

VISTA DOS LAGOS

SUMMA
ARCHITECTURE
www.summarch.com
5256 South Mission Road
Suite 404
Bonsall CA 92003
760.724.1196

Owner:
REXCO
DEVELOPMENT
2518 NORTH SANTIAGO BLVD.
ORANGE, CA 92867

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA



WEST ELEVATION SCALE: 1/4"=1'-0" 2



SOUTH ELEVATION SCALE: 1/4"=1'-0" 1

<p>1. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PARAGARDED WITH RATED GYP-BO PRIOR TO SOFFIT INSTALLATION.</p> <p>2. REFER TO DETAIL SHEETS FOR RISE PARTITION CONSTRUCTION DETAILS AND NOTES.</p> <p>3. DUCT TERMINATION TO OCCUR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT PER C.F.C.</p> <p>4. ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB AT FIRST FLOOR.</p> <p>5. PAINT METAL REVEALS TO MATCH COLOR OF ADJACENT PLASTER WALLS.</p> <p>6. REFER TO DETAIL FOR MINIMUM WINDOW AND DOOR POSTURE BARRIER INSTALLATION REQUIREMENTS.</p> <p>7. ALL HORIZONTAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE SELF-ADHESIVE FLASHING WEATHERBOARD LAPPED MINIMUM 3" WITH BUILDING PAPER ON ALL SIDES PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.</p> <p>8. FOAM PROJECTIONS MAY BE USED UP TO 4" THICK. 2X WOOD FRAMING IS REQUIRED AT ALL OTHER CONDITIONS.</p> <p>9. PROVIDE (2) LAYERS OF GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.</p>	<p>10. ALL BUILDING DOWNSPOUTS TO DISCHARGE PER CIVIL DRAWINGS.</p> <p>11. STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL SECTIONS ARE DIAGNOSTIC AND SHOULD NOT BE RELIED UPON AS AN ACTUAL REPRESENTATION OF STRUCTURAL MEMBERS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LOCATIONS AND SIZES.</p> <p>12. COLORS AND FINISH MATERIALS INDICATE APPROXIMATE COLOR AND MATERIAL. RANGE THE CONTRACTOR WILL PROVIDE FIELD MOCKUPS IN THE QUANTITIES INDICATED OF THE ACTUAL FINISH MATERIALS IN THE TEXTURE, COLOR AND FOR SERIES SPECIFIED. CLIENT AND ARCHITECT WILL REVIEW COMMENT AND FOR APPROVE MOCKUPS PRIOR TO INSTALLATION OF MATERIAL ON BUILDING.</p> <p>a. ALL COLOR CHANGES WILL OCCUR AT INSIDE CORNERS UNLESS OTHERWISE NOTED</p> <p>OUTSIDE CORNER</p> <p>INSIDE CORNER</p> <p>b. PROVIDE FELD COLORS AND ACCENT/TRIM COLORS PER COLOR CONSULTANT'S COLOR BLOCKING DRAWINGS.</p>	<p>13. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER LOCATE WHERE INDICATED ON ELEVATIONS. IN AREAS NOT ELEVATED, INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS & NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCES BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 25 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 14AD1.0.</p> <p>14. INSTALL EXTERIOR WALL PENETRATIONS INCLUDING A/C UNITS, GAS LINE PENETRATIONS, AND SIMILAR WALL VENTS PER DETAIL 12AD1.3 OR 14AD1.3 AS APPLICABLE.</p> <p>15. INSTALL SELF-ADHESIVE MEMBRANE FLASHING OVER ALL SEPTIC STRAPS PRIOR TO APPLICATION OF BUILDING PAPER.</p> <p>16. PROVIDE INSULATION PER TITLE 24 SHEETS</p>	<p>1. PARAPET: METAL CORING AT CAP.</p> <p>2. EXTERIOR PLASTER SYSTEM: MIN. 7/8" THICK OF GRADE "D" MIN. BLDG PAPER. PROVIDE (2) LAYERS OF BUILDING PAPER OVER WOOD SHEATHING RECEIVING EXTERIOR PLASTER. 1/2" SAND FLOAT FINISH W/ 100% ACRYLIC PAINT. PROVIDE SAMPLE FOR REVIEW & APPROVAL BY ARCHITECT.</p> <p>3. 1/2" THICK BRICK VENEER OVER SCRATCH COAT INSTALLED PER MFR. SPECS. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.</p> <p>4. EXTERIOR WALLS</p> <p>5. STOREFRONT OPENING: REFER TO DOOR SCHEDULE ON SHEET A-SCH1. REFER TO FLOOR PLAN FOR OPERABLE DOOR LOCATIONS. PROVIDE FLASHING PER DETAIL 14W1.0.</p> <p>6. CONTROL JOINTS</p> <p>7. METAL SIGNAGE AREA: SEPARATE APPROVAL AND PERMIT REQUIRED. PROVIDE ELECTRICAL FOR FUTURE LIGHTING.</p>	<p>9. STUCCO SOFFIT (TRIM WHERE OCCURS): EPS FOAM TRIM OF BROWN COAT SAND FINISH PLASTER</p> <p>10. FOAM TRIM: EPS SHAPED FOAM OF BROWN COAT AND SMOOTH FINISH</p> <p>11. FOUNDATION SCHED: REFER TO EXTERIOR ELEVATIONS FOR CONDITIONS WHERE OCCURS</p> <p>12. SCUPPER WITH OVERFLOW</p> <p>13. DOWNSPOUT: RECTANGULAR PRE-FINISHED ALUM. DOWNSPOUT. OUTLET PER CIVIL PLANS</p> <p>14. EXTERIOR SHELF</p> <p>15. BUILDING INSULATION: REFER TO NOTE 816 AND ENERGY FORMS FOR INSULATION AND ENERGY COMPLIANCE REQUIREMENTS</p> <p>16. CONCRETE SLAB: REFER TO STRUCTURAL DRAWINGS</p>	<p>17. OPEN WEB ROOF TRUSSES: BY OTHER. REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.</p> <p>18. BUILT UP ROOFING: REFER TO ROOF PLAN</p> <p>19. ROOF ACCESS LADDER: REFER TO ROOF PLAN</p> <p>20. EXTERIOR METAL DOOR: REFER TO DOOR SCHEDULE ON SHEET A-SCH1.</p> <p>21. FIRE RISER ROOM: VERIFY LOCATION WITH PLUMBING AND FIRE SPRINKLER PLANS</p> <p>22. ELECTRICAL: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY</p> <p>23. HPOE: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY</p> <p>24. EXTERIOR SHELF AT UTILITIES</p> <p>25. GAS METERS</p>	<p>26. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS</p> <p>27.</p> <p>28.</p> <p>29.</p> <p>30.</p> <p>31.</p> <p>32.</p> <p>33.</p> <p>34.</p>	<p>35.</p> <p>36.</p> <p>37.</p> <p>38.</p> <p>39.</p> <p>40.</p> <p>41.</p> <p>42.</p>
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NOTES

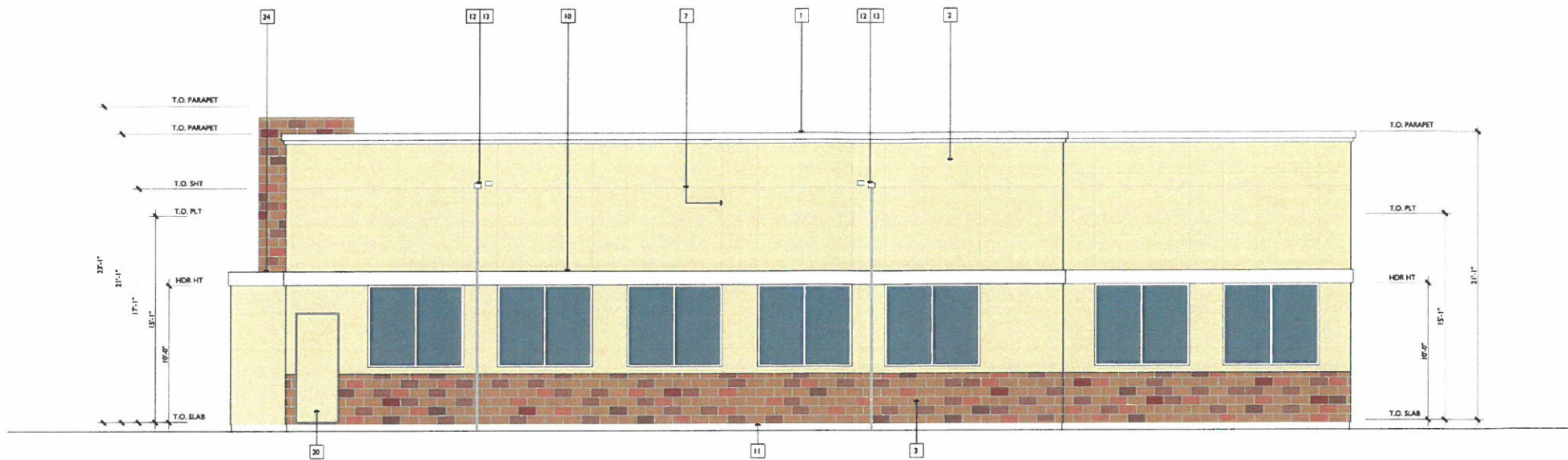
KEYNOTES

LICENSED ARCHITECT
JAMIAN JAMES TAYLOR
No. C 30358
RENEWED 24-07
JAN 30, 2021

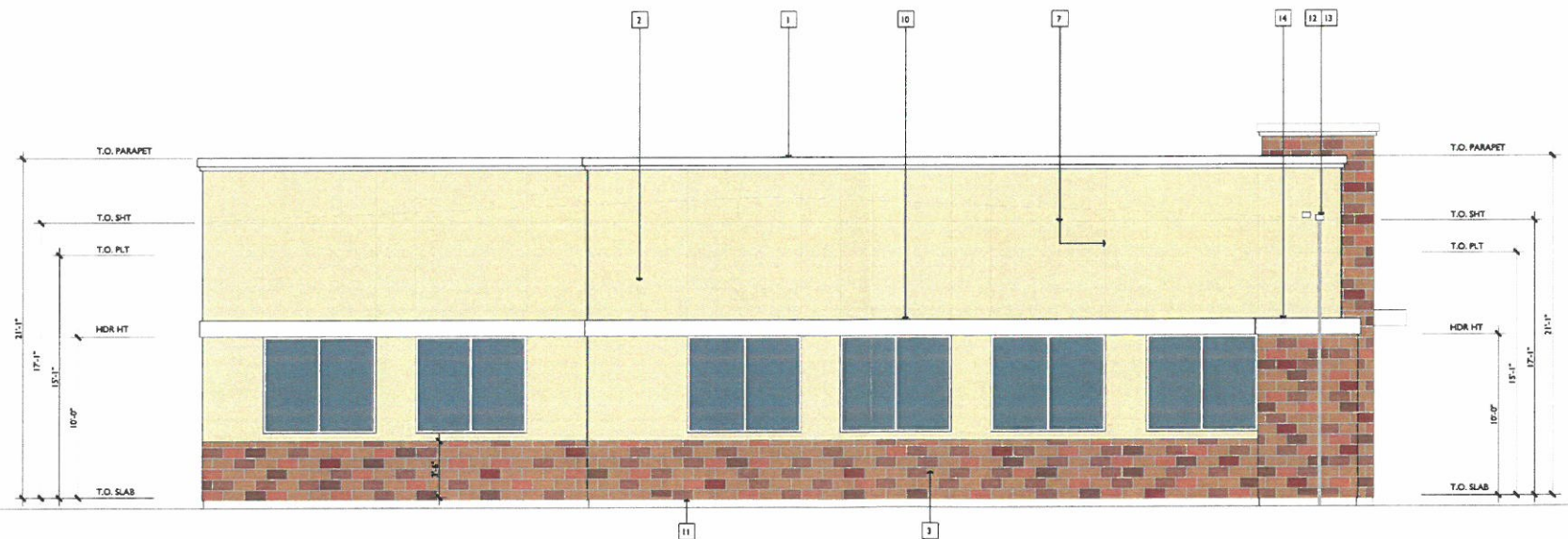
BUILDING
EXTERIOR
ELEVATIONS

EXHIBIT 3.F

VISTA DOS LAGOS



EAST ELEVATION SCALE: 1/4" = 1'-0" 2



NORTH ELEVATION SCALE: 1/4" = 1'-0" 1

1. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYP-90 PRIOR TO SOFFIT INSTALLATION.
2. REFER TO DETAIL SHEETS FOR FIRE PARTITION CONSTRUCTION DETAILS AND NOTES.
3. DUCT TERMINATION TO OCCUR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT PER C.M.C.
4. ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB AT FIRST FLOOR.
5. PAINT METAL REVEALS TO MATCH COLOR OF ADJACENT PLASTER WALLS.
6. REFER TO DETAIL FOR MINIMUM WINDOW AND DOOR MOISTURE BARRIER INSTALLATION REQUIREMENTS.
7. ALL HORIZONTAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE SELF-ADHESIVE FLASHING WEATHERBOARD LAPPED MINIMUM 3" WITH BUILDING PAPER ON ALL SIDES PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
8. FOAM PROJECTIONS MAY BE USED UP TO 4" THICK 2X WOOD FRAMING IS REQUIRED AT ALL OTHER CONDITIONS.
9. PROVIDE (2) LAYERS OF GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
10. ALL BUILDING DOWNSPOUTS TO DISCHARGE PER CIVIL DRAWINGS.
11. STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL SECTIONS ARE DIAGNOSTIC AND SHOULD NOT BE RELIED UPON AS AN ACTUAL REPRESENTATION OF STRUCTURAL MEMBERS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LOCATIONS AND SIZES.
12. COLORS AND FINISH MATERIALS INDICATE APPROPRIATE COLOR AND MATERIAL RANGE. THE CONTRACTOR WILL PROVIDE FIELD MOCK-UPS IN THE QUANTITIES INDICATED OF THE ACTUAL FINISH MATERIALS IN THE TEXTURE, COLOR AND FOR SERIES SPECIFIED. CLIENT AND ARCHITECT WILL REVIEW COMMENT AND FOR APPROVE MOCK-UPS PRIOR TO INSTALLATION OF MATERIAL ON BUILDINGS.
13. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER LOCATE WHERE INDICATED ON ELEVATIONS. IN AREAS NOT ELEVATED, INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS & NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCE BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2.5 TO 1. HORIZONTAL JOINTS SHALL WEAR OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 14(A)1.6.
14. INSTALL EXTERIOR WALL PENETRATIONS INCLUDING A/C LINESET, GAS LINE PENETRATION AND SIMILAR WALL VENTS PER DETAIL 12(A)1.3 OR 12(A)1.3 AS APPLICABLE.
15. INSTALL SELF-ADHESIVE MEMBRANE FLASHING OVER ALL SEISMIC STRAPS PRIOR TO APPLICATION OF BUILDING PAPER.
16. PROVIDE INSULATION PER TITLE 24 SHEETS.

1. PARAPET METAL COPING AT CAP.
2. EXTERIOR PLASTER SYSTEM: MIN. 3/8" THICK OF GRADE "D" PER. BLDG PAPER, PROVIDE (2) LAYERS OF BUILDING PAPER OVER WOOD SHEATHING RECEIVING EXTERIOR PLASTER. 1620 SAND FLOAT FINISH W/ 100% ACRYLIC PAINT. PROVIDE SAMPLE FOR REVIEW & APPROVAL BY ARCHITECT.
3. ADHERED BRICK VENEER: 1/2" THICK BRICK VENEER OVER SCRATCH COAT INSTALLED PER MFR. SPEC. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.
4. EXTERIOR WALLS:
5. STAIRSPRINT OPENING: REFER TO DOOR SCHEDULE ON SHEET A-SCH1. REFER TO FLOOR PLAN FOR OPERABLE DOOR LOCATIONS. PROVIDE FLASHING PER DETAIL 12(A)1.3.
6. CONTROL JOINTS:
7. RETAIL STORAGE AREA: SEPARATE APPROVAL AND PERMIT REQUIRED. PROVIDE ELECTRICAL FOR FUTURE LIGHTING.

9. STUCCO SOFFIT (TRIM WHERE OCCURS): EPS FOAM TRIM OR BROWN COAT SAND FINISH PLASTER.
10. FOAM TRIM: EPS SHAPED FOAM OR BROWN COAT AND SMOOTH FINISH.
11. FOUNDATION SCREENS: REFER TO EXTERIOR ELEVATIONS FOR CONDITIONS WHERE OCCURS.
12. SCUPPER WITH OVERFLOW:
13. DOWNSPOUT: RECTANGULAR PRE-FINISHED ALUM. DOWNSPOUT. OUTLET PER CIVIL PLANS.
14. EXTERIOR SHELF:
15. BUILDING INSULATION: REFER TO NOTE #15 AND ENERGY FORMS FOR INSULATION AND ENERGY COMPLIANCE REQUIREMENTS.
16. CONCRETE SLAB: REFER TO STRUCTURAL DRAWINGS.

17. OPEN WEB & ROOF TRUSSES: BY OTHER, REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.
18. BUILT UP ROOFING: REFER TO ROOF PLAN.
19. ROOF ACCESS LADDER: REFER TO ROOF PLAN.
20. EXTERIOR METAL DOOR: REFER TO DOOR SCHEDULE ON SHEET A-SCH1.
21. FIRE RISER ROOM: VERIFY LOCATIONS WITH PLUMBING AND FIRE SPRINKLER PLANS.
22. ELECTRICAL: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
23. HIDE: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
24. EXTERIOR SHELF AT UTILITIES:
25. GAS METERS:

26. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.
- 27.
- 28.
- 29.
- 30.
- 31.
- 32.
- 33.
- 34.

NOTES

KEYNOTES

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ORANGE, CA 92867

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA

NOVEMBER 11, 2020
Revisions

1.5 The client acknowledges that it is the client's responsibility to verify the accuracy of the information provided in the plan and specifications of work. The client acknowledges that it is the client's responsibility to verify the accuracy of the information provided in the plan and specifications of work. The client acknowledges that it is the client's responsibility to verify the accuracy of the information provided in the plan and specifications of work.

LICENSED ARCHITECT
JAMES T. HARRIS
No. C 30354
RENEWAL DATE 12/31/2023
STATE OF CALIFORNIA

BUILDING
EXTERIOR
ELEVATIONS
AA-5



Front From Southwest (from Parking)



From Northeast, Corner of Temescal & Pronio



From North - Prono Drive



Front From West (from Parking)