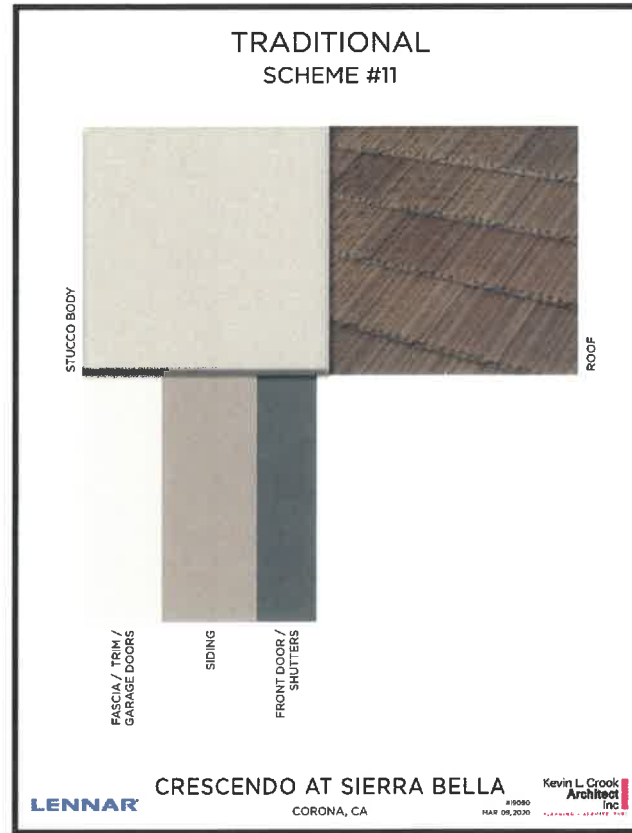
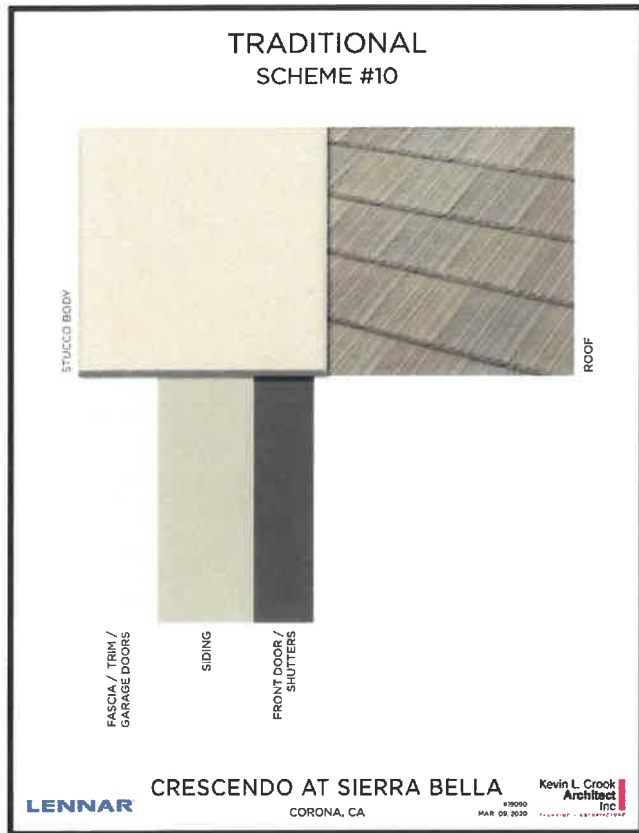
LENNAR

Sierra Bella
CORONA, CA

CRESCENDO

08/11/20
A-44

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Architect
Inc. #19090
MAR 09, 2020



COLORS MAY VARY DUE TO SCREEN AND PRINTER CALIBRATION.
REFER TO PAINT CHIPS AND MATERIALS BOARDS FOR ACTUAL COLORS.

COLOR BOARDS - TRADITIONAL



1A | Italianate



Note: Artist's Conception; Colors, Materials
And Application May Vary.

1C | Tuscan



1B | Bungalow

PLAN 1 | Front Elevations



SONATA AT SIERRA BELLA

CORONA, CA | TRACT 36541-1 & 36541-2

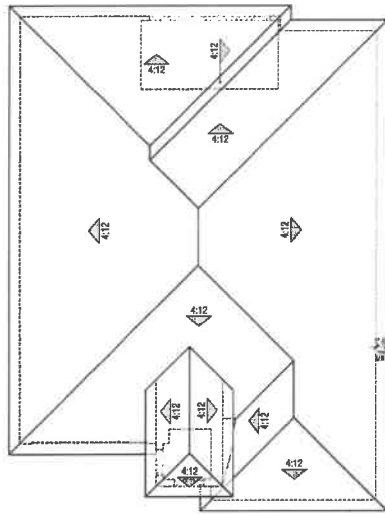
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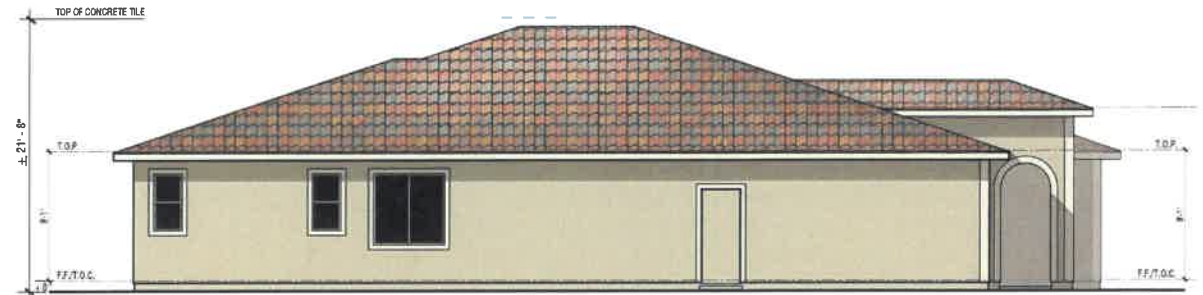
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EXHIBIT 3.J



ROOF PLAN: 1-8" SCALE | 4:12 PITCH



Left

TUSCAN:

ROOF: CONCRETE "S" TILE ROOF
 FASCIA: 2x6 WOOD FASCIA BOARD
 BARGE BOARD: 2x6 WOOD BARGE BOARD
 GABLE: ACCENT CORBELS AT FRONT ELEVATION
 WALL: STUCCO WITH (LIGHT LACE) FINISH
 WINDOW TRIM: STUCCO OVER RIGID FOAM PER ELEVATION STYLE

WINDOW: VINYL
 ACCENT DETAILS: DECORATIVE SHUTTERS & METAL RAILING
 FRONT DOOR: ACCENT COLOR, PATTERN PER ELEVATION STYLE
 GARAGE DOOR: METAL SECTIONAL GARAGE DOOR
 VENEER: MANUFACTURED STONE



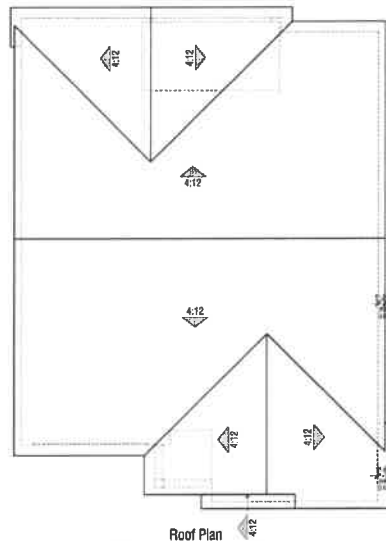
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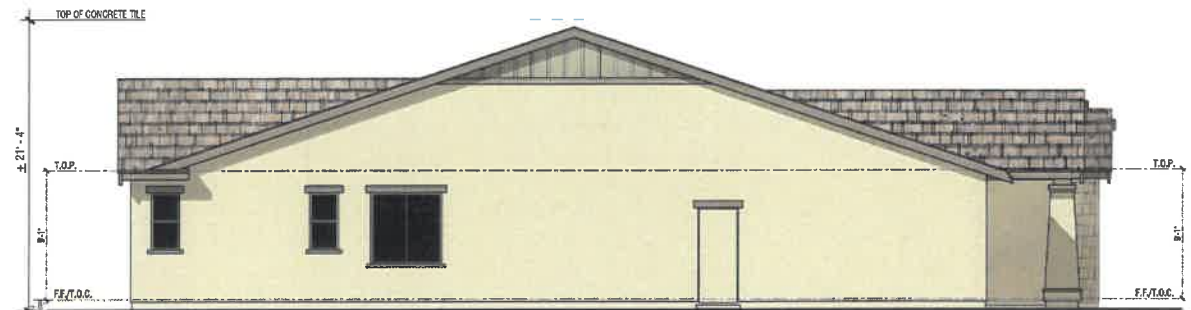
Right

Note: Artist's Conception; Colors, Materials
 And Application May Vary.

PLAN 1C | Tuscan



Roof Plan
ROOF PLAN: 1-8" SCALE | 4:12 PITCH



BUNGALOW:

ROOF: CONCRETE SHAKE TILE ROOF
 FASCIA: 2X6 TYPICAL FASCIA
 BARGE: 2X8 TYPICAL BARGE
 GABLE: BOARD AND BATT VERTICAL SIDING WITH TRIM.
 OUTLOOKER 8X12 WITH CHAMFERED EDGES
 WALL: STUCCO / HORIZONTAL SHAKE SIDING AT SELECT LOCATIONS

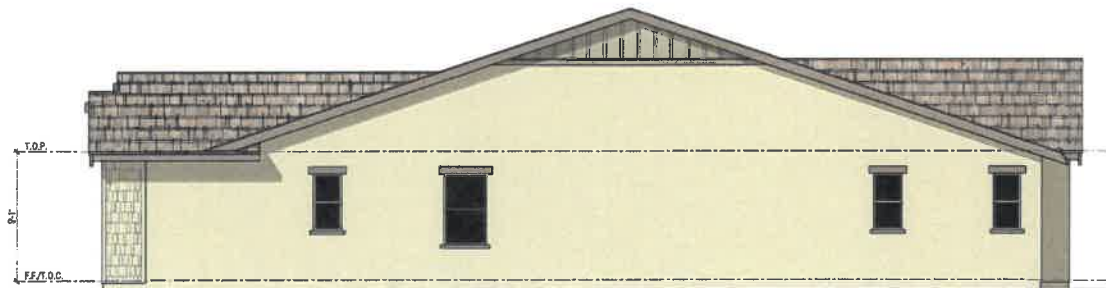
RIM: STUCCO OVER RIGID FOAM TRIM, SHAPE
 PER ELEVATION STYLE
 WINDOW: VINYL
 ACCENTS: TAPERED STUCCO COLUMNS
 FRONT DOOR: ACCENT COLOR, PATTERN PER ELEVATION STYLE
 GARAGE DOOR: METAL SECTIONAL GARAGE DOOR

Left



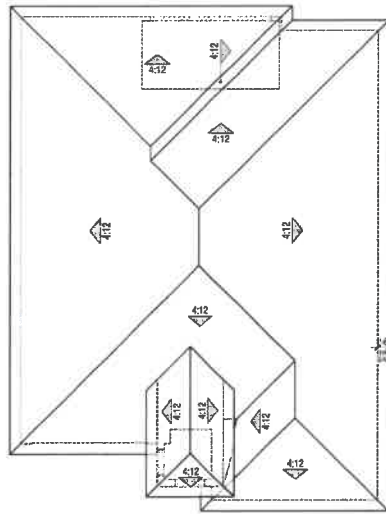
Note: Artist's Conception; Colors, Materials
 And Application May Vary.

Rear



Right

PLAN 1B | Bungalow



ROOF PLAN: 1-8" SCALE | 4:12 PITCH



Left

ITALIANATE:

ROOF: CONCRETE "S" TILE ROOF
 FASCIA: 2x6 WOOD FASCIA BOARD
 BARGE BOARD: 2x6 WOOD BARGE BOARD
 WALL: STUCCO WITH (LIGHT LACE) FINISH
 WINDOW TRIM: STUCCO OVER RIGID FOAM PER ELEVATION STYLE

WINDOW: VINYL
 ACCENT DETAILS: DECORATIVE METAL RAILING, ARCHED ENTRY TRIM WITH ADDED KEYSTONE
 FRONT DOOR: ACCENT COLOR, PATTERN PER ELEVATION STYLE
 GARAGE DOOR: METAL SECTIONAL GARAGE DOOR



Rear



Right

Note: Artist's Conception; Colors, Materials
 And Application May Vary.

PLAN 1A | Italianate



SONATA AT SIERRA BELLA

CORONA, CA | TRACT 36541-1 & 36541-2

3.1.4

0 2 4 8

DEVELOPMENT PLAN REVIEW SUBMITTAL

© 2018 WILLIAM HEZMALHALCH ARCHITECTS, INC. dba WHA | 2017099 | 01-26-18



ITALIAN MATERIAL LEGEND

ROOF:	CONCRETE 'S' TILE
FASCIA:	BUILT UP FOAM w/ 2X6 FASCIA
WALL MATERIAL:	STUCCO
GARAGE DOOR:	METAL SECTIONAL GARAGE DOOR
WINDOW TRIM:	STUCCO or FOAM PER ELEVATION STYLE
ACCENT DETAILS:	DECORATIVE SHUTTERS
	DECORATIVE TILE
	GABLE END CLAY TILE
RAILING:	WROUGHT IRON



PLAN 2A - SPANISH ECLECTIC ELEVATION

ITALIAN MATERIAL LEGEND

ROOF:	CONCRETE 'S' TILE
FASCIA:	BUILT UP FOAM w/ 2X6 FASCIA
WALL MATERIAL:	STUCCO
GARAGE DOOR:	METAL SECTIONAL GARAGE DOOR
WINDOW TRIM:	STUCCO w/ FOAM PER ELEVATION STYLE
ACCENT DETAILS:	DECORATIVE SHUTTERS
	STUCCO w/ FOAM HORIZONTAL TRIM
RAILING:	WROUGHT IRON



PLAN 3B - ITALIAN ELEVATION

EUROPEAN COTTAGE MATERIAL LEGEND

ROOF:	CONCRETE FLAT TILE
FASCIA:	2X6 FASCIA
WALL MATERIAL:	STUCCO
GARAGE DOOR:	METAL SECTIONAL GARAGE DOOR
WINDOW TRIM:	STUCCO &/ FOAM PER ELEVATION STYLE
ACCENT DETAILS:	DECORATIVE SHUTTERS
GABLE TRIM:	DECORATIVE FALSE VENT
VENEER:	MANUFACTURED STONE VENEER
RAILING:	WROUGHT IRON



FRONT

EUROPEAN COTTAGE
1/4"=1'-0"



REAR

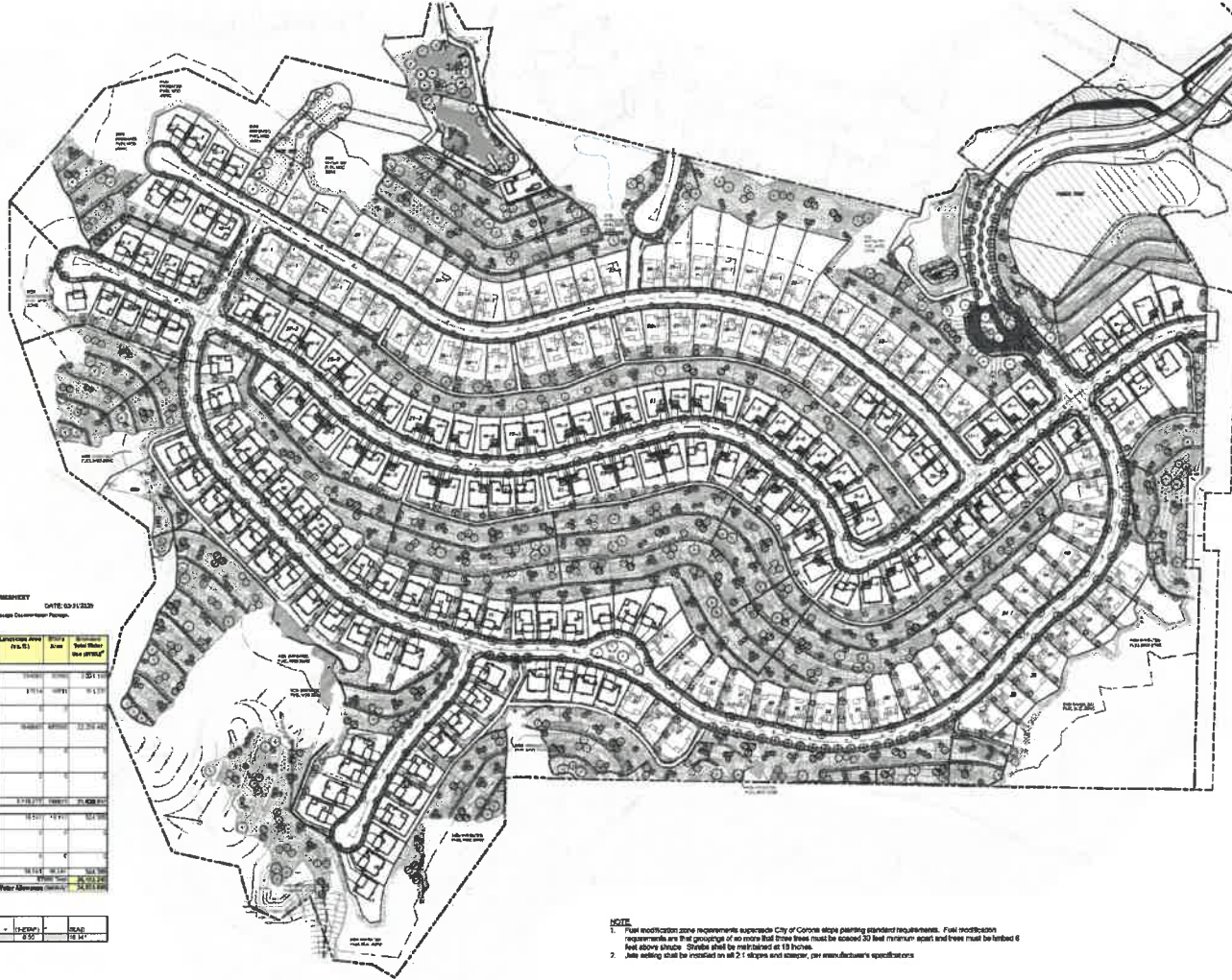
PLAN 4C - EUROPEAN COTTAGE ELEVATION

TRADITIONAL MATERIAL LEGEND

ROOF:	CONCRETE FLAT TILE
FASCIA:	2X6 FASCIA
WALL MATERIAL:	STUCCO
GARAGE DOOR:	METAL SECTIONAL GARAGE DOOR
WINDOW TRIM:	STUCCO w/ FOAM PER ELEVATION STYLE
ACCENT DETAILS:	DECORATIVE SHUTTERS
GABLE TRIM:	DECORATIVE FALSE VENT
SIDING:	BATT & BOARD
RAILING:	WROUGHT IRON



PLAN 4D - **TRADITIONAL** ELEVATION



SIERRA BELLA, CRESCENDO & TOCCATA
CONCEPTUAL LANDSCAPE PLAN
 DATE: 04-06-20

REFERENCE: 2014 CITY OF CORONA LANDSCAPE PLANNING ORDINANCE (LPO)

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPACING	SIZE	WUCOLS	QUANTITY
(Symbol)	<i>Platanus occidentalis</i>	California Sycamore	Per Plan	15 gal (ST)	Low	120
(Symbol)	<i>Abutilon</i>	Abutilon Tree	Per Plan	15 gal (ST)	Low	185
(Symbol)	<i>Cercis occidentalis</i>	Western Redbud	Per Plan	15 gal (ST)	Low	261
(Symbol)	<i>Hesperaloe parviflora</i>	Toyon	Per Plan	15 gal (ST)	Low	268
(Symbol)	<i>Prunus richardii</i>	Holly Leaf Cherry	Per Plan	15 gal (ST)	Low	123
(Symbol)	<i>Quercus agrifolia</i>	Coast Live Oak	Per Plan	15 gal (ST)	Low	91
(Symbol)	<i>Rosa laevis</i>	African Rose	Per Plan	15 gal (ST)	Low	180
(Symbol)	<i>Sambucus mexicana</i>	Mexican Elderberry	Per Plan	15 gal (ST)	Low	134

GROUND COVER

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPACING	SIZE	WUCOLS	QUANTITY
(Symbol)	<i>Convolvulus maritimus</i>	Ground Morning Glory	Per Plan	18" o.c.	L	11,062 SF
(Symbol)	<i>Salvia 'Blue Bird'</i>	Deep Blue Sage	Per Plan	18" o.c.	L	5,588 SF
(Symbol)	<i>Tradescantia virginiana</i>	Spider Plant	Per Plan	18" o.c.	L	500 SF

NOTE:

1. Plant modification zone requirements supersede City of Corona landscape planning ordinance requirements. Plant modification requirements are that groundcover of no more than 10% shall be used. All plant material shall be installed at 18 inches.
2. All existing plant material shall be maintained at 18 inches.

STREET TREE AND PARKWAY LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPACING	SIZE	WUCOLS	QUANTITY
(Symbol)	<i>Platanus occidentalis</i>	California Sycamore	Per Plan	15 gal (ST)	Low	120
(Symbol)	<i>Abutilon</i>	Abutilon Tree	Per Plan	15 gal (ST)	Low	185
(Symbol)	<i>Cercis occidentalis</i>	Western Redbud	Per Plan	15 gal (ST)	Low	261
(Symbol)	<i>Hesperaloe parviflora</i>	Toyon	Per Plan	15 gal (ST)	Low	268
(Symbol)	<i>Prunus richardii</i>	Holly Leaf Cherry	Per Plan	15 gal (ST)	Low	123
(Symbol)	<i>Quercus agrifolia</i>	Coast Live Oak	Per Plan	15 gal (ST)	Low	91
(Symbol)	<i>Rosa laevis</i>	African Rose	Per Plan	15 gal (ST)	Low	180
(Symbol)	<i>Sambucus mexicana</i>	Mexican Elderberry	Per Plan	15 gal (ST)	Low	134

SLOPE TREE LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPACING	SIZE	WUCOLS	QUANTITY
(Symbol)	<i>Ardisia cuneata</i>	Ardisia	Per Plan	15 gal (ST)	Low	120
(Symbol)	<i>Abutilon</i>	Abutilon Tree	Per Plan	15 gal (ST)	Low	185
(Symbol)	<i>Cercis occidentalis</i>	Western Redbud	Per Plan	15 gal (ST)	Low	261
(Symbol)	<i>Hesperaloe parviflora</i>	Toyon	Per Plan	15 gal (ST)	Low	268
(Symbol)	<i>Prunus richardii</i>	Holly Leaf Cherry	Per Plan	15 gal (ST)	Low	123
(Symbol)	<i>Quercus agrifolia</i>	Coast Live Oak	Per Plan	15 gal (ST)	Low	91
(Symbol)	<i>Rosa laevis</i>	African Rose	Per Plan	15 gal (ST)	Low	180
(Symbol)	<i>Sambucus mexicana</i>	Mexican Elderberry	Per Plan	15 gal (ST)	Low	134

SLOPE GROUND COVER LEGEND

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPACING	SIZE	WUCOLS	QUANTITY
(Symbol)	<i>Ardisia cuneata</i>	Ardisia	Per Plan	15 gal (ST)	Low	120
(Symbol)	<i>Abutilon</i>	Abutilon Tree	Per Plan	15 gal (ST)	Low	185
(Symbol)	<i>Cercis occidentalis</i>	Western Redbud	Per Plan	15 gal (ST)	Low	261
(Symbol)	<i>Hesperaloe parviflora</i>	Toyon	Per Plan	15 gal (ST)	Low	268
(Symbol)	<i>Prunus richardii</i>	Holly Leaf Cherry	Per Plan	15 gal (ST)	Low	123
(Symbol)	<i>Quercus agrifolia</i>	Coast Live Oak	Per Plan	15 gal (ST)	Low	91
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NOTE:

1. Plant modification zone requirements supersede City of Corona landscape planning ordinance requirements. Plant modification requirements are that groundcover of no more than 10% shall be used. All plant material shall be installed at 18 inches.
2. All existing plant material shall be maintained at 18 inches.



CONCEPTUAL LANDSCAPE PLAN

SIERRA BELLA, CRESCENDO & TOCCATA

CORONA, CA | TRACT 36541

DEVELOPMENT PLAN REVIEW SUBMITTAL

90010320 | 04-06-20

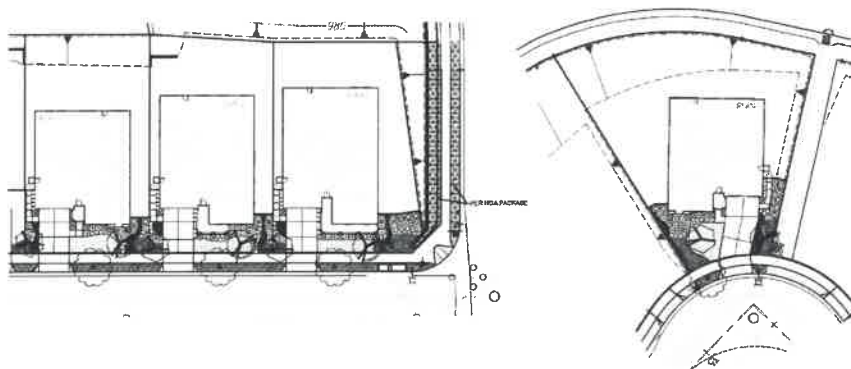
bmla

LANDSCAPE ARCHITECTURE

310 NORTH JOY STREET | CORONA, CA 92679

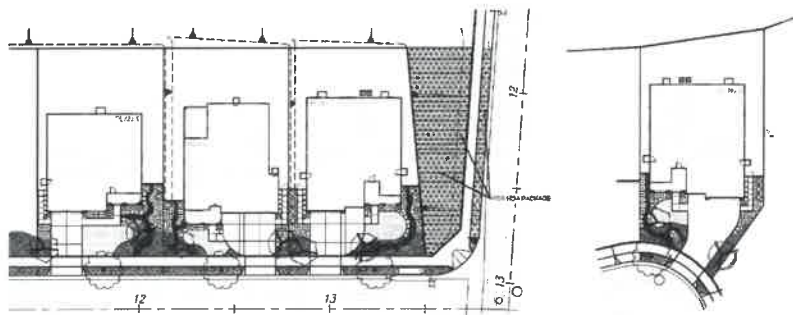
T: 951.737.1124 | F: 951.737.6551

EXHIBIT 3.L



Toccata

SONATA TYPICAL FRONT YARD LANDSCAPE CONCEPT
SCALE: 1" = 30'



Crescendo

ADAGIO TYPICAL FRONT YARD LANDSCAPE CONCEPT
SCALE: 1" = 30'

HARDSCAPE SCHEDULE			
SYMBOL	DESCRIPTION	COLOR	REMARKS
	3" THICK ROCK COBBLE 4"-10" MIX	MISSION COBBLE	BY SOUTHWEST BOULDER AND STONE
	BARK MULCH: ALL SHRUB AREAS TO RECEIVE A MINIMUM 3" LAYER OF MEDIUM GRIND BARK MULCH AND MINIMUM 1"-12" LAYER BARK MULCH AT GROUND COVER AREAS		
	TURF		
	MARATHON II	DWARF FESCUE	

TYPICAL FRONT YARD TREE LEGEND					
SYMBOL	ELEVATION STYLE	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
	Bungalow & Traditional	Arbutus x Marina	Marina Strawberry Tree	15 Gal	M
	European Cottage	Lagerstroemia Indica 'Tuskegee'	Tuskegee Crape Myrtle	15 Gal	M
	Spanish Eclectic & Italian	Cercidium 'Desert Museum'	Desert Museum Palo Verde	15 Gal	L
	Spanish & Tuscan	Laurus 'Savoyana'	Savoyana Laurel	15 Gal	L

TYPICAL FRONT YARD TREE LEGEND					
SYMBOL	ELEVATION STYLE	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
	Bungalow & Traditional	Tristania conferta	Brisbane Box	15 Gal	M
	European Cottage	Magnolia grandiflora	Southern Magnolia	15 Gal	M
	Spanish Eclectic & Italian	Rhus Lanata	African Sumac	15 Gal	L
	Spanish & Tuscan	Olea Europe 'Mission'	Mission Olive	15 Gal	L

TYPICAL FRONT YARD LANDSCAPE CONCEPTS

WATER EFFICIENT LANDSCAPE WORKSHEET									
PROJECT: Sonata TTY		DATE: 05/20/2020		This worksheet is filed on by the landscape architect and is a requirement of the Landscape Observation Package.					
Reference: Reference Evapotranspiration (ET _{ref})		Conversion Factor		0.62					
Regular Landscape Areas	Plant Factor (PF)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)
Low water use plantings	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
Medium water use plantings	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7
High water use plantings	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9
Low water use turf	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Medium water use turf	0.3	0.3	0.3	0.3	0.3	0.3	0.3	0.3	0.3
High water use turf	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7
TOTALS				1.00	1.00	1.00	1.00	1.00	1.00
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62

WATER EFFICIENT LANDSCAPE WORKSHEET									
PROJECT: Adagio TTY		DATE: 05/20/2020		This worksheet is filed on by the landscape architect and is a requirement of the Landscape Observation Package.					
Reference: Reference Evapotranspiration (ET _{ref})		Conversion Factor		0.62					
Regular Landscape Areas	Plant Factor (PF)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)	Reference ET _{ref} (inches)
Low water use plantings	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
Medium water use plantings	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7
High water use plantings	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9
Low water use turf	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
Medium water use turf	0.3	0.3	0.3	0.3	0.3	0.3	0.3	0.3	0.3
High water use turf	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7	0.7
TOTALS				1.00	1.00	1.00	1.00	1.00	1.00
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62
ET _{ref} (inches)				0.62	0.62	0.62	0.62	0.62	0.62

FRONT YARD SHRUB LEGEND				
ELEVATION STYLE	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
BACKGROUND SHRUBS				
Bungalow & Traditional	Leucophyllum frutescens 'Green cloud'	Green Cloud Texas Ranger	5 Gal	L
European Cottage	Westringia frutescens	Coast Rosemary	5 Gal	L
Spanish Eclectic & Italian	Dialia x 'Nota Alba'	Katrina African Iris	5 Gal	L
Spanish & Tuscan	Salvia leucantha 'Santa Barbara'	Santa Barbara Mexican Sage	5 Gal	L
MID-GROUND SHRUBS				
Bungalow & Traditional	Muhlenbergia capillaris 'Lemon'	Royal Pink Muhly	5 Gal	L
European Cottage	Rosa x Noesneue	White Flower Carpet Rose	5 Gal	L
Spanish Eclectic & Italian	Callistemon 'Little John'	Dwarf Callistemon	5 Gal	L
Spanish & Tuscan	Salvia greggii	Salvia greggii	5 Gal	L
FOREGROUND SHRUBS				
Bungalow & Traditional	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grams Grass	1 Gal	L
European Cottage	Dianella revoluta 'Little Rev'	Little Rev Rex Lily	1 Gal	L
Spanish Eclectic & Italian	Anigozanthos flavus 'Bush Ranger'	Dwarf Kangaroo Paw	1 Gal	L
Spanish & Tuscan	Lavandula x 'Provence'	Provence French Lavender	1 Gal	L
ACCENT SHRUBS				
Bungalow & Traditional	Podocarpus macrophyllus 'Maj'	Shrubby Yew Podocarpus	5 Gal	M
European Cottage	Prunus caroliniana compacta	Compact Laurel Cherry	5 Gal	M
Spanish Eclectic & Italian	Cordyline Burgundy Spire	Burgundy Spire Cordyline	5 Gal	M
Spanish & Tuscan	Cupressus 'Tiny Tower'	Tiny Tower Italian Cypress	5 Gal	L
GROUNDCOVERS				
Bungalow & Traditional	Carex pens	California Meadow Sedge	Plats @ 18" O.C.	L
European Cottage	Myoporum parvifolium 'Pink'	Pink Racer Prostrate Myoporum	Plats @ 18" O.C.	L
Spanish Eclectic & Italian	Verbena purpurea Purple Spreader	Purple Trailing Verbena	Plats @ 18" O.C.	L
Spanish & Tuscan	Rosmarinus prostratus	Prostrate Rosemary	Plats @ 18" O.C.	L

- NOTES:
- ALL TREES STANDARD UNLESS OTHERWISE INDICATED IN LEGEND
 - PLANT QUANTITIES LISTED ARE FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN TAKE PRECEDENCE OVER QUANTITIES LISTED
 - ALL SHRUB AREAS TO RECEIVE A 2" LAYER OF MEDIUM GRIND BARK MULCH AND 1-1/2" LAYER BARK MULCH AT GROUND COVER AREAS.
 - INSTALL ROOT BARRIER AROUND ANY TREES WITHIN 8' OF ANY HARDSCAPE AREA, WALL OR BUILDING
 - MEDIUM WATER USE ACCENT SHRUBS TO GET AN EXTRA RING OF DRIPLINE

TYPICAL STREET TREE LEGEND				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	WUCOLS
PER APPROVED STREET TREE PLAN				
PARKWAY GROUNDCOVER LEGEND				
	Myoporum parvifolium 'Pink'	Pink Racer Prostrate Myoporum	Plats @ 18" O.C.	L

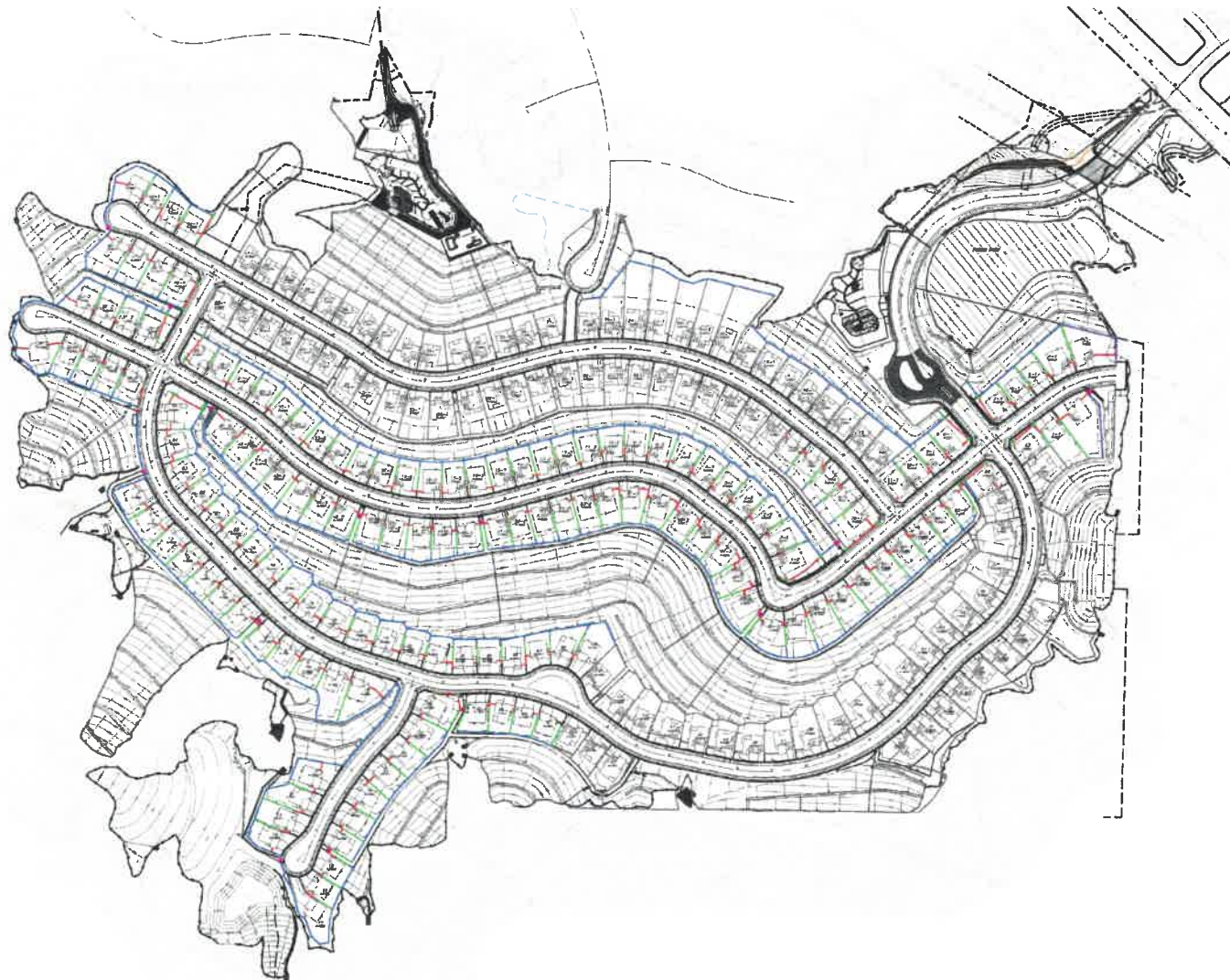
LENNAR

SIERRA BELLA, CRESCENDO & TOCCATA

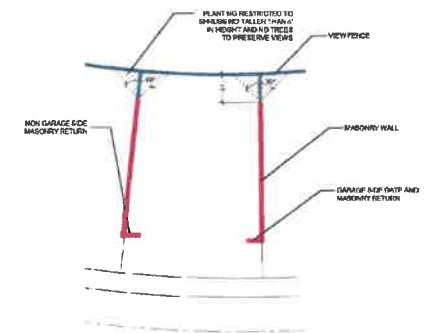
CORONA, CA | TRACT 36541

DEVELOPMENT PLAN REVIEW SUBMITTAL

EXHIBIT 3.M



WALL AND FENCE LEGEND	
	COMMUNITY WALL - 8'-0" TALL SLUMP BLOCK WALL W/ SLURRY FINISH AND BRICK CAP IN ROWLOCK
	MASONRY WALL - 8'-0" TALL SLUMP BLOCK WALL W/ SLUMP BLOCK CAP
	VIEW FENCE - 8'-0" TALL TUBULAR STEEL FENCE
	GUARD FENCE - 4'-0" TALL TUBULAR STEEL FENCE
	8'-0" TALL PRECISION BLOCK PILASTER W/ STONE VENEER AND BRICK CAP IN ROWLOCK
	8' TALL TUBULAR STEEL MAINTENANCE / FIRE DOUBLE GATE
	8' TALL TUBULAR STEEL VEHICULAR AND PEDESTRIAN GATES
	8'-0" HIGH FIRE WALL - 2' HIGH SLUMPSTONE BLOCK W/ SLUMPSTONE CAP AND 4' HIGH TEMPERED GLASS
	UNBUILT MAILING
	ADJUNCT WALL, REFER TO CIVIL ENGINEER PLANS
	RETAINING WALL, REFER TO CIVIL ENGINEER PLANS
	EXISTING PILASTER, GATES AND WALLS



TYPICAL LOT FENCING AT VIEW LOTS
NOT TO SCALE

LENNAR

CONCEPTUAL WALL AND FENCE PLAN SIERRA BELLA, CRESCENDO & TOCCATA

CORONA, CA | TRACT 36541



0 75 150 300

L2.1

DEVELOPMENT PLAN REVIEW SUBMITTAL
| 90010320 | 04-06-20

bmla
LANDSCAPE
ARCHITECTURE
310 NORTH JOY STREET | CORONA, CA 92879
T: 951.737.1124 | F: 951.737.6551

EXHIBIT 3.N

Slope Exhibit

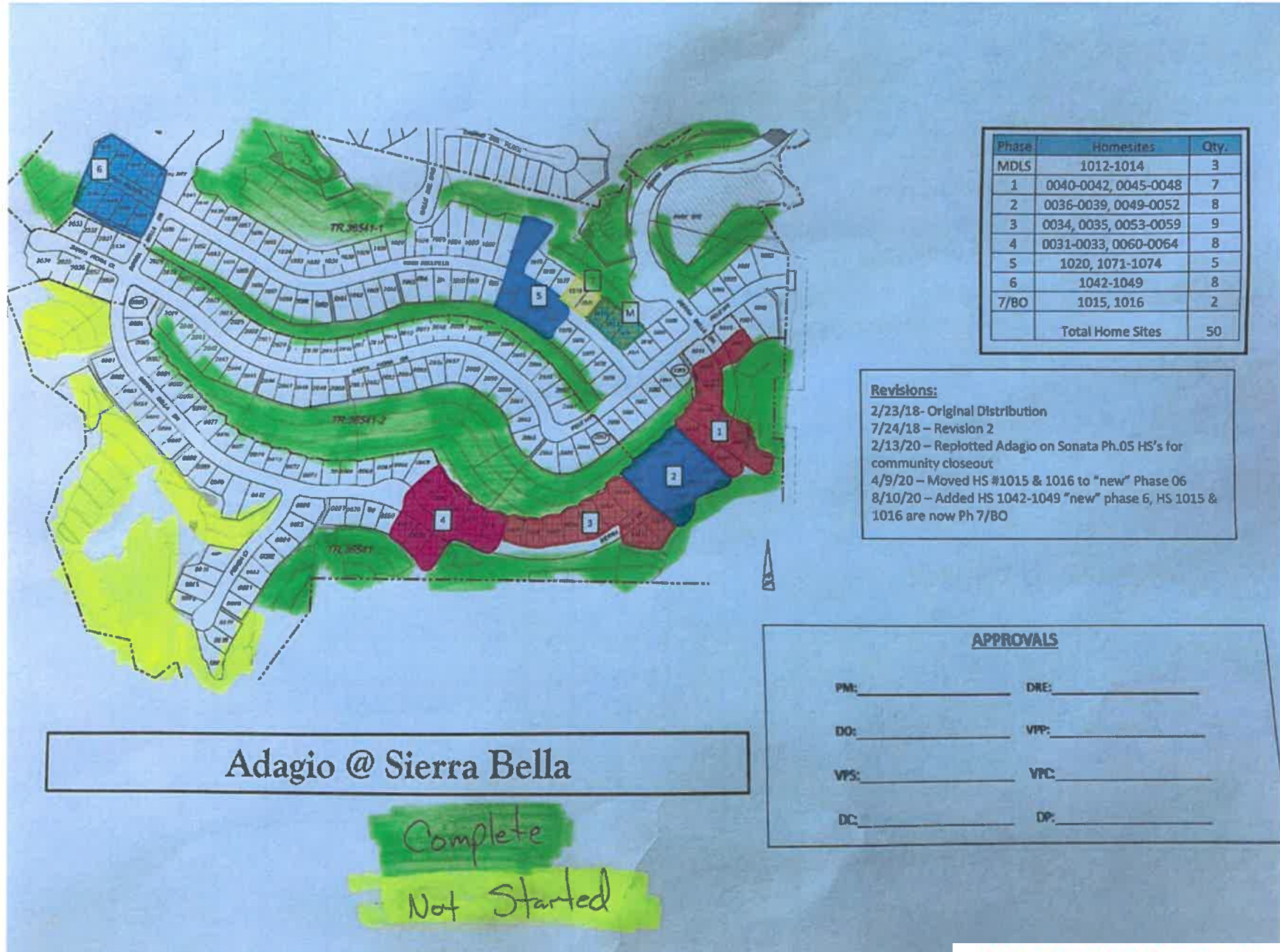


EXHIBIT 3.0



August, 6 2020

CITY OF CORONA

Community Development/Planning Division
Attn: Sandra Yang, Senior Planner
400 S. Vicentia Avenue, Suite 310
Corona, CA 92882

Subject: Sierra Bella Development Letter of Justification

Dear Sandra,

Please allow this letter to serve as the required Letter of Justification per the request of the Planning Department and the City of Corona.

Sierra Bella, Tract 36541; 36541-1 & 36541-2 was originally designed and developed as a single-family residential development within the boundaries of the City of Corona. It was intended to provide 2 product lines totaling 237 homes.

The large public park at the entry of the community off Sierra Bella Drive and Green River is constructed and ready for the Parks Department to accept and open to the public. The internal, Private park, the "Overlook Park" is also completed and is being enjoyed by the residents that currently live within the community.

The original product lines were marketed under the names Sonata & Adagio @ Sierra Bella. Adagio, is the larger of the product lines with homes size ranging from 2552-2626 sf. It contains a single story and three (3), two story homes. Each home has 3 varied elevations. Italian, Traditional and European Cottage.

Sonata, being the other product line, has homes whose size ranges from 2498-3401 sf. It contains a single story and three (3), two story homes. Each home has 3 varied elevations. Italian, Tuscan and Bungalow.

After being open for sales since December of 2018, we have found the product lines, while beautiful, are not well received by the buyers. The plans are simply not meeting the needs of the community. It is our intent to close the product lines of Adagio & Sonata and bring in 2 different product lines. All the plans we have carefully selected here, meet the needs of the buyers that are looking for homes in the Corona market.



I hope this letter clarifies our intentions and helps you understand the development flow in our newest, proposed, product lines.

Adagio was planned to have 118 homes. They were the larger homes occupying the best view homesites. 42 of those plans are constructed and released for sale, 8 of those will be released for sale in September 2020. The bifurcation of the architecture is designed to be relatively seamless. We will be replacing the remaining 68 homesites with a new product line, with exterior elevations meant to blend with the original plans. We will continue with the Italian, Traditional & European Cottage exterior elevations.

This new product line will be marketed under the name Crescendo. Crescendo will have 3 floor plans whose square footages range from 3423-4134 sf. These will be 2 story homes and will debut the Lennar NexGen to the Corona buyers. The Lennar NexGen home is our multi-generational home, that is very popular to today's buyer.

The Sonata product line was originally designed to have 119 homes. These homesites were the center run and northerly lower tiers of the community. 45 of those along Chad Zeller Lane are constructed and released for sale, 5 more will be released for sale the end of October 2020. The remaining 69 homes that occupy the center street, along with the 2 cul-de-sacs, will be replaced with a Single-Story product line, meant to appeal with the downsizing buyer, whose children have left home, and are looking for the elegance and ease of living that the single-story line provides. This product line will be marketed under the name Toccata. These 3 floor plan homes will range in square footage from 2365 - 2944 sf, and will continue the exterior elevations of Italian, Tuscan & Bungalow.

Due to the configuration of the site, and the shape of some of the homesites, we have grouped the two story product, Crescendo strategically within the community to maximize the views. Another facet of the product segmentation is that by grouping the single story line up, we maximize the privacy of those homes. We have found that single story living is diminished by two story homes with views into the rear yards. There are also, approximately 13 homesites that we will be requesting a setback variance for, see Exhibit A "Variance Table" attached. These are typically due to the configuration of the homesite. These are very minor variances and fall within the tolerance of the city's planning guidelines, along with those within the Specific Plan. If we were to redesign to accommodate these, few odd shaped, homesites the homes that would fit, would all be way too small for this buyer profile. The Fence and Wall Plan as well as the Landscape Plans will stay the same as originally approved per PP2018-0002.



After spending a considerable amount of time and research, we feel that this change, will provide the buyers and future residents of this community with homes, that meet their needs, and bring them the sanctuary they deserve, behind the gates, and above our beautiful city.

Should you have any questions, please do not hesitate to contact me.

Respectfully,

Jennifer Johnson

Jennifer Johnson
Project Manager

EXHIBIT A
"VARIANCE TABLE"



Tract #	Product	Home site #	Type of Setback	Required Setback Dimension	Proposed Setback Dimension
36541	Crescendo	8	Rear-yard	20'	18.2'
36541	Crescendo	74	Rear-yard	20'	18.9'
36541-2	Toccata	8-2	Rear-yard	20'	16.1'
36541-2	Toccata	9-2	Rear-yard	20'	18.0'
36541-2	Toccata	11-2	Rear-yard	20'	16.7'
36541-2	Toccata	26-2	Rear-yard	20'	17.9'
36541-2	Toccata	28-2	Rear-yard	20'	17.0'
36541-2	Toccata	15-2	Side-yard	10'	9.8'
36541-2	Toccata	16-2	Side-yard	10'	9.7'
36541-2	Toccata	17-2	Side-yard	10'	9.3'
36541-2	Toccata	19-2	Side-yard	10'	9.7'
36541-2	Toccata	21-2	Side-yard	10'	9.9'
36541-2	Toccata	56-2	Side-yard	10'	9.5'



CITY OF CORONA

PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

Name, Description and Location of Project:

PPM2020-0002: Modification to Precise Plan 2018-0002 originally approved on May 7, 2018 to add two new single family floorplans with various architectural themes for the remaining 137 lots within Tract 36541 located south of Green River Road and Sierra Bella Drive in the LDR-1 designation of the Sierra Bella Specific Plan (SP04-001).

Entity or Person Undertaking Project:

- ☐ A. Public Agency:
- ☒ B. Other (private): Jennifer Johnson
Lennar Homes of California Inc.
980 Montecito Drive, Suite 302
Corona, CA 92879

Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
- ☐ B. The project is a Ministerial Project.
- ☐ C. The project is an Emergency Project.
- ☐ D. The project constitutes a feasibility or planning study.
- ☐ E. The project is categorically exempt:
- ☐ F. The project is a statutory exemption:
- ☒ G. The project is otherwise exempt on the following basis:

Per Section 15162 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA), no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On August 17, 2005, the City Council certified the Sierra Bella Specific Plan EIR. PPM2020-0002 does not change the current configuration of the project site or alter the grading that has already occurred on the site. The project is a cosmetic change to the residential units that are capable of fitting within the residential lots already graded on the property. Therefore, the modified project will not result in new significant environmental effects from that previously analyzed in the EIR.

- ☐ H. The project involves another public agency which constitutes the lead agency. Name of Lead Agency:

EXHIBIT 4

Date:_____

Lupita Garcia, Associate Planner
Lead Agency Representative



NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA
COMMUNITY DEVELOPMENT DEPARTMENT
400 S. VICENTIA AVE, SUITE 120
CORONA, CA 92882

1. Project title: PPM2020-0002
2. Project location (specific): *South of Green River Road and Sierra Bella Drive*
Assessor's Parcel Numbers: 275-020-005, 101-220-003, 102-390-041, 102-390-042
3. a. Project location - *City of Corona*
b. Project location - *County of Riverside*
3. Description of nature, purpose and beneficiaries of project:

PPM2020-0002: Modification to Precise Plan 2018-0002 originally approved on May 7, 2018 to add two new single family floorplans with various architectural themes for the remaining 137 lots within Tract 36541 located south of Green River Road and Sierra Bella Drive in the LDR-1 designation of the Sierra Bella Specific Plan (SP04-001).

5. Name of public agency approving project: City of Corona
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:

a. *Jennifer Johnson, Lennar Homes of California Inc., 980 Montecito Drive, Suite 302, Corona, CA 92879*

7. Exempt Status (check one):
 - a. ☐ Ministerial Project (Pub. Res. Code § 21080(b)(1);
 - b. ☐ Not a project.
 - c. ☐ Emergency project (Pub. Res. Code § 21080(b)(4);
 - d. ☐ Categorical Exemption. State type and class number:
 - e. ☐ Declared Emergency (Pub. Res. Code § 21080(b)(3);
 - f. ☐ Statutory Exemption. State code section number
 - g. ☒ Other: Explain: See below

8. Reasons why the project is exempt:

Per Section 15162 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA), no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On August 17, 2005, the City Council certified the Sierra Bella Specific Plan EIR. PPM2020-0002 does not change the current configuration of the project site or alter the grading that has already occurred on the site. The project is a cosmetic change to the residential units that are capable of fitting within the residential lots already graded on the property. Therefore, the modified project will not result in new significant environmental effects from that previously analyzed in the EIR.

9. Contact Person/Telephone No.: Lupita Garcia / (951) 736-2293
10. Attach Preliminary Exemption Assessment (Form "A") before filing:

Date received for filing: _____

Signature: _____
Lupita Garcia, Associate Planner
Lead Agency Representative