

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Meeting Final Agenda

Monday, May 8, 2023

Council Chambers - 6:00 p.m.



**Chair Craig Siqueland
Vice Chair Bridget Sherman
Commissioner Karen Alexander
Commissioner Matt Woody
Commissioner, Vacant**

The Planning and Housing Commission meeting of May 8, 2023 will be conducted in person. Members may attend in person or remotely. To participate remotely, please use the following link:

<https://coronaca-gov.zoom.us/j/84874640990>

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNICATIONS FROM THE PUBLIC

Persons wishing to address the Planning and Housing Commission are requested to state their name for the record. This portion of the agenda is intended for public comment. State law prohibits the Planning and Housing Commission from discussing or taking action on items not listed on the agenda. The Planning and Housing Commission will appreciate your cooperation in keeping your comments brief. Please observe a three minute limit to communications.

MEETING MINUTES

1. **MINUTES** - [Approval of minutes for the Planning and Housing Commission meeting of April 24, 2023.](#)

Attachments: [042423 - P&H Minutes - DRAFT](#)

CONSENT ITEMS

(Items listed below are not advertised as public hearings.)

PUBLIC HEARINGS

(Items listed below are advertised as public hearings requiring review by the Planning and Housing Commission.)

2. **PUBLIC HEARING** - [CUP2021-0004 \(CONTINUED\): A Conditional Use Permit application to allow a drive-through and walk-up window coffee shop \(Starbucks\) within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road in the Neighborhood Commercial District of the Sierra Del Oro Specific Plan. \(Applicant: Jessica Steiner of Bickel Group Architecture\)](#)

That the Planning and Housing Commission find the project exempted from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(c), and adopt Resolution No. 2605 GRANTING CUP2021-0004, based on the findings contained in the staff report and conditions of approval.

Attachments:

[Staff Report](#)

[Exhibit 1 - Resolution No. 2605](#)

[Exhibit 2 - Aerial and Locational Map](#)

[Exhibit 3 - Overall Site Plan of Commercial Center](#)

[Exhibit 4 - Conditions of Approval](#)

[Exhibit 5 - Original Site Plan - February 21, 2023 P&H Meeting](#)

[Exhibit 6 - Revised Site Plan \(Dual Drive-through Lanes\) - May 8, 2023 P&H Meeting](#)

[Exhibit 7 - Letter from Bickel Group Architecture addressing Commission's concerns, dated April 20,](#)

[Exhibit 8 - Pervious Pavement Plan](#)

[Exhibit 9 - Updated Parking Analysis Table](#)

[Exhibit 10 - Letter from Capital Investment Network \(property center manager\)](#)

[Exhibit 11 - Email Correspondence Supporting the project](#)

[Exhibit 12 - Petition Supporting the project](#)

[Exhibit 13 - Email Correspondence Opposing the project](#)

[Exhibit 14 - Floor Plan](#)

[Exhibit 15 - Colored Elevations](#)

[Exhibit 16 - Material Board](#)

[Exhibit 17 - Site Photos](#)

[Exhibit 18 - Trash Enclosure](#)

[Exhibit 19 - Conceptual Landscape Plan](#)

[Exhibit 20 - Traffic Management Plan, from Linscott Law and Greenspan](#)

[Exhibit 21 - Parking Surveys](#)

[Exhibit 22 - Environmental Documentation](#)

3. **PUBLIC HEARING** - [TTM 36864: A Tentative Tract Map application to subdivide 2.09 acres into six \(6\) lots for single family residential proposes and two \(2\) lettered lots for a street dedication and water quality basin purposes, located on the south side of Corona Avenue and west of Interstate 15, in the R-1-7.2 Zone \(Single Family Residential, 7,200 square feet minimum lot size\).](#) (Applicant: Fathi Manasrah)

That the Planning and Housing Commission CONTINUE TTM 36864 to the May 22, 2023, Planning and Housing Commission meeting.

Attachments: [Staff Report](#)

4. **PUBLIC HEARING** - [ZTA2023-0002: Amendment to Title 17 of the Corona Municipal Code to amend the permitted land uses in the commercial zones listed in Chapter 17.33 and Chapter 17.35 to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011.](#) (Applicant: City of Corona)

That the Planning and Housing Commission recommend **ADOPTION OF ZTA2023-0002** to the City Council, based on the findings contained in the staff report.

Attachments: [Staff Report](#)

[Exhibit 1 - Proposed Redlines to Corona Municipal Code Chapter 17.33 and Chapter 17.35](#)

5. **PUBLIC HEARING** - [SPA2023-0002: Amendment to various specific plans to amend the commercial and business park zoning designations to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011.](#) (Applicant: City of Corona)

That the Planning and Housing Commission recommend **ADOPTION OF SPA2023-0002** to the City Council, based on the findings contained in the staff report.

Attachments: [Staff Report](#)

[Exhibit 1 - Proposed Amendments to Specific Plans \(Redlined Version\)](#)

WRITTEN COMMUNICATIONS

ADMINISTRATIVE REPORTS

Report by Director, Joanne Coletta.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

FUTURE AGENDA ITEMS

No immediate action is taken on Future Agenda items; this section serves to highlight items that will be considered at upcoming Planning and Housing Commission meetings. Items that appear in this section will take place under the appropriate section of the agenda and will be accompanied by a staff report.

ADJOURNMENT

The next meeting of the Planning and Housing Commission is scheduled for Monday, May 22, 2023, commencing at 6:00 p.m. in the City Council Chambers, 400 S. Vicentia Avenue.

Corona City Hall Online, All the Time- www.CoronaCA.gov

NOTICE TO THE PUBLIC:

If you challenge any items on the agendas in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning and Housing Commission at or prior to this public hearing.

Agendas for all Planning and Housing Commission meetings are posted at least 72 hours prior to the meeting in the entry way at City Hall. A complete agenda packet is available for public inspection during business hours at the Planning & Development Department. Any materials relating to an item on the agenda which are distributed to all, or majority of all, members of the Planning and Housing Commission after the posting of the agenda will also be available at the same time for public inspection during business hours at the Planning & Development Department.

Written communications from the public for the agenda must be received by the Planning & Development Department seven (7) days prior to the Planning and Housing Commission meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (951) 736-2235. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

MEETING IS BEING RECORDED

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, April 24, 2023

Council Chambers - 6:00 p.m.



**Chair Craig Siqueland
Vice Chair Bridget Sherman
Commissioner Karen Alexander
Commissioner Matt Woody
Commissioner, Vacant**

The Planning and Housing Commission meeting of April 24, 2023 was conducted in person. Community members could attend in person or remotely via link - <https://coronaca-gov.zoom.us/j/87970914135>.

ROLLCALL

Present 3 - Chair Craig Siqueland, Vice Chair Bridget Sherman, and Commissioner Karen Alexander

Absent 1 - Commissioner Matt Woody

CALL TO ORDER

Chair Siqueland called the meeting to order.

PLEDGE OF ALLEGIANCE

Commissioner Alexander led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

A motion was made by Commissioner Alexander, seconded by Vice Chair Sherman, that these minutes be approved. The motion carried by the following vote:

Aye: 3 - Chair Siqueland, Vice Chair Sherman, and Commissioner Alexander

1. [23-0344](#) Approval of minutes for the Planning and Housing Commission meeting of April 10, 2023.

Attachments: [041023 - P&H Minutes - DRAFT](#)

These minutes were approved.

CONSENT ITEMS

None.

PUBLIC HEARINGS

2. [23-0347](#) **CUP2021-0004 (CONTINUED):** - A Conditional Use Permit application to allow a drive-through and walk-up window coffee shop (Starbucks) within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road in the Neighborhood Commercial District of the Sierra Del Oro Specific Plan. (Applicant: Jessica Steiner of Bickel Group Architecture.)

Attachments: [Staff Report](#)

A motion was made by Commissioner Alexander, seconded by Vice Chair Sherman, that the Planning and Housing Commission CONTINUE CUP2021-0004 to the May 8, 2023, Planning and Housing Commission meeting. The motion carried by the following vote:

Aye: 3 - Chair Siqueland, Vice Chair Sherman, and Commissioner Alexander

3. [23-0353](#) **TTM 36864:** A Tentative Tract Map application to subdivide 2.09 acres into six (6) lots for single family residential purposes and two (2) lettered lots for street dedication and water quality basin purposes, located on the south side of Corona Avenue and west of Interstate 15, in the R1-7.2 Zone (Single Family Residential, 7,200 square feet minimum lot size). (Applicant: Fathi Manasrah, 9319 Alta Cresta Avenue, Riverside, CA 92508)

Attachments: [Staff Report](#)

A motion was made by Commissioner Alexander, seconded by Vice Chair Sherman, that the Planning and Housing Commission CONTINUE TTM 36864 to the May 8, 2023, Planning and Housing Commission meeting. The motion carried by the following vote:

Aye: 3 - Chair Siqueland, Vice Chair Sherman, and Commissioner Alexander

4. [23-0330](#) **PP2022-0004:** Precise Plan application to review the site plan, architecture, landscaping and walls/fencing associated with the development of a 52,423 square foot health club facility proposed at 2895 S. Main Street, within the Quasi-Public (QP) designation of the Mountain Gate Specific Plan. (Applicant: Joseph Balbas, Balbas Construction, Inc., 3189 Airway Avenue, Unit D, Costa Mesa, CA 92626).

Attachments: [Staff Report](#)

[Exhibit 1 - Resolution No. 2608](#)

[Exhibit 2 - Locational & Zoning Map](#)

[Exhibit 3 - Conditions of Approval](#)

[Exhibit 4 - Site Plan](#)

[Exhibit 5 - Elevations and Materials Sheet](#)

[Exhibit 6 - Floor Plans](#)

[Exhibit 7 - Landscape Plan and Perimeter Landscape Sections](#)

[Exhibit 8 - Wall Plan and Fence Plan](#)

[Exhibit 9 - Conceptual Signage Plan](#)

[Exhibit 10 - Applicant's Letter](#)

[Exhibit 11 - Public Correspondence](#)

[Exhibit 12 - Environmental Documentation](#)

Chair Siqueland explained that PP2022-0004 and V2022-0002 will be presented together as related items, and then public comment will be opened for each item

separately with motions presented for each item separately.

Rocio Lopez, Associate Planner, reviewed the staff report and exhibits for PP2022-0004 and V2022-0002.

Discussion ensued with City staff and Commissioners regarding the proposed building elevations, the property's grading, parking requirements, parking lot lighting, landscaping, and noise thresholds and sound barriers, as well as street width, turn lanes, and driveway access points.

Chair Siqueland opened the public hearing.

Cathy Thompson, Bill Jaeger, Carol Hubl, Scott Oswalt, Charles Stec, Joe Morgan, and Peter Brightman were residents that spoke in opposition to the proposed project. Speakers cited concerns such as a prior project denial in 2004 of a development on the adjacent retention basin property; concern with access on Chase; increased traffic to their neighborhoods; increased thefts brought by the gym business, especially due to the night business; size of business; noise levels due to a younger clientele and 24/7 business model; illumination from signage; and a general consensus that ingress/egress from Chase Avenue was not desirable.

Applicant, Joe Balbas, along with Michael Ends, owner of proposed business Fitness Mania, and project design team, including architects and a traffic engineer, made themselves available for discussion and questions from the Commission. Mr. Balbas addressed resident concerns, noting that the project design's ingress/egress on Chase Avenue was a condition dictated by Fire Department. Mr. Ends noted features of security at his Riverside Fitness Mania facility, and the reasoning behind the 24/7 business model (to accommodate first responders' schedules). Mr. Balbas recognized Commission concerns with scale and illumination of signage and size of landscaping in terms of privacy and visibility from neighboring homes.

Commissioners appreciated applicant's willingness to review and adjust conditions of approval. The Commission and staff clarified some prior comments and briefly reviewed recommended conditions of approval, and discussed the security criteria and police department input. The applicant responded to a questions from the Commission regarding their security system and cameras. Applicant also stated that the outdoor basketball court is part of the kids club, and closes at 7:00pm. Commission asked about market conditions and studies regarding a 24 hour facility and Mr. Ends responded. Addressing resident suggestions, the possibility of adjusting the entrance point on Main Street to allow for a left turn out of the facility was discussed with Staff, as well as the process for creating a resident-only parking zone in the immediate neighborhoods. Commission expressed, and the applicant responded to, comments regarding landscaping the site to obstruct light and view of the site from adjacent properties, traffic, the placement and size of building signage, orientation of the building entrance facing east, managing impacts from homeless persons, 24 hour

operations, working with the neighbors to install landscaping to minimize impacts on neighbors, and architectural enhancements to the building's west elevation facing Main Street.

Chair Siqueland closed the public hearing.

The Commission discussed the concerns presented by the public and discussed their thoughts regarding the project. The Commission discussed possible revisions.

Conditions for approval were proposed to amend staff's recommendation regarding signage illumination to apply to all signage on the property, not just the west and south elevations; applicant shall prepare a line-of-sight assessment and plant fast growing landscaping to limit the impact of lighting and view on adjacent residential properties; that the applicant notify and coordinate the landscaping revisions with the surrounding neighbors; that the applicant submit a safety and security operational procedures plan for the interior and exterior of business; and submit to staff revisions to the Main Street elevation (west elevation) to provide a more aesthetically pleasing design, particularly on the elevations northern end.

A motion was made by Commissioner Alexander, seconded by Vice Chair Sherman, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Plan and adopt Resolution No. 2608 GRANTING PP2022-0004 based on the findings contained in the staff report and conditions of approval, with a modified condition that: All signage shall not be illuminated, or so lit as to eliminate glare or nuisance, and added conditions that: Applicant shall prepare a line-of-sight view plan addressing obscurity of views from health club windows, with review and input by Planning Division and affected residents; Applicant shall provide Planning Division staff with an interior and exterior Safety and Security Operational Procedures Manual to be reviewed and approved by Police Department; Applicant shall enhance the architecture of the west elevation (Main Street), adding more architectural details. Such revisions shall be reviewed and approved by Planning Division staff . The motion carried by the following vote:

Aye: 3 - Chair Siqueland, Vice Chair Sherman, and Commissioner Alexander

5. [23-0342](#) **V2022-0002:** Variance application requesting a variance from Section 9.4.5 of the Mountain Gate Specific Plan to reduce the minimum front yard setback requirement from 20 feet to 15 feet along Chase Drive, in conjunction with a new 52,423-square-foot health club facility proposed at 2895 S. Main Street, within the Quasi-Public (QP) designation of the Mountain Gate Specific Plan. (Applicant: Joseph Balbas, Balbas Construction, Inc., 3189 Airway Avenue, Unit D, Costa Mesa, CA 92626).

Attachments: [Staff Report](#)[Exhibit 1 - Resolution No. 2609](#)[Exhibit 2 - Locational & Zoning Map](#)[Exhibit 3 - Site Plan](#)[Exhibit 4 - Conditions of Approval](#)[Exhibit 5 - Environmental Documentation](#)[Exhibit 6 - Applicant's Letter dated 12-10-22](#)[Exhibit 7 - Public Correspondence](#)

Chair Siqueland opened the public hearing for the Variance application V2022-0002, which was already presented along with the Precise Plan PP2022-0002.

Cathy Thompson, Bill Jaeger, Carol Hubl, Jignesh Badani, Leticia Griego, and Rouzbeh Mahoudzadeh were residents that spoke in opposition to the proposed project. Concerns were reiterated in terms of vehicle access, illumination, and size of proposed building, as well as traffic safety and loss of natural orange grove landscape.

Chair Siqueland closed the public hearing.

Commissioners acknowledged the 'shock' of losing the orange trees, which a previous owner removed. They brought discussion back to the Variance at hand and agreed the 5 foot difference was not significant, particularly considering the additional public right of way landscaping.

A motion was made by Commissioner Alexander, seconded by Chair Siqueland, that the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Plan and adopt Resolution No. 2609 GRANTING V2022-0002 based on the findings contained in the staff report and conditions of approval. The motion carried by the following vote:

Aye: 3 - Chair Siqueland, Vice Chair Sherman, and Commissioner Alexander

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

None.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

Mr. Eastman, Planning Manager, presented information to the Commission regarding Elections for the Offices of Chair and Vice Chair, which per the Municipal Code are required annually, but not specifically by a certain date. Commission will advise Staff when Elections are to be agendized. As a reminder to the public, a Commission seat

is vacant, and any interested resident is encouraged to apply by referring to City website or contacting the City Clerk.

FUTURE AGENDA ITEMS

May 8, 2023

ZTA2023-0002: Amendment to Title 17 of the Corona Municipal Code to amend the permitted land uses in the commercial zones listed in Chapter 17.33 and Chapter 17.35 to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011; and

SPA2023-0002: Amendment to various specific plans to amend the commercial and business park land use designations to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011.

ADJOURNMENT

Chair Siqueland adjourned the meeting at 8:51 p.m. to the Planning and Housing Commission meeting of Monday, May 8, 2023, commencing at 6:00 p.m. in the City Hall Council Chambers.



Staff Report

File #: 23-0359

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 05/08/2023

TO: Honorable Chair and Commissioners

FROM: Planning and Development Department

APPLICATION REQUEST:

CUP2021-0004 (CONTINUED): A Conditional Use Permit application to allow a drive-through and walk-up window coffee shop (Starbucks) within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road in the Neighborhood Commercial District of the Sierra Del Oro Specific Plan. (Applicant: Jessica Steiner of Bickel Group Architecture)

RECOMMENDED ACTION:

That the Planning and Housing Commission find the project exempted from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(c), and adopt Resolution No. 2605 GRANTING CUP2021-0004, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 0.39 acres

Existing Zoning: NCD (Neighborhood Commercial District) of the Sierra Del Oro Specific Plan (SP85-02)

Existing General Plan: GC (General Commercial)

Existing Land Use: Undeveloped

Proposed Land Use: Drive-through and walk-up coffee shop

Surrounding Zoning / Land Uses:

N: Green River Road and Railroad Right-of-Way / BNSF Railway and beyond

E: NCD of SP85-02 / Commercial center

S: NCD of SP85-02 / Commercial center

W: NCD of SP85-02 / Restaurant with drive-through

BACKGROUND

Project Site History

The project site is a 0.39-acre (16,910 square feet) commercial parcel that is located within the Green River Promenade commercial center. The commercial center is located at the southeast corner of Green River Road and Dominguez Ranch Road and was originally constructed in the early 1990s under Precise Plan 91-08. The proposed project is located on a vacant pad at the northeast corner of the center's retail area (Exhibit 2). Based on the center's 1991 precise plan, the pad was originally intended to accommodate a 4,000-square-foot restaurant building. The intended building pad was rough graded but has not yet been developed.

Prior Public Hearings

The project was initially reviewed by the Planning and Housing Commission at its meeting on February 21, 2023. The Commission raised concerns regarding the drive-through design, which originally featured a single drive-through lane with a total stacking capacity for 14 vehicles (Exhibit 5). The Commission also raised concerns regarding the number of parking spaces removed for the project, the drive-through design creating on-site congestion within the parking lot drive aisles, and whether alternative drive-through site designs were considered to address queueing concerns. As such, the Commission continued the public hearing to March 20, 2023, and subsequently to April 10, 2023, to allow more time for the applicant and staff to evaluate the concerns.

At the April 10, 2023 public hearing, staff presented to the Commission four "alternative site designs" provided by the applicant. Each alternative design was discussed, and the challenges and shortcomings were highlighted in comparison to the original proposal. The Commission again expressed concerns regarding the original proposal's queueing at the single drive-through lane and the potential impact to the on-site circulation. The Commission inquired about preserving the first drive-aisle located immediately to the south of the Starbucks pad, and suggested that the applicant consider a layout similar to the Starbucks design in the City of Grand Terrace, which has dual drive-through lanes with a total stacking capacity for 17 vehicles. At the applicant's request, the Commission continued the project to the public hearing on April 24, 2023, and subsequently to May 8, 2023, to give the applicant time to address the concerns.

Revised Site Plan

In response to the Commission's concerns, the applicant revised the site plan to include dual drive-through lanes that have a total stacking capacity for 18 vehicles (Exhibit 6). The new dual lane design emulates the layout of the Starbucks site design in the City of Grand Terrace. The new design provides stacking space for 4 additional vehicles in the drive-through lane when compared to the original site design.

In order to accommodate the dual drive-through lanes, changes had to be made to the project site. First, the bioretention basin that was originally proposed on the east side of the building to manage and treat onsite drainage was removed in order to accommodate the dual lanes. The applicant is

now proposing to use pervious pavement in various locations within the project site to manage and treat onsite drainage. These areas, which are highlighted in the color “green” in Exhibit 8, include the drive-through lanes and portions of the parking lots located to the northwest and south of the Starbucks building. Second, two (2) parking spaces from the original site plan had to be removed in order to accommodate the dual entrance, which reduces the number of surplus parking spaces from 7 to 5. Because of the surplus, the site still complies with the City’s parking requirements, as shown in the updated Parking Table in Exhibit 9. Parking is discussed in detail under the “Parking” section of this report.

The City does not use shared parking analysis to determine parking requirements for projects that are less than 20 acres in size, and therefore the required parking is determined solely on whether the minimum number of spaces for each tenant are provided. However, parking counts conducted to identify existing utilization of a center can help the Commission understand whether a particular use would impact an existing shopping center, as a survey of existing conditions can help illustrate the needs of existing businesses. Therefore, for the Commission’s consideration, attached to this report are parking counts conducted by AimTD in October 2021, which was commissioned by the applicant’s traffic engineer, Linscott Law and Greenspan (LLG). LLG also conducted additional counts in April 2023, which were done to reassess/update the peak hour demand identified in the 2021 survey (Exhibit 21).

Per the applicant, the preservation of the existing parking lot drive-aisle located immediately south of the Starbucks pad was evaluated. However, keeping the additional drive-aisle would reduce the area available for the drive-through lane, making it infeasible to provide the longer stacking/queue depth requested by the Commission. Also, keeping the additional drive-aisle could create conflicting movements with the main site access drive aisle, as well as with vehicles wanting to access the drive-through lane. Furthermore, the property owner has expressed concern with keeping the first drive-aisle, regardless of the proposed Starbucks project, because drivers frequently utilize it to avoid the speed bumps located on the main drive-aisle, which were installed to reduce vehicle speed and discourage cut through traffic by drivers wishing to avoid traffic on Green River Road.

Staff believes that the updated dual lane site design addresses most of the Commission’s concerns and accommodates the operational needs of Starbucks. The dual lane design increases the drive-through stacking by 4 vehicles (18 total), and compared to the original design. The design would have the ability to accommodate all vehicles based on projected during peak hours. And should there be a demand greater than that forecasted, the site is capable of supporting vehicles beyond the drive-through entry without impacting public streets. And finally, the updated design has a minimal reduction in parking, such that it maintains conformance with the City’s parking requirements.

PROJECT DESCRIPTION

CUP2021-0004 is an application to construct a 966-square-foot drive-through and walk-up coffee shop for Starbucks, within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road. The project site is zoned NCD (Neighborhood Commercial District) by the Sierra Del Oro Specific Plan. The NCD zone requires conditional use permit (CUP) approval for drive-through restaurants.

Overall Site Plan

The project site is located on the northern portion of the commercial center, adjacent to Green River Road. The southernmost portion of the commercial center contains the center's main building with in-line tenants. To the east of the project site is an office park consisting of 11 office buildings, and to the west is a drive-through restaurant, and a gasoline service station with a convenience store.

The existing Green River Promenade development is comprised of three components, including a retail shopping center, office park, and an adult daycare (east of the office park). All of these uses share three driveways along Green River Road, and one driveway on Dominguez Ranch Road. The proposed project will be accessible from any of the shared driveways.

The shopping center has a common parking lot area that is centrally located to serve the center's in-line tenants and restaurant pads.

Note that the Overall Site Plan in Exhibit 3 depicts the original site design featuring a single drive-through lane. The Conditions of Approval in Exhibit 4 require the applicant to update the site plan to reflect the latest revised site design with the dual drive-through lanes for plan check submittal.

Site Plan

The proposed Starbucks building is set back approximately 36 feet from the center's property line at Green River Road, which exceeds the Specific Plan's 10-foot setback requirement. The pad is elevated approximately 12 feet higher than Green River's roadway, and the existing sloped setback is fully landscaped.

The coffee shop will provide drive-through and walk-up services. There is no interior or outdoor seating proposed. The drive-through lane entrance is located on the south side of the building. The lane circulates along the east and north sides of the building and exits into the center's parking lot. The order board and pick-up window are located on the east and north sides of the building, respectively. The drive-through lane has a total vehicle stacking capacity for 18 vehicles from the drive-through window. The lane accommodates 11 vehicles after the menu board with the dual lane design, which meets the Code's minimum stacking requirement for drive-through establishments.

The walk-up window is located on the south side of the building, opposite of the drive-through window. Customers can walk up to a coffee shop window to order or pick-up drinks, pastries, and prepackaged food items.

The applicant is proposing to construct a new trash enclosure in the parking lot, to the west of the coffee shop building. The trash enclosure will be constructed of cement block and plastered to match the color and finish of the Starbucks building. The enclosure will also be topped with a solid metal roof, and the opening above the block wall will be secured with a flat wire mesh (Exhibit 18).

The Green River Promenade currently has 476 striped parking spaces. Starbucks' new dual lane

design will remove 40 parking spaces and replace 21, resulting in a net loss of 19 parking spaces (a total of 457 spaces will be provided). Two of the 21 replacement parking spaces are located behind the building at 4300 Green River. The project as currently proposed will comply with the parking requirements required by the Corona Municipal Code, which includes a minimum of 452 parking spaces. Parking is discussed in detail under the "Parking" section of this report.

Floor Plan and Operations

Per the applicant's floor plan, the building will house an employee restroom, workroom area, and backbar. The workroom area consists of freezers, an employee rest area, a manager's desk, refrigerators, and shelving racks. The backbar is the kitchen area, which includes the coffee machines, cash registers, and all other necessities required to serve coffee customers. The floor plan is a standard Starbucks configuration for their small quick-serve restaurants, and is attached as Exhibit 14 for reference.

Architecture

The applicant is proposing a building design that maintains Starbucks' familiar "look" and functional elements, and is compatible with the shopping center's existing architecture, which consists of beige stucco walls, flat rooflines and tower elements covered with "S-shaped" roof tiles.

The proposed Starbucks building has beige colored stucco walls on all four sides, and is accented with brownish colored stone veneer on the north and west elevations. The roofline is comprised of parapet walls with varying heights, which add visual interest to the upper portion of the building. The parapet walls also screen rooftop mechanical equipment. Metal awnings are provided over the drive-through and walk-up windows, which are intended to accentuate the windows and shield customers from inclement weather. Light fixtures are mounted on the north and south elevations to provide illumination at the drive-through and walk-up windows. The elevation plans and material board are attached as Exhibits 15 and 16. Photographs of the commercial center and office park are attached as Exhibit 17.

Project signage is conceptually shown on the exterior of the building and consists of green colored directional signs and simple Starbucks logo signs. Signage will be required to comply with the signage requirements per the Sierra Del Oro Specific Plan and will be reviewed in detail by the Planning staff at the time of permit issuance.

Landscaping

The project site will be landscaped as shown in Exhibit 19. A mixture of shrubs and trees are proposed within the project site. Deciduous and evergreen trees will be placed along the drive-through lane, which will create interest and soften the view of the proposed building. The plan also includes three-foot high shrubs along the outer edge of the drive-through lane, which will minimize headlights of vehicles in the drive-through from shining into Green River Road. All new landscape plant materials proposed for the project site are required to be California-friendly. There are existing mature palm trees and various flowering shrubs located adjacent to the site's north and east

perimeters, which will remain in place.

Although the landscape plan still depicts the original site design, the Conditions of Approval (Exhibit 4) require the applicant to update the landscape plan to reflect the updated site design with the dual drive-through lanes at time of plan check submittal.

Parking

The coffee shop's parking requirement is based on the parking ratios that were in effect at the time the commercial center was entitled (1991) and as allowed by the Corona Municipal Code. The established 1991 parking ratios for the center are as follows:

- General Retail and Office: 1 space per 375 square feet of floor area.
- Restaurants and Eating Establishments: 1 space per 125 square feet of floor area.

Because Starbucks is not technically a restaurant with dine-in services, and only provides to-go services, staff applied the retail parking ratio of 1:375, which requires three parking spaces for the project. Using the retail parking ratio for this Starbucks model is consistent with other food services that provide "grab and go" items, like a donut shop. Staff prepared an updated parking analysis for the center based on existing uses and the proposed project. The center requires 452 parking spaces, and 457 parking spaces will be provided after the construction of Starbucks. The updated parking table is provided as Exhibit 9.

Traffic Impact Analysis

A Traffic Impact Assessment (TIA) was prepared by Linscott Law & Greenspan (LL&G) Engineers (November 11, 2021) for the project and reviewed by the Public Works Department's Traffic Division. The TIA outlines the potential traffic impacts the proposed project is anticipated to contribute to the surrounding transportation system. The assessment provides analysis related to the traffic generation forecast, site access, and queuing for the proposed coffee shop.

Traffic Generation Forecast:

The proposed coffee shop is anticipated to generate 213 daily trips, with approximately 81 trips in the AM peak hour and 20 trips in the PM peak hour. Per the project traffic engineer, LL&G, the project's anticipated daily trip generation during the AM and PM peak hours is not anticipated to significantly impact the surrounding transportation system.

Site Access Analysis:

The TIA analyzed the three (3) existing entrances on Green River Road and Dominguez Ranch Road during AM and PM peak hours.

- Driveway 1 at Green River Road
- Driveway 2 at Green River Road
- Driveway 3 at Dominguez Ranch Road

All three (3) driveways are expected to operate at “buildout” at a Level of Service (LOS) of C or better during the AM and PM peak hours. An evaluation at buildout is based on an assumption of traffic volumes when the center is fully constructed, leased and operational. As it relates to LOS, the City’s General Plan considers a LOS D and better as acceptable. For reference, LOS is measured on a scale of A to F, with A being the best (unrestricted low) and F as the worst (traffic jam).

Queuing Analysis:

The queuing at three existing Starbucks were analyzed to help determine the project’s anticipated queueing capacity. Two of the locations are in Corona (4718 Green River Road and 480 N. Main Street), and one is in the City of Orange (1630 E. Chapman Avenue). In terms of queuing, the City of Orange location is most similar to the proposed project, in that it provides only drive-through and walk-up services. The Orange location is located at an intersection of two arterial roadways, not far from SR-55 and SR-22 freeways.

The queuing surveys were conducted on a Thursday, which represents a typical weekday, and on a Saturday, which represents a typical weekend day. The analysis indicated the following:

Weekday (Thursday: 6:00 a.m. to 9:00 a.m., 11:00 a.m. to 1:00 p.m., and 4:00 p.m. to 6:00 p.m.)

- On average, a queue of 7 vehicles in the drive-through lane can be expected during the morning, midday, and evening peak periods;
- 85 percent of the drive-through customers will wait in a line no longer than 12 vehicles; and
- 95 percent of the drive-through customers will wait in a line no longer than 14 vehicles.

Weekend (Saturday: 7:00 a.m. to 9:00 a.m. & 11:00 a.m. to 1:00 p.m.)

- On average, a queue of 9 vehicles in the drive-through lane can be expected during the morning, midday, and evening peak periods;
- 85 percent of the drive-through customers will wait in a line no longer than 14 vehicles; and
- 95 percent of the drive-through customers will wait in a line no longer than 17 vehicles.

According to the queuing analysis, it is anticipated that 95 percent of the project’s drive-through customers will wait in line of 17 vehicles or less. The TIA notes that “the 85th” percentile queue is generally the industry standard utilized when designing the length of a drive-through lane. As the revised site plan accommodates an 18-vehicle stacking capacity at the drive-through, this latest design provides enough stacking capacity to meet the expected demand of the drive-through customers.

In the event that vehicles overflow into the parking lot during peak times, LL&G recommends that Starbucks employees place cones at the south end of the parking lot’s drive aisle, and direct vehicles to access the drive-through lane from the north. This would mitigate any potential impacts at the site’s main drive aisle, which accommodates the commercial center’s through-traffic. The recommended on-site traffic management plan is shown in Exhibit 20. The City Traffic Engineer has reviewed and approved the on-site traffic management plan.

ENVIRONMENTAL ANALYSIS

Per Section 15303(c) of the State Guidelines for the California Environmental Quality Act (CEQA) and Section 3.27 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 3 categorical exemption (New Construction or Conversion of Small Structures), as the project consists of a new 966-square-foot coffee shop with drive-through and walk-up services only (no indoor or outdoor seating), within an existing commercial center. The Notice of Exemption is attached as Exhibit 22.

FISCAL IMPACT

The applicant has paid the applicable application processing fees for the conditional use permit.

PUBLIC NOTICE AND COMMENTS

Prior to the February 6, 2023, Planning and Housing Commission meeting, a 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, advertised in the Sentinel Weekly News, and posted at the project site. Re-noticing of the project was not required because the Commission has continued the proposals to specific dates.

The Planning and Development Department previously received one phone call in support of the project from the business One Stop Liquor, and one email correspondence in support of the project from the business West Corona Dentistry (Exhibit 11). Both businesses are tenants within the shopping center.

As of the preparation of this updated staff report, the Planning and Development Department has received a signed petition (Exhibit 12) in support of the proposal from members of the public and tenants within the center supporting; and an email opposing the project from a person asking to remain anonymous (Exhibit 13).

STAFF ANALYSIS

The project site has been vacant since the commercial center was constructed in the early 1990s. Development of the proposed project would complete the center as originally intended under the 1991 precise plan. The design of the project complies with the development standards in the Sierra Del Oro Specific Plan for commercial developments and meets the development standards established for drive-through establishments under Section 17.33.110 in the Corona Municipal Code.

The design of the building utilizes colors and materials that are compatible with the adjacent commercial buildings and nearby office park. The landscape proposed for the project will further enhance the site and surrounding area. The project site has adequate vehicular access from the shared driveways located within the commercial center, and the traffic generated by the drive-through service is expected to be minimal. The site is an infill property with infrastructure already in place to adequately serve the project.

The drive-through activities associated with the project are not anticipated to create any noise or glare issues for the nearest residential uses, as they are situated on a hillside to the south of the commercial center, and the existing building serves as a buffer for the project. There will also be three-foot high shrubs placed between the drive-through lane and Green River Road to mitigate

headlight glare from the drive-through lane.

CUP2021-0004 is consistent with General Plan Policies LU-1.1 and LU-1.2 because it supports the diverse needs of Corona's residents by accommodating a use that will help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.

The Planning & Development Department recommends approval of CUP2021-0004, based on the findings listed below and staff's recommended conditions of approval (Exhibit 4).

FINDINGS OF APPROVAL FOR CUP2021-0004

1. The City of Corona has determined that this project is exempted from the California Environmental Quality Act (CEQA) pursuant Section 15303(c) of the State Guidelines for Implementing CEQA and Section 3.27 of the City's Local CEQA Guidelines, because the project qualifies as a Class 3 categorical exemption (New Construction and Small Conversions). The proposed project consists of a new 966-square-foot coffee shop with drive-through and walk-up services only (no indoor or outdoor seating), within an existing commercial center.
2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2021-0004 for the following reasons:
 - a. *The proposed use will not be detrimental to the public health, safety, convenience, and general welfare and is in harmony with the goals and policies of the City's General Plan, as the proposal supports the diverse needs of Corona's residents. The proposed project meets or exceeds the development standards of the Corona Municipal Code and the Sierra Del Oro Specific Plan for the Neighborhood Commercial District in terms of setbacks, building height limitation, parking, landscaping, and overall site design. The project also meets the city's established development standards in the Corona Municipal Code for drive-through establishments. Furthermore, the project has adequate vehicular access from Green River Road and Dominguez Ranch Road from established driveways into the commercial center.*
 - b. *The proposed use would not be detrimental to other existing and permitted uses in the general area because the project site is located within an existing and fully improved commercial center and is capable of accommodating the proposed coffee shop with walk-up and drive-through services. The project also has adequate vehicular access from the adjacent streets which are fully improved and capable of handling the traffic associated with the use.*
 - c. *The project is subject to the Conditions of Approval attached as Exhibit 4, which are necessary and desirable for the purpose of protecting public health, safety, convenience, and general welfare of the public, in accordance with the intent and purpose of the City's zoning regulations.*

3. The proposal is consistent with the General Plan for the following reasons:
 - a. CUP2021-0004 is consistent with the project site's General Plan land use designation of General Commercial.*
 - b. The proposed project is consistent with General Plan Policies LU-1.1 and LU-1.2 because it supports the diverse needs of Corona's residents by accommodating a use that will help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.*
4. The proposal is consistent with Neighborhood Commercial District designation of the Sierra Del Oro Specific Plan (SP85-02) for the following reasons:
 - a. The proposed use complies with the Neighborhood Commercial District designation of the Sierra Del Oro Specific Plan as coffee shops with drive-through services are permitted by a conditional use permit.*
 - b. The proposed use complies with the development standards of the Sierra Del Oro Specific Plan, with respect to setbacks, minimum parking requirements and access, as demonstrated by the project plans attached to CUP2021-0004.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING AND DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2605
2. Aerial and Locational Map
3. Overall Site Plan of Commercial Center
4. Conditions of Approval
5. Original Site Plan - February 21, 2023 P&H Meeting
6. Revised Site Plan (Dual Drive-through Lanes) - May 8, 2023 P&H Meeting
7. Letter from Bickel Group Architecture addressing Commission's concerns, dated April 20, 2023
8. Pervious Pavement Plan
9. Updated Parking Analysis Table
10. Letter from Capital Investment Network (property center manager)
11. Email Correspondence Supporting the project
12. Petition Supporting the project

- 13. Email Correspondence Opposing the project
- 14. Floor Plan
- 15. Colored Elevations
- 16. Material Board
- 17. Site Photos
- 18. Trash Enclosure
- 19. Conceptual Landscape Plan
- 20. Traffic Management Plan, from Linscott Law and Greenspan
- 21. Parking Surveys
- 22. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2605

APPLICATION NUMBER: CUP2021-0004

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A CONDITIONAL USE PERMIT APPLICATION FOR A DRIVE-THROUGH AND WALK-UP WINDOW COFFEE SHOP (STARBUCKS) WITHIN AN EXISTING COMMERCIAL CENTER LOCATED AT THE SOUTHEAST CORNER OF GREEN RIVER ROAD AND DOMINGUEZ RANCH ROAD IN THE NEIGHBORHOOD COMMERCIAL DISTRICT OF THE SIERRA DEL ORO SPECIFIC PLAN. (APPLICANT: JESSICA STEINER OF BICKEL GROUP ARCHITECTURE)

WHEREAS, the application to the City of Corona, California, for a Conditional Use Permit under the provisions of Chapter 17.92 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for a Conditional Use Permit application for a drive-through and walk-up window coffee shop (Starbucks) within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road in the Neighborhood Commercial District of the Sierra Del Oro Specific Plan; and

WHEREAS, the Planning and Housing Commission held a noticed public hearing for CUP2021-0004 on February 6, 2023 and continued the application to February 21, 2023; and

WHEREAS, the Planning and Housing Commission held a public hearing on February 21, 2023, and continued the public hearing for CUP2021-0004 to March 20, 2023; and

WHEREAS, the Planning and Housing Commission held a public hearing on March 20, 2023, and continued the public hearing for CUP2021-0004 to April 10, 2023; and

WHEREAS, the Planning and Housing Commission held a public hearing on April 10, 2023, and continued the public hearing for CUP 2021-0004 to April 24, 2023; and

EXHIBIT 1

WHEREAS, the Planning and Housing Commission held a public hearing on April 24, 2023, and continued the public hearing for CUP2021-0004 to May 8, 2023; and

WHEREAS, the Planning and Housing Commission held a public hearing for CUP2021-0004 on May 8, 2023; and

WHEREAS, the Planning and Housing Commission finds that this project is exempt from CEQA pursuant to Section 15303(c) of the State Guidelines for the California Environmental Quality Act (CEQA) and Section 3.27 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 3 categorical exemption (New Construction or Conversion of Small Structures), as the project consists of a new 966-square-foot coffee shop with drive-through and walk-up services only (no indoor or outdoor seating), within an existing commercial center; and

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Conditional Use Permit as set forth in Corona Municipal Code Section 17.92.110 do exist in reference to CUP2021-0004, based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the CUP2021-0004 on certain conditions of approval and the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this CUP2021-0004, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as an exemption under CEQA per Section 15303(c) of the State Guidelines, and Section 3.27 of the City of Corona adopted Local Guidelines for implementing CEQA. There is no evidence presented to the City that the project will have any significant effects on the environment.

SECTION 2. Conditional Use Permit Findings. Pursuant to Corona Municipal Code ("CMC") section 17.92.110 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. The City of Corona has determined that this project is exempted from the California Environmental Quality Act (CEQA) pursuant Section 15303(c) of the State Guidelines for Implementing CEQA and Section 3.27 of the City's Local CEQA Guidelines, because the project qualifies as a Class 3 categorical exemption (New Construction and Small Conversions). The proposed project consists of a new 966-square-foot coffee shop with drive-through and walk-up services only (no indoor or outdoor seating), within an existing commercial center.

2. All the conditions necessary for granting a Conditional Use Permit as set forth in Section 17.92.110 of the Corona Municipal Code do exist in reference to CUP2021-0004 for the following reasons:
 - a. *The proposed use will not be detrimental to the public health, safety, convenience, and general welfare and is in harmony with the goals and policies of the City's General Plan, as the proposal supports the diverse needs of Corona's residents. The proposed project meets or exceeds the development standards of the Corona Municipal Code and the Sierra Del Oro Specific Plan for the Neighborhood Commercial District in terms of setbacks, building height limitation, parking, landscaping, and overall site design. The project also meets the city's established development standards in the Corona Municipal Code for drive-through establishments. Furthermore, the project has adequate vehicular access from Green River Road and Dominguez Ranch Road from established driveways into the commercial center.*
 - b. *The proposed use would not be detrimental to other existing and permitted uses in the general area because the project site is located within an existing and fully improved commercial center and is capable of accommodating the proposed coffee shop with walk-up and drive-through services. The project also has adequate vehicular access from the adjacent streets which are fully improved and capable of handling the traffic associated with the use.*
 - c. *The project is subject to the Conditions of Approval attached as Exhibit 4, which are necessary and desirable for the purpose of protecting public health, safety, convenience, and general welfare of the public, in accordance with the intent and purpose of the City's zoning regulations.*
3. The proposal is consistent with the General Plan for the following reasons:
 - a. *CUP2021-0004 is consistent with the project site's General Plan land use designation of General Commercial.*
 - b. *The proposed project is consistent with General Plan Policies LU-1.1 and LU-1.2 because it supports the diverse needs of Corona's residents by accommodating a use that will help sustain Corona as a cohesive, distinct, and self-sustaining community, and minimize the need for Corona's residents to travel to surrounding communities for services and employment.*
4. The proposal is consistent with Neighborhood Commercial District designation of the Sierra Del Oro Specific Plan (SP85-02) for the following reasons:
 - a. *The proposed use complies with the Neighborhood Commercial District designation of the Sierra Del Oro Specific Plan as coffee shops with drive-through services are permitted by a conditional use permit.*

- b. The proposed use complies with the development standards of the Sierra Del Oro Specific Plan, with respect to setbacks, minimum parking requirements and access, as demonstrated by the project plans attached to CUP2021-0004.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Conditional Use Permit.

Adopted this 8th day of May, 2023.

Craig Siqueland, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Belinda Capilla
Secretary, Planning and Housing Commission
City of Corona, California

I, Belinda Capilla, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 8th day of May, 2023, and was duly passed and adopted by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAINED:

Belinda Capilla
Secretary, Planning and Housing Commission
City of Corona, California

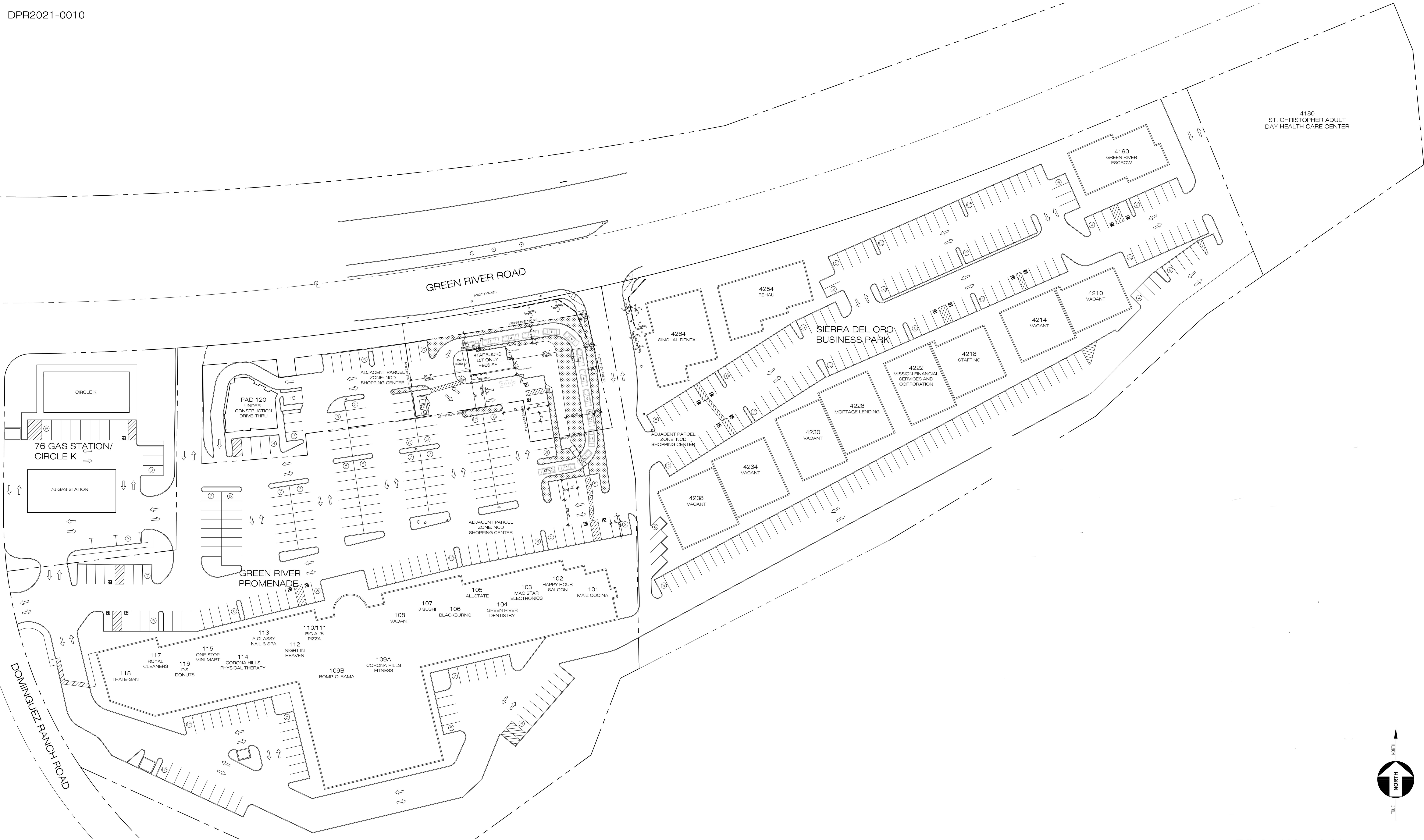
AERIAL & LOCATIONAL MAP



CUP2021-0004
 4300 Green River Road



EXHIBIT 2



SITE PLAN

Scale: 1" = 40'-0"
March 27, 2023

EXHIBIT 3



**BICKEL GROUP
ARCHITECTURE**
BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com

STARBUCKS
DOMINGUEZ RANCH ROAD AND GREEN RIVER ROAD
CORONA, CALIFORNIA



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Project Conditions

City of Corona

Project Number: CUP2021-0004

Description: New Starbucks Coffee Shop - Walk-up and Drive Through only

Applied: 12/20/2021

Approved:

Site Address: SEC GREEN RIVER RD & DOMINGUEZ RANCH ROAD ,

Closed:

Expired:

Status: COMPLETE

Applicant: JESSICA STEINER

Parent Project: DPR2021-0010

3600 BIRCH STREET, SUITE 120 NEWPORT BEACH CA, 92660

Details: Conditional Use Permit for a new drive-through and walk-up 966 square foot coffee shop (Starbucks) at the SEC of Green River Road and Dominguez Ranch Road.

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	
<ol style="list-style-type: none">1. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.2. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.3. Roofing material shall be Class A.4. Plans for food preparation areas shall be approved by the Riverside County Health Dept. prior to plan check approval from this department.5. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Planning and Development Department, Development Services Division. Landscape plans shall be approved prior to the issuance of any Building Permits.6. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.7. Building permits are required prior to construction of all fences, walls, signs, trash enclosures, site lighting, etc.8. Comply with the Corona burglary ordinance contained in Corona Municipal Code 15.52.9. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.10. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.11. Provide accessible parking calculations indicating the required number of accessible spaces including van spaces.12. Provide the minimum number of EV, clean air, and carpool/vanpool parking spaces; minimum shade trees, bicycle parking and other site facilities as required by the California Green Building Standards Code.13. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.14. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Provide enlarged plans and details for construction of trash/recycling enclosures.	



Project Conditions

City of Corona

BUILDING	
<p>15. All fees, including but not limited to, occupancy fees, property development tax, and school fees must be paid in full prior to issuance of building permits. Any development impact fees that apply to the project must be paid in full prior to NIC or CofO issuance.</p> <p>16. Plans shall be designed to, and all work shall conform to, the 2022 California Building Standards Code including local amendments. Permit shall be issued prior to construction and made available on site at all times.</p> <p>17. In order to submit building plans for plan review, a permanent or temporary address must be issued for the project by the Public Works Department. Please apply for the address at least 3 weeks prior to submittal to allow for processing.</p> <p>18. Provide accessible path of travel from the public right of way.</p>	
FIRE	Cindi Schmitz
<p>1. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</p> <p>2. A Knox Box shall be provided for this business. To apply for a Knox product visit https://www.knoxbox.com/</p> <p>3. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.</p> <p>4. Fire hydrants are to be spaced a maximum 250 feet apart.</p> <p>5. Provide Class A roofing material on all structures per the Corona Municipal Code.</p> <p>6. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.</p> <p>7. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet.</p>	
PLANNING	
<p>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</p> <p>2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</p>	



Project Conditions

City of Corona

PLANNING

3. This permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this conditional use permit within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed.
4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees.
5. The tenant shall implement the traffic management plan that is attached as Exhibit 20 to mitigate congestion and stacking spillover into the main shopping center drive aisle and the adjacent driveway on Green River Road.
6. All signage shall be constructed in accordance with the NCD (Neighborhood Commercial District) designation of the Sierra Del Oro Specific Plan (SP85-02) and Chapter 17.74 of the Corona Municipal Code requirements.
7. Separate landscape plans shall be submitted to the Building Division for plancheck. At time of submittal, the developer shall also submit a landscape deposit in the amount of \$2,500 to the Planning Division for plancheck and inspection services related to the landscaping which will be provided by a landscape consultant. Any money left remaining from this deposit at the completion of the project will be reimbursed to the developer. Note that this deposit is separate from the Building Division's landscape plancheck submittal fee.
8. This project site is subject to Riverside County's MSHCP fee for commercial development and is payable at the time building permits are issued.
9. Screen shrubs shall be installed along the north and east exterior perimeters of the drive-through lane for headlight buffering purposes. The shrubs shall be a minimum of 36-inches in height at time of installation.
10. Prior to issuance of a Certificate of Occupancy, the project's on-site landscaping and irrigation shall be installed according to the project's approved landscape plans.
11. The applicant shall adhere to the requirements and development standards of the underlying zone or specific plan designation and Conditions of Approval (Exhibit 4), as well as be in substantial conformance with the respective application materials presented before the Planning and Housing Commission, including but not limited to the site plan, architectural elevations, renderings or photo simulations, landscape plans, etc.
12. The exterior materials and colors of the trash enclosure structure, including cover, shall match the exterior materials and colors of the coffee shop building.
13. A sign permit shall be obtained from the Planning and Building divisions prior to the installation of any signs.
14. The applicant shall provide landscaping on the west and east sides of the building, as depicted on the applicant's site plan and conceptual landscape plan. The landscaping shall be shown on the landscape plans for plan check submittal.
15. The conditional use permit (CUP) is only associated with the approval of a walk-up and drive-through only coffee shop. Any future outdoor seating area will require the applicant to submit a CUP modification application to the Planning Division for review.
16. The project shall comply with the measures listed on the Joint Project Review (JPR 22-11-09-01) approval letter, dated January 26, 2023, issued by the Western Riverside County Regional Conservation Authority. These include the measures identified under Section 6.1.4 Urban/Wildlife Interface Guidelines and Appendix C.
17. For plan check, the applicant shall revise the overall site plan to include the redesigned dual drive-through lane for Starbucks with the removal of the two (2) additional parking spaces, accommodating the dual drive-through lane, and the parking table attached to the staff report as Exhibit 9.

Also, the overall site plan shall accurately reflect the replacement of two (2) cross-hatched parking spaces located behind the building at 4300 Green River Road and the existing parking spaces that are striped on all four sites (gas station, commercial retail site, office park, and adult daycare) after the construction of Starbucks.
18. For plan check, the applicant shall revise the landscaping plans to reflect the redesigned dual drive-through lane and the removal of the bio-retention basin as originally proposed.



Project Conditions

City of Corona

PUBLIC WORKS

1. The Planning and Development Department, Public Works Department, and the Utilities Department Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Planning and Development Department, Development Services Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.
2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.
4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
5. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.
6. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.
7. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
8. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following: a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.

(b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.

(c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
9. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:
 - a) Cap existing 4" sewer lateral at the main and install 6" sewer lateral.
 - b) Cap existing 2" domestic water lateral at the main and install new 2" domestic water lateral.
 - c) Install dedicated landscape service and meter.
10. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
11. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Planning and Development Department, Development Services Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.
12. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Planning and Development Department, Development Services Division.
13. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (*Lepidospartum Squamatum*) has been completed.



Project Conditions

City of Corona

PUBLIC WORKS

14. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the property boundary.
15. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
16. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
17. Prior to issuance of any grading permit, any environmental Phase I and Phase II findings and recommended actions to remove contamination resulting from previous use of the subject site shall be implemented.
18. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
19. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Planning and Development Department, Development Services Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.
20. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP
21. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.
22. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.
23. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.
24. Prior to approval of any improvement plans, the applicant shall submit a site-specific hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on-site.
25. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.
26. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
27. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.
28. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Utilities Department standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Utilities Department Directors.

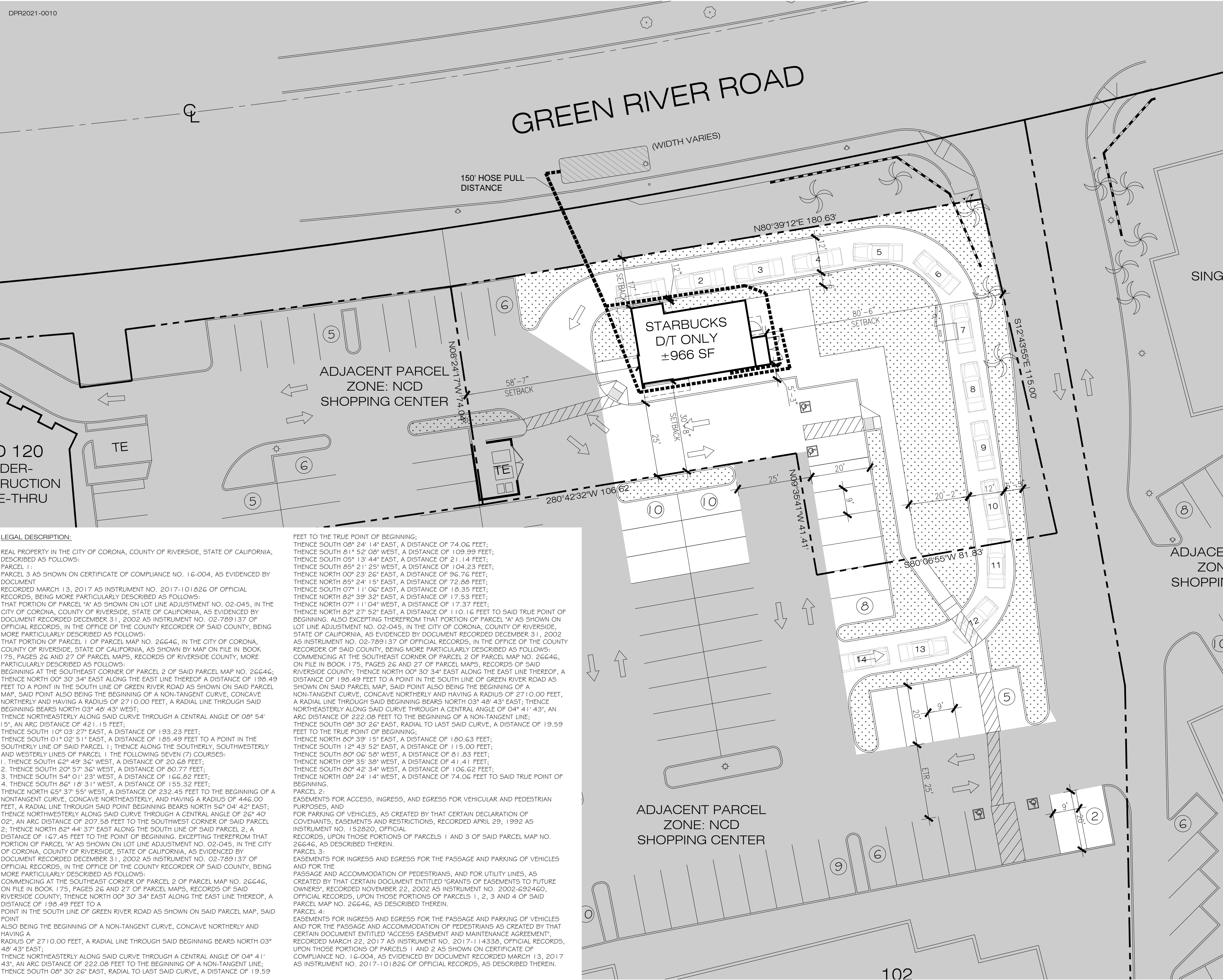


Project Conditions

City of Corona

PUBLIC WORKS

29. Prior to issuance of any building permits, as required by the building code, fire code, and city municipal code, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
30. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
31. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
32. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, potable water services, sewer laterals, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.
33. The applicant shall dedicate easements for all public water and sewer facilities needed to serve the project in accordance with the Utilities Department standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility unless otherwise approved by the Department. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the Utilities Director. Structures and trees shall not be constructed or installed within a public utility easement. All excess easements shall be vacated unless otherwise approved by the Department.
34. Static pressures exceeding 80 psi require an individual pressure regulator.
35. Reclaimed water shall be used for any construction activity unless otherwise approved by the Utilities Department. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.



LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1: PARCEL 3 AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 16-004, AS EVIDENCED BY DOCUMENT RECORDED MARCH 13, 2017 AS INSTRUMENT NO. 2017-101826 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THAT PORTION OF PARCEL 'A' AS SHOWN ON LOT LINE ADJUSTMENT NO. 02-045, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS EVIDENCED BY DOCUMENT RECORDED DECEMBER 31, 2002 AS INSTRUMENT NO. 02-789137 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 26646, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 175, PAGES 26 AND 27 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF PARCEL 2 OF SAID PARCEL MAP NO. 26646; THENCE NORTH 00° 30' 34" EAST ALONG THE EAST LINE THEREOF A DISTANCE OF 198.49 FEET TO A POINT IN THE SOUTH LINE OF GREEN RIVER ROAD AS SHOWN ON SAID PARCEL MAP, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHERLY AND HAVING A RADIUS OF 2710.00 FEET, A RADIAL LINE THROUGH SAID BEGINNING BEARS NORTH 03° 48' 43" WEST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 08° 54' 15", AN ARC DISTANCE OF 421.115 FEET; THENCE SOUTH 10° 03' 27" EAST, A DISTANCE OF 193.23 FEET; THENCE SOUTH 01° 02' 51" EAST, A DISTANCE OF 185.49 FEET TO A POINT IN THE SOUTHERLY LINE OF SAID PARCEL 1; THENCE ALONG THE SOUTHERLY, SOUTHWESTERLY AND WESTERLY LINES OF PARCEL 1 THE FOLLOWING SEVEN (7) COURSES: 1. THENCE SOUTH 62° 49' 36" WEST, A DISTANCE OF 20.68 FEET; 2. THENCE SOUTH 20° 57' 38" WEST, A DISTANCE OF 80.77 FEET; 3. THENCE SOUTH 54° 01' 23" WEST, A DISTANCE OF 166.82 FEET; 4. THENCE SOUTH 86° 18' 31" WEST, A DISTANCE OF 155.32 FEET; THENCE NORTH 65° 37' 55" WEST, A DISTANCE OF 232.45 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, AND HAVING A RADIUS OF 446.00 FEET, A RADIAL LINE THROUGH SAID POINT BEGINNING BEARS NORTH 56° 04' 42" EAST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26° 40' 02", AN ARC DISTANCE OF 207.58 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 2; THENCE NORTH 82° 44' 37" EAST ALONG THE SOUTH LINE OF SAID PARCEL 2, A DISTANCE OF 167.45 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION OF PARCEL 'A' AS SHOWN ON LOT LINE ADJUSTMENT NO. 02-045, IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS EVIDENCED BY DOCUMENT RECORDED DECEMBER 31, 2002 AS INSTRUMENT NO. 02-789137 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF PARCEL 2 OF PARCEL MAP NO. 26646, ON FILE IN BOOK 175, PAGES 26 AND 27 OF PARCEL MAPS, RECORDS OF SAID RIVERSIDE COUNTY; THENCE NORTH 00° 30' 34" EAST ALONG THE EAST LINE THEREOF, A DISTANCE OF 198.49 FEET TO A POINT IN THE SOUTH LINE OF GREEN RIVER ROAD AS SHOWN ON SAID PARCEL MAP, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHERLY AND HAVING A RADIUS OF 2710.00 FEET, A RADIAL LINE THROUGH SAID BEGINNING BEARS NORTH 03° 48' 43" WEST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 41' 43", AN ARC DISTANCE OF 222.08 FEET TO THE BEGINNING OF A NON-TANGENT LINE, THENCE SOUTH 08° 30' 26" EAST, RADIAL TO LAST SAID CURVE, A DISTANCE OF 19.59 FEET TO THE TRUE POINT OF BEGINNING;

PARCEL 2: EASEMENTS FOR ACCESS, INGRESS, AND EGRESS FOR VEHICULAR AND PEDESTRIAN PURPOSES, AND FOR PARKING OF VEHICLES, AS CREATED BY THAT CERTAIN DECLARATION OF COVENANTS, EASEMENTS AND RESTRICTIONS, RECORDED APRIL 29, 1992 AS INSTRUMENT NO. 152820, OFFICIAL RECORDS, UPON THOSE PORTIONS OF PARCELS 1 AND 3 OF SAID PARCEL MAP NO. 26646, AS DESCRIBED THEREIN.

PARCEL 3: EASEMENTS FOR INGRESS AND EGRESS FOR THE PASSAGE AND PARKING OF VEHICLES AND FOR THE PASSAGE AND ACCOMMODATION OF PEDESTRIANS, AND FOR UTILITY LINES, AS CREATED BY THAT CERTAIN DOCUMENT ENTITLED 'GRANTS OF EASEMENTS TO FUTURE OWNERS', RECORDED NOVEMBER 22, 2002 AS INSTRUMENT NO. 2002-692460, OFFICIAL RECORDS, UPON THOSE PORTIONS OF PARCELS 1, 2, 3 AND 4 OF SAID PARCEL MAP NO. 26646, AS DESCRIBED THEREIN.

PARCEL 4: EASEMENTS FOR INGRESS AND EGRESS FOR THE PASSAGE AND PARKING OF VEHICLES AND FOR THE PASSAGE AND ACCOMMODATION OF PEDESTRIANS AS CREATED BY THAT CERTAIN DOCUMENT ENTITLED 'ACCESS EASEMENT AND MAINTENANCE AGREEMENT', RECORDED MARCH 22, 2017 AS INSTRUMENT NO. 2017-114338, OFFICIAL RECORDS, UPON THOSE PORTIONS OF PARCELS 1 AND 2 AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 16-004, AS EVIDENCED BY DOCUMENT RECORDED MARCH 13, 2017 AS INSTRUMENT NO. 2017-101826 OF OFFICIAL RECORDS, AS DESCRIBED THEREIN.



STARBUCKS

DOMINGUEZ RANCH ROAD AND GREEN RIVER ROAD

CORONA, CALIFORNIA

DEVELOPERS:

CHARLES LEVINE / RICHARD GEBELE
GREEN RIVER COFFEE COMPANY, LLC
2711 N SEPULVEDA, #339, MANHATTAN BEACH, CA 90266
310.809.2655

SITE INFORMATION:

ZONING: NCD- NEIGHBORHOOD COMMERCIAL DISTRICT

EXISTING USE: VACANT ROUGH GRADED PAD

SPECIFIC PLAN: SP-85-2: SIERRA DEL ORO

ASSESSOR'S PARCEL NUMBER: 101-440-019

SITE AREA: APPROX. 16,910 SQ FT / 0.39 ACRES

BUILDING AREA: ±966 SF
(INCLUDING SWITCHGEAR AND ROOF ACCESS LADDER)

F.A.R.: 0.057

LANDSCAPE AREA WITHIN PARCEL LINES: ±3,636 SF
(21.5% OF SITE)
LANDSCAPE WITHIN STARBUCKS' SCOPE: ±5,387 SF
(31.9% OF SITE)

TYPE OF CONSTRUCTION: VB

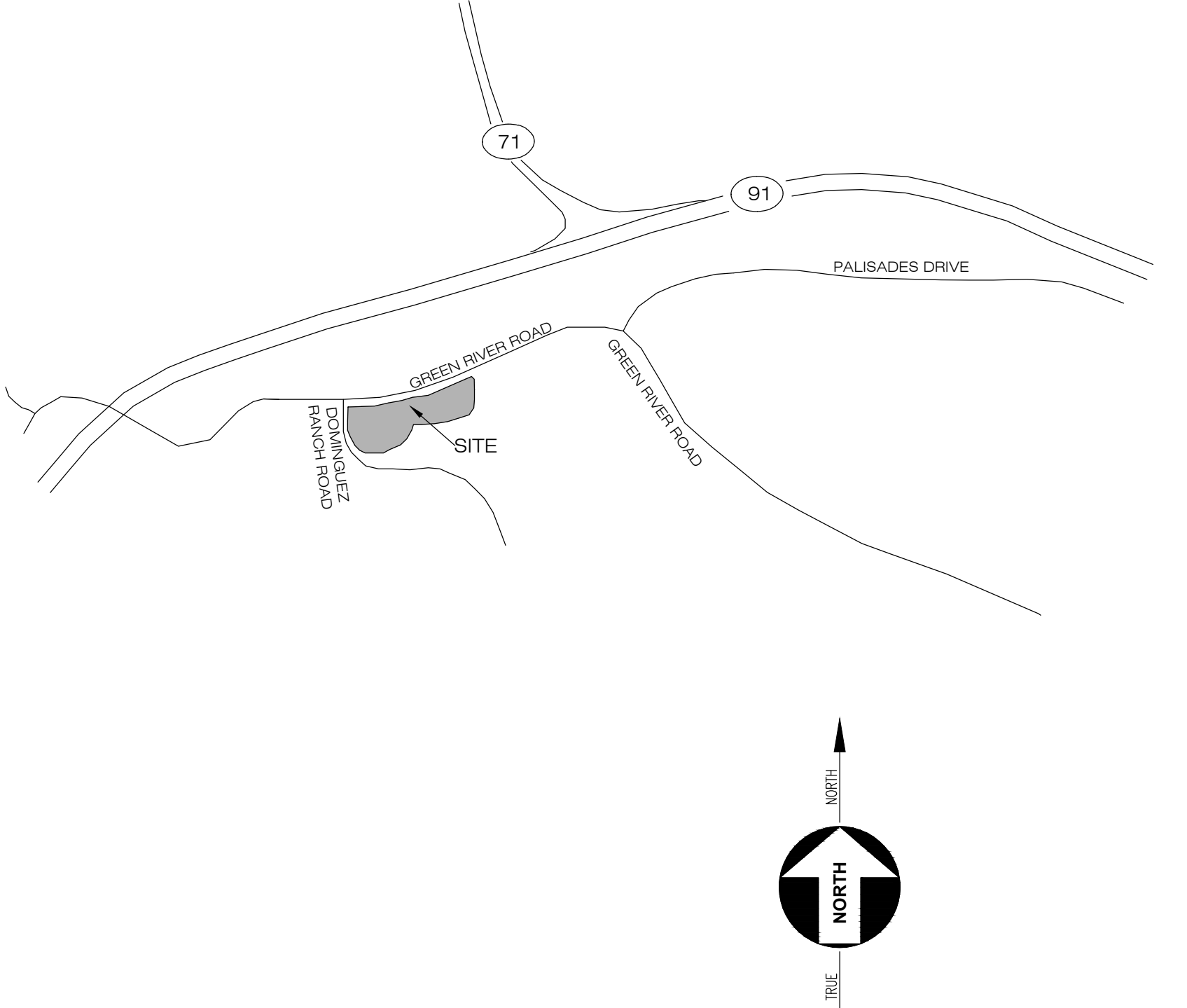
PARKING INFORMATION:

PARKING REQUIREMENT:
1 STALL PER 125 SF
TOTAL STALLS REQUIRED: 8 STALLS

TOTAL STALLS PROPOSED WITHIN PARCEL: 8 STALLS
TOTAL STALLS PROPOSED WITHIN PROJECT AREA: 21 STALLS



VICINITY MAP: NOT TO SCALE



SITE PLAN

Scale: 1/16" = 1'-0"

February 13, 2023

EXHIBIT 1

P:\21138\Corona, SEC Green River Rd & Dominguez Ranch\Design\Site\21138-SitePlan 220213.dwg

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STARBUCKS
DOMINGUEZ RANCH ROAD AND GREEN RIVER ROAD
CORONA, CALIFORNIA

EXHIBIT 6

SITE PLAN

Scale: 1" = 30'-0"
April 11, 2023

P:\21\21350 - Corona, SEC Green River Rd & Dominguez Ranch
Rd\CD\21350 - Site Plan- Dual Drive-Thru Option 2.dwg

The plans, ideas, arrangements and designs indicated or represented by this drawing are owned by, and are property of BICKEL GROUP, and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from BICKEL GROUP © 2017

April 20, 2023

Via Email Only

Planning and Housing Commission, City of Corona
400 South Vicentia Ave.
Corona, CA 92882

Planning and Development, City of Corona
400 South Vicentia Ave.
Corona, CA 92882

**RE: 4300 Green River Road / Proposed Starbucks Drive-Through and Walk-Up Only
Conditional Use Permit – CUP 2021-0004**

Dear Honorable Planning Commissioners and Planning Staff:

As you know, the owner, Green River Coffee Company, at the above-mentioned address has filed a Conditional Use Permit (“CUP”) application to allow an approximately 966 square-foot drive-through and walk-up window (with no interior and/or exterior seating) coffee shop (Starbucks) within the existing Green River Promenade Shopping Center.

As part of this CUP application process, it has been a pleasure to work with Planning Staff and the Commissioners. Throughout the process, Planning Staff has been supportive, responsive, and professional; and, the Commissioners have provided great feedback and insight regarding any potential issues and/or concerns. As a result of the meetings with Planning Staff and the two (2) public hearings with the Commission (in February and April of this year), we are providing additional and detailed information regarding the project in advance of the next scheduled Planning Commission hearing so that you may have time to fully review. We welcome any questions, feedback, and/or if you would like to meet on-site to review and discuss the project. Again, we are excited for Starbucks to open and operate within the City of Corona and appreciate the support received from the City and nearby business owners and operators.

As a result of the last Planning Commission hearing, on Monday April 10, 2023, we wanted to take an opportunity to clearly present the project details and address your questions. As discussed in more detail below, the site plan for the proposed Starbucks has been re-designed in order to address the questions and concerns voiced by the Commissioners; specifically, the site plan proposed by Starbucks, as enclosed, depicts an 18-car drive-through queuing (rather than the originally proposed 14-car drive-through queuing). Additionally, the parking for the proposed Starbucks (along with the parking for the existing Shopping Center) is more than adequate and will properly serve the needs and demands of the visitors and employees of the Center. Lastly, the close of the first drive-aisle entrance will result in a clearer path of safe travel for vehicles, the additional queuing for the drive-through, and a reduction in cut-through vehicular traffic within the existing Shopping Center.

18-Car Drive-Through Queuing:

The Corona Municipal Code (“CMC”) requires six (6) stacking spaces past the menu board and Starbucks operations requires a minimum of seven (7) cars stacked from the pick-up window to the menu board. Therefore, thirteen (13) cars stacked is required in the drive-through. As originally proposed, the design of the drive-through was to accommodate a queuing of 14 cars; however, in response to the Commissioners concerns, the site plan has been re-designed (and resubmitted) to allow for 18 cars to stack in the drive-through queue. In order to accomplish this large number of

cars in the drive-through, the infiltration system is being changed from a bio-infiltration basin to a design that utilizes pervious pavement along with a dual-entry lane in the drive-through. We also looked more closely at the Grand Terrace Starbucks, as recommended, and attempted to design this drive-through more in line with the Grand Terrace location; as a result, we were actually able to secure an 18-car queuing at this location, as opposed to the the 17-car stacked in the queue at the Grand Terrace location.

As demonstrated by the queuing surveys, the 18-car queuing system will more than meet the expected demand of drive through customers. Specifically, the analysis indicated the following:

Weekday (Thursday: 6:00 am – 9:00 am; 11:00 am – 1:00 pm; 4:00 pm – 6:00 pm)

- On average, a queue of 7 vehicles in the drive-through lane can be expected during the morning, midday, and evening peak hours
- 85 percent of the drive-through customers will not wait in a line longer than 12 vehicles
- 95 percent of the drive-through customers will not wait in a line longer than 14 vehicles

Weekend (Saturday: 7:00 am – 9:00 am; 11:00 am – 1:00 pm)

- On average, a queue of 9 vehicles in the drive-through lane can be expected during the morning and midday peak hours
- 85 percent of the drive-through customers will not wait in a line longer than 14 vehicles
- 95 percent of the drive-through customers will not wait in a line longer than 17 vehicles

With a queuing of 18-cars, the newly proposed site plan and drive-through is compliant with the Corona Municipal Code and will certainly serve the demands of drive-through customers, as evidenced by the queuing surveys. As the November 11, 2021 Traffic Impact Assessment noted, “the 85th percentile queue is generally the industry standard utilized when designing/sizing the length of the proposed drive-through lane”; and, thus, here, the 18-car queuing provides more than enough demand for potential drive-through customers. Moreover, this newly proposed site plan addresses the concerns from the Commissioners as it allows for a much greater number of cars in the drive-through queue and utilizes a dual-entry lane, as requested and desired.

Parking at the Proposed Starbucks and Existing Green River Promenade Shopping Center:

The City requires, pursuant to the Corona Municipal Code, 1 parking space per 375 square feet of floor area for General Retail and Office uses. As a result, based upon the approximate square footage of this proposed Starbucks (966 square-feet), three (3) parking spaces are required; however, Starbucks will provide eight (8) parking spaces on the parcel. Further, as detailed by Planning Staff, a total of 452 parking spaces are required in the Shopping Center; however, there will actually be a surplus of seven (7) additional parking spaces as a total of 459 parking spaces will be provided.

Moreover, as the April 25, 2022 Updated Parking Demand Analysis found through conducting parking surveys, the “site experienced a weekday (Thursday) peak parking demand of 129 vehicles (49% utilization) within the entire site at 4:00 PM and a weekend (Saturday) peak parking demand of 125 vehicles (47% utilization) within the entire site at 12:00 PM.” As such, the parking at the Shopping Center will not be negatively impacted by the proposed Starbucks as parking remains adequate (and, in reality, parking is in surplus of the requirements under the Corona Municipal Code and the needs of the existing Center) as evidenced by the parking counts and photographs.

Further, with respect to parking for employees, the property owner for Green River Promenade Shopping Center, through the Rules and Regulations for all leases at the property, reserves the right to require or make changes relative to the location of where employees are designated to park,

which includes, but is not limited to requiring employees to park in the rear of the Shopping Center. However, to date, we are informed that the property owner has not had to enforce any such requirement because parking has not been impacted at the Shopping Center; but, if ever impacted, the property owner reserves such right.

Removal of First Drive-Aisle Entrance:

As mentioned during the last Planning Commission hearing earlier this month, there were questions and/or concerns regarding the closure of the first drive-aisle entrance into the Shopping Center from Green River Road. Specifically, coming off Green River Road, there is an entrance to the parcel +/- 128 feet from Green River Road and there is another entrance to the parcel another +/- 72 feet past the first entrance.

The site plan proposes to close off the first entrance (approximately 128 feet from Green River Road) in order to allow a longer stacking/queue in the drive-through lane. Closing off this entrance is consistent with appropriate site access design by maximizing the throating, which eliminates unsafe conflicting movements within the main site access drive aisle, and also helps to direct traffic to the rest of the center and provide a clearer path of drive traffic to the Shopping Center and office buildings on the other side. Further, the closure of this first drive aisle will result in far less cut-through traffic within the Shopping Center, which has been a concern for the property owner, as the property owner has even contemplated closing off this drive-aisle regardless of the proposed Starbucks development. Notably, the second drive-aisle (approximately 72 feet past the first entrance) contains speed bumps along the path of travel whereas the first drive-aisle does not, and unfortunately, it has become common place for drivers to utilize the first drive-aisle to cut through the Shopping Center (and avoid speed bumps) in an effort to avoid any traffic on Green River Road. Of course, this poses a safety concern and thus, the elimination of this first drive-aisle entrance not only provides a clearer path of travel, but a safer path of travel as well.

Trash Enclosure:

At the last Planning Commission hearing, there was also a comment and/or question regarding the proposed location of the trash enclosure at the site. In order to address this comment, multiple locations were evaluated for the location of the trash enclosure and the final location was determined based upon the following rationale:

- The existing location and size of the trash enclosure meets the Health Code requirements as well as Starbucks operational requirements
- The existing location of the trash enclosure results in a ideal length of travel for Starbucks employees (i.e., an employee does not have to travel a long distance)
- The existing location of the trash enclosure is on main aisle in order to allow for necessary and easy trash pickup
- An accessible (and safe) path of travel from the store to the trash enclosure is required and the existing location of the trash enclosure meetings this requirement

In sum, the proposed location of the trash enclosure best serves the needs of the proposed business and meets the Health Code requirements related to location and size.

Lastly, as demonstrated at the prior Planning Commission hearing, both through public testimony and Planning Staff's report regarding calls and letters submitted, there is a great deal of support from the community for this proposed Starbucks. In fact, all outreach to the existing tenants at Green River Promenade Shopping Center has been positive and people are anxiously awaiting the approval and ultimate opening of the proposed Starbucks. The Starbucks will serve existing business owners and operators as well as visitors and residents in the area. Further, with the site



plan changes, as recommended by the Planning Commission, and implemented by the Applicant, the use will be desirable and provide a benefit to the City.

Again, we appreciate the opportunity to work with Planning Staff and the Planning Commission to bring a great operator to the City of Corona.

At the Planning Commission meeting on Monday, May 8, 2023, which we understand to be the date that the Planning Commission will hear this item, we will have the following subject matter experts available to answer any additional questions and concerns:

Pad A Property Owners:	Chuck Levine and Rich Gebele
Shopping Center Owner:	Orion Wise
Starbucks District Manager:	Jihad Abdullah
Starbucks Store Development Manager:	Thomas Driessen
Traffic Engineer:	Kiel Maberry
Bickel Group Architecture:	Kate Curtin
	Chloe Watson

Thank you for your time and consideration. We look forward to continuing the conversation at the May 8, 2023 Planning Commission meeting and we respectfully request that the Planning Commission approve this Conditional Use Permit application.

Sincerely,

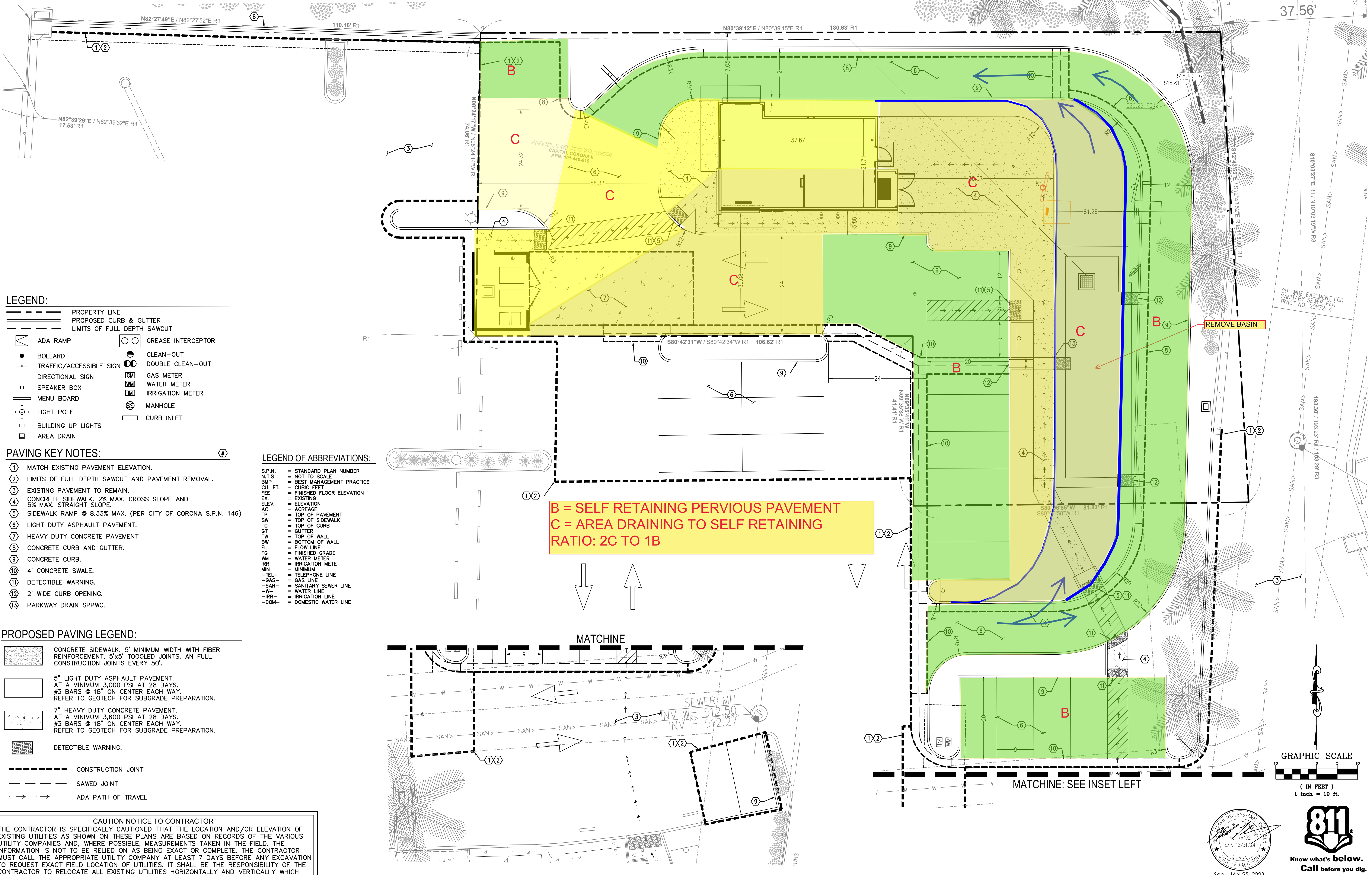
Kate Cizek Curtin, AIA | Project Manager

bg | Bickel Group Architecture

Bickel Group Incorporated

3600 Birch Street, Suite 120 | Newport Beach, CA 92660

P: 949.757.0411 x230 | D: 949.239.7843 | kcurtin@bickelgrp.com



- LEGEND:**
- PROPERTY LINE
 - PROPOSED CURB & GUTTER
 - LIMITS OF FULL DEPTH SAWCUT
 - ADA RAMP
 - BOLLARD
 - TRAFFIC/ACCESSIBLE SIGN
 - DIRECTIONAL SIGN
 - SPEAKER BOX
 - MENU BOARD
 - LIGHT POLE
 - BUILDING UP LIGHTS
 - AREA DRAIN
 - GREASE INTERCEPTOR
 - CLEAN-OUT
 - DOUBLE CLEAN-OUT
 - GAS METER
 - WATER METER
 - IRRIGATION METER
 - MANHOLE
 - CURB INLET

- PAVING KEY NOTES:**
- 1 MATCH EXISTING PAVEMENT ELEVATION.
 - 2 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
 - 3 EXISTING PAVEMENT TO REMAIN.
 - 4 CONCRETE SIDEWALK, 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE.
 - 5 SIDEWALK RAMP @ 8.33% MAX. (PER CITY OF CORONA S.P.N. 146)
 - 6 LIGHT DUTY ASPHALT PAVEMENT.
 - 7 HEAVY DUTY CONCRETE PAVEMENT
 - 8 CONCRETE CURB AND GUTTER.
 - 9 CONCRETE CURB.
 - 10 4" CONCRETE SWALE.
 - 11 DETECTIBLE WARNING.
 - 12 2' WIDE CURB OPENING.
 - 13 PARKWAY DRAIN SPPWC.

- LEGEND OF ABBREVIATIONS:**
- S.P.N. = STANDARD PLAN NUMBER
 - N.T.S. = NOT TO SCALE
 - B.M.P. = BEST MANAGEMENT PRACTICE
 - C.U. FT. = CUBIC FEET
 - F.F.E. = FINISHED FLOOR ELEVATION
 - EX. ELEV. = EXISTING ELEVATION
 - AC. = ACREAGE
 - TP = TOP OF PAVEMENT
 - SW = TOP OF SIDEWALK
 - TC = TOP OF CURB
 - GT = GUTTER
 - TW = TOP OF WALL
 - BW = BOTTOM OF WALL
 - FL = FLOW LINE
 - FG = FINISHED GRADE
 - WM = WATER METER
 - IRR = IRRIGATION METER
 - MIN = MINIMUM
 - TEL = TELEPHONE LINE
 - GAS = GAS LINE
 - SAN = SANITARY SEWER LINE
 - W = WATER LINE
 - IRR = IRRIGATION LINE
 - DOM = DOMESTIC WATER LINE

- PROPOSED PAVING LEGEND:**
- CONCRETE SIDEWALK, 5' MINIMUM WIDTH WITH FIBER REINFORCEMENT, 5'x5' TOOLED JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50'.
 - 5" LIGHT DUTY ASPHALT PAVEMENT, AT A MINIMUM 3,000 PSI AT 28 DAYS, #3 BARS @ 18" ON CENTER EACH WAY, REFER TO GEOTECH FOR SUBGRADE PREPARATION.
 - 7" HEAVY DUTY CONCRETE PAVEMENT, AT A MINIMUM 3,600 PSI AT 28 DAYS, #3 BARS @ 18" ON CENTER EACH WAY, REFER TO GEOTECH FOR SUBGRADE PREPARATION.
 - DETECTIBLE WARNING.
 - CONSTRUCTION JOINT
 - SAWED JOINT
 - ADA PATH OF TRAVEL

CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

38 Executive Park
Suite 310
Irvine, CA 92614
Ph: 760-338-3388
Kyle Fleming, PE
CIVIL ENGINEER

Designed by KWF	Drawn by GPK	Checked by JMCE	DPR2021-0010; PWG2022-0014 CUP2021-0004	08/22 12/08	GPK GPK	INITIAL SUBMITTAL 2ND SUBMITTAL	BENCH MARK CITY BENCHMARK: C-92 ELEV.=517.171 FEET.	Engineering Planning DWP	Approved By: Savat Khamphou City Engineer R.C.E. No. 62019	CITY OF CORONA STARBUCKS 430 GREEN RIVER ROAD PWGR2022-0040 PAVING	Drawing No. 22-057P PAVING Sh 3 of 14
PLANS PREPARED UNDER SUPERVISION OF Date 08/22/22 R.C.E. No. 76432			Reference Plans for these Improvements		Date	By	REVISIONS	App'd	Scale 1 inch = 10 feet		

Know what's below.
Call before you dig.

Green River Promenade/SDO Business Park Parking Analysis
4/19/2023

Green River Promenade Commercial Center (4300 Green River)					
Suite	Tenant	Floor Area (SF)	Use	Parking Requirement	Required Parking
101	Maiz Cocina - Indoor	2,009	Restaurant	1/125	16.07
	Maiz Cocina - Patio	778	Restaurant	1/125	6.2
102	Happy Hour Saloon	1,199	Restaurant	1/125	9.59
103	Choco Bakery	1,214	Bakery/Restaurant	1/125	9.71
104	Mac Star Computers	1,200	Retail	1/375	3.2
105	Green River Denstistry	1,200	Dentist	1/375	3.2
106	Blackburns	1,200	Catering	1/375	3.2
107	J Sushi	3,000	Restaurant	1/125	24
108	Sheheidas Place	2,222	Office	1/375	5.92
111	Big Al's Pizza	2,750	Restaurant	1/125	22
112	Night in Heaven	1,146	Retail	1/375	3.06
113	Classy Nails & Spa	1,146	Nail salon	1/375	3.05
114	Hanson Physical Therapy	1,141	Medical	1/375	3.05
115	One Stop Liquor	1,320	Retail	1/375	3.52
116	Donut Shop	950	Take-out	1/375	2.53
117	Royal Claners	1,930	Cleaners	1/375	5.14
118	Thai E-San Cuisine	1,350	Restaurant	1/125	10.8
109A	Corona Hills Fitness	5,776	Gym	1/150	38.51
109B	Romp-O-Rama	9,998	Commercial Recreation	1/375	26.66
Pad A	Starbucks	966	Restaurant/Café	1/375	2.57
Pad B	Copperlocks	2,243	Restaurant	1/125	17.94
				Total Required	219.92
				Total Provided	231

76 / Circle K					
Address	Tenant	Floor Area (SF)	Use	Parking Requirement	Required Parking
4350	76 Gas Station & Circle K	2,800	Convenience Store	1/250	11.2
			Gas Canopy	3 Spaces Minimum	3
				Total Required	14.2
				Total Provided	13

Sierra Del Oro Business Park (See Notes)					
Address	Tenant	Floor Area (SF)	Use	Parking Requirement	Required Parking
4264	Dental	4,695	Dental	1/375	12.52
4254	Rehau	4,169	Office	1/375	11.12
4230	Vacant	6,479	Office	1/375	17.28
4234	Vacant	6,807	Office	1/375	18.15
4238	Vacant	7,513	Office	1/375	20.03
4226	Mortgae Lending	7,145	Office	1/375	19.05
4222	Mission Financial	6,607	Office	1/375	17.62
4218	Staffing	6,333	Office	1/375	16.88
4214	Vacant	6,447	Office	1/375	17.19
4210	Vacant	6,019	Office	1/375	16.05
4190	Green River Escrow	7,991	Office	1/375	21.31
4180	St. Christopher	15 employees & 160 patrons	Adult Daycare	1 per 10 patron plus 1 per employee	31
				Total Required	218.2
				Total Provided	213

Total No. of Existing Spaces Provided (Before Starbucks)	476
No. of Spaces Removed For Starbucks	-40
No. of Spaces Replaced By Starbucks	21
Total No. of Spaces PROVIDED With Starbucks	457
Total No. Spaces REQUIRED With Starbucks	452
Surplus	5

Notes:

1. The 213 spaces provided for the SDO Business Park includes 11 spaces which are located on the St. Christopher Adult Daycare parcel (4180 Green River Rd) and 202 spaces which are located within the business park site (4190-4264 Green River Rd).
2. Any request or modification to parking that requires additional parking in the SDO Business Park site requires approval from the Green River Promenade commercial center.

EXHIBIT 9

Dear Planning Commissioners,

My name is Orion and I'm with CIN. We handle the property management for 4300 Green River Road (Green River Promenade, the retail center adjacent to the new proposed Starbucks). **We are supportive of this new Starbucks**, what it means to bring them in as a new business at our center, and showing that we have come such a long way since 2013! I'm emailing to help the owners of the site complete their development. After I heard about the February planning commission continuance despite full staff support, years of planning, and lots of pre-discussion and approval in concept with the City, I figured I'd voice support more formally to help them in this process, as I have with the last 15 new businesses to Corona we've helped get open for business since 2013, bringing in both jobs, AND providing much needed services for the local community. I've since been informed the developers are trying to set up meetings directly here, but just in case I don't get the chance to speak with each of you personally, I was told the below 3 points were the main concerns of the planning commission, so I wanted to offer my feedback on them in advance:

- If you have concerns or questions around the community impact of the site, I am happy to explain the detailed history of the site, on how we have worked the better part of a decade to turn what was a run down 65% vacant center with 3 dirt lots that businesses didn't want to look at into a 100% occupied property with built out pad sites attracting national chains.
- If you have concerns or questions around competition within our property, I am happy to explain our process and why it has worked for us more than other properties in the area, and how we became supportive of this site for a Starbucks. This is not the first, nor likely the last time we will have to navigate having business that compete on some share of their products, but just like we got our Maiz Cocina's liquor license years after they opened for business in a way that didn't jeopardize Happy Hour Saloon's business, I could show that we do not make these decisions lightly, and we consider a lot of data in arriving at our conclusions.
- If you have concerns or questions around traffic impact, I could explain why this might actually help alleviate the cut thru traffic we have experienced for years from people who race through the speed bumps we installed to save 5 minutes turning left from Dominquez Ranch Rd. instead of just continuing on Green River to the 91, or address other parking related site concerns.

As a property management firm, we understand the burden of your job here. You are responsible for balancing constrained resources with imperfect information against many competing interests, all of which complain when they don't get what they want, and few of which appreciate you when they do. **I would just like to say that we do appreciate the hard work you do, and we look forward to working with you to help make Corona a better place to live and work.**

Best Regards,

Orion Wise
Portfolio Manager
Capital Investment Network, Inc.
BRE #01919398
Office (714) 960-0400
Cell (714) 469-9287
Email: Orion@cin-inc.net

EXHIBIT 10

Rafael Torres

From: West Corona Dentistry <westcoronadentistry@gmail.com>
Sent: Wednesday, April 5, 2023 12:40 PM
To: Rafael Torres
Subject: Starbucks- Green River Promenade

Follow Up Flag: Follow up
Flag Status: Completed

You don't often get email from westcoronadentistry@gmail.com. [Learn why this is important](#)

[CAUTION] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Good Afternoon: We are tenants of Green River Promenade. 4264 Green River Rd #102 Corona Ca 92878. We support the Starbucks project going forward as it would lead to more traffic for our business and increase more business to this center. Starbucks peak hours 6:30am-8:30am do not present a problem for my clients as our office start time is at 8:30am. Please reconsider this request.

Best Regards,

Alba Rocha
Office Manager

George Nguyen DDS
Business Owner



4264 Green River Rd. Ste. 102
Corona, Ca 92880
P (951)340-0200
F (951)278-9858

EXHIBIT 11

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
4300 Green River Road**

I understand that the property owner for the undeveloped pad, located at 4300 Green River Road, has applied for a Conditional Use Permit in order to have a Starbucks with walk-up and drive-through services only (no interior/exterior seating) at this location.

This will be a benefit to our community and will provide additional business to the existing tenants located in the Green River Promenade Commercial Center. By signing this Petition, I am supporting the Applicant's request for a Conditional Use Permit and respectfully request that the Planning Commission approve the project.

Date: 4/20 Signature: [Signature] Printed Name: Marcelia Santiago
Address (street, city): 4226 Green River Phone number: 951-268-6168

Date: 4/20 Signature: [Signature] Printed Name: Alexah Hernandez
Address (street, city): 4226 Green River Phone number: 951-268-6168

Date: 4/20 Signature: [Signature] Printed Name: Valeria Mendoza
Address (street, city): 4226 Green River Phone number: (951) 338-9075

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____


Address (street, city): _____ Phone number: _____


EXHIBIT 12

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
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Date: 4/20/23 Signature:  Printed Name: Milton Ecanoy
Address (street, city): 4330 Green River Rd Phone number: 949 929 2651
Corona, CA 92880

Date: 4/20/23 Signature:  Printed Name: Lynne Davis
Address (street, city): 4401 Green River Rd Phone number: 951-281-9515
Corona, CA 92880

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

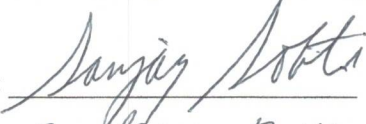
Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

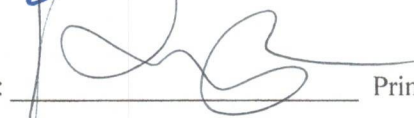
**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
4300 Green River Road**

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This will be a benefit to our community and will provide additional business to the existing tenants located in the Green River Promenade Commercial Center. By signing this Petition, I am supporting the Applicant's request for a Conditional Use Permit and respectfully request that the Planning Commission approve the project.

Date: 4/20/23 Signature:  Printed Name: Sanjay Sobti
Address (street, city): 4230 Green River Rd Corona, CA 92682 Phone number: 951-317-095

Date: 4/24/23 Signature:  Printed Name: Carlos Vazquez
Address (street, city): 7230 Granada Rd Corona CA Phone number: 951 371-0227

Date: 04/20/23 Signature:  Printed Name: Lourdes Ruiz
Address (street, city): 11910 Pine St. Phone number: (951) 405-2254

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____


Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
4300 Green River Road**

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Date: 4/24/13 Signature:  Printed Name: Al Le
Address (street, city): _____ Phone number: 714-329-5676

Date: _____ Signature: _____ Printed Name: _____
Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____
Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____
Address (street, city): _____ Phone number: _____


Date: _____ Signature: _____ Printed Name: _____
Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____
Address (street, city): _____ Phone number: _____

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
4300 Green River Road**

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Date: 4/20/23 Signature:  Printed Name: Alba Rocha
Address (street, city): 4264 Green River Rd #102 Phone number: 951-340-0200
Corona Ca

Date: 4/20/23 Signature:  Printed Name: Adela Gonzalez
Address (street, city): _____ Phone number: 909-881-2460

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____


Date: _____ Signature: _____ Printed Name: _____


Address (street, city): _____ Phone number: _____

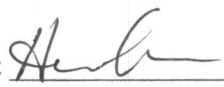
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Date: 4/20/23 Signature:  Printed Name: Vincent Kelle
Address (street, city): 4300 Green River #115 Phone number: 909-496-5248

Date: 4/20/23 Signature:  Printed Name: Teresa Quezada
Address (street, city): 4300 Green River #117 Phone number: (951) 278-3626

Date: 4/20/23 Signature:  Printed Name: HEATHER FRAIJO
Address (street, city): 4300 GREEN RIVER RD Phone number: (951) 354-5888
SUITE 112

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
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Date: 4/20/23 Signature: [Signature] Printed Name: SAM Hilala
Address (street, city): 104 Phone number: _____

Date: 4/20/23 Signature: [Signature] Printed Name: Maria Quiroa
Address (street, city): 4300 Green River Rd Ste 105 Phone number: _____

Date: 4/20/23 Signature: [Signature] Printed Name: Yesenia Valencia
Address (street, city): Ste 105 Phone number: _____

Date: 4/20/23 Signature: [Signature] Printed Name: Maria Jotunne
Address (street, city): Ste 105 Phone number: _____


Date: 4/20/23 Signature: [Signature] Printed Name: Geraldine Villa
Address (street, city): Ste 105 Phone number: _____

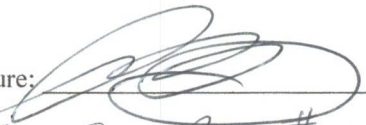
Date: 4/20/23 Signature: [Signature] Printed Name: Douglas Retters
Address (street, city): Cooper Ridge Dr. Commer. Phone number: _____

**PETITION IN SUPPORT OF PROPOSED STARBUCKS WALK-UP AND DRIVE-
THROUGH ONLY (No Interior/Exterior Seating)
4300 Green River Road**

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Date: 20 APR 23 Signature:  Printed Name: Andrew Perez
Address (street, city): 4300 Green River Rd, Corona Phone number: (951) 432-7707

Date: 04/20/23 Signature:  Printed Name: P. B. TIERNEY
Address (street, city): 4300 GREEN RIVER #109B Phone number: 951-432-7707

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

Date: _____ Signature: _____ Printed Name: _____

Address (street, city): _____ Phone number: _____

From: [REDACTED]
To: [Rafael Torres](#)
Subject: Starbucks green river promenade
Date: Tuesday, April 11, 2023 9:43:29 AM

You don't often get email from [REDACTED] [Learn why this is important](#)

[CAUTION] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

We would not like to starbucks to open there. We have already a bakery place in the center. And we fill that will be a conflict.

Thank you,

EXHIBIT 13

WALL BLOCKING KEY

SYMBOL	ITEM	WEIGHT	HEIGHT A.F.F.	APPROX. WIDTH
A	WORKROOM HAND SINK	128 LBS (58 KG)	36" TO 40" (915MM TO 1015MM)	30" (760MM) BEHIND SINK
B	SHELVES ABOVE COMPARTMENT SINK	200 LBS (91 KG)	48" TO 76" (1220MM TO 1930MM)	96" (2440MM) CENTERED ABOVE COMPARTMENT SINK
C	UPPER WIRE SHELVES	BLOCKING SPECIFICATION TO BE PROVIDED BY VENDOR		
D	SHELVES AT MANAGER'S DESK	300 LBS (136 KG)	32" TO 96" (810MM TO 2440MM)	48" (1220MM) 3/4 (19MM) ACX PLYWOOD, CENTERED ON SHELVES
E	EQUIPMENT RACK AT MANAGER'S DESK	300 LBS (136 KG)	44" TO 96" (1120MM TO 2440MM)	28" (710MM) 3/4 (19MM) ACX PLYWOOD, CENTERED ON RACK
F	DT CABINET	BLOCKING SPECIFICATION FOR CBE METAL SHELVES. REFER TO VENDOR'S SPECIFICATION AND DETAILS.		
G	RESTROOM GRAB BARS	200 LBS (91 KG)	30" TO 36" (760MM TO 915MM)	60" (1525MM) AROUND WATER CLOSET
H	RESTROOM HAND SINK	200 LBS (91 KG)	COMMERCIAL INSTALLATION REQUIRES CONCEALED ARM CARRIER. REFER TO MFR'S SPECIFICATION.	
I	UPPER CBE SHELVEING	BLOCKING SPECIFICATION FOR FRENCH CLEATING SYSTEM. REFER TO DETAILS.		
J	WATER FILTRATION SYSTEM	250 LBS (113 KG)	40 1/2" TO 46 1/2" (1030MM TO 1180MM)	32" (810MM) BEHIND STATION

INTERIOR WALL LEGEND

1 EXISTING WALL TO REMAIN

2 NEW INTERIOR WALL TO 0'-6" ABOVE CEILING

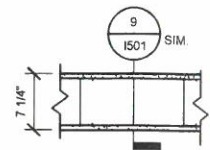
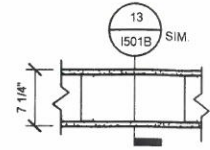
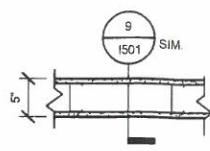
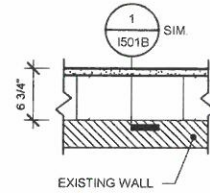
3 NEW FULL HEIGHT PLUMBING WALL

4 NEW PLUMBING WALL TO 0'-6" ABOVE CEILING

4 NEW FURRING PLUMBING WALL TO 0'-6" ABOVE CEILING

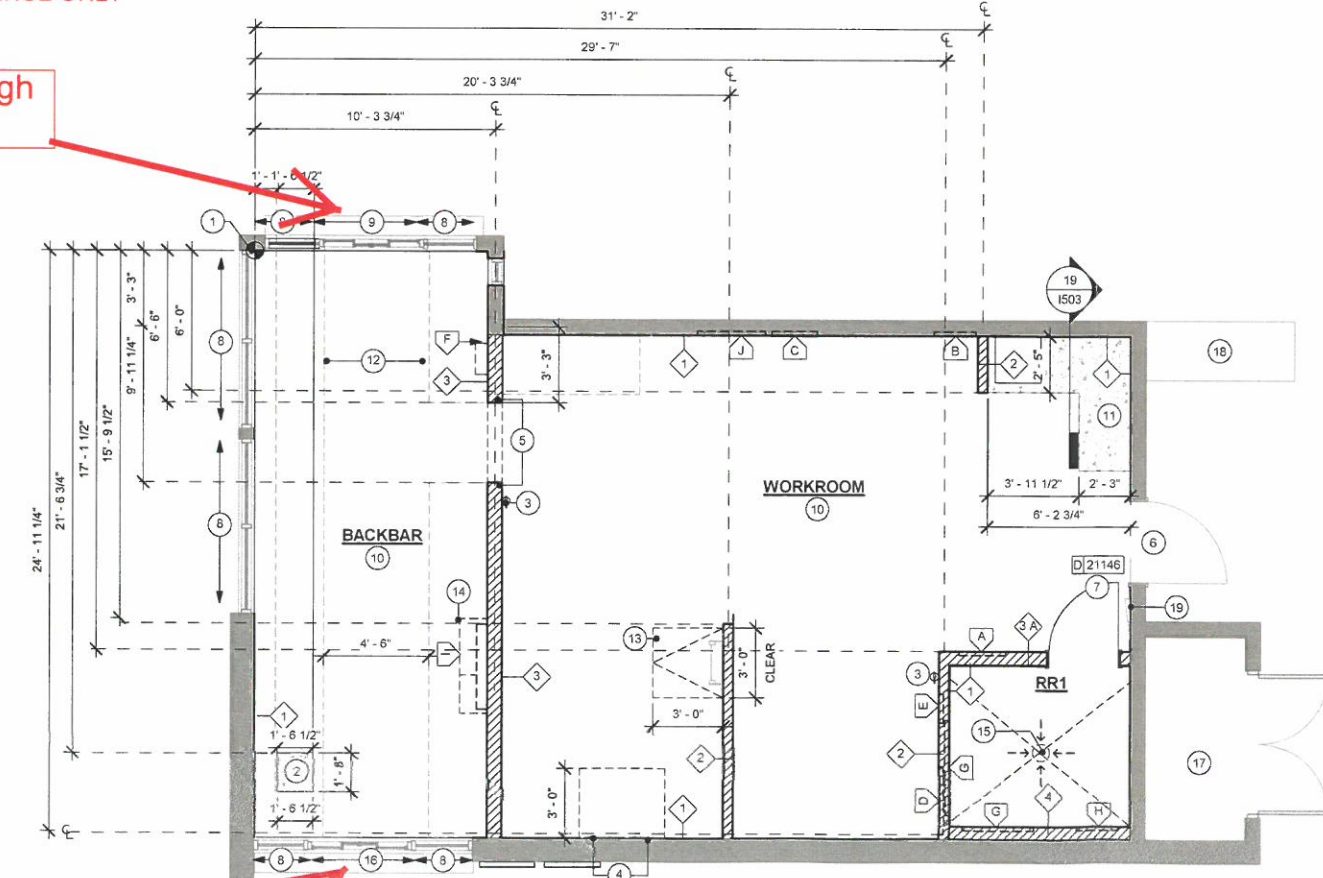
20 GA 3 5/8" METAL STUDS 16" O.C. WITH 5/8" MOISTURE RESISTANT GWB ON ONE SIDE TO MIN 6" ABOVE CEILING DRYWALL. SCREWS @ 10" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

NOTE: RESTROOM WALLS TO GO UP TO STRUCTURE



*** T.I. BY OTHERS FOR REFERENCE ONLY ***

Drive-Through Window



Walk-Up Window

1ST FLOOR - BUILDING FLOOR PLAN 01
Scale: 1/4" = 1'-0"



GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT ANY WALL ATTACHMENT AND/OR SIGNAGE.
- IF EXISTING EXTERIOR ENTRANCE THRESHOLD EXCEEDS MINIMUM BARRIER FREE PROVISION OF THE CODE, REMOVE AND REPLACE WITH ACCESSIBLE THRESHOLD. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS TO BE BEVELED WITH A SLOPE NO GREATER THAN 1:12.
- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS SHOWN OR NOTED OTHERWISE.
- INSTALL MOISTURE RESISTANT GREEN BOARD ON BACKBAR WALL PER PROJECT MANUAL.
- ALL DOORS SHALL BE 32" (815MM) MINIMUM CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION UNLESS OTHERWISE NOTED.
- SEE SHEET A601 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- STARBUCKS VENDOR TO PROVIDE DOOR HARDWARE COMPONENTS AND GC TO INSTALL.
- VERIFY ALL EXISTING DOORS, HARDWARE AND FRAMES MEET STARBUCKS AND/OR CODE REQUIREMENTS.
- PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE CITY.
- SEE STRUCTURAL FOR KNEE WALL BRACING.
- SEE SHEET A501 FOR BUILDING DETAILS.
- REFER TO SHEET 1104 FOR FLOOR FINISHES.

KEYNOTES

- DIMENSION CONTROL DATUM POINT
- (N) GC TO PROVIDE & INSTALL 6" CONCRETE CURB AT SAFE CABINET, NOT TOE KICK. CURB TO RECEIVE TILE BASE.
- FIRE EXTINGUISHER LOCATION.
- (E) ELECTRICAL PANELS, MAINTAIN MINIMUM CLEARANCE AS REQUIRED BY CODE. SEE ELECTRICAL PLANS.
- ALIGN FACE OF FINISHED WALL.
- (E) 42"X84" EXIT DOOR TO REMAIN, UNDER SHELL PERMIT.
- INSTALL NEW DOOR AS INDICATED. SEE SCHEDULES FOR DOOR AND HARDWARE TYPE FOR MORE INFORMATION SEE SHEET 1602.
- (E) STOREFRONT, ENTRANCE/EXIT DOOR TO REMAIN, UNDER SHELL PERMIT.
- (E) DRIVE THRU WINDOW TO REMAIN, UNDER SHELL BUILDING PERMIT. WINDOW OPENING SHALL NOT EXCEED 432 SF.
- (N) PROVIDE BLOCKING AS REQUIRED TO SUPPORT ANY WALL ATTACHMENTS. REFER TO WALL BLOCKING KEY.
- GC TO PROVIDE AND INSTALL 10" CONCRETE CURB FOR R.O. SYSTEM AND MOP SINK. REFER TO PLUMBING DRAWINGS FOR MOP SINK SPECIFICATIONS.
- OUTLINE OF COUNTERTOPS PER CASEWORK MANUFACTURER AT BACKBAR. REFER TO CASEWORK SHEETS FOR MORE INFORMATION.
- 36" (915 MM) CLEAR FOR ROOF LADDER ACCESS.
- DASH LINE INDICATED UPPER STORAGE AND SHELVES. SEE SHEET 1102C FOR MORE DETAILS AND INFORMATION.
- SLOPE FLOOR SLAB TO SANITARY WASTE FLOOR DRAIN 1/8" PER 1'-0" OF RUN.
- (E) WALK-UP WINDOW TO REMAIN, UNDER SHELL BUILDING PERMIT. WINDOW OPENING SHALL NOT EXCEED 432 SF.
- (E) SWITCH GEAR CLOSET TO REMAIN UNDER SHELL PERMIT.
- BIKE LOCKER.
- (E) LIGHTING CONTROL PANEL, MAINTAIN MINIMUM CLEARANCE AS REQUIRED BY CODE. SEE ELECTRICAL PLANS.

GENERAL LEGEND

- NEW FULL HEIGHT WALL
- NEW PARTIAL HEIGHT WALL
- EXISTING WALL
- WALL BLOCKING CALL-OUT



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URBAN DWELL ARCHITECTS
ADDRESS: 43180 BUSINESS PARK DR
SUITE 203
TEMECULA, CA 92590
PHONE: (714) 331-6114
EMAIL: info@urbandwellarchitects.com



PROJECT NAME:
GREEN RIVER & DOMINGUEZ RANCH

PROJECT ADDRESS:
DOMINGUEZ RANCH RD AND GREEN RIVER RD CORONA, CA

STORE #: 69011
PROJECT #: 93272-001
ISSUE DATE: 10-30-2022
DESIGN MANAGER: KIMBERLY ROSKY
PRODUCTION DESIGNER: YOUSINA SOBYH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

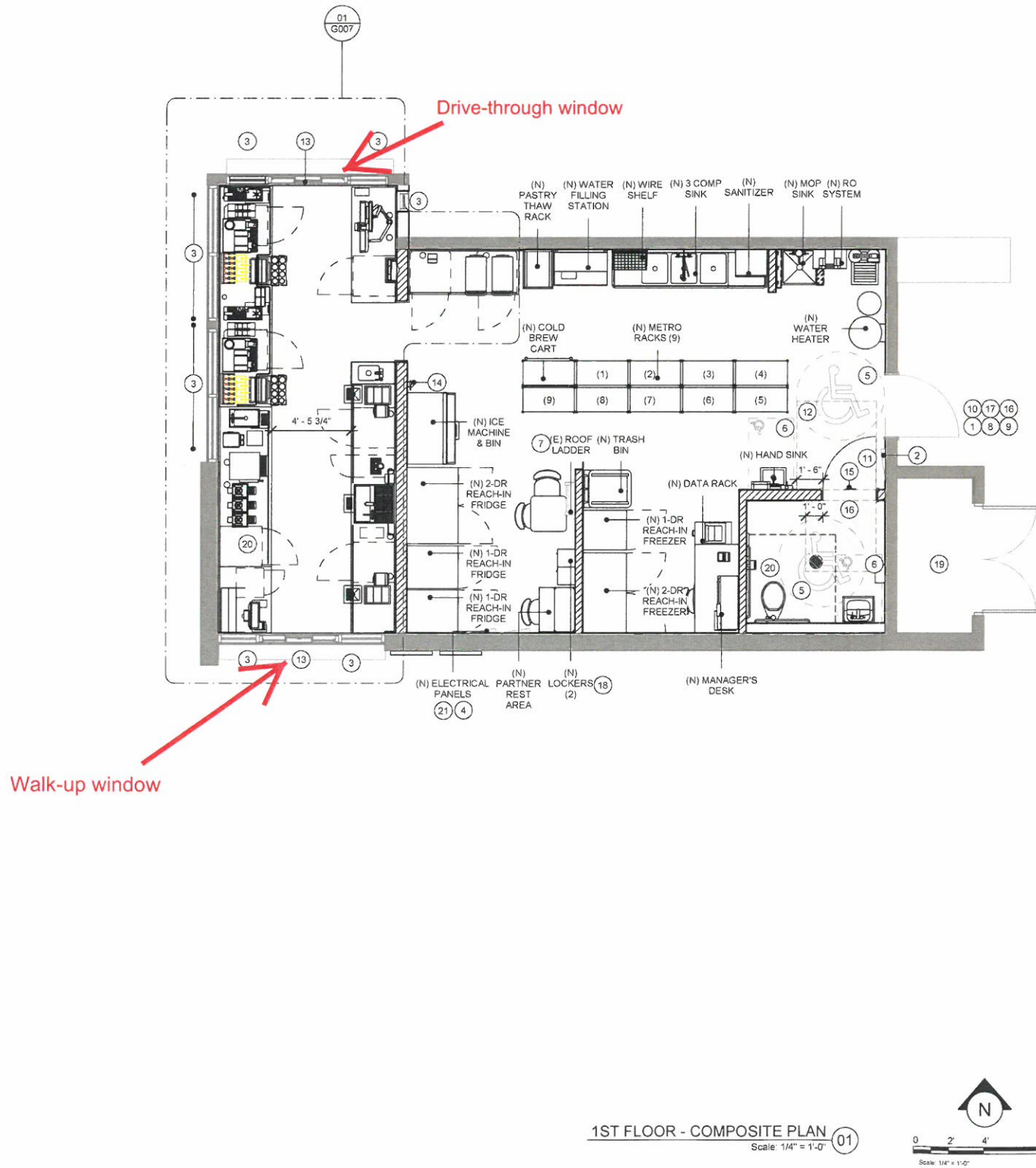
SHEET TITLE:
BUILDING FLOOR PLAN

SCALE: AS SHOWN

SHEET NUMBER:

EXHIBIT 14

*** T.I. BY OTHERS FOR REFERENCE ONLY ***



COMPOSITE PLAN GENERAL NOTES

- A. EXISTING ACCESSIBILITY COMPLIANT PATH OF TRAVEL TO REMAIN.
- B. ALL THRESHOLD AND FLOORING MATERIAL TRANSITIONS TO MEET ACCESSIBILITY REQUIREMENTS ON G009.
- C. ALL DOORS CLEARANCES PER DETAIL 1/G009, U.O.N.
- D. CONTRACTOR TO VERIFY EXISTING SITE ACCESSIBILITY COMPLIANCE WITH 2019 EDITION OF CBC.
- E. IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS OF THE LAW, HE/SHE SHALL REQUIRE COMPLETE, DETAILED PLANS TO THE PLANNING AND BUILDING DEPARTMENT FOR FURTHER REVIEW. PLANS MUST CLEARLY SHOW ALL EXISTING NON CONFORMING CONDITIONS AFFECTED BY THE REMODEL (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC) AND PROPOSED MODIFICATIONS OF THE DEFICIENCIES TO MEET CURRENT ACCESSIBILITY PROVISIONS.
- F. PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS MUST BE SUBMITTED TO THE BUILDING DIVISION AND APPROVED BY THE FIRE DEPARTMENT BEFORE THIS EQUIPMENT IS INSTALLED.

ACCESSIBILITY KEYNOTES

1. EXISTING LEVEL LANDING THRESHOLD TO REMAIN. SEE 4/G009.
2. LIGHTING CONTROL PANEL.
3. EXISTING STOREFRONT AND/OR EXIT DOOR. WINDOWS ARE FIXED/ INOPERABLE, EXCEPT FOR THE DRIVE THRU WINDOW.
4. ELECTRICAL PANELS LOCATION, MAINTAIN MINIMUM CLEARANCE AS REQUIRED BY CODE. SEE ELECTRICAL DRAWINGS.
5. 60" DIAMETER CLEAR FOR WHEELCHAIR ACCESS.
6. 30" x 48" CLEAR FLOOR FOR WHEELCHAIR ACCESS.
7. EXISTING ROOF LADDER, ALIGN WITH ROOF ACCESS HATCH OPENING.
8. GC TO POST INTERNATIONAL SYMBOL OF ACCESSIBILITY.
9. EXISTING DOOR TO REMAIN UNDER SHELL PERMIT.
10. PROVIDE CLEAR MANUEVERING SPACES PER DETAIL 1/G009.
11. NEW DOOR. SEE DOOR SCHEDULES SHEET #602 FOR MORE INFORMATION.
12. MAINTAIN CLEARANCE ON PUSH AND PULL SIDES OF DOOR ACCORDING TO 2010 ADA STANDARDS 404.2.4.1 AS INDICATED.
13. EXISTING DRIVE THRU, PICK-UP AND WALK-UP WINDOW WITH AIR CURTAIN ABOVE TO REMAIN.
14. (N) FIRE EXTINGUISHER - TYPE 2A10BC PER CFC 906.
15. TACTILE RESTROOM UNISEX SIGN PER DETAIL 3/G010.
16. TACTILE EXIT SIGN PER DETAIL 13/G009.
17. GC TO POST SIGN THAT READS "NO SMOKING" PER CAL GREEN SECTION 5.
18. WHERE LOCKERS ARE PROVIDED, AT LEAST 5%, BUT NOT FEWER THAN ONE OF EACH TYPE, SHALL COMPLY WITH SECTION 11B-811.
19. EXISTING SWITCH GEAR CLOSET UNDER SHELL PERMIT.
20. P.O.S. HANDOFF PLANES ARE 2'-10" AFF FOR WHEELCHAIR ACCESSIBILITY AND TO COMPLY WITH CBC 11B-220.2 POINT OF SALE DEVICES. SEE INTERIOR ELEVATIONS.
21. (E) THE ELECTRICAL PANELS.



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EMAIL: info@urbandwellarchitects.com



PROJECT NAME:
GREEN RIVER & DOMINGUEZ RANCH

PROJECT ADDRESS:
**DOMINGUEZ RANCH RD AND
GREEN RIVER RD CORONA, CA**

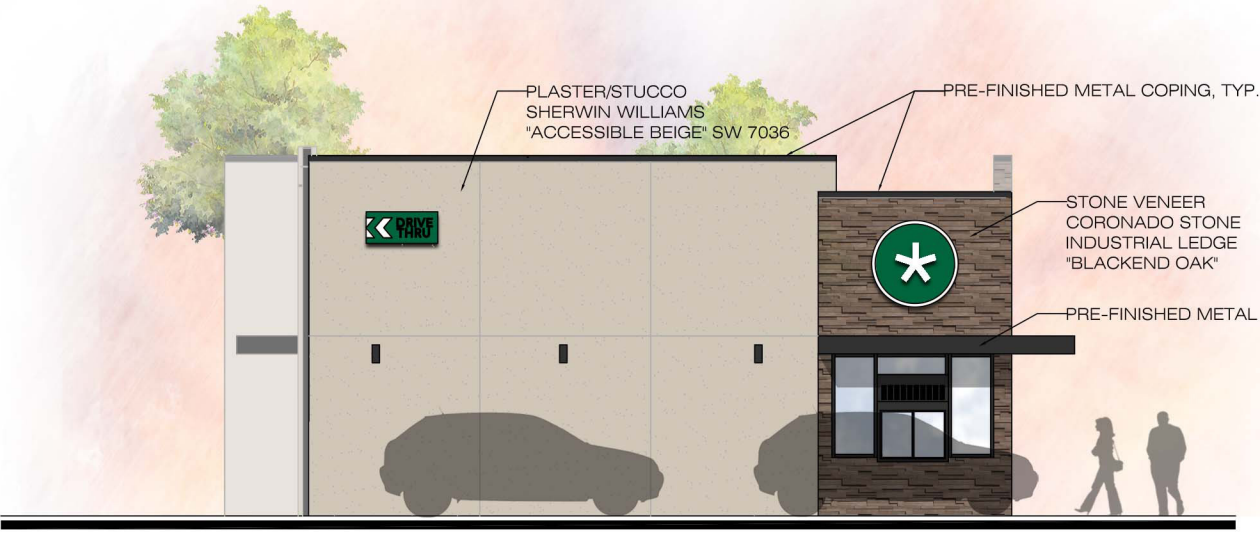
STORE #: 69011
PROJECT #: 93272-001
ISSUE DATE: 10-30-2022
DESIGN MANAGER: KIMBERLY ROSKY
PRODUCTION DESIGNER: YOUSFINA SOBYH
CHECKED BY: MAIKEL FARAGALLA

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
COMPOSITE PLAN

SCALE: AS SHOWN

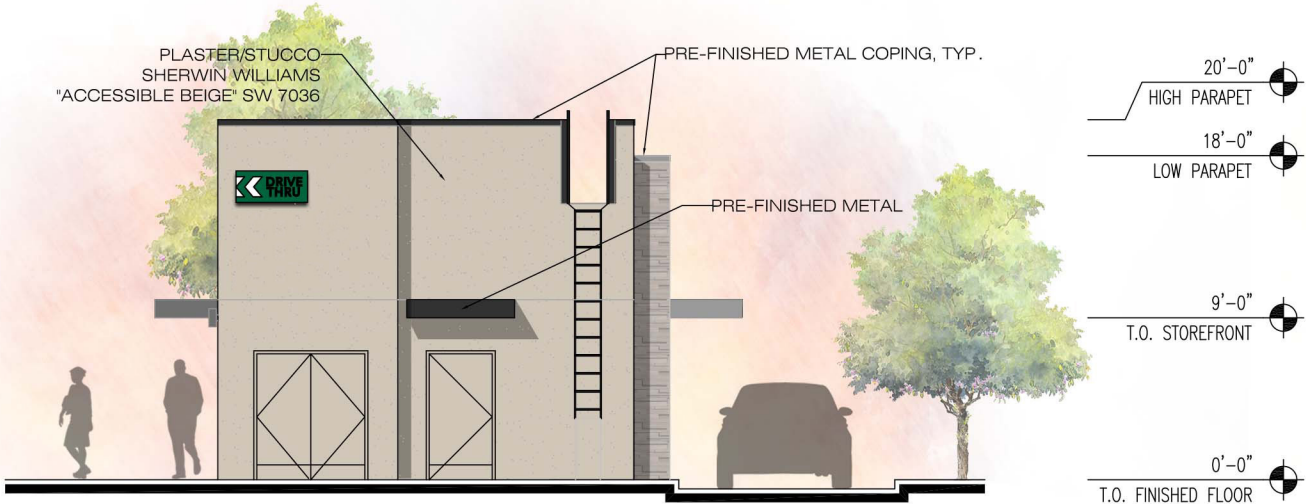
SHEET NUMBER:
G006



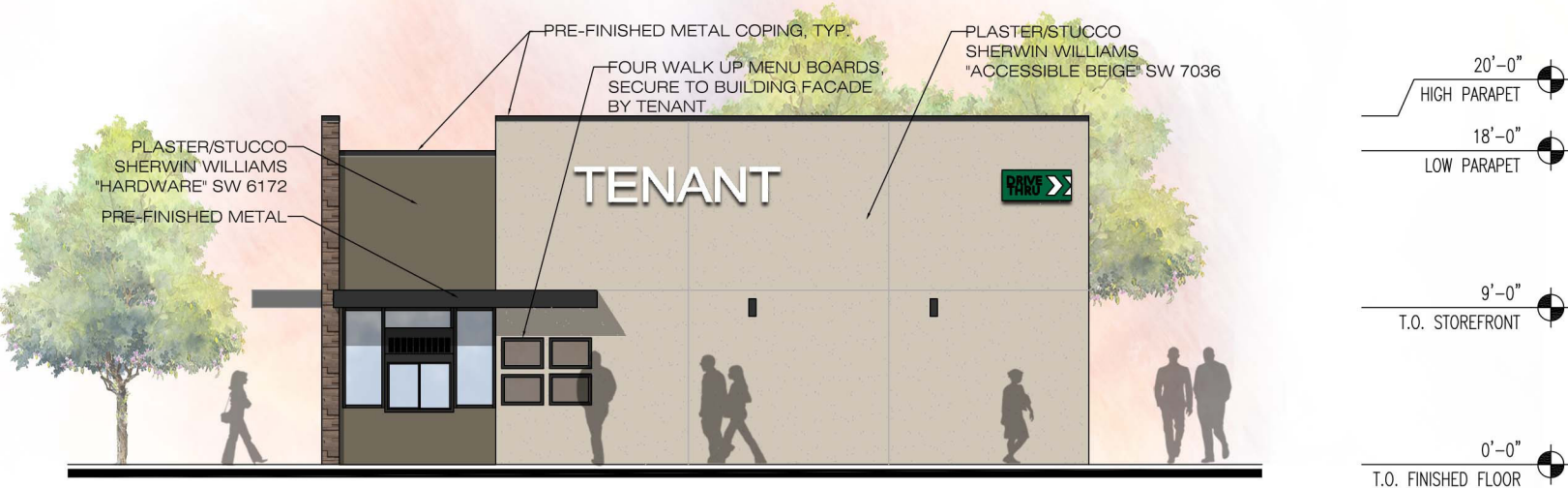
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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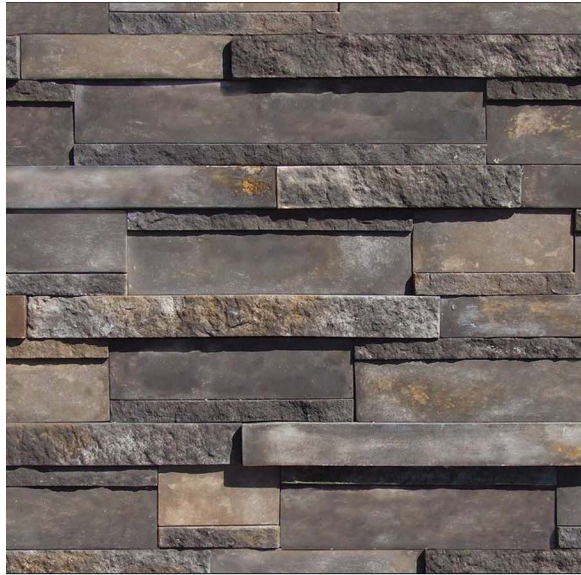
ELEVATIONS

Scale: 3/32" = 1'-0"
September 06, 2022

EXHIBIT 15

Project: 211105 - Corona, SEC Green River Rd & Dominguez Ranch
Road - Elevations (x21350) Elevation 211105.dwg

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STONE VENEER
CORONADO STONE
ELEMENT LEDGESTONE
MOUNT VERNON



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SHERWIN WILLIAMS
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PLASTER/STUCCO
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EXHIBIT 16
MATERIAL BOARD

November 18, 2021

P:\21\21350 - Corona, SEQ Green River Rd & Dominguez Ranch
Rd\Design\Elevations\21350 Elevation 211105.dwg

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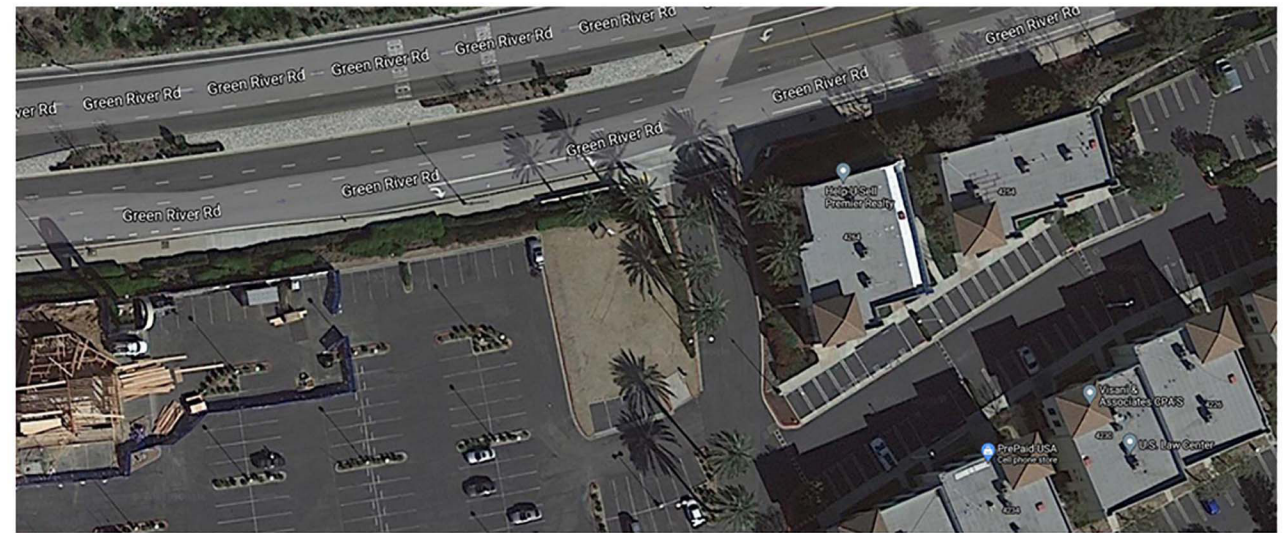
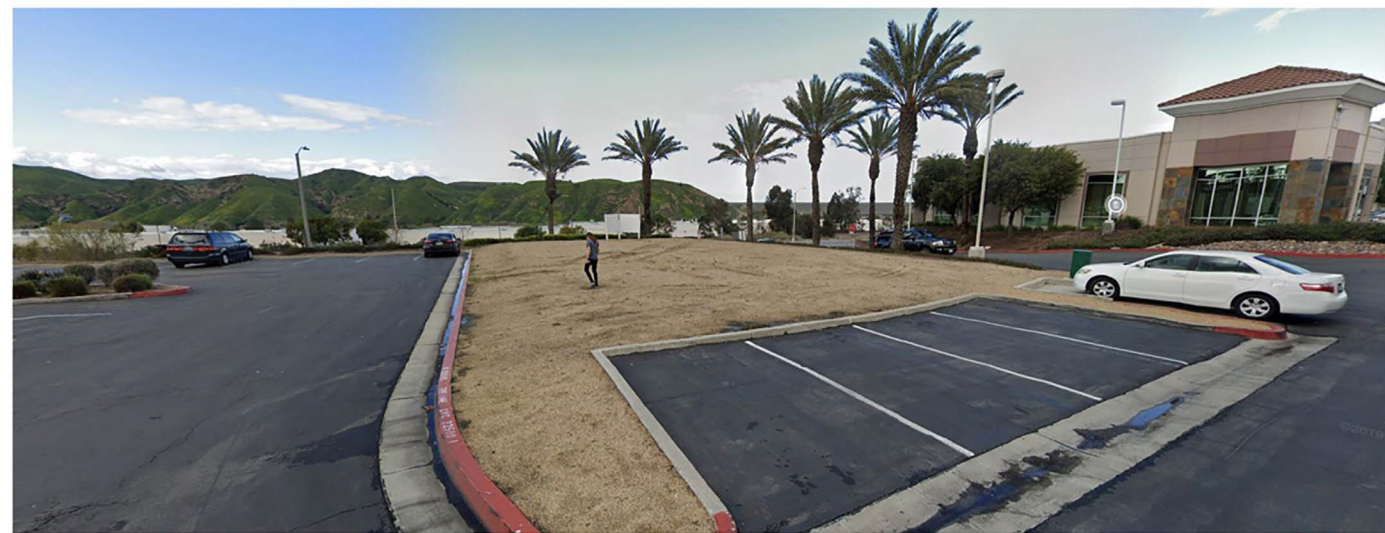


EXHIBIT 17

SITE PHOTOS

November 18, 2021

P:\21\21350 - Corona, SEC Green River Rd & Dominguez Ranch Rd\Design\Site\21350 Site Plan 211028.dwg

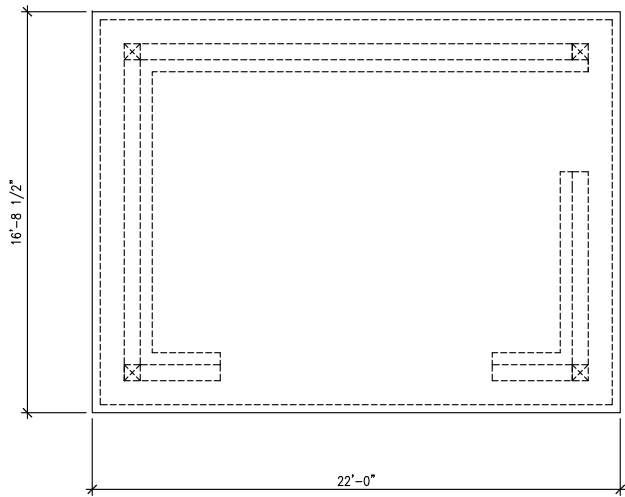
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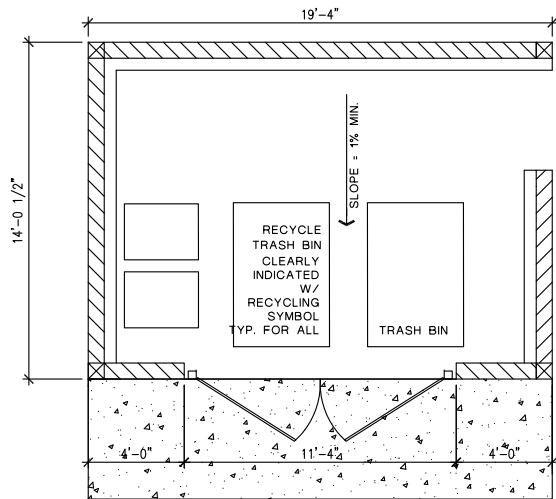
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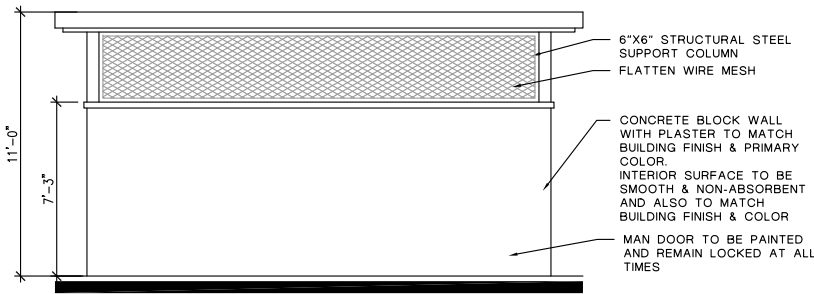
DOMINGUEZ RANCH ROAD AND GREEN RIVER ROAD CORONA, CALIFORNIA



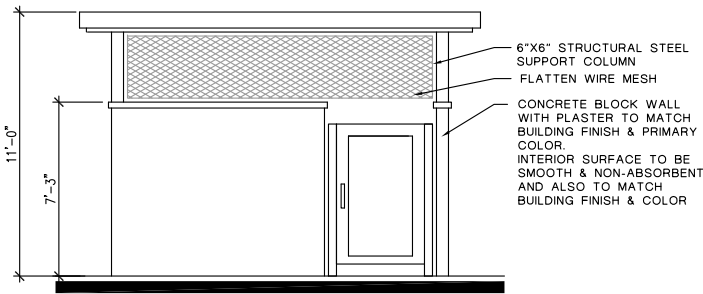
ROOF PLAN



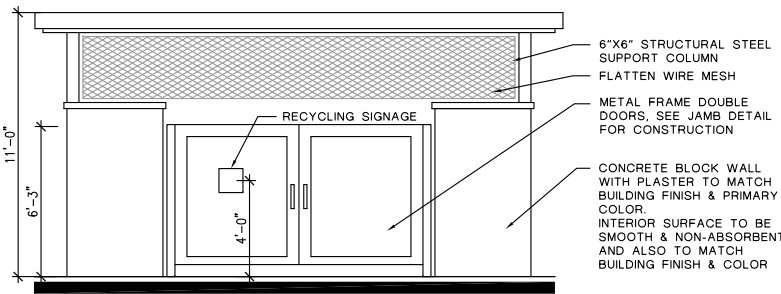
FLOOR PLAN



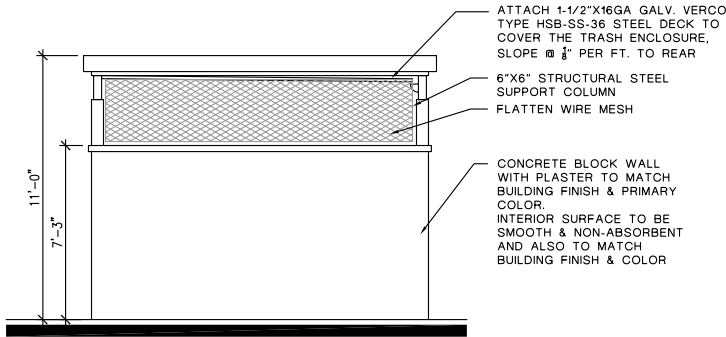
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



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EXHIBIT 18
TRASH ENCLOSURE

Scale: 1/8" = 1'-0"
May 4, 2022

P:\21\21350 - Corona, SEC Green River Rd & Dominguez Ranch
Rd\Design\Elevations\21350 Trash Enclosure.dwg

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LINSCOTT
LAW &
GREENSPAN
—
engineers



NO SCALE

SOURCE: BICKEL GROUP ARCHITECTURE

KEY

* (A) = STAFF/DRIVE THRU SIGN



* (B) = STAFF/DRIVE THRU SIGN



FIGURE A

TRAFFIC MANAGEMENT PLAN

GREEN RIVER PROMENADE STARBUCKS, CORONA

EXHIBIT 20

Parking Counts
Green River Promenade, Corona

Time Began	Thursday 10-07-21		Saturday 10-09-21	
	Supply = 264		Supply = 264	
	Parking Counts	Percent Utilization	Parking Counts	Percent Utilization
8:00 AM	39	15%	41	16%
9:00 AM	37	14%	51	19%
10:00 AM	62	23%	73	28%
11:00 AM	79	30%	117	44%
12:00 PM	106	40%	125	47%
1:00 PM	115	44%	124	47%
2:00 PM	90	34%	107	41%
3:00 PM	91	34%	115	44%
4:00 PM	129	49%	102	39%
5:00 PM	124	47%	110	42%
6:00 PM	124	47%	118	45%
7:00 PM	115	44%	111	42%
8:00 PM	86	33%	89	34%
9:00 PM	52	20%	86	33%

EXHIBIT 21

Spot Parking Counts Green River Promenade, Corona

Time Began	Saturday 04-22-23		Thursday 04-27-23	
	Supply = 259		Supply = 259	
	Parking Counts	Percent Utilization	Parking Counts	Percent Utilization
8:00 AM	-	-	-	-
9:00 AM	-	-	-	-
10:00 AM	-	-	-	-
11:00 AM	125	48%	-	-
12:00 PM	113	44%	-	-
1:00 PM	134	52%	-	-
2:00 PM	-	-	-	-
3:00 PM	-	-	-	-
4:00 PM	-	-	98	38%
5:00 PM	-	-	137	53%
6:00 PM	-	-	142	55%
7:00 PM	-	-	-	-
8:00 PM	-	-	-	-
9:00 PM	-	-	-	-



NOTICE OF EXEMPTION

<p>TO:</p> <p><input type="checkbox"/> Office of Planning and Research P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p>	<p>FROM: Name: City of Corona</p> <p>(Public Address: 400 S. Vicentia Avenue, #120 Agency) Corona, CA 92882</p> <p>Telephone: (951) 736-2262</p>
<p><input checked="" type="checkbox"/> County Clerk (Riverside)</p> <p>Address: 2724 Gateway Drive, Riverside, CA 92507</p>	

1. Project Title:	CUP2021-0004
2. Project Applicant:	Jessica Steiner, Bickel Group Architectural
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	Southeast corner of Green River Road and Dominguez Ranch Road: APN 101-440-019
4. (a) Project Location – City: Corona	(b) Project Location – County: Riverside
5. Description of nature, purpose, and beneficiaries of Project:	Conditional Use Permit 2021-0004 (CUP2021-0004) is a application to allow a drive-through and walk-up window coffee shop (Starbucks) within an existing commercial center located at the southeast corner of Green River Road and Dominguez Ranch Road in the Neighborhood Commercial District of the Sierra Del Oro Specific Plan.
6. Name of Public Agency approving project:	City of Corona
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	Jessica Steiner, Bickle Group Architecture 3600 Birch Street, Suite 120 Newport Beach, CA 92660
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	(Pub. Resources Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b) <input type="checkbox"/> Not a project.	
(c) <input type="checkbox"/> Emergency Project.	(Pub. Resources Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(d) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	Class 3 (New Construction or Conversation of Small Structures); State CEQA Guidelines Section 15303(c)

(e) <input type="checkbox"/> Declared Emergency.	(Pub. Resources Code § 21080(b)(3); State CEQA Guidelines § 15269(a))
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	The project is exempted from environmental review under the California Environmental Quality Act (CEQA) because the project qualifies as a Class 3 categorical exemption (New Construction or Conversion of Small Structures) per Section 15303(c) of the State Guidelines for CEQA and Section 3.27 of the City's Local CEQA Guidelines. The project consists of a new 966-square-foot coffee shop with drive-through and walk-up services only (no indoor seating), within an existing commercial center.

10. Lead Agency Contact Person: Telephone:	Rafael Torres, Assistant Planner (951) 736-2262
11. If filed by applicant: Attach Preliminary Exemption Assessment (Form "A") before filing.	
12. Has a Notice of Exemption been filed by the public agency approving the project? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
13. Was a public hearing held by the Lead Agency to consider the exemption? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, the date of the public hearing was: April 10, 2023	

Signature

Date: May 8, 2023

Name

Title: Assistant Planner

☒ Signed by Lead Agency

☐ Signed by Applicant

Date Received for Filing: [Click to enter date](#)

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



Staff Report

File #: 23-0439

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 05/08/2023

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

TTM 36864: A Tentative Tract Map application to subdivide 2.09 acres into six (6) lots for single family residential proposes and two (2) lettered lots for a street dedication and water quality basin purposes, located on the south side of Corona Avenue and west of Interstate 15, in the R-1-7.2 Zone (Single Family Residential, 7,200 square feet minimum lot size). (Applicant: Fathi Manasrah, 9319 Alta Cresta Avenue, Riverside, CA 92508)

RECOMMENDED ACTION:

That the Planning and Housing Commission CONTINUE TTM 36864 to the May 22, 2023, Planning and Housing Commission meeting.

BACKGROUND

TTM 36864 was submitted to subdivide 2.09 acres into six (6) residential lots for single family residential purposes in the R-1-7.2 zone. Staff determined that the project required the preparation of a Mitigated Negative Declaration (MND) pursuant to the California Environmental Quality Act and initially advertised the project and the availability of the MND to the public 20 days in advance of the originally scheduled Planning and Housing Commission meeting on April 10, 2023. The applicant requested that the project be continued to the April 24, 2023, meeting and subsequently, to the May 8, 2023 meeting, to allow the applicant to analyze a potential redesign to accommodate seven (7) lots, instead of six (6).

As of May 1, 2023, the applicant has submitted a revised map and supporting documents for a subdivision of seven lots, and city staff is preparing the staff report based on submitted materials. Therefore, a continuance to the May 22, 2023, Planning and Housing Commission meeting is being requested.

The project's initial 20-day public notice occurred on March 17, 2023. The public notice initially advertised the subdivision of the project site into six lots. The project as revised will add one lot

resulting in seven lots being created by TTM 36864 instead of six. The revised project will not change the outcome of the potential environmental impacts analyzed in the MND prepared for the project as originally advertised and does not require another 20-day notice on the availability of the MND. However, staff decided to readvertise the project's public notice for a minimum of 10 days prior to the May 22, 2023 continued public hearing to notify the public of the minor change in the project description.

PREPARED BY: EVA CHOI, ASSOCIATE PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

Case Planner: Eva Choi (951) 736-2262



Staff Report

File #: 23-0355

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 5/8/2023

TO: Honorable Chair and Commissioners

FROM: Planning and Development Department

APPLICATION REQUEST:

ZTA2023-0002: Amendment to Title 17 of the Corona Municipal Code to amend the permitted land uses in the commercial zones listed in Chapter 17.33 and Chapter 17.35 to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011. (Applicant: City of Corona)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend ADOPTION OF ZTA2023-0002 to the City Council, based on the findings contained in the staff report.

BACKGROUND

California Senate Bill 6 (SB 6) is named the Middle-Class Housing Act of 2022 and California Assembly Bill 2011 (AB 2011) is named the Affordable Housing and High Road Jobs Act of 2022. Both bills were signed by the Governor on September 28, 2022 and become effective July 1, 2023.

Both bills allow high density residential housing on property zoned to allow office, retail or parking. High density residential housing would be allowed by-right and does not require the zoning or the General Plan of the property to be changed. There are subtle differences between the bills and the following table describes the requirements of each bill.

SB 6	AB 2011
Allowed on property zoned to allow office, retail and parking	Allowed on property zoned to allow office, retail and parking
NO affordable housing required	Affordable housing required

Housing developments can include: a) Residential only, and b) Mixed Use, if 50% or more square feet is designated residential and no lodging uses like a hotel.	Housing developments can include: a) 100% affordable residential units, and b) Mixed income housing (rental housing requires 8% and 5% of units for low income and extremely low income, respectively; owner occupied housing requires 30% of units for moderate income or 15% for low income)
Property is 20 acres or less	Property is 20 acres or less for mixed income housing.
Residential density is at least 30 dwelling units/acre	Residential density is at least 30 dwelling units/acre if the site is less than one acre, but the minimum density increases if the size and width of the site is greater.
The city's zoning standards of the applicable residential density shall apply.	The city's zoning standards of the applicable residential density shall apply; however, other objective development standards under the bill apply to mixed income housing.
Not on a site adjacent to a site where one-third of the square footage is dedicated to industrial	Not on a site adjacent to a site where one-third of the square footage is dedicated to industrial
--	Property shall not be within 500 feet of a freeway.
--	75% of the perimeter of the site adjoins parcels that are developed with urban uses.
--	Property deed restricted to maintain affordable housing units: a) Rental units: 55 years b) Owner-occupied: 45 years
--	Requires ministerial streamlined review.
Requires the use of skilled and trained workforce (prevailing wage) for construction.	Requires the use of skilled and trained workforce (prevailing wage) for construction, and for projects with more than 50 units, an apprenticeship program must be provided.

Additional Development Standards

Mixed-income housing using AB 2011 also requires property to abut a commercial corridor and have a property frontage of 50 feet or more on a commercial corridor. As defined by the bill, a commercial corridor means a highway that is not a freeway defined by the Vehicle Code and has a right-of-way of at least 70 feet and no greater than 150 feet.

Because Corona is within a Metropolitan Statistical Area that has a population greater than 2.0 million, the minimum residential density that shall be allowed is 30 dwelling units per acre (du/ac) for SB 6 and for 100% affordable housing using AB 2011.

The density for a housing development project that is mixed income using AB 2011 is 30 du/ac on sites less than one acre but increases to 40 du/ac if the site is equal to or greater than one acre and

has a site width less than 100 feet, and increases to 60 du/ac if the site is equal to or greater than one acre and has a site width of 100 feet or greater. However, all mixed income sites within a ½ mile of a major transit stop are allowed 80 du/ac regardless of the size.

AB 2011 regulates the building height of a mixed income project which allows a building height of 35 feet on sites that have a width less than 100 feet. The building height increases to 45 feet on sites that have a width of 100 feet or greater and increases to 65 feet on sites within a ½ mile of a major transit stop and in a city with a population greater than 100,000.

A mixed income project using AB 2011 requires parking to have a minimum setback of 25 feet from a commercial corridor, but the building is allowed a minimum setback of 0 feet. In situations where the property line abuts property that contains residential the setback of the ground floor shall be no less than 10 feet and the second and subsequent floors shall be stepped back in an amount equal to seven feet multiplied by the floor number. If the site is along a property line that abuts a site with no residential use, the setback shall be a minimum of 15 feet and the amount required to be stepped back may be decreased by the city.

The city's parking requirements for multi-family housing would apply to SB 6 and a 100% affordable housing project using AB 2011 if the project is not in conflict with AB 2097. However, no parking is required for a mixed-income project using AB 2011.

AB 2097 became effective on January 1, 2023, and prohibits minimum parking requirements on a residential, commercial or other development project if the project is located within ½ mile of a major transit stop. A major transit stop means an existing rail or bus rapid transit station and the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during morning and afternoon peak commute periods.

City Council Study Session

At the City Council study session on April 19, 2023, staff provided an overview of SB 6 and AB 2011 to the Council. Staff also recommended that the Council allow staff to apply the city's Affordable Housing Overlay (AHO) zone requirements to a housing development within a commercial zone allowed by SB 6. SB 6 does not prevent the city from requiring inclusionary housing, which is the same as a mixed income housing development where a percentage of the total units are set aside for affordable incomes. The city is proposing to apply its AHO zone requirement to housing developments that would qualify using SB 6, which would require a housing development project to set aside 20% of the total housing units for low-income households. This would be similar to AB 2011, which requires affordable housing as part of a housing development and with other commercial properties within the city that have been rezoned with an AHO to accommodate the city's regional housing need in the Housing Element. The City Council concurred with staff's recommendation which is the reason for ZTA2023-0002.

PROPOSED AMENDMENT

ZTA2023-0002 will amend Chapters 17.33 and 17.35 of the Corona Municipal Code. Chapter 17.33 regulates Commercial Zones not within a specific plan that includes the C-P (Commercial Office) zone, C-2 (Restricted Commercial) zone and C-3 (General Commercial) zone. Chapter 17.35

regulates the Quasi-Public (QP) zone not within a specific plan.

ZTA2023-0002 will add language to the permitted land uses section in each chapter to permit residential pursuant to SB 6 subject to the requirements set forth in Corona Municipal Code Chapter 17.31, Affordable Housing Overlay Zone. Language will also be added to permit residential pursuant to AB 2011. Residential development allowed per AB 2011 will not be subject to the city's AHO zone since this law already requires affordable housing.

Exhibit 1 shows the redlines proposed to Section 17.33.030 and Section 17.35.020. SB 6 is referenced as Cal Gov't Code §65852.24 and AB 2011 is referenced as Cal Gov't Code §65912.100. Residential is being added as a permitted land use to the C-P, C-2, and C-3 zones with the following footnotes. The same language is also being added to the QP zone permitted uses section, but not as a footnote.

¹Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements set forth in Corona Municipal Code Chapter 17.31.

²Residential permitted for a housing development project proposed pursuant to Cal Gov't Code 65912.100.

ENVIRONMENTAL ANALYSIS:

The California Legislature has determined that a local ordinance adopting the provisions of Senate Bill 6 and Assembly Bill 2011 is not considered a project under Division 13 (commencing with Section 21000) of the Public Resources Code and therefore not subject to review by the California Environmental Quality Act (CEQA).

FISCAL IMPACT

ZTA2023-0002 is a city-initiated application. No application fee was paid to process this request.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice advertised in the Sentinel Weekly News. Since the preparation of this staff report, staff has not received correspondence from the public.

STAFF ANALYSIS

The city's General Plan Housing Element focuses on housing programs that would support the development of various housing types and provide housing for all economic segments of the city. Providing adequate sites is one way to achieve a variety and diversity of housing. ZTA2023-0002 allows the city to require mixed-income housing as part of a housing development using SB 6 in the city's commercial zones. The city is not prevented from requiring inclusionary housing with the enactment of SB 6 and the amendment would ensure adequate sites and the city's housing sites inventory are set aside to provide a balance of housing types for all income levels. The application of the AHO zone requirement on commercial sites is also consistent with the commercial properties that were rezoned by the city to include an AHO for the city's housing sites inventory. As such, the commercial properties not part of the city's housing sites inventory would bear some responsibility in providing affordable housing like the sites identified on the city's housing sites inventory for affordable housing.

FINDINGS FOR APPROVAL OF ZTA2023-0002

The proposed amendment is consistent with the General Plan for the following reason:

- a. ZTA2023-0002 supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*

The proposed amendment is consistent with intent of Title 17 of the Corona Municipal Code for the following reasons:

- a. ZTA2023-0002 requires the objective zoning standard of the AHO zone to be used on commercially zoned properties that are allowed to be developed with high density residential using SB 6.*
- b. ZTA2023-0002 clarifies the residential land uses that would be permitted on the commercially zoned properties listed in Chapter 17.33 and Chapter 17.35.*

The proposed amendment will provide for the public health, safety, and welfare for the following reason:

- a. ZTA2023-0002 requires the objective development standards of the AHO zone to be applied to a housing development using SB 6, which is to provide for orderly development that maintains the quality of existing neighborhoods.*

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Proposed Redlines to Corona Municipal Code Chapter 17.33 and Chapter 17.35

Case Planner: Joanne Coletta, Planning and Development Director (951) 736-2262

Zoning Code Amendment

Corona Municipal Code, Title 17

Chapter 17.33, Commercial and Office Zones

17.33.030 Permitted; conditionally permitted uses; prohibited uses.

TABLE 1-17.33 PERMITTED LAND USES

“P”	Permitted use.
“CUP”	Permitted with a conditional use permit issued in accordance with Chapter 17.92 of the Corona Municipal Code (conditional use permit).
“MCUP”	Denotes a use which is subject to the minor conditional use permit procedure only.
“NP”	Use not permitted.
“BZA”	Use subject to approval by the Board of Zoning Adjustment.

Land Use	C-P	C-2	C-3
Residential ^{1,2}	NP	NP	NP

¹[Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements set forth in Corona Municipal Code Chapter 17.31.](#)

²[Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.](#)

Chapter 17.35, Quasi-Public Zone

17.35.020 Permitted uses and structures.

(D) Residential Uses

[\(1\) A -housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31](#)

[\(2\) A -housing development project proposed pursuant to Cal Gov't Code § 65912.100.](#)

EXHIBIT 1



Staff Report

File #: 23-0356

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 05/08/2023

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

SPA2023-0002: Amendment to various specific plans to amend the commercial and business park zoning designations to allow residential land uses pursuant to Senate Bill 6 and Assembly Bill 2011. (Applicant: City of Corona)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend **ADOPTION OF SPA2023-0002** to the City Council, based on the findings contained in the staff report.

BACKGROUND

California Senate Bill 6 (SB 6) is named the Middle-Class Housing Act of 2022 and California Assembly Bill 2011 (AB 2011) is named the Affordable Housing and High Road Jobs Act of 2022. Both bills were signed by the Governor on September 28, 2022 and become effective July 1, 2023.

Both bills allow high density residential housing on property zoned to allow office, retail or parking. High density residential housing would be allowed by-right and does not require the zoning or the General Plan of the property to be changed. There are subtle differences between the bills and the following table describes the requirements of each bill.

SB 6	AB 2011
Allowed on property zoned to allow office, retail and parking	Allowed on property zoned to allow office, retail and parking
NO affordable housing required	Affordable housing required

Housing developments can include: a) Residential only, and b) Mixed Use, if 50% or more square feet is designated residential and no lodging uses like a hotel.	Housing developments can include: a) 100% affordable residential units, and b) Mixed income housing (rental housing requires 8% and 5% of units for low income and extremely low income, respectively; owner occupied housing requires 30% of units for moderate income or 15% for low income)
Property is 20 acres or less	Property is 20 acres or less for mixed income housing.
Residential density is at least 30 dwelling units/acre	Residential density is at least 30 dwelling units/acre if the site is less than one acre, but the minimum density increases if the size and width of the site is greater.
The city's zoning standards of the applicable residential density shall apply.	The city's zoning standards of the applicable residential density shall apply; however, other objective development standards under the bill apply to mixed income housing.
Not on a site adjacent to a site where one-third of the square footage is dedicated to industrial	Not on a site adjacent to a site where one-third of the square footage is dedicated to industrial
--	Property shall not be within 500 feet of a freeway.
--	75% of the perimeter of the site adjoins parcels that are developed with urban uses.
--	Property deed restricted to maintain affordable housing units: a) Rental units: 55 years b) Owner-occupied: 45 years
--	Requires ministerial streamlined review.
Requires the use of skilled and trained workforce (prevailing wage) for construction.	Requires the use of skilled and trained workforce (prevailing wage) for construction, and for projects with more than 50 units, an apprenticeship program must be provided.

Additional Development Standards

Mixed-income housing proposed using AB 2011 also requires property to abut a commercial corridor and have a property frontage of 50 feet or more on a commercial corridor. As defined by the bill, a commercial corridor means a highway that is not a freeway defined by the Vehicle Code and has a right-of-way of at least 70 feet and no greater than 150 feet.

Because Corona is within a Metropolitan Statistical Area that has a population greater than 2.0 million, the minimum residential density that shall be allowed is 30 dwelling units per acre (du/ac) for SB 6 and for 100% affordable housing using AB 2011.

The density for a housing development project that is mixed income using AB 2011 is 30 du/ac on sites less than one acre but increases to 40 du/ac if the site is equal to or greater than one acre and

has a site width less than 100 feet, and increases to 60 du/ac if the site is equal to or greater than one acre and has a site width of 100 feet or greater. However, all mixed income sites within a ½ mile of a major transit stop are allowed 80 du/ac regardless of the size.

AB 2011 regulates the building height of a mixed income project which allows a building height of 35 feet on sites that have a width less than 100 feet. The building height increases to 45 feet on sites that have a width of 100 feet or greater, and increases to 65 feet on sites within a ½ mile of a major transit stop and in a city with a population greater than 100,000.

A mixed income project using AB 2011 requires parking to have a minimum setback of 25 feet from a commercial corridor, but the building is allowed a minimum setback of 0 feet. In situations where the property line abuts property that contains residential the setback of the ground floor shall be no less than 10 feet and the second and subsequent floors shall be stepped back in an amount equal to seven feet multiplied by the floor number. If the site is along a property line that abuts a site with no residential use, the setback shall be a minimum of 15 feet and the amount required to be stepped back may be decreased by the city.

The city's parking requirements for multi-family housing would apply to SB 6 and a 100% affordable housing project using AB 2011 if the project is not in conflict with AB 2097. However, no parking is required for a mixed-income project using AB 2011.

AB 2097 became effective on January 1, 2023, and prohibits minimum parking requirements on a residential, commercial or other development project if the project is located within ½ mile of a major transit stop. A major transit stop means an existing rail or bus rapid transit station and the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during morning and afternoon peak commute periods.

City Council Study Session

At the City Council study session on April 19, 2023, staff provided an overview of SB 6 and AB 2011 to the Council. Staff also recommended that the Council allow staff to apply the city's Affordable Housing Overlay (AHO) zone requirements to a housing development within a commercial zone allowed by SB 6. SB 6 does not prevent the city from requiring inclusionary housing, which is the same as a mixed income housing development where a percentage of the total units are set aside for affordable incomes. The city is proposing to apply its AHO zone requirement to housing developments that would qualify using SB 6, which would require a housing development project to set aside 20% of the total housing units for low-income households. This would be like AB 2011, which requires affordable housing as part of a housing development and with other commercial properties within the city that have been rezoned with an AHO to accommodate the city's regional housing need in the Housing Element. The City Council concurred with staff's recommendation which is the reason for SPA2023-0002.

PROPOSED SPECIFIC PLAN AMENDMENT

SPA2023-0002 will amend 15 specific plans that have commercial zones that could likely accommodate a housing development using SB 6 and AB 2011. The following table lists the specific plans being amended and the corresponding zoning sections to include residential as a permitted

land use per SB 6 and AB 2011.

Specific Plan	Zoning
Green River Ranch SP (SP00-01)	Mixed Use (MU), Commercial- General (C-G)
Sierra Del Oro SP (SP85-02)	Neighborhood Commercial District (NCD), Mixed Use (MU)
Plaza on Sixth Street (SP90-01)	Commercial
Downtown Revitalization Specific Plan (SP98-01)	Downtown (D), Gateway Business (GB), Transitional Commercial (TC), General Commercial (GC), Business Park (BP), Community Services (CS)
Mountain Gate SP (SP89-01)	Commercial (C), Quasi Public (QP)
North Main Street SP (SP99-01)	Commercial Retail (CR), Transitional Retail (TR), Transit Commercial (TC), Mixed Use (MU), Business Park (BP), Business Park Overlay (BPO)
Main Street South SP (SP91-01)	Sub District One, Sub District Two, Sub District Three, Sub District Four, Sub District Five, Sub District Six
Corona Vista SP (SP90-05)	Commercial (C)
Arantine Hills SP (SP09-001)	General Commercial (GC)
Dos Lagos SP (SP99-03)	Commercial (C), Entertainment Commercial (EC)
El Cerrito SP (SP91-02)	Commercial (C), Commercial Center (CC), Business Park/Office (BP)
Cimaron SP (SP95-01)	Neighborhood Commercial (NC)
Corona Ranch SP (SP85-03)	Support Commercial (SC), Public/Quasi Public (QP)
Northeast Corona SP (SP81-02)	Support Commercial (SC), Support Commercial Freeway (SCF), Sub-Regional Shopping Center (SRSC), Business Park (BP)
Corona Magnolia SP (SP01-02)	Commercial (C), Office Park (OP), Business Park (BP), Commercial, Office, Business Park Flex (COBP)

SPA2023-0002 will add language to the permitted land uses section of the zoning designations of the specific plans identified in the above table to permit residential pursuant to SB 6 subject to the requirements set forth in Corona Municipal Code Chapter 17.31, Affordable Housing Overlay Zone. Language will also be added to permit residential pursuant to AB 2011. Residential development allowed per AB 2011 will not be subject to the city's AHO zone since this law already requires affordable housing.

Exhibit 1 shows the redlined changes to the applicable sections of the specific plans. SB 6 is

referenced as Cal Gov't Code §65852.24 and AB 2011 is referenced as Cal Gov't Code §65912.100. Residential is being added as a permitted land use to the commercial and business park zoning designations with the following language.

Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements set forth in Corona Municipal Code Chapter 17.31.

Residential permitted for a housing development project proposed pursuant to Cal Gov't Code 65912.100.

In some cases, the above language may be shown as a footnote to the permitted residential use.

ENVIRONMENTAL ANALYSIS:

The California Legislature has determined that a local ordinance adopting the provisions of Senate Bill 6 and Assembly Bill 2011 is not considered a project under Division 13 (commencing with Section 21000) of the Public Resources Code and therefore not subject to review by the California Environmental Quality Act (CEQA).

FISCAL IMPACT

SPA2023-0002 is a city-initiated application. No application fee was paid to process this request.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice advertised in the Sentinel Weekly News. Since the preparation of this staff report, staff has not received correspondence from the public.

STAFF ANALYSIS:

The city's General Plan Housing Element focuses on housing programs that would support the development of various housing types and provide housing for all economic segments of the city. Providing adequate sites is one way to achieve a variety and diversity of housing. SPA2023-0002 allows the city to require mixed-income housing as part of a housing development using SB 6 in the city's commercial zones. The city is not prevented from requiring inclusionary housing with the enactment of SB 6 and the amendment would ensure adequate sites and the city's housing sites inventory are set aside to provide a balance of housing types for all income levels. The application of the AHO zone requirement on commercial sites is also consistent with the commercial properties that were rezoned by the city to include an AHO for the city's housing sites inventory. As such, the commercial properties not part of the city's housing sites inventory would bear some responsibility in providing affordable housing like the sites identified on the city's housing sites inventory for affordable housing.

FINDINGS OF APPROVAL FOR SPA2023-0002

1. Pursuant to CMC Section 17.53.090(B)(1)(a) the plan systematically implements and is consistent with the General Plan for the following reasons:
 - a. *The amendment supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for*

the production of affordable housing units in conjunction with market rate units.

2. Pursuant to CMC Section 17.53.090(B)(1)(b) the Plan provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications for the following reason:
 - a. *This amendment requires that the zoning standard of the AHO zone be used on commercially zoned properties that are allowed to be developed with high density residential using SB 6, which is to encourage well planned environments capable of supporting the intended use and capacity.*
3. Pursuant to CMC Section 17.53.090(B)(1)(c) the Plan provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long-term needs of the project and/or other area residents, and complements the orderly development of the City beyond the project's boundaries for the following reason:
 - a. *This amendment permits residential granted by SB 6 and AB 2011 in zoning designations that allow office, retail or parking, and further requires the zoning standards of the AHO zone on a housing development pursuant to SB 6, which includes objective development standards for high density residential to encourage orderly development.*
4. Pursuant to CMC Section 17.53.090(B)(1)(d), the Plan provides for the appropriate orientation and relationship between land uses within and adjacent to the project for the following reason:
 - a. *This amendment permits residential granted by SB 6 and AB 2011 in zoning designations that allow office, retail or parking, which supports the development of high density residential in urban settings and near commercial centers.*
5. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP90-05 (Corona Vista) per Section V.A:
 - a. *The amendment is consistent with the General Plan and South Corona Community Facilities Plan (CFP) because:*
 - i. *The amendment supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
 - ii. *The amendment supports the adoption of state legislation that permits residential on properties that are zoned to allow retail, office or parking and is therefore consistent with the land use plan adopted in the CFP which already identifies the location of properties that are designated commercial.*
 - b. *The amendment is consistent with the intent of the Corona Vista Specific Plan because the permitted land uses of the Plan's commercial zone will include residential that is allowed by adopted state legislation.*
 - c. *The amendment maintains consistency with the village concept because the land use plan is*

not being amended and remains in harmony with the land uses already provided in the Specific Plan.

- d. The amendment maintains adequate circulation to and from and within the plan area because the circulation plan is not affected.*
- e. The amendment does not change the geographic area of the specific plan and maintains the public service levels, which adequately serve the specific plan area.*
- f. The amendment maintains the public and private open space system as both resources are neither disrupted nor depleted.*

6. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP90-01 (Plaza on Sixth Street):

- a. The amendment systematically implements and is consistent with the General Plan because the amendment supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- b. The proposed amendment is consistent with the goals and objectives of the Specific Plan because residential is being added as a permitted land use in accordance with adopted state legislation which aligns with the redevelopment efforts of the City of Corona by eliminating an underutilized shopping center site.*
- c. The amendment provides for development that is superior to development otherwise allowed under the conventional zoning classifications because it requires that the zoning standard of the AHO zone be used on commercially zoned properties that are allowed to be developed with high density residential using SB 6, which is to encourage well planned environments capable of supporting the intended use and capacity.*

7. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP98-01 (Downtown Revitalization) per Section VIII(9):

- a. The proposed amendment is consistent with the City's General Plan because it supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- b. The proposed amendment is consistent with the goals, policies and planning concepts of the Downtown Revitalization Specific Plan because it permits residential that enhances housing types within Downtown Corona which enable citizens from varying economic levels and age groups to live within the area and promotes the reinvestment in property to create a revitalized Downtown.*

8. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP89-01 (Mountain Gate Specific Plan) per Section 11.3:

- a. The amendment is consistent with the City of Corona General Plan and South Corona*

Community Facilities Plan (CFP) for the following reasons:

- i. The amendment supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- ii. The amendment supports the adoption of state legislation that permits residential on properties that are zoned to allow retail, office or parking and is therefore consistent with the land use plan adopted in the CFP which already identifies the location of properties that are designated commercial.*
- b. The amendment is consistent with the intent of the Mountain Gate Specific Plan because the permitted land uses of the Plan's commercial zone will include residential that is allowed by adopted state legislation.*
- c. The amendment maintains consistency with the village concept because the land use plan is not being amended and remains in harmony with the land uses already provided in the Specific Plan.*
- d. The amendment maintains adequate circulation to and from and within the plan area because the circulation plan is not affected.*
- e. The amendment does not change the geographic area of the specific plan and maintains the public service levels, which adequately serve the specific plan area.*
- f. The amendment maintains the public and private open space system as both resources are neither disrupted nor depleted.*

9. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP99-01 (North Main Street Specific Plan) per Section 6.1.7:

- a. The Plan or amendment systematically implements and is consistent with the General Plan because it supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- b. The Plan or amendment provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications because it requires that the zoning standard of the AHO zone be used on commercially zoned properties that are allowed to be developed with high density residential using SB 6, which is to encourage well planned environments capable of supporting the intended use and capacity.*
- c. The Plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long term needs of the project and/or other area residents, and complements the orderly development of the City beyond the project's boundaries because adding residential as a permitted land use in the commercial zones is still subject to the city's objective development standards for public improvements required by city ordinances for new development.*

10. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP91-01 (Main Street South Plaza Specific Plan) per Section 8.2:

- a. *The amendment is consistent with the City of Corona General Plan, South Corona Community Facilities Plan (CFP), and objectives of the Main Street South Plaza Specific Plan for the following reasons:*
 - i. *The amendment supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
 - ii. *The amendment supports the adoption of state legislation that permits residential on properties that are zoned to allow retail, office or parking and is therefore consistent with the land use plan adopted in the CFP which already identifies the location of properties that are designated commercial.*
 - iii. *The amendment is consistent with the objectives of the specific plan because new development associated with permitted land uses are required to adhere to the holistic objectives of the plan.*
- b. *The amendment maintains adequate circulation to and from and within the plan area because the circulation plan is not affected.*
- c. *The amendment does not change the geographic area of the specific plan and maintains the public service levels, which adequately serve the specific plan area.*
- d. *The amendment maintains the public and private open space system as both resources are neither disrupted nor depleted.*

11. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP91-02 (El Cerrito Specific Plan) per Section 14.5:

- a. *The proposed amendment is consistent with the City of Corona General Plan because it supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- b. *The proposed amendment is consistent with the intent of the specific plan because the adopted land use plan of the specific plan is not being changed and the required improvements for infill development within established neighborhoods is still a requirement of new development based on permitted land uses.*
- c. *The proposed amendment is consistent with the Preannexation Policy for El Cerrito as set out in Section 2.3 because it does not require the construction of public improvements in existing neighborhoods, nor does it affect the operation or use of the land uses that currently exist within the geographic boundary of the specific plan.*
- d. *The amendment maintains adequate circulation to and from and within the plan area because the circulation plan is not affected.*
- e. *The amendment does not change the geographic area of the specific plan and maintains the public service levels, which adequately serve the specific plan area.*
- f. *The amendment maintains the public and private open space system as both resources are neither disrupted nor depleted.*
- g. *The proposed amendment adheres to adopted state legislation that allows residential on properties that are zoned to allow retail, office and parking and has therefore determined residential at these locations would be compatible with surrounding designations and would not create future land use incompatibilities based on the development criteria established by the*

law for residential in commercial zones.

- h. The amendment includes residential as a permitted land use in commercial zones in accordance with state legislation but does not change the land use designations of the specific plan's Land Use Plan and therefore the amendment is not expected to result in a negative job/housing ratio in the specific plan area.*
- i. The proposed amendment to the permitted land uses in the commercial zones does not jeopardize the City's ability to levy sufficient special taxes on property within the CC-Commercial Center land use district to pay debt service on the outstanding bonds for Community Facilities District No. 2002-4 or alter the security for the payment of principal and interest on the outstanding bonds for Community Facilities District No. 2002-4.*

12. In addition to the findings made in reference to CMC Section 17.53.090, the following additional findings are made in reference to the amendments to SP95-01 (Cimarron Specific Plan) per Section 7.2:

- a. The proposed amendment is consistent with the City of Corona General Plan because it supports the General Plan Housing Element goal of maintaining a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City by having the zoning of sites available for the production of affordable housing units in conjunction with market rate units.*
- b. The amendment is consistent with the intent of the specific plan as objective development standards and design guidelines will continue to be applied to ensure the quality of new development.*
- c. The amendment does not change the geographic area of the specific plan and maintains adequate access from Hidden Valley Parkway (formerly Yuma Drive).*
- d. The amendment does not affect open space systems.*

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Proposed Amendments to Specific Plans (Redlined Version)

Case Planner: Joanne Coletta, Planning and Development Director (951) 736-2434

Text changes shown in underline.

SPA2023-0002 Text Changes

GREEN RIVER RANCH SPECIFIC PLAN (SP00-01)

Chapter 3.0 DEVELOPMENT REGULATIONS

Table 2, Permitted Uses

LAND USE	MU	C-G	RE
P = Permitted Use C = Conditional Use MCUP = Minor Conditional Use Permit SRUP = Second Residential Unit Permit BZA = Board of Zoning Adjustment X = Not Permitted			
Residential, single family	X	X	P
<u>Residential, multi-family^{9, 10}</u>	<u>P</u>	<u>P</u>	<u>X</u>

⁹ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

¹⁰ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

SIERRA DEL ORO SPECIFIC PLAN (SP85-02)

Section 4.9 Neighborhood Commercial District (NCD)

Section 4.9.02(a) Permitted Uses:

Residential, multi-family^{1, 2}

¹ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

² Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.9.04 Prohibited Uses:

Residential uses not otherwise permitted pursuant to Section 4.9.02(a)

Industrial uses

4.12 Mixed-Use (MU)

4.12.02 Permitted Uses:

Residential multi-family^{1, 2}

¹ Residential for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

² Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.12.04 (a) Prohibited Uses:

Car washes, including both self-service and full-service

Residential uses not otherwise permitted pursuant to Section 4.12.02

Text changes shown in underline.

PLAZA ON SIXTH STREET (SP90-01)

Permitted Uses

A housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31;

Housing development project proposed pursuant to Cal Gov't Code § 65912.100.

Prohibited Uses

The following uses are expressly prohibited from the permitted uses in the Plaza on Sixth Street Shopping Center Specific Plan:

- (a) Residential uses, except for residential allowed by the AHO zone pursuant to Chapter 17.31 of the Corona Municipal Code and the residential uses listed above under permitted uses.

DOWNTOWN REVITALIZATION SPECIFIC PLAN (SP98-01)

**TABLE III-2
PERMITTED LAND USE MATRIX**

P = PERMITTED USES, P/ZA = PERMITTED WITH ZONING ADMINISTRATOR APPROVAL, C = CONDITIONAL USE, MC = MINOR CONDITIONAL USE, -- = PROHIBITED USE										
LAND USE	D	GB*	TC	GC	BP	CS	RO	SF	MF	OS
Mixed Use – Commercial/Residential Developments, including residential and office/retail/service or live-work components either within the same structure or on the same parcel (Residential may include Senior Citizen Housing)	C ¹⁴ / <u>P²⁴</u>	<u>-- P²⁴</u>	C ¹⁴ / <u>P²⁴</u>	C ¹⁴ / <u>P²⁴</u>	<u>-- P²⁴</u>	<u>-- P²⁴</u>	C ¹⁴	--	--	--
Multiple-Family Dwellings ²⁵	<u>-- P^{24, 25}</u>	<u>-- P^{24, 25}</u>	C ¹⁵ / <u>P^{24, 25}</u>	<u>-- P^{24, 25}</u>	<u>-- P^{24, 25}</u>	<u>-- P^{24, 25}</u>	--	--	P ¹⁵	--

²⁴ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

²⁵ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

MOUNTAIN GATE SPECIFIC PLAN (SP89-01)

9.3 COMMERCIAL DEVELOPMENT STANDARDS

2. Permitted Uses –

Text changes shown in underline.

- Uses permitted by Section 3.1.5 of the South Corona Community Facilities Plan;
- Day Care Facilities;
- A housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31; and
- A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4. **Prohibited Uses.** - Uses prohibited by Section 3.1.5 of the South Corona Community Facilities Plan, and residential uses not otherwise permitted above under Permitted Uses.

9.4 **QUASI-PUBLIC (QP) DISTRICT**

2. **Permitted Uses and Structures:**

d. A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31

e. A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

NORTH MAIN STREET SPECIFIC PLAN (SP91-01)

4.3 **PERMITTED USES IN EACH DISTRICT**

TABLE 3 -- PERMITTED USES									
P = Permitted Use C = Conditional Use MCUP = Minor Conditional Use Permit X = Not Permitted A = Accessory Use S = Special Use T = Temporary Use	DISTRICT								
LAND USE	CR	TR	TC	BP	BPO	I	SFC	UDR	MU

Single family detached condominiums	X	X	X	X	X	X	P	P	A ¹²
Single family attached (townhome) condominiums	X	X	X	X	X	X	P	X	X
Multiple family residential uses including senior facilities	X/ <u>p^{14,15}</u>	X/ <u>p^{14,15}</u>	X/ <u>p^{14,15}</u>	X/ <u>p^{14,15}</u>	X/ <u>p^{14,15}</u>	X	X	P	A ¹² / <u>p^{14,15}</u>

¹²Residential must be a component of a mixed-use development.

¹³ Districts shown with an Affordable Housing Overlay (AHO) zone on the Land Use Map is intended to facilitate the development of affordable multifamily housing pursuant to the requirements in Chapter 17.31 of the Corona Municipal

Text changes shown in underline.

Code. Properties planning to be developed per the AHO zone are allowed the permitted land uses in Section 17.31.040 of said chapter. A property with a Mixed-Use District with an AHO zone is allowed mixed use development pursuant to the specific plan that is separate from Section 17.31.040. Mixed use development separate from the provisions in Chapter 17.31 are not allowed the by-right approval described in Section 17.31.060.

¹⁴ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

¹⁵ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

MAIN STREET SOUTH SPECIFIC PLAN (SP91-01)

**TABLE 4.2
PERMITTED LAND USES**

Use Type: P = Permitted Use
CUP = Permitted by Major Conditional Use Permit
MCUP = Permitted by Minor Conditional Use Permit
BZA = Permitted Use, subject to the review and approval of the Board of Zoning Adjustment
NP = Not Permitted

	Sub District One: Northwest	Sub District Two: Southwest	Sub District Three: North Central	Sub District Four: South Central	Sub District Five: East	Sub District Six: North
--	-----------------------------------	-----------------------------------	---	--	-------------------------------	-------------------------------

HOUSING						
Housing (senior citizen)	NP	P	NP	NP	NP	NP
<u>Residential, multi-family^{4, 5}</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

⁴ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

⁵ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

CORONA VISTA SPECIFIC PLAN (SP90-05)

IV. DESIGN REGULATIONS AND STANDARDS

E. COMMERCIAL (Planning Areas 16, 17, 18, 22, 23, 24, 25, 27 and 28)

2. A. Permitted Uses for Planning Area 25:

- A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.
- A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

• B. Permitted Uses for Planning Areas 16, 17, 18, 22, 23, 24, 27, 28:

- A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.
- A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

Text changes shown in underline.

4. Prohibited Uses:

- (1) Manufacturing uses
- (2) Residential uses not otherwise permitted pursuant to Sections IV(E)(2A) and IV(E)(2B) above.

EL CERRITO SPECIFIC PLAN (SP91-02)

12.8 C - COMMERCIAL

12.8.2 Permitted uses.

C. Other uses as follows:

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

12.9 CC– COMMERCIAL CENTER

12.9.2 Permitted Uses

D. Service Commercial, ~~&~~ Office Uses & Residential

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

12.9.3 Flex Zones (Subareas 1 and 2)

Permitted Uses:

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

ARANTINE HILLS SPECIFIC PLAN (SP09-001)

6.2.1 General Commercial District

6.2.1.2 Permitted Uses.....

56. A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

57. A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

~~56~~8. Restaurant, cafe or coffee shop (no drive-thrus permitted)

~~57~~9. Reverse vending machines (must be located within a permitted commercial structure)

~~60~~. Sporting goods stores

~~59~~~~61~~. Utility facilities, including sewer, water, and utility equipment

~~60~~2. Tailor shop, custom dressmaking

~~64~~3. Similar uses permitted by the determination of the Planning & Development Director.....

Text changes shown in underline.

6.2.1.5 Prohibited Uses

6. Residential uses not otherwise permitted pursuant to Section 6.2.1.2.

DOS LAGOS SPECIFIC PLAN (SP99-03)

4.3.7 Permitted Uses (C) and (EC)

BZA = Board of Zoning Adjustment P = Permitted Use MCP = Minor Conditional Use Permit	CUP = Conditional Use Permit X = Not Permitted A = Accessory Use	
COMMERCIAL (C) AND ENTERTAINMENT COMMERCIAL (EC)		
	C	EC
Residential Condominiums ⁷ / Apartments	CUP	CUP
<u>Residential Multi-Family^{12, 13}</u>	<u>P</u>	<u>P</u>

.....
⁷**Residential Condominium** housing may be provided on either a leased or for-sale basis and are subject to the HDR development standards in Section 4.3.12. Detached residential shall adhere to the development standards of Section 4.5.1

¹² Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

¹³ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.4.9 Permitted Uses (BP)

BZA = Board of Zoning Adjustment P = Permitted Use MCP = Minor Conditional Use Permit	CUP = Conditional Use Permit X = Not Permitted A = Accessory Use
BUSINESS PARK/OFFICE (BP)	
	BP
<u>Residential Multi-Family^{7, 8}</u>	<u>P</u>

⁷ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

⁸ Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100.

CIMARON SPECIFIC PLAN (SP95-01)

4.4. NC-Neighborhood Commercial District

4. Permitted Residential Uses

The following residential uses, conducted wholly within a completely enclosed building, shall be permitted in the NC district:

4a. A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

4b. A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

Text changes shown in underline.

5. Conditional Uses....

CORONA RANCH SPECIFIC PLAN (SP85-03)

III. DEVELOPMENT REGULATIONS

H. SUPPORT COMMERCIAL (SC)

2 Permitted Uses

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4. Prohibited Uses: The following uses are expressly prohibited in the SC District:

Residential uses not otherwise permitted pursuant to Sections III(H)(2) and III(H)(3) above;

I. PUBLIC/QUASI-PUBLIC DISTRICTS

3. Permitted Uses

k. A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

l. A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

5. Prohibited Uses

c. Residential uses not otherwise permitted pursuant to Section III(I)(3) above.

NORTHEAST CORONA SPECIFIC PLAN (SP81-02)

SEC 4.5 SUPPORT COMMERCIAL DISTRICT (SC)

SEC. 4.5.02 PERMITTED USES

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

SEC. 4.5.04 PROHIBITED USES

The following uses are expressly prohibited in the SC District.

Residential uses not otherwise permitted pursuant to Section 4.5.02 above.

SEC 4.5.18 SUPPORT COMMERCIAL FREEWAY (SCF)

SEC. 4.5.19 PERMITTED USES:

Text changes shown in underline.

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

SEC 4.6.19 SUB-REGIONAL SHOPPING CENTER DISTRICT (SRSC)

SEC. 4.6.21 PERMITTED USES

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

SEC. 4.6.23 PROHIBITED USES

The following uses are expressly prohibited in the SC District:

Residential uses not otherwise permitted pursuant to Section 4.6.21 above.

SEC. 4.8 BUSINESS PARK (BP)

4.8.2 PERMITTED USES

D. Residential Uses

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

CORONA MAGNOLIA SPECIFIC PLAN (SP01-02)

4.1 Planning Area 1 - Commercial (C)

4.1.2 Permitted Uses

D. Miscellaneous

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.2 Planning Area 2 - Office Park (OP)

4.2.2 Permitted Uses

C. Miscellaneous

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.3 Planning Areas 3, 5 and 6 - Business Park (BP)

4.3.2 Permitted Uses

D. Miscellaneous

A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.

A housing development project proposed pursuant to Cal Gov't Code § 65912.100.

4.4 Planning Area 4 - Commercial/Office/Business Park Flex (COBP)

4.4.2 Land Use Alternatives

E. Alternative 5

All of Planning Area 4 can be devoted to the following residential uses:

- A housing development project proposed pursuant to Cal Gov't Code § 65852.24, subject to the requirements of Corona Municipal Code Chapter 17.31.
- A housing development project proposed pursuant to Cal Gov't Code § 65912.100.