



City of Corona

400 S. Vicentia Ave.
Corona, CA 92882

Agenda

Planning and Housing Commission

Karen Alexander, Chair
Timothy Jones, Vice Chair
Mitchell Norton, Commissioner
Viren Shah, Commissioner
Craig Siqueland, Commissioner

Monday, April 8, 2019

6:00 PM

Council Chambers

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ORAL COMMUNICATIONS FROM THE PUBLIC

Persons wishing to address the Planning and Housing Commission are requested to state their name for the record. This portion of the agenda is intended for public comment. State law prohibits the Planning and Housing Commission from discussing or taking action on items not listed on the agenda. The Planning and Housing Commission will appreciate your cooperation in keeping your comments brief. Please observe a three minute limit to communications.

4. MEETING MINUTES

19-0334

[Approval of minutes for the Planning and Housing Commission meeting of March 25, 2019](#)

Attachments:

[20190325-P&H Minutes - DRAFT](#)

5. CONSENT ITEMS

6. PUBLIC HEARINGS

(Items listed below are advertised as public hearings requiring review by the Planning and Housing Commission.)

19-0321

[PPM2018-0011 \(CONTINUED\): Precise plan application to construct a 4,462 sq. ft. restaurant with drive-through services for Raising Cane's on 1.46 acres in the proposed C-3 \(General Commercial\) Zone located at 1215 E. Ontario Avenue \(Applicant: Ruben Gonzalez, PM Design Group, 38 Executive Park, Suite 310, Irvine, CA 92614\).](#)

Recommended action:

That the Planning and Housing Commission **CONTINUE** **PPM2018-0011** to the Planning and Housing Commission meeting of April 22, 2019.

Attachments:

[Staff Report](#)

19-0320 [CZ2018-0002 \(CONTINUED\): An application to change the zone on 1.46 acres located at 1215 E. Ontario Avenue from C-2 \(Restricted Commercial\) to C-3 \(General Commercial\) to facilitate the development of a 4,462 sq. ft. drive-through restaurant \(Applicant: Ruben Gonzalez, PM Design Group, 38 Executive Park, Suite 310, Irvine, CA 92614\).](#)

Recommended action: That the Planning and Housing Commission **CONTINUE CZ2018-0002** to the Planning and Housing Commission meeting of April 22, 2019.

Attachments: [Staff Report](#)

19-0322 [PP2019-0002: A proposal to rebuild a new 9,570 square foot Lazy Dog restaurant building on a building pad previously occupied by the Claim Jumper restaurant located at 380 N. McKinley Street \(Corona Hills Plaza\) within the Sub-Regional Shopping Center designation of the Northeast Corona Specific Plan \(SP81-2\). \(Applicant: Jared Taylor Golden Property Development for Lazy Dog Restaurants, LLC, 5847 Brace Road Loomis, CA 95650\).](#)

Recommended action: That the Planning and Housing Commission adopt Resolution No. 2534 **GRANTING PP2019-0002**, based on the findings contained in the staff report and conditions of approval.

Attachments: [Staff Report](#)
[Resolution No. 2534](#)
[Locational and Zoning Map](#)
[Exhibit A1-A3 - Site Plan, Enlarged Site Plan and Detailed parking tabulation](#)
[Exhibit B - Conditions of Approval](#)
[Exhibit C - Floor Plan](#)
[Exhibit D1-D3 - Elevation Plans](#)
[Exhibit E1-E3 - Colored Elevation Plans](#)
[Exhibit F - Landscape Plans](#)
[Exhibit G1 - Applicant's letter dated February 15, 2019, addressing the scope of the project](#)
[Exhibit G2 - Applicant's letter dated March 5, 2019, addressing the restaurant's delivery hour:](#)
[Exhibit H - Environmental Documentation](#)
[PP2019-0002 Presentation](#)

7. WRITTEN COMMUNICATIONS

8. ADMINISTRATIVE REPORTS

Report by Director, Joanne Coletta

9. PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

10. PLANNING AND HOUSING COMMISSION ORAL REPORTS AND COMMENTS REGARDING COUNCIL COMMITTEES

19-0335

[Report on the March 6, 2019 Infrastructure Committee meeting.](#)

Attachments:

[20190306 Infrastructure Committee Minutes - Final](#)

11. ADJOURNMENT

The next meeting of the Planning and Housing Commission is scheduled for Monday, April 22, 2019, commencing at 6:00 p.m. in the City Council Chambers, 400 S. Vicentia Avenue.

Corona City Hall Online, All the Time- www.CoronaCA.gov

NOTICE TO THE PUBLIC:

If you challenge any items on the agendas in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning and Housing Commission at or prior to this public hearing.

Agendas for all Planning and Housing Commission meetings are posted at least 72 hours prior to the meeting in the entry way at City Hall. A complete agenda packet is available for public inspection during business hours at the Community Development Department. Any materials relating to an item on the agenda which are distributed to all, or majority of all, members of the Planning and Housing Commission after the posting of the agenda will also be available at the same time for public inspection during business hours at the Community Development Department.

Written communications from the public for the agenda must be received by the Community Development Department seven (7) days prior to the Planning and Housing Commission meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (951) 736-2235. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

MEETING IS BEING RECORDED

City of Corona

400 S. Vicentia Ave.
Corona, CA 92882



Minutes - Draft

Monday, March 25, 2019

6:00 PM

Council Chambers

Planning and Housing Commission

Karen Alexander, Chair
Timothy Jones, Vice Chair
Mitchell Norton, Commissioner
Viren Shah, Commissioner
Craig Siqueland, Commissioner

ROLLCALL

Present 4 - Commissioner Mitchell Norton, Vice Chair Tim Jones, Chair Karen Alexander, and Commissioner Craig Siqueland
Absent 1 - Commissioner Viren Shah

1. CALL TO ORDER

Chair Alexander called the meeting to order.

2. PLEDGE OF ALLEGIANCE

Vice Chair Jones led the Pledge of Allegiance.

3. PRESENTATION from Corona Historic Preservation Society

Richard Winn, representing the Corona Historic Preservation Society, provided the new commissioners with a binder, *References and Resources for Corona's Property Preservation Program*, to help guide them in their review of historic landmark nomination applications.

4. ORAL COMMUNICATIONS FROM THE PUBLIC

None.

5. MEETING MINUTES

[19-0272](#) Approval of minutes for the Planning and Housing Commission meeting of March 11, 2019

Attachments: [20190311-P&H Minutes - DRAFT](#)

A motion was made by Siqueland, seconded by Jones, that the Planning and Housing Commission approve the meeting minutes of March 11, 2019. The motion carried by the following vote:

Aye: 3 - Vice Chair Jones, Chair Alexander, and Commissioner Siqueland

Abstain: 1 - Commissioner Norton

6. CONSENT ITEMS

None.

7. PUBLIC HEARINGS

[19-0168](#) CUP2018-0012: A Conditional Use Permit application to establish a 49-foot high wireless telecommunications facility designed as a mono-pine tree at Kellogg Park located at 1635 Kellogg Avenue in the P (Park) Zone.

(Applicant: Tiana Madon with MD7, LLC 10590 W. Ocean Air Drive, Suite 300 San Diego, CA 92130).

Attachments: [Staff Report](#)

[Resolution No. 2530](#)

[Locational and Zoning Map](#)

[EXHIBIT A1 - Site Plan](#)

[EXHIBIT A2 - Enlarged Site Plan](#)

[EXHIBIT B - Conditions of Approval](#)

[EXHIBIT C1 - C3 - Propagation Maps for Sprint coverage](#)

[EXHIBIT D - Equipment and Antenna Layout](#)

[EXHIBIT E1 - E2 - Elevation Plans](#)

[EXHIBIT F1 - F4 - Photosimulations for Sprint coverage](#)

[EXHIBIT G - Applicant's Letter dated March 3, 2019](#)

[EXHIBIT H - Environmental Documentation](#)

[CUP2018-0012 Presentation](#)

At the request of Chair Alexander, Sandra Yang, Senior Planner, reviewed the staff report for CUP2018-0012. At the conclusion of her presentation, Ms. Yang offered to answer any questions of the Commission.

Commissioner Siqueland asked for clarification on the leasing agreement.

JUSTIN CAUSEY, REPRESENTING SPRINT/MD7, provided a response regarding the lease agreement and stated that Sprint does not judge their leases based on previous facilities that occupied the property.

Discussion ensued between Chair Alexander and Mr. Causey regarding the removal of the previous monopine from the site and outreach to other wireless carriers for possible co-location opportunities on the new monopine.

Commissioner Norton asked if there are statistics regarding coverage.

Mr. Causey responded that the best resource is the propagation map.

Vice Chair Jones asked for information regarding the design of the tower.

Mr. Causey stated the design is determined based on how much equipment and how many antennas are placed on the tower.

Discussion ensued between Chair Alexander and Mr. Causey regarding the wrought iron fence and the standard protocols for the removal of towers.

Chair Alexander asked for clarification regarding the fees received from the lease and application and how the funds are allocated.

Ms. Coletta explaining that the funds are deposited into the city's general fund since parks are part of the general fund and the money would be spent on general fund expenses.

Chair Alexander opened the public hearing.

JOE MORGAN, RESIDENT, spoke on his concerns regarding the lack of public information regarding the city's negotiations with wireless carriers on lease agreements and monthly rates on the ground lease.

Chair Alexander commented for towers to be erected on city property first in order to maximize city revenue. Chair Alexander also suggested for carriers to present a city wide map depicting coverage in order to identify gaps which would allow the city to be proactive when deciding locations for the establishment of telecommunications facilities.

Chair Alexander closed the public hearing.

A motion was made by Commissioner Norton, seconded by Vice Chair Jones, that this Public Hearings be accepted. The motion carried by the following vote:

Aye: 4 - Commissioner Norton, Vice Chair Jones, Chair Alexander, and Commissioner Siqueland

[19-0222](#)

PP2018-0004: Precise Plan application for the review of the site plan, architecture, landscaping and fencing associated with the development of 25 single-family detached residential homes on 17.28 acres located on the east side of Lester Avenue, south of Upper Drive in the A-14.4 (Single-Family Residential, 14,400 square foot minimum lot area) zone. (Applicant: John Heimann of Griffin Residential, 110 North Lincoln Avenue, Suite 100, Corona, CA 92882).

Attachments: [Staff Report](#)
[Resolution No. 2531](#)
[Aerial and Zoning Map](#)
[Exhibit A - Site Plan](#)
[Exhibit B - Conditions of Approval](#)
[Exhibits C1-C4 - Floor Plans](#)
[Exhibits D1-D4 - Elevations](#)
[Exhibits E1-E5 Landscape Plans](#)
[Exhibit F - Overall HOA Maintenance Areas](#)
[Exhibit G - Photographs of perimeter walls in surrounding neighborhood](#)
[Exhibit H - Fence and Wall Plan](#)
[Exhibit I - Slope Exhibit](#)
[Exhibit J - Applicant's letter dated August 31, 2018 addressing the project](#)
[Exhibit K - Environmental Documentation](#)
[PP2018-0004 PP Presentation](#)

At the request of Chair Alexander, Harald Luna, Associate Planner, reviewed the staff report for PP2018-0004. At the conclusion of her presentation, Mr. Luna offered to answer any questions of the Commission.

Vice Chair Jones asked for more information regarding the vinyl fence.

Mr. Luna provided a response regarding the location and color of the fence.

Discussion ensued between Commissioner Siqueland and staff regarding the street improvements on Golden Harvest Drive and Lester Avenue.

Ms. Coletta provided further clarification on the city's standard requirements for developers regarding street improvements.

Chair Alexander asked staff for a response regarding Commissioner Shah's question (via email) regarding the areas within the project that are being required to be maintained by the HOA rather than the residents.

In response, Ms. Coletta described the HOA designated lots and easements and the reasons why they are being required to be maintained by the HOA rather than the residents. Ms. Coletta also noted that Mr. Luna had responded to Commissioner Shah with this information via email last week.

Chair Alexander asked for clarification on the date for the completed traffic study.

Mr. Luna clarified that the traffic study was prepared at the time when the lots were originally subdivided under Tract Map 31373 which was approved December 6, 2006.

Mr. Koper explained the traffic methodology that is used for both single-family and multi-family residential properties.

Chair Alexander opened the public hearing.

TOM RICHINS, RESIDENT, spoke in favor of the project.

JOE MORGAN, RESIDENT, expressed his appreciation for staff's involvement in making sure this project has more uniformity than past projects.

Chair Alexander closed the public hearing.

A motion was made by Vice Chair Jones, seconded by Commissioner Siqueland, that this Public Hearing be accepted. The motion carried by the following vote:

Aye: 4 - Commissioner Norton, Vice Chair Jones, Chair Alexander, and Commissioner Siqueland

[19-0258](#)

GPA2018-0002: Application to change the General Plan designation of 3.8 acres located on the west side of North Main Street and north of Parkridge Avenue from MDR (Medium Density Residential, 6-15 du/ac) to its previous designation of GC (General Commercial) (Applicant: Keith Osborn of K&A Engineering, Inc., 357 North Sheridan Street, Suite 117, Corona, CA 92880).

Attachments: [Staff Report](#)

[Resolution No. 2532](#)

[Locational and Zoning Map](#)

[Exhibit A - Proposed General Plan Amendment](#)

[Exhibit B - Applicant's letter dated March 15, 2019, explaining the General Plan amendment request](#)

[Exhibit C - Environmental Documentation](#)

[GPA2018-0002 and SPA2018-0002 PP Presentation](#)

At the request of Chair Alexander, Harald Luna, Associate Planner, reviewed the staff report and exhibits for the two related public hearing items GPA2018-0002 and SPA2018-0002. At the conclusion of her presentation, Mr. Luna offered to answer any questions of the Commission.

Commissioner Siqueland asked how often does a zoning and General Plan reversion occur.

Ms. Coletta responded that it does not occur often.

Vice Chair Jones asked why there is not a project being proposed with the General Plan amendment and specific plan amendment tonight.

Ms. Coletta explained the uniqueness of the property's situation in that the property owner who previously rezoned the site is now asking to have the site returned to its original zoning. The owner is trying to market the site and it would be easier to have the zoning established before bringing forth a project for review.

Chair Alexander asked if there was any further contact from the Native American tribes that initially expressed interest in the tribal consultation process.

Mr. Luna responded that there was no follow-up response from either tribe.

Chair Alexander opened the public hearing.

KEITH OSBORN, REPRESENTING K&A ENGINEERING, INC., provided a brief overview of the history of the project site.

Chair Alexander asked for clarification on the acreage of the project site.

Mr. Osborn clarified the acreage by explaining the difference between the net and gross acreage of the project site.

JOE MORGAN, RESIDENT, spoke in favor of having the site's zoning reverted to commercial.

TOM RICHENS, RESIDENT, spoke in favor of this project by echoing Mr. Morgan's comment.

Chair Alexander closed the public hearing.

A motion was made by Vice Chair Jones, seconded by Commissioner Norton, that this Public Hearing be accepted. The motion carried by the following vote:

Aye: 4 - Commissioner Norton, Vice Chair Jones, Chair Alexander, and Commissioner Siqueland

[19-0259](#)

SPA2018-0002: Application to amend the North Main Street Specific Plan (SP99-01) to change the designation of 3.8 acres located on the west side of North Main Street and north Parkridge Avenue from SFC (Single-Family Condominium) to its previous designation of CR (Commercial Retail) (Applicant: Keith Osborn of K&A Engineering, Inc., 357 North Sheridan Street, Suite 117, Corona, CA 92880).

Attachments: [Staff Report](#)

[Locational and Zoning Map](#)

[Exhibit A1 - Proposed Specific Plan Amendment](#)

[Exhibit A2 - Land Use Map \(General Plan\)](#)

[Exhibit A3 - Table 2 Land Use Plan](#)

[Exhibit A4 - Land Use Plan \(Districts\)](#)

[Exhibit A5 - Section 3.1.1 Commercial Retail \(CR\) District](#)

[Exhibit A6 - Section 3.1.6 Single Family Condominium \(SFC\)](#)

[Exhibit A7 - Land Use Plan \(Districts\)](#)

[Exhibit B - Conditions of Approval](#)

[Exhibit C - Applicant's letter dated August 15, 2019, explaining Specific Plan amendment request](#)

[Exhibit D - Legal description of the specific plan amendment site](#)

[Exhibit E - Environmental Documentation](#)

A motion was made by Commissioner Siqueland, seconded by Vice Chair Jones, that this Public Hearing be accepted. The motion carried by the following vote:

Aye: 4 - Commissioner Norton, Vice Chair Jones, Chair Alexander, and Commissioner Siqueland

8. WRITTEN COMMUNICATIONS

None.

9. ADMINISTRATIVE REPORTS

10. PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

11. ADJOURNMENT

Chair Alexander adjourned the meeting at 7:19 p.m. to the Planning and Housing Commission meeting of Monday, April 8, 2019, commencing at 6:00 p.m. in the City Hall Council Chambers.



Agenda Report

File #: 19-0321

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 4/8/2019

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

PPM2018-0011 (CONTINUED): Precise plan application to construct a 4,462 sq. ft. restaurant with drive-through services for Raising Cane's on 1.46 acres in the proposed C-3 (General Commercial) Zone located at 1215 E. Ontario Avenue (Applicant: Ruben Gonzalez, PM Design Group, 38 Executive Park, Suite 310, Irvine, CA 92614).

RECOMMENDED ACTION:

That the Planning and Housing Commission **CONTINUE PPM2018-0011** to the Planning and Housing Commission meeting of April 22, 2019.

PROJECT SUMMARY

PPM2018-0011 is for the review of a new 4,462 square foot Raising Cane's restaurant with drive-through services proposed on 1.46 acres located at 1215 E. Ontario Avenue. PPM2018-0011 is accompanied by CZ2018-0002 which is a request to change the zone of the project site from C-2 (Restricted Commercial) to C-3 (General Commercial). The project was previously reviewed by the Planning and Housing Commission at a public hearing on February 25, 2019. At the meeting, the Commission continued the public hearing to March 11, 2019 to allow the applicant time to address concerns raised at the meeting related to the project's on-site circulation. The proposal was continued again to the April 8, 2019 to afford the applicant additional time to address the concerns. At this time, another continuance is necessary. Therefore, it is recommended that the project be continued to the meeting of April 22, 2019.

PREPARED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

Case Planner: Sandra Yang (951) 736-2262



Agenda Report

File #: 19-0320

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 4/8/2019

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

CZ2018-0002 (CONTINUED): An application to change the zone on 1.46 acres located at 1215 E. Ontario Avenue from C-2 (Restricted Commercial) to C-3 (General Commercial) to facilitate the development of a 4,462 sq. ft. drive-through restaurant (Applicant: Ruben Gonzalez, PM Design Group, 38 Executive Park, Suite 310, Irvine, CA 92614).

RECOMMENDED ACTION:

That the Planning and Housing Commission **CONTINUE CZ2018-0002** to the Planning and Housing Commission meeting of April 22, 2019.

PROJECT SUMMARY

CZ2018-0002 is a request to change the zone on 1.46 acres located at 1215 E. Ontario Avenue from C-2 (Restricted Commercial) to C-3 (General Commercial) to facilitate the development of a new 4,462 square foot restaurant with drive-through services for Raising Cane's. CZ2018-0002 is accompanied by PPM2018-0011 which reviews the site plan layout of the project. The proposal was previously reviewed by the Planning and Housing Commission at a public hearing on February 25, 2019. At the meeting, the Commission continued the public hearing to March 11, 2019 to allow the applicant time to address concerns raised at the meeting related to the project's on-site circulation. The proposal was continued again to the April 8, 2019 to afford the applicant additional time to address the concerns. At this time, another continuance is necessary. Therefore, it is recommended that the project be continued to the meeting of April 22, 2019.

PREPARED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

Case Planner: Sandra Yang (951) 736-2262



Agenda Report

File #: 19-0322

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 4/8/2019

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

PP2019-0002: A proposal to rebuild a new 9,570 square foot Lazy Dog restaurant building on a building pad previously occupied by the Claim Jumper restaurant located at 380 N. McKinley Street (Corona Hills Plaza) within the Sub-Regional Shopping Center designation of the Northeast Corona Specific Plan (SP81-2). (Applicant: Jared Taylor Golden Property Development for Lazy Dog Restaurants, LLC, 5847 Brace Road Loomis, CA 95650).

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2534 **GRANTING PP2019-0002**, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 2.21 acres

Existing Zoning: SRSC (Sub-Regional Shopping Center) designation of the Northeast Corona Specific Plan (SP81-2)

Existing General Plan: General Commercial

Existing Land Use: Restaurant

Proposed Land Use: Restaurant

Surrounding Zoning/Land Uses:

N: SRSC designation of the Northeast Corona Specific Plan (SP81-2)/Commercial center

E: SRSC designation of the Northeast Corona Specific Plan (SP81-2)/Commercial center

S: State Route 91 and SCF (Support Commercial Freeway) designation of the Northeast Corona Specific Plan (SP81-2)/ Commercial center

W: SRSC designation of the Northeast Corona Specific Plan (SP81-2)/Commercial center

BACKGROUND

The 2.21-acre property is part of a larger regional commercial center developed on 58 acres in 1987. The center contains various retail, financial, restaurants, and commercial service uses. The overall center was reviewed and entitled under Precise Plan 87-12. Under the original entitlement, the

precise plan reviewed the commercial center's parking, landscaping, street improvements, signage, and architecture for all buildings, except for five freestanding pads which were developed under separate entitlements. The subject property was one of the freestanding pads that required a separate entitlement.

The subject pad was previously occupied by a 12,690 square foot Claim Jumper restaurant that was developed in 1990 under PP89-18. The restaurant was demolished in February 2019. Lazy Dog is proposing to rebuild the pad with a smaller 9,570 square foot restaurant building. Site improvements also include new landscaping throughout the pad area.

The application was submitted to the city on February 21, 2019 and reviewed by staff at the Project and Environmental Review Committee meeting on March 14, 2019. The Committee informed the applicant of the items missing from the application package. The applicant submitted the required items to staff and the application was considered complete on March 19, 2019 and cleared for public hearing before the Planning and Housing Commission on April 8, 2019.

PROJECT DESCRIPTION

Site Plan

As shown in Exhibit A1, the commercial center is comprised of several parcels and contains several buildings. The parcel to be occupied by Lazy Dog restaurant is 2.21 acres. The restaurant has a floor area of 9,570 square feet with a 1,873 square foot outdoor dining patio (Exhibit A2). The restaurant's main entrance is located on the northwesterly side of the building. The building has a service yard which houses the trash and recycle bins. No changes are proposed to the commercial center's overall parking lot.

The building will be set back approximately 38 feet from the south (rear) property line adjacent to State Route 91, 156 feet from the nearest building to the north, 96 feet from the nearest building to the east, and 193 feet from the nearest building to the west. The SRSC designation does not prescribe any building setbacks for commercial buildings, except for a 15-foot wide landscape setback along McKinley Street which already exists for the center. Also, the new building will be constructed on the exact same pad as the previous building; therefore, the proposed project complies with the development standards of the SRSC designation in terms of setbacks.

Floor Plan

The restaurant's floor plan is shown in Exhibit C. The restaurant features indoor and outdoor dining areas. The indoor dining area has a seating capacity for 270 seats. The outdoor dining area has a seating capacity for 74 seats. The restaurant's main entrance is located on the northwesterly side of the building. A service yard entrance is located on the southeasterly side of the building for employees, deliveries, and shipments.

Operating Hours

The restaurant's operating hours will be from 11:00 a.m. to 1:00 a.m., Monday through Saturday, and 9:00 a.m. to 12:00 a.m. on Sundays.

Delivery Hours

Per the applicant's letter (Exhibit G1), the restaurant's delivery hours will take place between 6:00 a.m. and 9:00 a.m. prior to the restaurant being opened for service. Loading activities will take place in the drive aisle located on the southeasterly side of the building adjacent to the service yard. Since the delivery hours for the restaurant will take place in the early morning during off-peak hours, the center's on-site circulation will not be impacted.

Architecture

The restaurant proposed for Lazy Dog is a single-story structure with a rustic architectural style inspired by the Rocky Mountains. The architecture maintains the restaurant's corporate look which features a combination of stucco and stone veneer walls with steel awnings. The roofline incorporates a tower element and parapet walls. The tower element has a standing seam metal roof which helps delineate and enhances the main entrance. The parapet walls help screen rooftop mechanical equipment from view at ground level. The colors of the building include various shades of browns with dark red accent colors. The height of the building is approximately 38 feet which is below the 40-foot height limit established by the SRSC designation. The SRSC designation does not prescribe a specific architectural theme for commercial buildings which allows the buildings within the commercial center to have architectural variation provided there is compatibility among the colors and materials. The applicant's elevation plans are shown in Exhibits D1-D3 and E1-E3.

Access, Circulation and Parking

Access to the project site is taken from three existing driveways located on McKinley Street. The most northerly and southerly driveways are signalized which allow for right and left turn movements in and out of the center. The middle driveway is not signalized and is limited to right-in and right-out only turn movements from the southbound lanes.

McKinley Street is a major arterial on the city's General Plan circulation map. Additionally, the street is fully improved with curb, gutter, parkway, and sidewalk and has an overall right-of-way width of 100 feet. The master developer of the shopping center constructed the street improvements adjacent to the project site. Therefore, no additional improvements or street widening is required with this project.

Internal circulation is facilitated by several drive aisles located throughout the site, with the primary drive aisles associated with the two signalized drives into the shopping center. Additionally, the commercial center has reciprocal ingress, egress, and parking that is shared among the business of the center.

Per the Corona Municipal Code, the number of parking spaces required for retail uses within a commercial center greater than five acres established prior to December 1994 are allowed to continue to use the parking ratios that were established on the property. The allowed parking ratios for the center are one parking space for every 375 square feet of building area (1:375) for retail uses, one parking space for every 200 square feet of building area (1:200) for financial institutions, and one parking space for every 125 square feet of building area (1:125) for restaurant uses. Per the parking ratios that were in effect at the time the center was established, Lazy Dog restaurant requires 91 parking spaces. Based on the combined uses of the center, a total of 1,988 parking spaces are

required and the center provides 2,595 parking spaces, including handicap spaces which are shared spaces between all tenants. Therefore, the commercial center is overparked by 606 parking spaces. A detailed parking tabulation for the entire Corona Hills Plaza commercial center is provided as Exhibit A3.

Landscaping

The applicant is proposing a building that has been reduced in size from the original existing building and, therefore, will be increasing the amount of landscaping around the building pad. As shown in Exhibit F, the applicant's landscape plan illustrates landscaping around the building. The plant pallet features a variety of drought tolerant materials including four types of trees, flowering shrubs, ground cover, and ornamental grass. The restaurant's main entrance will be enhanced with 24-inch box trees. The existing landscaping within the parking lot will remain in place. The proposed landscaping complies with the City's Landscape Design Guidelines for commercial properties, the Corona Municipal Code, and the Northeast Corona Specific Plan.

Signage

Exterior wall signs are conceptually shown on the north, east and west elevations of the building (Exhibits E1 - E3). Wall signs are required to comply with the sign standards under the SRSC designation which allows three square feet of sign area for every one lineal foot of building elevation not to exceed 200 square feet. The allowable square footage, height, and location of the proposed signs will be reviewed under a separate permit by the Community Development Department prior to installation.

No pylon sign is proposed for Lazy Dog as the center already has two existing 50-foot high pylon signs. One is located on the east side along McKinley Street and the second is located on the south side adjacent to State Route 91. Each pylon sign has seven tenant panels.

No monument sign is currently proposed for Lazy Dog. However, per the SRSC designation, monument style parcel identification signs are permitted on interior freestanding building lots with frontage on the main interior access way. The sign shall not exceed 24 square feet in area per face.

ENVIRONMENTAL ANALYSIS

Per Article 19 Categorical Exemptions, Section 15302 (Class 2, Replacement or Reconstruction) of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 3.21 of the Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because it consists of replacing a previous restaurant with a new restaurant of substantially the same size, purpose, and capacity. The previous restaurant on the project site was 12,690 square feet in area which will be replaced by a new 9,570 square foot restaurant with a 1,843 square foot outdoor dining patio. The new structure will be placed on the same location as the previous structure. Therefore, there is no possibility that the project will have any significant adverse effects on the environment. The Notice of Exemption is attached as Exhibit H.

FISCAL IMPACT

The applicant paid \$7,305.00 in application processing fees for the precise plan application.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly News* and posted at the project site. As of the preparation of this report, the Community Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

The proposed project will result in the development of a 9,570 square foot Lazy Dog restaurant with a 1,843 square foot outdoor dining patio on property that was previously occupied by a Claim Jumper restaurant. The proposed use is permitted in the SRSC designation of the Northeast Corona Specific Plan. As demonstrated by the applicant's plans, the project is capable of complying with the development standards of the SRSC designation in terms of setbacks, parking, landscaping, and building height restriction. The architecture and color scheme proposed for the building will add visual interest to the existing commercial center. Also, the applicant will be re-landscaping the entire pad which will further enhance the center.

Development of the proposed project would fulfill several General Plan policies including Policies 1.1.1, 1.1.2, 1.1.3 and 1.11.1 which all encourage and emphasize having a community that contains a diversity of land uses that support the needs of Corona's residents and help maintain Corona as a self-sustaining city. The project also fulfills General Plan Policy 2.5.9 which requires that the renovation of existing buildings and new construction exhibit a high level of architectural character by applying architectural treatments and articulation on all building elevations and integrating signage with the architectural character of the building to promote visual interest. Therefore, PP2019-0002 is recommended for approval based on the following findings and conditions of approval attached as Exhibit B.

FINDINGS OF APPROVAL FOR PP2019-0002

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because the project qualifies as a Class 2 Categorical Exemption per Section 15302 (Replacement or Reconstruction) under CEQA. The project consists of replacing an existing restaurant with a smaller sized restaurant. The previous restaurant had a building area of 12,690 square feet and is being replaced with a new restaurant that is 9,570 square feet with a 1,843 square foot outdoor patio. The new structure will also be placed on the same location as the previous structure. Therefore, there is no possibility that the project will have any significant effect on the environment.
2. All the conditions necessary to granting a Precise Plan as set forth in Chapter 17.91 of the Corona Municipal Code do exist in reference to PP2019-0002 for the following reasons:
 - a. *The proposal is consistent with the General Commercial land use designation of the General Plan because this land use is intended for commercial uses and the proposal is a restaurant.*

- b. The proposal complies with the SRSC designation of the Northeast Corona Specific Plan because the proposal is a restaurant which is permitted in the SRSC designation, and complies with development standards of the Specific Plan.*
 - c. The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding #1, the project is exempt from further review.*
 - d. The site is of sufficient size and configuration to accommodate the design and scale of the proposed development, including the building and elevations, landscaping, parking and other physical features of the proposal, as demonstrated in Exhibits A1-A3 of this report.*
 - e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the SRSC designation of the Northeast Corona Specific Plan.*
 - f. The architectural design of the proposed restaurant is in keeping with the restaurant's corporate identity and utilizes quality building materials that are compatible with the surrounding buildings, will enhance the visual character of the center and surrounding properties in conjunction with and as part of the overall dining experience and will provide for harmonious, orderly and attractive development of the site.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing. As shown by the project's conceptual elevation drawings, the building will have a rustic appeal symbolic to the restaurant's style and implements stucco and stone veneer walls, with steel awnings and a color scheme that consists of earth tone colors.*
3. The proposal is consistent with the General Plan for the following reasons:
- a. The project site has a General Plan land use designation of General Commercial which accommodates a wide range of commercial services, including restaurants.*
 - b. The project includes high quality building materials and architectural elements that are consistent with General Plan Policy 2.5.9 which requires that the renovation of existing businesses and new construction exhibit a high level of architectural character by adhering to design principles such as applying architectural treatments and articulation*

on all building elevations and integrating signage with the architectural character of the building to promote visual interest.

- c. The project fulfills General Plan Policies 1.1.1, 1.1.2, 1.1.3 and 1.11.1 which all encourage and emphasize having a community that contains a diversity of land uses that support the needs of Corona's residents and help maintain Corona as a self-sustaining city because the new restaurant will provide the city's service population access to additional eating establishments.*

- 4. The proposal is consistent with the SRSC (Sub-Regional Shopping Center) designation of the Northeast Corona Specific Plan (SP81-2) for the following reason:

- a. The project is consistent with the SRSC designation because the proposed restaurant is a permitted use in the SRSC designation. The project is also capable of complying with the development standards of the SRSC designation such as building setbacks, building height, parking, and landscaping.*

PREPARED BY: LUPITA GARCIA, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBITS

- 1. Resolution No. 2534
- 2. Locational and Zoning Map
- 3. Exhibits A1-A3 - Site Plan, Enlarged Site Plan and Detailed parking tabulation
- 4. Exhibit B - Conditions of Approval
- 5. Exhibit C - Floor Plan
- 6. Exhibits D1-D3 - Elevation Plans
- 7. Exhibits E1-E3 - Colored Elevation Plans
- 8. Exhibit F - Landscape Plans
- 9. Exhibit G1 - Applicant's letter dated February 15, 2019, addressing the scope of the project
- 10. Exhibit G2 - Applicant's letter dated March 5, 2019, addressing the restaurant's delivery hours
- 11. Exhibit H - Environmental Documentation

Case Planner: Lupita Garcia (951) 736-2262



RESOLUTION NO. 2534

APPLICATION NUMBER: PP2019-0002

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN FOR THE REBUILD OF A NEW 9,570 SQUARE FOOT LAZY DOG RESTAURANT WITH A 1,843 SQUARE FOOT OUTDOOR DINING PATIO ON A BUILDING PAD PREVIOUSLY OCCUPIED BY THE CLAIM JUMPER RESTAURANT LOCATED AT 380 N. MCKINLEY STREET (CORONA HILLS PLAZA) WITHIN THE SUB-REGIONAL SHOPPING CENTER DESIGNATION OF THE NORTHEAST CORONA SPECIFIC PLAN (SP81-2).

WHEREAS, the application to the City of Corona, California, for a Precise Plan PP2019-0002 under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the review of a proposal to rebuild a new 9,570 square foot Lazy Dog restaurant with a 1,843 square foot outdoor dining patio located at 380 N. McKinley Street (Corona Hills Plaza) within the Sub-Regional Shopping Center designation of the Northeast Corona Specific Plan (SP81-2).

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PP2019-0002 on April 8, 2019, as required by law; and

WHEREAS, at the conclusion of said hearing the project was determined to be exempt from the California Environmental Quality Act and a Notice of Exemption was prepared for PP2019-0002.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PP2019-0002 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning Commission based its recommendation to approve the Precise Plan on certain conditions of approval, the findings set forth below and adoption of the Exempt.

**NOW THEREFORE, THE PLANNING AND HOUSING COMMISSION
OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

SECTION 1. CEQA Findings. The project is exempt from CEQA because the project qualifies as a Class 2 Categorical Exemption per Section 15302 (Replacement or Reconstruction) under CEQA. The project consists of replacing a previous restaurant with a smaller sized restaurant. The previous restaurant had a building area of 12,690 square feet and is being replaced with a new restaurant that is 9,570 square feet with a 1,843 square foot outdoor patio. The new structure will also be placed on the same location as the previous structure. Therefore, there is no possibility that the project will have any significant effect on the environment.

SECTION 2. Precise Plan Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because the project qualifies as a Class 2 Categorical Exemption per Section 15302 (Replacement or Reconstruction) under CEQA. The project consists of replacing a previous restaurant with a smaller sized restaurant. The previous restaurant had a building area of 12,690 square feet and is being replaced with a new restaurant that is 9,570 square feet with a 1,843 square foot outdoor patio. The new structure will also be placed on the same location as the previous structure. Therefore, there is no possibility that the project will have any significant effect on the environment.
2. All the conditions necessary to granting a Precise Plan as set forth in Chapter 17.91 of the Corona Municipal Code do exist in reference to PP2019-0002 for the following reasons:
 - a. *The proposal is consistent with the General Commercial land use designation of the General Plan because this land use is intended for commercial uses and the proposal is a restaurant.*
 - b. *The proposal complies with the SRSC designation of the Northeast Corona Specific Plan because the proposal is a restaurant which is permitted in the SRSC designation, and complies with development standards of the Specific Plan.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding #1, the project is exempt from further review.*
 - d. *The site is of sufficient size and configuration to accommodate the design and scale of the proposed development, including the building and elevations,*

landscaping, parking and other physical features of the proposal, as demonstrated in Exhibits A1-A3 of this report.

- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the SRSC designation of the Northeast Corona Specific Plan.*
 - f. The architectural design of the proposed restaurant is in keeping with the restaurant's corporate identity and utilizes quality building materials that are compatible with the surrounding buildings, will enhance the visual character of the center and surrounding properties in conjunction with and as part of the overall dining experience and will provide for harmonious, orderly and attractive development of the site.*
 - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing. As shown by the project's conceptual elevation drawings, the building will have a rustic appeal symbolic to the restaurant's style and implements stucco and stone veneer walls, with steel awnings and a color scheme that consists of earth tone colors.*
3. The proposal is consistent with the General Plan for the following reasons:
- a. The project site has a General Plan land use designation of General Commercial which accommodates a wide range of commercial services, including restaurants.*
 - b. The project includes high quality building materials and architectural elements that are consistent with General Plan Policy 2.5.9 which requires that the renovation of existing businesses and new construction exhibit a high level of architectural character by adhering to design principles such as applying architectural treatments and articulation on all building elevations and integrating signage with the architectural character of the building to promote visual interest.*
 - c. The project fulfills General Plan Policies 1.1.1, 1.1.2, 1.1.3 and 1.11.1 which all encourage and emphasize having a community that contains a diversity of land uses that support the needs of Corona's residents and help maintain Corona as a self-sustaining city because the new restaurant will provide the city's service population access to additional eating establishments.*
4. The proposal is consistent with the SRSC (Sub-Regional Shopping Center) designation of the Northeast Corona Specific Plan (SP81-2) for the following reason:

- a. The project is consistent with the SRSC designation because the proposed restaurant is a permitted use in the SRSC designation. The project is also capable of complying with the development standards of the SRSC designation such as building setbacks, building height, parking, and landscaping.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan.

Adopted this 8th day of April, 2019.

Karen Alexander, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Jennifer Killman
Secretary, Planning and Housing Commission
City of Corona, California

I, Jennifer Killman, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in an adjourned regular session of said Planning and Housing Commission duly called and held on the 8th day of April, 2019, and was duly passed and adopted by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAINED:

Jennifer Killman
Secretary, Planning and Housing Commission
City of Corona, California

Adopted this 8th day of April, 2019.

Karen Alexander, Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Jennifer Killman
Secretary, Planning and Housing Commission
City of Corona, California

I, Jennifer Killman, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in an adjourned regular session of said Planning and Housing Commission duly called and held on the 8th day of April, 2019, and was duly passed and adopted by the following vote, to wit:

AYES:	Norton, Jones, Shah and Siqueland
NOES:	None
ABSENT:	None
ABSTAINED:	None

Jennifer Killman
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & ZONING MAP



ZONING LEGEND

SRSC: Sub-Regional Shopping Center of the Northeast Corona Specific Plan (SP81-2)
 SC: Support Commercial of the Northeast Corona Specific Plan (SP81-2)
 HDR-22: High Density Residential of the Northeast Corona Specific Plan (SP81-2), Planning Area 22
 HDR-23: High Density Residential of the Northeast Corona Specific Plan (SP81-2), Planning Area 23



Date: 03/19/2019

PP2019-0002
380 N. McKinley Street





KEYNOTES - SITE PLAN

- 1. PROPERTY LINE
- 2. ACCESSIBLE ROUTE OF TRAVEL SHALL BE A MINIMUM OF 48" WIDE EXCEPT AT DOORS. ROUTE MUST ALWAYS BE STABLE, FIRM and SLIP RESISTANT SURFACE. IRREGULAR SURFACES SUCH AS COBBLESTONES, BRICKS or CONCRETE PAVERS, STAMPED CONCRETE ARE UNACCEPTABLE ON THE ACCESSIBLE ROUTE. SLOPE SHALL NOT EXCEED THE FOLLOWING: SIDEWALK 1:20 (5%), CROSS SLOPE 1:50 (2%), RAMPS 1:12 (8.33%)
- 3. PARKING STALLS, REFER TO CIVIL DWGS.
- 4. ACCESSIBLE PARKING STALLS, REFER TO CIVIL DWGS.
- 5. VAN ACCESSIBLE PARKING STALLS, REFER TO CIVIL DWGS.
- 6. 'TO-GO' PARKING STALLS
- 7. 'TO GO' SIGN, SUPPLIED BY LAZY DOG, MOUNTED AND INSTALLED BY G.C., SEE DTL. 4/A1.2
- 8. ACCESSIBLE PARKING SIGN, REFER TO CIVIL DWGS.
- 9. NEW CONC. SIDEWALK, MAX. 5% SLOPE 4' MAX. 2% CROSS SLOPE, REFER TO CIVIL DWGS.
- 10. LANDSCAPE AREA, REFER TO LANDSCAPE DWGS.
- 11. MENU BOARD SUPPLIED BY LAZY DOG & INSTALLED BY G.C., SEE DTL. 1/A1.2, REFER TO ELEC. DWGS.
- 12. ADA CURB RAMP, REFER TO CIVIL DWGS.
- 13. EXISTING LOCAL BUS STOP LOCATION
- 14. WHEEL STOP, REFER TO CIVIL DWGS.
- 15. TRANSFORMER, APPROXIMATE LOCATION, REFER TO CIVIL and ELEC. DWGS.
- 16. GREASE INTERCEPTOR, APPROXIMATE LOCATION, REFER TO PLUMB. DWGS.
- 17. 12' x 25' LOADING ZONE
- 18. EXISTING EV PARKING STALLS, REFER TO ELEC. DWGS.
- 19. BIKE RACK, REFER TO LANDSCAPE DWGS.

SITE PREPARATION NOTES

- 1. GC TO STRIP and REMOVE ALL VEGETATION, DEBRIS, UNCONTROLLED FILL and LOOSE SOFT, MEDIUM or DISTURBED NATURAL SOILS and OTHER DELETERIOUS MATERIALS PRIOR TO COMMENCING CONSTRUCTION
- 2. THE CLEARED AREA MUST INCLUDE THE BUILDING AREA, ADJACENT WALKS, SLABS and AREAS TO BE PAVED
- 3. REFER TO SOIL REPORT FOR EXTENT OF EXCAVATION and PAD PREPARATION
- 4. GC TO FILL and COMPACT THE SOIL and PREPARE THE PAD FOR CONSTRUCTION ACCORDINGLY 4' CIVIL DRAWINGS and SOIL REPORT

GENERAL SITE PLAN NOTES

- 1. CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS and REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- 2. PARKING DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY. THE LAZY DOG and THEIR GENERAL CONTRACTOR ARE IN NO WAY RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS.
- 3. ALL PARKING and EXTERIOR LANDSCAPE AREAS, INCLUDING ACCESSIBLE PARKING STALLS and PATHS ARE BY THE LANDLORD.

LEGEND

- ACCESSIBLE PATH OF TRAVEL.
- - - - - PROPERTY LINE
- [SHADING] PROJECT SCOPE
- [SHADING] EXISTING ADJACENT BUILDING, NOT IN SCOPE

EXHIBIT A1

Architect

JGA
JAMES GARTNER & ASSOCIATES, ARCHITECTS, INC.

ARCHITECTURE
PLANNING / INTERIORS
PROJECT MANAGEMENT

2036 North Broadway
Santa Ana, CA 92706
Phone: 714.560.9210
www.jgartner.com

TECHNICAL SPECIFICATIONS, AREA, DECKS, AND ADJACENT AREAS
UNLESS OTHERWISE NOTED ARE TO BE SHOWN TO THE PROPERTY OF
THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED,
COPIED, ADAPTED, OR OTHERWISE USED WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT. YOUR CONSENT WITH THE
ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE
YOUR AGREEMENT TO THE TERMS OF THESE CONDITIONS.

Stamp and Signature

Issuance	Description
15 FEB 2019	PLAN CHECK SUBMITTAL
20 FEB 2019	ISSUED FOR BID

Revision	No.	Description
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Project Name and Location

Lazy Dog
CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

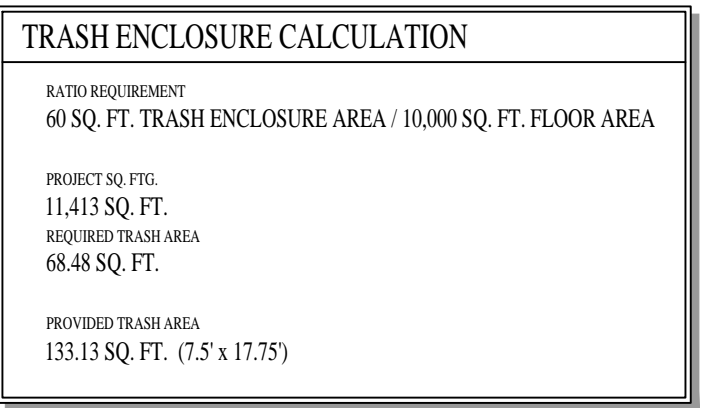
Sheet Title

OVERALL SITE PLAN
KEYNOTES
SITE PLAN NOTES
LEGEND

Project No.: ..

Sheet No.: **A1.0**

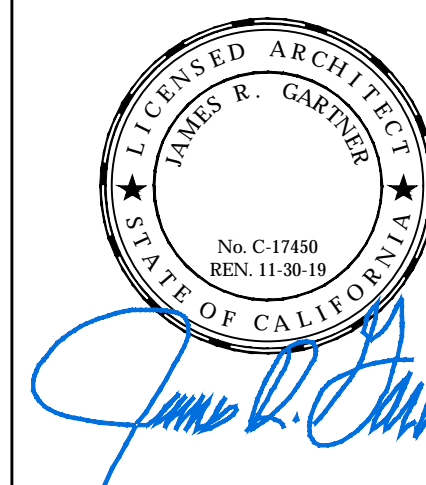
Print Date: 13 March 2019



1

EXHIBIT A2

A1.1



Issuance Date	Description
<input type="checkbox"/>	PLAN CHECK SUBMITTAL
<input type="checkbox"/>	PLAN CHECK RESUBMITTAL
<input type="checkbox"/>	ISSUED FOR BID
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION

[illegible]

Unit #	Tenant	Sq. Ft.	Ratio	Required Parking
57	99 Cent Only	23996	1/375	63.99
12	Available	5500	1/375	14.66
58	Available	4800	1/375	12.8
20	Banner Mattress	6440	1/375	17.17
21	Bellazeio Nail & Spa	2106	1/375	5.6
30	Big Five Sporting Goods	11734	1/375	31.29
48	Burgerim	1400	1/125	11.2
36	Cigarette Depot	1950	1/375	5.2
44	City Male Barber	1125	1/375	3
19	Lazy Dog (Proposed)	11413	1/125	91.304
69	Costco	11412	1/375	304.3
67	Del Taco	1872	1/125	14.98
65	Dog Haus	2100	1/125	16.8
64	Epic Wings	2100	1/125	16.8
20	FedEx Office	5000	1/375	13.33
38	Flame Broiler	1080	1/125	8.64
25	Friar Tux	1610	1/375	4.29
61	Home Depot	100000	1/375	266.67
8	Hometown Buffet	10600	1/125	84.8
47	House of Beauty	1400	1/375	3.73
4	Jen Korean BBQ	5625	1/125	45.31
68	Jersey Mikes	1400	1/125	11.2
17	JP Morgan Chase Bank	7050	1/200	35.25
70	Juice It Up	1400	1/125	11.2
9	K & N Shoes	3800	1/375	10.13
23	Lady MV	3219	1/375	8.58
45	Mail Service & More Inc.	1400	1/375	3.73
34	McDonalds	4000	1/125	32
22	MediCross Urgent Care	2225	1/200	11.12
54	Min's Dumpling House	1470	1/125	11.76
43	Miss Doughnuts	1125	1/125	9
41	Nail Tyme	1080	1/375	2.88
55	Nancy's Country	1925	1/375	5.13
66	Nutrition Zone	1400	1/375	0.73
24	OneMain Financial	1648	1/200	8.24
37	Palm Beach Tanning	1950	1/375	5.2
53	Pho Anam	1470	1/125	11.72
33	Pieology	2100	1/125	16.8
10	Plato's Closet	4275	1/375	11.4
52	Poke-ria	1925	1/125	15.4
150	Ranch Market	39940	1/375	106.51
8	ReMax Real Estate	5500	1/375	14.67
26	Ross	24990	1/375	66.64
1	Sola Salon	5500	1/375	14.67
100	Starbucks Coffee	1700	1/125	13.6
32	Subway	1300	1/125	10.4
40	Sushi Asahi	3240	1/125	25.92
63	Texas Roadhouse	7800	1/125	62.4
18	TJ Maxx	25885	1/375	69.03
105	T-Mobile	3250	1/375	8.67
35	U S Bank	4524	1/200	22.62
59	UFC Gym	45000	1/150	300
46	UNT Tae kwondo	1400	1/3 Students	6
42	Yogurtland	1250	1/125	10

Total Parking Required:	1988.464
Total Parking Available:	2,498
Handicap Parking Available:	97
	606

Project Name and Location

Lazy Dog
EAT. DRINK.

CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title

PARKING TABLE PARKING PLAN

Project No.: Sheet No.:

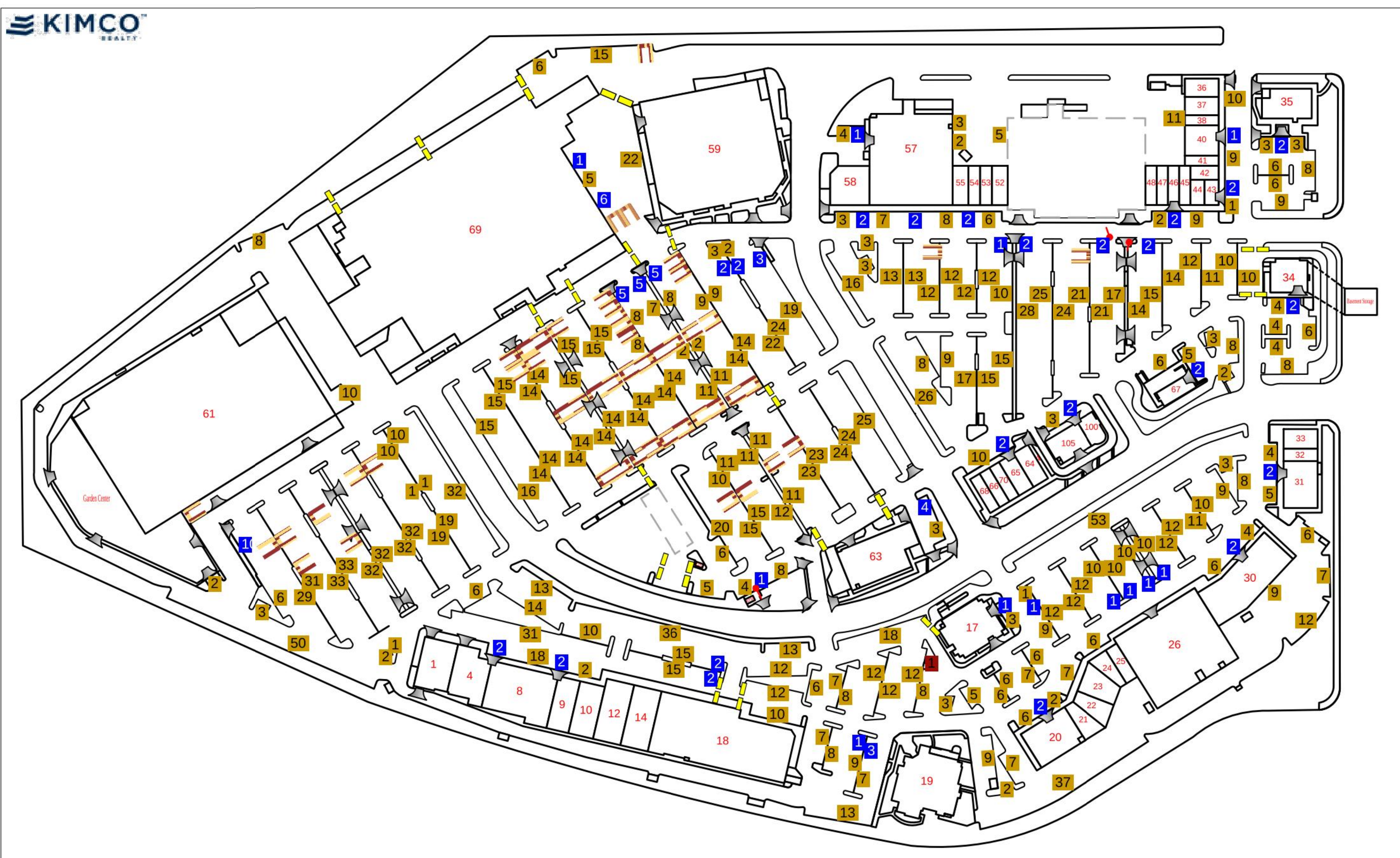
TS-7

Print Date: 13 March 2019

Kimco Realty Corporation | 0546 - Corona Hills Plaza | Parking

Legend

- | | |
|---|------------------------|
| 2 | Handicap Parking (97) |
| 3 | Regular Parking (2498) |



PARKING PLAN

SCALE

2

PARKING TABLE

SCALE
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EXHIBIT A3



Project Conditions

City of Corona

Project Number: PP2019-0002

Description: PP FOR NEW 11,413 SQ FT RESTAURANT AND PATIO FOR LAZY DOG

Applied: 2/21/2019

Approved:

Site Address: 380 N MCKINLEY ST CORONA, CA 92879

Closed:

Expired:

Status: COMPLETE

**Applicant: LAZY DOG RESTAURANTS, LLC C/O GOLDEN PROPERTY DEVELOPMENT
5847 BRACE ROAD LOOMIS CA, 95650**

Parent Project:

Details: PRECEISE PLAN FOR A NEW RESTAURANT BUILDING FOR LAZY DOG RESTAURANT (DEMO EXISTING 12,690 SQ FT CLAIM JUMPER AND BUILD 9,570 SQ FT RESTAURANT WITH A 1,873 SQ FT PATIO).

LIST OF CONDITIONS

DEPARTMENT	CONTACT
BUILDING	Oscar Davalos
<p>1. Construction Documents shall be prepared in accordance with all 2016 applicable building codes.</p> <p>A fully compliant accessible path of travel for people with disabilities needs to be provided as mandated on California Code Section 11B-206.2.1 and all other applicable codes. 11B-206.2.1 Site arrival points. At least one accessible route shall be provided within the site from accessible parking spaces and accessible passenger loading zones; public streets and sidewalks; and public transportation Stops to the accessible building or facility entrance they serve. Where more than one route is provided, all routes must be accessible.</p> <p>2. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.</p> <p>3. Construct trash enclosures per city standards. May be obtained at Bldg. Dept. Counter.</p> <p>4. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.</p> <p>5. Roofing material shall be Class A.</p> <p>6. Plans for food preparation areas shall be approved by the Riverside County Health Dept. prior to plan check approval from this department.</p> <p>7. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.</p> <p>8. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.</p> <p>9. Upon tenant improvement plan check submittal there may be additional Building Department requirements.</p> <p>10. Fees - a. Occupancy fee of \$255.00 at the time of permit per unit. b. Property Development Tax at \$960.00 per dwelling unit. c. Storm water drainage fee at \$0.13 per square foot for Residential/ \$0.025 per square foot for Commercial \u0026 Manufacturing. d. School Fees shall be paid prior to issuance of permit. Provide copy of receipt to the Building Department.</p> <p>11. Separate permits are required for all fences, walls and paving.</p> <p>12. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.</p>	

31

EXHIBIT B



Project Conditions

City of Corona

BUILDING	Oscar Davalos
<p>13. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.</p> <p>14. Business shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.</p> <p>15. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance.</p> <p>16. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance.</p>	
FIRE	Cindi Schmitz
<p>1. Place Fire Department DPR comments on plans as general notes.</p> <p>2. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal.</p> <p>3. Plans shall show a minimum drive width of 28 feet.</p> <p>4. Provide plans for two (2) all weather surface access ways to be approved by the Fire Prevention Manager and construct the access way(s) to accommodate 70,000 lbs GVW during all phases of construction.</p> <p>5. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s).</p> <p>6. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer.</p> <p>7. Submit a copy of recorded Mutual Access and Fire Protection Maintenance Agreement.</p> <p>8. A Knox Box shall be provided for the building.</p> <p>9. A minimum fire flow of 3000 gpm shall be provided.</p> <p>10. Fire hydrants are to be spaced a maximum 250 feet apart.</p> <p>11. Provide Class A roofing material.</p> <p>12. Trash enclosures in excess of 1.5 cubic yards shall not be located within five (5) feet of combustible construction or building openings.</p> <p>13. Per 511 of the Corona Municipal Code, a public safety radio communication study is required. Consult with the Fire Department for specific requirements for this study.</p> <p>14. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.</p> <p>15. A specific address, assigned by the City of Corona, shall be provided for each building as specified by the fire department address standard which can be obtained at the fire department counter at City Hall. Address must be illuminated during all hours of darkness.</p> <p>16. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet.</p> <p>17. Obtain the following fire department permit(s):Place of Assembly</p> <p>18. Schedule Certificate of Occupancy inspection/building final inspection prior to occupancy of this structure/ improvement area.</p> <p>19. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.</p> <p>20. Hazardous Materials Disclosure and Business Emergency Plan required to be submitted and approved prior to occupancy or use.</p> <p>21. FR-0098 Submit separate detailed plans for the sprinkler system and alarm system for review and approval from the City.</p>	



Project Conditions

City of Corona

PLANNING	Lupita Garcia
	<ol style="list-style-type: none"> 1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 3. This Precise Plan hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof within two (2) years after the construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed. 4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the SRSC designation of the Northeast Corona Specific Plan (SP81-2), including the payment of all required fees. 5. All landscaping onsite shall be installed per the approved plans prior to issuance of a certificate of occupancy. 6. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal the developer shall submit \$2,500 to the Planning Division for landscape plan check and inspection services. This is separate from the Building Division's landscape plan check submittal fee. Any money left remaining from the deposit will be reimbursed to the developer upon project completion. 7. All signage shall comply with the sign standards under Chapter 17.74 of the Corona Municipal Code and the SRSC designation of the Northeast Corona Specific Plan (SP81-2). Signs shall be submitted and permitted separately over the public counter. 8. This project is exempted from Riverside County's MSCHP fee, as the site is previously developed. 9. The new restaurant shall obtain an Alcohol Beverage Permit (ABP) from the City of Corona (available at www.CoronaCA.gov) prior to operating. 10. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
PUBLIC WORKS	Jessica Kang
	<ol style="list-style-type: none"> 1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail. 2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions. 3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property. 4. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.



Project Conditions

City of Corona

PUBLIC WORKS	Jessica Kang
	<ol style="list-style-type: none"> 5. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City. 6. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances. 7. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans. 8. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following: (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day. (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official. (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. (d) Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions. 9. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following: <ol style="list-style-type: none"> a) All street facilities (Griffin Way & McKinley St). b) All drainage facilities. c) All required grading, including erosion control. d) All required sewer, water and reclaimed water facilities. e) All required landscaping. 10. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director. 11. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development. 12. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section. 13. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (<i>Lepidospartum Squamatum</i>) has been completed. 14. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries. 15. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested. 16. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities. 17. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.



Project Conditions

City of Corona

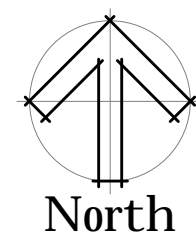
PUBLIC WORKS	Jessica Kang
<ol style="list-style-type: none">18. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Public Works Land Development Section for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.19. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.20. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future homeowners and/or occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.21. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.22. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.23. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.24. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.25. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.26. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.27. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.28. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.29. Prior to recordation or approval of improvement plans, the applicant shall obtain all necessary easements for any required offsite water and sewer facilities.30. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.31. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.32. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.	



Project Conditions

City of Corona

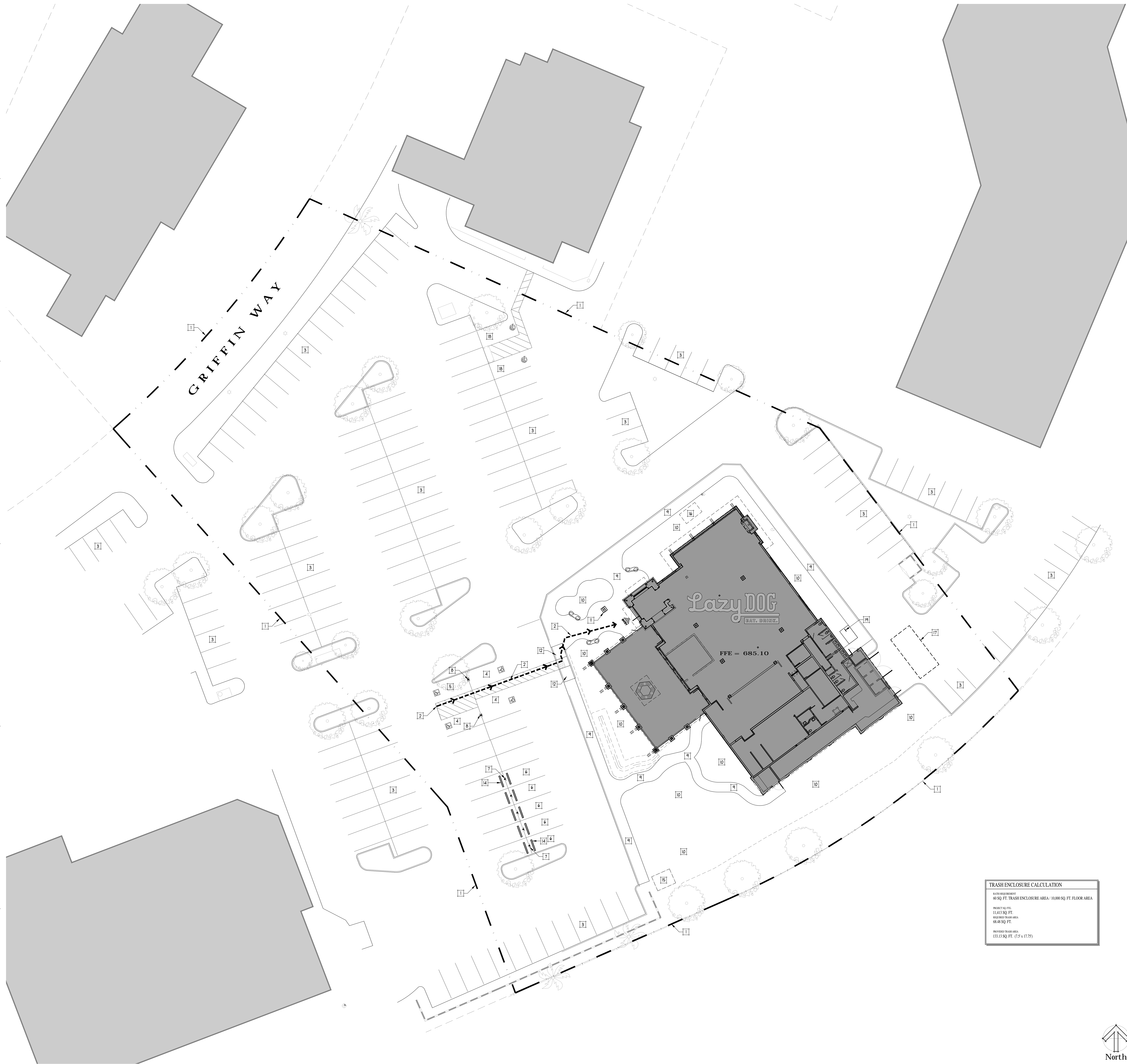
PUBLIC WORKS	Jessica Kang
<p>33. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.</p> <p>34. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.</p> <p>35. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.</p> <p>36. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.</p> <p>37. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.</p> <p>38. Static pressures exceeding 80 psi require an individual pressure regulator.</p> <p>39. The applicant shall provide a separate irrigation water service for all privately maintained landscaped areas. All landscaping shall be per a California Friendly pallet.</p> <p>40. All handling of solids waste, recyclables and/or construction & demolition debris during all phases of construction and post construction shall conform to the City of Corona Municipal Code, Title 8, Chapter 8.20.80, as well as conform to applicable Federal, State and local laws, rules, regulations, ordinances and all provisions.</p>	



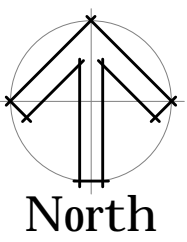
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Print Date: 13 March 2019



TRASH ENCLOSURE CALCULATION	
REQUIRED	
60 SQ. FT. TRASH ENCLOSURE AREA / 10,000 SQ. FT. FLOOR AREA	
PROJECT SQ. FT.	11,413.50 SQ. FT.
REQUIRED TRASH AREA	68.49 SQ. FT.
PROPOSED TRASH AREA	153.13 SQ. FT. (17' x 17.35')



ENLARGED SITE PLAN

SCALE
1/16" = 1'-0"

1

KEYNOTES - SITE PLAN

1. PROPERTY LINE
2. ACCESSIBLE ROUTE OF TRAVEL SHALL BE A MINIMUM OF 48" WIDE EXCEPT AT DOORS. ROUTE MUST ALWAYS BE STABLE, FIRM AND SLIP RESISTANT SURFACE. IRREGULAR SURFACES SUCH AS COBBLESTONE, BRICK or CONCRETE PAVERS, STAMPED CONCRETE ARE UNACCEPTABLE ON THE ACCESSIBLE ROUTE. SLOPE SHALL NOT EXCEED THE FOLLOWING: SIDEWALK 1:20 (5%), CROSS SLOPE 1:50 (2%), RAMPS 1:12 (8.33%).
3. PARKING STALLS, REFER TO CIVIL DWGS.
4. ACCESSIBLE PARKING STALLS, REFER TO CIVIL DWGS.
5. VAN ACCESSIBLE PARKING STALLS, REFER TO CIVIL DWGS.
6. 'TO-GO' PARKING STALLS
7. 'TO GO' SIGN, SUPPLIED BY LAZY DOG, MOUNTED AND INSTALLED BY G.C., SEE DTL. 4/A1.2
8. ACCESSIBLE PARKING SIGN, REFER TO CIVIL DWGS.
9. NEW CONC. SIDEWALK, MAX. 5% SLOPE W/ MAX. 2% CROSS SLOPE, REFER TO CIVIL DWGS.
10. LANDSCAPE AREA, REFER TO LANDSCAPE DWGS.
11. MENU BOARD SUPPLIED BY LAZY DOG & INSTALLED BY G.C., SEE DTL. 1/A1.2, REFER TO ELEC. DWGS.
12. ADA CURB RAMP, REFER TO CIVIL DWGS.
13. EXISTING LOCAL BUS STOP LOCATION
14. WHEEL STOP, REFER TO CIVIL DWGS.
15. TRANSFORMER, APPROXIMATE LOCATION, REFER TO CIVIL and ELEC. DWGS.
16. GREASE INTERCEPTOR, APPROXIMATE LOCATION, REFER TO PLUMB. DWGS.
17. 12' x 25' LOADING ZONE
18. EXISTING EV PARKING STALLS, REFER TO ELEC. DWGS.
19. BIKE RACK, REFER TO LANDSCAPE DWGS.

SITE PREPARATION NOTES

1. GC TO STRIP and REMOVE ALL VEGETATION, DEBRIS, UNCONTROLLED FILL and LOOSE SOFT, MEDIUM or DISTURBED NATURAL SOILS and OTHER DELETERIOUS MATERIALS PRIOR TO COMMENCING CONSTRUCTION
2. THE CLEARED AREA MUST INCLUDE THE BUILDING AREA, ADJACENT WALKS, SLABS and AREAS TO BE PAVED
3. REFER TO SOIL REPORT FOR EXTENT OF EXCAVATION and PAD PREPARATION
4. GC TO FILL and COMPACT THE SOIL and PREPARE THE PAD FOR CONSTRUCTION ACCORDINGLY W/ CIVIL DRAWINGS and SOIL REPORT

GENERAL SITE PLAN NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS and REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
2. PARKING DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY. THE LAZY DOG and THEIR GENERAL CONTRACTOR ARE IN NO WAY RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS.
3. ALL PARKING AND EXTERIOR LANDSCAPE AREAS, INCLUDING ACCESSIBLE PARKING STALLS and PATHS ARE BY THE LANDLORD.

LEGEND

- ACCESSIBLE PATH OF TRAVEL.
- PROPERTY LINE
- PROJECT SCOPE
- EXISTING ADJACENT BUILDING, NOT IN SCOPE

Architect

JGA
JAMES GARTNER & ASSOCIATES,
ARCHITECTS, INC.

ARCHITECTURE
PLANNING / INTERIORS
PROJECT MANAGEMENT

2036 North Broadway
Santa Ana, CA 92706
Phone: 714.560.9210
www.jgartner.com

UNLESS SPECIFICATIONS, NOTES, AND ADDENDUMS
EXPLICITLY STATE OTHERWISE, ALL INFORMATION IS THE PROPERTY OF
THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED,
COPIED, ADAPTED, MODIFIED, RETRANSMITTED, OR TRANSMITTED IN
ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE
ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION
OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR
CONSTRUCTION DEFECTS OR VIOLATIONS OF THESE RESTRICTIONS.

Stamp and Signature



Issuance	Description
15 FEB 2019	PLAN CHECK SUBMITTAL
20 FEB 2019	PLAN CHECK RESUBMITTAL
20 FEB 2019	ISSUED FOR BID
20 FEB 2019	ISSUED FOR CONSTRUCTION

Revision	No.	Description
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Project Name and Location

Lazy Dog
EAT, DRINK

CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title

ENLARGED SITE PLAN
KEYNOTES
SITE PLAN NOTES
LEGEND

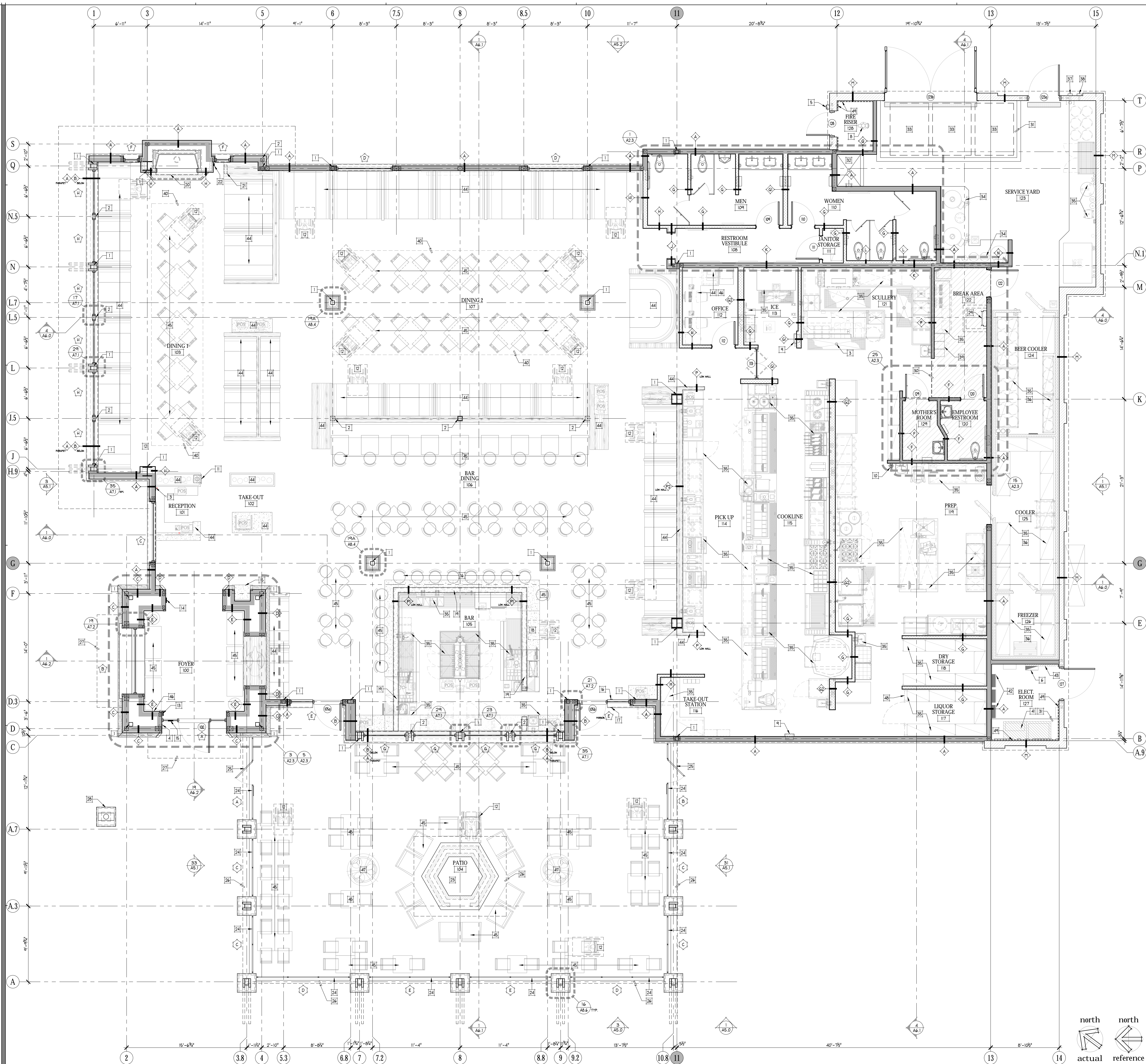
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A1.1

Print Date: 13 March 2019



KEYNOTES - FLOOR PLANS

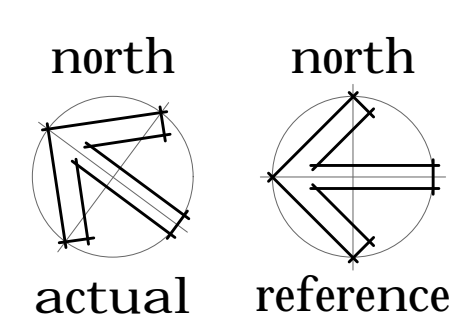
1. STL. COL., REFER TO STRUCT. DWGS.
2. WD. COL., REFER TO STRUCT. DWGS.
3. MAXIMUM OCCUPANT LOAD SIGN SHOWING MAX. OCCUPANTS, BY OWNER (N.I.C.), SEE DTL. 4/A8.3
4. KNOX VAULT, 4400 SERIES - BLACK, RECESSED MOUNTED W/ HINGED DOOR. MOUNT @ +5'-0" A.F.F. TO CENTER OF VAULT. CONTACT THE KNOX COMPANY @ (866) 623-4563
5. KNOX VAULT, 4400 SERIES - BLACK, SURFACE MOUNTED W/ HINGED DOOR. MOUNT @ +5'-0" A.F.F. TO CENTER OF VAULT. CONTACT THE KNOX COMPANY @ (866) 623-4563.
6. FIRE ALARM PANEL, REFER TO ELEC. DWGS.
7. FIRE CONTROL ROOM SIGN WITH 6" HIGH LETTERS ON CONTRASTING BACKGROUND, TO BE MOUNTED ON EXTERIOR SIDE OF ACCESS DOOR TO FIRE RISER ROOM
8. FIRE RISER, REFER TO PLUMB. DWGS.
9. 36"-RECESSED FIRE EXTINGUISHER CABINET W/ 19 LB. CLASS 'K' EXTINGUISHER, 1/4" STAINLESS STEEL FINISH, 26" TYP. W/ ROLLED EDGES, J.L. INDUSTRIES INC. MODEL #2037-521 or EQUAL. PROVIDE "ADAC" FLUSH PULL HANDLE. INSTALL SUCH THAT TOP OF FIRE EXTINGUISHER INSIDE CABINET IS NOT HIGHER THAN 60" ABOVE FLOOR.
10. HALL-WING CLASS 'C' FIRE EXTINGUISHER W/ MIN. RATING OF 2A 10 B.C. TOP OF FIRE EXTINGUISHER SHALL NOT BE HIGHER THAN 48" A.F.F.
11. CUSTOMIZED FIRE EXTINGUISHER CABINET BY MILLWORK VENDOR W/ CLASS 'C' FIRE EXTINGUISHER, MIN. RATING OF 2A 10 B.C. TOP OF FIRE EXTINGUISHER SHALL NOT BE HIGHER THAN 48" A.F.F.
12. ACCESSIBLE SEATING, SEE DTL. 5/15-5
13. TACTILE EXIT SIGN, SEE DTL. 10A/15-5
14. TACTILE EXIT ROUTE SIGN, SEE DTL. 10B/15-5
15. ACCESSIBLE ENTRANCE SIGN, SEE DTL. 11/15-5
16. PUSH PLATE DOOR SWITCH, "PUSH TO OPEN". MOUNT @ 36" AFF.
17. WEATHER RESISTANT PUSH PLATE DOOR SWITCH, "PUSH TO OPEN". MOUNT @ 36" A.F.F.
18. 34" HIGH ACCESSIBLE BAR COUNTER, 60" MIN. WIDE. SEE DTL. 19/15-5 and REFER TO 10" DWGS.
19. BAR DIE BY G.C. FRONT FACE MARINE GRADE PLYWOOD, SEE DTL. 11A/8.4
20. FIREPLACE AND STONE HEARTH, SEE DTL. 21A/8.5
21. RECESSED FIREPLACE CONTROL BOX, MOUNT @ +26" A.F.F. TO BOTTOM OF BOX
22. FIREPLACE SWITCH, MOUNT @ +48" A.F.F. TO CENTER OF SWITCH, SEE DTL. 26/A8.5
23. CHU AND STONE NATURAL GAS FIRE PIT WITH DRAIN, SEE DTL. 4/A8.5 and PLUMB. DWGS.
24. DECORATIVE PATIO RAILING, SUPPLIED AND INSTALLED BY GC. SEE DTL. 11A/8.6
25. DECORATIVE PATIO GATE, SUPPLIED AND INSTALLED BY GC. SEE DTL. 11A/8.6
26. LINE OF PATIO ROOF ABOVE
27. LINE OF METAL AWNING ABOVE, SEE DTL. 32/A8.1
28. MENU BOARD SUPPLIED BY LAZY DOG AND INSTALLED BY G.C., SEE 1/A1.1, REFER TO ELEC. DWGS.
29. FIXED ALUMINUM WALL LADDER #560 BY ALACO LADDER COMPANY, PROVIDE 1/8" GA. WALL BACKING FOR LADDER FRAMING. LADDER SHALL BE MINIMUM OF 14" WIDE. HAVE 1/4" MAX. RUNS SPACING, and HAVE 4" MIN. TOE CLEARANCE. GC TO PROVIDE WALL BACKING, SEE DTLs. 37 and 39/A8.2
30. LINE OF EQUIPMENT PLATFORM ABOVE
31. CONC. CURBS, REFER TO A2.0, KIT. DWGS and STRUCT. DWGS.
32. POP SINK, SEE DTL. 7/A8.4
33. TRASH AND RECYCLE BINS
34. PLUMBING EQUIPMENT, REFER TO PLUMB. DWGS.
35. KITCHEN EQUIPMENT, REFER TO KIT. DWGS.
36. PRE-FABRICATED WALK-IN COOLER/FREEZER, REFER TO KIT. DWGS. DOORS SHALL PROVIDE 32" MINIMUM CLEAR WIDTH WHEN OPENED 90°
37. CO2 FILL STATION, REFER TO KIT. DWGS.
38. RTI FILL STATION, REFER TO KIT. DWGS.
39. EMPLOYEE LOCKERS, REFER TO 'KEO' DWGS. NOT LESS THAN 1% OF THE LOCKERS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES, W/ CONTROLS NOT HIGHER THAN 48" FROM THE FLOOR, and NOT REQUIRING TIGHT GRASPING, PINCHING, or TWISTING OF THE WRIST
40. LINE OF CONC. SLAB TO CARPET TRANSITION, REFER TO 10' DWGS.
41. MAIN SWITCHBOARD and ELEC. METER, REFER TO ELEC. DWGS.
42. ELECTRICAL PANELS, REFER TO ELEC. DWGS.
43. TELEPHONE BACKBOARD, REFER TO ELEC. DWGS.
44. MILLWORK, REFER TO 10' DWGS.
45. FURNISHINGS, REFER TO 10' DWGS.
46. G.C. TO PROVIDE METAL BACKING FOR CABINETRY IN OFFICE. REFER TO 10' DWGS. FOR DETAILS
47. LARGE ROUND PLANTERS, REFER TO 10' and LANDSCAPE DWGS.
48. CHAIN LINK FENCE, REFER TO KIT. DWGS.
49. R10X "DURASHIELD-3" WITH RODENHOUSE "PLASTI-GRIP R10" PLASTIC MASONRY FASTENERS. INSTALL PER MANUFACTURER'S RECOMMENDATION. www.mcm.com

GENERAL FLOOR PLAN NOTES

1. GC TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK and REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
2. FLOORS SHALL BE SLIP RESISTANT.
3. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED or INDICATED.

LEGEND

- NEW WALLS, REFER TO 1/15-3 FOR PARTITION TYPE DETAILS.
- DOOR NUMBER, REFER TO SHEET A7.0 FOR DOOR SCHEDULE.
- NEW WINDOWS, REFER TO SHEET A7.1 FOR WINDOW TYPES
- RAILING ELEVATION, REFER TO DETAIL 1/A8.6
- AREA WITH EQUIPMENT PLATFORM ABOVE, SEE 1/A2.3
- NEW WOOD FRAMED WALL
- NEW METAL FRAMED WALL
- NEW CHU WALL



NOTES FLOOR PLAN SCALE 1/4" = 1'-0" 1

EXHIBIT C

2036 North Broadway
Santa Ana, CA 92706
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Santa Ana, CA 92706
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Issuance Date	Description
15 FEB 2019	PLAN CHECK SUBMITTAL
29 FEB 2019	ISSUED FOR CONSTRUCTION

Revision Date	No.	Description
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Project Name and Location

Lazy Dog
CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title
NOTES FLOOR PLAN
KEYNOTES
LEGEND

Project No.:
Sheet No.:
A2.2
Print Date: 13 March 2019

FINISH SCHEDULE

- | | |
|--------|---|
| 97-1 | STONE VENEER LAYZ DQ CUSTOM BLEND |
| 97-6A | STONE COLUMN CAPS LAYZ DQ CUSTOM BLEND |
| 97-6B | STONE SILLS LAYZ DQ CUSTOM BLEND |
| 97-11A | BERRIDGE STANDING SEAM METAL ROOF "ICE-LOCK" 24 GAUGE SMOOTH, OR APPROVED EQUAL, COLOR: DEEP RED. PAINT METAL FLASHING/ METAL GUTS DOWNWENT TO MATCH DEEP RED COLOR |
| 97-11B | US ALUMINUM STOREFRONT WINDOWS, OR APPROVED EQUAL, SATIN, DEEP RED |
| 97-12 | EXTERIOR WOOD TIMBERS, OLYMPIC ELITE WOODLAND OIL, SATIN "MOUNTAIN CEDAR" |
| 97-13 | EXTERIOR WOOD CASING AT DOORS, WINDOWS AND NICHES |
| 97-14 | EXTERIOR 2x2 DOWELS FIR WOOD SANDING, BEAR PREMIUM WEATHER PROOFING ALU-ZINC TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104 |
| 97-15 | EXTERIOR WOOD FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR" |
| 97-16 | EXTERIOR 6x6-LAM FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR" |

- | | |
|-------|---|
| PT-86 | DUNN EDWARDS PAINT, SATIN FINISH. COLOR: DE 187 BLACK |
| PT-8 | SHERWIN WILLIAMS PAINT, FLAT FINISH. COLOR: SW-7580 CARNELIAN |
| PT-10 | BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-87 ASHLEY GRAY |
| PT-6 | BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: 999 RUSTY TAUPE |
| PT-16 | BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: 1652 NAVY MASTERPIECE |
| PT-17 | BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-75 MARYVILLE BROWN |

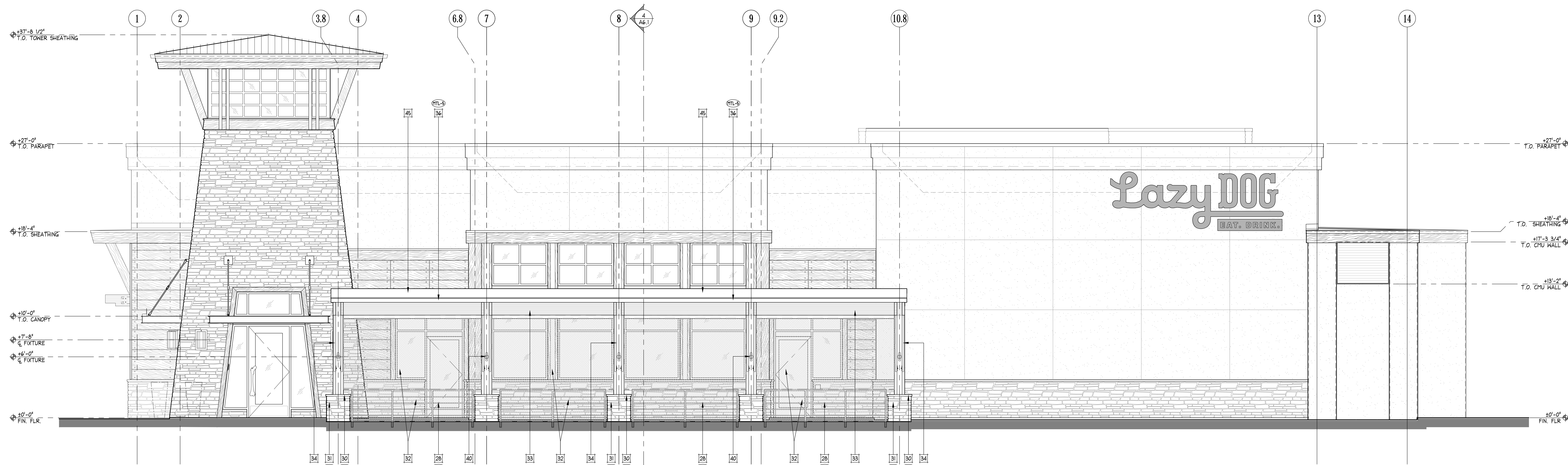
GENERAL ELEVATION NOTES

1. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL EXTERIOR SIGNS INCLUDING AWNING SIGNS. SIGNS ARE EXCLUDED FROM THE BUILDING PERMIT.

KEYNOTES - EXTERIOR ELEVATION

- | | | | | | |
|----|--|----|--|----|--|
| 1 | 1. THICK 3'-COAT PORTLAND CEMENT PLASTER (STUCCO) OF METAL LATH. LIGHT SAND TEXTURE. SEE DTL. 1/ and 23A/B.0 | 14 | 14. DEGRADATIVE GLU-LAM COLUMN STRADDLING STRUCTURAL COLUMNS, REFER TO STRUCT. DWGS. SEE DTLs. 23 or 29A/1 | 28 | 28. METAL RAILING, SEE DTL. 1/A/8.0 |
| 2 | 2. STUCCO CONTROL JOINT 8X1-1/2 CLARK DIETRICH BUILDING SYSTEM or EQUAL, SEE DTL. 22A/B.0 | 15 | 15. STRUCTURE COLUMN, REFER TO STRUCT. DWGS. | 29 | 29. NON-LATHING METAL PATIO G. SUPPLIED AND INSTALLED BY G.C. |
| 3 | 3. STONE VENEER CLADDING. RUN HORIZONTALLY. GROUT COLOR PER 1'D DWGS. SEE DTLs. 2 or 3A/B.0 | 16 | 16. WOOD KICKER AND OUTRIGGER, REFER TO STRUCT. DWGS., SEE DTLs. 16 or 25/A/3 | 30 | 30. 2" THICK STONE CAP, SEE DTL. |
| 4 | 4. NOT USED | 17 | 17. WOOD KICKERS, SEE DTL. 1/A/8.1 | 31 | 31. CONCRETE BASE WITH STONE VENEER |
| 5 | 5. WOOD SIDING, SEE DTL. 4/A/8.0 | 18 | 18. STANDING SEAM METAL ROOF | 32 | 32. ROLL-UP CURTAIN AND RAIL COVER MANUFACTURER'S SHOP DRAWING |
| 6 | 6. WOOD DOOR BY MILLHORN CONTRACTOR, PER DOOR SCHEDULE A/1.0 | 19 | 19. STUCCO CORNICE W/ MTL. COPING, SEE DTL. 31A/B.0 | 33 | 33. PATIO ROOF BEAM, REFER TO SCHEDULE |
| 7 | 7. DOOR PER DOOR SCHEDULE A/1.0 | 20 | 20. METAL COPING AT PARAPET, SEE DTLs. 31, 33 or 35/A/8.0 | 34 | 34. DOUBLE STEEL BRACES, REFER TO SCHEDULE |
| 8 | 8. WEATHER RESISTANT PUSH PLATE DOOR SWITCH, "PUSH TO OPEN". MOUNT AT 36" A.F.F. | 21 | 21. SHEET. METAL FLASHING, PAINTED TO MATCH ADJACENT MATERIAL | 35 | 35. METAL GUTTER AND DOWNSPOUT 1/A/8.1 |
| 9 | 9. TRASH GATE, PER DOOR SCHEDULE A/1.0 | 22 | 22. REGLET FLASHING, PAINTED TO MATCH ADJACENT MATERIAL, SEE DTL. 17A/8.2 | 36 | 36. METAL GUTTER AND DOWNSPOUT 29/A/8.6 |
| 10 | 10. ALUMINUM STOREFRONT, PER STOREFRONT SCHEDULE A/1.1 | 23 | 23. ROOF EAVE, SEE DTL. 6 or 12/A/8.1 | 37 | 37. LOUVERS, CSI MODEL 2252, CONFINED DTL. 19 or 23A/8.1 |
| 11 | 11. WOOD TRIM AT STOREFRONT WINDOWS, SEE DTLs. 31 or 37A/1.1 | 24 | 24. ROOF EAVE AT SERVICE YARD, SEE DTL. 19, 23 or 35/A/8.1 | 38 | 38. ROOFLINE BEYOND |
| 12 | 12. GLU-LAM BEAM AT STOREFRONT WINDOWS, SEE DTLs. 25 or 37A/1.1 | 25 | 25. STONE SILL, SEE DTLs. 13 or 35/A/8.0 | 39 | 39. POTTED PLANT BY OWNER |
| 13 | 13. WOOD PILASTER, SEE DTL. 35/A/1.1 | 26 | 26. BUILD-IN STONE BENCH, SEE DTL. 17A/2 | 40 | 40. SEE PLANT LIST FOR PLANT SPECIFICATIONS |
| | | 27 | 27. STEEL ANNING AND ROOFS, SEE DTL. 32/A/8.1 | | |

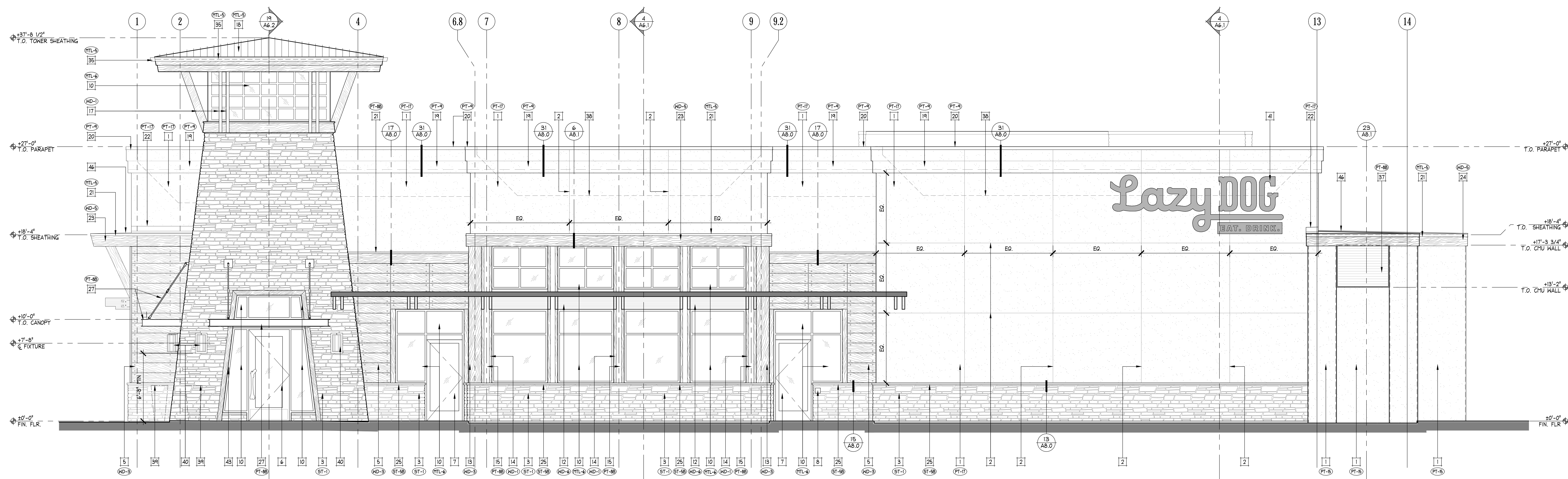
- WITH PAN FATTERN AND WIRE MESH. SEE DTL. 19/A8.6
- B.6
- CLADDING, SEE DTL. 19/A8.6
- PER LAZY DOG VENDOR. REFER TO SEE DTL. 19/A8.6
- STRUCT. DWGS., SEE DTL. 19. 31 and 34/A8.6
- STRUCT. DWGS., SEE DTL. 19/A8.6
- G.C., SIZE PER PLUMB. DWGS. SEE DTL.
- G.C., SIZE PER PLUMB. DWGS. SEE DTL.
- 908.272.5200, www.c-sgroup.com. SEE
41. ILLUMINATED SIGNS BY OWNER. G.C. TO PROVIDE ELEC. POWER AND WALL BACKING. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT). ALL SIGNAGE IS ALSO COORDINATED UNDER SEPARATE SIGN DWGS.
42. INTERNALLY ILLUMINATED STREET ADDRESS NUMBER BY OWNER. ON LIGHTING CIRCUIT POWERED FROM DUST TO DOWN AND OF CONTRASTING COLOR TO BACKGROUND. HEIGHT OF NUMBERS TO BE 12 INCHES MIN. G.C. TO INSTALL PER FIRE DEPARTMENT GUIDELINE. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT)
43. KNOX VAULT, 4400 SERIES - BLACK, RECESSED MOUNTED WITH HINGED DOOR. POINT 4'-5" O' A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY AT (866) 623-4662 FOR CUSTOMER SERVICE AND COST
44. KNOX VAULT, 4400 SERIES - BLACK, SURFACE MOUNTED WITH HINGED DOOR. POINT 4'-5" O' A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY AT (866) 623-4662 FOR CUSTOMER SERVICE AND COST
45. CARLISLE SURE KELD, 60 MIL TPO CLASS 'A' ROOFING OR PROTECTION BOARD OR TAPEDED RIGID INSULATION OR ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/4" PER FOOT MIN., KHATE TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS
46. CARLISLE SURE KELD, 60 MIL TPO CLASS 'A' ROOFING OR PROTECTION BOARD OR TAPEDED RIGID INSULATION OR ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/4" PER FOOT MIN., KHATE TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS



WEST PATIO ELEVATION	SCALE 1/4" = 1'-0"	3
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SCALE	3
1/4" = 1'-0"	

3



WEST ELEVATION	SCALE 1/4" = 1'-0"	1
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SCALE	1
1/4" = 1'-0"	

1

FINISH SCHEDULE

- (ST-1) STONE VENEER LAZY DOG CUSTOM BLEND
- (ST-3A) STONE COLUMN CAPS LAZY DOG CUSTOM BLEND
- (ST-3B) STONE SILLS LAZY DOG CUSTOM BLEND
- (MTL-5) BERRIDGE STANDING SEAM METAL ROOF 'CEE-LOCK' 24 GAUGE SMOOTH, OR APPROVED EQUAL, COLOR: DEEP RED. PAINT METAL FLASHING/ METAL GUTTER/ DOWNSPOUT TO MATCH 'DEEP RED' COLOR
- (MTL-6) US ALUMINUM STOREFRONT WINDOWS, OR APPROVED EQUAL, COLOR: DEEP RED
- (ND-1) EXTERIOR WOOD TIMBERS, OLYMPIC ELITE WOODLAND OIL, SATIN 'MOUNTAIN CEDAR'
- (ND-2) EXTERIOR WOOD CASING AT DOORS, WINDOWS and NICHES
- (ND-3) EXTERIOR 2x12 DOUGLAS FIR WOOD SIDING. BEAR PREMIUM HEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, 'CORDOVAN BROWN' T-104
- (ND-5) EXTERIOR WOOD FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR'
- (ND-6) EXTERIOR GLU-LAM FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR'

- (PT-8B) DUNN EDWARDS PAINT, SATIN FINISH. COLOR: DE 187 BLACK
- (PT-9) SHERWIN WILLIAMS PAINT, FLAT FINISH. COLOR: SW-7580 CARNELIAN
- (PT-9) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-87 ASHLEY GRAY
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- (PT-9) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: 1652 NAVY MASTERPIECE
- (PT-10) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-75 MARTYVILLE BROWN

GENERAL ELEVATION NOTES

1. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL EXTERIOR SIGNS INCLUDING AWNING SIGNS. SIGNS ARE EXCLUDED FROM THE BUILDING PERMIT.

KEYNOTES - EXTERIOR ELEVATION

1. 3/4" THICK 3-COAT PORTLAND CEMENT PLASTER (STUCCO) O/ METAL LATH. LIGHT SAND TEXTURE, SEE DTL. 1 and 23/AB.0
2. STUCCO CONTROL JOINT #XJ-15 CLARK DIETRICH BUILDING SYSTEM or EQUAL, SEE DTL. 22/AB.0
3. STONE VENEER CLADDING. RUN HORIZONTALLY. GROUT COLOR PER 10' DWGS. SEE DTLs. 2 or 3/AB.0
4. NOT USED
5. WOOD SIDING, SEE DTL. 4/AB.0
6. WOOD DOOR BY MILLWORK CONTRACTOR, PER DOOR SCHEDULE A7.0
7. DOOR PER DOOR SCHEDULE A7.0
8. WEATHER RESISTANT PUSH PLATE DOOR SWITCH, 'PUSH TO OPEN'. MOUNT at 36" A.F.F.
9. TRASH GATE, PER DOOR SCHEDULE A7.0
10. ALUMINUM STOREFRONT, PER STOREFRONT SCHEDULE A7.1
11. WOOD TRIM at STOREFRONT WINDOWS, SEE DTLs. 31 or 37/A7.1
12. GLU-LAM BEAM at STOREFRONT WINDOWS, SEE DTLs. 25 or 37/A7.1
13. WOOD PILASTER, SEE DTL. 35/A7.1
14. DECORATIVE GLU-LAM COLUMN STRADDLING STRUCTURAL COLUMNS, REFER TO STRUCT. DWGS. SEE DTLs. 23 or 29/A7.1
15. STRUCTURE COLUMN, REFER TO STRUCT. DWGS.
16. WOOD KICKER and OUTRIGGER, REFER TO STRUCT. DWGS., SEE DTLs. 16 or 23/AB.3
17. WOOD KICKERS, SEE DTL. 1/AB.1
18. STANDING SEAM METAL ROOF
19. STUCCO CORNICE w/ HTL. COPING, SEE DTL. 31/AB.0
20. METAL COPING at PARAPET, SEE DTLs. 31, 33 or 35/AB.0
21. SHEET METAL FLASHING, PAINTED TO MATCH ADJACENT MATERIAL
22. REGLET FLASHING, PAINTED TO MATCH ADJACENT MATERIAL, SEE DTL. 17/AB.2
23. ROOF EAVE, SEE DTL. 6 or 12/AB.1
24. ROOF EAVE at SERVICE YARD, SEE DTL. 19, 23 or 35/AB.1
25. STONE SILL, SEE DTLs. 13 or 15/AB.0
26. BUILD-IN STONE BENCH, SEE DTL. 1/A7.2
27. STEEL AWNING and RODS, SEE DTL. 32/AB.1
28. METAL RAILING, SEE DTL. 1/AB.6
29. NON-LATCHING METAL PATIO GATE WITH PAN PATTERN and WIRE MESH. SUPPLIED and INSTALLED BY G.C., SEE DTL. 1/AB.6
30. 2" THICK STONE CAP, SEE DTL. 16/AB.6
31. CONCRETE BASE WITH STONE VENEER CLADDING, SEE DTL. 16/AB.6
32. ROLL-UP CURTAIN and RAIL COVERS PER LAZY DOG VENDOR. REFER TO MANUFACTURER'S SHOP DRAWINGS, SEE DTL. 19/AB.6
33. PATIO ROOF BEAM, REFER TO STRUCT. DWGS., SEE DTL. 19, 31 and 34/AB.6
34. DOUBLE STEEL BRACES, REFER TO STRUCT. DWGS., SEE DTL. 19/AB.6
35. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 1/AB.1
36. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 19/AB.6
37. LOUVERS, CSI MODEL 2252, CONTACT: 408.272.5200, www.c-sigroup.com. SEE DTL. 19 or 23/AB.1
38. ROOFLINE BEYOND
39. POTTED PLANT BY OWNER
40. LIGHT FIXTURE PER ELEC. DWGS.

41. ILLUMINATED SIGNS BY OWNER. G.C. TO PROVIDE ELEC. POWER and WALL BACKING. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT). ALL SIGNAGE IS ALSO COORDINATED UNDER SEPARATE SIGN DWGS.
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43. KNOX VAULT, 4400 SERIES - BLACK, RECESSED MOUNTED WITH HINGED DOOR. MOUNT at +5'-0" A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY at (866) 629-4662 FOR CUSTOMER SERVICE and COST
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45. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING OF ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/2" PER FOOT MIN, TAN TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS
46. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING OF PROTECTION BOARD or TAPERED RIGID INSULATION of ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/4" PER FOOT MIN, WHITE TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS

Architect

JGA
JAMES GARTNER & ASSOCIATES,
ARCHITECTS, INC.
ARCHITECTURE
PLANNING / INTERIORS
PROJECT MANAGEMENT

2036 North Broadway
Santa Ana, CA 92706
Phone: 714.560.9210
www.jgartner.com

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Stamp and Signature



Issuance Date	Description
15 FEB 2019	PLAN CHECK SUBMITTAL
	PLAN CHECK REVISIONAL
20 FEB 2019	ISSUED FOR BID
	ISSUED FOR CONSTRUCTION

Revision Date	No.	Description
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Project Name and Location

Lazy Dog
CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title
EXTERIOR ELEVATIONS
KEYNOTES
NOTES
FINISH SCHEDULE

Project No.:
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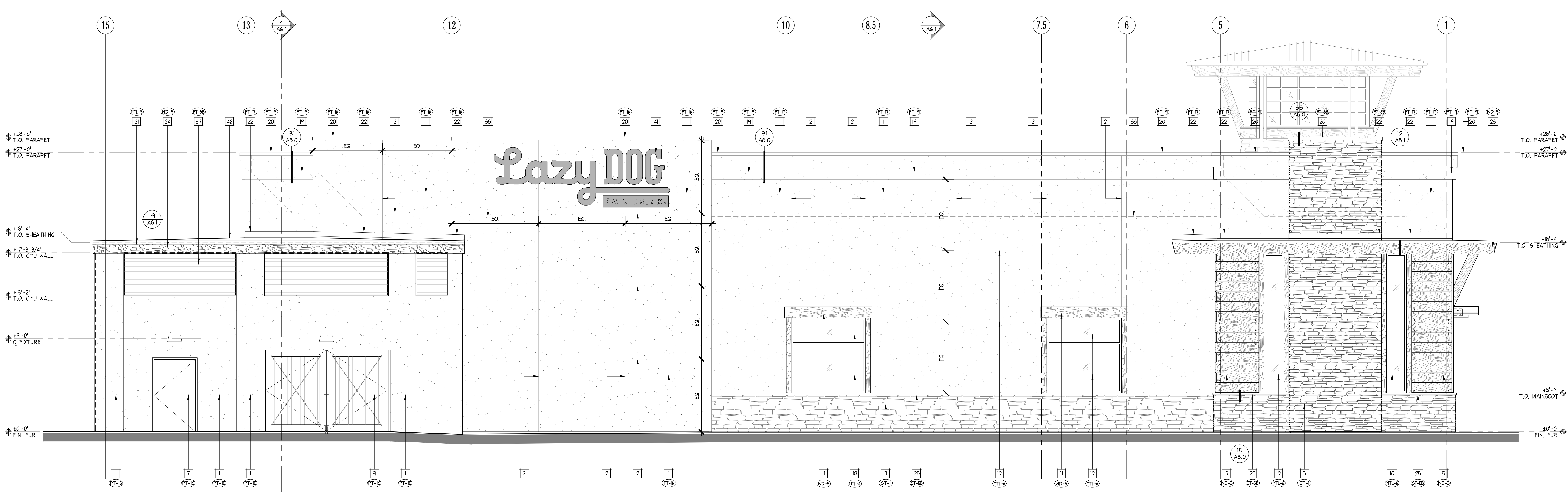
Sheet No.:
A5.2

Print Date: 13 March 2019

EAST ELEVATION

SCALE
1/4" = 1'-0"

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FINISH SCHEDULE

- (ST-1) STONE VENEER LAZY DOG CUSTOM BLEND
- (ST-3A) STONE COLUMN CAPS LAZY DOG CUSTOM BLEND
- (ST-3B) STONE SILLS LAZY DOG CUSTOM BLEND
- (MTL-6) BERRIDGE STANDING SEAM METAL ROOF 'CEE-LOCK' 24 GAUGE SMOOTH, OR APPROVED EQUAL, COLOR: DEEP RED. PAINT METAL FLASHING/ METAL GUTTER/ DOWNSPOUT TO MATCH 'DEEP RED' COLOR
- (MTL-6) US ALUMINUM STOREFRONT WINDOWS, OR APPROVED EQUAL, COLOR: DEEP RED
- (KD-2) EXTERIOR WOOD TIMBERS, OLYMPIC ELITE WOODLAND OIL, SATIN 'MOUNTAIN CEDAR'
- (KD-2) EXTERIOR WOOD CASING AT DOORS, WINDOWS AND NICHES
- (KD-3) EXTERIOR 2x12 DOUGLAS FIR WOOD SIDING. BEAR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, 'CORDOVAN BROWN' T-104
- (KD-5) EXTERIOR WOOD FASCIA, OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR'
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- (PT-8B) DUNN EDWARDS PAINT, SATIN FINISH. COLOR: DE 187 BLACK
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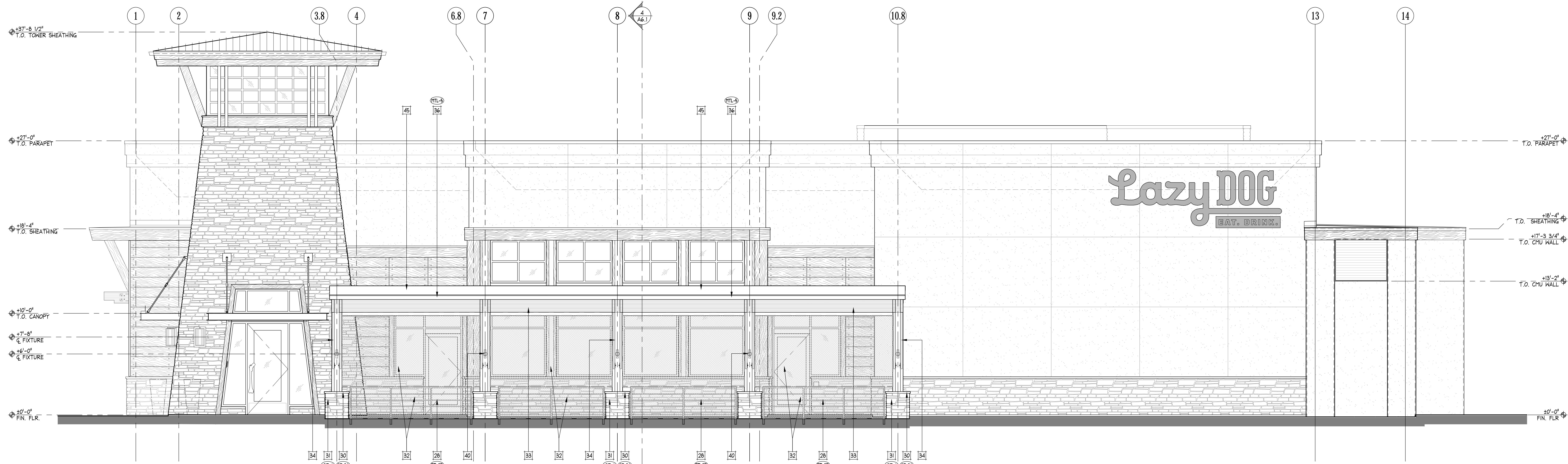
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1. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL EXTERIOR SIGNS INCLUDING AWNING SIGNS. SIGNS ARE EXCLUDED FROM THE BUILDING PERMIT.

KEYNOTES - EXTERIOR ELEVATION

1. 3/4" THICK 3-COAT PORTLAND CEMENT PLASTER (STUCCO) O/ METAL LATH. LIGHT SAND TEXTURE, SEE DTL. 1 and 23/AB.0
2. STUCCO CONTROL JOINT #KJ-15 CLARK DIETRICH BUILDING SYSTEM or EQUAL, SEE DTL. 22/AB.0
3. STONE VENEER CLADDING, RUN HORIZONTALLY. GROUT COLOR PER 10' DWG5. SEE DTL5. 2 or 3/AB.0
4. NOT USED
5. WOOD SIDING, SEE DTL. 4/AB.0
6. WOOD DOOR BY MILLWORK CONTRACTOR, PER DOOR SCHEDULE A7.0
7. DOOR PER DOOR SCHEDULE A7.0
8. WEATHER RESISTANT PUSH PLATE DOOR SWITCH, 'PUSH TO OPEN'. MOUNT at 36" A.F.F.
9. TRASH GATE, PER DOOR SCHEDULE A7.0
10. ALUMINUM STOREFRONT, PER STOREFRONT SCHEDULE A7.1
11. WOOD TRIM at STOREFRONT WINDOWS, SEE DTL5. 31 or 37/A7.1
12. GLU-LAM BEAM at STOREFRONT WINDOWS, SEE DTL5. 25 or 37/A7.1
13. WOOD PILASTER, SEE DTL. 35/A7.1
14. DECORATIVE GLU-LAM COLUMN STRADDLING STRUCTURAL COLUMNS, REFER TO STRUCT. DWGS. SEE DTL5. 23 or 29/A7.1
15. STRUCTURE COLUMN, REFER TO STRUCT. DWGS.
16. WOOD KICKER and OUTRIGGER, REFER TO STRUCT. DWGS., SEE DTL5. 16 or 25/AB.3
17. WOOD KICKERS, SEE DTL. 1/AB.1
18. STANDING SEAM METAL ROOF
19. STUCCO CORNICE w/ MTL COPING, SEE DTL. 3/AB.0
20. METAL COPING at PARAPET, SEE DTL5. 31, 33 or 35/AB.0
21. SHEET METAL FLASHING, PAINTED TO MATCH ADJACENT MATERIAL
22. RESLET FLASHING, PAINTED TO MATCH ADJACENT MATERIAL, SEE DTL. 17/AB.2
23. ROOF EAVE, SEE DTL. 6 or 12/AB.1
24. ROOF EAVE at SERVICE YARD, SEE DTL. 19, 23 or 35/AB.1
25. STONE SILL, SEE DTL5. 13 or 15/AB.0
26. BUILD-IN STONE BENCH, SEE DTL. 1/A7.2
27. STEEL AWNING and RODS, SEE DTL. 32/AB.1
28. METAL RAILING, SEE DTL. 1/AB.6
29. NON-LATCHING METAL PATIO GATE WITH PAN PATTERN and WIRE MESH. SUPPLIED and INSTALLED BY G.C., SEE DTL. 1/AB.6
30. 2" THICK STONE CAP, SEE DTL. 16/AB.6
31. CONCRETE BASE WITH STONE VENEER CLADDING, SEE DTL. 16/AB.6
32. ROLL-UP CURTAIN and RAIL COVERS PER LAZY DOG VENDOR. REFER TO MANUFACTURER'S SHOP DRAWINGS, SEE DTL. 19/AB.6
33. PATIO ROOF BEAM, REFER TO STRUCT. DWGS., SEE DTL. 19, 31 and 34/AB.6
34. DOUBLE STEEL BRACES, REFER TO STRUCT. DWGS., SEE DTL. 19/AB.6
35. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 1/AB.1
36. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 19/AB.6
37. LOUVERS, CSI MODEL 2252, CONTACT: 408.272.5200, www.c-si-group.com. SEE DTL. 19 or 23/AB.1
38. ROOFLINE BEYOND
39. POTTED PLANT BY OWNER
40. LIGHT FIXTURE PER ELEC. DWGS.

41. ILLUMINATED SIGNS BY OWNER. G.C. TO PROVIDE ELEC. POWER and WALL BACKING. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT). ALL SIGNAGE IS ALSO COORDINATED UNDER SEPARATE SIGN DWGS.
42. INTERNALLY ILLUMINATED STREET ADDRESS NUMBER BY OWNER. ON LIGHTING CIRCUIT POWERED FROM DUSK TO DAWN and OF CONTRASTING COLOR TO BACKGROUND. HEIGHT OF NUMBERS TO BE 12 INCHES MIN. G.C. TO INSTALL PER FIRE DEPARTMENT GUIDELINE. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT)
43. KNOX VAULT, 4400 SERIES - BLACK, RECESSED MOUNTED WITH HINGED DOOR. MOUNT at +8'-0" A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY at (866) 629-6662 FOR CUSTOMER SERVICE and COST
44. KNOX VAULT, 4400 SERIES - BLACK, SURFACE MOUNTED WITH HINGED DOOR. MOUNT at +8'-0" A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY at (866) 629-6662 FOR CUSTOMER SERVICE and COST
45. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING O/ ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/2" PER FOOT MIN. TAN TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS
46. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING O/ PROTECTION BOARD O/ TAPERED RIGID INSULATION O/ ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/4" PER FOOT MIN. WHITE TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS



WEST PATIO ELEVATION SCALE 1/4" = 1'-0" 3

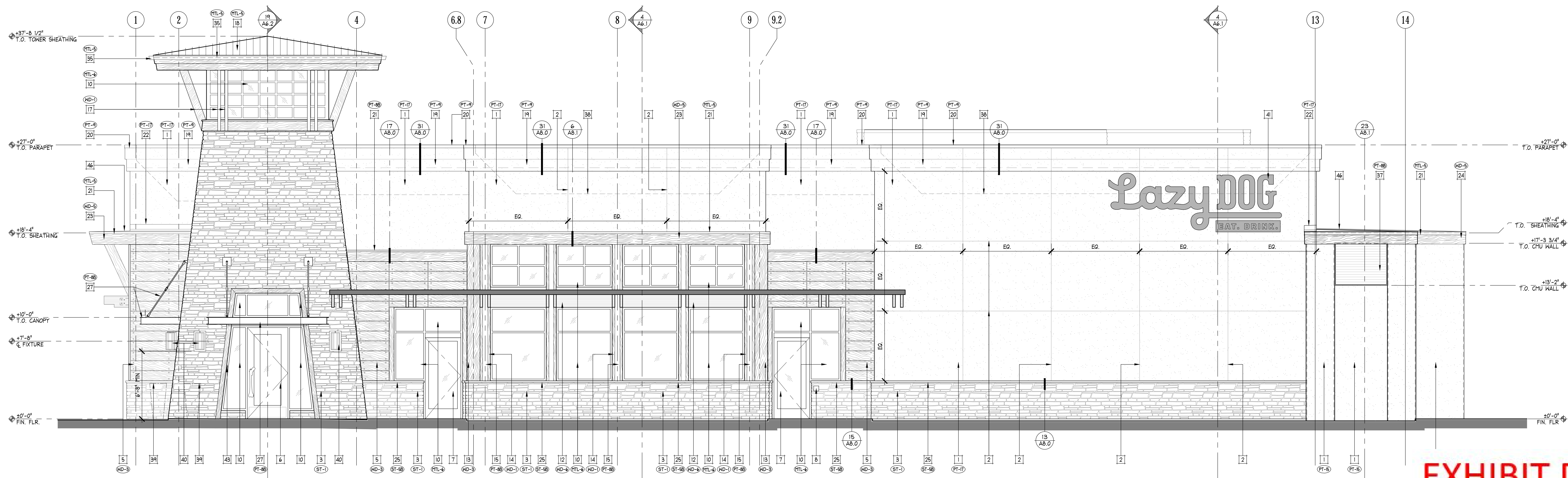


EXHIBIT D1

WEST ELEVATION SCALE 1/4" = 1'-0" 1

Architect

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ARCHITECTURE PLANNING / INTERIORS PROJECT MANAGEMENT

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Issuance Date Description

15 FEB 2019 PLAN CHECK SUBMITTAL

20 FEB 2019 ISSUED FOR BID

Revision Date No. Description

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Project Name and Location

Lazy DOG

CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title

EXTERIOR ELEVATIONS
KEYNOTES
NOTES
FINISH SCHEDULE

Project No.: A5.0

Sheet No.: A5.0

Print Date: 13 March 2019

97-1	STONE VENEER LAYZ DQ CUSTOM BLEND
97-6A	STONE COLUMN CAPS LAYZ DQ CUSTOM BLEND
97-6B	STONE SILLS LAYZ DQ CUSTOM BLEND
97-11A	BERRIDGE STANDING SEAM METAL ROOF "ICE-LOCK" 24 GAUGE SMOOTH, OR APPROVED EQUAL, COLOR: DEEP RED, PAINT METAL FLASHING/ METAL GUTS DOWNWENT TO MATCH DEEP RED COLOR
97-11B	US ALUMINUM STOREFRONT WINDOWS, OR APPROVED EQUAL, SATIN, DEEP RED
97-12	EXTERIOR WOOD TIMBERS, OLYMPIC ELITE WOODLAND OIL, SATIN "MOUNTAIN CEDAR"
97-13	EXTERIOR WOOD CASING AT DOORS, WINDOWS AND NICHES
97-14	EXTERIOR 2x2 DOWELS FIR WOOD SANDING, BEAR PREMIUM WEATHER PROOFING ALU-ZINC TRANSPARENT, SATIN, "CORDOVAN EBRONAT T-104
97-15	EXTERIOR WOOD FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR"
97-16	EXTERIOR 6x6-LAM FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR"

1	IN THICK 3-COAT PORTLAND CEMENT PLASTER (STUCCO) OF METAL LATH. LIGHT SAND TEXTURE. SEE DTL. 1 and 23A/0.	14.	DECORATIVE GLU-LAM COLUMN STRADDLING STRUCTURAL COLUMNS, REFER TO STRUCT. DWGS. SEE DTLs. 23 or 24A/1
2.	STUCCO CONTROL JOINT K&J-15 CLARK DIETRICH BUILDING SYSTEM or EQUAL, SEE DTL. 22A/0.	15.	STRUCTURE COLUMN, REFER TO STRUCT. DWGS.
3.	STONE VENEER CLADDING. RUN HORIZONTALLY. GROUT COLOR PER 1D DWGS. SEE DTLs. 2 or 3A/0.	16.	WOOD KICKER AND OUTRIGGER, REFER TO STRUCT. DWGS., SEE DTLs. 16 or 25A/3
4.	NOT USED	17.	WOOD KICKERS, SEE DTL. 1A/8.1
5.	WOOD SIDING, SEE DTL. 4A/8.0	18.	STANDING SEAM METAL ROOF
6.	WOOD DOOR BY MILLHORN CONTRACTOR, PER DOOR SCHEDULE A7.0	19.	STUCCO CORNICE W/ MTL. COPING, SEE DTL. 31A/0.
7.	DOOR PER DOOR SCHEDULE A7.0	20.	METAL COPING AT PARAPET, SEE DTLs. 31, 33 or 35A/0.
8.	WEATHER RESISTANT PUSH PLATE DOOR SWITCH, "PUSH TO OPEN". MOUNT AT 36" A.F.F.	21.	SHEET. METAL FLASHING, PAINTED TO MATCH ADJACENT MATERIAL
9.	TRASH GATE, PER DOOR SCHEDULE A7.0	22.	REGLET FLASHING, PAINTED TO MATCH ADJACENT MATERIAL, SEE DTL. 17A/2.
10.	ALUMINUM STOREFRONT, PER STOREFRONT SCHEDULE A7.1	23.	ROOF EAVE, SEE DTL. 6 or 12A/1
11.	WOOD TRIM AT STOREFRONT WINDOWS, SEE DTLs. 31 or 37A/1.	24.	ROOF EAVE AT SERVICE YARD, SEE DTL. 19, 23 or 35A/8.1
12.	GLU-LAM BEAM AT STOREFRONT WINDOWS, SEE DTLs. 25 or 37A/1.	25.	STONE SILL, SEE DTLs. 13 or 35A/0.
13.	WOOD PILASTER, SEE DTL. 35A/1.	26.	BUILD-IN STONE BENCH, SEE DTL. 14A/2
		27.	STEEL ANGING AND ROOFS, SEE DTL. 32A/8.1

1. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL EXTERIOR SIGNS INCLUDING AWNING SIGNS. SIGNS ARE EXCLUDED FROM THE BUILDING PERMIT.

33

SCALE
1/4" = 1'

31

SCALE
1/4" = 1'-0"

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20 FEB 2004	<input checked="" type="checkbox"/>	ISSUED FOR BID
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Revision Date	No.	Description
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Project Name and Location

Lazy Dog

Sheet Title

EXTERIOR ELEVATIONS
KEYNOTES
NOTES
FINISH SCHEDULE

Project No.:

Sheet No.:

.. 111

A51

AS.1

Print Date: 12 March 2010

FINISH SCHEDULE

- (ST-1) STONE VENEER LAZY DOG CUSTOM BLEND
- (ST-3A) STONE COLUMN CAPS LAZY DOG CUSTOM BLEND
- (ST-3B) STONE SILLS LAZY DOG CUSTOM BLEND
- (MTL-5) BERRIDGE STANDING SEAM METAL ROOF 'CEE-LOCK' 24 GAUGE SMOOTH, OR APPROVED EQUAL, COLOR: DEEP RED. PAINT METAL FLASHING/ METAL GUTTER/ DOWNSPOUT TO MATCH 'DEEP RED' COLOR
- (MTL-6) US ALUMINUM STOREFRONT WINDOWS, OR APPROVED EQUAL, COLOR: DEEP RED
- (ND-1) EXTERIOR WOOD TIMBERS, OLYMPIC ELITE WOODLAND OIL, SATIN 'MOUNTAIN CEDAR'
- (ND-2) EXTERIOR WOOD CASING AT DOORS, WINDOWS and NICHES
- (ND-3) EXTERIOR 2x12 DOUGLAS FIR WOOD SIDING. BEAR PREMIUM HEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, 'CORDOVAN BROWN' T-104
- (ND-5) EXTERIOR WOOD FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR'
- (ND-6) EXTERIOR GLU-LAM FASCIA: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR'

- (PT-8B) DUNN EDWARDS PAINT, SATIN FINISH. COLOR: DE 187 BLACK
- (PT-9) SHERWIN WILLIAMS PAINT, FLAT FINISH. COLOR: SW-7580 CARNELIAN
- (PT-9) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-87 ASHLEY GRAY
- (PT-9) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: 999 RUSTIC TAUPÉ
- (PT-9) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: 1652 NAVY MASTERPIECE
- (PT-10) BENJAMIN MOORE PAINT, FLAT FINISH. COLOR: HC-75 MARTYVILLE BROWN

GENERAL ELEVATION NOTES

1. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL EXTERIOR SIGNS INCLUDING AWNING SIGNS. SIGNS ARE EXCLUDED FROM THE BUILDING PERMIT.

KEYNOTES - EXTERIOR ELEVATION

1. 3/4" THICK 3-COAT PORTLAND CEMENT PLASTER (STUCCO) OF METAL LATH. LIGHT SAND TEXTURE, SEE DTL. 1 and 23/AB.0
2. STUCCO CONTROL JOINT #XJ-15 CLARK DIETRICH BUILDING SYSTEM or EQUAL, SEE DTL. 22/AB.0
3. STONE VENEER CLADDING. RUN HORIZONTALLY. GROUT COLOR PER 10' DWGS. SEE DTLS. 2 or 3/AB.0
4. NOT USED
5. WOOD SIDING, SEE DTL. 4/AB.0
6. WOOD DOOR BY MILLWORK CONTRACTOR, PER DOOR SCHEDULE A7.0
7. DOOR PER DOOR SCHEDULE A7.0
8. WEATHER RESISTANT PUSH PLATE DOOR SWITCH, 'PUSH TO OPEN'. MOUNT at 36" A.F.F.
9. TRASH GATE, PER DOOR SCHEDULE A7.0
10. ALUMINUM STOREFRONT, PER STOREFRONT SCHEDULE A7.1
11. WOOD TRIM at STOREFRONT WINDOWS, SEE DTLS. 31 or 37/A7.1
12. GLU-LAM BEAM at STOREFRONT WINDOWS, SEE DTLS. 25 or 37/A7.1
13. WOOD PILASTER, SEE DTL. 35/A7.1
14. DECORATIVE GLU-LAM COLUMN STRADDLING STRUCTURAL COLUMNS, REFER TO STRUCT. DWGS. SEE DTLS. 23 or 29/A7.1
15. STRUCTURE COLUMN, REFER TO STRUCT. DWGS.
16. WOOD KICKER and OUTRIGGER, REFER TO STRUCT. DWGS., SEE DTLS. 16 or 23/AB.3
17. WOOD KICKERS, SEE DTL. 1/AB.1
18. STANDING SEAM METAL ROOF
19. STUCCO CORNICE w/ HTL. COPING, SEE DTL. 31/AB.0
20. METAL COPING at PARAPET, SEE DTLS. 31, 33 or 35/AB.0
21. SHEET METAL FLASHING, PAINTED TO MATCH ADJACENT MATERIAL
22. REGLET FLASHING, PAINTED TO MATCH ADJACENT MATERIAL, SEE DTL. 17/AB.2
23. ROOF EAVE, SEE DTL. 6 or 12/AB.1
24. ROOF EAVE at SERVICE YARD, SEE DTL. 19, 23 or 35/AB.1
25. STONE SILL, SEE DTLS. 13 or 15/AB.0
26. BUILD-IN STONE BENCH, SEE DTL. 1/A7.2
27. STEEL AWNING and RODS, SEE DTL. 32/AB.1
28. METAL RAILING, SEE DTL. 1/AB.6
29. NON-LATCHING METAL PATIO GATE WITH PAN PATTERN and WIRE MESH. SUPPLIED and INSTALLED BY G.C., SEE DTL. 1/AB.6
30. 2" THICK STONE CAP, SEE DTL. 16/AB.6
31. CONCRETE BASE WITH STONE VENEER CLADDING, SEE DTL. 16/AB.6
32. ROLL-UP CURTAIN and RAIL COVERS PER LAZY DOG VENDOR. REFER TO MANUFACTURER'S SHOP DRAWINGS, SEE DTL. 19/AB.6
33. PATIO ROOF BEAM, REFER TO STRUCT. DWGS., SEE DTL. 19, 31 and 34/AB.6
34. DOUBLE STEEL BRACES, REFER TO STRUCT. DWGS., SEE DTL. 19/AB.6
35. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 1/AB.1
36. METAL GUTTER and DOWNSPOUT BY G.C., SIZE PER PLUMB. DWGS. SEE DTL. 19/AB.6
37. LOUVERS, CSI MODEL 2252, CONTACT: 408.272.5200, www.c-sigroup.com. SEE DTL. 19 or 23/AB.1
38. ROOFLINE BEYOND
39. POTTED PLANT BY OWNER
40. LIGHT FIXTURE PER ELEC. DWGS.

41. ILLUMINATED SIGNS BY OWNER. G.C. TO PROVIDE ELEC. POWER and WALL BACKING. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT). ALL SIGNAGE IS ALSO COORDINATED UNDER SEPARATE SIGN DWGS.
42. INTERNALLY ILLUMINATED STREET ADDRESS NUMBER BY OWNER. ON LIGHTING CIRCUIT POWERED FROM DUSK TO DAWN and OF CONTRASTING COLOR TO BACKGROUND. HEIGHT OF NUMBERS TO BE 12 INCHES MIN. G.C. TO INSTALL PER FIRE DEPARTMENT GUIDELINE. SEPARATE PERMIT REQUIRED (NOT PART OF THIS PERMIT)
43. KNOX VAULT, 4400 SERIES - BLACK, RECESSED MOUNTED WITH HINGED DOOR. MOUNT at +5'-0" A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY at (866) 629-4662 FOR CUSTOMER SERVICE and COST
44. KNOX VAULT, 4400 SERIES - BLACK, SURFACE MOUNTED WITH HINGED DOOR. MOUNT at +5'-0" A.F.F. TO CENTER OF VAULT. A KEY TO THE FIRE CONTROL ROOM SHALL BE LOCATED WITHIN AN APPROVED FIRE DEPARTMENT KNOX COMPANY MODEL NO. 4400 or LARGER. KEY BOX LOCATED ADJACENT TO THE ACCESS DOOR ON THE EXTERIOR OF THE BUILDING. CONTACT THE KNOX COMPANY DIRECTLY at (866) 629-4662 FOR CUSTOMER SERVICE and COST
45. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING OF ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/2" PER FOOT MIN. TAN TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS
46. CARLISE SURE WELD, 60 MIL TPO CLASS 'A' ROOFING OF PROTECTION BOARD or TAPERED RIGID INSULATION of ROOF SHEATHING, REFER TO STRUCT. DWGS., SLOPE 1/4" PER FOOT MIN. WHITE TYP. INSTALL PER MANUFACTURER'S INSTRUCTIONS

Architect

JGA

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ARCHITECTURE
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PROJECT MANAGEMENT

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Phone: 714.560.9210
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Stamp and Signature



Issuance	Description
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	<input type="checkbox"/> PLAN CHECK REVISIONAL
20 FEB 2019	<input checked="" type="checkbox"/> ISSUED FOR BID
	<input type="checkbox"/> ISSUED FOR CONSTRUCTION
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Revision	
Date:	No. Description
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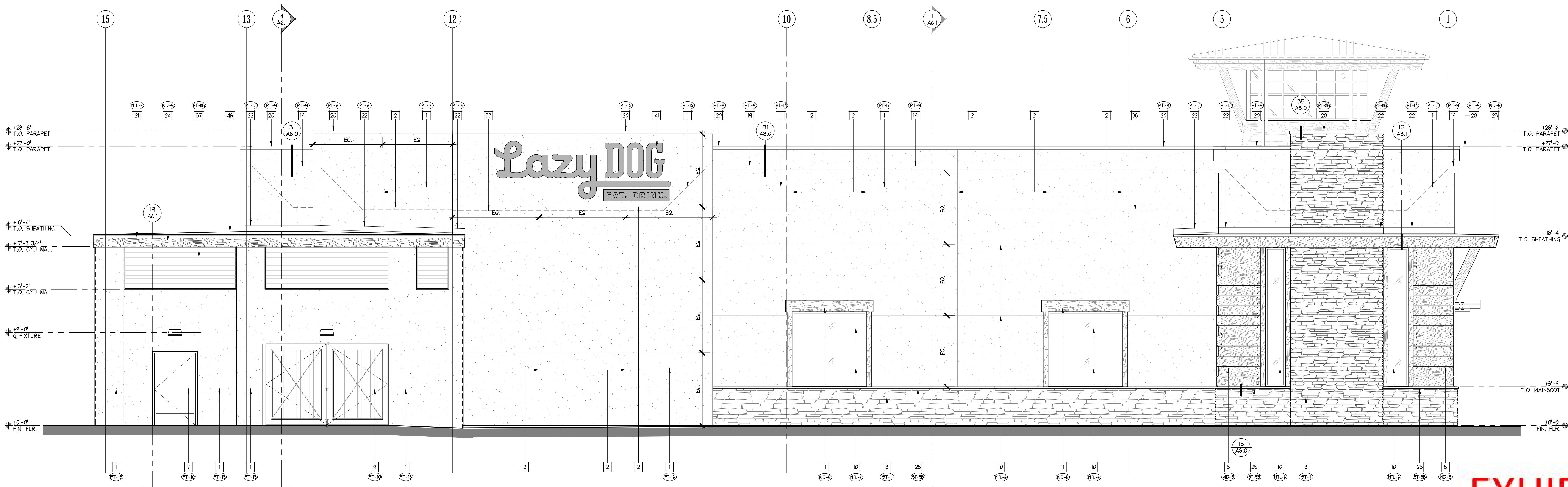


EXHIBIT D3

EAST LEVATION

SCALE
1/4" = 1'-0"

1

Project Name and Location

Lazy Dog (EAT. DRINK.)

CORONA HILLS PLAZA
380 N. MCKINLEY STREET
CORONA, CA 92879

Sheet Title

EXTERIOR ELEVATIONS
KEYNOTES
NOTES
FINISH SCHEDULE

Project No.:
..

Sheet No.:
A5.2

Print Date: 13 March 2019



NORTH ELEVATION



WEST ELEVATION

EXTERIOR FINISHES

ST 1	STONE VENEER. LAZY DOG CUSTOM BLEND.
MTL 5	BERRIDGE STANDING SEAM METAL ROOF (OR APPROVED EQUAL). COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH 'DEEP RED' COLOR.
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS 'DEEP RED'
MTL 14	LOUVERS
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR', 2 COATS
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHES SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
WD 3	EXTERIOR 2x12 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, 'CORDOVAN BROWN' T-104
WD 5	EXTERIOR WOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR', 2 COATS
WD 6	EXTERIOR GLU-LAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, 'MOUNTAIN CEDAR', 2 COATS
PT 5	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: HC-75 MARYVILLE BROWN
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 181 BLACK
PT 9	SHERWIN WILLIAMS PAINT W/ FLAT FINISH. COLOR: SW-7630 RASIN
PT 10	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: HC-87 ASHLEY GRAY
PT 14	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: 1652 NAVY MASTERPIECE
PT 15	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: 499 RUSTIC TAUPE



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FAX: 714.596.9970
www.lazydogrestaurants.com

THESE DRAWINGS PREPARED BY LAZY DOG RESTAURANTS FOR THE PROJECT ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, LAZY DOG RESTAURANTS SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THESE DRAWINGS SHALL NOT BE USED BY OTHERS OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING BY LAZY DOG RESTAURANTS.

01/07/14	Landlord & City Submittal
01/25/14	Lease Updates

CORONA HILLS PLAZA
380 N. MCKINLEY ST.
CORONA, CA



SHEET TITLE	
EXTERIOR ELEVATIONS	
DRAWN BY	
TG	
CHECKED BY	
RAF/DM	
SCALE	
3/16" = 1'-0"	
JOB NO.	
SHEET NUMBER	
DD4.0	

EXHIBIT E1



THESE DRAWINGS PREPARED BY LAZY DOG RESTAURANTS OR THIS PROJECT ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, LAZY DOG RESTAURANTS SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THESE DRAWINGS SHALL NOT BE USED BY OTHERS ON OTHER PROJECTS, FOR ADDITION TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING BY LAZY DOG RESTAURANTS.

[illegible]

**CORONA HILLS PLAZA
380 N. MCKINLEY ST.
CORONA, CA**

Lazy Dog
EAT. DRINK.

SHEET TITLE

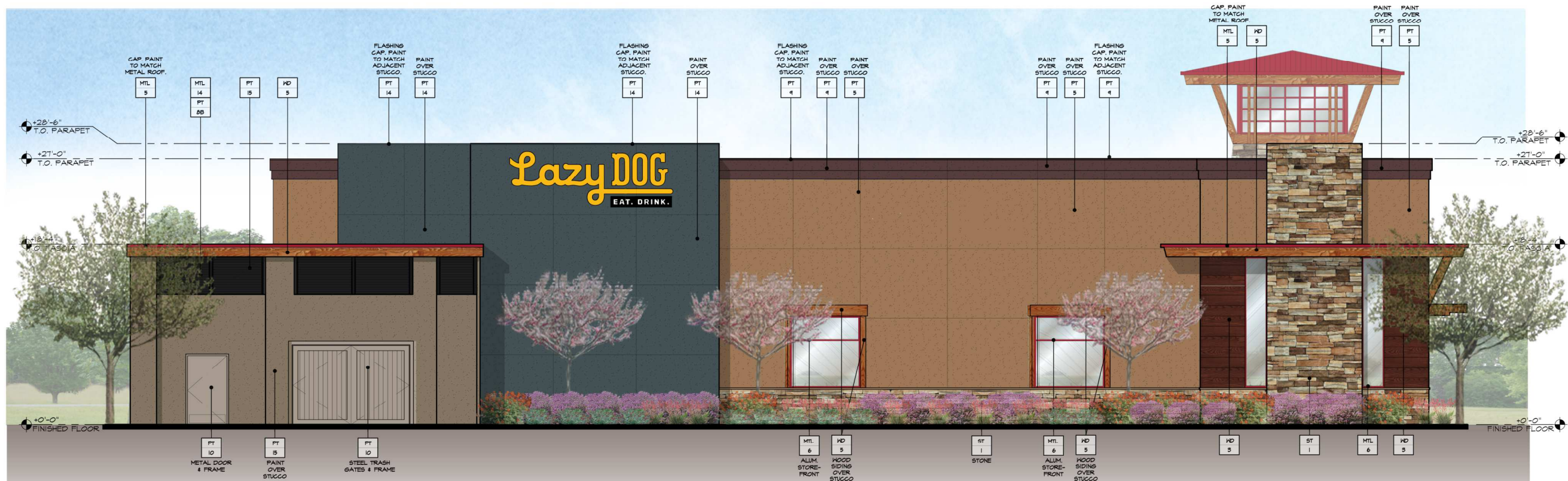
**EXTERIOR
ELEVATIONS**

DRAWN BY
TG
CHECKED BY
RAF/DM
SCALE
 $3/16" = 1'-0"$
JOB NO.

SHEET NUMBER

DD4.1

ST 1	STONE VENEER. LAZY DOG CUSTOM BLEND.
MTL 5	BERRIDGE STANDING SEAM METAL ROOF (OR APPROVED EQUAL). COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH "DEEP RED" COLOR.
MTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL). COLOR: TO MATCH BERRIDGE METALS "DEEP RED"
MTL 14	LOUVERS
WD 1	EXTERIOR WOOD TIMBERS SPECIES: DOUGLAS FIR, VERTICAL GRAIN COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 2	EXTERIOR WOOD CASINGS AT DOORS, WINDOWS AND NICHES SPECIES: ADLER, VERTICAL GRAIN COLOR: CUSTOM HONEY ADLER STAIN, SATIN, 2 COATS
WD 3	EXTERIOR 2x12 DOUGLAS FIR WOOD SIDING. FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT, SATIN, "CORDOVAN BROWN" T-104
WD 5	EXTERIOR WOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
WD 6	EXTERIOR GUL-LAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE WOODLAND OIL, SATIN, "MOUNTAIN CEDAR", 2 COATS
PT 5	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: HC-15 MARYVILLE BROWN
PT 8B	DUNN EDWARDS PAINT W/ SATIN FINISH. COLOR: DE 187 BLACK
PT 9	SHERWIN WILLIAMS PAINT W/ FLAT FINISH. COLOR: SW-7630 RASIN
PT 10	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: HC-87 ASHLEY GRAY
PT 14	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: 1652 NAVY MASTERPIECE
PT 15	BENJAMIN MOORE PAINT W/ FLAT FINISH. COLOR: 999 RUSTIC TAUPE

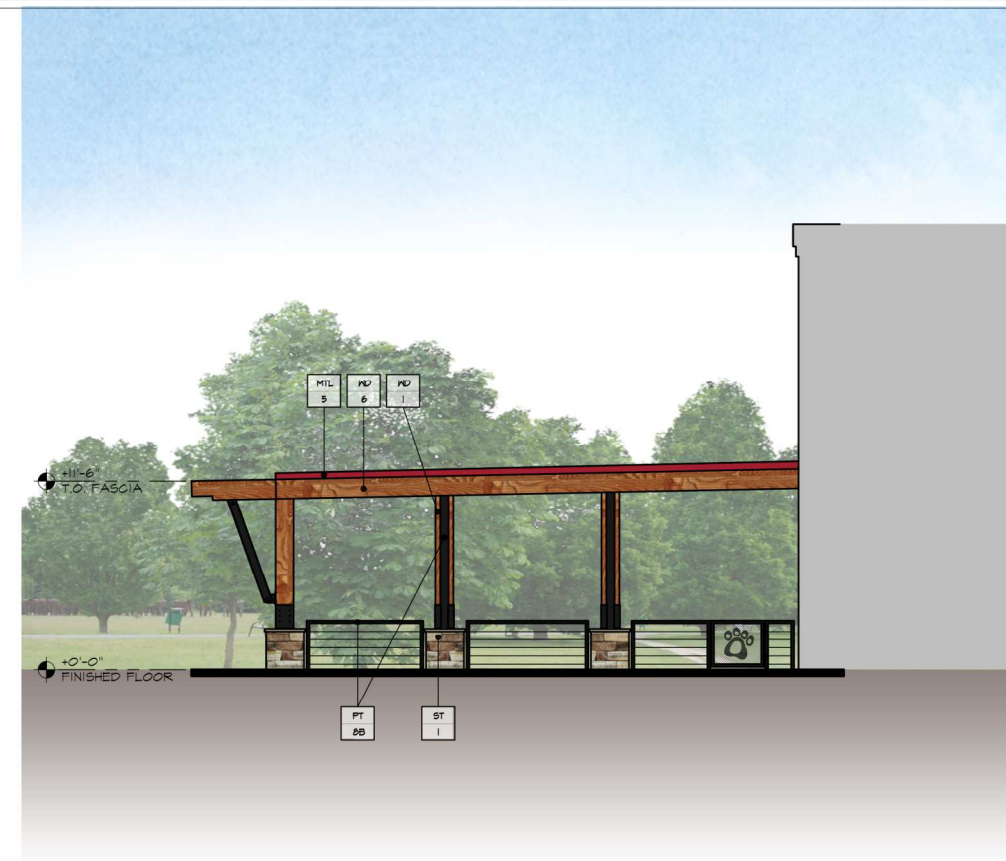


EAST ELEVATION

EXHIBIT E2



NORTH PATIO ELEVATION



SOUTH PATIO ELEVATION



WEST PATIO ELEVATION

EXHIBIT E3



3337 SUSAN STREET, SUITE 100
COSTA MESA, CA 92626
PHONE: 714.596.9960
FAX: 714.596.9970
www.lazydogrestaurants.com

THESE DRAWINGS PREPARED BY LAZY DOG RESTAURANTS, INC. FOR THE PROJECT ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, LAZY DOG RESTAURANTS SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS. INCLUDING COPYRIGHT, THESE DRAWINGS SHALL NOT BE USED BY OTHERS IN OTHER PROJECTS FOR ADDITION TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING BY LAZY DOG RESTAURANTS.

01/07/14	<input checked="" type="checkbox"/> Landlord & City Submittal
01/25/14	<input checked="" type="checkbox"/> Lease Updates
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
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	<input type="checkbox"/>
	<input type="checkbox"/>

CORONA HILLS PLAZA
380 N. MCKINLEY ST.
CORONA, CA



SHEET TITLE
PATIO ELEVATIONS

DRAWN BY
TG
CHECKED BY
RAF/DM
SCALE
3/16" = 1'-0"
JOB NO.

SHEET NUMBER
DD4.2

February 15, 2019

City of Corona
400 S. Vicentia Ave.
Corona, CA 92882

Re: Lazy Dog Restaurant
380 McKinley St.
Corona, CA 92879

Dear Mr. Luna,

Lazy Dog Restaurant proposes the development of a new freestanding restaurant building with outdoor patio at the above referenced location as detailed in the enclosed plans.

The Huntington Beach-based Lazy Dog Restaurant and Bar started 16 years ago. Lazy Dog proposes a laid back atmosphere that is inspired by the comfort of the Rocky Mountains, cozy fireplaces and a massive chandelier grafted from aspen logs, with a rustic decor. Artwork and playful touches inspired by man's best friend will be woven throughout, a dog-friendly patio along with ample seating and fire pits. Both the bar and exterior patio will be outfitted with multiple flat screens for guests to enjoy their meals and crafted beers.

Lazy Dog restaurant proposes to completely demolish the existing restaurant building and construct a 8,420 sq. ft. building with adjacent service yard and outdoor patio on the parcel. Lazy Dog is proposed operate from 11AM to 1AM six days per week and 9AM to 12AM on Sunday. Lazy Dog proposes to employ 24 to 30 employees per shift. Lazy Dog proposes the sale of sandwiches, burgers, meats, fish, brick oven pizza, salads, beverages and alcoholic beverages and kids menu. Beer and wine is additional proposed to be sold for offsite consumption as a part of takeout food sales and the Lazy Dog beer club. No dancing or live entertainment is proposed.

In response to the Environmental Setting Questions:

Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the current use of the structures.

The project proposed to demolish an existing Claim Jumper restaurant building and construct a new Lazy Dog Restaurant building at the same location. Prior to the project the subject site was fully developed restaurant building surrounded by hardscape, parking and shopping center landscaping. The soil stability is great. Plants are maintained landscape planters. No cultural, historical or scenic aspects exist. The current structure onsite is a old and abandoned/vacant restaurant building.

Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.).

The surrounding properties include a fully developed shopping center and the 91 freeway. The surrounding properties only include plants planted in landscape bed, the surrounding properties do not include animals or any cultural, historical or scenic aspects. The surrounding properties are all commercial and fully developed.

Sincerely,

Jared Taylor

Golden Property Development LLC



March 5, 2019

City of Corona
Planning Department
400 S. Vicentia Ave.
Corona, CA 92882

Re: Lazy Dog Restaurant
380 McKinley St.
Corona, CA 92879

Dear Ms. Garcia,

Please use this letter as confirmation that all deliveries for the above referenced restaurant will take place between the hours of 6 am and 9 am, prior to opening the restaurant to the public for service. Therefore, Lazy Dog would like to utilize a portion of the existing drive aisle immediately to the East side of the restaurant for its loading zone in lieu of the required loading space as per Section 17.78.010 of the City of Corona Municipal Code. This proposed loading zone is indicated on the proposed site plans and will be 12 feet in width and 25 feet in length and will not obstruct the limited vehicular circulation during the proposed delivery hours.

Sincerely,



CITY OF CORONA

PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

Name, Description and Location of Project:

PP2019-0002 is a proposal to rebuild a new 9,570 square foot Lazy Dog restaurant building on a building pad previously occupied by the Claim Jumper restaurant located at 380 N. McKinley Street (Corona Hills Plaza) within the Sub-Regional Shopping Center designation of the Northeast Corona Specific Plan (SP81-2).

Entity or Person Undertaking Project:

☐ A. Public Agency:

☒ B. Other (private):

Name: Jared Taylor
Golden Property Development for Lazy Dog Restaurants, LLC
Address: 5847 Brace Road
Loomis, CA 95650
Telephone No.: (805) 440-7537

Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
☐ B. The project is a Ministerial Project.
☐ C. The project is an Emergency Project.
☐ D. The project constitutes a feasibility or planning study.
☒ E. The project is categorically exempt: **This project qualifies as a Class 2 Categorical Exemption under Section 15302 per CEQA which is for the replacement or reconstruction of commercial structures where the new structure is of substantially the same size, purpose, and capacity of the previous structure.**
☐ F. The project is a statutory exemption. Code section number:
☐ G. The project is otherwise exempt on the following basis:
☐ H. The project involves another public agency, which constitutes the lead agency. Name of Lead Agency:

Date: _____

Lupita Garcia, Assistant Planner
Lead Agency Representative



NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF
SUPERVISORS COUNTY OF RIVERSIDE
DEPARTMENT

FROM: CITY OF CORONA
COMMUNITY DEVELOPMENT

400 S. VICENTIA AVE, SUITE 120
CORONA, CA 92882

1. Project title: *PP2019-0002*
2. Project location (specific): *380 N. McKinley Street Corona, CA 92879*
3.
 - a. Project location - City of Corona
 - b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project: *PP2019-0002 is a proposal to rebuild a new 9,570 square foot Lazy Dog restaurant building on a building pad previously occupied by the Claim Jumper restaurant located at 380 N. McKinley Street (Corona Hills Plaza) within the Sub-Regional Shopping Center designation of the Northeast Corona Specific Plan (SP81-2) in the City of Corona.*
5. Name of public agency approving project: *City of Corona*
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:
*Jared Taylor
Golden Property Development for Lazy Dog Restaurants, LLC
5847 Brace Road
Loomis, CA 95650*
7. Exempt Status (check one):
 - a. ☐ Ministerial Project
 - b. ☐ Not a project
 - c. ☐ Emergency project
 - d. ☒ **Categorical Exemption. State type and class number: **Section 15302 (Replacement or Reconstruction), Class 2****
 - e. ☐ Declared Emergency
 - f. ☐ Statutory Exemption. State code section number:
 - g. ☐ Other: Explain:
8. Reasons why the project is exempt:

PP2019-0002 qualifies as a Class 2 Categorical Exemption under Section 15302 per CEQA which is for the replacement or reconstruction of commercial structures where the new structure is of substantially the same size, purpose, and capacity of the previous structure.
9. Contact Person/Telephone No.: *Lupita Garcia / (951) 736-2293*
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date received for filing: _____

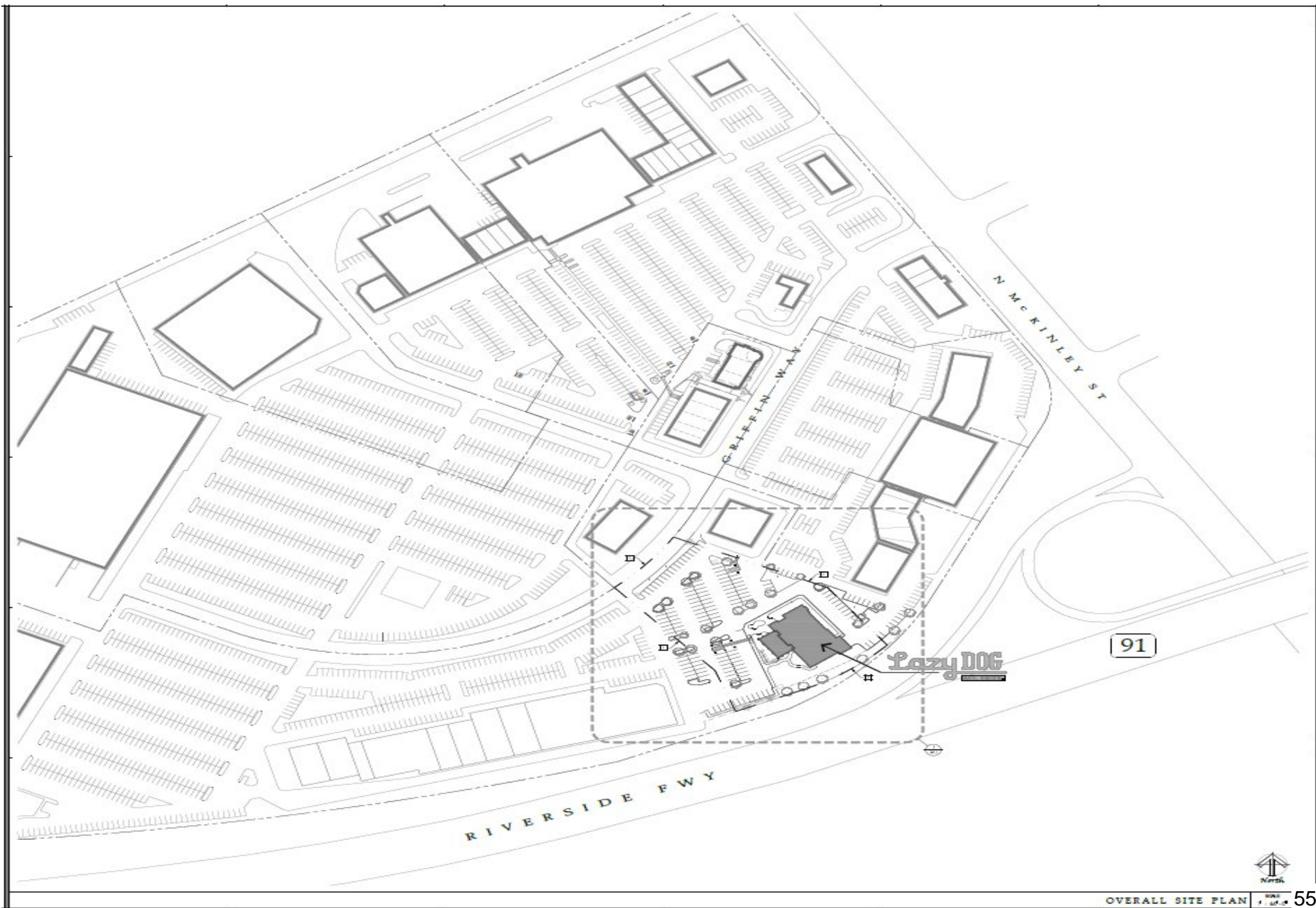
Signature: _____
Lupita Garcia, Assistant Planner
Lead Agency Representative

AERIAL & ZONING MAP



ZONING LEGEND

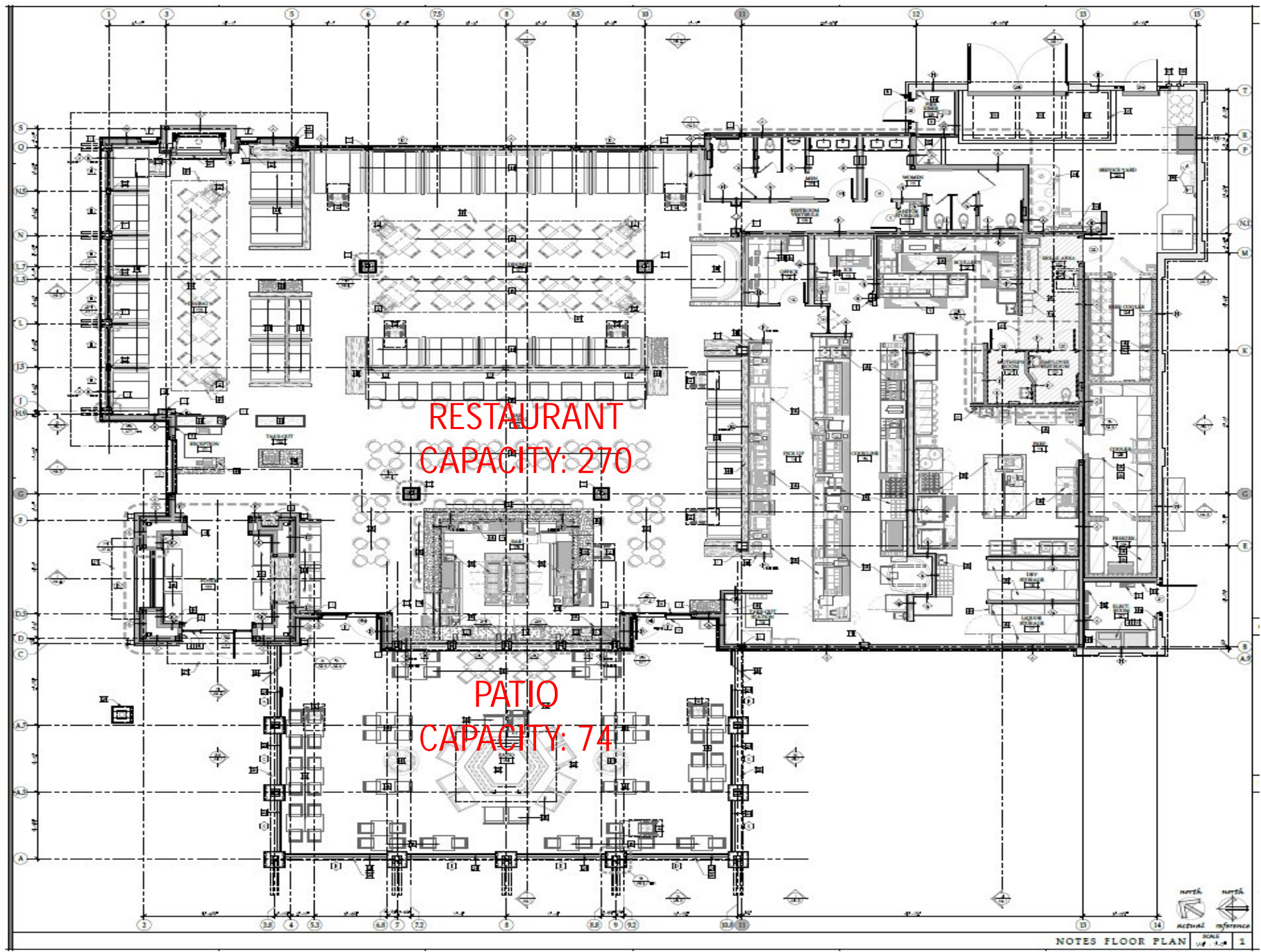
SR SC: Sub-Regional Shopping Center of the Northeast Corona Specific Plan (SP81-2)
 SC: Support Commercial of the Northeast Corona Specific Plan (SP81-2)
 HDR-22: High Density Residential of the Northeast Corona Specific Plan (SP81-2), Planning Area 22
 HDR-23: High Density Residential of the Northeast Corona Specific Plan (SP81-2), Planning Area 23



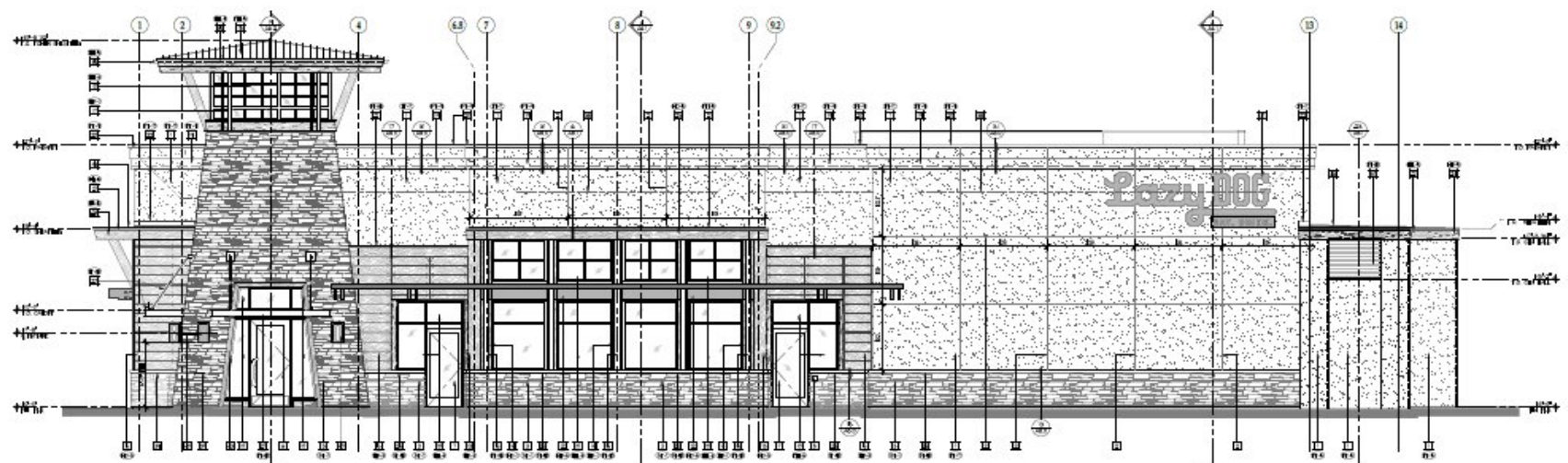
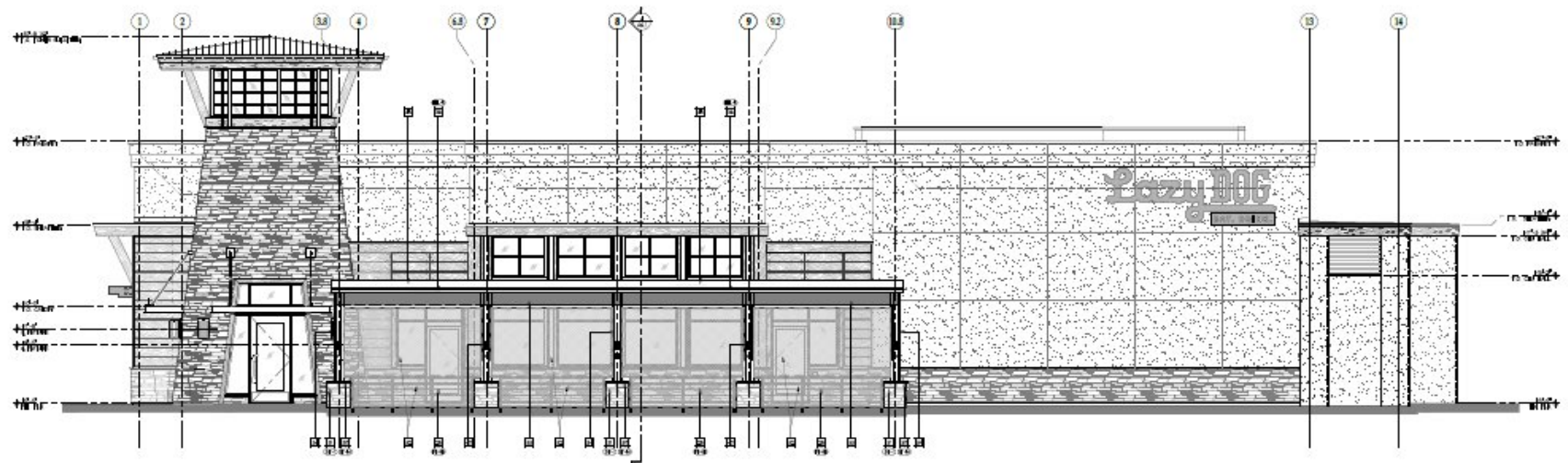
SITE PLAN



ENLARGED SITE PLAN



FLOOR PLAN



ELEVATION PLANS



NORTH ELEVATION

EXTERIOR FINISHES	
ST 1	STONE VENEER, LAZY DOG CUSTOM BLEND
HTL 5	BERRIDGE STANDING SEAM METAL ROOF (OR APPROVED EQUAL) COLOR: DEEP RED OR METAL FLASHING/RAIN GUTTER/DOWNSPOUT TO MATCH 'DEEP RED' COLOR
HTL 6	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL) COLOR: TO MATCH BERRIDGE METAL'S 'DEEP RED'
ST 14	LANTERNE
HTL 1	EXTERIOR HOOD THIMERS SPECIES: DOUGLAS FIR UNPAINTED GRAIN COLOR: OLYMPIC ELITE HOODELAND OIL SATIN, 'MOUNTAIN CEDAR', 2 COATS
HTL 2	EXTERIOR HOOD CASINGS AT DOORS, WINDOWS AND NOSES SPECIES: ASHLER VERTICAL GRAIN COLOR: 'ANTHONY HENRY' ASHLER VERTICAL SATIN, 2 COATS
HTL 3	EXTERIOR 2x12 DOUGLAS FIR HOOD SIDING FINISH: SANDBLAST AND STAIN SPECIES: DOUGLAS FIR COLOR: 2 COATS BEHR PREMIUM WEATHER PROOFING ALL-IN-ONE TRANSPARENT SATIN, 'CORDOVAN BROWN' T-104
HTL 4	EXTERIOR HOOD FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE HOODELAND OIL SATIN, 'MOUNTAIN CEDAR', 2 COATS
HTL 5	EXTERIOR GULLFAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE HOODELAND OIL SATIN, 'MOUNTAIN CEDAR', 2 COATS
HTL 6	EXTERIOR GULLFAM FASCIA SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE HOODELAND OIL SATIN, 'MOUNTAIN CEDAR', 2 COATS
ST 5	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: HG-19 MANTVILLE BROWN
PT 5	DUNK EDWARDS PAINT IV SATIN FINISH COLOR: DE-181 BLACK
PT 8	SHERWIN WILLIAMS PAINT IV FLAT FINISH COLOR: SH-750 RADIN
PT 1	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: HG-87 ASHLEY GRAY
PT 13	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 16	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 18	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 19	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 20	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 21	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 22	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 23	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 24	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 25	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 26	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 27	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 28	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 29	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
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PT 31	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 32	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 33	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 34	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 35	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 36	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 37	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 38	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 39	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 40	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 41	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
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PT 46	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 47	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 48	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 49	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 50	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 51	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 52	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 53	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 54	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 55	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
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PT 63	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
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PT 97	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 98	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 99	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE
PT 100	BENJAMIN MOORE PAINT IV FLAT FINISH COLOR: 1652 NAVY MASTERPIECE



WEST ELEVATION



SOUTH ELEVATION

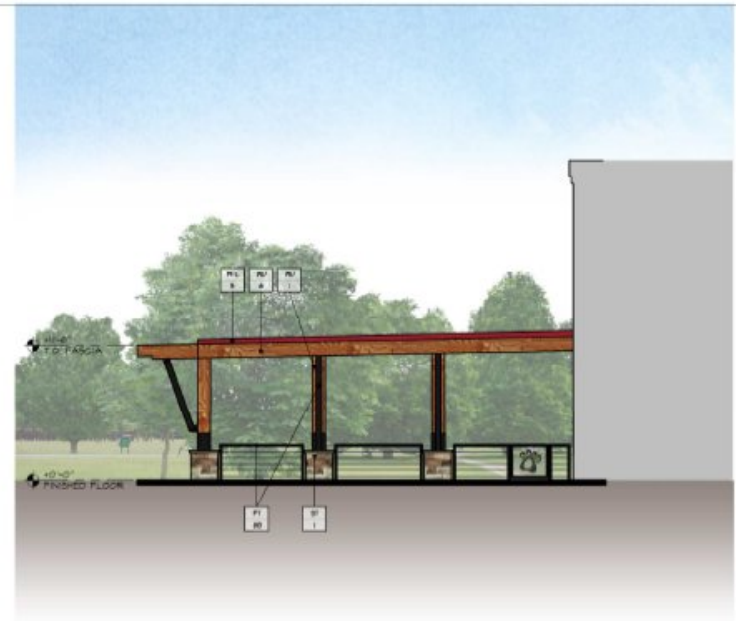
EXTERIOR FINISHES	
ST 1	STONE VENEER: LAZY DOG CUSTOM BLEND
MTL 2	BERNARD STANDING SEAM METAL ROOF (OR APPROVED EQUAL) COLOR: DEEP RED OR METAL FLASHING/RAIN DETERMINED TO MATCH 'DEEP RED' COLOR
MTL 8	US ALUMINUM STOREFRONT WINDOWS (OR APPROVED EQUAL) COLOR: TO MATCH BERNARD METALS 'DEEP RED'
MTL 14	LINEN
HD 1	EXTERIOR HOOD THIMERS SPECIES: DOUGLAS FIR VERTICAL GRAIN COLOR: OLYMPIC ELITE HOODLAND OIL SATIN 'MOUNTAIN CEDAR', 2 COATS
HD 2	EXTERIOR HOOD CASINGS AT DOORS, WINDOWS AND NICHES SPECIES: ADLER VERTICAL GRAIN COLOR: OLYMPIC ELITE HOODLAND OIL SATIN 'MOUNTAIN CEDAR', 2 COATS
HD 5	EXTERIOR DOGS DOUGLAS FIR HOOD SOING FINISH: SANDBLAST AND STAIN COLOR: 2 COATS BORN PREMIUM HEATHER PROOFING ALL-IN-ONE TRANSPARENT SATIN 'CORDOVAN BROWN' T-104
HD 8	EXTERIOR HOOD FLASHING SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE HOODLAND OIL SATIN 'MOUNTAIN CEDAR', 2 COATS
HD 8	EXTERIOR SUPPLY FINISH SPECIES: DOUGLAS FIR COLOR: OLYMPIC ELITE HOODLAND OIL SATIN 'MOUNTAIN CEDAR', 2 COATS
PT 5	BENJAMIN MOORE PAINT 'N' FLAT FINISH COLOR: HC-101 MARYVILLE BROWN
PT 80	DUN EDWARDS PAINT 'N' SATIN FINISH COLOR: DE 181 BLACK
PT 4	SHERWIN WILLIAMS PAINT 'N' FLAT FINISH COLOR: SW-700 RAGN
PT 10	BENJAMIN MOORE PAINT 'N' FLAT FINISH COLOR: HC-81 ASHLEY GRAY
PT 14	BENJAMIN MOORE PAINT 'N' FLAT FINISH COLOR: 1652 NAVY HASTORPICE
PT 5	BENJAMIN MOORE PAINT 'N' FLAT FINISH COLOR: 444 RUSTIC TAPE



EAST ELEVATION



NORTH PATIO ELEVATION



SOUTH PATIO ELEVATION



WEST PATIO ELEVATION



City of Corona

400 S. Vicentia Ave.
Corona, CA 92882

Minutes - Final

Infrastructure Committee

MAYOR JASON SCOTT
COUNCIL MEMBER WES SPEAKE

ADVISORY MEMBER
PLANNING & HOUSING COMMISSIONER

Wednesday, March 6, 2019

8:00 AM

Council Board Room

1. Call To Order

The meeting was called to order by Mayor Jason Scott at 8:06 a.m. In addition to the Committee Members, the following individuals were in attendance:

Kerry Eden, Asst. City Mgr. /Admin Svcs. Dir.
Nelson Nelson, Public Works Dir.
Tom Koper, Asst. Public Works Dir.
Barry Ghaemi, Senior Engineer
Naomi Ramirez, Management Svcs. Asst.
Ryan Cortez, Economic Development Coordinator

Others Present:

Karen Alexander, Planning & Housing Commission

2. Public Comments

None.

3. Agenda Items

- A. [19-0202](#) Discussion about the Pavement Preservation schedule for 2019 and 2020.
(Public Works Department)
Action: Information & Discussion

Mr. Neslon Nelson, Public Works Director, introduced the item for discussion and provided the committee with a PowerPoint of the Local Streets Pavement Rehabilitation for 2019. Mr. Nelson noted that several notifications will be sent out to residents before work is started with the third notice being sent two days before closure and "No Parking" signs are posted. He then presented the committee with examples of the street rehabilitation process and the different options of paving methods used. Mr. Nelson informed the committee of why one type of paving method is done over another, he noted that staff evaluates the street and determines

which method would be the best option. Mr. Nelson recommended that staff present item at a Study Session meeting to allow staff to inform both residents and Council on process and plan.

The committee inquired about the funding for the project. Staff noted that the source of funding comes from the gas tax and grant funds.

Ms. Karen Alexander, Planning & Housing Commissioner, inquired about the order of which streets will be paved. Mr. Nelson stated that there is no set order, staff will work with the contractor on selecting locations and when to start. He noted that it would be cost efficient to repave areas that do not have extensive damage as it is easier to maintain in the long run versus having to redo an entire street from top to bottom. The goal is to keep the streets maintained and repave every 7-10 years.

Ms. Kerry Eden inquired about the areas that have high traffic because of schools. Mr. Nelson noted that any restrictions/ changes will be noted in the contract. This would include having a later start time to avoid any impact on residents.

Ms. Alexander inquired about restrictions or the residential areas that do not have open area parking lots. For example, an apartment building where tenants park on street. Mr. Nelson noted that staff will be working with the contractor and will accommodate the construction schedule to reduce resident impact. For example, construction crews will pave one lane at a time and allow access throughout the day, as well as adjust construction start times to accommodate for peak traffic and limited parking hours.

Council Member Wes Speake inquired about contract limitations. Staff responded that contracts will change from project to project and by doing so this will allow staff to make proper changes to reflect the scope of work.

The committee was in favor of staff recommendations to present item to Council in a future Study Session meeting.

4. Adjournment

The meeting was adjourned at 8:37 a.m.