



Staff Report

File #: 21-0477

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 5/24/2021

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

CUP2021-0001 (CONTINUED): Conditional Use Permit application for a daycare facility for children (Kiddie Academy) at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway, on property zoned General Commercial (GC) by the Arantine Hills Specific Plan. (Applicant: Nemi Kotadiya of Kiddie Academy, 3415 Box Hill Corporation Center Drive, Abingdon, Maryland 21009).

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2568 GRANTING CUP2021-0001, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 9,990 sq. ft. (Pad G building)

Existing Zoning: General Commercial (GC) within the Arantine Hills Specific Plan

Existing General Plan: General Commercial (GC)

Existing Land Use: Commercial retail center

Proposed Land Use: Daycare Facility

Surrounding Zoning/Land Uses:

N: General Commercial / Commercial retail center

E: General Commercial / Commercial retail center

S: General Commercial / Commercial retail center

W: Low Density Residential, Medium Density Residential, and High Density Residential within the Arantine Hills Specific Plan / Attached and detached residential dwellings

BACKGROUND

Project Site History

Conditional Use Permit (CUP) 2021-0001 is for the review of a daycare facility proposed within the new Bedford Marketplace, which is located at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway. The Bedford Marketplace is a new 21.7-acre commercial center that is currently

under construction (Exhibit 3.A). The shopping center was reviewed and approved by the Planning and Housing Commission on July 7, 2020 under Precise Plan (PP) 2019-0008. The center was approved for 134,378 square feet of commercial/retail space and a 135-room hotel. The proposed daycare facility was shown as Pad G on the site plan approved by PP2019-0008. The Bedford Marketplace is in the Arantine Hills Specific Plan and has a zoning of General Commercial (GC), which permits daycare facilities with approval of a conditional use permit.

A Final Supplemental Environmental Impact Report (SEIR), which was prepared to analyze the potential environmental impacts associated with the Bedford Marketplace, was certified by the City Council on May 20, 2020. The daycare facility use proposed by this application (CUP2021-0001) was included in the analysis for the SEIR because the applicant had always anticipated for Pad G to be occupied by a daycare facility.

This conditional use permit is limited to the review of the daycare facility. All other aspects of the commercial center, including the overall parking, landscaping, architecture, signage, and on-site circulation were reviewed and approved under the precise plan.

On-site Circulation

The Bedford Marketplace commercial center (PP2019-0008) was reviewed by the Planning and Housing Commission on April 20, 2020 and June 22, 2020 and approved on July 7, 2020. The original shopping center was continued twice to address concerns the Planning and Housing Commission had with on-site circulation. The proposed conditional use permit (CUP2021-0001) does not alter the center's approved on-site circulation.

The following is a summary of the prior on-site circulation discussions:

- April 20, 2020 - The applicant originally proposed the shopping center's south entrance on Bedford Canyon Road as the primary entrance for hotel visitors. This is because it is the closest driveway to the hotel, which is located by the freeway, behind the Major C building. As originally presented to the Commission, the applicant proposed a hotel directional sign at the south entrance, and there was a 30-foot wide hotel access aisle located on the south side of Major C building (at the time the in-line Shops and Major C building were connected together).

Because the south entrance is located by the daycare "pad", the Commission raised concerns with hotel traffic routing in front of the daycare building. The Commission continued the project and asked the applicant to evaluate alternative on-site circulation scenarios.

- June 22, 2020 - An alternative site design was presented that realigned drive aisles in front of the daycare pad and added hotel directional signage. The Commission was not satisfied with the proposal and continued the project.
- July 7, 2020 - The applicant presented four (4) alternative site plans to the Commission. Staff and the Commission favored the second option (Alternative Option A), which separated the in-line Shops and the Major C building, allowing the drive aisle from Bedford Canyon Road to

connect directly to the drive aisle behind Major C, where directional signs would then guide visitors to the hotel. This design provided a more direct route to the hotel, minimizing on-site pass-through traffic in front of the daycare. The Commission approved the Bedford Marketplace commercial center with this on-site circulation, which is reflected on Exhibit 3.A.

Application History

The applicant formally submitted the CUP application (CUP2021-0001) to the City on February 8, 2021. The application was reviewed by city staff at the Project Review Committee meeting held on February 25, 2021. The Committee deemed the application incomplete due to missing or incomplete application materials. The applicant subsequently submitted the necessary materials, and the application was considered complete on April 20, 2021, and scheduled for the May 10, 2021 Planning and Housing Commission meeting.

PROJECT DESCRIPTION

Site Plan

Attached as Exhibit 3.C is the applicant's site plan for the daycare facility. The daycare facility consists of a 9,990 square foot building with an outdoor playground that fronts Bedford Canyon Road. The facility is located between the shopping center's south entrance and an existing water quality basin that is separated from the shopping center by fencing.

The applicant is proposing to convert the 11 parking spaces in front of the building into short-term parking spaces to serve as a drop-off area for children. A parking space at the southeast corner of the building is reserved for small truck/van deliveries. This space accommodates the unloading of food and supplies for the daycare facility, which would occur in the early morning, several times per week. The space would also serve as drop-off parking for a Kiddie Academy van, which would deliver students to the daycare facility from nearby schools.

Floor Plan and Playground

The facility's main entrance is located on the east side of the building. The interior has a lobby and reception area where parents would drop off and pick up their children through an electronic sign-in system. The facility consists of 10 classrooms with toilet rooms, administrative offices, and a kitchen area. The kitchen is designed as a modest meal preparation area for the students and staff as shown in Exhibit 3.D.

In order for the daycare facility to comply with County Health Department regulations, the daycare must provide a dedicated outdoor play area within a secured perimeter. The daycare's proposed playground will be fenced with a 5-foot-high metal tubular fence. The playground is 12,520 square feet in area and divided into three fenced areas:

- Infant/toddler
- Pre-K
- School Age

There are two points of accessible gates with alarm-panic devices on each side of the playground, which provide occupants of the building a secondary emergency exit from the property. The Fire

Department is requiring the building to be fire sprinklered and has reviewed the building and exits for safety. A detailed layout of the playground is shown on Exhibit 3.E

Operations

The building will be occupied by Kiddie Academy, which is a children's daycare business. The proposed hours of operation for the facility are Monday through Friday, from 7:00 a.m. to 7:00 p.m.

Kiddie Academy intends to operate as a full daycare for children aged 6 weeks to 5 years old, and as an after-school care program for children aged 5 to 12 years old. A full daycare consists of a child spending an entire day at the facility, from 2 to 5 days a week. The full daycare program includes a cooked/prepared lunch. An after-school daycare program provides a van service that picks up and drops off students who attend half-day kindergarten programs at nearby schools.

Kiddie Academy also intends to accommodate older children who need after-school care when a younger sibling attends Kiddie Academy. In these cases, the Kiddie Academy van will pick up the older children from a nearby school and take them back to the Kiddie Academy facility, for parent pick-up.

The applicant has identified the maximum occupancy load for the building is 185 people, based on the California Building Code. Kiddie Academy anticipates a maximum operational capacity of 162 students and 20 teachers (182 occupants) at any given time, which is 3 less occupants than the maximum occupancy allowed.

Architecture

The daycare building is designed to be consistent with the American Farmhouse architectural theme adopted by the Arantine Hills Specific Plan for commercial buildings. The building's design will be consistent with the other commercial buildings within the Bedford Marketplace, which have the same American Farmhouse design as shown on Exhibit 3.F.

Access and Circulation

The Bedford Marketplace has three driveway entrances from Bedford Canyon Road. The proposed daycare facility is accessible from any one of the three entrances.

As discussed under the BACKGROUND section of this report, the on-site circulation was analyzed under the precise plan (PP2019-0008) and approved by the Planning and Housing Commission on July 7, 2020. This application does not propose any changes to the shopping center's on-site circulation.

Parking

The parking requirements for the Bedford Marketplace was previously analyzed under PP2019-0008 for compliance with the City's Parking Ordinance, Chapter 17.76 of the CMC. Table A below provides the most up-to-date parking information for the center. The center will have 995 parking spaces and is required to provide 799 spaces. The daycare facility will not impact the center's parking, as the center will have a surplus of 196 parking spaces, and all parking spaces are shared among the tenants.

Table A
Bedford Marketplace Parking Requirement

Building	Use	Floor Area (SF) / Rooms	Parking Ratio	Parking Required
Hotel	Hotel	135 rooms and 3 managers	1 space per room plus 2 spaces per manager	141
Major A	Retail	27,171	1/250	109
Major B	Market	35,000	1/250	140
Major C	Pharmacy	12,000	1/250	48
Shops 1	Retail	4,875	1/250	20
Restaurant A	Food	7,800	1/100	78
	Patio/Food	1,160	1/100	12
Restaurant B	Food	6,600	1/100	66
	Patio/Food	964	1/100	10
Pad A	Carwash, full service w/drive-thru	3,596	10 spaces minimum	10
Pad B	Convenience store	4,000	1/250	16
	Fuel Station		3 spaces minimum	3
Pad C	Restaurant	2,200	1/100	22
	Patio Dining	357	1/100	4
Pad D	Retail	2,100	1/250	8
Pad D	Bank	3,000	1/200	15
Pad E	Restaurant	3,500	3,500	35
	Patio Dining	332	1/100	3
Pad F	Retail	5,826	1/250	23
Pad G	Daycare	9,990 (162 students and 20 employees)	1 space per 10 students plus 1 space per employee	36
Total Required				799
Total Provided				995
Surplus				196

Landscaping

The landscaping surrounding the daycare facility is consistent with the landscape design theme approved for the overall Bedford Marketplace. The drought tolerant plant palette provides a low maintenance, functional, and attractive landscaping for the site. The developer of the Bedford Marketplace will install the landscaping adjacent to the daycare facility and in the nearby parking lot.

The developer will also install the landscaping within the playground. Exhibit 3.E provides a detailed look of the landscaping for the daycare. The plan includes perimeter trees, which will be installed along the west side of the playground to provide a buffer between the playground and future residences located across Bedford Canyon Road to the west. The daycare pad is also lower than Bedford Canyon Road by approximately six feet (Exhibit 3.G).

Signage

Kiddie Academy is required to comply with the sign program approved for the Bedford Marketplace, which ensures consistency within the center. Kiddie Academy may have exterior wall signs on all four sides of their building. The maximum allowable size of a wall sign on each elevation is based on a formula of 1.25 square feet of sign area per one lineal foot of building frontage.

Kiddie Academy will be sharing a monument and/or pylon signage with the center. The sign program was approved with five multi-tenant monument signs along Bedford Canyon Road and one 40-foot high multi-tenant pylon sign on the center's east perimeter adjacent to Interstate 15. The application is not requesting any changes to the center's approved sign program.

ENVIRONMENTAL ANALYSIS

The City Council certified a Supplemental Environmental Impact Report (SEIR) on May 20, 2020 (application GPA2019-0002) in conjunction with the Bedford Marketplace. The certified SEIR corresponds with the Arantine Hills Specific Plan Final EIR, certified on August 5, 2012 (SCH #2006091093), a supplement to the Final EIR (May 19, 2016), and an addendum to the Final EIR (December 19, 2018). Pursuant to CEQA Guidelines § 15162(a), the City has determined that no additional environmental review is necessary for the proposed project (CUP2021-0001), as the proposal is consistent with the project and circumstances analyzed under the certified SEIR, and there are no substantial changes nor new information of substantial importance.

FISCAL IMPACT

The applicant has paid the applicable application processing fees for the project.

PUBLIC NOTICE AND COMMENTS

CUP2021-0001 was originally advertised for the Planning and Housing Commission public hearing date of May 10, 2021. A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site.

On Wednesday May 5, 2021, staff was made aware that the mailed notices identified the public hearing date as March 10, instead of May 10. At the May 10 public hearing, the Community Development Department decided to pull CUP2021-0001 from the Planning and Housing Commission agenda (Exhibit 4). The item was pulled so that the Community Development Department can readvertise the public hearing for the CUP2021-0001 for May 24, 2021 with the required 10-day notice. Following this meeting, staff resent the public notices to owners and occupants and the public notice was readvertised in the Sentinel Weekly News 10 days prior to the May 24, 2021 meeting.

As of the preparation of this report, the Community Development Department has not received any correspondence from the public in response to the first public notice or from the second public notice.

STAFF ANALYSIS

The daycare facility is consistent with the General Commercial designation of the Arantine Hills Specific Plan and General Plan. The design of the project complies with the development standards in the Specific Plan for commercial developments. The building's American Farmhouse architecture and drought tolerant landscaping match the architecture and landscaping of the approved commercial center.

The daycare facility anticipates drop-off times to occur between 7:00 a.m. and 9:00 a.m., and pick-up times to occur between 3:00 p.m. and 6:30 p.m. Access and parking for the daycare during the peak drop-off and pick-up times are not anticipated to be an issue for the other tenants within the center or the neighboring properties, as the daycare facility is located within a shopping center with three street entrances and adequate parking. The shopping center currently is overparked by 196 parking spaces, and the on-site circulation was analyzed under the precise plan (PP2019-0008) for vehicular and pedestrian safety. This application proposes no changes to the on-site circulation.

Furthermore, all potential environmental impacts associated with the project were analyzed in the Final SEIR for the Bedford Marketplace and determined to have a less than significant impact at the nearest sensitive land uses. All public improvements associated with the Bedford Marketplace have been constructed or are guaranteed to be constructed per the center's approved precise plan and parcel map. No additional public improvements are necessary to approve CUP2021-0001.

The Planning Division recommends approval of CUP2021-0001, based on the findings listed below and staff's recommended conditions of approval attached as Exhibit 3.B.

FINDINGS OF APPROVAL FOR CUP2021-0001

1. The City Council certified a Supplemental Environmental Impact Report (SEIR) on May 20, 2020 (application GPA2019-0002) in conjunction with the Bedford Marketplace. The certified SEIR corresponds with the Arantine Hills Specific Plan Final EIR, certified on August 5, 2012 (SCH #2006091093), a supplement to the Final EIR (May 19, 2016), and an addendum to the Final EIR (December 19, 2018). Pursuant to CEQA Guidelines § 15162(a), the City has determined that no additional environmental review is necessary for the proposed project (CUP2021-0001), as the proposal is consistent with the project and circumstances analyzed under the certified SEIR, and there are no substantial changes nor new information of substantial importance.
2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2021-0001 for the following reasons:

a. The proposal will not be detrimental to the public health, safety, convenience or

general welfare, and will not be in harmony with the various elements and objectives of the City's General Plan because the project meets or exceeds the development standards for properties that are zoned General Commercial zone by the Arantine Hills Specific Plan and provides adequate vehicular access from Bedford Canyon Road.

- b. The proposed use would not be detrimental to other existing and permitted uses in the general area of the project site because the use is located within the approved Bedford Marketplace, which is a commercial center that includes other similar or compatible commercial uses. Also, the use is separated from the nearest sensitive residential land uses by Bedford Canyon Road.*
- c. The proposed use as conditioned complies with the development standards of the General Commercial zone within the Arantine Hills Specific Plan, which allows daycare facilities by a conditional use permit.*

3. The proposal is consistent with the General Plan for the following reasons:

- a. The proposal is consistent with the project site's General Plan land use designation of General Commercial.*
- b. Development of the proposed use is consistent with the goal and policies established for the properties located within the Arantine Hills Specific Plan by contributing to the implementation of the Arantine Hills Specific Plan.*
- c. The project is consistent with General Plan Policies LU-1.1 and LU-2.2 because it supports the diverse needs of Corona's residents by accommodating a use that will help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.*

4. The proposal is consistent with the Arantine Hills Specific Plan for the following reasons:

- a. The proposal is permitted by a conditional use permit in the General Commercial zone per Section 6.2.1.3 of the Arantine Hills Specific Plan.*
- b. The proposed use complies with the development standards of the Arantine Hills Specific Plan, as demonstrated by the project plans in Exhibits 3.A through 3.G.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER & SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBITS:

- 1. Resolution No. 2568
- 2. Locational and Zoning Map
- 3.A - Site Plan for Bedford Marketplace

- 3.B - Conditions of Approval
- 3.C - Site Plan for Daycare Facility
- 3.D - Floor Plan
- 3.E - Conceptual Landscape and Playground Plan
- 3.F - Elevations
- 3.G - Cross-Sections for Pad G (Daycare)
- 3.H - Applicant's letter, dated April 15, 2021, describing the project
- 4 - Community Development Department memorandum to the Planning and Housing Commission

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2568

APPLICATION NUMBER: CUP2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT FOR A DAYCARE FACILITY FOR CHILDREN (KIDDIE ACADEMY) LOCATED AT THE SOUTHEAST CORNER OF BEDFORD CANYON ROAD AND EAGLE GLEN PARKWAY ON PROPERTY ZONED GENERAL COMMERCIAL (GC) BY THE ARANTINE HILLS SPECIFIC PLAN. (APPLICANT: NEMI KOTADIYA OF KIDDIE ACADEMY).

WHEREAS, the application to the City of Corona, California, for a Conditional Use Permit under the provisions of Chapter 17.92 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the Conditional Use Permit application for a daycare facility for children (Kiddie Academy) located at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway, on property zoned General Commercial (GC) by the Arantine Hills Specific Plan.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for CUP2021-0001 on May 24, 2021, as required by law; and

WHEREAS, the Planning and Housing Commission finds that, pursuant Section 15162(a) of the State CEQA Guidelines and Section 8.10 of the City of Corona's Local Guidelines for Implementing CEQA, no additional environmental review is necessary for the proposed project CUP2021-0001 because the proposal is consistent with the project and circumstances analyzed under a previously certified Supplemental Environmental Impact Report (SEIR), and there are no substantial changes nor any new information of substantial importance.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Conditional Use Permit as set forth in Corona Municipal Code Section 17.92.110 do exist in reference to CUP2021-0001 based on the evidence presented to the Commission during said hearing; and

EXHIBIT 1

WHEREAS, the Planning and Housing Commission based its recommendation to approve the CUP2021-0001 on certain conditions of approval and the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this CUP2021-0001 the Planning and Housing Commission has determined that this project does not require further environmental assessment because, pursuant to Section 15162(a) of the State CEQA Guidelines and Section 8.10 of the City of Corona's Local Guidelines for Implementing CEQA, the proposed project (CUP2021-0001) is consistent with the project and circumstances analyzed under a Supplemental Environmental Impact Report (SEIR) certified by the City Council on May 20, 2020 (application GPA2019-0002) in conjunction with the Bedford Marketplace, and there are no substantial changes nor new information of substantial importance. The certified SEIR corresponds with the Arantine Hills Specific Plan Final EIR, certified on August 5, 2012 (SCH #2006091093), a supplement to the Final EIR (May 19, 2016), and an addendum to the Final EIR (December 19, 2018).

SECTION 2. Conditional Use Permit Findings. Pursuant to Corona Municipal Code ("CMC") Section 17.92.110 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

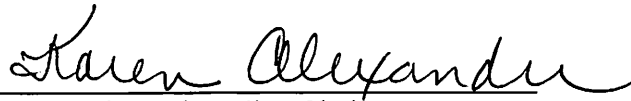
1. The City Council certified a Supplemental Environmental Impact Report (SEIR) on May 20, 2020 (application GPA2019-0002) in conjunction with the Bedford Marketplace. The certified SEIR corresponds with the Arantine Hills Specific Plan Final EIR, certified on August 5, 2012 (SCH #2006091093), a supplement to the Final EIR (May 19, 2016), and an addendum to the Final EIR (December 19, 2018). Pursuant to CEQA Guidelines § 15162(a), the City has determined that no additional environmental review is necessary for the proposed project (CUP2021-0001), as the proposal is consistent with the project and circumstances analyzed under the certified SEIR, and there are no substantial changes nor new information of substantial importance.
2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2021-0001 for the following reasons:
 - a. *The proposal will not be detrimental to the public health, safety, convenience or general welfare, and will not be in harmony with the various elements and objectives of the City's General Plan because the project meets or exceeds the development standards for properties that are zoned General Commercial zone by the Arantine Hills Specific Plan and provides adequate vehicular access from Bedford Canyon Road.*
 - b. *The proposed use would not be detrimental to other existing and permitted uses in the general area of the project site because the use is located within the approved*

Bedford Marketplace, which is a commercial center that includes other similar or compatible commercial uses. Also, the use is separated from the nearest sensitive residential land uses by Bedford Canyon Road.

- c. The proposed use as conditioned complies with the development standards of the General Commercial zone within the Arantine Hills Specific Plan, which allows daycare facilities by a conditional use permit.*
3. The proposal is consistent with the General Plan for the following reasons:
- a. The proposal is consistent with the project site's General Plan land use designation of General Commercial.*
 - b. Development of the proposed use is consistent with the goal and policies established for the properties located within the Arantine Hills Specific Plan by contributing to the implementation of the Arantine Hills Specific Plan.*
 - c. The project is consistent with General Plan Policies LU-1.1 and LU-2.2 because it supports the diverse needs of Corona's residents by accommodating a use that will help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.*
4. The proposal is consistent with the Arantine Hills Specific Plan for the following reasons:
- a. The proposal is permitted by a conditional use permit in the General Commercial zone per Section 6.2.1.3 of the Arantine Hills Specific Plan.*
 - b. The proposed use complies with the development standards of the Arantine Hills Specific Plan, as demonstrated by the project plans in Exhibits 3.A through 3.G.*

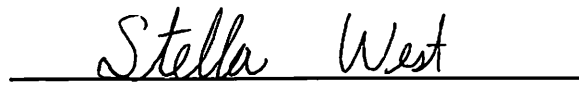
BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Conditional Use Permit.

Adopted this 24th day of May 2021.



Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

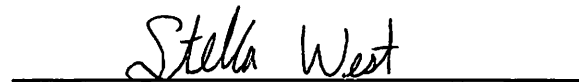
I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 24th day of May 2021, and was duly passed and adopted by the following vote, to wit:

AYES: Alexander, Meza, Sherman & Woody

NOES: None

ABSENT: Siqueland

ABSTAINED: None



Stella West
Secretary, Planning and Housing Commission
City of Corona, California

LOCATIONAL & ZONING MAP



Date: 04/28/2021

CUP2021-0001



EXHIBIT 2



Project Conditions

City of Corona

Project Number: CUP2021-0001

Description: Allow for daycare (Kiddie Academy) at Bedford Marketplace

Applied: 2/8/2021

Approved:

Site Address: 2570 BEDFORD CANYON RD CORONA, CA 92883

Closed:

Expired:

Status: APPROVED

Applicant:

Parent Project:

Details: Conditional use permit application to review a children's daycare (Kiddie Academy) proposed within the approved Bedford Marketplace commercial center located on the east side of Bedford Canyon Road, south of Eagle Glen Parkway in the General Commercial designation of the Arantine Hills Specific Plan.

LIST OF CONDITIONS

DEPARTMENT	CONTACT
BUILDING	Dana Andrews
1. BUILDING DEPARTMENT CONDITIONS	
1. Construction documents shall be prepared in accordance to current applicable codes (2019 Codes). Provide current list of applicable Codes & Standards. Provide full Scope of Work.	
2. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.	
3. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.	
4. Provide draft stops in attic areas not to exceed 1,000 sq ft per U.B.C. Sec 708.3	
5. Exterior walls shall be constructed of the required fire rating in accordance with U.B.C. Table 5-A.	
6. Plans for food preparation areas shall be approved by the Riverside County Health Dept. prior to plan check approval from this department.	
7. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.	
8. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.	
9. Upon tenant improvement plan check submittal there may be additional Building Department requirements.	
10. Fees - a. Occupancy fee of \$255.00 at the time of permit per unit. b. Property Development Tax at \$960.00 per dwelling unit. c. Storm water drainage fee at \$0.13 per square foot for Residential/ \$0.025 per square foot for Commercial \u0026 Manufacturing. d. School Fees shall be paid prior to issuance of permit. Provide copy of receipt to the Building Department.	
11. Separate permits are required for all fences, walls and paving.	
12. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.	
13. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.	
14. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.	
15. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance	



Project Conditions

City of Corona

BUILDING	Dana Andrews
	<p>16. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance</p> <p>17. Provide accessible parking calculations indicating the required number of accessible spaces including van spaces.</p> <p>18. Provide the minimum number of EV, clean air, and carpool/vanpool parking spaces; minimum shade trees, bicycle parking and other site facilities as required by the California Green Building Standards Code.</p> <p>19. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.</p> <p>20. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Provide enlarged plans and details for construction of trash/recycling enclosures.</p> <p>21. Provide list of Deferred Submittals. Deferred Submittals shall be submitted to Building Dept for Review & Approval before beginning installation.</p> <p>22. Separate Permits are Required for all Walls, Fences, Paving, Signage, Solar PV Systems & Trach Enclosures. Identify items installed under Separate Permits for the project.</p> <p>23. Provide List of Required Special Inspections Per 2019 CBC Section 1705 & Required Structural Observations.</p> <p>24. Your Project will require a pre-construction meeting with Jack Brown Building Inspection Supervisor & your area Building Inspector. Prior to requesting any inspections, contact Jack Brown Building Inspection Supervisor at 951-279-3774 to schedule your pre-construction meeting.</p>
FIRE	Cindi Schmitz
	<p>1. Place Fire Department DPR comments on plans as general notes.</p> <p>2. Plans shall show a minimum drive width of 28 feet.</p> <p>3. Dead end access drives shall not exceed one hundred fifty (150) feet in length.</p> <p>4. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site.\r\r</p> <p>5. A Knox Box shall be provided for this business. To apply for a Knox product visit https://www.knoxbox.com/\r\r</p> <p>6. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.\r\r</p> <p>7. If over 500 lineal feet the fire service waterline shall be looped and provided with two (2) separate points of connection.</p> <p>8. Fire hydrants are to be spaced a maximum 250 feet apart.\r\r</p> <p>9. Provide Class A roofing material on all structures per the Corona Municipal Code.\r\r</p> <p>10. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r\r</p> <p>11. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r\r</p> <p>12. As this will likely be an I-4 occupancy, submit separated detailed plans for both the alarm and sprinkler system to the building department for review and approval.</p>



Project Conditions

City of Corona

PLANNING	Rafael Torres
<ol style="list-style-type: none">1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.3. This permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this conditional use permit within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed.4. All signage shall be constructed in accordance with the Bedford Marketplace sign program approved by PP2019-0008.5. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees.6. The applicant or his successor in interest shall comply with all applicable mitigation measures in the Final Supplemental Environmental Impact Report (SEIR) certified by the City Council on May 20, 2020 for the Bedford Marketplace.7. The applicant shall demonstrate at plan-check that the trash enclosure is designed to accommodate an organic waste bin in accordance with CMC Chapter 8.20.8. All trash enclosures shall be constructed of decorative masonry such as splitface or slumpstone block, stucco finish, or other decorative material to match the other enclosures within the Bedford Marketplace.9. Landscape plans shall be submitted for the playground as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$2,500 to the Planning Division which will be applied towards landscape plan check and inspection services to be provided by a landscape consultant. Any money left remaining at the completion of the project will be reimbursed to the developer. Please note, this deposit is separate from the Building Division's landscape plan check submittal fee.10. The applicant shall, prior to issuance of a building permit, submit landscape plans prepared by a licensed landscape architect for review and approval by the Community Development Department. Plans shall be prepared in accordance with the state and local city guidelines.11. The applicant shall install bollards along the south side of the main drive-aisle extending from the daycare building to Bedford Canyon Road. [ADDED BY THE PLANNING AND HOUSING COMMISSION ON MAY 24, 2021].12. The applicant shall provide additional shade for the Pre-K area within the playground. [ADDED BY THE PLANNING AND HOUSING COMMISSION ON MAY 24, 2021].	



Project Conditions

City of Corona

PUBLIC WORKS

Emily Stadnik

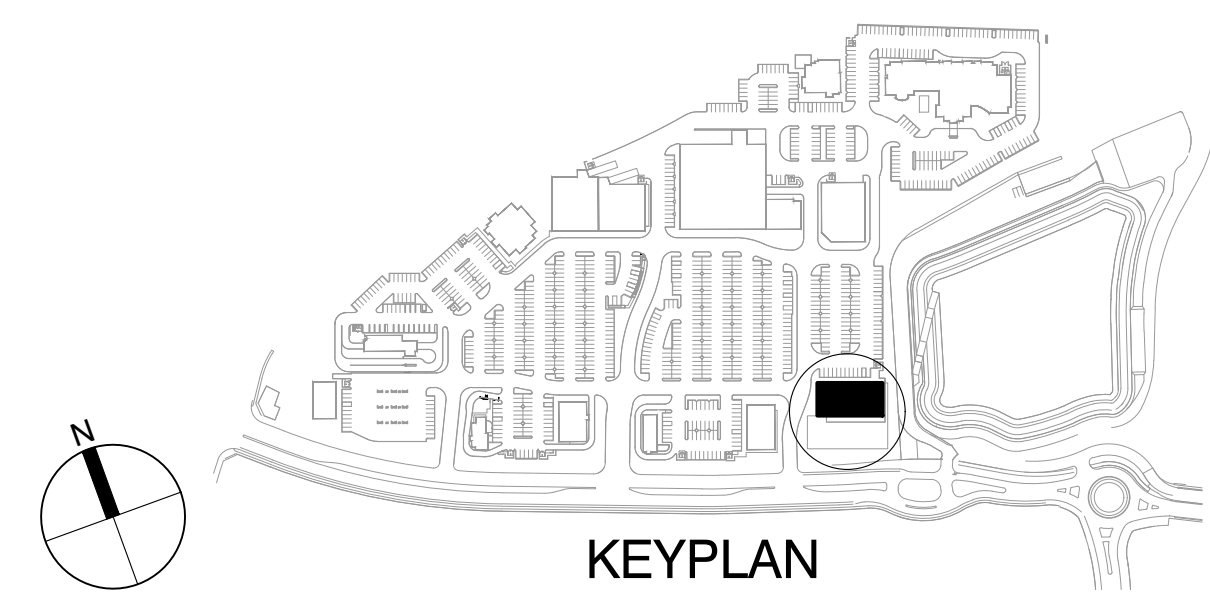
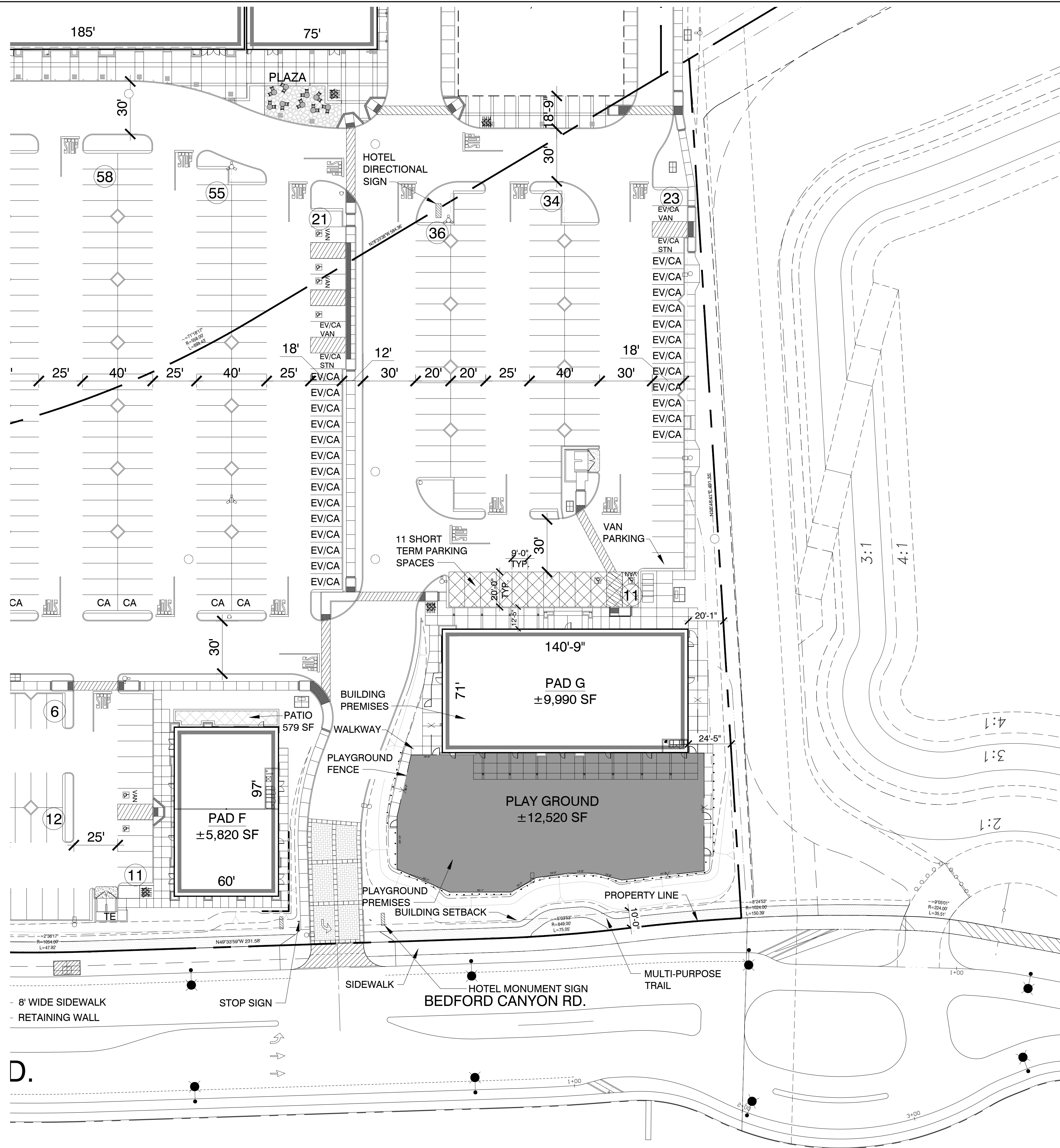
1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.
2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.
4. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.
5. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
6. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
 - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
7. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
8. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.
9. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
10. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
11. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
12. This project has a master WQMP. Prior to issuance of any grading permit, if applicable, the applicant shall submit any necessary revisions to the master WQMP, or a stand alone final WQMP for this site indicating any changes made. The final WQMP shall be prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Public Works Land Development Section for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.
13. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.
14. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.



Project Conditions

City of Corona

PUBLIC WORKS	Emily Stadnik
<ol style="list-style-type: none">15. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.16. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.17. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.18. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.19. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.20. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.21. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.22. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.23. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.24. Static pressures exceeding 80 psi require an individual pressure regulator.25. The applicant shall provide a separate irrigation water service for all HOA- CFD landscaped lots or easements.	



KEYPLAN
PAD G SITE PLAN

A Project for:
BEDFORD MARKETPLACE
SITE DEVELOPMENT
2440 BEDFORD CANYON RD.
CORONA, CA 92883
TRACT 37788

Client:
BEDFORD MARKETPLACE LLC
5780 FLEET STREET, SUITE 225
CARLSBAD, CA 92008

Revisions:

No.	Description	Date

No. Description Date
Project No.:
Drawn By:
Reviewed By:
Scale: AS NOTED
Date:
Filename:
Sheet Title:

PAD G
SITE PLAN

Sheet #:



mog architecture

061.001.1117 061.071.1117

1000 ALTON PARKWAY, SUITE 100 IRVINE, CA 92614

Seal:

A Project for:

BEDFORD MARKETPLACE
PAD BUILDING G
2570 BEDFORD CANYON RD
CORONA, CALIFORNIA 92883

Client:

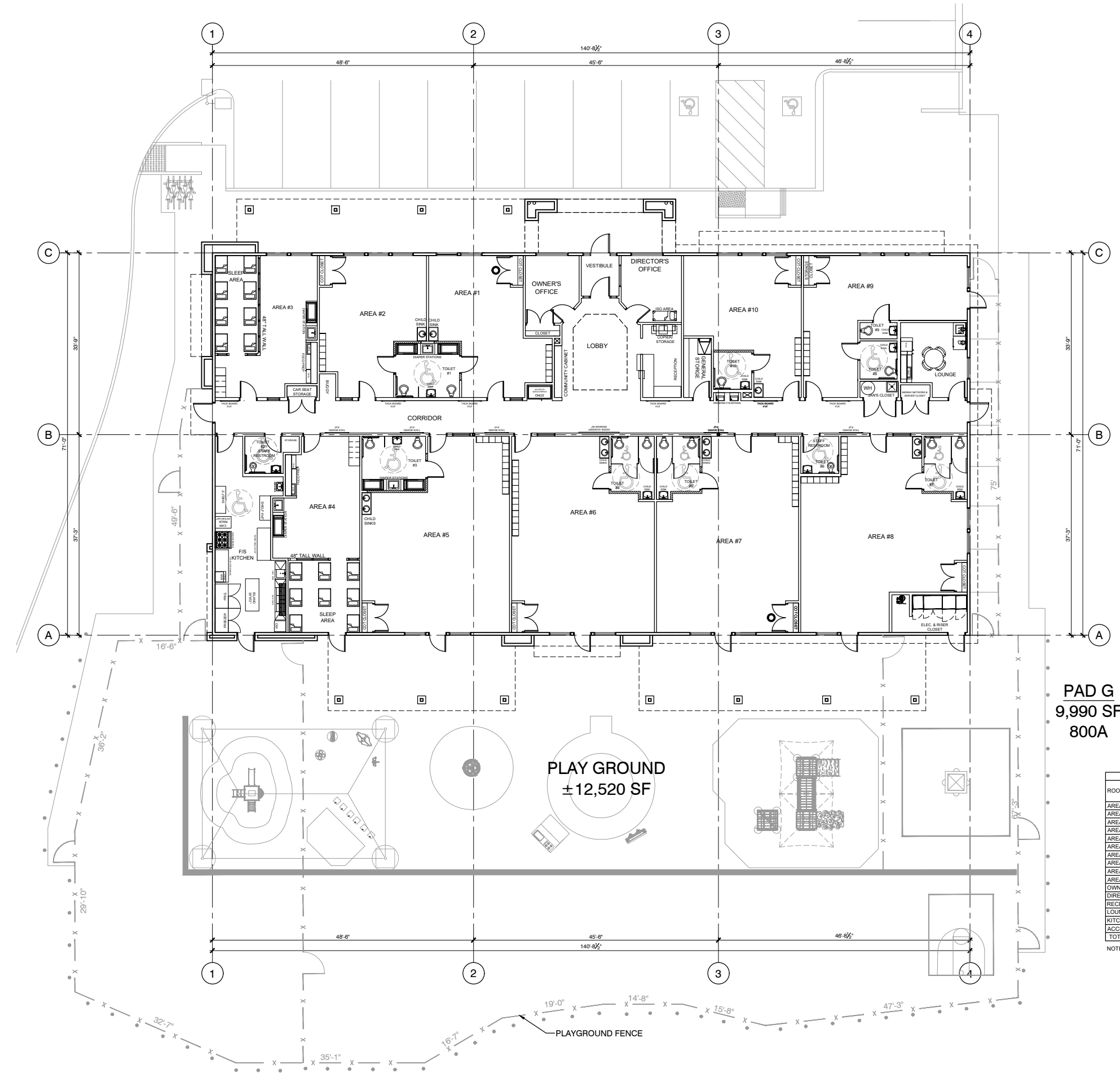
BEDFORD
MARKETPLACE LLC
5780 FLEET STREET, SUITE 225
CARLSBAD, CA 92008

Revisions:

No. Description Date
Project No.: 19209.60
Drawn By: TEAM
Reviewed By: O.F.
Scale: AS NOTED
Date:
Filename:
Sheet Title:

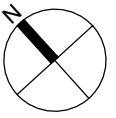
FLOOR PLAN

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OCCUPANT LOAD CALCULATION			
ROOM NAME	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	MAXIMUM OCCUPANCY
AREA #1 (TODDLERS)	417	35	12
AREA #2 (TODDLERS)	421	35	12
AREA #3 (INFANTS)	433	35	13
AREA #4 (INFANTS)	465	35	14
AREA #5 (2 YEAR OLDS)	830	35	24
AREA #6 (3 YEAR OLDS)	832	35	24
AREA #7 (4 YEAR OLDS)	827	35	24
AREA #8 (5 YEAR OLDS)	830	35	24
AREA #9 (SCHOOL AGE)	487	35	14
AREA #10 (3 YEAR OLDS)	419	35	12
OWNER'S OFFICE	118	100	1
DIRECTOR'S OFFICE	123	100	1
RECEPTION	61	100	1
LOUNGE	126	15	8
KITCHEN	276	300	1
ACCESSORY SPACES	3,653		0
TOTAL OCCUPANTS	9,990		185

NOTE: ROOM AREAS MAY VARY IN FINAL DESIGN



SCALE: 1" = 20'

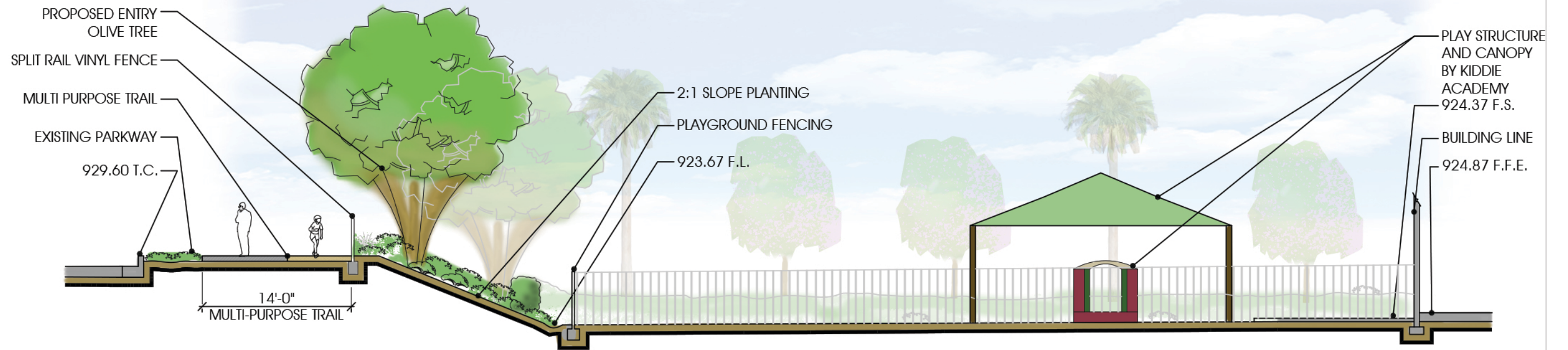
EXHIBIT 3.D

A	STADING SEAM METAL ROOF	L	METAL CANOPY/TRIM/SURROUND/ FASCIA/SOFFT	X	LIGHT FIXTURE, SEE ELECTRICAL PLAN
B	EXTERIOR PLASTER FINISH	M	C-CHANNEL TRIM/SURROUND	Y	ROOF LINE BEYOND
C	CORRUGATED METAL PANEL	N	BACK LIT	Z	METAL COPING, METAL DOOR/FRAME, PAINT TO MATCH ADJACENT SURFACE U.N.O.
D	METAL AWNING	P	FAUX BARN DOOR	AA	PLASTER CONTROL JOINT, PAINT TO MATCH ADJACENT SURFACE, U.N.O.
E	COMPOSITE WOOD SIDING	Q	COMPOSITE WOOD TRIM SURROUND	AB	COMPOSITE SIDING HORIZONTAL JOINT FLASHING, PAINT TO MATCH ADJACENT SURFACE
F	SMOOTH FIBER CEMENT BATTEN BOARD ON 48"x96" COMPOSITE WOOD PANEL VERTICAL SIDING, SET BATTEN TRIMS AT 24" O.C. OVER PANEL JOINTS	R	METAL LOUVERS	AC	CONCRETE PIER, SMOOTH SACK FINISH
G	METAL POST/TRELLIS/BEAM/SLAT	S	WOOD RAFTERS	AD	METAL PANEL
H	STONE VENEER	T	METAL DOOR/ROLL-UP DOOR		
J	ARTISAN V-GROOVE SIDING	U	WALL SCOCNE		
K	ALUMINUM STOREFRONT	V	SIGNAGE, BY OTHERS UNDER SEPA- RATE PERMIT		
		W	SMOOTH FACE CMU BLOCK		

1	SW 7004 "SNOWBOUND" BY: SHERWIN WILLIAMS	9	HARDIE PANEL "CHESTNUT BROWN" BY: JAMES HARDIE
2	SW 6073 "PERFECT GREIGE" BY: SHERWIN WILLIAMS	10	HARDIE PANEL "COUNTRYLANE RED" BY: JAMES HARDIE
3	SW 0038 "LIBRARY PEWTER" BY: SHERWIN WILLIAMS	11	"SHASTA WHITE" WEATHER GALVALUME BY: BERRIDGE
4	"GRIS SANDWASH" BY: VALORI PRECAST	12	"ZINC GREY" WEATHER GALVALUME BY: BERRIDGE
5	VIEJO RANCH "VIEJO BLEND" BY: CORONADO STONE	13	"CITYSCAPE" WEATHER GALVALUME BY: BERRIDGE
6	"PERUVIAN TEAK" BY: NEWTECHWOOD	14	"CHARCOAL GREY" WEATHER GALVALUME BY: BERRIDGE
7	"BRASILIAN IPE" BY: NEWTECHWOOD		
8	HARDIE PANEL "BOOTHBAY BLUE" BY: JAMES HARDIE		



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CROSS SECTION AA



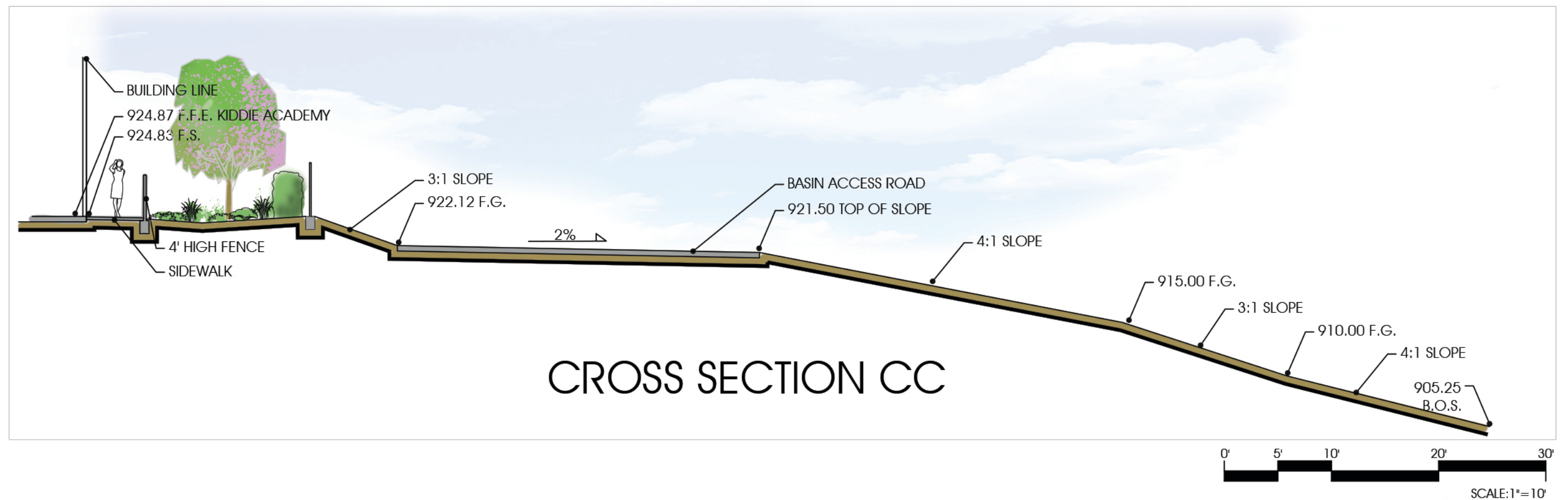
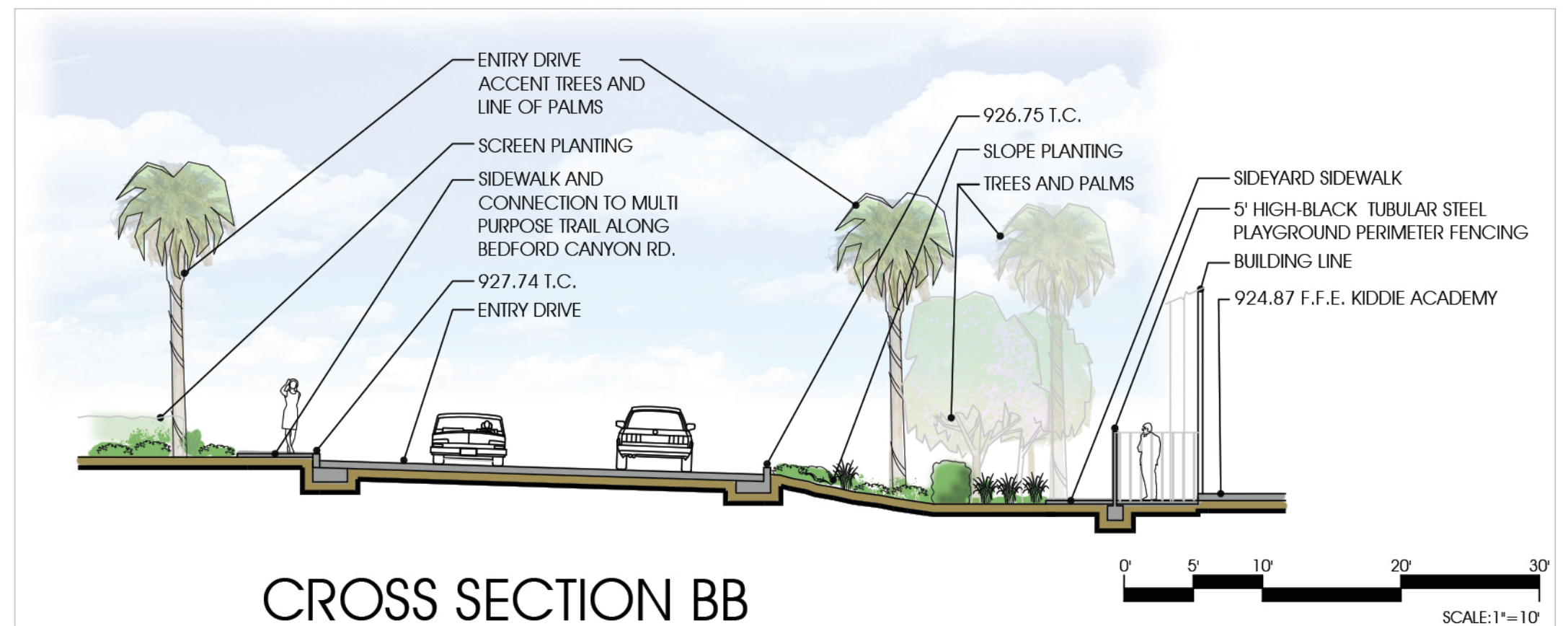
PAD G KIDDIE ACADEMY CROSS SECTION
BEDFORD MARKETPLACE
CORONA, CA



conceptual design & planning company
3195-C /
Costa M
T: 949.31
www.cdpc
COSTA M



EXHIBIT 3.G



PAD G KIDDIE ACADEMY CROSS SECTION BB AND CC

BEDFORD MARKETPLACE
CORONA, CA



0' 5' 10' 20' 30'

SCALE: 1"=10'

CDPC PROJECT NO. 19054
MARCH 24, 2021



conceptual design & planning company

Corporate Office:
3195-C Airport Loop Drive Studio One
Costa Mesa, CA 92626
T: 949.399.0870
www.cdpcinc.com

COSTA MESA • ATASCADERO • SAN JOSE



CARLSON STRATEGIC LAND SOLUTIONS, INC.

April 15, 2021

Sandra Yang
Senior Planner
City of Corona
400 S. Vicentia Ave.
Corona, CA 92882

Subject: Conditional Use Permit Application for Kiddie Academy (Bedford Marketplace)

Dear Sandra:

On behalf of Bedford Marketplace and Kiddie Academy, please accept the following application for a Major CUP for Kiddie Academy located in the Bedford Marketplace. The application form is included as **Attachment A**.

Kiddie Academy is a nationally recognized and state-licensed daycare for children from 6 weeks to 12 years old. They focus on creating a developmentally appropriate curriculum on technology education, health and fitness, and character essentials. Each facility is licensed through the State of California Child Care Licensing Board.

Zoning Designation: Arantine Hills Specific Plan – Commercial

Surrounding Land Uses: The proposed project is located within Bedford Marketplace.

North – Cajalco Road and Neighborhood Commercial
West – Bedford Marketplace, Bedford Canyon Road, future residential
South – Bedford Marketplace
East – Bedford Marketplace, I-15 Freeway

Proposed Hours of Operation: 7am to 7 pm

Proposed Number of Employees: 20 staff on-site at any given time, consisting of teachers and administrative staff.

Maximum Occupancy Load: The project architects have reviewed the proposed site plan and floor plans and determined that the maximum occupancy load for the building is 185 occupants. Kiddie Academy expects to have 162 students and 20 teachers on-site (182 occupants), which is less than the maximum occupancy specified by the California Building Code.

Site Plan/Operations: Kiddie Academy is designed consistent with the Precise Plan approved for the Bedford Marketplace. Kiddie Academy is located on Pad G of the approved Precise Plan, which is located just south of the third entry off Bedford Canyon Road into Bedford Marketplace. Customers entering the third entry from Bedford Canyon Road heading east toward the freeway would turn right at the first main internal drive aisle and make another right into the Kiddie Academy area.

The Kiddie Academy building measures approximately 9,990 square feet, consisting of 10 classrooms to serve the planned 162 students. In addition to the classrooms, the building includes administrative offices and kitchen facilities. Kiddie Academy also provides a completely fenced and secure outdoor play area for its students, which includes age-appropriate play structures and activity areas. The kitchen facilities are designed for modest meal preparation for the students and staff. The cooking facilities will be designed to meet all commercial kitchen code standards. Delivery of food and supplies will be made by a small box truck or van several times per week before students arrive to avoid conflicts with Kiddie Academy operations and parking. The small box truck or van will fit into and use one of the one-site parking spaces for unloading. No drive aisles will be blocked by deliveries.

Kiddie Academy operates two types of day care: full day for children 6 weeks to 5 years old and after school for children 5 to 12 years old.

Full-Day Daycare: Parents drop off and pick-up children through an electronic sign-in system that monitors the location of each child while at the facility. Drop off times occur between 7 and 9 am and pick-up times occur between 3 and 6:30 pm. Each child spends an entire day, with packages ranging from 2 to 5 days a week. Kiddie Academy provides a lunch service for the children with meals cooked/prepared on-site.

After School Daycare: Local schools provide either a morning or afternoon kindergarten program. To accommodate working parents, Kiddie Academy provides a van service that either picks up or drops off students to/from the half-day kindergarten program. Kiddie Academy is also able to accommodate older kids who need after school care; however, the number of students is limited and generally works well when a younger sibling also attends Kiddie Academy. In these cases, the Kiddie Academy van would pick students up from school and take them back to the Kiddie Academy facility for parent pick-up.

Please see the approved site plan as **Attachment B**.

Parking Analysis: The Arantine Hills Specific Plan Section 6.2.1.3 requires a Major Conditional Use Permit for Day Care facilities. AHSP Section 6.2.1.7 specifies the parking requirements for proposed uses must be consistent with Section 17.76 of the Corona Municipal Code. Section 17.76.030 E.4 of the Municipal Code establishes a parking requirement of one space per employee plus one space per 10 students.

PARKING SUMMARY:

PARKING REQUIRED:

RESTAURANTS (1/ 100SF.)	$\pm 18,400 \text{ SF} / 100 = 184 \text{ STALLS}$
RETAIL (1/ 250SF)	$\pm 60,826 \text{ SF} / 250 = 244 \text{ STALLS}$
HEALTH CLUB (1/150SF)	$\pm 38,000 \text{ SF} / 150 = 253 \text{ STALLS}$
DAY CARE	$\pm 9,990 \text{ SF} (1 / 10 \text{ student}) = 18 \text{ STALLS}$
	12 EMPLOYEES = 12 STALLS
BANK/FINANCIAL	$3,562 \text{ SF} / 200 = 18 \text{ STALLS}$
CAR WASH	$3,600 \text{ SF} (10 \text{ min}) = 10 \text{ STALLS}$
FUEL STATION	3 STALLS MIN.
PATIO / RESTAURANT	$3,322 \text{ SF} / 100 = 33 \text{ STALLS}$

TOTAL REQUIRED: 775 STALLS

PARKING PROVIDED: 888 STALLS

PARKING RATIO: 6.60/1,000 SF

The Bedford Marketplace Precise Plan included the above parking summary. As shown on this summary from the original Precise Plan, the Day Care use anticipated a demand of 30 stalls, assuming 12 employees and 179 students. Based on further detailed information on the Kiddie Academy operations, the parking demand has been revised as follows:

- 20 employees – one space per employee = 20 parking spaces
- 162 students – one space per 10 students = 17 parking spaces
- 1 van = 1 parking space
- Total required parking = 38 spaces

The revised analysis shows a demand for 38 parking spaces, 8 spaces greater than assumed as part of the Precise Plan. The Precise Plan analysis indicates an overall surplus of 113 parking spaces, therefore, the 8 additional parking spaces required for the Day Care does not impact the overall parking ratio provided. Furthermore, parking for the Day Care facilities is short-term with high turn-over and the drop-off and pick-up windows span a couple of hours so not all parents arrive at the same time.

Architecture: The proposed architectural design provides the American Farmhouse style consistent with the Arantine Hills Specific Plan design guidelines. Attached as **Attachment C** are proposed elevations and colors/materials.

Landscaping: Landscaping will occur around the building in planter locations. The proposed plant palette is consistent with the landscaping design theme established in the Precise Plan. The Property Owner/Landlord will be responsible for all landscape maintenance of the planters located adjacent to their building and parking lot. **Attachment D** is a conceptual landscape plan.

Fencing: Perimeter fencing surrounding the playground will be provided. The fencing proposed is a 6-foot-tall wrought iron non-climbable fence.

Signage: Consistent with the signage program approved as part of the Precise Plan, Kiddie Academy has wall signage located on all four sides of the building.

Trash Pick-Up: Trash pick-up will be scheduled with the trash haul provider to occur outside of operational hours of Kiddie Academy to avoid conflicts with day care operations.

CEQA: The proposed Kiddie Academy was analyzed in the Supplemental EIR for Bedford Marketplace. Therefore, the proposed CUP application already has CEQA clearance and no further environmental analysis is necessary. A Notice of Determination would need to be filed upon approval of the CUP documenting the City's reliance on a previously certified EIR for the CUP.

Sincerely,



Peter K. Carlson
President

Attachments:

- A. Application Form
- B. Site Plan
- C. Building Elevations and Colors/Materials
- D. Conceptual Landscape Plan



**COMMUNITY DEVELOPMENT DEPARTMENT
MEMORANDUM**

DATE: May 10, 2021

TO: Planning and Housing Commission

FROM: Jay Eastman, Planning Manager

SUBJECT: Planning and Housing Commission Agenda May 10, 2021.
Agenda Item 3, CUP2021-0001 being removed from Agenda.

The Community Development Department is pulling Agenda Item No. 3 from the Planning and Housing Commission Agenda dated May 10, 2021. The agenda item is in reference to CUP2021-0001 regarding a public hearing for a conditional use permit to establish a children daycare facility at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway, on property zoned General Commercial by the Arantine Hills Specific Plan.

Late last week staff was made aware of a noticing error on the individual public notices that were mailed to property owners within a 500-foot radius of the project site. There error was on the public hearing date which incorrectly showed March 10, 2021 instead of May 10, 2021. However, the advertised public notice in the Sentinel Weekly showed the correct public hearing date.

Due to the error on the individual mailed public notices, staff will be readvertising the public hearing for CUP2021-0001 on May 24, 2021. Staff will be resending the public notices and will readvertise the public notice in the Sentinel Weekly with the required 10 day notice prior the public hearing.

EXHIBIT 4