

# City of Corona

*400 S. Vicentia Ave.  
Corona, CA 92882*

## **City Council Meeting Agenda - Final-revised**

**Wednesday, July 7, 2021**

**Closed Session Council Board Room 4:30 PM**

**Open Session Council Chambers 6:30 PM**



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF  
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY  
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor  
Wes Speake, Vice Mayor  
Tony Daddario, Council Member  
Tom Richins, Council Member  
Jim Steiner, Council Member**



\*\*Revised agenda on July 6, 2021 at 2:55 p.m.

Item 44 (Request from Vice Mayor Wes Speake on options for completing the public infrastructure improvements in the Overlook Area) was pulled from the agenda

Item 47 (Update from Council Member Daddario on the Western Riverside County Regional Conservation Authority (RCA) Board Meeting of July 1, 2021) was pulled from the agenda.\*\*

## CONVENE CLOSED SESSION

### CITY COUNCIL

1. **CLOSED SESSION** - CLOSED SESSION - CONFERENCE WITH LEGAL COUNSEL - EXISTING LITIGATION  
Pursuant to Government Code Section 54956.9(d)(1)  
Name of Case: Darnell Baxter v. City of Corona  
WCAB Case Numbers: ADJ8013620, ADJ8013619, ADJ11166552, ADJ11146036
2. **CLOSED SESSION** - CONFERENCE WITH LABOR NEGOTIATORS  
Pursuant to Government Code Section 54957.6  
Agency Designated Representative: Jacob Ellis, City Manager  
Employee Organizations: Corona General Employees Association, Corona Fire Association, Corona Police Employees Association, Corona Police Supervisors Association and Corona Supervisors Association
3. **CLOSED SESSION** - CONFERENCE WITH LABOR NEGOTIATORS  
Pursuant to Government Code Section 54957.6  
Agency Designated Representative: Jacob Ellis, City Manager  
Unrepresented Employee Group: Management/Confidential Group Employees
4. **CLOSED SESSION** - CONFERENCE WITH LABOR NEGOTIATORS  
Pursuant to Government Code Section 54957.6  
Agency Designated Representative: Jacob Ellis, City Manager  
Unrepresented Employee Group: Executive Group Employees

## INVOCATION

*The invocation may be offered by a person of any religion, faith, belief or non-belief, as well as Council Members. A list of volunteers is maintained by the City Clerk and interested persons should contact the Clerk for further information.*

## PLEDGE OF ALLEGIANCE

## CONVENE OPEN SESSION

*Individuals wishing to address the City Council are requested to complete a speaker card available at the rear of the Council Chambers. Please deliver the card to the City Clerk prior to the item being heard by the City Council or,*

for items not listed on the agenda, before the "Communications" section of the agenda is called. Please observe a three-minute limit for communications and please note that the Communications section of the agenda is limited to items within the subject matter jurisdiction of the City Council that are not listed on the agenda. Once called upon to speak, you are requested to state your name and city of residence for the record.

## PROCLAMATIONS/RECOGNITIONS/PRESENTATIONS

5. [Commendation: Chloe Moyle.](#)
6. [Proclamation: "Parks Make Life Better!" Month.](#)
7. [Recognition: Corona Regional Medical Center.](#)
8. [Recognition: Shiishonga Tongva Nation, Corona Band of Gabrielino Indians.](#)

## MEETING MINUTES

9. **MINUTES** - [Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority Committee of the Whole Meeting of June 9, 2021.](#)
10. **MINUTES** - [Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority City Council Meeting of June 16, 2021.](#)
11. **MINUTES** - [Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority Study Session Meeting of June 23, 2021.](#)

## CONSENT CALENDAR

All items listed on the Consent Calendar are considered to be routine matters, status reports or documents covering previous City Council action. The items listed on the Consent Calendar may be enacted in one motion. With the concurrence of the City Council, a Council Member or any person in attendance may request that an item be removed for further consideration.

12. **AGREEMENT** - [Approval of the Second Amendment to the Professional Services Agreement with MV Cheng and Associates for temporary staffing services.](#)

### That the City Council:

- a. Approve the second amendment to the Professional Services Agreement with MV

Cheng and Associates in the amount of \$75,000 for temporary staffing services.

- b. Authorize the Purchasing Agent to increase Purchase Order B210288 for MV Cheng and Associates from \$100,000 to \$175,000.
- c. Approve a budgetary transfer, not to exceed \$75,000, from the personnel category to professional/contractual services, in the Finance Department's General Fund Fiscal Year 2022 budget.

**13. AGREEMENT - Approval of the Fourth Amendment to the Professional Services Agreement with HDL Software, LLC for business license program services**

**That the City Council:**

- a. Approve the fourth amendment to the Agreement with HDL Software LLC to extend the contract terms through June 30, 2022, for business license program services.
- b. Authorize the Purchasing Agent to issue a purchase order for Fiscal Year 2022 to HDL Software LLC for \$250,000.

**14. AGREEMENT - Cooperative Agreement between the City of Corona, Western Municipal Water District, and the Western Riverside County Regional Wastewater Authority for the relocation of sanitary sewer facilities in connection with the McKinley Grade Separation Project.**

**That the City Council:**

- a. Approve the Cooperative Agreement for Utility Facility Modifications between the City, Western Municipal Water District, and Western Riverside County Regional Wastewater Authority.
- b. Authorize the City Manager, or his designee, to execute the Cooperative Agreement for Utility Facility Modifications between the City, Western Municipal Water District, and Western Riverside County Regional Wastewater Authority and to approve and execute any amendments to the Cooperative Agreement in a form acceptable to the City Attorney that are consistent with the Council's directions herein.

**15. AGREEMENT - Fourth Amendment to the Aviation Program Agreement between the City of Riverside and the City of Corona, which was formerly known as the Helicopter Program.**

**That the City Council:**

- a. Authorize the City Manager, or his designee, to execute the Fourth Amended

Aviation Program Agreement between the City of Riverside and the City of Corona, formerly known as the Helicopter Program.

- b. Authorize the Chief of Police, pursuant to his delegated authority to maintain and manage the Aviation Program Agreement entered into as of July 7, 2021, and as noted in section 8.3 of this agreement.
- c. Authorize the City of Corona to issue claim form payment of funds in the amount of \$120,000 to the City of Riverside.
- d. Authorize the City Manager, or his designee, to approve change orders up to 10% of the original Aviation Program Agreement amount as provided by Corona Municipal Code Section [3.08.080\(I\)](#).

**16. AGREEMENT - [Establish termination date for Memorandum of Understanding between the City of Corona and the California Public Employees' Retirement System for the elected board member employer reimbursement of Police Sergeant Jason Perez, elimination of one Police Sergeant and associated budget adjustments.](#)**

**That the City Council:**

- a. Approve the Memorandum of Understanding between the City of Corona and the California Public Employees' Reimbursement System for the elected board member employer reimbursement of Police Sergeant Jason Perez effective February 18, 2021, through June 1, 2021.
- b. Authorize the City Manager to execute the Memorandum of Understanding between the City of Corona and the California Public Employees' Reimbursement System for the elected board member employer reimbursement of Police Sergeant Jason Perez.
- c. Remove one full-time Police Sergeant, salary range 534-584 (\$8,639-\$11,086 per month), and reduce the Police Department's General Fund budget by \$235,222 for Fiscal Year 2022.
- d. Reduce General Fund revenue projections for Fiscal Year 2022 by \$176,416 based on the current employer reimbursement agreement, which is 75 percent of Jason Perez's salary/benefits as a Police Sergeant budgeted for Fiscal Year 2022.

**17. AGREEMENT - [Collective Bargaining Agreements Side Letters and Extension of Professional Services Agreement with Liebert Cassidy Whitmore for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues.](#)**

**That the City Council:**

- a. Approve the Side Letter of Agreement Extending the 2019-2021 Memorandum of Understanding between the City of Corona and the Corona General Employees Association.
- b. Approve the Side Letter of Agreement Modifying Section 7.2 of the 2019-2021 Memorandum of Understanding between the City of Corona and the Corona Supervisors Association.
- c. Approve the Third Amendment to the Professional Services Agreement with Liebert Cassidy Whitmore for the additional amount of \$200,000, increasing the total compensation amount from \$200,000 to \$400,000, for additional legal services related to labor negotiations.
- d. Authorize the Purchasing Agent to increase Purchase Order B210312 for Liebert Cassidy Whitmore from \$200,000 to \$400,000.
- e. Approve a General Fund budgetary transfer of \$200,000 from General Government operating budget to Human Resources Department's operating budget.

**18. BID & PURCHASE - [Award of Contract to Tropical Plaza Nursery, Inc. for Landscape Maintenance District 84-2 in Zones 10 and 15.](#)**

**That the City Council:**

- a. Approve the cancellation and contract award to Greentech Landscape, Inc. for bid No. Notice Inviting Bid 20-061SB Landscaping Maintenance for Area 2 in the City of Corona.
- b. Award contract for Notice Inviting Bid 20-061SB to Tropical Plaza Nursery, Inc. for landscape maintenance services for Area 2 for a one-year initial contract period in the amount of \$456,460; and waive any and all minor irregularities in the bidding documents as submitted by said bidder.
- c. Authorize the City Manager, or his designee, to execute the Maintenance and General Services Agreement with Tropical Plaza Nursery, Inc., and to approve any necessary non-substantive change orders or amendments and unencumbered contingencies up to \$25,000.
- d. Authorize the City Manager, or his designee, to negotiate and execute four one-year agreement renewals under the terms provided for in this report and the Agreement and in a form approved by the City Attorney.
- e. Authorize the Purchasing Agent to issue yearly purchase orders in accordance with the duly authorized and executed agreements, change orders, amendments,

and renewals.

- f. Authorize an appropriation of \$40,000 (\$35,000 in LMD 84-2, Zone 10 Fund 460, \$4,000 in LMD 84-2, Zone 15 Fund 462 and \$1,000 in the General Fund) to the Community Services' operating budget for the additional landscape maintenance costs.

**19. BID & PURCHASE - [Award of Contract to Western State Builder, Inc. for the Mountain Gate Park Playground Improvements Project.](#)**

**That the City Council:**

- a. Adopt the Plans and Specifications for the Mountain Gate Park Playground Improvements Project, Notice Inviting Bids 21-080HC.
- b. Award Notice Inviting Bids 21-080HC for the Mountain Gate Park Playground Improvements Project to Western State Builder, Inc. of Escondido, CA, to the lowest responsive, responsible bidder, for a total not to exceed amount of \$144,183 and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- c. Authorize the City Manager, or his designee, to execute a contract with Western State Builder, Inc. of Escondido, CA, in the amount of \$144,183.
- d. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, amendments and change orders up to ten percent or \$14,418 of the original contract amount.
- e. Authorize the Purchasing Manager to issue a Purchase Order to Western State Builder, Inc. of Escondido, CA, in the amount of \$144,183.
- f. Authorize the transfer of \$34,220 from Capital Improvement Project No. 6869 Citywide ADA Improvements to Capital Improvement Project No. 7380 Mountain Gate Park Improvements for rubberized surfacing installation.

**20. BID & PURCHASE - [Award of Contract to Aguilar and Calderon Corporation for the Citywide Parks ADA Hardscape Improvements.](#)**

**That the City Council:**

- a. Adopt the Plans and Specifications for the Citywide Parks ADA Hardscape Improvements - Year 2 Project, Notice Inviting Bids 21-075HC.
- b. Award Notice Inviting Bids 21-075HC for the Citywide Parks ADA Hardscape Improvements - Year 2 Project to Aguilar and Calderon Corporation of Whittier CA, the lowest responsive, responsible bidder, for a total not to exceed amount

of \$438,290 and waive any and all minor irregularities in the bidding document as submitted by said bidder.

- c. Authorize the City Manager, or his designee, to execute a contract with Aguilar and Calderon Corporation of Whittier, CA, in the amount of \$438,290.
- d. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, amendments and change orders up to ten percent of the project cost, which is equivalent to \$43,829.
- e. Authorize the Purchasing Manager to issue a purchase order to Aguilar and Calderon Corporation in the amount of \$438,290.

**21. BID & PURCHASE - [Award of Contract to CT&T Concrete Paving, Inc. for On-Call Citywide Concrete Repairs](#)**

**That the:**

- a. City Council award Notice Inviting Bids 21-073RH for On-Call Citywide Concrete Repairs to CT&T Concrete Paving, Inc., the lowest responsive, responsible bidder, for the total bid amount of \$750,000, and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreement with CT&T Concrete Paving, Inc. for \$750,000 for the initial contract period ending June 30, 2023, with two optional two-year extensions.
- c. City Council authorize the City Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$75,000 as authorized in Corona Municipal Code Section [3.08.050\(H\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to CT&T Concrete Paving, Inc. for \$750,000 per year for the initial contract period ending June 30, 2021, with two optional two-year extensions.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**22. BID & PURCHASE - [Award of contract to A&Y Asphalt Contractors, Inc. for on-call Citywide asphalt repairs.](#)**

**That the:**

- a. City Council award Notice Inviting Bids 21-076RH for on-call Citywide asphalt

repairs to A&Y Asphalt Contractors, Inc., the lowest responsive, responsible bidder, for the total amount of \$600,000, and waive any and all minor irregularities in the bidding document as submitted by said bidder.

- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreement with A&Y Asphalt Contractors, Inc. for \$600,000 for the initial contract term ending June 30, 2023, with two (2) optional two (2) two-year extensions.
- c. City Council authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$60,000 as authorized in Corona Municipal Code Section [3.08.050\(H\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to A&Y Asphalt Contractors, Inc. for \$600,000 per year for the initial contract term ending June 30, 2023, with two (2) optional two-year extensions.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**23. BID & PURCHASE - [Award contract for Potable Water and Wastewater Treatment Chemicals - Multi-Year Contract and change order for polymer for Fiscal Year 2021.](#)**

**That the:**

- a. City Council authorize a change order in the amount of \$40,000 to Aqua Ben Corporation for required polymer for wastewater treatment for Fiscal Year 2021.
- b. City Council award Notice Inviting Bids 21-082CA for Potable Water and Wastewater Treatment Chemicals to the following vendors for an initial contract period ending June 30, 2022, with four one-year renewal periods
  - i. Olin Chlor Alkali Products of Tracy, CA, the lowest responsive, responsible bidder, for the chemical sodium hypochlorite 12.5% for \$1,750,000,
  - ii. Thatcher Company of Nevada, Inc. of Salt Lake City, UT, the lowest responsive, responsible bidder, for the chemical aluminum sulfate 43.65% (10% acidified) and 48.5% in the amount of \$83,000,
  - iii. Airgas Specialty Products, Inc. of Lawrenceville, GA, the lowest responsive, responsible bidder, for the chemical ammonium hydroxide 19% for \$42,000,
  - iv. King Lee Technologies of San Diego, CA, the lowest responsive, responsible bidder, for the chemical corrosion and scale inhibitor (pre-treatment) for \$150,000,
  - v. Polydyne, Inc. of Riceboro, GA, the lowest responsive, responsible bidder for the chemical cationic polymer (water treatment) for \$125,000,
  - vi. Aqua Ben Corporation of Orange, CA, the lowest responsive, responsible



- bidder for the chemicals anionic polymer (water treatment), anionic polymer (wastewater treatment), cationic polymer (gravity belt thickeners - wastewater treatment), and cationic polymer (centrifuge - wastewater treatment) for \$590,200,
- vii. JCI Jones Chemicals, Inc. of Torrance, CA, the lowest responsive, responsible bidder, for the chemical sodium hydroxide 25% for \$40,000,
  - viii. Pacific Star Chemical dba Northstar Chemical of Sherwood, OR, the lowest responsive, responsible bidder, for the chemical sulfuric acid 93% for \$165,000,
  - ix. California Water Technologies, LLC of Santa Fe Springs, CA, the lowest responsive, responsible bidder, for the chemical ferric chloride 15%-40% for \$100,000,
  - x. Univar Solutions USA, Inc. of Kent, WA, the lowest responsive, responsible bidder, for the chemical sodium bisulfite 25% for \$45,000, and waive any minor irregularities in the bidding document as submitted by said bidder.
- c. City Council authorize the City Manager or his designee to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% per purchase order as authorized in Corona Municipal Code Section [3.08.080\(I\)](#).
- d. City Council authorize the Purchasing Manager to issue annual purchase orders for the initial contract period ending June 30, 2022, with four one-year renewal periods to:
- i. Olin Chlor Alkali Products for \$1,750,000,
  - ii. Thatcher Company of Nevada, Inc. for \$83,000,
  - iii. Airgas Specialty Products, Inc. for \$42,000,
  - iv. King Lee Technologies for \$150,000,
  - v. Polydyne, Inc. for \$125,000,
  - vi. Aqua Ben Corporation in the amount of \$590,200,
  - vii. JCI Jones Chemicals, Inc. for \$40,000,
  - viii. Pacific Star Chemical DBA Northstar Chemical for \$165,000.
  - ix. California Water Technologies, LLC for \$100,000.
  - x. Univar Solutions USA, Inc. for \$45,000.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**24. BID & PURCHASE - [Award of contract for essential fabrication services to Baghouse & Industrial Sheet Metal Services, Inc.](#)**

**That the:**

- a. City Council award Request for Proposals No. 21-056RH for on-call essential fabrication services to Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA, for the initial contract term ending June 30, 2023, with two optional

two-year renewals.

- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreements with Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA in the amount of \$200,000 for the initial contract term ending June 30, 2023, with two optional two-year renewals.
- c. City Council authorize the General Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders and amendments up to \$20,000 or 10% as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA in the amount of \$200,000 for the initial term ending June 30, 2023, with two optional two-year renewals.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**25. BID & PURCHASE - [Authorize a Second Amendment to the Maintenance/General Services Agreement with Genuine Parts Company.](#)**

**That the City Council:**

- a. Authorize the City Manager, or his designee, to execute the Second Amendment to the Maintenance/General Services Agreement with Genuine Parts Company (doing business as NAPA Auto Parts) for \$575,000 per year for the initial contract term ending December 29, 2024.
- b. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$57,500 as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- c. Make a determination under Corona Municipal Code Section [3.08.140\(C\)](#) that competitive bidding has been satisfied for this purchase based upon the reasons provided in this agenda report.
- d. Authorize the Purchasing Manager to issue a purchase order to Genuine Parts Company (doing business as NAPA Auto Parts) for \$575,000 per year through December 29, 2024

**26. BID & PURCHASE - [Award of contract for on-call essential machine & pump services for the Department of Water and Power.](#)**

**That the:**

- a. City Council award Request for Proposals 21-055RH for Essential Machining & Pump Services to Bender CCP, Inc. of Vernon, CA.
- b. City Council authorize the City Manager, or his designee, to execute a Maintenance/General Services Agreement with Bender CCP, Inc. of Vernon, CA for \$300,000 for the initial contract term ending June 30, 2023, with two optional two-year renewals.
- c. City Council authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to \$30,000 each or 10% of the original contract amount as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- d. City Council authorize the Purchasing Manager to issue purchase orders to Bender CCP Inc. of Vernon, CA for \$300,000 per year for an initial contract term ending June 30, 2023, with two optional two-year renewals.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**27. BID & PURCHASE - [Award of contract for on-call in-field/in-shop electric motor repair services to Energy Management Electric Corp.](#)**

**That the:**

- a. City Council award Request for Proposal No. 21-050RH for on-call in-field/in-shop electric motor repair services to Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, for an initial one-year contract in Fiscal Year 2022 with two optional two-year extensions.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreements with Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, in the amount of \$200,000 for the initial contract term ending June 30, 2022, with two optional two-year extensions.
- c. City Council authorize the General Manager and City Attorney or their designees to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$20,000 as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, in the amount of \$200,000 per year starting in Fiscal Year 2022 through Fiscal Year 2026.

- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**28. AGREEMENT** - [Second Amendment to the Maintenance/General Services Agreement with Chrisp Company for street striping and pavement marking and maintenance repair services.](#)

**That the City Council:**

- a. Approve the Second Amendment to the Maintenance/General Services Agreement with Chrisp Company to increase the total compensation by \$201,000 to provide street striping and pavement marking maintenance repair services.
- b. Authorize the City Manager, or his designee, to execute the Second Amendment to the Maintenance/General Services Agreement with Chrisp Company for a total contract amount of \$201,000.
- c. Authorize the Purchasing Manager to issue Change Order No. 2 to Purchase Order B210513 to Chrisp Company, in the amount of \$101,000.

**29. DEED** - [Deed Restrictions for Tehachapi and Cresta Verde Parks for Proposition 68 Per Capita Grant Requirements.](#)

**That the City Council** authorize recording deed restrictions for Tehachapi and Cresta Verde Parks.

**30. RELEASE OF SECURITY** - [Approve the release of certain Grading Securities associated with Tract Map 37030.](#)

**That the City Council:**

- a. Release the Bedford (50x90 Model) Portion of Lot 18 Precise Grading Faithful Performance and Erosion Control Security (PB02497500806 FP, PGR170013 -R6488 cash).
- b. Release the Bedford (50x90 Production) Lots 11, 19-20 and Portion of Lot 18 Faithful Performance and Erosion Control Security (PB02497500795 FP, PWGR2017-0125-R6633 cash).

**31. REPORT** - [Personnel Report providing employee updates and details on various recruitment transactions.](#)

**That the City Council** receive and file the Personnel Report for employee updates and recruitment transactions.

**32. RESOLUTION** - [Resolution Adopting the Updated Citywide Master Fee Recovery Schedule to Create a Simplified Convenience Fee Surcharge for Recreation Customer Transactions.](#)

**That the City Council:**

- a. Adopt Resolution No. 2021-055 to update the Citywide Master Fee Recovery Schedule.
- b. Incorporate the third-party software transaction fee into the advertised cost for all recreation programs rounded to the nearest whole dollar so no additional "convenience fees" are charged to program users effective August 1, 2021.
- c. Incorporate the third party-software transaction fee into the advertised cost for all facility use and rentals at total cost, effective August 1, 2021.
- d. Authorize an increase in General Fund estimated revenue in the amount of \$15,000, as a result of the amended fees.

**33. RESOLUTION** - [Resolution approving the City of Corona's Investment Policy; Resolutions updating the City's authorized officers' contact information for the Local Agency Investment Fund.](#)

**That the:**

- a. City Council adopt Resolution No. 2021-056, approving the City of Corona's Investment Policy.
- b. City Council adopt Resolution No. 2021-057, updating the City's authorized officers' contact information for the Local Agency Investment Fund.
- c. Corona Public Financing Authority adopt Resolution No. 2021-058, updating the City's authorized officers' contact information for the Local Agency Investment Fund.

**34. RESOLUTION** - [Resolution levying special taxes to be collected during Fiscal Year 2022 for Community Facilities District No. 2016-1 \(Public Services\).](#)

**That the City Council** adopt Resolution No. 2021-064, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of public services within Community Facilities District No. 2016-1 (Public Services).

**35. RESOLUTION** - [Resolutions levying special taxes to be collected during Fiscal Year 2022 for several bonded Community Facilities Districts.](#)

**That the City Council:**

- a. Adopt Resolution No. 2021-066, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2000-1 (Eagle Glen II), 2020 Special Tax Refunding Bond, and the administrative expenses with respect to the bond.
- b. Adopt Resolution No. 2021-067, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 (Cresta-Grande), 2020 Special Tax Refunding Bond (Improvement Area No. 1), and the administrative expenses with respect to the bond.
- c. Adopt Resolution No. 2021-068, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 (Cresta-Grande), 2020 Special Tax Refunding Bond (Improvement Area No. 2), and the administrative expenses with respect to the bond.
- d. Adopt Resolution No. 2021-069, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-1 (Dos Lagos), 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.
- e. Adopt Resolution No. 2021-070, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-1 (Dos Lagos), Improvement Area 1, 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.
- f. Adopt Resolution No. 2021-071, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-4 (Corona Crossings), 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.
- g. Adopt Resolution No. 2021-072, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2003-2 (Highlands Collection) 2020 Special Tax Refunding Bond, and the administrative expenses with respect to the bond.
- h. Adopt Resolution No. 2021-073, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2004-1 (Buchanan Street) 2020 Special

Tax Refunding Bond, and the administrative expenses with respect to the bond.

- i. Adopt Resolution No. 2021-074, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2016-2 (Terrassa), 2018 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- j. Adopt Resolution No. 2021-075, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2017-2 (Valencia/Seville), 2018 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- k. Adopt Resolution No. 2021-076, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2018-1 (Bedford) Improvement Area No 1, 2018 Special Tax Bonds and 2020 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- l. Adopt Resolution No. 2021-077, levying special taxes to be collected during Fiscal Year 2022 for the payment of administrative expenses incurred in connection with the levy and collection of special taxes, the establishment of the reserve fund, and the collection and accumulation of funds for the acquisition or construction of certain public facilities within Community Facilities District No. 2018-2 (Sierra Bella), Special Tax A.

**36. RESOLUTION** - [Resolution levying special taxes to be collected during Fiscal Year 2022 for Community Facilities District No. 97-2 \(Eagle Glen\), Special Tax Refunding Bond 2014 Series A.](#)

**That the City Council** adopt Resolution No. 2021-065, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 97-2 (Eagle Glen), Special Tax Refunding Bond 2014 Series A and the administrative expenses with respect to the bond.

**37. RESOLUTION** - [Resolutions levying special taxes to be collected during Fiscal Year 2022 for the City's maintenance and services Community Facilities Districts.](#)

**That the City Council:**

- a. Adopt Resolution No. 2021-079, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2016-2 (Terrassa), Special Tax B.
- b. Adopt Resolution No. 2021-080, levying special taxes to be collected during

Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2017-2 (Valencia/Seville), Special Tax B.

- c. Adopt Resolution No. 2021-081, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2018-1 (Bedford), Special Tax B.
- d. Adopt Resolution No. 2021-082, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2018-2 (Sierra Bella), Special Tax B.
- e. Adopt Resolution No. 2021-083, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 97-1 (South Corona Landscape).
- f. Adopt Resolution No. 2021-084, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of storm drainage facilities within Community Facilities District No. 2000-1 (Eagle Glen II).
- g. Adopt Resolution No. 2021-085, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 2002-2.
- h. Adopt Resolution No. 2021-086, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 2002-3.
- i. Adopt Resolution No. 2021-087, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of the operation, maintenance and lighting of parkways, streets, road and open space within Community Facilities District No. 2011-1.
- j. Adopt Resolution No. 2021-088, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2016-3 (Maintenance Services).

**38. RESOLUTION** - [Resolution levying special taxes to be collected during Fiscal Year 2022 for the maintenance and services Community Facilities District No. 2001-1.](#)

**That the City Council** adopt Resolution No. 2021-078, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and



maintenance of parkways and open space within Community Facilities District No. 2001-1.

## COMMUNICATIONS FROM THE PUBLIC

*Persons wishing to address the City Council are requested to state their name and city of residence for the record. This portion of the agenda is intended for general public comment only, which means it is limited to items within the subject matter jurisdiction of the City Council that are not listed on the agenda. Please note that state law prohibits the City Council from discussing or taking action on items not listed on the agenda. The City Council will appreciate your cooperation in keeping your comments brief. Please observe a three-minute limit for communications.*

## PUBLIC HEARINGS

*This portion of the agenda is for advertised public hearing items where formal public testimony on each individual item is accepted prior to City Council action.*

- 39. PUBLIC HEARING** - [Public Hearing confirming the diagram and assessment for Lighting Maintenance District No. 84-1 for Fiscal Year 2022 and to detach certain territory from the District.](#)

**That the City Council** adopt Resolution No. 2021-059, confirming the diagram and assessment for Lighting Maintenance District No. 84-1 for Fiscal Year 2022 and to detach certain territory from the District.

- 40. PUBLIC HEARING** - [Public Hearing confirming the diagram and assessment for Lighting Maintenance District No. 2003-1 for Fiscal Year 2022.](#)

**That the City Council** adopt Resolution No. 2021-060, confirming the diagram and assessment for Lighting Maintenance District No. 2003-1 for Fiscal Year 2022.

- 41. PUBLIC HEARING** - [Public Hearing confirming the diagram and assessment within Zone 6 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.](#)

**That the City Council** adopt Resolution No. 2021-061, confirming the diagram and assessment within Zone 6 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

- 42. PUBLIC HEARING** - [Public Hearing confirming the diagram and assessment within Zone 19 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.](#)

**That the City Council** adopt Resolution No. 2021-062, confirming the diagram and assessment within Zone 19 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

- 43. PUBLIC HEARING** - [Public Hearing confirming the diagram and assessment within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.](#)

**That the City Council** adopt Resolution No. 2021-063, confirming the diagram and assessment within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

## ADMINISTRATIVE REPORTS

*This portion of the agenda is for Council discussion and action on staff reports and new topics that may not be routine status reports, or documents covering previous City Council action.*

**44. ADMINISTRATIVE REPORT - [Police attendance at Planning & Housing and Parks & Recreation Commission meetings.](#)**

**That the City Council** continue its practice of police attending regular City Council Meetings and Study Sessions, and that Police attendance at Commission meetings occur only when special circumstances warrant, as determined on a case-by-case basis.

## LEGISLATIVE MATTERS

*This portion of the agenda is for proposed ordinances presented for the City Council's consideration.*

## BOARDS AND COMMISSIONS – REPORTS FROM CITY COUNCIL, COMMISSIONERS, AND STAFF FOR THE:

*This portion of the agenda lists items from Commissions and Boards.*

### A) Planning & Housing Commission

**45. PLANNING & HOUSING COMMISSION REPORT - [Precise Plan Modification 2020-0004 for the review of the demolition of an existing convenience store and the reconstruction of a 3,628 square foot convenience store and modification to the existing signage associated with an existing automobile service station located at 230 S. Lincoln Avenue in the C-3 \(General Community Commercial\) zone.](#)**

**That the City Council:**

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting PPM2020-0004, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent meeting.

### B) Parks & Recreation Commission

### C) Regional Meetings

- 
46. **REGIONAL MEETING REPORT** - [Update from Council Member Jim Steiner on the Riverside Transit Agency \(RTA\) Board Meeting of June 24, 2021.](#)
47. **REGIONAL MEETING REPORT** - [Update from Vice Mayor Wes Speake on the Riverside County Transportation Commission \(RCTC\) Western Programs Meeting of June 28, 2021.](#)
48. **REGIONAL MEETING REPORT** - [Update from Vice Mayor Wes Speake on the Southern California Association of Governments \(SCAG\) Community, Economic and Human Development Committee Meeting of July 1, 2021.](#)

## **CITY ATTORNEY'S REPORTS AND COMMENTS**

## **CITY MANAGER'S REPORTS AND COMMENTS**

## **CITY COUNCIL MEMBER REPORTS AND COMMENTS**

## **FUTURE AGENDA ITEMS**

*This portion of the agenda is for items requested by the Mayor or Council Members for consideration at a future meeting. No immediate action is taken on Future Agenda items; this section serves to highlight topics that will be considered at upcoming meetings. Council action on items that have appeared in this section takes place under Administrative Reports, when accompanied by a staff report.*

1. Additional Directional Signage at the Cajalco Bridge (W. Speake) August 4, 2021
2. Parkridge & Main Redevelopment Update (J. Steiner) September 15, 2021
3. No parking zones on street sweeping days (J. Steiner) September 29, 2021
4. SR-91 and I-15 Traffic Congestion Mitigation Options (T. Richins) October 27, 2021
5. Historic Code Revisions (W. Speake) TBD
6. Consideration of Civic Center Fountain Renovation (W. Speake) TBD

## **ADJOURNMENT**

*The next regular meeting of the City Council/Successor Agency to the Redevelopment Agency of the City of Corona/Corona Public Financing Authority/Corona Utility Authority/Corona Housing Authority is scheduled for Wednesday, July 21, 2021 at 4:30 P.M. or thereafter as noted on the posted agenda for closed session items in the City Council Board Room followed by the regular meeting at 6:30 p.m. or thereafter as noted on the posted agenda in the City Council Chambers.*

*Corona City Hall - Online, All the Time at [www.CoronaCA.gov](http://www.CoronaCA.gov)*

*Agendas for all City Council meetings are posted at least 72 hours prior to the meeting in the entry way display case at City Hall. A complete agenda packet is available for public inspection during business hours at the City Clerk's Office. Any materials relating to an item on the agenda which are distributed to all, or a majority of all,*

*members of the City Council after the posting of the agenda will also be available at the same time for public inspection during business hours at the City Clerk's Office.*

*Written communications from the public for the agenda must be received by the City Clerk's Office seven (7) days prior to the City Council meeting.*

*In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (951) 736-2235. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.*

*Meeting is Being Recorded*

# City of Corona

*400 S. Vicentia Ave.  
Corona, CA 92882*

## **Committee of the Whole Minutes - Draft**

**Wednesday, June 9, 2021**

**Council Chambers 4:00 PM**



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF  
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY  
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor  
Wes Speake, Vice Mayor  
Tony Daddario, Council Member  
Tom Richins, Council Member  
Jim Steiner, Council Member**

## PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Mayor Casillas.

## CONVENE OPEN SESSION

Mayor Casillas called the meeting to order at 4:01 p.m.

## COMMUNICATIONS FROM THE PUBLIC

None.

## AGENDA ITEMS

### 1. Delinquent utility account update due to COVID-19.

Tom Moody, General Manager, introduced the item. Katie Hockett, Assistant General Manager, provided a presentation. She provided an overview of the following: Delinquent Account Update May 2021, Year-Over-Year Comparison (May), Option #1 Current Practice, Option #2 American Rescue Plan Act Funding, Option #3 American Rescue Plan Act Funds, Option #4 Extended Payment Plans, Summary of Options, and Recommendations.

The Council discussed the presentation and had inquiries. Ms. Hockett and Mr. Moody provided clarification. The Council unanimously agreed to move forward with Option 2.

### 2. American Rescue Plan Funding Discussion

Kim Sitton, Finance Director, provided a presentation. She provided an overview of the following: American Rescue Plan Act Status, Eligible Uses of American Rescue Plan Act, Guidelines, Four Main Categories, Category #1 Negative Economic Impact, Category #2 Pay for Eligible Workers, Category #3 Revenue Replacement, and Category #4 Water, Sewer, or Broadband Infrastructure,

Joe Morgan, resident, addressed the Council regarding the broadband.

The Council had inquiries and Ms. Sitton and Jacob Ellis, City Manager, provided clarification.

### 3. July 4th Celebration Update.

Jason Lass, Community Services Manager, provided a presentation. He provided an overview of the following: Mainstreet USA Parade, Music, Food and Fireworks at Santana Park, and Budget.

The Council and Connie Newhan, Library Board Trustee, discussed the presentation

and had inquiries. Mr. Lass provided clarification.

Anne Turner, Community Services Director, provided comments regarding the update.

**4. Special Events Visioning & Calendar of Events 2021/2022.**

Jason Lass, Community Services Manager, introduced the item and provided a presentation. He provided an overview of the following: Giving Back to Our Community, Events Schedule, Co-Sponsorship Program, and What's Next.

The Council discussed the presentation and had inquiries. Mr. Lass and Anne Turner, Community Services Director, provided clarification.

**5. City Hall Energy Efficiency Project update and modification request.**

Tracy Martin, Utilities Project Manager, provided a presentation. She provided an overview of the following: Project Recap, Estimates and Actual Costs, and Recommended Next steps.

Craig Siqueland, Planning and Housing Commissioner Chair, provided comments regarding the item.

Council Member Richins had inquiries and Ms. Martin, Jacob Ellis, City Manager, provided clarification.

## **ADJOURNMENT**

Mayor Casillas adjourned the meeting at 5:42 p.m. The next scheduled meeting of the Council is June 16, 2021.

# City of Corona

*400 S. Vicentia Ave.  
Corona, CA 92882*

## City Council Minutes - Draft

**Wednesday, June 16, 2021**

**Closed Session Council Board Room 4:30 PM  
Open Session Council Chambers 6:30 PM**



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF  
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY  
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor  
Wes Speake, Vice Mayor  
Tony Daddario, Council Member  
Tom Richins, Council Member  
Jim Steiner, Council Member**



## CONVENE CLOSED SESSION

Closed session convened at 4:30 p.m. for the purposes listed below. Present were Mayor Casillas, Council Member Daddario, Council Member Richins, and Council Member Steiner. Vice Mayor Speake attended via Zoom. Closed session adjourned at 5:50 p.m.

## CITY COUNCIL

1. CONFERENCE WITH LABOR NEGOTIATORS  
Pursuant to Government Code Section 54957.6  
Agency Designated Representative: Jacob Ellis, City Manager  
Employee Organizations: Corona General Employees Association, Corona Fire Association, Corona Police Employees Association, Corona Police Supervisors Association and Corona Supervisors Association
2. CONFERENCE WITH LABOR NEGOTIATORS  
Pursuant to Government Code Section 54957.6  
Agency Designated Representative: Jacob Ellis, City Manager  
Unrepresented Employee Group: Management/Confidential Group Employees

### Rollcall

**Vice Mayor Speake was present via video conference.**

**Present:** 5 - Jacque Casillas, Wes Speake, Tony Daddario, Tom Richins, and Jim Steiner

## INVOCATION - Sheikh Jameel Basada, Islamic Society of Corona-Norco

The Invocation was led by Reverend Patricia Stansfield, St. John the Baptist Episcopal Church.

## PLEDGE OF ALLEGIANCE - Cub Scout Pack 134

The Pledge of Allegiance was led by Cub Scout Pack 134.

## CONVENE OPEN SESSION

Mayor Casillas called the meeting to order at 6:37 p.m.

## PROCLAMATIONS/RECOGNITIONS/PRESENTATIONS

3. Commendation: Chloe Moyle.  
The item was pulled from the agenda.

4. Commendations: Kristian Sorensen, Jeremy Macardican, Garland Guay, Thomas Kenney, Lisa Rice, Sean Hester, Jeremy Hashim, and James Barnes.  
Kristian Sorensen, Jeremy Macardican, Garland Guay, Thomas Kenney, Lisa Rice, Sean Hester, Jeremy Hashim, and James Barnes accepted the Commendation.
5. Recognition: Corona Regional Medical Center.  
The item was pulled from the agenda.
6. Recognition: Dedicated and outstanding service to the City by Parks and Recreation Commission Chair Elizabeth McCreary.  
Elizabeth McCreary, Parks and Recreation Commission Chair, accepted the Recognition.
7. Presentation: Shield 4 Kids.  
Dan Perez, founder and CEO of Shield 4 kids, provided a presentation.
8. Presentation: Community Development Block Grant COVID-19 Programs.  
Cynthia Lara, Administrative Services Manager II, provided a presentation.
9. Presentation: McKinley Street Grade Separation Project Quarterly Update.  
Savat Khamphou, Acting Public Works Director, provided an update.  
  
Joe Morgan, resident, address the Council to express concerns with the McKinley Street Grade Separation Project update.  
  
Dean Derleth, City Attorney, provided clarification.
10. Presentation: Covid-19 Update.  
Brian Young, Fire Chief, provided an update.

## MEETING MINUTES

**A motion was made by Council Member Richins, seconded by Council Member Daddario, that these Minutes be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

11. Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority Study Session Meeting of May 26, 2021.  
**These Minutes were approved.**
12. Approval of Minutes for the City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, Corona Housing Authority City Council Meeting of June 2, 2021.

**These Minutes were approved.**

## **CONSENT CALENDAR**

Council Member Daddario left the Council Chambers at 7:34 p.m. and returned at 7:36 p.m.

**A motion was made by Council Member Steiner, seconded by Council Member Richins, that the Consent Calendar be approved, with the exception of Items 17, 18, and 20 through 23, which were voted on separately. The motion carried by the following vote:**

**Aye:** 4 - Casillas, Speake, Richins, and Steiner

**Absent:** 1 - Daddario

- 13.** City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, and Corona Housing Authority to receive and file the Monthly Fiscal Report for the month of April 2021.

**This Financial Report was received and filed.**

- 14.** City Council, Successor Agency to the Redevelopment Agency of the City of Corona, Corona Public Financing Authority, Corona Utility Authority, and Corona Housing Authority to receive and file the Monthly Investment Portfolio Report for the month of April 2021.

**This Financial Report was received and filed.**

- 15.** City Council adoption of Ordinance No. 3333, second reading of an Ordinance of the City of Corona, California amending Chapter 9.33 of the Corona Municipal Code to increase the penalties for fireworks violations.

**This Ordinance was adopted.**

- 16.** Renewal of the Group Insurance Policy for Calendar Years 2021-2022 and Approval of a Group Insurance Amendment

**This Agreement was approved.**

- 17.** Approval to renew the Memorandum of Understanding between the City of Corona and the City of Norco and the homeless services agreement with City Net.

Karen Roper, Homeless Solutions Manager, provided a presentation.

The Council commended Ms. Roper for her hard work with homeless solutions.

Chris Bainum, resident, addressed the Council regarding the homeless community.

**A motion was made by Mayor Casillas, seconded by Council Member Steiner, that this Agreement be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 18.** City Council and Corona Utility Authority consideration and approval of City Liability, Property and Workers' Compensation Insurance Policies for fiscal year 2022.

Dean Derleth, City Attorney, introduced the item and Courtney Ramirez, Alliant Insurance Services Vice President, provided a presentation.

**A motion was made by Mayor Casillas, seconded by Council Member Daddario, that this Bid & Purchase be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 19.** Authorize the issuance of a Purchase Order to Dooley Enterprises, Inc. for Range ammunition.

**This Bid & Purchase was approved.**

- 20.** Authorize the issuance of a purchase order with Grainger for the purchase of industrial supplies and equipment using the Sourcewell National Cooperative Master Price Agreement Number #121218-WWG.

The Council discussed the proposed item and had inquiries and Kim Sitton, Finance Director, Roger Bradley, Assistant City Manager, and Jacob Ellis, City Manager, provided clarification.

Council Member Richins made a motion to not approve the issuance of a purchase order with Grainger for the purchase of industrial supplies and equipment. There was no second and the motion died.

By majority vote the Council agreed on this item with the condition that staff return at a future Council meeting with further information on previous purchases.

**A motion was made by Vice Mayor Speake, seconded by Council Member Steiner, that this Bid & Purchase be approved. The motion carried by the following vote:**

**Aye:** 4 - Casillas, Speake, Daddario, and Steiner

**Nay:** 1 - Richins

- 21.** Award Notice Inviting Bids No. 21-069RH for City-Wide Street Sweeping Services - Multi-Year Contract to Contract Sweeping Services, LLC.

Joe Morgan, resident, addressed the Council to express his concerns with Contract Sweeping Services, LLC.

Council Member Daddario had inquiries and Tom Moody, General Manager, and Dean Derleth, City Attorney, provided clarification.

Jeff Hick, Contract Sweeping Services Regional Manager, provided comments regarding the proposed item.

**A motion was made by Council Member Richins, seconded by Vice Mayor Speake, that this Bid & Purchase be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 22.** Purchase of a Compressed Natural Gas Freightliner Concrete Truck from PB Loader Corporation and a Ford F-550 Bucket Truck from Altec Industries, Inc. using Sourcewell National Cooperative Agreements.

Council Member Steiner had inquiries and Tom Moody, General Manager provided clarification.

**A motion was made by Council Member Steiner, seconded by Council Member Daddario, that this Bid & Purchase be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 23.** Award of contract for On-Call and Emergency Repair Services for Potable Water, Reclaimed Water, and Wastewater Essential Systems to Valverde Construction, Inc., Augustine General Engineering, and W. A. Rasic Construction Co., Inc.

Council Member Steiner and Vice Mayor Speake provided comments regarding the proposed item.

**A motion was made by Council Member Steiner, seconded by Council Member Richins, that this Bid & Purchase be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 24.** Western Riverside County Regional Wastewater Authority Fiscal Year 2022 budget.

**This Budgetary was approved.**

- 25.** Acceptance of a grant deed for the Foothill Parkway Westerly Extension Project from Riverside County Transportation Commission.

**This Grant was approved.**

- 26.** Acceptance of reclaimed water public improvements on Promenade Avenue associated with Parcel Map 35661 and release of appropriate Public Improvement, Rough Grading, and Off-site Grading Securities.

**This Release of Security was approved.**

- 27.** Personnel Report providing employee updates and details on various recruitment transactions.

**This Report was received and filed.**

- 28.** Resolution adopting the City of Corona Department of Water and Power 2021 Wildfire Mitigation Plan.

**This Resolution was adopted.**

- 29.** Resolution accepting the Memorandum of Understanding with the City of Riverside through its Office of Emergency Management regarding Urban Areas Security Initiative

Grant Funding for Federal Fiscal Year 2020.

**This Resolution was adopted.**

- 30.** Resolution authorizing the City Manager, or his designee, to receive and accept the State of California Department of California Highway Patrol Fiscal Year 2021 Cannabis Tax Fund Grant.

**This Resolution was adopted.**

## COMMUNICATIONS FROM THE PUBLIC

Chris Bainum, resident, addressed the Council with his general concerns.

Daniel Aguirre, resident, addressed the Council with his concerns regarding bike lanes at the Monterey Apartment Complex.

Elizabeth Hayden and Connie Newhan, Marketing Chairs for Corona Safety Foundation, addressed the Council to thank them and other local businesses for their donations and participation for the Automated External Defibrillators program.

Amanda Kalkanis, resident, addressed the Council to thank them and to promote her new business Over the Moon Escape Room.

Joe Morgan, resident, addressed the Council with his concerns regarding the City's Parks and Recreation Commissioner.

## PUBLIC HEARINGS

- 31.** Public Hearing for adopting the City of Corona Urban Water Management Plan update.

Mayor Casillas opened the Public Hearing. Sylvia Edwards, City Clerk, stated there was no correspondence received regarding the Public Hearing. Mayor Casillas closed the Public Hearing.

**A motion was made by Council Member Steiner, seconded by Council Member Richins, that this Public Hearing be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

## ADMINISTRATIVE REPORTS

- 32.** Professional Services Agreement with Corona Chamber of Commerce for Business Promotion, Marketing, and Retention Services.

Jessica Gonzalez, Economic Development Director, provided a report.

Bobby Spiegel, Chamber of Commerce President/CEO, introduced Desiree Ramirez, Vice President of Operations, and Stephanie Shapiro, Vice President of Communications & Events.

Kim Mabon, resident, addressed the Council with her appreciation for how the Chamber has benefited her business.

Palbinder Badesha, Business Owner and Chamber Board Member, addressed the Council with her appreciation for how the Chamber has benefited her business.

The Council discussed the proposed item and thanked the Chamber for all their work. By majority vote the Council agreed on Option A with oversight from the Economic Development Department.

**A motion was made by Council Member Steiner, seconded by Vice Mayor Speake, that this Administrative Report be approved. The motion carried by the following vote:**

**Aye:** 3 - Speake, Richins, and Steiner

**Nay:** 2 - Casillas, and Daddario

- 33.** City Council/Corona Housing Authority/Corona Utility Authority/Corona Public Financing Authority consideration of the Fiscal Year 2022 budget adoption and Fiscal Year 2021 amendments

Vice Mayor Speake thanked Kim Sitton, Finance Director, and staff for their hard work on the budget presentation and meetings.

**A motion was made by Vice Mayor Speake, seconded by Council Member Daddario, that this Administrative Report be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

- 34.** Report and outcome on the City's Request For Qualifications and Proposals for the development of affordable housing units and permanent supportive housing units on 4.82 acres owned by the Corona Housing Authority located at the southwest corner of Buena Vista Avenue and Second Street (APNs 118-270-002 & 118-270-003).

Cynthia Lara, Administrative Services Manager II, provided a report. The Council discussed the item and had inquiries and Joanne Coletta, Community Development Director, and Ms. Lara provided clarification.

Joe Morgan, resident, addressed the Council to express his concerns regarding the proposal of affordable housing units on Buena Vista and Second Street.

**A motion was made by Council Member Steiner, seconded by Vice Mayor Speake, that this Administrative Report be approved. The motion carried by the following vote:**

**Aye:** 5 - Casillas, Speake, Daddario, Richins, and Steiner

## LEGISLATIVE MATTERS

None.

---

**BOARDS AND COMMISSIONS – REPORTS FROM CITY COUNCIL, COMMISSIONERS, AND STAFF FOR THE:****A) Planning & Housing Commission**

- 35.** Conditional Use Permit 2021-0001 to establish a daycare facility for Kiddie Academy generally located at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway, on property zoned General Commercial by the Arantine Hills Specific Plan.

Council Member Richins recused himself from Item 35 due to his wife's assistance in the design of the Kiddie Academy. He left the Council Chambers at 9:38 p.m. and returned at 9:39 p.m.

**The Council took no action.**

- 36.** Conditional Use Permit 2020-0003 is to establish a full, self-service carwash facility for Quick Quack generally located at the southeast corner of Bedford Canyon Road and Eagle Glen Parkway, on property zoned General Commercial by the Arantine Hills Specific Plan.

**The Council took no action.**

**B) Parks & Recreation Commission**

- 37.** Receive and file Parks and Recreation Commission updates at the June 8, 2021 meeting:
- a. Presentation from the US Forest Service on Skyline Trail gate access and trail accessibility
  - b. Field Allocation Process
  - c. Summer Field Maintenance Schedule
  - d. Park Ambassador and Scout Project
  - e. Woolly Mammoth Naming Contest
  - f. Summer Reading At Your Library
  - g. Youth Scholarship Program
  - h. July 4th Celebration Update

Vice Mayor Speake commended the Parks and Recreation Commission for their outstanding work.

Council Member Daddario left the Council Chambers at 9:40 p.m. and returned at 9:42 p.m.

**This Parks & Recreation Commission Report was received and filed.**

**C) Regional Meetings**

- 38.** Update from Council Member Daddario on the Western Riverside County Regional Conservation Authority (RCA) Board Meeting of June 7, 2021.



Council Member Daddario provided an update.

- 39.** Update from Vice Mayor Wes Speake on the Southern California Association of Governments (SCAG) Housing, Community and Economic Development Policy Meeting of June 3, 2021.

Vice Mayor Speake provided an update.

- 40.** Update from Vice Mayor Wes Speake on the State Route 91 Advisory Committee Meeting of June 4, 2021.

Vice Mayor Speake provided an update.

Mayor Casillas left the Council Chambers at 9:47 p.m. and returned at 9:48 p.m.

- 41.** Update from Vice Mayor Wes Speake on the Riverside County Transportation Commission (RCTC) Meeting of June 9, 2021.

Vice Mayor Speake provided an update.

- 42.** Update from Mayor Jacque Casillas on the League of California Cities Community Services Policy Committee Meeting of June 4, 2021.

Mayor Casillas provided an update.

- 43.** Update from Mayor Jacque Casillas on the Western Riverside Council of Governments (WRCOG) Executive Committee meeting of June 7, 2021.

Mayor Casillas provided an update.

## **CITY ATTORNEY'S REPORTS AND COMMENTS**

None.

## **CITY MANAGER'S REPORTS AND COMMENTS**

Jacob Ellis, City Manager, thanked Kim Sitton, Finance Director, and staff for all their work in developing the budget.

## **CITY COUNCIL MEMBER REPORTS AND COMMENTS**

Council Member Richins provided a brief overview of the Night Market and announced the upcoming Flex Alert on June 17, 2021, and the Fourth of July Parade on July 4, 2021. He also acknowledged Kim Sitton, Finance Director, and Karen Roper, Homeless Solutions Manager, for all their hard work.

Council Member Steiner announced the Community Car Show and Gift Boutique on June 19, 2021.

Council Member Daddario thanked the Joe Dominguez Post, staff, directors, and

residents for attending his District 2 leadership meeting. He acknowledged Shaylene Cortez and Cari Smith for helping coordinate the meeting. He provided a brief overview of the Story Walk at Mountain Gate Park, Night Market and announced the 2021 Digital State of the City on June 24, 2021.

Vice Mayor Speake provided an update on Senior Detective John Samano retirement walk fair and local meetings. He announced the following upcoming events: Community Clean Up on June 19, 2021, 2021 Digital State of the City on June 24, 2021, Good Morning Corona on June 25, 2021, and Night Market on June 28, 2021.

Mayor Casillas announced the following upcoming events: Faith Fellowship Juneteenth event on June 19, 2021, Corona Historic Civic Center Juneteenth event June 19, 2021, and 2021 Digital State of the City on June 24, 2021.

## **FUTURE AGENDA ITEMS**

1. Options for Paving the Overlook Area (W. Speake) July 7, 2021
2. Additional Directional Signage at the Cajalco Bridge (W. Speake) August 4, 2021
3. No parking zones on street sweeping days (J. Steiner) September 29, 2021
4. Historic Code Revisions (W. Speake) TBD
5. Consideration of Civic Center Fountain Renovation (W. Speake) TBD
6. Police attendance at Planning & Housing and Parks & Recreation Meetings (T. Daddario) TBD
7. SR-91 and I-15 Traffic Congestion Mitigation Options (T. Richins) TBD

## **ADJOURNMENT**

Mayor Casillas announced the upcoming meetings: Study Session on June 23, 2021 and City Council meeting on July 7, 2021. Mayor Casillas adjourned the meeting at 10:15 p.m.

# City of Corona

*400 S. Vicentia Ave.  
Corona, CA 92882*

## Study Session Minutes - Draft

**Wednesday, June 23, 2021**

**Council Chambers 4:00 PM**



**CITY COUNCIL/SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY OF THE CITY OF  
CORONA/CORONA PUBLIC FINANCING AUTHORITY/CORONA UTILITY  
AUTHORITY/CORONA HOUSING AUTHORITY MEETING**

**Jacque Casillas, Mayor  
Wes Speake, Vice Mayor  
Tony Daddario, Council Member  
Tom Richins, Council Member  
Jim Steiner, Council Member**

**Rollcall**

**Present:** 5 - Jacque Casillas, Wes Speake, Tony Daddario, Tom Richins and Jim Steiner

**PLEDGE OF ALLEGIANCE**

The Pledge of Allegiance was led by Mayor Casillas.

**CONVENE OPEN SESSION**

Mayor Casillas called the meeting to order at 4:02 p.m.

**COMMUNICATIONS FROM THE PUBLIC**

None.

**AGENDA ITEMS****1. Housing Element Update 2021-2029 Draft Document and Housing Sites Inventory.**

Joanne Coletta, Community Development Director, provided a presentation. She provided an overview of the following: Housing Element Update 2021-2029 Timeline, Public Information Outreach, Where are we Today, What is Covered in the Housing Element, Housing Resources Chapter - Housing Sites Inventory, Annual Area Median Income - Riverside County, Criteria Used to Identify Housing Sites, Survey Response, Where the City Needs to Meet its RHNA Shortfall 2021-2029, Affordable Housing Overlay Zone Site to Meet RHNA Shortfall, Rezone Sites to Meet RHNA Shortfall, and Nonvacant already zoned sited to Meet RHNA Shortfall.

The Council discussed the presentation and had inquiries. Ms. Coletta provided clarification.

Joe Morgan, resident, addressed the Council and expressed concerns with the proposed item.

The following item was taken out of order.

**3. Department of Water and Power Organizational, Operational and Financial Audit.**

Katie Hockett, Assistant General Manager, introduced the item and also introduced the Raftelis project team: Seth Garrison, Project Director, and Jim Armstrong, Principal Consultant. The project team provided an overview of the following: Project Overview, Project Team, Who is Raftelis?, Key Takeaways, Peer Benchmark, Drinking Water Treatment, Water Reclamation, Infrastructure and Facilities, Electric Utility, Asset Management, Administration, and Structure & Staffing.

The Council had inquires and Tom Moody, General Manager, Mr. Garrison, and Mr.

Armstrong provided clarification.

Ms. Hockett provided a report on the Department of Water and Power Organizational, Operational and Financial Audit - Department Implementation. She provided an overview of the following: Audit Process, Immediate Recommendations, Short Term Recommendations, Structure Review, Resources, Process Improvements, and Long Term Recommendations.

The Council discussed the presentation and had inquiries. Ms. Hockett, Dean Derleth, City Attorney, and Jacob Ellis, City Manager, provided clarification.

Joe Morgan, resident, addressed the Council to express his concerns with the proposed item.

**2. Discussion on Upcoming Downtown Revitalization Plan.**

Jessica Gonzales, Economic Development Director, introduced the item and also introduced the project team: Larry Kosmont, Chairman & CEO and Project Executive Oversight, Ken Hira, President and Project Principal Advisor, Brian Moncrief, Senior Vice President and Project Manager, Robert Valenti, Vice President and Project Research & Support, Mel McGowan, Chief Creative Officer and Creative Director, Peter McGowan, Chief Experience Officer, Jeffrey Wyatt, Director of Spatial Storytelling and Master Planning, and Art Cueto, Architectural Development Manager. The project team provided an overview of the following: Kosmont Companies, Storyland Studios, Post-COVID Digital Economy, Economic Development Approach, Land Use Revolution, Housing as an Economic Development Strategy, Reimagining Retail into Blended Use, Reimagining Iconic Downtown Districts, Downtown Corona - Market Fundamentals, Preliminary Existing Conditions, Demographic Fundamentals, Market Fundamentals, Resident Top Destinations, Visitor/Worker Top Destinations, Private Sector Loss = Public Sector Loss, Pathway to Downtown Revitalization, Key Components to Downtown Revitalization Plan, Corona Downtown Area, Corona's Economic Development Toolkit, Outreach, Engagement and Visioning, Digital Outreach Goals and Strategy, Design Guidelines, Corona Downtown Revitalization Plan Timeline, and the Next Steps for the Downtown Revitalization Plan.

The Council discussed the presentation and had inquiries. The project team provided clarification.

## **ADJOURNMENT**

Mayor Casillas adjourned the meeting at 6:57 p.m. The next scheduled meeting of the Council is July 7, 2021.



Staff Report

---

**File #:** 21-0634

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Approval of the Second Amendment to the Professional Services Agreement with MV Cheng and Associates for temporary staffing services.

**EXECUTIVE SUMMARY:**

Approval is recommended for the Second Amendment to the Professional Services Agreement with MV Cheng and Associates for temporary staffing services to assist with purchasing and accounting functions in the Finance Department.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the second amendment to the Professional Services Agreement with MV Cheng and Associates in the amount of \$75,000 for temporary staffing services.
- b. Authorize the Purchasing Agent to increase Purchase Order B210288 for MV Cheng and Associates from \$100,000 to \$175,000.
- c. Approve a budgetary transfer, not to exceed \$75,000, from the personnel category to professional/contractual services, in the Finance Department's General Fund Fiscal Year 2022 budget.

**BACKGROUND & HISTORY:**

On July 21, 2020, the Finance Department solicited a Request for Quotations, or RFQ, for temporary staffing - purchasing specialists. Quotes were received from five vendors and MV Cheng and Associates was selected from that process. MV Cheng and Associates specializes in temporary staffing for municipal finance, purchasing, risk management and human resource positions.

**ANALYSIS:**

At the time the RFQ was issued in July 2020, the purchasing division of the Finance Department was short-staffed by three full-time positions, including the Purchasing Manager. From the engagement with MV Cheng and Associates, the City has been working with an experienced purchasing professional since August 2020. The temporary services helped bridge the shortage during recruitment, onboarding, and training of new staff. With the temporary services, staff has been able to keep purchasing items moving forward and reduce the backlog of purchasing requests that had been building due to the staffing shortage. Due to additional changes in staffing, purchasing is still short by one full-time and one part-time position. The extension of the contract through December 31, 2021 will provide the needed assistance to get through the fiscal year-end process and keep items moving forward while recruitments proceed. The hourly rate for purchasing services is \$50 per hour.

In addition to the purchasing division, the accounting group is currently short-staffed by two full time positions, including the Accounting Supervisor of accounts receivable and accounts payable. As Fiscal Year (FY) 2021 ends, there is a considerable amount of work that goes into reconciliations, accruals, and other items for the audit and the preparation of the financial statements. Staff reached out to MV Cheng and Associates to provide a quote for temporary accounting services. The amendment with MV Cheng and Associates will provide approximately eight (8) weeks of assistance to get the accounting group through the recruitment, onboarding, and training process, while in the middle of preparing FY 2021 fiscal year-end closing activities. The hourly rate for accounts receivable/payable support is \$45 per hour.

A RFQ was completed in July 2020, based on the original value of the contract, estimated to be \$100,000. The original RFQ was specifically for purchasing support services. Quotes were received from five (5) vendors, ranging from \$43-\$51 per hour. The City selected MV Cheng and Associates because this firm was able to provide a high-quality, experienced candidate within the time frames required by the Department. Additionally, this firm was able to sign the City's agreement without modifications. The other firms which provided quotes all wanted substantive changes to the City's agreement.

In summary, staff recommends the contract extension and increase in contract value for the City Council's approval. Extending the contract with MV Cheng and Associates through December 31, 2021 and increasing the contract value by \$75,000 will bridge the staffing shortage currently experienced by the Department. Staff believes that approval of the recommended actions are in the best interest of the City and its administrative operations, because it allows for the continued operations provided by additional temporary staffing under this agreement amendment.

**FINANCIAL IMPACT:**

Approval of the recommended actions will extend the contract with MV Cheng through December 31, 2021. The additional services will cost up to \$75,000 and will be funded by personnel savings, due to vacancies, in the Finance Department's General Fund FY 2022 budget. A transfer not to exceed

\$75,000 will be processed from the personnel budget category to professional/contractual services, based on actual expenditures through the end of the contract term.

**ENVIRONMENTAL ANALYSIS:**

No Project (§15061(b)(3)) - a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects with have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

**PREPARED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Second Amendment to the Professional Services Agreement with MV Cheng and Associates



**SECOND AMENDMENT TO  
PROFESSIONAL SERVICES AGREEMENT**

**BETWEEN THE CITY OF CORONA  
AND  
MV CHENG AND ASSOCIATES, INC.**

**1. PARTIES AND DATE.**

This Second Amendment to the Professional Services Agreement ("Second Amendment") is made and entered into this 7<sup>th</sup> day of July 2021 by and between the City of Corona ("City") and MV Cheng & Associates, Inc., a California Corporation ("Consultant"). City and Consultant are sometimes individually referred to as "Party" and collectively as "Parties" in this Second Amendment.

**2. RECITALS.**

2.1 Agreement. City and Consultant entered into that certain Professional Services Agreement dated July 31, 2020 ("Agreement"), whereby Consultant agreed to provide purchasing specialist temporary staffing services.

2.2 Prior Amendments. City and Consultant entered into that certain First Amendment to the Professional Services Agreement on or about February 5, 2021 ("First Amendment").

2.3 Amendment. City and Consultant desire to amend the Agreement for the Second time to 1.) change the term Section 3.1.2. Term; 2.) increase Section 3.3.1 Rates & Total Compensation; 3.) replace Exhibit "A", Scope of Services and 4.) replace Exhibit "C", Compensation.

**3. TERMS.**

3.1 Term. Section 3.1.2 of the Agreement is hereby deleted in its entirety and replaced with the following:

" The term of this Agreement shall be from August 1, 2020 to December 31, 2021 ("Term"), unless earlier terminated as provided herein. Consultant shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.6.8 below (each a "Renewal Term"). The terms "Term" and "Renewal Term" may sometimes be generally and collectively referred to as "Term" in this Agreement"

3.2 Rates & Total Compensation. Section 3.3.1 of the Agreement and the First Amendment is hereby deleted in its entirety and replaced with the following:

" Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C-1" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed **One Hundred Seventy-Five Thousand Dollars (\$175,000) per fiscal year** ("Total Compensation"), without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement. "

3.3 Exhibit "A" Scope of Services of the Agreement is hereby deleted in its entirety and replaced with Exhibit "A-1" Scope of Services.

3.4 Exhibit "C" Compensation of the Agreement is hereby deleted in its entirety and replaced with Exhibit "C-1" Compensation.

3.5 Continuing Effect of Agreement. Except as amended by this Second Amendment, all provisions of the Agreement shall remain unchanged and in full force and effect. From and after the date of this Second Amendment, whenever the term "Agreement" appears in the Agreement, it shall mean the Agreement as amended by this Second Amendment.

3.6 Adequate Consideration. The Parties hereto irrevocably stipulate and agree that they have each received adequate and independent consideration for the performance of the obligations they have undertaken pursuant to this Second Amendment.

3.7 Counterparts. This Second Amendment may be executed in duplicate originals, each of which is deemed to be an original, but when taken together shall constitute but one and the same instrument.

**[SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR SECOND AMENDMENT TO  
PROFESSIONAL SERVICES AGREEMENT  
BETWEEN THE CITY OF CORONA  
AND MV CHENG AND ASSOCIATES, INC.**

IN WITNESS WHEREOF, the Parties have entered into this Second Amendment to Professional Services Agreement as of the date first written above.

**CITY OF CORONA**

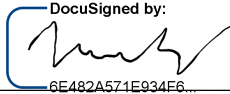
By: \_\_\_\_\_  
Jacob Ellis  
City Manager

Attested by: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

Reviewed By: \_\_\_\_\_  
Kim Sitton  
Finance Director

Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager

**MV Cheng and Associates, Inc.**  
a California Corporation

By:  \_\_\_\_\_  
Misty V. Cheng  
CEO/CFO

## **EXHIBIT "A-1"**

### **SCOPE OF SERVICES**

Consultant shall provide Temporary Professional Staffing services as requested by the City.

#### **Job Description**

The temporary staff offered by Consultant's firm must meet or exceed the minimum requirements of the position. Proof may be required at the option of the City.

The Consultant's assigned temporary staff member may, at the City's reasonable discretion and with prior notice, be required to perform the work under the position remotely (from home) or at City Hall. Consultant's staff member will be responsible for providing their own computer with internet access when working remote.

#### **Hours of Work**

Standard hours of operation at the City of Corona City Hall are *Monday-Friday: 8:00 a.m. - 5:00 p.m.* Hours may vary according to need and assignment.

#### **Requested Lead Time**

Consultant shall provide a temporary employee to the City with a one day notice on a routine basis.

#### **Usage Reporting**

The Consultant shall submit a written quarterly report to the Administrative Services – Purchasing Division showing the category, number of hours billed and dollar amounts for each of the sales made to the City for that particular reporting period. These reports shall be due no later than thirty days following the specified period. If the Consultant fails to provide such reports in a timely manner, this Agreement shall be subject to termination.

#### **New Job Descriptions**

New job descriptions may be added after the Agreement is awarded. These job descriptions shall be mutually agreed upon by the City and the Consultant and shall be discounted at the current contract discount rate.

#### **Specific Individual Request**

Occasionally, a City department may request a specific individual for a particular assignment. Consultant will be expected to make every effort to comply.

#### **Invoicing**

All invoices must reflect the following information:

1. Purchase Order Number
2. Temporary Employee's Name
3. Temporary Employee's Classification
4. Department Assigned To For Work
5. Total Hours and Period Worked
6. Bill Rate Per Hour

## 7. Extended Total

### **Temporary Staff Qualifications**

Each temporary employee referred for placement with the City must meet the following minimum qualifications:

- A. Experience: Must meet the minimum qualifications including any education, certifications, or specialized training requirements to competently perform the requirements of the position.
- B. Review of Qualifications: Must provide written qualifications of temporary staff for review and acceptance by the City of Corona Purchasing Division prior to placement.
- C. Driver's License: Valid California, Class C Driver's License is required before placement for positions that may require driving on City business or operating a City owned vehicle.

### **Hiring Criteria**

All temporary staff assigned to any City of Corona department must meet all of the following hiring criteria and all appropriate documentation must be submitted to the City of Corona Administrative Services - Human Resources Division for approval prior to placement:

- A. Employment Eligibility Verification: A completed I-9 form must be processed and be available on file with the Consultant. Employers are responsible for verifying the identity and authorization of each new employee (citizen or non-citizen) to work in the United States.
- B. Medical Examinations/Drug Screen Tests: Medical examinations must center on the applicant's ability to perform the essential functions of the job. No positives for illegal drugs and/or alcohol are allowed.

### **Hiring of Consultant's associates and/or subcontractors**

City agrees that each of Consultant's associates and/or sub contractors will only be able to obtain a direct contract or professional services agreement with the City, only after the expiration of the contract or professional services agreement with Consultant AND only after 1 year from the expiration date of the contract or professional services agreement with Consultant. City agrees to hire one of Consultant's associates and/or sub contractors as a full time, permanent, fully benefited employee of the City, only after City has performed a recruitment AND the associate and/or sub contractor has billed 960 hours to the City. If City employs Consultant's associates and/or sub contractors through another temporary service or staffing agency, City agrees to pay a fee of 10% of the associate and/or sub contractor's annualized wages based on the hourly rate charged, to Consultant.

## **Purchasing Specialist III**

### **Article I. DESCRIPTION:**

#### ***Section 1.01 GENERAL PURPOSE***

Under general supervision, procures a wide range of supplies, equipment, and commodities for the City following prescribed standards and codes; establishes and maintains vendor relationships and researches and executes major purchases; administers bid processes and performs other related tasks.

#### ***Section 1.02 DISTINGUISHING CHARACTERISTICS***

The Purchasing Specialist III is the advanced journey level class in the series, and tends to handle larger purchase orders, requires more specialized knowledge of product specifications and bidding practices. The Purchasing Specialist III exercises independent latitude in evaluating material, product and service specifications for major purchases, researching and administering bidding procedures, and negotiating with vendors for contract execution. Incumbents generally receive minimal instruction on day-to-day work and receive general instruction on new assignments. The position develops and maintains ongoing relationships with vendors and establishes and updates department databases. The Purchasing Specialist III is distinguished from the Purchasing Specialist IV in that the latter performs technical bidding, accounting and fiscal assignments; and participates in contract development and distribution, bid and proposal development, review and selection.

### **Article II. ESSENTIAL DUTIES AND RESPONSIBILITIES:**

The duties listed below are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related or a logical assignment to this class.

1. Establishes and maintains relationships with vendors for bidding and purchasing purposes; researches and recommend qualified vendors to departments through standard bidding processes in compliance with laws and regulations.
2. Prepares formal and informal bids and evaluates bid results. Formulate recommendations to departments for vendor selection.
3. Negotiates terms and delivery provisions for major purchases; reviews, awards and monitor contracts; establish and maintains qualified vendor information on file for future purchasing actions.
4. Prepares purchase requisitions; distributes purchase orders to vendors and City staff.
5. Tracks status of orders; investigates problems or errors; expedites delayed or misplaced shipments; resolves complaints, secures adjustments and advises City staff.
6. Advises and assists other City staff with questions regarding purchasing procedures;

notifies staff of new products and arranges for demonstrations of samples.

7. Prepares agenda reports.
8. Conducts special studies and analyses as requested.
9. Recommends best practices to the Purchasing Manager.
10. Participate in system upgrade/reconfiguration.

## **Article III. QUALIFICATIONS GUIDELINES:**

### ***Section 3.01 Knowledge of:***

California Public Contract Code, Uniform Commercial Code and City Municipal Code as applied to purchasing regulations and standards; governmental purchasing practices, principles, and terminology related to a wide variety of products and services; negotiating methods and procedures; contract administration practices; competitive bidding and pricing procedures; types, grades, unit price and sources of supply of equipment, supplies and products to be purchased; research methods and costing

### ***Section 3.02 Ability to:***

Operate a computer terminal and use word processing, spreadsheet and database software applications; use calculator and standard office equipment; write and analyze bid specifications; evaluate vendor services, products and pricing in relation to material and equipment specifications; prepare clear and accurate purchasing and inventory reports; analyze costing trends; perform basic mathematical calculations; establish and maintain effective working relationships with the staff, vendors, and the general public; perform mathematical calculations; evaluate alternatives and make sound recommendations within general policy guidelines; negotiate effective purchasing contracts based on quality, quantity and price and related department standards; maintain effective database systems and records; organize and prioritize tasks in order to meet deadlines; establish and maintain effective working relationships with City staff, vendors and suppliers, employees and others encountered in the course of work.

### ***Section 3.03 Education/Training/Experience:***

A typical way of obtaining the knowledge, skills and abilities outlined above is graduation from high school or GED equivalent and a minimum of four years of progressively responsible experience in purchasing a variety of supplies, materials, services and equipment, preferably in a public agency; or an equivalent combination of training and experience. Supplemental advanced education in a related field is desirable as is certification or coursework in Purchasing Management.

## **Article IV. PHYSICAL/MENTAL DEMANDS AND WORK ENVIRONMENT:**

The physical and mental demands described here are representative of those that must be met by an employee to successfully perform the essential functions of this class. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

### ***Section 4.01 Physical Demands***

While performing the duties of this class, the employee is regularly required to sit; talk or hear, in person and by telephone; use hands to finger, handle, feel or operate standard office equipment; and reach with hands and arms. An employee is occasionally required to walk and stand and to lift and move records and documents weighing up to 20 pounds. Specific vision abilities required by this job include close vision and the ability to adjust focus.

### **Mental Demands**

While performing the duties of this class, an employee is regularly required to use written and oral communication skills; read and interpret data, information and documents; analyze and solve problems; use math and mathematical reasoning; observe and interpret situations; learn and apply new information or skills; perform highly detailed work on multiple, concurrent tasks; and interact with City staff, vendors and suppliers, and employees.

## **WORK ENVIRONMENT**

The work environment characteristics described here are representative of those an employee encounters while performing the essential functions of this class. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

The employee works under typical office and warehouse conditions and the noise level is generally low.

### **Accounts Receivable / Accounts Payable Job Description:**

Under direction of the Accounting Manager, participates in the daily operations and activities of a variety of accounting functions in the Finance Department, including accounts receivable, accounts payable, utility billing, financial reporting, and other functions; assists day-to-day accounting processes, reporting, and record-keeping activities. Coordinate assigned activities with other departments, and the general public; perform other professional accounting work as required.

The duties listed below are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related or a logical assignment to this position.



1. Assist accounting functions of the Finance Department, including accounts payable, accounts receivable, cash receipts, utility billing, and other related areas; recommend improvements and modifications and prepare various reports on operations and activities.
2. Respond to inquiries from finance division staff, other departments, and the public regarding assigned functions; investigate complaints and sensitive/confrontational issues; recommend corrective actions to resolve issues.
3. Monitor and coordinate the preparation, balancing, and reconciliation of various accounting records; prepare records and reports for submission to various regulatory and other governmental agencies.
4. Review and prepare a variety of journal entries, including accounts receivable aging analyses, audit and post cash receipt transactions.
5. Provide technical support to end users of the City's Core financial system; respond to end user requests for information on system use; investigate, troubleshoot and resolve end user issues; develop, coordinate and test system/report modifications to address user needs.
6. Prepare and distribute periodic fiscal reports to departments.
7. Plan, coordinate, and carry out Ad Hoc projects as assigned by departmental managers.

**EXHIBIT “C-1”  
COMPENSATION**

**RATE TABLE**

<b>Description</b>	<b>City Bill Hourly Rate</b>
Accounts Receivable/Accounts Payable Specialist	\$45.00
Purchasing Specialist III	\$50.00



Staff Report

---

**File #:** 21-0635

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Approval of the Fourth Amendment to the Professional Services Agreement with HDL Software, LLC for business license program services

**EXECUTIVE SUMMARY:**

The day-to-day operations of the business license program are administered by HDL Software, LLC. Approval of the Fourth Amendment to the Professional Services Agreement is recommended for continuation of the contracted services through June 30, 2022.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the fourth amendment to the Agreement with HDL Software LLC to extend the contract terms through June 30, 2022, for business license program services.
- b. Authorize the Purchasing Agent to issue a purchase order for Fiscal Year 2022 to HDL Software LLC for \$250,000.

**BACKGROUND & HISTORY:**

The day-to-day operations of the business license program include processing new businesses, annual renewals, payment processing, and customer support. The City Council approved outsourcing the administration of the business license program to HDL Software LLC in October 2016. The change was effective in March 2017. The current contract is expiring in October 2021 and staff is recommending a contract extension through June 2022.

**ANALYSIS:**

HDL Software LLC (Consultant) was selected in 2016 to administer the day-to-day operations of the

business license program. To staff's knowledge, HDL was the only vendor at the time that was providing a full-service administrative option. The Consultant was selected through a competitive bidding process by piggy-backing on an existing agreement between the Consultant and the City of Pacific Grove, where the City received similar cost and contract terms. The Consultant was selected based on their expertise in the business license field, including 34 years (as of 2016) of providing software applications and professional services to local governments. Its audit and consulting services include streamlining processes, reducing costs, increasing revenues, and providing greater efficiency and productivity for municipalities similar to the City of Corona.

The original agreement in 2016 was for a five-year period, through October 2021. With the agreement term expiring, an analysis of outsourced costs vs. staffing an in-house program was completed and presented at a Study Session before the City Council on March 24, 2021. The City Council provided staff with feedback to continue third-party administration of the program. The cost for HDL to operate the program is a flat rate of \$14.42 per business license. There are some additional costs for audit and recovery services, calculated as one-time compensation at 35% of the business license fees for on any non-reporting business that is brought into compliance. The total estimated cost for HDL to provide the service is \$238,000 per year. That estimate includes the administrative service costs as well as the software to manage the business license information. The annual costs will fluctuate based on the number of business licenses processed in a given year (new or renewal). The contract value is \$250,000 to accommodate for fluctuations in the volume of business licenses as well as the audit and recovery fees. The Consultant processed approximately 12,300 business licenses in the last year. The estimated costs for an in-house program are \$271,000 which does not include costs of a business license software program. If the City were to pursue bringing the administration of this program back in-house, staff would need to issue an RFP for a business license software program to evaluate and determine those costs. The prior business license system used by the City has met the end of its useful life and would need to be replaced.

The current recommendation is for the extension of the agreement through June 30, 2022. HDL is meeting their contractual obligations and is administering the program in a satisfactory manner. To staff's knowledge, HDL is still the only company currently offering the full day-to-day administrative services of the business license program. However, staff will conduct a Request for Proposals during Fiscal Year 2022 to evaluate options for future operations of the program.

#### **COMMITTEE ACTION:**

At the March 24, 2021 Study Session, there was a discussion on the business license program administration. A presentation was made to provide an overview of the program and a cost comparison of in-house staffing vs. outsourcing. Based on the discussion at the Study Session, the direction was to continue to outsource this function.

#### **FINANCIAL IMPACT:**

There is no additional financial impact for approval of the recommended actions. The contract value is currently up to \$250,000. The actual amount varies each year, based on the number of business licenses processed by the Consultant. The contract value is included in the Finance Department's FY

2022 Adopted Budget.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is to approve a contract extension and there is no possibility that approval will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Fourth Amendment to Professional Services Agreement with HDL Software LLC

**FOURTH AMENDMENT TO  
PROFESSIONAL SERVICES AGREEMENT  
BETWEEN THE CITY OF CORONA  
AND  
HDL SOFTWARE LLC.**

**1. PARTIES AND DATE.**

This Fourth Amendment to the Professional Services Agreement (“Fourth Amendment”) is made and entered into this 7<sup>th</sup> day of July 2021 by and between the City of Corona (“City”) and HDL Software LLC., a California Limited Liability Company (“Consultant”). City and Consultant are sometimes individually referred to as “Party” and collectively as “Parties” in this Fourth Amendment.

**2. RECITALS.**

2.1 Agreement. City and Consultant entered into that certain Professional Services Agreement dated October 19, 2016 (“Agreement”), whereby Consultant agreed to provide business license program services.

2.2 Prior Amendments. City and Consultant entered into that certain First Amendment to the Professional Services Agreement on or about June 12, 2018 (“First Amendment”). City and Consultant entered into that certain Second Amendment to the Professional Services Agreement on or about September 16, 2019 (“Second Amendment”). City and Consultant entered into that certain Third Amendment to the Professional Services Agreement on or about October 12, 2020 (“Third Amendment”).

2.3 Amendment. City and Consultant desire to amend the Agreement for the Fourth time to (1) extend the term of the Agreement through June 30, 2022; and (2) revise compensation to \$250,000 for fiscal year ending June 30, 2022.

**3. TERMS.**

3.1 Term. Section 3.1.2 (Term) of the Agreement and the amendments are hereby deleted in their entirety and replaced with the following:

" 3.1.2 Term. The term of this Agreement shall be from **October 19, 2016 to June 30, 2022** (“Term”), unless earlier terminated as provided herein. Consultant shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.6.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement. "

3.2 Compensation. Section 3.3.1 (Compensation) of the Agreement and the amendments, are hereby deleted in their entirety and replaced with the following:

“3.3.1 Rates & Total Compensation. Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under the Agreement at the rates set forth in Exhibit “C-3” attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed **Two Hundred Fifty Thousand Dollars (\$250,000)** during fiscal year ending **June 30, 2022** (“Total Compensation”) without written approval of the City’s Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.”

3.3 Continuing Effect of Agreement. Except as amended by this Fourth Amendment, all provisions of the Agreement shall remain unchanged and in full force and effect. From and after the date of this Fourth Amendment, whenever the term “Agreement” appears in the Agreement, it shall mean the Agreement as amended by this Fourth Amendment.

3.4 Adequate Consideration. The Parties hereto irrevocably stipulate and agree that they have each received adequate and independent consideration for the performance of the obligations they have undertaken pursuant to this Fourth Amendment.

3.5 Counterparts. This Fourth Amendment may be executed in duplicate originals, each of which is deemed to be an original, but when taken together shall constitute but one and the same instrument.

**[SIGNATURES ON FOLLOWING PAGE]**

**CITY'S SIGNATURE PAGE FOR FOURTH AMENDMENT TO  
THE PROFESSIONAL SERVICES AGREEMENT  
BETWEEN THE CITY OF CORONA  
AND  
HDL SOFTWARE LLC.**

IN WITNESS WHEREOF, the Parties have entered into this Fourth Amendment to the Professional Services Agreement as of the 7th day of July 2021.

**CITY OF CORONA**

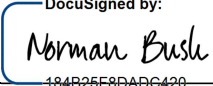
By:   
8CB6AE0895944B4...  
\_\_\_\_\_  
Jacob Ellis  
City Manager

Attested by: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

Reviewed By:

  
AE6AA49B0BD44E7...  
\_\_\_\_\_  
Kim Sitton  
Finance Director

Reviewed By:


  
184B25F8DADG420...  
\_\_\_\_\_  
Norman Bush  
Purchasing Manager



**CONSULTANTS'S SIGNATURE PAGE FOR FOURTH AMENDMENT TO  
THE PROFESSIONAL SERVICES AGREEMENT  
BETWEEN THE CITY OF CORONA  
AND  
HDL SOFTWARE LLC.**

IN WITNESS WHEREOF, the Parties have entered into this Fourth Amendment to the Professional Services Agreement as of the 7th day of July 2021.

**HDL Software LLC**  
**a California Limited Liability Company**

By:  \_\_\_\_\_  
Robert Gray  
President



Staff Report

---

**File #:** 21-0666

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Public Works Department

**SUBJECT:**

Cooperative Agreement between the City of Corona, Western Municipal Water District, and the Western Riverside County Regional Wastewater Authority for the relocation of sanitary sewer facilities in connection with the McKinley Grade Separation Project.

**EXECUTIVE SUMMARY:**

Approval of a Cooperative Agreement between the City of Corona, Western Municipal Water District ("WMWD"), and the Western Riverside County Regional Wastewater Authority ("WRCRWA"), collectively called "Utility Agencies," that provides for the relocation of wastewater facilities owned by Santa Ana Watershed Project Authority ("SAWPA") and operated/maintained by WMWD and WRCRWA that are in conflict with the McKinley Grade Separation Project improvements and the reimbursement of all costs incurred by the City for the relocation of the wastewater facilities.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the Cooperative Agreement for Utility Facility Modifications between the City, Western Municipal Water District, and Western Riverside County Regional Wastewater Authority.
- b. Authorize the City Manager, or his designee, to execute the Cooperative Agreement for Utility Facility Modifications between the City, Western Municipal Water District, and Western Riverside County Regional Wastewater Authority and to approve and execute any amendments to the Cooperative Agreement in a form acceptable to the City Attorney that are consistent with the Council's directions herein.

**BACKGROUND & HISTORY:**

### WMWD and WRCRWA Facilities Within Project Limits

As part of the SAWPA Inland Empire Brine Line that was constructed in the early 1990s, there is an existing 8" sanitary sewer effluent line located along Sampson Avenue and McKinley Street south of Sampson Avenue. WRCRWA operates and maintains the portion of the effluent facility and appurtenances that are located along Sampson Avenue and McKinley Street to a point just south of the existing Burlington Northern & Santa Fe ("BNSF") railroad, which includes an existing flow meter structure encased in a manhole, an existing siphon encased within a manhole structure and an additional manhole structure located between the flow meter and railroad. WMWD operates and maintains the portion of the effluent facility and appurtenances along McKinley Street from the flow meter south to the McKinley/Magnolia intersection, which includes the flow meter and an electric meter that powers the flow meter on the west side of McKinley Street. The flows from these facilities generally run east to west along Sampson Avenue, then north to south along McKinley Street to existing facilities in Magnolia Avenue. Although SAWPA owns the facilities and appurtenances, WMWD and WRCRWA are responsible for maintenance and operations, as well as taking the lead on any relocation improvements. As such, WMWD and WRCRWA are authorized to execute cooperative agreements and approve financing/reimbursement obligations for these facilities on behalf of SAWPA.

The Project includes the construction of a steel tied-arch network bridge structure approximately thirty (30) feet above the existing railroad track surface elevations. The Project will cause a gradual drop in elevations between the new elevations crossing the BNSF railroad (30 feet above existing grades), to fifteen feet above grade at the Estelle Street intersection, and back to surface elevations just north of Magnolia Avenue. As a result, the Project requires the complete reconstruction of the three (3) manholes just south of the existing BNSF railroad crossing as the roadway surface elevation will increase approximately twenty (20) to twenty-five (25) feet. Additionally, WMWD has identified existing flow problems that pre-date the Project improvements, which appear to be caused by low points and settlement areas in portions of the sanitary sewer effluent facility located south of the existing flow meter that are prohibiting the north to south flows, resulting in blockages and constant maintenance problems. Since other adjustments to their wastewater facilities are required as a result of the Project, WMWD has requested that the City also include the reconstruction of a portion of these facilities to remove existing low points. Additionally, the Utility Agencies executed a contract with the City of Corona's design consultant team (Biggs Cardosa and Associates, Inc., and Kimley-Horn and Associates, Inc.) directly to perform all design engineering and plan/procurement document preparation services.

The WMWD and WRCRWA sanitary sewer facilities within the Project limits are lawfully maintained in the present locations pursuant to statutory franchise rights. Said statutory franchise rights will also apply to the new locations of the WMWD and WRCRWA sanitary sewer facilities as a result of the adjustments, replacements, and relocations due to the Project improvements. Pursuant to [California Public Utilities Code Section 6297](#), both WMWD and WRCRWA, through their authority designated by SAWPA, are obligated to remove or relocate these facilities at their expense when necessary due to the lawful change of grade or alignment. Both agencies are responsible for all work associated with the relocation of their facilities as a result of the Project, including costs for professional services and construction. Much of the improvements required with the relocation and modification to these facilities can only be done during construction with the grading and fill activities.

**ANALYSIS:**

The City's options for the relocation and modification of the Utility Agencies' sanitary sewer facilities are as follows:

- 1) Direct WMWD and WRCRWA to prepare stand-alone procurement documents for the construction of all relocation, modification, and adjustment of their facilities with a separate, stand-alone contract(s) administered by each agency.
- 2) Include the work necessary to relocate, modify and adjust of their facilities within the City's procurement documents for the construction of the Project. This option involves the need to execute the Cooperative Agreement with the Utility Agencies.

WMWD/WRCRWA to Administer a Stand-Alone Project

The following benefits would apply to the City of Corona under this scenario:

- 1) The City would not be required to execute an agreement with the Utility Agencies, nor would the City be required to dedicate resources to managing construction, performing materials testing, project management, and accounting services for the relocation of the facilities.

The following constraints would apply to the City of Corona under this scenario:

- 1) The City's selected contractor and construction management consultant team would be required to coordinate with the Utility Agencies during construction of the Project to allow both teams of contractors to cooperate and coordinate with each other during construction. This will likely lead to potential delays and potential contract change orders, and additional efforts to coordinate with both sets of contractors in advance to minimize potential cost or schedule impacts.
- 2) Given both water and sewer improvements are performed by wet utility contractors and the fact that the City has water improvements that are required as part of the Project, the City may not receive the benefit of any reduced costs due to the economies of scale savings typically applied with additional trenching and wet utility improvements.

WMWD/WRCRWA Improvements to be Included with Project Improvements

The following benefits would apply to the City of Corona under this scenario:

- 1) Cost savings for the City's water improvements resulting from anticipated reduced unit costs due to the economies of scale savings typically applied with additional trenching and wet utility improvements.
- 2) No risk in multiple contractors and additional coordination efforts resulting in potential cost or schedule impacts. Should result in a more efficient schedule for construction and less overall costs to all involved parties.

The following constraints would apply to the City of Corona under this scenario:

- 1) At the expense of WMWD and WRCRWA, the additional resources the City will need to dedicate to the Project to perform necessary construction management, materials testing,

project management, and accounting services for the relocation of the sanitary sewer facilities.

Staff recommends the most appropriate solution is to include WMWD and WRCRWA improvements within the Project scope of work and to execute a Cooperative Agreement with the Utility Agencies. It will allow the City to minimize potential delays or construction cost change orders due to unforeseen conditions in the coordination with the Utility Agencies' contractor should they administer bids and oversee an independent construction contract for the relocation, modification, and adjustment of their sanitary sewer facilities. This far outweighs the risk with the need to provide additional resources to accommodate the additional improvements.

The proposed Cooperative Agreement between the City and Utility Agencies includes the following responsibilities:

WMWD/WRCRWA

- 1) Reimburse the City for all costs, including construction management, materials testing, project management, accounting services, and the cost for construction for all work involved in the relocation, modification, and adjustment of the Utility Agencies' sanitary sewer facilities plus up to 10% above the lowest responsible bid contact price in the event of unforeseen field conditions. Currently, the total estimated costs are up to \$345,000 for the relocation of WMWD's facilities and \$1,120,000 for relocation of WRCRWA's facilities for a total of \$1,470,000. Should actual construction costs, including the professional services, exceed these estimates, the City will work with WMWD and WRCRWA for the approval of an amendment to the Cooperative Agreement to account for any additional costs prior to the commencement of any additional work.
- 2) Provide inspection and final approvals of all improvements.

City of Corona

- 1) Perform the construction and professional services, including construction management, materials testing, project management, and accounting, associated with all work involved in the relocation, modification, and adjustment of the Utility Agencies' sanitary sewer facilities.
- 2) Secure and/or provide encroachment permits as necessary and at no cost. The City is the primary permitting agency for all proposed improvements within McKinley Street for included with relocation, modification, and adjustment of the Utility Agencies' sanitary sewer facilities. Additionally, Riverside County has permitting authority for a meter within Riverside County jurisdiction south of Sampson Avenue and west of McKinley Street; however, no fees will be charged per the Cooperative Agreement between Riverside County and the City executed in January 2020.
- 3) Provide invoicing and backup documentation, including as-built record drawings, necessary to receive approvals from WMWD and WRCRWA, including the relocation, modification, and adjustment of the Utility Agencies' sanitary sewer facilities due to the construction of the Project.

It should be noted that the Utility Agencies have also executed a separate contract with the City of Corona's design consultant team (Biggs Cardosa and Associates, Inc., and Kimley-Horn and Associates, Inc.) to perform all design engineering and plan/procurement document preparation services for the relocation of the Utility Agencies' sanitary sewer facilities. Additionally, the Utility Agencies are in the process of executing a separate contract with the City's design consultant team to provide as necessary construction support for responding to RFIs related to the relocation of the sanitary sewer facilities. The Utility Agencies are also in the process of executing a separate contract with the City's construction management team (Falcon Engineering Services, Inc.) to provide as necessary construction management services related to the relocation of the sanitary sewer facilities.

**FINANCIAL IMPACT:**

There is no additional financial impact to the City. Both WMWD and WRCRWA are responsible for all costs associated with the relocation and modification of the Utility Agencies' sanitary sewer facilities, including the construction of all improvements and any professional services, such as construction management, materials testing, project management, and accounting. Additionally, should total construction costs exceed the current project estimates or unforeseen conditions require more than 10% of the total construction costs as established based upon the selected lowest responsible/responsive bids selected by the City for the Project, the City will notify WMWD and WRCRWA of additional costs necessary and work with both agencies on an amendment to the Cooperative Agreement to include reimbursement for additional project costs to the City prior to the commencement of such work.

**ENVIRONMENTAL ANALYSIS:**

Per Public Resources Code Section 21080.13, all railroad grade separations project which eliminates an existing at grade crossing is exempt from the laws for the California Environmental Quality Act (CEQA). As a grade separation project, this Project is statutorily exempt under the California Environmental Quality Act.

**PREPARED BY:** JOSHUA COSPER, PE, PLS, CONSULTANT PROJECT MANAGER FOR THE MCKINLEY GRADE SEPARATION PROJECT

**REVIEWED BY:** SAVAT KHAMPHOU, ACTING PUBLIC WORKS DIRECTOR

**Attachments:**

1. Exhibit 1 - Cooperative Agreement for Utility Facility Modifications between the City of Corona, WMWD, and WRCRWA

**CITY OF CORONA**  
**COOPERATIVE AGREEMENT**  
**FOR UTILITY FACILITY MODIFICATIONS**  
**(CITY OF CORONA -MCKINLEY STREET GRADE SEPARATION)**  
**WITH WESTERN MUNICIPAL WATER DISTRICT AND**  
**WESTERN RIVERSIDE COUNTY REGIONAL WASTEWATER AUTHORITY**

**1. PARTIES AND DATE.**

This Cooperative Agreement for Utility Facility Modifications (“Agreement”) is made and entered into as of this \_\_\_ day of June, 2021 (“Effective Date”) by and between the City of Corona, a California municipal corporation organized under the laws of the State of California with its principal address located at 400 S. Vicentia Avenue, Corona California 92882 (“Corona”); the Western Riverside County Regional Wastewater Authority (“WRCRWA”) a joint powers agency organized under the laws of the State of California, and Western Municipal Water District (“WMWD”), a municipal water district organized under the laws of the State of California. Corona, WRCRWA and WMWD are sometimes individually referred to as “Party” and collectively as “Parties” throughout this agreement.

WRCRWA and WMWD have entered into an agreement, dated September 16, 1998, whereby WMWD is responsible for the general administration, management, operation and maintenance of WRCRWA and its facilities. Therefore, for the purposes of this Agreement, the principal address for both WRCRWA and WMWD shall be located at 14205 Meridian Parkway, Riverside, California 92518 and the same individual shall be the project manager for both WRCRWA and WMWD. In the event of any change in the operation of WRCRWA and/or its facilities or project manager, written notice of any such changes shall be provided as set forth in this Agreement. Notwithstanding the above-mentioned 1998 agreement, WRCRWA and WMWD are separate parties to this Agreement with separate rights, obligations, and facilities as set forth herein.

**2. RECITALS.**

**2.1 McKinley Grade Separation Project.** Corona intends to construct a new four-lane overhead grade separation at the McKinley Street/BNSF Railway double tracks, south of the intersection with Sampson Avenue, in the City of Corona, as more particularly depicted in **Exhibit “A”** attached hereto and incorporated herein by reference (“the Project”). The southern limits of the Project commence at Magnolia Avenue and terminate to the north at the State Route 91. The Project also includes a portion of Estelle Street immediately to the west of the McKinley Street intersection.

**2.2 WRCRWA And WMWD Facilities.** Pursuant to existing rights of way, WRCRWA owns and operates certain facilities located within McKinley Street as depicted in

**Exhibit “B”** attached hereto and incorporated herein by reference (“WRCRWA Facilities”). In addition, pursuant to existing rights of way, WMWD owns and operates certain facilities located within McKinley Street as depicted in Exhibit “B” (“WMWD Facilities”).

**2.3 Relocations Required By The Project.** Due to the change in elevations anticipated along McKinley Street as a result of the Project, the WRCRWA and WMWD Facilities will require potential adjustments, replacements, and relocations to new locations as depicted in Exhibit “B.” The WRCRWA and WMWD Facilities within the Project limits are lawfully maintained in the present locations pursuant to statutory franchise rights including, by way of example, the statutory franchise right set forth in Water Code Section 71695. Said statutory franchise rights also apply to the new locations of the WRCRWA and WMWD Facilities as a result of the adjustments, replacements and relocations contemplated under this Agreement. Based on the rights, obligations, and history of the installation of the current WRCRWA and WMWD Facilities in McKinley Street, WRCRWA and WMWD are obligated to remove or relocate the WRCRWA and WMWD Facilities at WRCRWA’s and WMWD’s expense as necessary for the Project.

**2.3 Cooperation; Facility Modifications.** Corona and WRCRWA and WMWD desire to cooperate with each other in the design, construction and inspection of the adjustments and relocations to WRCRWA and WMWD Facilities necessary due to the change of grade needed for the Project (“Facility Modifications”). The purpose of this Agreement is to memorialize the mutual understandings by and between Corona, WRCRWA and WMWD with respect to the design, construction, inspection, and funding for the Facility Modifications.

### **3. TERMS AND CONDITIONS.**

#### **3.1 Corona Obligations.**

**3.1.1 Plans, Specifications and Estimates.** Corona shall prepare, or cause to be prepared the necessary Plans, Specifications and Estimates (“PS&E”) for the Facility Modifications in accordance with all applicable city, county and state standards and requirements. Corona shall prepare the PS&E such that the Facility Modifications do not conflict or interfere with the Project. Corona shall submit the PS&E to WRCRWA and WMWD for its review and approval prior to commencement of any advertisement to contractors for construction of the Facility Modifications. Said submittal by Corona shall include submitting the PS&E to the consultant retained by WRCRWA and WMWD, Kimley-Horn, which has been retained to design the necessary improvements to the existing WRCRWA and WMWD Facilities. Corona shall include the approved and signed PS&E as a part of the Corona construction contract for the Project.

**3.1.2 Lead Agency.** Corona shall be the lead agency for the design and construction of the Facility Modifications. Corona shall prepare and obtain necessary environmental clearance in accordance with the California Environmental Quality Act, advertise and obtain all design and construction bids, award all contracts, and administer all contracts, including inspection through completion of the Facility Modifications. Corona shall furnish or



have furnished all equipment, tools, materials, labor and engineering services necessary to fully and adequately design and complete the Facility Modifications.

3.1.3 Construction of Facility Modifications. In accordance with all applicable federal, state or local statutes, ordinances, orders, governmental requirements, laws or regulations, Corona shall advertise, competitively bid, and award a public works construction contract for the Facility Modifications as part of the Project construction. There will not be a separate advertisement, competitive bid, or award of a public works contract for the Facility Modifications. Corona shall administer the Project construction contract and shall ensure that the Facility Modifications are completed in accordance with the approved PS&E and all applicable federal, state or local statutes, ordinances, orders, governmental requirements, laws or regulations. If, during the course of construction and installation of any of the Facility Modifications, it is determined by Corona, WMWD or WRCRWA that the public interest requires alterations in any of the Facility Modifications, the Party making the determination shall immediately notify the other Parties of said changes prior to implementation of such alterations.

3.1.4 Encroachment Permits. Corona shall acquire necessary encroachment permits for the Facility Modifications as part of the construction of the Project. Facility Modifications will be done by the Project contractor through a no fee encroachment permit.

3.1.5 Contractor Obligations. Corona shall require the contractor for the Facility Modifications to: a) comply with the requirements of California Labor Code Section 1720, et seq., and 1770, et seq., as well as California Code of Regulations, Title 8, Section 16000, et seq.; b) provide and maintain adequate liability insurance for the Project which includes Facility Modifications; c) name WMWD, its directors, officials, officers, employees, volunteers and agents as additional insured with respect to the Facility Modifications performed by or on behalf of the contractor; and d) indemnify and hold harmless WMWD its directors, officials, officers, employees, volunteers and agents from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to the Facility Modifications.

3.1.6 Inspection. Corona shall have the right to be present during any inspections of the Facility Modifications.

### **3.2 WRCRWA Obligations.**

3.2.1 Review of PS&E. Upon receipt of the PS&E for the WRCRWA Facility Modifications, WRCRWA shall promptly review the PS&E, and shall not unreasonably withhold approval as part of their review.

3.2.2 WRCRWA Inspection Personnel. Corona shall provide a minimum of forty-eight (48) hours advanced notice to WRCRWA prior to conducting any inspections of the WRCRWA Facility Modifications. WRCRWA shall ensure that its inspection personnel have appropriate personal protection equipment and abide by the Project's Safety, Health, and Environmental Plans ("SHEP").

3.2.3 Payment of Total Construction Costs of Facility Modifications. WRCRWA agrees to pay one hundred percent (100%) of the Total Construction Costs as defined in Bid Items, to construct the WRCRWA Facility Modifications. An additional 10 percent (10%) may apply in the event of the change or unforeseen field conditions during construction that resulted in a cost increase above the lowest responsible bid contact price for the construction of the WRCRWA Facility Modifications. No such additional amount shall be incurred without the prior written consent of WRCRWA, which consent shall not be unreasonably delayed or denied. For purposes of this Agreement, the term “Total Construction Costs” shall mean all labor, materials, tools, equipment, services and incidental and customary work necessary to plan, engineer, design, permit, bid, and construct the WRCRWA Facility Modifications, including without limitation, all costs and expenses for the following: engineering, legal, and other consultant services throughout the pre-construction and construction phases; bid preparation and administration services; soil, project and other inspection and testing services; construction and project management services; and all other construction and project close-out activities. The Total Construction Costs for the construction of the WRCRWA Facility Modifications is currently estimated to be one million, one hundred and twenty thousand Dollars (\$1,120,000.00) as is more particularly described in **Exhibit “C”** attached hereto and incorporated herein by reference (“WRCRWA Facility Modifications Estimated Costs”).

3.2.3.1 Upon WRCRWA’s acceptance of the WRCRWA Facility Modifications for ownership, operation and maintenance, Corona will provide WRCRWA with a reproducible duplicate set of “record drawings” for the modified facilities.

3.2.3.2 Total Costs. Upon completion of the WRCRWA Facility Modifications and acceptance by WRCRWA, Corona shall prepare a final written accounting of the Total Costs for the construction cost of the WRCRWA Facility Modifications. WRCRWA shall pay Corona within thirty (30) days of receipt of an invoice detailing the Total Costs and any amounts due and payable to Corona.

### **3.3 WMWD Obligations.**

3.3.1 Review of PS&E. Upon receipt of the PS&E for the WMWD Facility Modifications, WMWD shall promptly review the PS&E, and shall not unreasonably withhold approval as part of their review.

3.3.2 WMWD Inspection Personnel. Corona shall provide a minimum of forty-eight (48) hours advanced notice to WMWD prior to conducting any inspections of the WMWD Facility Modifications. WMWD shall ensure that its inspection personnel have appropriate personal protection equipment and abide by the Project’s SHEP.

3.3.3 Payment of Total Construction Costs of Facility Modifications. WMWD agrees to pay one hundred percent (100%) of the Total Construction Costs, as defined in Bid Items, to construct the WMWD Facility Modifications. An additional 10 percent (10%) may apply in the event of the change or unforeseen field conditions during construction that resulted in a cost increase above the lowest responsible bid contact price for the construction of the WMWD Facility

Modifications. No such additional amount shall be incurred without the prior written consent of WMWD, which consent shall not be unreasonably delayed or denied. The Total Construction Costs for the construction of the WMWD Facility Modifications is currently estimated to be three hundred, forty five thousand Dollars (\$345,000.00) as is more particularly described in **Exhibit “C”** (“Estimated Costs”).

3.3.3.1 Upon WMWD’s acceptance of the WMWD Facility Modifications for ownership, operation and maintenance, Corona will provide WMWD with a reproducible duplicate set of “record drawings” for the modified facilities.

3.3.3.2 Total Costs. Upon completion of the WMWD Facility Modifications and acceptance by WMWD, Corona shall prepare a final written accounting of the Total Costs for the construction cost of the WMWD Modifications. WMWD shall pay Corona within thirty (30) days of receipt of an invoice detailing the Total Costs and any amounts due and payable to Corona.

**3.4 Termination.** As to WRCRWA, this Agreement shall terminate upon final completion and acceptance by WRCRWA of the WRCRWA Facility Modifications, and payment by WRCRWA to Corona of all amounts owed to Corona under this Agreement. As to WMWD, this Agreement shall terminate upon final completion and acceptance by WMWD of the WMWD Facility Modifications, and payment by WMWD to Corona of all amounts owed to Corona under this Agreement.

**3.5 Notices.** All notices permitted or required under this Agreement shall be given to the respective Parties at the following addresses, or at such other addresses as the respective Parties may provide in writing for this purpose:

City of Corona:	Western Riverside County Regional Wastewater Authority:	Western Municipal Water District
City of Corona 400 S. Vicentia Ave. Corona, CA 92882	Western Riverside County Regional Wastewater Authority 14205 Meridian Parkway, Riverside, CA. 92518	Western Municipal Water District 14205 Meridian Pkwy, Riverside, CA 92518
Attention: Peter Ramey, PE City Project Manager Email: Peter.Ramey@CoronaCA.gov	Attention: Zuzanna Rand, P.E., M.S. Title Project Manager Email: zrand@wmwd.com	Attention: Zuzanna Rand, P.E., M.S. Title Project Manager Email: zrand@wmwd.com

Such notice may be provided by personal delivery, by first class mail, by express delivery or by email transmission. Notice shall be deemed to made as follows: (A) when personally delivered, upon actual delivery; (B) when mailed, seventy-two (72) hours after deposit in the U.S. Mail, first class postage prepaid; (C) when sent by express delivery, upon delivery as documented by the delivery service; and (D) when sent via facsimile transmission, upon actual delivery as

documented by any verifiable facsimile transmission record. Facsimile transmissions shall be followed by first class delivery along with a copy of the facsimile transmission record. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

**3.6 Cooperation and Further Acts.** The Parties shall fully cooperate with one another and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

**3.7 Attorneys' Fees.** If any Party commences an action against another Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorneys' fees and all other costs of such action.

**3.8 Indemnification.** Each Party shall indemnify and hold the other Party and its officials, officers, employees and agents free and harmless from and against any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury, in law or equity, to property or persons, including wrongful death, to the extent arising out of or incident to any negligent acts, omissions or willful misconduct of the indemnifying Party or its officials, officers, employees and agents related to the performance of this Agreement or the completion or maintenance of the Facility Modifications or the Project, including attorneys' fees and other related costs and expenses; provided, however, that employees of any Party shall not be deemed to be agents of any other Party for purposes of this Section. Notwithstanding the foregoing, the indemnifying Party shall not settle any lawsuit with respect to the other Party to this Agreement without such Party's consent, which consent shall not be unreasonably withheld.

**3.9 Entire Agreement; Amendments.** This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**3.10 Governing Law; Venue.** This Agreement shall be governed by and construed in accordance with the laws of the State of California. Venue for any cause of action arising under this Agreement shall be in Riverside County.

**3.11 Successors and Assigns.** This Agreement shall be binding on the successors and assigns of the Parties.

**3.12 Assignment or Transfer** No Party shall assign, hypothecate, subcontract or transfer, either directly or by operation of law, this Agreement or any interest herein without prior written consent of the other Party. Any attempt to do so shall be null and void, and any assignees, hypothecates or transferees shall acquire no right or interest by reason of such attempted assignment, hypothecation or transfer.

**3.13 Construction, References and Captions.** Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be

construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to any Party shall include all officials, officers, employees and agents of that Party, except as otherwise specified in this Agreement. The caption of the various sections are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content, or intent of this Agreement.

**3.14 Waiver.** No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give any other Party any contractual rights by custom, estoppel, or otherwise.

**3.15 No Third-Party Beneficiaries.** There are no third-party beneficiaries of any right or obligation assumed by the Parties.

**3.16 Invalidity and severability.** If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect. In addition, if any portion of this Agreement is declared to be invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, or is otherwise deemed to be such by legal counsel for the Parties to this Agreement, the Parties shall use their reasonable best efforts to amend this Agreement to remove the inappropriate provision(s); provided, however, that if the amendment cannot be made in a manner which preserves all essential parts of the consideration for any Party, such Party may terminate this Agreement as soon as is reasonably practicable or as required by law.

**3.17 Authority to Execute Agreement.** Each Party warrants that it has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party also warrants that the individuals who have signed this Agreement have the legal power, right and authority to make this Agreement and bind each respective Party hereto.

**3.18 Counterparts.** This Agreement may be signed in one or more counterparts, each of which shall constitute an original.

**CORONA'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**COOPERATIVE AGREEMENT**  
**FOR UTILITY FACILITY MODIFICATIONS**  
**(CITY OF CORONA – MCKINLEY STREET MCKINLEY GRADE SEPARATION)**

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement by their respective duly authorized representatives.

CITY OF CORONA,  
a California municipal corporation

By: \_\_\_\_\_  
Jacob Ellis  
City Manager

Attest:

\_\_\_\_\_  
Sylvia Edwards  
City Clerk

Approved as to form:

\_\_\_\_\_  
Dean Derleth  
City Attorney

**WESTERN RIVERSIDE COUNTY REGIONAL WASTEWATER AUTHORITY'S  
SIGNATURE PAGE FOR**

**CITY OF CORONA  
COOPERATIVE AGREEMENT  
FOR UTILITY FACILITY MODIFICATIONS  
(CITY OF CORONA – MCKINLEY STREET GRADE SEPARATION)**

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement by their respective duly authorized representatives.

Western Riverside County Regional Wastewater Authority,  
a joint powers agency organized under the laws of the State of California,

by: \_\_\_\_\_

Administrator

Attest:

\_\_\_\_\_  
Tina Barber  
Board Secretary

**WESTERN MUNICIPAL WATER DISTRICT'S SIGNATURE PAGE FOR**

**CITY OF CORONA  
COOPERATIVE AGREEMENT  
FOR UTILITY FACILITY MODIFICATIONS  
(CITY OF CORONA – MCKINLEY STREET GRADE SEPARATION)**

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement by their respective duly authorized representatives.

Western Municipal Water District,  
a municipal water district organized under the laws of the State of California

by: \_\_\_\_\_  
Craig Miller  
General Manager

Attest:

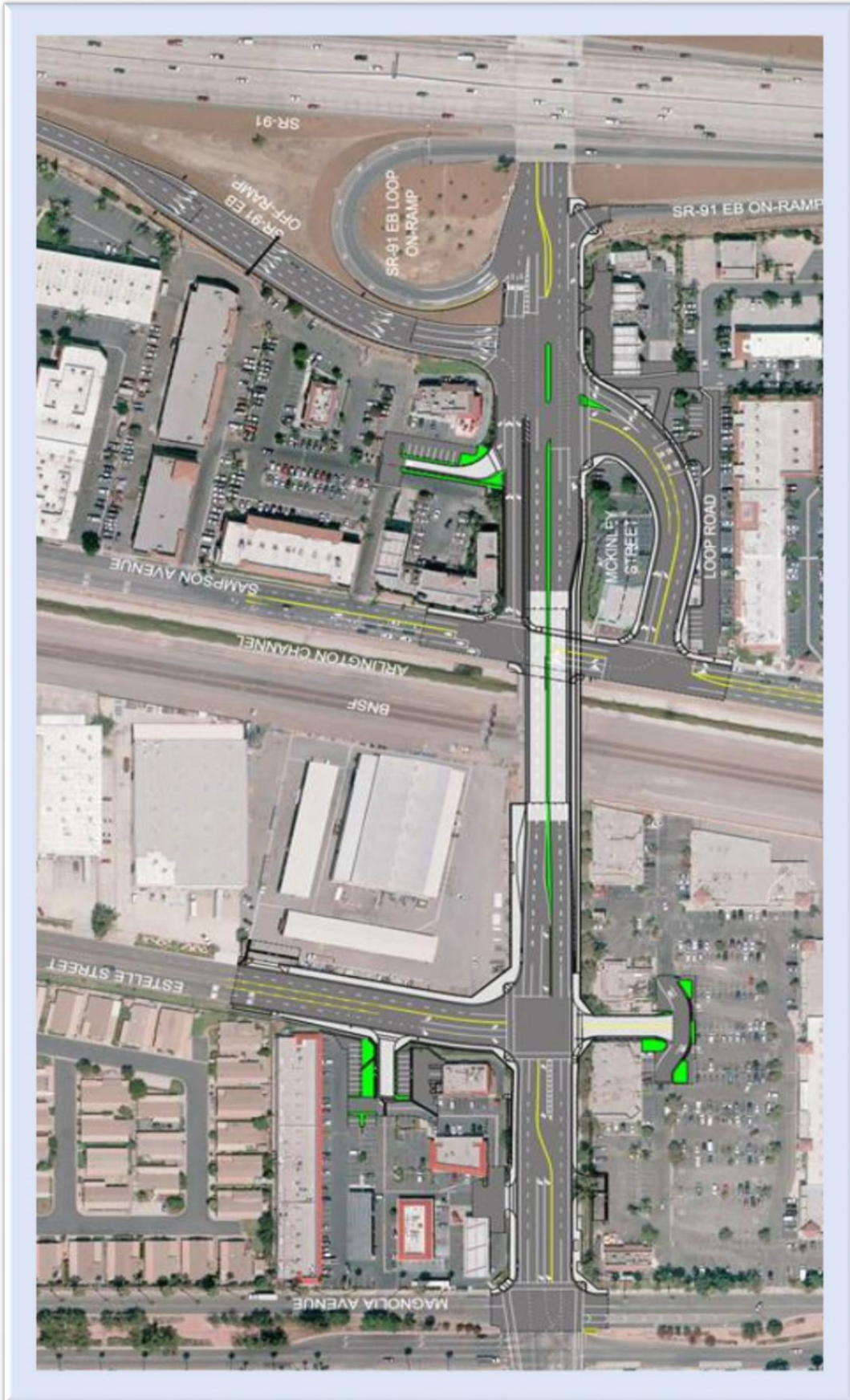
\_\_\_\_\_  
Tammi Ford  
Board Secretary



**EXHIBIT A**

**MCKINLEY STREET GRADE SEPARATION PROJECT**

**SEE ATTACHED ONE (1) PAGE**



**EXHIBIT B**

**WRCRWA & WMWD FACILITIES**

**SEE ATTACHED THREE (3) PAGES**

- 1. MCKINLEY STREET SEWER FACILITIES**
- 2. WRCRWA & WMWD EXISTING SEWER FACILITIES**
- 3. WRCRWA & WMWD PROPOSED SEWER FACILITIES**





# McKinley St Grade Separation Project

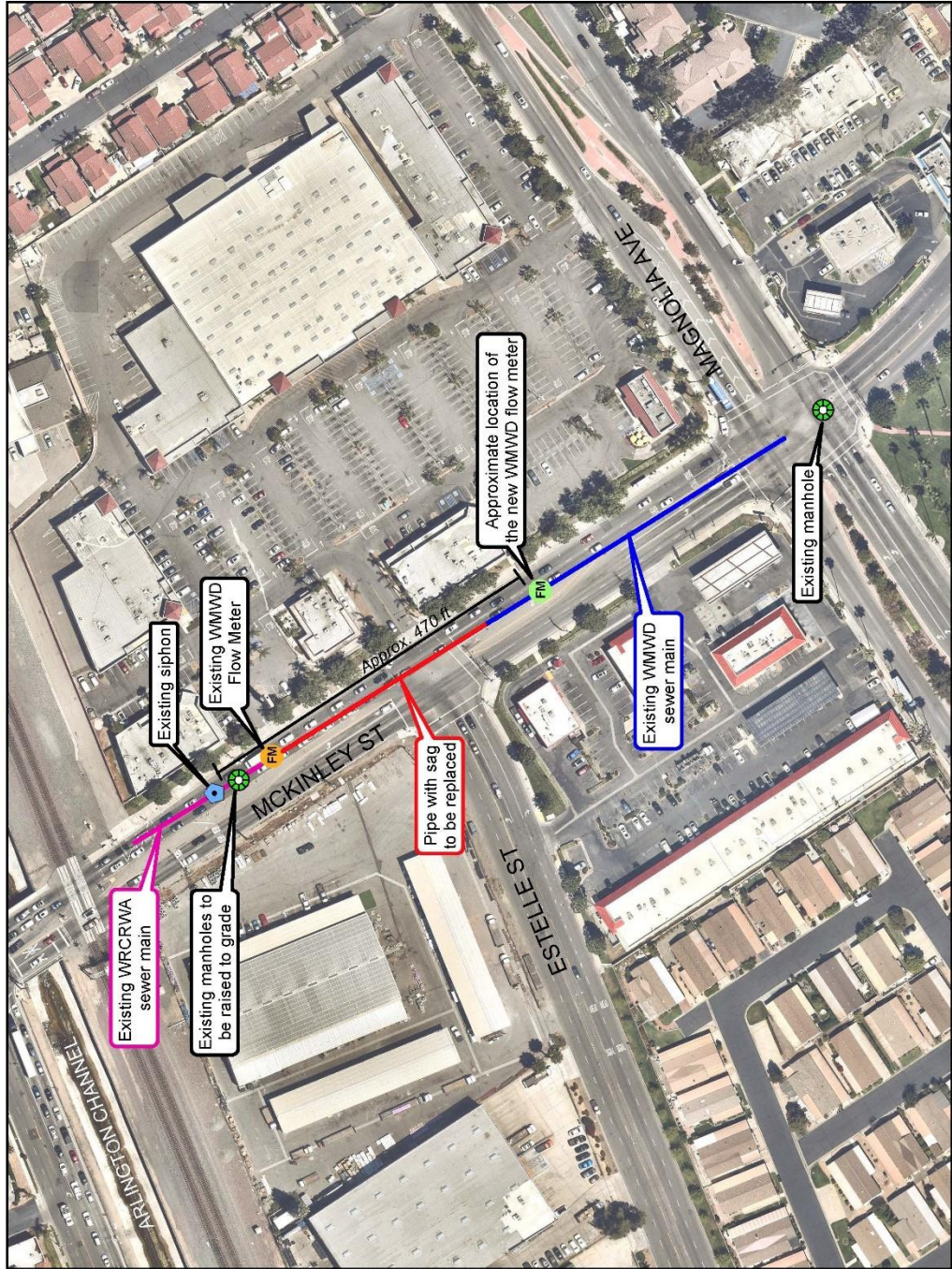
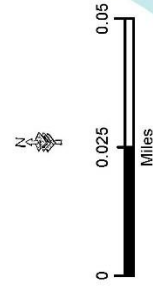
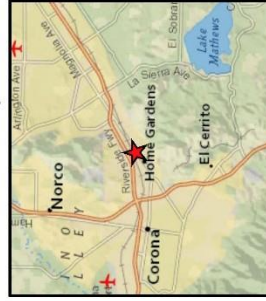
## Exhibit B - WMWD & WRCRWA SEWER FACILITIES



Securing Your Water Supply

- WRCRWA Sewer Main
- WMWD Sewer Main
- Pipe replacement
- FM WMWD Flow Meter
- FM New WMWD Flow Meter
- ⬢ WRCRWA Siphon
- ⬢ Manhole

Locator Map



Date Saved: 5/12/2021 1:52:53 PM  
Document Path: G:\Projects\Engineering\McKinleyGradeSeparation\_5906\MXD\ExhibitB\_WMWDandWRCRWAsewerFacilities.mxd



# McKinley St Grade Separation Project

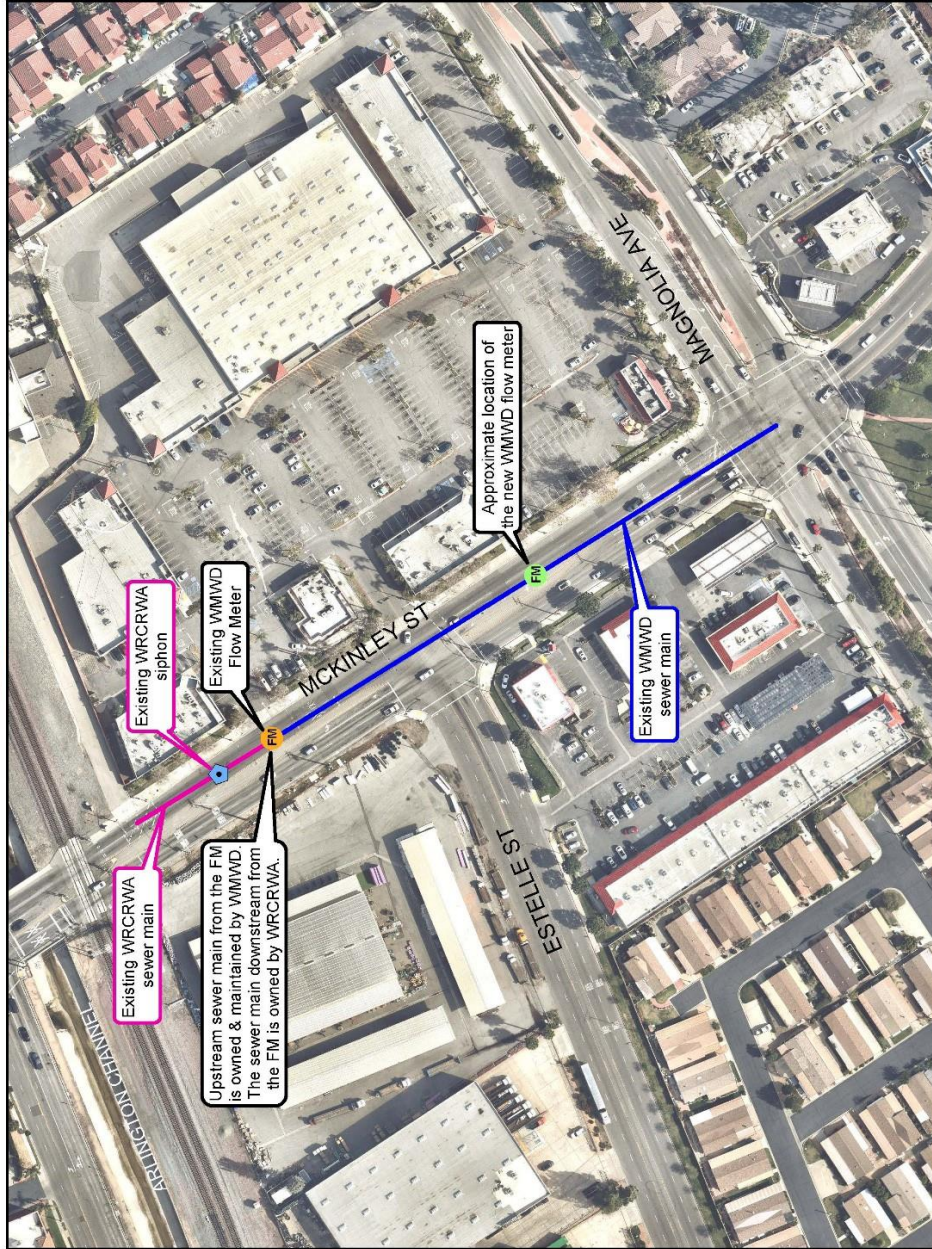
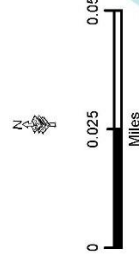
## WMWD & WRCRWA EXISTING FACILITIES EXHIBIT



Securing Your Water Supply

- WMWD Sewer Main
- WRCRWA Sewer Main
- WMWD Flow Meter
- New WMWD Flow Meter
- WRCRWA Siphon

Locator Map



Date Saved: 5/6/2021 10:55:19 AM  
Document Path: G:\Projects\Engineering\McKinleyGradeSeparation\_5906\MXD\ExistingFacilities.mxd



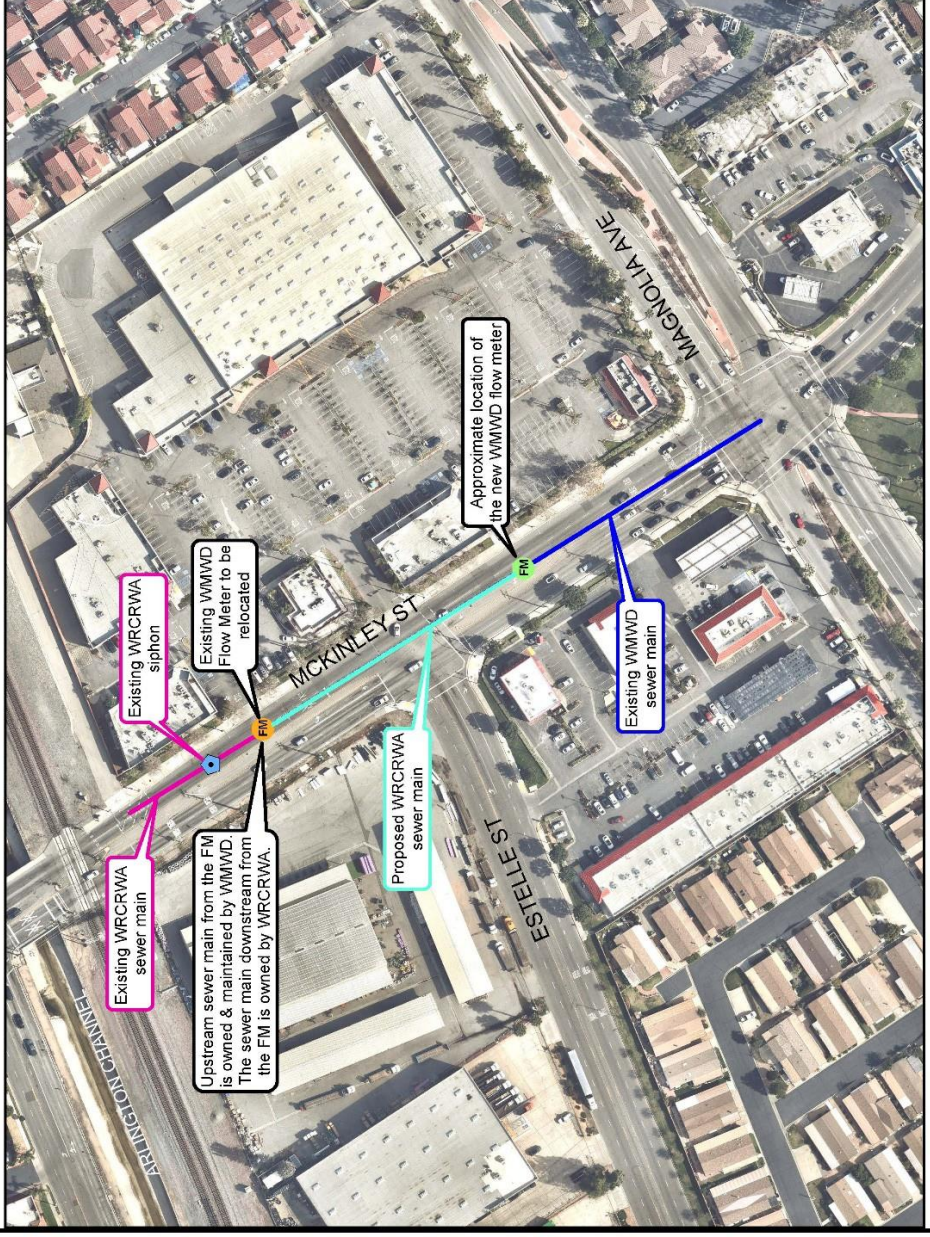
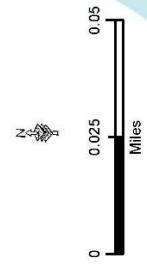
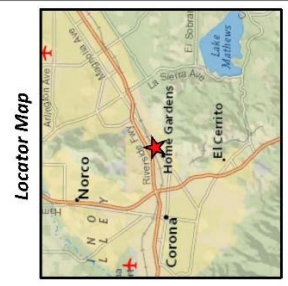
# McKinley St Grade Separation Project

## PROPOSED WMWD & WRCRWA SEWER FACILITIES EXHIBIT



Securing Your Water Supply

- Proposed WRCRWA Sewer Main
- WMWD Sewer Main
- WRCRWA Sewer Main
- WMWD Flow Meter
- New WMWD Flow Meter
- WRCRWA Siphon



Date Saved: 5/6/2021 1:21:29 PM  
Document Path: G:\Projects\Engineering\McKinleyGradeSeparation\_5906\MXD\Proposed\WMWDandWRCRWA\Facilities.mxd

## **EXHIBIT C**

### **ESTIMATED COSTS FOR FACILITY MODIFICATIONS**

**SEE ATTACHED THREE (4) PAGES**

- 1. KIMLEY-HORN FEE SCHEDULE FOR DESIGN OF WRCRWA AND WMWD SEWER FACILITIES.**
- 2. ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST (TWO (2) PAGES).**
- 3. MCKINLEY GRADE SEPARATION PROJECT COST**



# KIMLEY-HORN FEE SCHEDULE FOR DESIGN OF WRCRWA AND WMWD SEWER FACILITIES.

## McKinley Street Grade Separation Project - WMWD and WRCRWA Design Fee Schedule



Task 1	Task 2	Task 3	Category	Kimley-Horn Staff							Sub-Consultant	
				Project Manager	Senior Professional II	Senior Professional I	Professional I	Analyst	Admin	Total Hours	Labor Cost	Total Cost
			Total Hourly Billing Rate*	\$325.37	\$275.15	\$255.16	\$152.20	\$120.71	\$110.00			
			Data Collection	2			4	10		16	\$ 2,466.64	\$ 2,466.64
			Plans, Specifications & Estimates (PS&E)									
			Utility Plans (9 sheets)	15	14	60	110	200	60	399	\$ 70,428.25	\$ 79,903.25
			Specifications	2	5		40	10		57	\$ 9,336.59	\$ 9,336.59
			Cost Estimates	2	4		10	30		46	\$ 6,906.64	\$ 6,906.64
			Coordination and Meetings	20		20	60	20		120	\$ 22,776.80	\$ 22,776.80
			TOTAL HOURS	41	23	80	224	270	60	638		
			Subtotals	\$ 13,340	\$ 6,397	\$ 18,893	\$ 34,093	\$ 32,592	\$ 6,600		\$ 111,914.92	\$ 121,389.92
			WMWD Portion									\$ 84,972.95
			WRCRWA Portion									\$ 36,416.97
			TOTAL COST									\$ 121,390

Kimley-Horn will not exceed the total maximum fee shown without authorization from the Client. Individual task amounts are provided for budgeting purposes only. Kimley-Horn reserves the right to reallocate amounts among tasks as necessary.

1/19/2021

1 of 1

# ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST (TWO (2) PAGES

## Engineer's Estimate of Probable Construction Cost (Page 1 of 2)

Kimley-Horn and Associates, Inc.

Opinion of Probable Construction Cost

Client: Western Municipal Water District	Date: 5/3/2021
Project: McKinley Grade Separation - Siphon Structure	Prepared By: TMT
KHA No. 094668002	Checked By: RKC

Title: McKinley Grade Separation - Siphon Structure (WMWD Facilities)

Item #	Item	Spec. #	Quantity	Unit	Unit Price	Cost
1	Ravenscoat Corrosion Protection		1	LS	\$5,000.00	\$5,000
2	Concrete Flume Vault		37	CY	\$2,500.00	\$92,487
3	Shoring		1	LS	\$25,000.00	\$25,000
4	Temporary Bypass Pump		1	LS	\$5,000.00	\$5,000
5	RTU Panel		1	LS	\$20,000.00	\$20,000
6	Conduits and Conductors		1	LS	\$15,000.00	\$15,000
7	SCADA Integration and Testing		1	LS	\$5,000.00	\$5,000
8	Electrical Service		1	LS	\$15,000.00	\$15,000
9	NEMA 4X 316 SS Junction Boxes		2	EA	\$1,000.00	\$2,000
10	Ultrasonic Level Meter		1	LS	\$3,000.00	\$3,000
11	Flume 36" Manhole Riser, Frame, and Cover		2	EA	\$3,000.00	\$6,000
12	Precast Fiberglass Flume		1	LS	\$5,000.00	\$5,000
Subtotal:						\$198,487
Conting. (% +/-)						20
						\$39,697
Total						\$240,000

- ☐ Conceptual Design  
☐ Preliminary Design  
☒ Final Design

The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

## Engineer's Estimate of Probable Construction Cost (Page 2 of 2)

**Kimley-Horn and Associates, Inc.**

**Opinion of Probable Construction Cost**

<b>Client:</b> Western Municipal Water District	<b>Date:</b> 5/3/2021
<b>Project:</b> McKinley Grade Separation - Siphon Structure	<b>Prepared By:</b> TMT
<b>KHA No.</b> 094668002	<b>Checked By:</b> RKC

<b>Title:</b> McKinley Grade Separation - Siphon Structure (WRCRWA Facilities)
--

Item #	Item	Spec. #	Quantity	Unit	Unit Price	Cost
1	Remove Existing Siphon Structure		1	LS	\$10,000.00	\$10,000
2	Cut and Abandon Existing Sewer		485	LF	\$30.00	\$14,550
3	Abandon Existing Manholes		3	EA	\$3,000.00	\$9,000
4	Ravenscoat Corrosion Protection		1	LS	\$15,000.00	\$15,000
5	Concrete Siphon Structure		172	CY	\$2,500.00	\$429,028
6	Precast 96" Manhole		1	EA	\$50,000.00	\$50,000
7	Precast 48" Manhole		2	EA	\$8,000.00	\$16,000
8	Siphon Structure Foundation Prep		1	LS	\$10,000.00	\$10,000
9	Shoring		1	LS	\$75,000.00	\$75,000
10	Temporary Bypass Pump		1	LS	\$5,000.00	\$5,000
11	96" Manhole and Siphon Structure 36" Manhole Riser, Frame, and Cover		4	EA	\$3,000.00	\$12,000
12	316 SS Grating		1	LS	\$25,000.00	\$25,000
13	6" I.D. HDPE DR-9		20	LF	\$300.00	\$6,000
14	8" I.D. HDPE DR-9		40	LF	\$400.00	\$16,000
15	6" Stainless Steel Vent		1	LS	\$2,500.00	\$2,500
16	Precast Fiberglass Flume		1	LS	\$5,000.00	\$5,000
17	14-inch (DIPS) HDPE DR-11		440	LF	\$270.00	\$118,800
18	18-inch (DIPS) HDPE DR-11		25	LF	\$320.00	\$8,000
<b>Subtotal:</b>						<b>\$826,878</b>
<b>Conting. (%,+/-)</b> 20						<b>\$165,376</b>
<b>Total</b>						<b>\$1,000,000</b>

- ☐ Conceptual Design  
☐ Preliminary Design  
☒ Final Design

The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

#### 4. MCKINLEY GRADE SEPARATION PROJECT COST

McKinley Grade Separation Project Cost May 13, 2021				
Item No.	Description	WRCRWA & WMWD Combined Cost	WRCRWA Cost	WMWD Cost
1	Construction Contract Estimate (XXX)	\$ 1,025,365.00	\$ 826,878.00	\$ 198,487.00
2	Planning and Design (costs to date) *	\$ 122,000.00	\$ 36,600.00	\$ 85,400.00
3	Construction and Project Management **	\$ 30,000.00	\$ 24,300.00	\$ 5,700.00
4	Constructibility Review	\$ 4,500.00	\$ 3,645.00	\$ 855.00
5	Construction Management & Inspection (IEC) (7.5 % of Construction Cost)	\$ 77,000.00	\$ 62,370.00	\$ 14,630.00
	Subtotal	\$ 1,258,865.00	\$ 953,793.00	\$ 305,072.00
	Project contingency (20%)	\$ 205,073.00	\$ 165,375.60	\$ 39,697.40
	Total	\$ 1,463,938.00	\$ 1,119,168.60	\$ 344,769.40
	Rounded Project Cost	\$ 1,470,000.00	\$ 1,120,000.00	\$ 345,000.00
<p>* Includes Design Consultant, Permits, Fees, Direct Costs &amp; minor staff time (Cost of design phase: 30% WRCRWA, 70% WMWD)</p> <p>** Includes PM, Staff, etc. (Construction Cost: 81% WRCRWA, 19% WMWD)</p>				



Staff Report

---

**File #:** 21-0672

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Police Department

**SUBJECT:**

Fourth Amendment to the Aviation Program Agreement between the City of Riverside and the City of Corona, which was formerly known as the Helicopter Program.

**EXECUTIVE SUMMARY:**

City Council consideration to approve the Fourth Amended Aviation Program Agreement between the City of Riverside and the City of Corona. The use of aviation in law enforcement tactics has been present for several decades and has allowed for a unique approach to assist law enforcement ground units with different types of incidents; for example, combatting crime, conducting area checks, searching for lost people (children and adults) and providing a wider view of an ongoing event for officer safety. The use of helicopters in law enforcement enables law enforcement to be on scene and overhead an incident quicker than ground units. The ability to incorporate aviation into law enforcement assists with police operations, law enforcement patrols, police and community safety.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Authorize the City Manager, or his designee, to execute the Fourth Amended Aviation Program Agreement between the City of Riverside and the City of Corona, formerly known as the Helicopter Program.
- b. Authorize the Chief of Police, pursuant to his delegated authority to maintain and manage the Aviation Program Agreement entered into as of July 7, 2021, and as noted in section 8.3 of this agreement.
- c. Authorize the City of Corona to issue claim form payment of funds in the amount of \$120,000 to the City of Riverside.

- d. Authorize the City Manager, or his designee, to approve change orders up to 10% of the original Aviation Program Agreement amount as provided by Corona Municipal Code Section [3.08.080\(I\)](#).

### **BACKGROUND & HISTORY:**

Studies have shown a positive correlation between the helicopter use in police operations, including patrols and officer safety, and the community's safety. The City of Corona originally purchased a helicopter in 2002, but due to budget reductions, sold the helicopter in 2009. The City of Corona Police Department had no contracted air support until July 2014, when a Helicopter Program Agreement was entered into with the City of Riverside.

That agreement provided 559 hours of air support to the City of Corona, utilizing Riverside Police Department aircraft at a total amount of \$399,292. As part of the initial agreement, the City of Corona also funded and supplied one Police Officer to serve as a Tactical Flight Officer with the air unit. Both parties amended and maintained this agreement until it was revised in July 2018. In the revised July 2018 amendment, the word "Aviation" replaced the word "Helicopter"; and the hours were reduced to only provide an as-needed emergency response for a total of \$100,000 annually. The City of Corona still provided the Tactical Flight Officer. This agreement remained in effect until April 2020. At that time, the City of Corona Police Department amicably terminated the agreement with the City of Riverside due to staffing shortages, and the assigned Tactical Flight Officer returned to the Patrol roster.

In June 2020, the Corona Police Department did not renew or extend our contract for flight hours with the Riverside Police Department. This decision was based on mutual personnel shortages and restrictions of flight hours that the Riverside Police Department was facing, and other mutual budget priorities.

### **ANALYSIS:**

For the past year, the Corona Police Department has requested air support assistance from the Riverside Police Department, and surrounding agencies, on a mutual aid basis. The Corona Police Department sees benefit in renewing our contractual flight time with the Riverside Police Department to assist with maintaining prompt response times and ensuring the safety of our community and officers as outlined in Goal 4 of the City of Corona's Strategic Plan.

The Fourth Amended Aviation Program Agreement would allow for average flight hours of 10 hours a month at the cost of \$1,000 per hour for as-needed emergency response, for a total of \$120,000 for 120 annual hours. The agreement provides for actual billable hours, and the ultimate payment is dependent upon use. A contingency plan allows for an additional 10 percent (12 additional hours) of helicopter service if needed up to \$12,000. To maintain fiscal accountability, approval for the request of the helicopter will be at a Sergeant or Watch Commander level to ensure the critical need of the request. Finally, this agreement does not require staffing of a City of Corona Tactical Flight Officer, allowing that Police Officer to remain in Patrol.

The City Attorney has reviewed and approved as to form the proposed Fourth Amendment to the

Aviation Agreement.

**FINANCIAL IMPACT:**

This one-year Aviation Program Agreement compensation is valued at \$120,000. This amount will be paid in two equal installments annually. The first payment is due by July 15, 2021, and the second payment is due by January 15, 2022.

Funding for the payments will come from the Police Department's Asset Forfeiture Fund and are budgeted in the Fiscal Year (FY) 2022 Police Department budget. Any costs above \$120,000, up to 10% of the agreement which is \$12,000, during the Fiscal Year (FY) 2022 will be paid out of the Police Department's Operating Budget. No additional appropriation is needed.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action of the Aviation Program flying for 10 hours a month is minimal and there is no possibility this will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** MICHELLE ADAMS, MANAGEMENT ANALYST II

**REVIEWED BY:** ROBERT NEWMAN, CHIEF OF POLICE

**Attachments:**

1. Exhibit 1 - Fourth Amended Aviation Program Agreement between the City of Riverside and the City of Corona

**FOURTH AMENDED  
AVIATION PROGRAM AGREEMENT**

**BETWEEN THE CITY OF RIVERSIDE  
AND THE CITY OF CORONA**

This Fourth Amended Aviation Program Agreement (hereinafter "Agreement") is made and entered into as of the 7th day of July, 2021, by and between the City of Riverside, a municipal corporation (hereinafter "Riverside") and the City of Corona, a municipal corporation (hereinafter "Corona"), collectively referred herein as "Parties".

**RECITALS**

WHEREAS, Riverside owns and operates aircraft for policing functions; and

WHEREAS, Corona desires assistance from Riverside for air support services;

and

WHEREAS, Riverside and Corona first entered into that Helicopter Program Agreement dated June 25, 2014 ("Original Agreement") and subsequently entered into an amended version of the Helicopter Program Agreement dated June 26, 2015 ("First Amended Agreement"); and

WHEREAS, Riverside and Corona entered into a second amended version of the Helicopter Program Agreement dated June 26, 2017 ("Second Amended Agreement"); and

WHEREAS, Riverside and Corona entered into a third amended version of the Helicopter Program Agreement in order to provide as-needed emergency response only for \$100,000 per year and to acknowledge the new replace "Helicopter" with "Aviation" in the name of the program and agreement, dated July 11, 2018 ("Third Amended Agreement"); and

WHEREAS, Riverside and Corona now desire to enter into this fourth amended version of the Aviation Program Agreement (formerly "Helicopter Program Agreement") in order to provide as-needed emergency response only for \$120,000 per year.

NOW, THEREFORE, Riverside and Corona agree to develop an "Aviation Program" as follows:

**1. Obligations of Riverside:** Riverside agrees to make available the aircraft to Corona for as-needed emergency police response functions, as further provided for herein. In addition, Riverside shall provide full-time salaried police officers (hereinafter "Riverside Pilots") to pilot the aircraft. Riverside shall be responsible for payment of all of the Riverside Pilots' wages and benefits as employees of the City of Riverside, and shall comply with all requirements pertaining to employer's liability, worker's compensation, unemployment insurance, and social security.

Riverside shall be responsible for all maintenance or repairs to the aircraft. The only exception to this would be if the repairs required were caused by negligence on behalf of the



Corona's agents or employees and covered under the indemnification provisions of Section 3 below.

**2. Obligations of Corona:** For the Term of this Agreement, Corona shall pay to Riverside One Hundred Twenty Thousand Dollars (\$120,000.00) each year ("Riverside Compensation"). The Riverside Compensation shall be due and payable in two (2) equal installments each year on July 15 and January 15.

**3. Reciprocal Indemnification and Hold Harmless Provisions:** Riverside agrees to indemnify and hold harmless Corona, its elected and appointed officers, employees and agents from and against any damage or injury to persons, including death, and /or property due to the negligence or willful acts by Riverside, their elected and appointed officers, employees and agents in performing its duties and obligations, pursuant to this Agreement.

Corona agrees to indemnify and hold harmless Riverside, its elected and appointed officers, employees and agents from and against any damage or injury to persons, including death, and/or property due to the negligence or willful acts by Corona, their elected and appointed officers, employees and agents in performing its duties and obligations, pursuant to this Agreement.

**4. Program Mission:** The mission of the Aviation Program established by this Agreement shall be to provide police air support services for the Corona Police Department. Such services shall include, but are not limited to, response to emergency calls for surveillance relating to in-progress felonies, crimes against persons and property, vehicle pursuits and similar activities.

The Aviation Program will be based upon a scheduled seven (7) day availability per week basis, for day and night operations.

The City of Corona will be added into the City of Riverside's area of operation and will be patrolled as-needed during scheduled flights ("As-Needed Flight Patrol"). As used herein, "As- Needed Flight Patrol" shall mean requests made by Corona, either through its command staff or dispatch, that Riverside determines in its sole and reasonable discretion can be accommodated.

**5. Compensation:** Riverside cannot guarantee an annual base number of flight hours in the City of Corona. Any specific, dedicated hours of flight time requested by Corona outside of the As-Needed Flight Patrol will be billed at the "Hourly Flight Rate" for that year provided for in Exhibit "A" attached hereto and incorporated herein by reference. Flight time will be billed in full hour increments, so any flight time of less than one hour will be rounded up to one hour. Riverside will track flight hours within the City of Corona in the same manner in which it tracks flight hours for other cost reimbursement purposes and shall provide a total of the flight hours to Corona on a quarterly basis. Riverside will fulfill the amount of flight time indicated in Exhibit "A," plus or minus seven (7) percent of the hours indicated, without any breach of contract.

On such occasions where there is a request or need for air support in the jurisdiction of both Parties simultaneously, the mission of the Aviation Program is to provide air support to the Party with the highest priority (nature) of call. Said determination as to which Party shall receive air support shall lie within the sole discretion of the Pilot in Command.

**6. Term:** The term of this Agreement shall be for a period of one

(1) year from July 1, 2021 through June 30, 2022, unless earlier terminated as provided for herein ("Term").

7. **Termination; Reimbursement:** At any time during the Term of this Agreement, either Party hereto shall have the right to terminate this Agreement, with or without cause, upon thirty (30) days written notice to the other Party. The effective date of such termination shall be the thirty-first (31st) day following the date of the notice of termination. If the Agreement is terminated before the natural expiration of the Term, Corona shall be entitled to a reimbursement of a pro-rated amount of the Riverside Compensation. The pro-rated amount shall be equivalent to the number of months remaining prior to natural expiration of the Term divided by twelve (12), multiplied by the Riverside Compensation.

8. **General Provisions:**

8.1 **Entire Agreement; Amendments.** This Agreement sets forth the entire understanding of the Parties and supersedes all prior agreements covering the same subject matter, including the Original Agreement, the First Amended Agreement, the Second Amended Agreement, and the Third Amended Agreement. This Agreement may be amended only by a written instrument duly approved by both Parties and executed by their authorized representatives.

8.2 **Successors and Assigns.** This Agreement shall be binding upon the successors and assigns of the Parties.

8.3 **Representatives.** Corona and Riverside hereby designate their respective Police Chiefs, or their designees, to act as their representatives for the performance of this Agreement. Each representative shall have the power to act on behalf of their respective Party in order to implement the purposes under this Agreement.

8.4 **Attorney Fees.** If either Party commences an action against the other Party arising out of or in connection with this Agreement, the prevailing Party in such action shall be entitled to have and recover from the non-prevailing Party (or the Party found to have breached this Agreement) reasonable attorneys' fees and costs.

8.5 **Authority to Approve and Implement.** The Parties have all requisite power and authority to execute, deliver, and perform the Agreement. The Parties warrant that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

8.6 **Third Party Rights.** Corona and Riverside agree that the provisions of this Agreement are not intended to create or clarify any rights in third parties not a party to this Agreement. In addition, no third party shall have any right of action hereunder. This Agreement shall not be enforceable by any parties other than Corona and Riverside.

8.7 **Governing Law.** This Agreement shall be governed by the laws of the State of California. Any action to interpret or enforce this Agreement shall be maintained in Riverside County.

8.8 **Counterparts.** This Agreement may be signed in counterparts, each of which shall constitute an original.

8.9 Privileges and Immunities. All privileges and immunities of Corona and Riverside provided by state or federal law shall remain in full force and effect.

8.10 Notices. Any notice required by this Agreement, or correspondence concerning this Agreement, shall be deemed to have been properly delivered, served, or given for all purposes when personally delivered to the Party to whom it is directed to, or in lieu of such personal service, when mailed, postage prepaid, to the representatives of the Parties shown below:

**CITY OF CORONA**

Attn: Police Chief  
Corona Police Department  
730 Corporation Yard Way  
Corona, CA 92880

**CITY OF RIVERSIDE**

Attn: Police Chief  
Riverside Police Department  
4102 Orange Street  
Riverside, CA 92501

Any Party may change its address for purposes of this paragraph by giving written notice of such change in the manner prescribed by this paragraph.

**[SIGNATURES ON NEXT PAGE]**

**SIGNATURE PAGE FOR**  
**FOURTH AMENDED**  
**AVIATION PROGRAM AGREEMENT**  
**BETWEEN THE CITY OF RIVERSIDE**  
**AND THE CITY OF CORONA**

**CITY OF RIVERSIDE**

By: \_\_\_\_\_  
Al Zelinka  
City Manager

ATTEST:

By: \_\_\_\_\_  
Donesia Gause  
City Clerk

APPROVED AS TO FORM:

By: \_\_\_\_\_  
Neil Okazaki  
Assistant City Attorney

**CITY OF CORONA**

By: \_\_\_\_\_  
Jacob Ellis  
City Manager

ATTEST:

By: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

APPROVED AS TO FORM:

By: \_\_\_\_\_  
Dean Derleth  
City Attorney

## EXHIBIT "A" - COST OF SERVICES

### July 1, 2021 - June 30, 2022

Riverside Compensation:	\$120,000.00
Annual Base Flight Hours:	-120- Hours
Hourly Flight Rate:	\$ 1,000.00
Average# flight hours/month:	10



Staff Report

---

**File #:** 21-0673

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Police Department

**SUBJECT:**

Establish termination date for Memorandum of Understanding between the City of Corona and the California Public Employees' Retirement System for the elected board member employer reimbursement of Police Sergeant Jason Perez, elimination of one Police Sergeant and associated budget adjustments.

**EXECUTIVE SUMMARY:**

City Council consideration to establish a termination date and approve the revised Memorandum of Understanding between the City of Corona and the California Public Employees' Retirement System for reimbursement of salary and benefits for the percentage of time that elected board member Police Sergeant Jason Perez is on leave from the City of Corona. The termination of the revised Memorandum of Understanding would result in the elimination of one Police Sergeant and associated budget adjustments.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the Memorandum of Understanding between the City of Corona and the California Public Employees' Reimbursement System for the elected board member employer reimbursement of Police Sergeant Jason Perez effective February 18, 2021, through June 1, 2021.
- b. Authorize the City Manager to execute the Memorandum of Understanding between the City of Corona and the California Public Employees' Reimbursement System for the elected board member employer reimbursement of Police Sergeant Jason Perez.
- c. Remove one full-time Police Sergeant, salary range 534-584 (\$8,639-\$11,086 per month), and reduce the Police Department's General Fund budget by \$235,222 for Fiscal Year 2022.

- d. Reduce General Fund revenue projections for Fiscal Year 2022 by \$176,416 based on the current employer reimbursement agreement, which is 75 percent of Jason Perez's salary/benefits as a Police Sergeant budgeted for Fiscal Year 2022.

**BACKGROUND & HISTORY:**

On October 04, 2018, City of Corona Police Sergeant Jason Perez was elected to the California Public Employees' Retirement System Board of Administration. With these new responsibilities, the California Public Employees' Retirement System Board of Administration approved a Memorandum of Understanding that provided compensation reimbursement to the City of Corona for 61 percent of Sergeant Perez's time related to the California Public Employees' Retirement System board activities.

On February 2, 2019, the City Council approved the Memorandum of Understanding and allowed the City Manager authority to execute any Memorandum of Understanding changes and or amendments in the employer reimbursement percentages based on board assignments and or responsibilities. At that time, one additional Police Sergeant was authorized to backfill a Police Sergeant position during Jason Perez's term on the California Public Employees' Retirement System's Board. Upon this approval, the Police Department's authorized number of Police Sergeants increased from twenty-one (21) to twenty-two (22) Police Sergeant positions. This approval included the condition that the authorized position count would revert back one Sergeant position upon the termination of Sergeant Perez's term on the California Public Employees' Retirement System Board. During the Fiscal Year 2020 budget process, the Police Department gained an additional Sergeant position for a total number of twenty-three (23) Sergeants.

In June 2020, the California Public Employees' Retirement System Memorandum of Understanding compensation reimbursement to the City of Corona was changed to 75 percent of Sergeant Perez's time related to board activities. This change was backdated, effective February 18, 2020.

**ANALYSIS:**

The new Memorandum of Understanding (MOU) with the California Public Employees' Retirement System (CalPERS) is effective February 18, 2021 and was approved by the CalPERS Board at the maximum allowable reimbursement of 75 percent.

Sergeant Perez was promoted to Lieutenant on June 5, 2021, and has resigned from the CalPERS Board of Administration effective June 1, 2021. As a result, this MOU will only be for reimbursement for the period of February 18, 2021, through June 1, 2021.

In addition, the Police Department will have a reduction in the number of Sergeants, bringing the number of Sergeants down to twenty-two (22) in the Fiscal Year (FY) 2022.

The City Attorney has reviewed and approved as to form the proposed MOU.

**FINANCIAL IMPACT:**

Establishing a termination date for the MOU with CalPERS will reduce FY 2022 revenues by \$176,416. In addition, a Police Sergeant position, previously approved as a backfill position, will be

removed and reduce the Police Department's General Fund FY 2022 budget by \$235,222.

<b>GENERAL FUND</b>	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	(23,983)
Current Estimated Revenue Over Expenditures [Note 1]	1,425,259
Appropriation Reduction - Remove One Police Sergeant	235,222
Revenue Reduction - Reduce for CalPERS MOU	(176,416)
<b>Revised Estimated Revenue Over Expenditures</b>	<b>\$ 1,484,065</b>
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,484,065
<b>Estimated Budget Balancing Measures Reserve - 06/30/22</b>	<b>\$ 29,149,660</b>

\* Approved through Council Action or other operational process.

*Note 1: Includes other General Fund items on the July 7, 2021 agenda.*

### **ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is a reimbursement agreement and there is no possibility this will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** MICHELLE ADAMS, MANAGEMENT ANALYST II

**REVIEWED BY:** ROBERT NEWMAN, CHIEF OF POLICE

### **Attachments:**

1. Exhibit 1 - California Public Employees' Retirement System Revised MOU effective February 18, 2021
2. Exhibit 2 - Perez California Public Employees' Retirement System Resignation
3. Exhibit 3 - California Public Employees' Retirement System Staff Report with attachments February 20, 2019
4. Exhibit 4 - California Public Employees' Retirement System MOU effective February 18, 2020





California Public Employees' Retirement System  
P.O. Box 942703  
Sacramento, CA 94229-2703  
TTY: (916) 795-3240  
(916) 795-7676 phone • (916) 795-9500 fax  
[www.calpers.ca.gov](http://www.calpers.ca.gov)

May 12, 2021

City of Corona  
Attn: Barbara Thierjung  
400 S. Vicentia Ave.  
Corona, CA 92882

Dear Board Member Employer,

Enclosed is the Memorandum of Understanding (MOU) for your employee Mr. Jason Perez, who is a member of the CalPERS Board of Administration. The reimbursement for Mr. Perez's paid salaries and benefits is based on the Board approved percentage of work time that he is serving on the CalPERS Board of Administration.

Please review the MOU and return the signed copy to the address below. If the completed form is not submitted timely, reimbursement payments may be delayed.

CalPERS  
FRAS Accounts Payable Unit  
P.O. Box 942703  
Sacramento, CA 94229-2703  
Attention: Tia Fassiotto  
[FCSD\\_AP\\_Invoice@CalPERS.CA.GOV](mailto:FCSD_AP_Invoice@CalPERS.CA.GOV)

If you have any questions, please contact Tia Fassiotto at (916) 795-0847.

*M. Zonneveld*  
Michelle Zonneveld  
Supervisor, Accounts Payable



California Public Employees' Retirement System  
P.O. Box 942703  
Sacramento, CA 94229-2703  
TTY: (916) 795-3240  
(916) 795-7676 phone (916) 795-7900 fax  
[www.calpers.ca.gov](http://www.calpers.ca.gov)

Date: May 12, 2021

## MEMORANDUM OF UNDERSTANDING (MOU)

To: City of Corona  
Attn: Barbara Thierjung  
400 S. Vicentia Ave.  
Corona, CA 92882

From: Michael Cohen  
Chief Financial Officer

A handwritten signature in black ink, appearing to read "Michael Cohen", written over the printed name and title.

Subject: **BOARD MEMBER EMPLOYER REIMBURSEMENT  
FOR JASON PEREZ EFFECTIVE FEBRUARY 18, 2021**

This is an agreement between City of Corona, and the California Public Employees' Retirement System, hereinafter called CalPERS.

### I. PURPOSE

This MOU is to notify the employer of a CalPERS elected Board Member of the procedure regarding the Board Member Employer Reimbursement of salary and benefits paid for the percentage of time the elected board member is on leave from the employing agency.

### II. REIMBURSEMENT RATE

Effective February 18, 2021, the CalPERS Board approved a maximum allowable reimbursement rate of **75 percent**. The employer will be reimbursed up to **75 percent** of total salary and benefit expenses, which is paid to the employee while the employee is conducting CalPERS Board related activities. The maximum allowable reimbursement percentage is effective as of the date of the change in Board position, committee assignment, or other assignment as approved by the CalPERS Board.

### III. PROCEDURES

To initiate the reimbursement process, the employer shall submit invoices (Attachment A) and the Board Member shall submit the Request for Employer Reimbursement Form (Attachment B) to CalPERS' Board Services Unit for reimbursement on a quarterly basis no later than 30 days after the end of the applicable quarter. The employer shall apply the percentage of time the Board Member spent performing CalPERS Board

duties each month to the salary and benefits paid. The invoices must include the items below:

- Board Member employer name and address
- Board Member name
- Billing period
- Total salary and benefits paid to the Board Member during each month of the applicable quarter
- Reimbursement percentage
- Requested reimbursement amount
- Board Member Employer contact information

The employer (via invoice) and Board Member (via the Request for Employer Reimbursement Form) shall certify that the amount of reimbursement requested constitutes the correct amount. If the employer fails to submit a timely invoice, the employer will forfeit the right to reimbursement from CalPERS.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Title

Attachments

## Board Member Employer

Accounting Dept.  
Street Address  
City, State, Zip  
Phone #:  
Fax #:  
[www.website.com](http://www.website.com)

Invoice #:  
Date:

TO: PUBLIC EMPLOYEES' RETIREMENT SYSTEM  
FRAS Administrative Accounting  
Attn: Michelle Zonneveld, Accounts Payable Supervisor  
PO Box 942703  
Sacramento, CA 94229-2703  
FCSD\_AP\_Invoice@CalPERS.CA.GOV

### DESCRIPTION:

### Board Member Employer Reimbursement

Board Member: \_\_\_\_\_

Billing Period: \_\_\_\_\_

Salary and Benefits:

	Month 1	Month 2	Month 3
Salary:	_____	_____	_____
Benefits:	_____	_____	_____
Total Salary and benefits:	_____	_____	_____
Reimbursement Percentage:	_____	_____	_____
Requested Reimbursement:	_____	_____	_____

**TOTAL REQUESTED REIMBURSEMENT:** \_\_\_\_\_

Employer Contact:

Name/Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_



**Board of Administration**  
California Public Employees' Retirement System

Policy for Approval of Reimbursement to State, School and  
Public Agency Employers of Board Members

**REQUEST FOR EMPLOYER REIMBURSEMENT FORM**

**To be submitted to CalPERS Executive Office  
Board Member Services Unit**

Name of Board Member: \_\_\_\_\_

Name of State, School, or  
Public Agency Employer: \_\_\_\_\_

Request Period: \_\_\_\_\_

I request that CalPERS approve reimbursing my employer for the salary and benefits paid to me while I am fulfilling my responsibilities and duties as an elected CalPERS Board member.

In making this request, I certify that for the period of \_\_\_\_\_ to \_\_\_\_\_, I spent \_\_\_\_\_ hours fulfilling my responsibilities and duties as an elected CalPERS Board member, as follows:

Check Those That Apply	Category	Hours	No. of Months	Total
X	Baseline hours	105	x	
	Serving as Board President	46	x	
	Serving as Chair of a Standing Committee	9	x	
	Serving as Chair of an Ad Hoc Committee or Subcommittee	6	x	
	Serving as Vice President of the Board	5	x	
	Serving as Vice Chair of a Standing Committee	3	x	

	Attached is documentation for those hours spent on fulfilling the following additional Board duties:	
	1. _____	
	2. _____	
	3. _____	
	4. _____	
	5. _____	
Total hours:		

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

The employer shall submit an invoice requesting reimbursement, to the Financial Office (FINO), on a quarterly basis not later than 30 days after the end of the quarter and apply the annual percentage to salary and benefits paid to this Board member per the MOU. FINO submits the invoice to BSU for review and approval. BSU submits approved invoice, with the Request for Employer Reimbursement form attached, to FINO. The employer (via invoice) and Board Member (via the Request for Employer Reimbursement Form) shall certify that the amount of reimbursement requested constitutes the correct amount.

FINO submits the invoice and Request for Employer Reimbursement form to the CalPERS Chief Financial Officer for review and CalPERS Chief Executive Officer or designee for approval.

Information contained herein have been reviewed and verified by Board Services Unit.

\_\_\_\_\_  
Reviewed by

\_\_\_\_\_  
Date

---

---

**INTEROFFICE MEMORANDUM**

---

---

**TO:** HENRY JONES, CALPERS BOARD PRESIDENT  
**FROM:** JASON PEREZ, CALPERS BOARD MEMBER  
**SUBJECT:** RESIGNATION  
**DATE:** JUNE 1, 2021

---

Mr. Jones,

This memorandum should serve as my resignation from the CalPERS Board of Administration, effective immediately. Circumstances at work dictate my resignation, but I want to thank you and the entire CalPERS Team for the time I spent on the Board.

Respectfully,



Jason Perez



Agenda Report

---

File #: 19-0130

---

**AGENDA REPORT  
REQUEST FOR CITY COUNCIL ACTION**

DATE: 2/20/2019

TO: Honorable Mayor and City Council Members

FROM: Police Department

**SUBJECT:**

City Council consideration of a Memorandum of Understanding (MOU) between the California Public Employee's Retirement System (CalPERS) and the City of Corona for the elected board member employer reimbursement of Jason Perez and a General Fund appropriation request of \$97,613 for backfilling Jason Perez's position as a Police Sergeant and increase General Fund revenue by \$73,145, per reimbursement, for Fiscal Year 2018-19, and adjust all revenues and expenditures as required for the duration of his elected terms served.

**RECOMMENDED ACTION:**

That the City Council:

1. Approve the Memorandum of Understanding (MOU) between California Public Employee's Retirement System (CalPERS) and the City of Corona for the elected board member employer reimbursement of Jason Perez.
2. Authorize the City Manager to execute the Memorandum of Understanding (MOU) between California Public Employee's Retirement System (CalPERS) and the City of Corona for the elected board member employer reimbursement of Jason Perez.
3. Authorize an increase of the General Fund revenue projections by \$73,145 for the CalPERS employer reimbursement which is sixty-one (61) percent of Jason Perez's salary/benefits as a Police Sergeant, based on the Fiscal Year 2018-19 costs and prorated effective for January 16, 2019.
4. Authorize one Police Sergeant position, range 532-572, (\$8,553 - \$10,442) with a five (5) percent special assignment pay, to backfill a Police Sergeant position, while Jason Perez is on the CalPERS Board.



5. Appropriate \$97,613 from the General Fund for a backfill Police Sergeant position, with \$73,145 of the costs being offset with the CalPERS employer reimbursement, and the remaining \$24,468 from the available General Fund Balance.
6. Authorize the City Manager to execute any other MOU changes and/or amendments which allow for changes in the employer reimbursement percentages. These percentages can change based on any further CalPERS board assignments and/or responsibilities, later possible re-election, while employee is serving in the elected position.

**ANALYSIS:**

On October 04, 2018, Jason Perez, a Corona Police Sergeant, was successfully elected to the California Public Employee's Retirement System (CalPERS) Board of Administration. With this responsibility, the CalPERS Board of Administration approved an MOU that allows up to sixty-one (61) percent compensation reimbursement to the City of Corona, for Sergeant Perez's time as related to CalPERS board activities. The City will be required to submit invoices for quarterly reimbursement.

The Police Department is requesting that the funding for Sergeant Perez be allocated to backfill his Police Sergeant position, while he serves as an elected board member. Since the reimbursement is at sixty-one (61) percent, it is requested that the General Fund provide the remaining funding to complete the backfilled Police Sergeant's position's cost.

Currently, the Police Department is authorized twenty-one (21) Police Sergeant positions and this recommended action will temporarily increase the authorization to twenty-two (22) Police Sergeant positions, while Sergeant Perez serves his elected term. The authorized position count will revert to twenty-one (21), upon termination of Sergeant Perez's elected CalPERS duties.

Additionally, since Sergeant Perez's term may involve appointments to other CalPERS committees and responsibilities, it is recommended that the City Manager be delegated the authority to work with CalPERS for any MOU revisions and to direct the Administrative Services Department in any revised invoice reimbursements and budget changes accordingly.

Sergeant Perez's annual full-time equivalent hours are 2080, with CalPERS reimbursing sixty-one (61) percent or approximately 1260 hours. CalPERS has indicated if Sergeant Perez is assigned additional board duties, the City will be reimbursed additional monies for this as follows:

- Serving as president at 552 hours
- Serving as chair of a standing committee at 108 hours
- Serving as chair of an ad hoc committee at 72 hours
- Serving as vice president of the board at 60 hours
- Serving as vice chair of a standing committee 36 hours

The MOU effective date begins January 16, 2019, with no ending date listed, an elected board members term is for four (4) years. Currently, Sergeant Perez's term is from 2019 to 2023.

The City Attorney has reviewed and approved as to form the agreement.

**COMMITTEE ACTION:**

Not applicable.

**STRATEGIC PLAN:**

Not applicable.

**FISCAL IMPACT:**

The City of Corona will be reimbursed sixty-one (61) percent of Sergeant Perez's salary/benefits for his elected board duties. The Police Department is requesting a backfilled Police Sergeant position, during Sergeant Perez's elected board term, using the CalPERS reimbursement, with the difference being funded from the available General Fund balance. Prorated costs for the reimbursement are effective beginning January 16, 2019. The back-filled position is prorated effective February 21, 2019. Below are the estimated costs and reimbursements, prorated for Fiscal Year 2018-19 and future annual totals:

Estimated Prorated FY 2018-19 Cost:

Police Sergeant Jason Perez's position (5.5 mos.)	\$119,909.00
CalPERS reimbursement at 61% =	\$ 73,145.00

Backfill, one Police Sergeant position (4.5 mos.)	\$ 97,613.00
<u>CalPERS reimbursement offset</u>	<u>(\$ 73,145.00)</u>
Net General Fund Impact - Prorated	\$ 24,468.00

Future Estimated Annual Cost:

Police Sergeant Jason Perez's position	\$271,495.00
CalPERS reimbursement at 61%	\$165,612.00

Backfill, one Police Sergeant position	\$269,510.00
<u>CalPERS reimbursement offset</u>	<u>(\$165,612.00)</u>
Net General Fund Impact - Annual	\$103,898.00

<b>GENERAL FUND</b>	
Budget Workshop May 23, 2018 - Estimated Revenue Over Expenditures	\$6,626,911
Previously approved budget adjustments (net)	(5,976,016)
Current Estimated Revenue Over Expenditures*	650,895
Appropriation - Police Sergeant Position Revenue - Reimbursement from CalPERS	(97,613) 73,145
<b>Revised Estimated Revenue Over Expenditures</b>	<b>\$626,427</b>
Budget Balancing Measures Reserve - Actual 6/30/18	\$25,182,735
Estimated FY 2018-19 Change in Budget Balancing Measures	626,427
<b>Budget Balancing Measures Reserve - Estimated Balance 06/30/19</b>	<b>\$25,809,162</b>

**ENVIRONMENTAL ANALYSIS:**

No environmental review is required because the proposed action is exempt under the California Environmental Quality Act.

**PREPARED BY:** BARBARA THIERJUNG, PUBLIC SAFETY FINANCE DEPUTY DIRECTOR

**REVIEWED BY:** JERRY RODRIGUEZ, POLICE CAPTAIN

**REVIEWED BY:** GEORGE JOHNSTONE, CHIEF OF POLICE

**REVIEWED BY:** KERRY D. EDEN, ASSISTANT CITY MANAGER/ADMINISTRATIVE SERVICES DIRECTOR

**REVIEWED BY:** MICHELE NISSEN, ASSISTANT CITY MANAGER

**SUBMITTED BY:** DARRELL TALBERT, CITY MANAGER

**Attachment:**

1. Memorandum of Understanding between the City of Corona and the California Public Employees' Retirement System



California Public Employees' Retirement System  
P.O. Box 942703  
Sacramento, CA 94229-2703  
TTY: (916) 795-3240  
(916)795-7676 phone, (916)795-7900 fax  
[www.calpers.ca.gov](http://www.calpers.ca.gov)

Date: January 15, 2019

## MEMORANDUM OF UNDERSTANDING (MOU)

To: City of Corona  
Attn: Barbara Thierjung  
400S. Vicentia Ave.  
Corona, CA 92882

From: Marcie Frost  
Chief Executive Officer

Subject: **BOARD MEMBER EMPLOYER REIMBURSEMENT  
FOR JASON PEREZ EFFECTIVE JANUARY 16, 2019**

This is an agreement between City of Corona, and the California Public Employees' Retirement System, hereinafter called CalPERS.

### I. PURPOSE

This MOU is to notify the employer of a CalPERS elected Board Member of the procedure regarding the Board Member Employer Reimbursement of salary and benefits paid for the percentage of time the elected board member is on leave from the employing agency.

### II. REIMBURSEMENT RATE

The CalPERS Board of Administration approves the maximum allowable reimbursement percentage which is effective as of the date of the change in Board, committee, or other assignment. The maximum allowable reimbursement rate of up to **61 percent**, effective January 16, 2019, has been approved by the CalPERS Board of Administration. Based upon the number of actual hours spent performing board duties, the employer shall apply the calculated percentage, up to the maximum, to the salary and benefit expenses paid to the employee.

### III. PROCEDURES

To initiate the reimbursement process, the employer shall submit invoices to CalPERS' Board Services Unit for reimbursement on a quarterly basis no later than 30 days after the end of the applicable quarter (Attachment A). The invoices must include the items below:

- Board Member employer name and address
- Board Member name
- Billing period
- Total salary and benefits paid to the Board Member during each month of the applicable quarter
- Reimbursement percentage
- Requested reimbursement amount
- Board Member Employer contact information

If the employer fails to submit a timely invoice, the employer will forfeit the right to reimbursement from CalPERS.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Title

Attachment

**Board Member Employer**

Accounting Dept.  
 Street Address  
 City, State, Zip  
 Phone #  
 Fax #  
[www.website.com](http://www.website.com)

Invoice #:

Date:

**TO:** PUBLIC EMPLOYEES' RETIREMENT SYSTEM  
 Administrative Accounting  
 Attn: Melissa Bryant, Accounts Payable Supervisor  
 PO Box 942703  
 Sacramento, CA 94229-2703

## DESCRIPTION:

***Board Member Employer Reimbursement***

## AMOUNT

Board Member: \_\_\_\_\_

Billing Period: \_\_\_\_\_

## Salary and Benefits:

Month 1: Salary: \_\_\_\_\_ Benefits: \_\_\_\_\_

Month 2: Salary: \_\_\_\_\_ Benefits: \_\_\_\_\_

Month 3: Salary: \_\_\_\_\_ Benefits: \_\_\_\_\_

Total salary and benefits: \_\_\_\_\_

Reimbursement Percentage: \_\_\_\_\_

**TOTAL REQUESTED REIMBURSEMENT:**

\$ \_\_\_\_\_

## Employer contact:

Name/Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Employer: \_\_\_\_\_



California Public Employees' Retirement System  
P.O. Box 942703  
Sacramento, CA 94229-2703  
TTY: (916) 795-3240  
(916)795-7676 phone, (916)795-7900 fax  
[www.calpers.ca.gov](http://www.calpers.ca.gov)

Date: May 29, 2020

## MEMORANDUM OF UNDERSTANDING (MOU)

To: City of Corona  
Attn: Barbara Thierjung  
400 S. Vicentia Ave.  
Corona, CA 92882

From: Michael Cohen  
Chief Financial Officer

A handwritten signature in blue ink, appearing to read "Michael Cohen", is written over the printed name and title.

Subject: **BOARD MEMBER EMPLOYER REIMBURSEMENT  
FOR JASON PEREZ EFFECTIVE FEBRUARY 18, 2020**

This is an agreement between City of Corona, and the California Public Employees' Retirement System, hereinafter called CalPERS.

### I. PURPOSE

This MOU is to notify the employer of a CalPERS elected Board Member of the procedure regarding the Board Member Employer Reimbursement of salary and benefits paid for the percentage of time the elected board member is on leave from the employing agency.

### II. REIMBURSEMENT RATE

Effective February 18, 2020, the CalPERS Board approved a maximum allowable reimbursement rate of **75 percent**. The employer will be reimbursed up to **75 percent** of total salary and benefit expenses, which is paid to the employee while the employee is conducting CalPERS Board related activities. The maximum allowable reimbursement percentage is effective as of the date of the change in Board position, committee assignment, or other assignment as approved by the CalPERS Board.

### III. PROCEDURES


To initiate the reimbursement process, the employer shall submit invoices (Attachment A) and the Board Member shall submit the Request for Employer Reimbursement Form (Attachment B) to CalPERS' Board Services Unit for reimbursement on a quarterly basis no later than 30 days after the end of the applicable quarter. The employer shall apply the percentage of time the Board Member spent performing CalPERS Board



duties each month to the salary and benefits paid. The invoices must include the items below:

- Board Member employer name and address
- Board Member name
- Billing period
- Total salary and benefits paid to the Board Member during each month of the applicable quarter
- Reimbursement percentage
- Requested reimbursement amount
- Board Member Employer contact information

The employer (via invoice) and Board Member (via the Request for Employer Reimbursement Form) shall certify that the amount of reimbursement requested constitutes the correct amount. If the employer fails to submit a timely invoice, the employer will forfeit the right to reimbursement from CalPERS.

  
Signature  
JACOB ELLIS  
Print Name

6-25-2020  
Date  
City Manager  
Title

Attachments





Staff Report

---

**File #:** 21-0674

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Human Resources Department

**SUBJECT:**

Collective Bargaining Agreements Side Letters and Extension of Professional Services Agreement with Liebert Cassidy Whitmore for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues.

**EXECUTIVE SUMMARY:**

The City is currently engaged in labor negotiations with all five bargaining associations. Due to the complex nature of the current negotiations, the Corona General Employees Association ("CGEA") has entered into a Side Letter to extend the current Memorandum of Understanding ("MOU").

The City has entered into a Side Letter with Corona Supervisors Association ("CSA") to allow for the rollover of 80 hours of Executive Leave from Fiscal Year 2021 to Fiscal Year 2022. This will modify section 7.2 of the current MOU.

City Council Consideration of Approval of a Third Amendment to the Agreement with Liebert Cassidy Whitmore (LCW) for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues; Approve budgetary transfer of \$200,000 from General Government to the Human Resources budget for LCW's services.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the Side Letter of Agreement Extending the 2019-2021 Memorandum of Understanding between the City of Corona and the Corona General Employees Association.
- b. Approve the Side Letter of Agreement Modifying Section 7.2 of the 2019-2021 Memorandum of Understanding between the City of Corona and the Corona Supervisors Association.

- c. Approve the Third Amendment to the Professional Services Agreement with Liebert Cassidy Whitmore for the additional amount of \$200,000, increasing the total compensation amount from \$200,000 to \$400,000, for additional legal services related to labor negotiations.
- d. Authorize the Purchasing Agent to increase Purchase Order B210312 for Liebert Cassidy Whitmore from \$200,000 to \$400,000.
- e. Approve a General Fund budgetary transfer of \$200,000 from General Government operating budget to Human Resources Department's operating budget.

**BACKGROUND & HISTORY:**

The City entered into an MOU with CGEA in 2019 with an expiration date of June 30, 2021. The Parties are currently negotiating for a successor MOU and believe the process will take additional time beyond the expiration of the MOU, as the negotiations involve both significant re-writes to MOU provisions as well as consideration of a classification and compensation study that the City had a consultant prepare in anticipation of negotiations. The Parties have agreed to an extension of their MOU in exchange for a lump sum payment being made to each member of the bargaining unit.

Section 7.2 of the 2019-2021 MOU between the City and CSA provides that members of the unit who are exempt from overtime shall have the ability to use Executive Leave. The current provision of Executive Leave provides that if an employee has any Executive Leave that they have not used by June 30 of each fiscal year, that leave will not roll over for use in the subsequent fiscal year. Although the parties are currently negotiating for a successor MOU and may modify any of the provisions in the MOU, including the provision on Executive Leave. The City has advised the CSA that on June 30, 2021, it wants to permit CSA members who have unused Executive Leave to be able roll over up to 80 hours of Executive Leave for use in Fiscal Year 2021-2022.

The City is currently under contract with Liebert Cassidy Whitmore for services including special legal consultation, review, analysis, and opinion regarding labor negotiations and other issues related to the Ninth Circuit Flores v. City of San Gabriel decision.

The initial Letter Agreement was entered into on June 4, 2020, through June 30, 2021, for \$10,000. The First Amendment to this contract, signed on August 17, 2020, increased the compensation amount from \$10,000 to \$100,000. On April 7, 2021, the City approved an extension through June 30, 2022, for an additional \$100,000. Based on the remaining amount of work for labor negotiations, the Human Resources Department is requesting an increase in total compensation amount from \$200,000 to \$400,000.

**ANALYSIS:**

In signing the Side Letter of Agreement with CGEA:

- a. The Parties agree that the expiration date of their current MOU is extended to November 15,

2021.

- b. The City agrees that each member of the bargaining unit represented by CGEA as of June 30, 2021, will receive a one-time lump sum payment of one thousand, one hundred and fifty-five dollars and forty-five cents (\$1,155.45) on July 16, 2021.
- c. The City agrees that if the Parties are able to reach an agreement on a successor MOU before November 15, 2021, the MOU will go into effect on the first day of the pay period following City Council approval (following CGEA ratification) of the MOU.
- d. The City agrees that it will continue to roll-up the medical insurance premiums into the overtime rate of CGEA members until the earlier of the first date of the Parties' successor MOU or November 15, 2021.

In signing the Side Letter of Agreement with CSA:

- a. Modify the Executive Leave provisions (Section 7.2) of the 2019-2021 Memorandum of Understanding.
- b. The Parties agree that if any CSA bargaining unit member has unused Executive Leave on June 30, 2021, they may roll over up to 80 hours of Executive Leave for use in Fiscal Year 2021-2022.

Staff recommends a Third Amendment to Letter Agreement for Liebert Cassidy Whitmore and for City Council to approve an increase to the total compensation.

The scope of work consists of:

- Special legal consultation
- Review
- Analysis and opinion regarding labor negotiations
- Other issues related to the Ninth Circuit Flores v. City of San Gabriel decision

Compensation for the above Services shall be based on the actual amount of time spent in adequately performing the Services and shall be billed at the hourly rate. The total compensation, including authorized expenses, shall not exceed Four Hundred Thousand Dollars and No Cents (\$400,000) ("Total Compensation"). Contractor's invoice shall include a detailed description of the Services performed. Invoices shall be submitted to the City monthly as performance of the Services progresses. City shall review and pay the approved charges on such invoices in a timely manner.

**FINANCIAL IMPACT:**

The financial impact of the Side Letter with CGEA is \$302,260, based on active membership at the time this report was prepared. The total includes the Medicare and Unemployment Insurance contributions. The following is a breakdown by funding source:

General Fund	DWP Funds	Other Funds	Total
\$ 165,195.80	\$ 100,245.60	\$ 36,818.60	\$ 302,260.00

There is not a current financial impact for the Side Letter with the CSA group. The employees that are eligible for the executive leave and have a balance as of June 30, 2021 will carry forward a balance of 80 hours into Fiscal Year 2022. Executive Leave does not have a cash value.

Approval for the Third Amendment will result in a budget transfer for \$200,000 from General Government to the Human Resources Department.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. There is no possibility that the acceptance of this report will have a significant effect on the environment.

**PREPARED BY:** KYLIE LUJAN, HUMAN RESOURCES SUPERVISOR

**REVIEWED BY:** ANGELA RIVERA, CHIEF TALENT OFFICER

**Attachments:**

1. Exhibit 1 - Side Letter of Agreement between the City of Corona and Corona General Employees Association.
2. Exhibit 2 - Side Letter of Agreement between the City of Corona and Corona Supervisors Association
3. Exhibit 3 - Third Amendment to Letter Agreement for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues Between the City of Corona and Liebert Cassidy Whitmore

## **SIDE LETTER OF AGREEMENT**

BETWEEN

**CITY OF CORONA**

AND

**CORONA GENERAL EMPLOYEES ASSOCIATION**

This Side Letter of Agreement ("Agreement") between the City of Corona ("City") and the Corona General Employees Association ("CGEA") is entered into with respect to the following:

**WHEREAS**, the Parties are parties to a Memorandum of Understanding (MOU) that expires on June 30, 2021; and

**WHEREAS**, the Parties are currently negotiating for a successor MOU, and believe the process will take additional time beyond the expiration of the MOU, as the negotiations involve both significant re-writes to MOU provisions as well as consideration of a classification and compensation study that the City had a consultant prepare in anticipation of negotiations; and

**WHEREAS**, the Parties have agreed to an extension of their MOU in exchange for a lump sum payment being made to each member of the CGEA bargaining unit on June 30, 2021 as set forth below; and

**WHEREAS**, the following sets forth the Parties' Agreement:

1. The Parties agree that the expiration date of their current MOU is extended to November 15, 2021.
2. The City agrees that each member of the bargaining unit represented by CGEA as of June 30, 2021 will receive a one-time lump sum payment of one thousand, one hundred and fifty-five dollars and forty-five cents (\$1,155.45) on July 16, 2021.
3. The City agrees that if the Parties are able to reach an agreement on a successor MOU before November 15, 2021, the MOU will go into effect on the first day of the pay period following City Council approval (following CGEA ratification) of the MOU.

4. The City agrees that it will continue to roll-up the medical insurance premiums into the overtime rate of CGEA members until the earlier of the first date of the Parties' successor MOU or November 15, 2021.

**FOR THE CITY OF CORONA**

DocuSigned by:

*Jacob Ellis*

8CB6AED0895944B4...

Jacob Ellis

City Manager

6/27/2021

Date

DocuSigned by:

*Angela Rivera*

34926F021C634BF...

Angela Rivera

Chief Talent Officer

6/29/2021

Date

**FOR THE CORONA GENERAL EMPLOYEES ASSOCIATION**

DocuSigned by:

*Paul De La Hoya*

698494CB6AC2479...

Paul De La Hoya

President, CGEA

6/29/2021

Date

DocuSigned by:

*Lynsey Walker*

A885592221EF4B5...

Lynsey Walker

Vice President, CGEA

6/29/2021

Date

**APPROVED AS TO FORM**

DocuSigned by:

*Peter Brown*

39F1B2F7AD604D5...

Peter J. Brown

Attorney for City of Corona

6/29/2021

Date

DocuSigned by:

*Robert Wexler*

49510316FD10449...

Robert Wexler

Attorney for CGEA

6/29/2021

Date

## SIDE LETTER OF AGREEMENT

BETWEEN

CITY OF CORONA

AND

CORONA SUPERVISORS ASSOCIATION

This Side Letter of Agreement ("Agreement") between the City of Corona ("City") and the Corona Supervisors Association ("CSA") is entered into with respect to the following:

**WHEREAS**, the Parties are parties to a Memorandum of Understanding (MOU) that expires on June 30, 2021; and

**WHEREAS**, one of the provisions in the Parties' MOU provides that members of the unit who are exempt from overtime shall have the ability to use Executive Leave; and

**WHEREAS**, the current provision of Executive Leave provides that if an employee has any Executive Leave that they have not used by June 30 of each fiscal year, that leave will not roll over for use in the subsequent fiscal year; and

**WHEREAS**, although the parties are currently negotiating for a successor MOU, and may modify any of the provisions in the MOU, including the provision on Executive Leave, the City has advised the CSA that on June 30, 2021, it wants to permit CSA members who have unused Executive Leave to be able roll over up to 80 hours of Executive Leave for use in fiscal year 2021-22; and

**WHEREAS**, the following sets forth the Parties' Agreement:

1. The Parties agree that if any CSA bargaining unit member has unused Executive Leave on June 30, 2021, they may roll over up to 80 hours of Executive Leave for use in fiscal year 2021-22.

**FOR THE CITY OF CORONA**

DocuSigned by:

*Jacob Ellis*

8CB6AE0895944B4...

Jacob Ellis

City Manager

6/21/2021

Date

DocuSigned by:

*Angela Rivera*

34926F621C634BF...

Angela Rivera

Chief Talent Officer

6/22/2021

Date

**FOR THE CORONA SUPERVISORS ASSOCIATION**

DocuSigned by:

*Cynthia Lara*

E95FB2F7259C472...

Cynthia Lara  
President, CSA

6/23/2021

Date

**APPROVED AS TO FORM**

DocuSigned by:

*Peter Brown*

39F1B2F7AD604D5...

Peter J. Brown  
Negotiator for City of Corona

6/23/2021

Date

DocuSigned by:

*Richard W. Wurts*

F3C352D129AB465...

Richard W. Wurts  
Negotiator for CGEA

6/23/2021

Date



**THIRD AMENDMENT TO  
LETTER AGREEMENT FOR SPECIAL LEGAL SERVICES RELATED TO LABOR  
NEGOTIATIONS AND FLORES OVERTIME ISSUES  
BETWEEN THE CITY OF CORONA  
AND  
LIEBERT CASSIDY WHITMORE**

**1. PARTIES AND DATE.**

This Third Amendment to the Letter Agreement for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues ("Third Amendment") is made and entered into this 7th day of July, 2021 by and between the City of Corona ("City") and Liebert Cassidy Whitmore ("Contractor"). City and Contractor are sometimes individually referred to as "Party" and collectively as "Parties" in this Third Amendment.

**2. RECITALS.**

2.1 Agreement. City and Contractor entered into that certain Letter Agreement dated June 4, 2020 ("Agreement"), whereby Contractor agreed to provide for assistance with labor negotiations, other employment and labor law matters, and Flores Overtime issues ("Project").

2.2 First Amendment. City and Contractor entered into that certain First Amendment to the Letter Agreement on or about August 17, 2020 by which the compensation was raised from \$10,000 to \$100,000 ("First Amendment").

2.3 Second Amendment. City and Contractor entered into that certain Second Amendment to the Letter Agreement on or about April 7, 2021 by which the term was extended from June 30, 2021 to June 30, 2022 and the compensation was raised from \$100,000 to \$200,000 ("Second Amendment").

2.4 Third Amendment. City and Contractor desire to amend the Letter Agreement for the Third time to raise the total compensation amount from \$200,000 to \$400,000.

**3. TERMS.**

3.1 Compensation: Paragraph Five of the Agreement, First Amendment and Second Amendment is hereby deleted in its entirety and replaced with the following:

" COMPENSATION: Compensation for the above Services shall be based on the actual amount of time spent in adequately performing the Services, and shall be billed at the hourly rate of \$380 for partners (including Peter Brown), \$325 for senior counsel, \$210-\$305 for associates, \$240 labor relations/FIR consultants; \$135 for paralegals and \$135-\$175 for law clerks. Reasonable expenses incurred in performing the Services, including if applicable mileage expenses not-to-exceed the I.R.S.

reimbursement rate, and photocopy charges at \$0.15 per page, shall be allowable if approved by the City Manager. Expenses in excess of \$100 shall not be reimbursable unless approved in advance by the City Attorney. The total compensation, including authorized expenses, shall not exceed Four Hundred Thousand Dollars and No Cents (\$400,000) ("Total Compensation") without written approval of the City Manager. Contractor's invoice shall include a detailed description of the Services performed. Invoices shall be submitted to the City monthly as performance of the Services progresses. City shall review and pay the approved charges on such invoices in a timely manner. "

3.2 Continuing Effect of Agreement. Except as amended by this Third Amendment, all provisions of the Letter Agreement shall remain unchanged and in full force and effect. From and after the date of this Third Amendment, whenever the term "Agreement" appears in the Letter Agreement, it shall mean the Letter Agreement as amended by this Third Amendment.

3.3 Adequate Consideration. The Parties hereto irrevocably stipulate and agree that they have each received adequate and independent consideration for the performance of the obligations they have undertaken pursuant to this Third Amendment.

3.4 Counterparts. This Third Amendment may be executed in duplicate originals, each of which is deemed to be an original, but when taken together shall constitute but one and the same instrument.

**[SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR THIRD AMENDMENT TO  
LETTER AGREEMENT FOR SPECIAL LEGAL SERVICES RELATED TO LABOR  
NEGOTIATIONS AND FLORES OVERTIME ISSUES  
BETWEEN THE CITY OF CORONA  
AND  
LIEBERT CASSIDY WHITMORE**

IN WITNESS WHEREOF, the Parties have entered into this Third Amendment to the Letter Agreement for Special Legal Services Related to Labor Negotiations and Flores Overtime Issues as of the 7th day of July, 2021.

**CITY OF CORONA**

*Approved By:*

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name (Print)

\_\_\_\_\_  
Title (Print)

Attest:

\_\_\_\_\_  
Sylvia Edwards  
*City Clerk*

**CONTRACTOR**  
**Liebert Cassidy Whitmore**

Reviewed and Accepted by Contractor

  
\_\_\_\_\_  
Signature

\_\_\_\_\_  
J. Scott Tiedemann  
Name (Print)

\_\_\_\_\_  
Managing Partner  
Title (Print)



Staff Report

---

**File #:** 21-0658

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Community Services Department

**SUBJECT:**

Award of Contract to Tropical Plaza Nursery, Inc. for Landscape Maintenance District 84-2 in Zones 10 and 15.

**EXECUTIVE SUMMARY:**

The City of Corona was notified by Greentech Landscape Inc. that it is cancelling its contract for landscape maintenance services in Landscape Maintenance District (LMD) 84-2 in zones 10 and 15 areas for Fiscal Year (FY) 2022 through FY 2026, had they continued to exercise all of their terms. Greentech Landscape Inc. was awarded a contract to serve these areas a year ago. In an effort to ensure that these zones are promptly and appropriately served, the Community Services Department and Purchasing Division collaboratively worked together to award a contract to the next responsible bidder. Tropical Plaza Nursery, Inc. was the next responsible bidder after Greentech Landscape from NIB 20-061SB. Awarding this contract will provide regular landscape and irrigation maintenance for the residents in the Green River area.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the cancellation and contract award to Greentech Landscape, Inc. for bid No. Notice Inviting Bid 20-061SB Landscaping Maintenance for Area 2 in the City of Corona.
- b. Award contract for Notice Inviting Bid 20-061SB to Tropical Plaza Nursery, Inc. for landscape maintenance services for Area 2 for a one-year initial contract period in the amount of \$456,460; and waive any and all minor irregularities in the bidding documents as submitted by said bidder.
- c. Authorize the City Manager, or his designee, to execute the Maintenance and General Services Agreement with Tropical Plaza Nursery, Inc., and to approve any necessary non-substantive

change orders or amendments and unencumbered contingencies up to \$25,000.

- d. Authorize the City Manager, or his designee, to negotiate and execute four one-year agreement renewals under the terms provided for in this report and the Agreement and in a form approved by the City Attorney.
- e. Authorize the Purchasing Agent to issue yearly purchase orders in accordance with the duly authorized and executed agreements, change orders, amendments, and renewals.
- f. Authorize an appropriation of \$40,000 (\$35,000 in LMD 84-2, Zone 10 Fund 460, \$4,000 in LMD 84-2, Zone 15 Fund 462 and \$1,000 in the General Fund) to the Community Services' operating budget for the additional landscape maintenance costs.

### **BACKGROUND & HISTORY:**

The Landscape Maintenance District (LMD) zones 10 and 15 are situated in the gateway into Corona, right off the exit of the 91 freeway from Green River Road. Communities such as Sierra Bella, Sierra Del Oro, and Deer Valley are situated in this LMD. This LMD, like all the LMDs throughout the City, should be maintained to the Corona Standard. Tropical Plaza Nursery, Inc. has more than 10 years of experience maintaining this area and staff is confident that the LMD maintenance will meet residents' expectations.

In 2020, City staff issued a Notice Inviting Bid for the landscape maintenance services for the LMDs for zones 10 and 15. The result of the Notice of Invitation to Bid (NIB) was awarded to Greentech Landscape, a new company based out in Whitter, California. Although Tropical Plaza Nursery, Inc. had been maintaining this area for many years and was familiar with Corona, Greentech Landscaping was awarded the contract because they had the lowest bid amount.

On July 1, 2020, Greentech Landscape started their services, and it was evident that the vendor had significantly underestimated the scope of work required to conduct the landscape maintenance. Staff worked diligently with the vendor to keep the areas maintained to a standard that was appropriate. Staff also provided many punch lists to the contractor with deadlines to ensure the residents in the Green River area were receiving the services they deserve. However, City staff has received several complaints from residents about the quality of landscape maintenance services. It was clear that the vendor was unable to meet the expectations and the scope of work required to ensure the quality of service that is expected.

This continued throughout the last fiscal year, and as the end of FY 2021 approached, Greentech Landscape expressed to the City that they no longer wished to continue the contract. The departure of Greentech Landscape leaves a vacancy in zones 10 and 15. After strategic evaluation, staff would like to award the bid to Tropical Plaza Nursery, Inc.

Tropical Plaza Nursery, Inc. has a proven track record in Corona and understand the quality expectations of the City of Corona. Any interruption to service in these highly visible LMDs would impact the Community Services staff significantly. Additionally, in this high fire season, there are significant risks in not maintaining the multiple fire breaks in the area and conducting regular fuel

modifications along the slopes in this LMD. The Community Services Department worked with the Purchasing division to explore options to contract with a new vendor in time for the new FY 2022. However, as staff evaluated the relationship that the City has had with Tropical Plaza Nursery, Inc. for more than 10 years, as well as the knowledge that the vendor has of Corona's standards and expectations, the recommendation was to award the contract to Tropical Plaza Nursery, Inc.

The vendor agreed to honor their bid pricing, which will allow for the City to get award a contract at the proper amount to execute the scope of work for landscaping maintenance in LMD zones 10 and 15. As such, staff is recommending to the City Council to appropriate approximately \$40,000 which will meet the true costs of the amount needed to execute the scope of work that is required to meet the Corona Standard.

#### **ANALYSIS:**

A Notice Inviting Bids (NIB) was issued by the Purchasing division on behalf of the Maintenance Services Department for landscape maintenance including miscellaneous as needed services for Landscape Maintenance District 2. Bid No. NIB 20-061SB was advertised in the Corona local newspaper, Sentinel Weekly on April 29, 2020, and posted on PlanetBids on May 1, 2020. The Purchasing Division directly solicited four landscape contractors with a copy of the bid. Twenty-five vendors downloaded the bid. The City received nine bids on the bid due date of May 20, 2020.

The following is a summary of the bid results:

<b>Vendor</b>	<b>Location</b>	<b>Bid Amount</b>
Greentech Landscape, Inc.	Whittier, CA	\$ 312,630.00
Tropical Plaza Nursery, Inc.	Villa Park, CA	\$ 430,272.00
Nieves Landscape, Inc.	Santa Ana, CA	\$ 449,077.00
S.C. Yamamoto, Inc.	La Habra, CA	\$ 450,820.00
C.G. Landscape, Inc.	Anaheim, CA	\$ 530,520.16
J. Orozco Enterprises, inc.	Pomona, CA	\$ 557,680.32
Rockey Murata Landscape	Cerritos, CA	\$ 713,040.00
Mariposa Landscapes, Inc.	Irwindale, CA	\$ 729,720.00
Priority Building Services, LLC.	Brea, CA	\$ 1,181,308.00

Staff reviewed the bid submitted by Tropical Plaza Nursery, Inc. and recommends awarding a contract to Tropical Plaza Nursery, Inc. as the 2nd lowest responsive, responsible bidder. All licenses and references for Tropical Plaza Nursery, Inc. have been reviewed and verified by City staff, and all other documentation is in order. The contract amount of \$456,460, includes the bid amount of \$431,460 and an additional \$25,000 for any contingencies.

#### **FINANCIAL IMPACT:**

Most of the funding for the recommended action is included in the Fiscal Year 2022 Community Services' operating budget, in the General Fund and LMD Zone 10 and 15 Landscape Maintenance District Funds. An additional appropriation of \$40,000 is needed for the new contract with Tropical Plaza Nursery, Inc.

Approval of the recommended action will result in an appropriation of \$40,000 (\$35,000 in LMD 84-2, Zone 10 Fund 460, \$4,000 in LMD 84-2, Zone 15 Fund 462 and \$1,000 in the General Fund) to the Community Services' operating budget.

<b>GENERAL FUND</b>	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	34,823
Current Estimated Revenue Over Expenditures [Note 1]	1,484,065
Tropical Plaza Nursery Landscape Contract - Appropriation	(1,000)
<b>Revised Estimated Revenue Over Expenditures</b>	<b>\$ 1,483,065</b>
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,483,065
<b>Estimated Budget Balancing Measures Reserve - 06/30/22</b>	<b>\$ 29,148,660</b>

\* Approved through Council Action or other operational process.

*Note 1: Includes other General Fund items on the July 7, 2021 agenda.*

Fund	07/01/21 Est. Fund Balance	Budgeted Revenues/Sources	Budgeted Expenditures/Uses	Fund Balance Impacts	06/30/22 Est. Fund Balance
LMD 84-2, Zone 10 Fund 460	\$6,545,150	\$2,239,929	(\$1,357,542)	Appropriation (\$35,000)	\$7,392,537
LMD 84-2, Zone 15 Fund 462	\$77,951	\$27,765	(\$26,166)	Appropriation (\$4,000)	\$75,550

### ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is for landscaping and irrigation services; therefore, no environmental analysis is required.

**PREPARED BY:** MOSES CORTEZ, PARKS SUPERINTENDENT & VIOLA VAN, MANAGEMENT ANALYST II

**REVIEWED BY:** ANNE K. TURNER, COMMUNITY SERVICES DIRECTOR

### Attachments:

1. Exhibit 1 - Maintenance/General Services Agreement- Tropical Plaza Nursery, Inc.
2. Exhibit 2 - Notice of Invitation to Bid (NIB) NIB 20-061SB
3. Exhibit 3 - Tropical Plaza Nursery, Inc. Bid Proposal

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH TROPICAL PLAZA NURSERY, INC.  
(LANDSCAPING SERVICES – NIB 20-061SB AREA 2 ZONE 10)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 7<sup>th</sup> day of July, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and Tropical Plaza Nursery, Inc., a California Corporation with its principal place of business at 9642 Santiago Blvd., Villa Park, CA 92861 (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing landscape maintenance services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the Landscaping Services – NIB 20-061SB Area 2 Zone 10 project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

**3. TERMS.**



### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional landscape maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 7, 2021 to June 30, 2022 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Anne Turner, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Les Fields, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If

Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

**3.2.9 Laws and Regulations; Employee/Labor Certifications.** Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

**3.2.9.1 Employment Eligibility; Contractor.** By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

**3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants.** To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or

Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all

insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers’ Compensation and Employer’s Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor’s may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A:-VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A:-X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates



set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Four Hundred and Fifty Six Thousand, Four Hundred and Sixty Dollars (\$456,460.00) ("Total Compensation") without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend,

indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

Tropical Plaza Nursery, Inc.  
9642 Santiago Blvd.  
Villa Park, CA 92861  
Attn: Les Fields

**City:**

City of Corona

400 South Vicentia Avenue  
 Corona, CA 92882  
 Attn: Anne Turner, Community Services Department

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH TROPICAL PLAZA NURSERY, INC.**  
**(LANDSCAPING SERVICES – NIB 20-061SB AREA 2 ZONE 10)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Anne Turner  
Department Director for the Community Services Department

Reviewed By:

\_\_\_\_\_  
Moses Cortez  
Parks Superintendent

Reviewed By:

\_\_\_\_\_  
Norman Bush  
Purchasing Manager

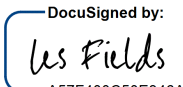
Attest:


\_\_\_\_\_  
Sylvia Edwards  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH TROPICAL PLAZA NURSERY, INC.**  
**(LANDSCAPING SERVICES – NIB 20-061SB AREA 2 ZONE 10)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**TROPICAL PLAZA NURSERY, INC.**  
a California Corporation

By:   
A57E400C50E346A  
Leslie T. Fields  
President

By:   
E3C4DB994E9646D  
Katrina J. Fields  
Treasurer

## **EXHIBIT "A"**

### **SCOPE OF SERVICES**

#### **1. Scope of Work**

**A.** The intent of this Agreement is to secure contractors which shall provide LANDSCAPE MAINTENANCE SERVICES.

**B.** Contractors shall furnish all labor, tools, materials, and equipment, except where otherwise specified, to provide landscape maintenance services as set forth in this Agreement.

**C.** All work shall be done in a thorough and workmanlike manner to the satisfaction of the Director of Parks and Community Services, or his authorized agent, and comply with all legal construction and landscape maintenance practices. The premises shall be maintained at the level of service provided for in these specifications *at all times*.

**D.** Contractors shall have the duty to provide landscape maintenance of all work sites, including, but not limited to the following:

- 1) Fertilize, prune, shape and trim trees, shrubs, vines and ground cover plants.
- 2) Control weeds and plant diseases.
- 3) Mow, edge and fertilize turf grass and blow hardscape clean.
- 4) Maintain plant material in a healthy condition with horticultural acceptable growth and color.
- 5) Inspect, maintain and repair all irrigation systems in their entirety.
- 6) Perform general area clean-up, including the removal of leaves, trash, dog feces and other debris from the work sites.
- 7) Paint by hand all backflow devices, backflow cages, valve box lids, curb faces, and curb tops each year.
- 8) Maintain all work sites in a safe, attractive and usable condition.
- 9) Maintain hardscape and drainage systems.

**E.** Contractors shall contact the assigned Area Inspector or designate on a *daily* basis to discuss the contractor work schedule for the day, existing problems, or other important information.

**F.** Contractors shall perform a maintenance inspection, during daylight hours, of all areas. Such inspection shall be both visual and operational. It shall include, but not be limited to, the operation of all irrigation and/or other mechanical systems to check for proper condition and reliability.

**G.** Contractors shall attend a mandatory inspectors' meeting each week in order to receive important information and resolve any problems,



**H.** Contractor shall complete and submit a monthly Site Inspection form and keep a monthly complaint log.

**I.** Contractors shall recycle green waste generated from their contract performance and submit a monthly report identifying the weight and/or volume of green waste recycled.

**J.** Contractors shall be available twenty-four (24) hours a day, seven (7) days a week to respond to all emergencies within two (2) hours of notification. (*Emergencies that involve maintenance work included in these general conditions shall not be compensated*).

## **2. Areas To Be Maintained**

**A.** Work sites may include medians, parkways, parks, slopes, greenbelt areas, fuel modification areas, or natural areas.

**B.** An identification of the areas to be maintained is provided in the attached AREA INVENTORIES.

**C.** Inventories supplied with this bid package are only approximate and may contain errors.

## **3. General / Fire Station # 5 Area Work Standards**

### **A. Method of Irrigation**

- 1) Irrigation shall be done by the use of automatic or manual sprinkler systems where available and operable. However, failure of the existing irrigation system to provide full and proper coverage shall not relieve the Contractors of the responsibility to provide adequate irrigation with full and proper coverage to all areas in the work site.
- 2) All areas receiving marginal coverage shall be irrigated by a portable irrigation method. The Contractors SHALL furnish all hoses, nozzles, sprinklers, etc., necessary to accomplish this supplemental irrigation.
- 3) Care shall be exercised to prevent a waste of water, erosion, and/or detrimental seepage into existing underground improvements or structures.
- 4) Water supplied by the City for irrigation may be Recycled Water, indicated by purple color-coded sprinklers, valves, valve boxes, tags and signs. Contractor understands that Recycled is not intended for human contact or consumption.
- 5) Contractor accepts full responsibility for educating and monitoring its employees regarding safety issues related to the presence and use of Recycled Water.

### **B. Initial Irrigation Inspection**

- 1) Contractors shall initially inspect and familiarize themselves with the entire irrigation system at all work sites and identify all needed repairs.
- 2) Required repairs shall be submitted to the General Manager in a written statement within two (2) weeks after the start date of the maintenance contract.

- 3) If a written statement which documents required repairs is not received by the Director within the stated time-frame, the entire system shall be interpreted as fully operational, and deemed acceptable by the Contractor.
- 4) The City shall review and verify all submitted repairs from the initial inspection. Repairs may be completed by the following methods:
  - a) Authorize the Contractor to make appropriate repairs at the expense of the City as described in GENERAL SPECIFICATIONS 1.V.
  - b) Use City forces to make required repairs.
  - c) Use another source to make required repairs.
- 5) Upon completion of all repairs following the initial inspection, the Contractors shall sign-off each individual area as being fully operational.

#### **C. Weekly Irrigation Inspections**

- 1) Contractors shall inspect the operation of the irrigation system weekly for any malfunctions.
- 2) In addition to regular weekly testing, all irrigation systems shall be tested and inspected as necessary when damage is suspected, observed or reported.
- 3) All system malfunctions, damage and obstructions shall be recorded, reported to the Director, and corrective action taken.

#### **D. Irrigation Maintenance and Repairs**

- 1) Contractors shall maintain all irrigation systems in such a way as to:
  - a) Guarantee proper coverage and full working capability.
  - b) Make whatever adjustments may be necessary to prevent overspray or excessive runoff into street right-of-ways or other areas not meant to be irrigated.
- 2) All labor shall be provided by the Contractors at no additional cost to the City. City will be providing irrigation parts only for reported and approved repairs.
- 3) Contractors shall repair or replace inoperable irrigation equipment to maintain a fully operational system, including but not limited to, pressure pipes from the water meter to the control valves, all irrigation pipes, all manual and automatic valves, pumps used for the irrigation systems, backflow devices, filters, strainers, pressure regulators, sprinkler heads, irrigation clamps and stakes, anti-drain valves, quick couplers, electrical wiring from the controller to the solenoid valves, emitters, drippers, valve boxes, controllers, valve markers, batteries, fittings and risers.
- 4) Maintenance includes, but is not limited, tightening of loose fittings and packing nuts; flushing sprinkler heads, pipes, nozzles, valves, filters, strainers, and backflow devices; adjusting sprinkler

heads, anti-drain valves and pressure regulators, adjusting and lubricating controllers; and cleaning drip emitters.

- 5) Contractors shall repaint by hand all backflow devices, backflow cages, valve box lids, curb faces and curb tops, annually between Jan. 15-Feb. 28; additional painting may be required as directed. Labor shall be provided at no additional cost to the City; however, the cost of paint shall be incurred by the City. Contractor shall clean all paint overspray or paint spilled prior to leaving the worksite.
- 6) Irrigation repairs shall be made within the following time limits:
  - a) Mainline irrigation breaks shall be repaired within two (2) hours of identification or notification.
  - b) All other irrigation repairs shall be made within one (1) day of identification or notification.

***Failure to complete irrigation repairs in the timeframes listed above will result in the Director utilizing City forces, or an alternate source, to correct the deficiency and deduct from the Contractor's payment the total cost, including City overhead.***

- 7) Replacement of irrigation components shall be with originally installed materials of the same size and quality. Substitutions must be approved by the Director in writing prior to installation.

#### **E. Water Conservation**

- 1) Contractors shall turn off all irrigation systems during periods of rainfall and/or times when suspension of irrigation is desirable to conserve water while remaining within the guidelines of good horticulturally acceptable maintenance practices. Contractor shall notify the Area Inspector any time irrigation systems are turned off.
- 2) Contractors shall comply with all City of Corona Ordinances and/or Resolutions which relate to water conservation.

#### **F. Turf Grass Care**

- 1) Turf Grass Mowing:
  - a) Contractors shall mow all turf grass with adequately sharpened reel or rotary type mowers as to provide a smooth and even cut without tearing of turf grass blades.
  - b) The blade adjustment shall provide a uniform, level cut without ridges, depressions, or scalping.
  - c) All warm season turf grasses (Bermuda, St. Augustine, Kikuyu) shall be cut at a one (1) inch height throughout the year.
  - d) All cool season turf grasses (Fescue, Bluegrass, Ryegrass) shall be cut at a two and one-half (2 1/2) inch height throughout the year.
  - e) Turf grass mowing heights may be adjusted by the Director during periods of turf grass renovation.

- f) All turf grass clippings shall be picked up and removed to a legal dumping site prior to vacating the work site after each mowing.
  - g) Care shall be exercised to avoid depressions in the established grade from mowing when the soil is saturated.
  - h) Contractors shall submit, in writing, a mowing schedule within ten (10) days after the start of the maintenance. This mowing schedule shall be approved by the Director.
    - All areas shall be mowed once every two weeks between November 1 and February 28 and once every week during March 1 through October 31.
    - Any alteration of the approved mowing schedule shall be submitted in writing to the Director for approval prior to implementation.
- 2) Turf Grass Edging and Trimming:
- a) Turf grass edging and trimming shall be performed once every two weeks between November 1 and February 28 and once every week during March 1 through October 31 at the time of mowing.
  - b) Edging of turf grass shall be performed with a power edger containing a steel blade.
  - c) All turf grass adjacent to sidewalks, curbs, mowing strips, shrub beds, and where no improved surface exists, shall be edged in a neat uniform line.
  - d) Trimming of turf grass shall be performed along walls, and around valve boxes, water meter boxes, backflow devices, trees, shrubs, or any structures located within the turf grass area.
  - e) Tree trunk protectors shall be provided and installed, at no additional cost to the City, when string trimmers are utilized for trimming around the base of trees. The City may allow a sixteen (16) inch diameter mulch ring around trees to eliminate continual string trimming.
  - f) In areas where there is no mow curb, a six (6) inch barren strip shall be provided, and maintained, between turf grass and adjacent ground cover. Edging of turf grass and ground cover shall provide uniform delineation adjacent to this barren strip.
  - g) Trimming of plant material may be required around sprinklers to provide maximum irrigation coverage.
  - h) All clippings and trimmings shall be removed from the work site the same day work is performed and prior to a Contractor vacating the work site. At no time shall the Contractor blow clippings into the planter areas.
  - i) After mowing and edging is completed, all adjacent walkways and gutters shall be swept clean. At no time shall the Contractor blow clippings from gutters into the turf grass. ***All clippings must be removed from site.***
  - j) The mowing and edging of turf grass in a designated worksite within the timeframe indicated on the contract schedule will be considered one complete cycle.

### 3) Turf Grass Fertilization:

- a) The turf grass shall be fertilized once a year to provide a healthy and vigorously growing turf grass with horticulturally acceptable growth and color, as determined by the Director.
- b) Fertilization shall be performed with a balanced fertilizer, consisting of a 3-1-2 ratio, at a rate of one (1) pound of actual Nitrogen per 1,000 square feet of area. Fertilizer will be provided by the City of Corona, however the labor shall be provided by the contractor at no extra charge.
- c) Contractors shall notify the Director, in writing, five (5) working days prior to any fertilizer application. This written document shall include the following:
  - Location and exact date the fertilizer application will be performed.
  - Type of fertilizer and method of application to be used.
- d) Contractors shall immediately irrigate after each fertilizer application.
- e) All fertilizer applications shall be performed with properly calibrated equipment to provide a uniform application.

### 4) Turf Grass Irrigation:

- a) All turf grass shall be adequately irrigated to maintain a healthy and attractive appearance.
- b) Irrigation run-off and overspray shall be minimized.

## **G. Weed Control**

- 1) For the purpose of these specifications, a weed will be considered as "any undesirable or misplaced plant".
- 2) All areas within the specified maintenance area, including but not limited to turf, grass, shrub and ground cover areas, planters, tree wells, playgrounds, maintenance yards, drainage ditches, and hardscape area shall be kept free of weeds at all times.
- 3) Weed removal shall consist of complete removal of all weeds, including top growth and roots, as the weeds appear.
- 4) Weed control shall be performed as per the attached site schedule.
- 5) The removal of all weeds from a designated worksite within the timeframe indicated on the contract schedule will be considered one complete cycle.

Weeds shall be controlled either by hand, mechanical or chemical methods; however, the Director may restrict the use of chemical weed control in certain areas (chemical methods and notification must follow California Department of Pesticide Regulation rules, regulations and guidelines applicable to this region).

## H. Shrub Care

1) Pruning of Shrubs: a) All shrubs growing in the work areas shall be pruned as per attached schedule to encourage healthy growth habits, removal of dead or damaged branches, and maintain natural shape.

- a) Shrubs shall be pruned with sharp pruning tools and *no weed eaters*.
- b) Shrubs shall be continually pruned, as necessary, to prevent encroachment of passage ways, walks, streets, and view of signs. Shrubs shall be tapered to provide irrigation coverage and an aesthetically pleasing landscape.
- c) All pruning cuts shall be one quarter (1/4) inch above a node (bud). No projections or stubs shall be allowed to remain.
- d) Contractors shall remove all clippings the same day shrubbery is pruned and prior to vacating the work site.
- e) Pruning shall be done to maintain a well-groomed, laced-out appearance, and encourage air movement through the shrub.
- f) Shearing, hedging or severe pruning shall not be permitted without prior written permission from the Director.
- g) The hedging of all shrubs in a designated worksite within the timeframe indicated on the contract schedule will be considered one complete cycle.

2) Shrub Fertilization:

- a) Shrubs shall be fertilized once a year to maintain horticulturally acceptable health and color.
- b) Foliar fertilization may be performed when appropriate.
- c) Fertilizing shall be performed with a balanced fertilizer, consisting of a 1-1-1 ratio, at a rate of one (1) pound actual Nitrogen per 1,000 square feet. Any change in the fertilizer ratio and/or rate shall be submitted in writing and approved by the Director prior to usage. Fertilizer will be provided by the City of Corona, however, the labor shall be provided by the contractor at no extra charge.

3) Irrigation of Shrubs:

- a) All shrubs shall be adequately irrigated to maintain a healthy and attractive appearance.
- b) Irrigation run-off and overspray shall be minimized.

4) Shrub Replacement:

- a) All damaged, diseased (untreatable) or dead shrubs shall be replaced with the exact same species of plant and size of plant will be determined by the Department. Contractors shall be responsible for the complete removal and replacement of shrubs lost due to the Contractor's faulty maintenance or negligence, as determined by the Director.
- b) Substitutions for any plant materials must have prior written approval by the Director.
- c) Original plans and specifications shall be consulted to determine correct identification of species.
- d) All shrubs shall be guaranteed to live and remain in a healthy condition for no less than six (6) months from the date of installation, inspection and verification by the Director.
- e) Care shall be taken to prevent soil build-up around the crown of shrubs.

#### **I. Vine Care**

- 1) Vines and espalier plants shall be checked regularly and secured to the wall or support on an as needed basis.
- 2) Vine Trimming:
  - a) All vines shall be trimmed as per attached schedule.
  - b) All vines shall be maintained so encroachment into adjacent pedestrian right-of-way, shrubs, ground cover, or private property is inhibited.
  - c) The trimming of all vines in a designated worksite within the timeframe indicated on the contract schedule will be considered one complete cycle.
- 3) Vine Irrigation:
  - a) All vines shall be irrigated to maintain a healthy and attractive appearance.
  - b) Where possible the vine irrigation shall be on a separate program from turf grass.

#### **J. Ground Cover Care**

- 1) Ground covers are low growing plants that grow in colonies to form a solid mat over the surface of the ground. The plants give a flat or two-dimensional effect to the landscape, such as, but not limited to arctotheca, gazania, vinca, lonicera, ivy, trachelosperum, and varieties of iceplant.
- 2) Edging and Trimming of Ground Cover:
  - a) Edging of ground cover areas shall be performed as per attached site schedule.
  - b) All ground cover adjacent to sidewalks, curbs, mowing strips, or where no improved surface exists, shall be edged in a neat, uniform line.
  - c) All ground cover shall be continually trimmed at the drip line of all shrubs.

- d) All ground cover shall be continually trimmed along walls, valve boxes, water meter boxes, backflow devices, or other structures located within the ground cover area as determined by the Director.
  - e) Trimming of ground cover may be required around sprinklers to provide maximum irrigation coverage.
  - f) All clippings and trimmings shall be removed from the work site the same day work is performed and prior to the Contractor vacating the work site.
  - g) After edging or trimming, the Contractors shall sweep clean all adjacent sidewalks or gutters.
  - h) The edging and trimming of ground cover in a designated worksite within the timeframe indicated on the contract schedule will be considered one complete cycle.
- 3) Ground Cover Irrigation: All ground cover areas shall be adequately irrigated to maintain a healthy and attractive appearance. Irrigation run-off and overspray shall be minimized.
- 4) Ground Cover Fertilization:
- a) The ground cover shall be fertilized two (2) times a year to provide a healthy and vigorously growing ground cover with horticulturally acceptable growth and appearance, as determined by the Director.
  - b) Fertilizing shall be performed with a balanced fertilizer, consisting of a 1-1-1 ratio, at a rate of one (1) pound actual Nitrogen per 1,000 square feet. Fertilizer will be provided by the City of Corona, however, the labor shall be provided by the contractor at no extra charge.
  - c) Contractors shall immediately irrigate after each fertilizer application.
  - d) All fertilizer applications shall be performed with properly calibrated equipment to provide a uniform application.
  - e) Contractors shall notify the Director, in writing, five (5) working days prior to any fertilizer application. This written document shall include the following:
    - Location and exact date the fertilizer application will be performed.
    - Type of fertilizer and method of application to be used.

## **K. Tree Care**

### **1) Tree Trimming:**

- a) Contractors shall be responsible for all tree trimming, including the removal of palm fronds and flower stalks, from all trees in the zone from zero (0) up to (20) twenty feet in height regardless of the total height of the tree.
- b) Contractors shall perform tree pruning as per the contract schedule to provide a well-groomed, "laced out" appearance for all trees which encourages air movement through the tree canopy.



- c) Contractors shall notify the Director in writing five (5) days prior to any tree pruning, except when pruning is required for public safety.
- d) All trees in the work site shall be maintained in their natural shapes. This work shall be accomplished in a manner which will ensure that each individual tree is trimmed carefully to promote the tree's health and appearance.
- e) All work shall be of the highest quality and performed in accordance with approved professional tree trimming standards.
- f) All trees shall be pruned within 48 hours upon notification to remove or prevent encroachment where it blocks vision or encroaches in any manner deemed undesirable by the Director.
- g) All trees shall be continually maintained free of all dead, diseased and damaged branches back to the point of breaking. Cuts must be made flush with the collar to promote proper healing. Pruning tools shall be adequately sharpened to provide clean cuts and shall be properly sterilized to reduce spread of disease.
- h) All sucker growth is to be removed from trees as it occurs.
- i) Contractors shall maintain all branches which encroach sidewalks at a minimum height of ten (10) feet clearance and a minimum fourteen (14) foot clearance for branches which encroach beyond the curb line into the street.
- j) All branches which encroach over private property shall be removed as directed.
- k) Contractors shall not remove or disturb any tree central leader without prior written approval from the Director.

## 2) Tree Staking:

- a) Contractors shall, at no additional cost to the City, stake and tie all trees which require support.
- b) Tree stakes shall be pentachlorophenol treated, lodgepole pine not less than eight feet (8') in length. Two (2) tree stakes are required per tree.
- c) Guy wires where required will be of pliable, zinc-coated ten-gauge wire (three ties per tree) and should have a white P.V.C. sleeve for visibility.
- d) Trees shall be secured to stakes with cinch ties or equivalent. Contractors shall not use wire and hose.
- e) Stakes shall not be placed closer than eight (8) inches from the tree trunk.
- f) Stakes and ties shall be placed so no chafing of bark occurs and shall be checked frequently, and re-tied as necessary, to prevent girdling.

## 3) Tree Replacement:

a) Contractors shall be responsible for the complete removal and replacement of trees lost due to the Contractor's faulty maintenance or negligence, as determined by the Director.

- Replacement shall be made by the worksite Contractor with the kind and size determined by the Director.
- Where there is a difference in value between the tree lost and the replacement tree, this difference will be deducted from the Contractor's payment.
- In all cases the value of the trees lost will be determined by the Director, using the latest American Shade Tree Conference guidelines for value determination.

b) Downed trees, due to any cause, shall be removed and the stump ground to a depth of 12" and re-filled the same day of identification or notification.

c) Trees lost from causes other than the Contractor's negligence shall be replaced by the Contractor with a twenty-four (24) inch box tree and billed as specified in GENERAL SPECIFICATIONS 1.V. The Director may specify a species of tree for replacement different from the one lost.

4) Tree Irrigation:

a) All trees shall be adequately irrigated to maintain a healthy and attractive appearance.

b) Irrigation run-off and overspray shall be minimized.

#### **L. Disease and Pest Control**

1) Contractors shall regularly inspect all landscaped areas for the presence of disease, snail, and insect infestation. The Contractors shall advise the Director, in writing, within four (4) days when any disease, snail, insect infestation is found; he shall identify the disease, snail, insect and specify control measures to be taken. The Contractors shall implement control measures, exercising extreme caution in the application of all spray materials, dusts or other materials utilized. Spray materials, dusts, and other materials will be supplied by the City.

2) Approved control measures shall be continued until the disease, snail or insect is controlled to the satisfaction of the Director. The Contractors shall utilize all safeguards necessary during disease, snail, or insect control operations to ensure safety of the public and the employees of the Contractors.

3) Contractors shall perform at their sole expense the following services:

- a) All work involving the use of chemicals will be accomplished by a State of California licensed pest control operator. A written recommendation by a person possessing a valid California Pest Control Adviser License is required prior to chemical application where required by law.
- b) All chemicals requiring a special permit for use must be registered by the Contractors with the County Agricultural Commissioner's Office and a permit obtained with a copy to the Director prior to use.

- c) A copy of all forms submitted to the County Agricultural Commissioner shall be given to the Director on a monthly basis.
- d) All regulations and safety precautions listed in the "Pesticide Information and Safety Manual" published by the University of California will be adhered to.

#### **M. Green Waste Disposal**

- 1) Green waste shall be defined as tree and shrubbery trimmings, grass, weeds, leaves, woodchips and other garden organic materials.
- 2) Contractor shall be responsible for recycling all green waste generated from their contract performance.
- 3) Contractor shall have the duty to keep all green waste from being contaminated to an extent it no longer can be recycled.
- 4) Contractor shall deliver all green waste to a city approved reclamation site, for the purposes of recycling.
- 5) Contractor shall submit a monthly report identifying the weight and/or volume of green waste recycled during the preceding month. Payment of maintenance invoice will not be made until green waste monthly report is completed and received by the Director.

#### **N. General Clean-up**

1) Litter/Debris Removal. All areas in the work sites shall be kept free of, but not limited to, the following items: bottles, glass, cans, paper, cardboard, metallic items, and other debris. In addition, dog feces are also to be removed from the walkways, turf or ground cover areas.

Contractors shall promptly remove from the work area, all debris generated by their performance.

- 2) Policing of Areas. All areas under maintenance, and other designated areas, will be policed and have trash removed between 6:00 AM and 9:00 AM **daily, five (5) days per week** (Monday through Friday). (LMD/CFD and GENERAL AREAS ONLY)
- 3) Curb and Gutter Maintenance. The Contractor is responsible for removal of all weeds and grass growing in and around the curb and gutter area. The Contractors are responsible to insure the roadway is cleared of all dirt and debris within four (4') feet of the curb and gutter in all areas adjacent to maintenance responsibilities.
- 4) Walkway Maintenance. Walkways shall be cleaned immediately following mowing and edging and cleaned by use of power sweeping or blower equipment as per the schedule. This includes removal of all foreign objects from surfaces such as gum, glass, dog feces, and grease. All walkway cracks and expansion joints shall be maintained weed and grass free at all times.
- 5) Drain Maintenance. All drains and catch basins shall be kept free of siltation and debris at all times. All v-ditches and drainage areas shall be kept clean and edged regularly by the Contractors.

- 6) Removal of Leaves. Accumulation of leaves shall be removed from all areas as per the contract schedule.
- 7) Removal of Damaged Plant Material. All dead, damaged, declining, hazardous or broken plant material (Trees, shrubs, vines, ground cover, turf), whether a result of the contractor's negligence or an Act of God shall be removed by the contractor at no additional cost to the City.

## **O. Repair of Walkways, Bike Paths, Service Roads and Miscellaneous Improvements**

### **1) Walkways and Service Roads:**

- a) All walkways, bike paths and service roads, if any, shall be maintained by the Contractor so as to keep the integrity of the walking, biking or driving surface in a safe, unimpaired condition. Contractors shall be entitled to additional compensation, as stated in GENERAL SPECIFICATIONS 1.V.
- b) Contractors will not be responsible for total replacement of roadways or walkways as a result of normal deterioration but will be required to replace all improvements damaged by his negligence.

### **2) Miscellaneous Improvements:**

All natural areas shall be maintained in an existing state except it will be the responsibility of the Contractors to repair or replace miscellaneous improvements such as signs and mowing strips, or any other structural improvements within the work sites, unless otherwise specified. Contractors shall be entitled to additional compensation for these services as stated in GENERAL SPECIFICATIONS 1.V.

## **P. Natural Areas**

All natural areas shall be maintained in an existing state except for the following items which shall be performed at no additional cost to the City:

- 1) Remove all trash and debris, or other items as determined by the Director, to a legal dumping site.
- 2) Provide and maintain a ten (10) foot barren area adjacent to any improved area.
- 3) Remove and/or repair any dead or broken branches, or safety hazards within two (2) hours of identification or notification.

## **GENERAL / FIRE STATION AREAS - GENERAL SPECIFICATIONS**

### **1. ROUTINE WORK PROCESSES**

#### **A. Definitions**

1) Where "as directed", "as required", "as permitted", "approved", "acceptance", or words of similar importance are used, it shall be understood that the direction, requirement, permission, approval or acceptance of the Parks and Community Services Director is intended unless otherwise stated. As used herein, "provide" shall be understood to mean "provide complete", "in place", "this is", "furnish and install"; the work "site" as used hereinafter shall be understood to mean the location receiving the service. The use of the word "Director", shall be construed to mean

the Director of Parks and Community Services or his delegated representative(s). The use of the word "Contractor" shall be held to mean the Contractor and/or any person employed by him and working under this contract.

2) The use of the words "shall" and "may" shall be held to mean "mandatory" and "permissive" respectively.

3) The use of the words "his" or "him" shall be construed to mean either gender, as appropriate.

## **B. Notices**

1) Any notice, demand, request, consent, approval, or communication that either party desires, or is required to give to the other party or any other person, shall be in writing via mail, fax and/or email.

2) Address for notification

City of Corona  
Maintenance Services Department  
755 Public Safety Way  
Corona, CA 92880  
(951) 739-4957  
ATTN: Moses Cortez

## **C. Area Inspector, Daily Contact, and Site Inspection Form**

- 1) **Area Inspector's Duties:** An Area Inspector will be assigned to this maintenance project area for which he/she will be responsible for making inspections, re-inspections, monitoring the Contractor's activities, and ensuring the work performed in the assigned project area is done to the quality level prescribed in this contract and in accordance with prescribed methods and time schedules. This does not relieve the Contractors of responsibility to provide continuous inspection of the work area. Discrepancies and deficiencies in the work shall be brought to the attention of the Contractor and corrected in the manner and time frame specified by the Director.
- 2) **Daily Contact:** The Contractor **MUST** make daily contact with the assigned Area Inspector or designate at a time mutually agreed upon by the Inspector and the Contractor. This daily contact is for the purpose of discussing areas to be maintained, contractors' work schedule for the day, areas that need to be inspected for approval, and Site Inspection Forms that need to be signed off. Failure to contact the assigned area inspector or designate on a daily basis will constitute a breach of contract.
- 3) **Site Inspection Form and Payment:** The Site Inspection Form will consist of a written list of specified monthly tasks for LMD/CFD, General, and Parks maintenance. The Site Inspection Form shall be considered complete when all work on the sheet has been inspected and approved by the Area Inspector and has been signed by both the Area Inspector and the Contractor indicating that agreement exists as to the information shown on the Site Inspection Form. Such information shall consist of specific worksite locations and the acceptability of the maintenance activities performed. The completed sheets dated, certified, and signed by the Contractor and the Area Inspector will be submitted to the Director monthly along with an invoice with the Contractor's letterhead, and an

affidavit for evaluation and pay. It shall be mandatory that all forms be completed at the end of each cycle before another Site Inspection Form may be issued. Failure to obtain a Site Inspection Form prior to beginning a maintenance cycle can result in non-payment for work performed.

#### **D. Work Schedule**

- 1) Time to Complete Work: Contractor shall begin work and shall proceed with all reasonable dispatch to completion. The contractor will be required to maintain all project areas assigned to him in the time allotments set for in each project area. Work within a project area must be completed in consecutive days. Inclement weather may result in the cancellation of a mowing cycle only if the area inspector or designate determines that there was an insufficient time period during the entire mowing cycle available for the services described to be performed.
- 2) Contractors shall accomplish all normal landscape maintenance required under this contract between the hours of 7:00 AM and 6:00 PM, Monday through Saturday. Exceptions may be made to normal working hours, where incidences of use may be too great during the hours specified to allow for proper maintenance. The Director may grant, on an individual basis, permission to perform contract maintenance at other hours. No maintenance functions that generate excess noise which would cause annoyance to residents of any area shall be commenced before 8:00 AM. Contractors shall establish a schedule of routine work to be followed in the performance of this contract.
- 3) Contractors shall submit to the Parks and Community Services Department a weekly detailed job schedule, time sheet, names and titles of all persons working on the project within ten (10) days after the start of the maintenance contract. Materials and/or chemicals to be used on any site shall be approved by the Director or his representative. The Director shall be notified within five (5) working days of any deviation from this schedule or material usage.
- 4) Contractors shall maintain and keep current a report form that records all on-going, seasonal, and additional work maintenance functions performed on a daily basis by the Contractor's personnel. Said report shall be in a form and content acceptable to the Director and shall be submitted to the Director upon request.

NOTE: THE DIRECTOR HAS THE AUTHORITY TO CANCEL SCHEDULED MOWING CYCLES ON A WEEK-TO-WEEK BASIS. THE CANCELLATION WILL BE BASED UPON NEED, PREVAILING WEATHER CONDITIONS, AND AVAILABLE FUNDING. IT IS ASSUMED THAT THE CONTRACTOR SHALL BE NOTIFIED OF ANY CANCELLATION(S) AT SUCH TIME THAT A WORK ORDER IS REQUESTED FOR ANY MOWING CYCLE.

#### **MANDATORY:**

IT SHALL BE MANDATORY THAT A REVIEW OF THE CONTRACTED AREA BE CONDUCTED PRIOR TO BEGINNING THE FIRST MOWING CYCLE. SUCH A REVIEW SHALL BE ATTENDED BY THE SUCCESSFUL CONTRACTOR AND THE ASSIGNED INSPECTOR.

#### **E. Contractor Staff**

- 1) Contractors shall furnish sufficient supervisory and working personnel capable of promptly accomplishing on schedule, to the satisfaction of the Director, all work required under this contract during the prescribed hours.

2) Contractors shall have competent supervisors, who may be working supervisors, on the job at all times work is being performed who are capable to communicate effectively both in written and oral English, and discuss matters pertaining to this contract. Supervisors must be able to demonstrate to the satisfaction of the Director that they possess adequate technical background. Adequate and competent supervision shall be provided for all work done by the Contractor's employees to ensure accomplishment of high quality work which will be acceptable to the Director. Any order or communication given to the supervisor shall be deemed as delivered to the Contractors.

3) Contractors, and their employees, shall conduct themselves in a proper and efficient manner at all times and shall cause the least possible annoyance to the public. The Director may require a Contractor to remove from the work site any employee(s) deemed careless, incompetent, or otherwise objectionable, whose continued employment on the job is considered to be contrary to the best interest of the City of Corona.

4) Contractors shall require each of his employees to wear basic public works working attire. These are basically proper shoes, and other gear required by State Safety Regulations, and proper wearing of the clothing. Shirts shall be worn and buttoned at all times; safety vests are required when indicated by the Work Area Traffic Control Handbook, or the Director.

5) The Director requires the Contractors to establish an identification system for personnel assigned to service this Agreement which clearly indicates to the public the name of the Contractor responsible for the landscape maintenance services. The identification system shall be furnished at the Contractor's expense and includes appropriate attire and/or name badges.

#### **F. Apprenticeship Standard**

Where required under law, the prime Contractors on this project shall assume full responsibility for compliance with apprenticeship standards as established by Section 1777.5 of the California State Labor Code.

#### **G. Protection of Public / Safety**

1) Contractors shall perform all work outlined in these specifications in such a manner as to provide maximum safety to the public, and meet all accepted standards for safe practices during the maintenance operation; to safely maintain equipment, machines, and materials or other hazards consequential or related to the work; furthermore, to accept the sole responsibility for complying with all local, County, State or other legal requirements including, but not limited to, OSHA and CAL-OSHA.

2) Adequate warning devices, barricades, guards, flagmen or other necessary precautions shall be taken by the Contractor to give advised and reasonable protection, safety and warning to persons and vehicular traffic concerned in the area. The "WORK AREA TRAFFIC CONTROL HANDBOOK" is herein adopted as the minimum safety guidelines and the Contractor must abide by this handbook.

3) The Director, or his representative, reserves the right to issue restraint, or cease and desist orders, to the Contractors when unsafe or harmful acts are observed or reported relative to the performance of work under this contract.

#### **H. Hazardous Conditions**

1) It shall be the Contractor's responsibility to identify, any condition(s) that renders any areas within this Agreement unsafe, as well as any unsafe practices occurring thereon. The Director shall be notified immediately of any unsafe condition that requires major correction.

2) Contractors shall be responsible for making minor corrections including, but not limited to, filling holes in landscaped areas and paving, diverting water sheet flow, using barricades or traffic cones to alert persons of the existence of hazards, replacing valve box covers, and securing exercise and/or play apparatus so as to protect all persons from injury.

3) Contractors shall inspect all work sites for hazards, or potential hazards on a daily basis.

4) During the required inspection of all work sites for hazards, or potential hazards, the Contractors shall keep a log indicating the date the area was inspected, any unsafe conditions, and the action taken.

5) Contractors shall cooperate fully with the City of Corona in the investigation of any accidental injury or death occurring on the premises, including the submission of a complete written report thereof to the Director within five (5) days following the occurrence.

### **I. Non-Interference**

Contractors shall not interfere with the public use of the premises, nor disrupt the peace and quiet of the area within which the services are performed. Contractors shall conduct their operations so as to offer the least possible obstruction and inconvenience to the public.

### **J. Reporting Damage or Malfunction**

Any damage to, or malfunction of, any facility not specifically stated in this Agreement shall be promptly reported to the Director.

### **K. Vandalism/Theft**

1) Contractors shall be responsible for reporting any vandalism/theft of existing landscaped areas which are maintained under this contract and damaged or altered in any way as a result of theft and/or mysterious damages that do not result from the performance of the Contractors.

2) Contractors shall be responsible for performing maintenance, repairs, and replacement of existing landscaped areas which are maintained under this contract

and damaged or altered in any way as a result of theft and/or mysterious damages that do not result from the performance of the Contractors.

3) Additional compensation will be provided only for the cost of parts which are directly related to the theft and/or vandalism; labor shall be provided by the Contractors at no additional cost to the City.

4) The following conditions shall be met prior to the Contractors being reimbursed for the replacement parts:

a) Submit a written proposal for the replacement part(s) costs.



- b) Secure written authorization for the purchase of the replacement parts by the Director, or his delegated representative.
- c) Submit a photocopy of the original invoice(s) for the replacement parts.
- d) Submit a copy of a report filed with the City of Corona Police Department which relates to the specific incident if required by Director.

#### **L. Utilities**

- 1) The City of Corona shall pay for the maintenance-related water and electrical utilities.
- 2) Contractors may pay for all excessive utility usage due to any Contractor's failure to repair irrigation systems or unauthorized increases in water usage.
- 3) The excess cost will be determined by comparing the current usage with historical usage for the same time period.
- 4) The excess cost factor may be deducted from payments to the Contractors; however, the Contractors will be allowed to explain the increase in utility usage prior to the actual deduction.

#### **M. Local Office**

- 1) Contractors shall maintain an office with a telephone and provide at all times the following:
  - a) A responsible person(s), employed by the Contractor, which shall have the ability to take necessary action regarding all inquiries and/or complaints received from the City of Corona or the Director.
  - b) This person(s) shall be reachable twenty-four (24) hours per day and seven (7) days per week.
  - c) An answering service shall be considered an acceptable substitute to full-time coverage, outside of prescribed working hours, provided the Contractors are notified of any communication within one (1) hour after receipt of said communication.
  - d) The telephone number(s) of the Contractors or responsible person(s) of the Contractors shall be a toll-free number for the City of Corona.
- 2) During normal working hours, the Contractor's Supervisors, who are responsible for providing maintenance services, shall be available for notification through radio or cellular telephone communication.

#### **N. Storage Facilities**

The City of Corona shall not provide any storage facilities for the Contractors.

#### **O. Locks and Keys and Controller Remote Transmitters**

- 1) Where City of Corona locks and keys are required as part of this contract, the Contractors shall:

- 2) Not duplicate any coded City key furnished by the City.
- 3) Surrender all keys furnished by the City at the end of the contract period, or at any time deemed necessary by the Director to prevent loss to the City of Corona.
- 4) Protect the security of City property by keeping controller cabinet and enclosure doors locked at all times.
- 5) Refrain from using premises behind locked doors for storage of materials, supplies or tools except as approved by the Director.
- 6) Be required to pay a \$100.00 deposit for each key issued to open Calsense controller cabinets. This deposit is refundable upon return of the key to the City of Corona. Loss of a key will result in the forfeiture of the key deposit and may restrict the City of Corona from issuing any future keys
- 7) Be required to pay a \$450.00 deposit for each Calsense controller remote transmitter issued to the contractor. This deposit is refundable upon return of the remote transmitter in good condition to the City of Corona. Loss of the remote transmitter or a return of a non-working remote transmitter will result in the forfeiture of the deposit and may restrict the City of Corona from issuing any future remote transmitters.

#### **P. Signs**

- 1) Contractors shall not post signs or advertising matter upon the areas under maintenance or improvements thereon, unless prior written approval is obtained from the Director.
- 2) Contractors shall, at all times, remove all unauthorized signs and advertising matter in the area under maintenance.

#### **Q. Parking**

- 1) Contractors shall park their vehicles and equipment within designated parking areas or in such a location to insure normal vehicular traffic.
- 2) The Contractor's vehicles and equipment shall not be parked or set in such a manner that they block pedestrian access or vehicular right-of-way except as required to comply with all safety standards of OSHA or CAL-OSHA.

#### **R. Unknown Obstructions**

Should any unknown obstruction be encountered during the course of this contract the Contractor should immediately bring it to the attention of the City. The Contractor shall be responsible for the protection of all existing equipment, furniture, or utilities encountered within the work area.

#### **S. Removing Obstructions and Maintenance of Existing Improvements**

- 1) When the work hereunder involves performance upon City property, and when the proper completion of the said work requires their temporary or permanent removal, the Contractors shall, at their own expense, remove, and without unreasonable delay temporarily or permanently replace or

relocate to the satisfaction of the City and of another person or agency having jurisdiction, all water pipes, gas pipes, drainage lines, irrigation lines, sewer lines, pipelines, conduits, culverts, roads, driveways, fences, bridges, railroad tracks, wires, poles, towers, retaining walls, buildings, curbs, gutters, concrete walks, trees, shrubs, lawns, and all other improvements of whatsoever character not required by law to be removed by the City thereof; and all such improvements temporarily removed shall be maintained until permanently replaced, all at the Contractor's expense.

- 2) Where the work is to be constructed in, or adjacent to, areas which have been improved by lawns, trees, shrubs, or gardens, the Contractors shall remove such trees or plants as may be necessary for the execution of the work and give them proper care and attention until the work has been satisfactorily completed, after which the Contractors shall replace them in as nearly the original condition and location as is reasonably possible. Where it is necessary to deposit the excavated materials on lawns during the process of construction, the Contractors shall first lay burlap or canvas on the lawn to prevent contact between the excavated material and the lawn.
- 3) Unless otherwise indicated in the contract documents all utility lines, conduits, wires, or structures shall be maintained by the Contractors and shall not be disturbed, disconnected, or damaged by them during the progress of the work, provided, that should the Contractors in the performance of the work disturb, disconnect, or damage any of the above, all expense, arising from such disturbance, or in the replacement or repair thereof, shall be borne by the Contractors. However, in accordance with Section 4215 of the California Government Code, the Contractors shall be compensated for the cost of locating and repairing damage to main or trunk line utility facilities located on the jobsite, not due to the failure of the Contractors to exercise reasonable care; for costs of removing or relocating such utility facilities not indicated in the contract documents with reasonable accuracy; and for the operation cost for equipment on the project necessarily idled such work.
- 4) At least two working days prior to commencing any excavation pursuant to this Contract, the Contractors shall contact Underground Service Alert at (800) 227-2600 or other appropriate regional notification center if the excavation will be conducted in an area which is known, or reasonably should be known, to contain subsurface installations.

#### **T. Use of Chemicals**

- 1) Contractors shall submit a list of all chemical herbicides and pesticides, proposed for use under this contract for approval by the Director. Materials included on this list shall be limited to chemicals approved by the State of California Department of Pesticide Regulation, and shall include the exact brand name and generic formulation. The use of any chemical on the list shall be based on the recommendations of a licensed pest control advisor where required by law.
- 2) The use of chemicals shall conform to the current County of Riverside Agriculture Commissioner regulations. No chemical herbicide or pesticide shall be applied until its use is approved, in writing, by the Director as appropriate for the purpose and area proposed.

#### **U. Emergency Calls**

- 1) Contractors shall maintain a 24 hours per day seven days per week on-call service for emergency calls. Contractors shall respond to an emergency call within two (2) hours.

- 2) Calls of an emergency nature received by the Director shall be referred to the worksite Contractor for immediate disposition.
- 3) If the worksite Contractor cannot be reached within two (2) hours the City will deduct from the monthly billing the cost of City forces, or other sources, used to repair the emergency.
- 4) The Contractor shall not receive additional compensation for responding to emergencies for work included within this contract.
- 5) In situations involving emergency repair work after normal work hours, Contractors shall dispatch qualified personnel and equipment to reach the site within two (2) hours.
  - a) The Contractor's vehicle shall carry sufficient equipment to effect safe control of traffic.
  - b) When the worksite Contractor arrives at the site, the Contractor shall set up traffic warning and control devices, if deemed necessary, and proceed to repair on a temporary/permanent basis.
  - c) If a City Representative is still at the site when the worksite Contractor arrives, the Contractor shall quickly evaluate the situation and discuss it with that responsible person.
    - If the repair will take only a few minutes, the City Employee may stay to continue to direct traffic while the Contractor makes the repairs.
    - If the repair will take longer than the City Employee can wait, the Contractor shall immediately set up temporary traffic control devices and all other necessary warning devices and relieve the City Representative.
  - d) The Contractor shall notify the Director, or his representative by telephone within 24 hours of any emergency work that is performed.
- 6) An emergency may be called by the following individuals or agencies at any time for extraordinary services involving repair work:
  - a) City Manager
  - b) Deputy City Manager
  - c) Assistant City Manager
  - d) Director of Parks & Community Services.
  - e) Director of Public Works
  - f) Police Department
  - g) Parks and Community Services Manager
  - h) Landscape Contracts Manager
  - i) Fire Department
  - j) Street Maintenance Supervisor
  - k) Park Maintenance Supervisor
  - l) Park & Landscape Contract Inspector
- 7) The following emergency phone numbers is listed for the convenience of Contractors.

Department of Water and Power (951) 736-2263  
Fire Department (Dispatch) (951) 736-2220  
Fire Department (Emergency) 911 or (951)736-2222  
Police Department (Emergency) 911 or (951)736-2333  
Public Works Department (951) 736-2301  
AMR/Goodhew Ambulance Service (951) 735-6666  
Corona Regional Medical Center (951) 737-4343  
Southern California Edison (800) 684-8123  
Southern California Gas (Transmission) (800) 427-2200 Arco Pipeline (562) 423-5949  
Underground Service Alert 811 or (800)227-2600

**V. New Area on Green River Rd from 91 freeway to Dominguez Ranch Rd.**

1) The center medians and sides of the road (15ft. back) shall be included in the maintenance detailed in this scope of work.

**W. Additional Work**

1) The Director may, at his discretion, authorize the Contractors to perform additional work. Additional work shall be defined as work not included in this Agreement.

2) Prior to the Contractors performing any additional work, the Contractors shall prepare and submit a written description of why the additional work is required, what type of work is proposed, and a cost estimate for the additional work as stated below in V.3. No work shall commence without written authorization from the Director, or his delegated agent. Notwithstanding the above authorization, when a condition exists where there is imminent danger of injury to the public or damage

to property, the Director may verbally authorize the work to be performed upon receiving a verbal estimate from the Contractors. However, within twenty-four (24) hours after receiving a verbal authorization, the Contractors shall submit a written estimate to the Director for approval.

3) The cost estimate for additional work shall consist of the following elements:

a) Base cost of labor plus fifteen percent (15%) for overhead and profit.

b) Actual cost of materials plus ten percent (10%) for overhead and profit.

c) Materials may be provided by the City of Corona.

4) Written authorization from the Director, or his delegated agent, shall be by the issuance of a Change Order. This Change Order shall be considered an amendment to this Agreement and approved by the Director and Contractor.

5) All additional work shall commence on the specified date established and shall diligently proceed until completion.

6) Upon completion of the additional work the Director, or his delegated agent, shall be notified so that the work may be verified.

7) Contractors shall submit an invoice for compensation with attached photocopies of original invoices for materials. Compensation shall not exceed the written estimate. The Contractor's invoice shall be subject to audit and review by the City prior to payment.

8) The City of Corona reserves the right to repair and/or contract with a third party to perform such additional work.

#### **X. Addition or Deletion of Landscape Areas**

1) The Contractors shall maintain, at a unit price comparable to other existing landscape areas and subject to the Director's approval, additional landscape areas that the City adds to this contract. In the event that notification is made of a new installation other than at the beginning of a monthly period, the unit cost negotiated and agreed upon by the parties, shall be pro-rated from the day the Contractor is notified to start maintenance.

2) The City may elect to delete worksites, or portions thereof, within this Agreement at a unit price comparable to the bid price of said worksites.

#### **Y. Minor Modifications**

The Director may modify these specifications with the joint approval of the Contractor.

### **2. CONTRACTOR PERFORMANCE**

#### **A. Contractor Non-Performance**

1) If the Director determines that there are deficiencies in the performance of this Agreement, the Director *may* provide a written and/or verbal notice to the

Contractor stating the deficiencies and specifying a time frame to correct the specified deficiencies.

2) Should the Contractor fail to correct any deficiencies within the stated time frame, the Director may exercise the following measures:

a) Deduct from the Contractor's payment the amount necessary to correct the deficiency, including City overhead.

b) Withhold the entire or partial payment or a percentage of the monthly payment.

c) Utilize City forces, or an alternate source, to correct the deficiency and deduct from the Contractor's payment the total cost, including City overhead.

d) Deduct liquidated damages for *each* deficiency from the Contractor's payment.

3) Failure to Maintain Maintenance Work Schedule: Failure on the part of the contractor to maintain the required production rate for a project area shall be sufficient reason for the Director to have the work in question, or portions thereof, completed by others. If work is completed by others, any additional cost will be deducted from the contractor's monthly billing. It will remain at the Parks and Community

Services Department's discretion to determine if work shall be done by another contractor. The contractor may also be assessed liquidated damages because of breach of contract as described above. Should it become necessary to penalize a contractor on more than one occasion for failure to meet specifications within the agreement, the contractor may be released from his contractual obligation to the City.

4) The actions above shall not be construed as a penalty but as an adjustment of payment to the Contractor to recover City of Corona cost due to the failure of the Contractor to complete or comply with the provisions of this Agreement.

5) Contractor non-performance resulting in a deduction or the withholding of funds will also result in the City of Corona sending a notice to the Contractor's bonding company at the end of the month.

6) The Director shall decide all questions which arise as to the manner of performance and completion per schedule, acceptable fulfillment of the contract by the Contractor, interpretation of the specifications, and compensation to include completion of work by alternate sources.

7) In addition to the above provisions, in the event of a failure to correct a deficiency, or for any other breach of this Agreement by the Contractor, the City of Corona may immediately terminate this Agreement.

## **B. Complaints from City**

1) The Contractors shall maintain a monthly written log of all complaints which includes the date and time received and the action taken or the reason for non-action. The monthly log of complaints shall accompany the monthly invoice.

2) All complaints shall be abated as soon as possible after notification; but in all cases within 24 hours, to the satisfaction of the Director.

3) If any complaint is not abated within 24 hours, the Director shall be notified immediately of the reason for not abating the complaint, followed by a written report to the Director within five (5) days.

4) If the complaints are not abated within the time specified, or to the satisfaction of the Director, the Director may correct the specific complaint and the total cost incurred by the City of Corona shall be deducted and forfeited from the payments owing to the Contractor from the City of Corona.

## **C. Contractor Liability**

1) All damage to existing improvements located within areas, and adjacent to areas under maintenance, which in the opinion of the Director are due to the Contractor's operation, shall be repaired or replaced at the Contractor's expense with similar materials and in an approved manner.

2) Such repairs and/or replacement shall be performed by the Contractor at no cost to the City, and shall be accomplished as directed by the Director or his representative. Repairs shall be made immediately after damage or alteration occurs. Deductions shall be made from the Contractor's payment in the amount necessary to compensate the City for such repairs in the event such repair work is done by City forces or another source as stated in GENERAL SPECIFICATIONS 2.A.2.

3) Irrigation damage due to the Contractor shall be repaired or replaced within the following time limits:

- a) Mainline irrigation breaks shall be repaired within two (2) hours.
- b) All other irrigation repair and/or replacement shall be completed within one (1) working day.
- 4) All damages to turf, ground cover, shrubs, vines or trees due to the Contractor shall be repaired or replaced within five (5) working days.
- a) Damage to turf shall be repaired by replacement with the appropriate variety of sod; reseeding shall not be considered as an adequate repair.
- b) Damage to ground cover shall be repaired by replacement with the appropriate variety of plant material. Size and spacing shall be determined by the Director.
- c) Damage to shrubs may be corrected by appropriate pruning; however, if in the opinion of the Director the damage is severe, the shrub shall be removed and replaced with a similar variety and size.
- d) Minor damage to trees, such as bark lost from mechanical equipment, shall be remedied by a qualified Arborist.
- e) If the damage results in the loss of the tree; or, if in the opinion of the Director the damage is severe, the damaged tree shall be removed and replaced with a similar variety and size to be determined by the Department.
- 5) All damage resulting from chemical application and/or operation by the Contractor, either by spray-drift, improper application, lateral leaching, or other means, shall be corrected in accordance with the previous provisions and the soil conditioned to ensure its ability to support plant life.
- 6) All work shall be inspected, verified, and completed to the satisfaction of the Director, or his authorized representative.

#### **D. Contractor's With Other Landscape Agreements with the City.**

- 1) If a contractor that currently holds the maintenance contract for another bid area, the awarded contractor must provide a separate maintenance crew and dedicated irrigator.

### **3. PAYMENT PROCESSES**

#### **A. Payroll Records**

- 1) Section 1776, Chapter 1 of Division 2, from the California Labor Code requires that each Contractor and Subcontractor keep an accurate payroll record, showing the name, address, social security number, work classification, straight time and overtime hours worked each day and each week, and the actual per diem wages paid each journeyman, apprentice or worker employed by him.
- 2) The employee's own payroll records shall be available for inspection, and a copy shall be made available to the employee or his authorized representative, the Division of Labor Standards Enforcement and the Division of Apprenticeship Standard.



3) Pursuant to Labor Code Section 1778.8, the Contractor agrees to pay travel and subsistence payments to each workman needed to execute the work in accordance with the applicable collective bargaining agreements filed with the Department of Industrial Relations.

#### **B. Method of Payment**

- 1) The Contractor will be paid monthly for satisfactory work performed under this contract.
- 2) Prior to the first day of each month the Contractors shall submit an invoice and with the following reports required in the Agreement for work performed in the prior month:
  - a) Site Inspection Form
  - b) Recycled Green Waste Report
  - c) Complaint Log
- 3) This invoice shall be in accordance with the contract price and shall become the basis for payment.
- 4) This invoice shall be subject to review and approval by the Director.
- 5) All submitted invoices, approved by the Director, shall require a **Net-30 terms** for processing by the City of Corona Finance Department.
- 6) Any charges in the invoice not approved by the Director shall not be paid by the City.

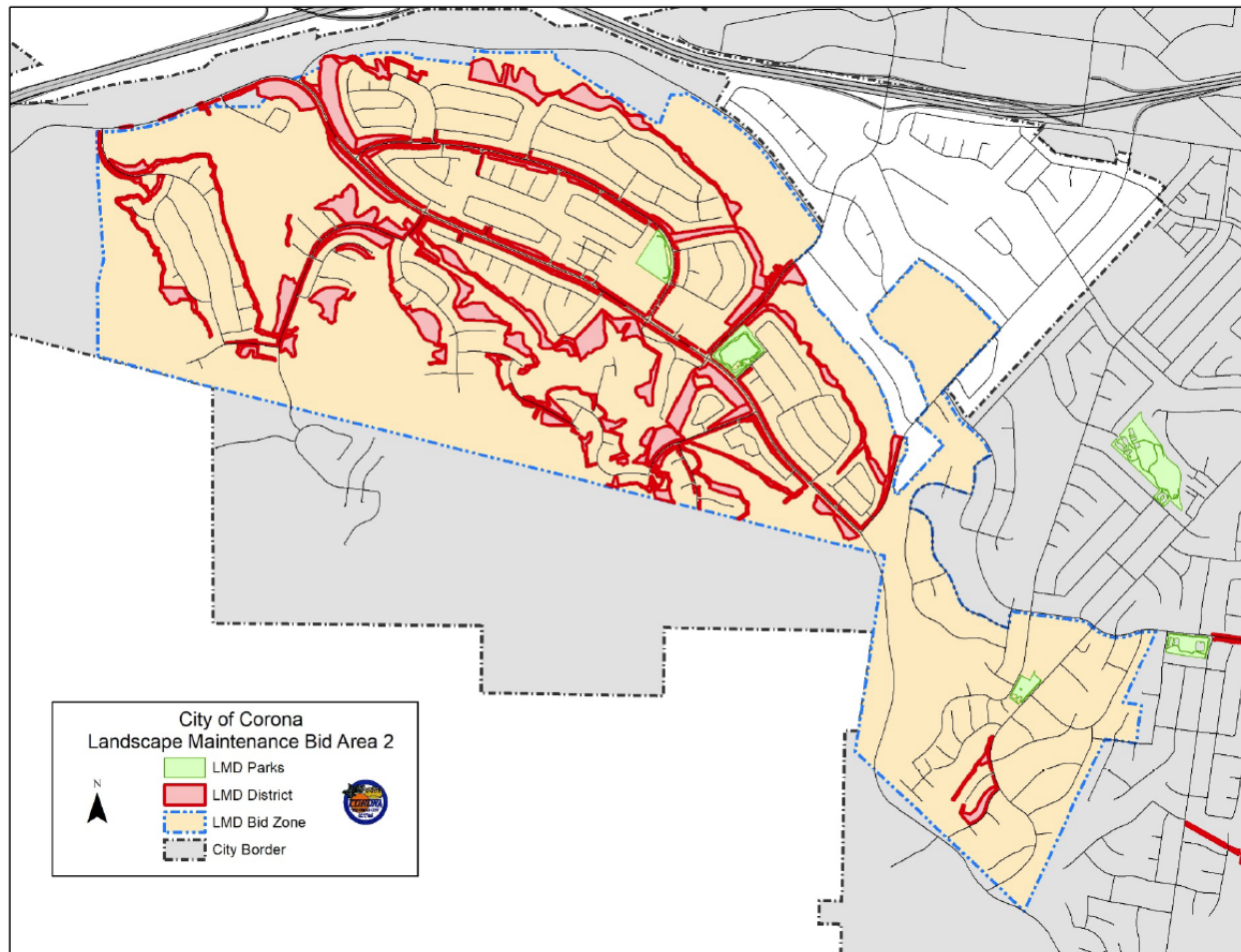
#### **C. Compensation for Routine Maintenance**

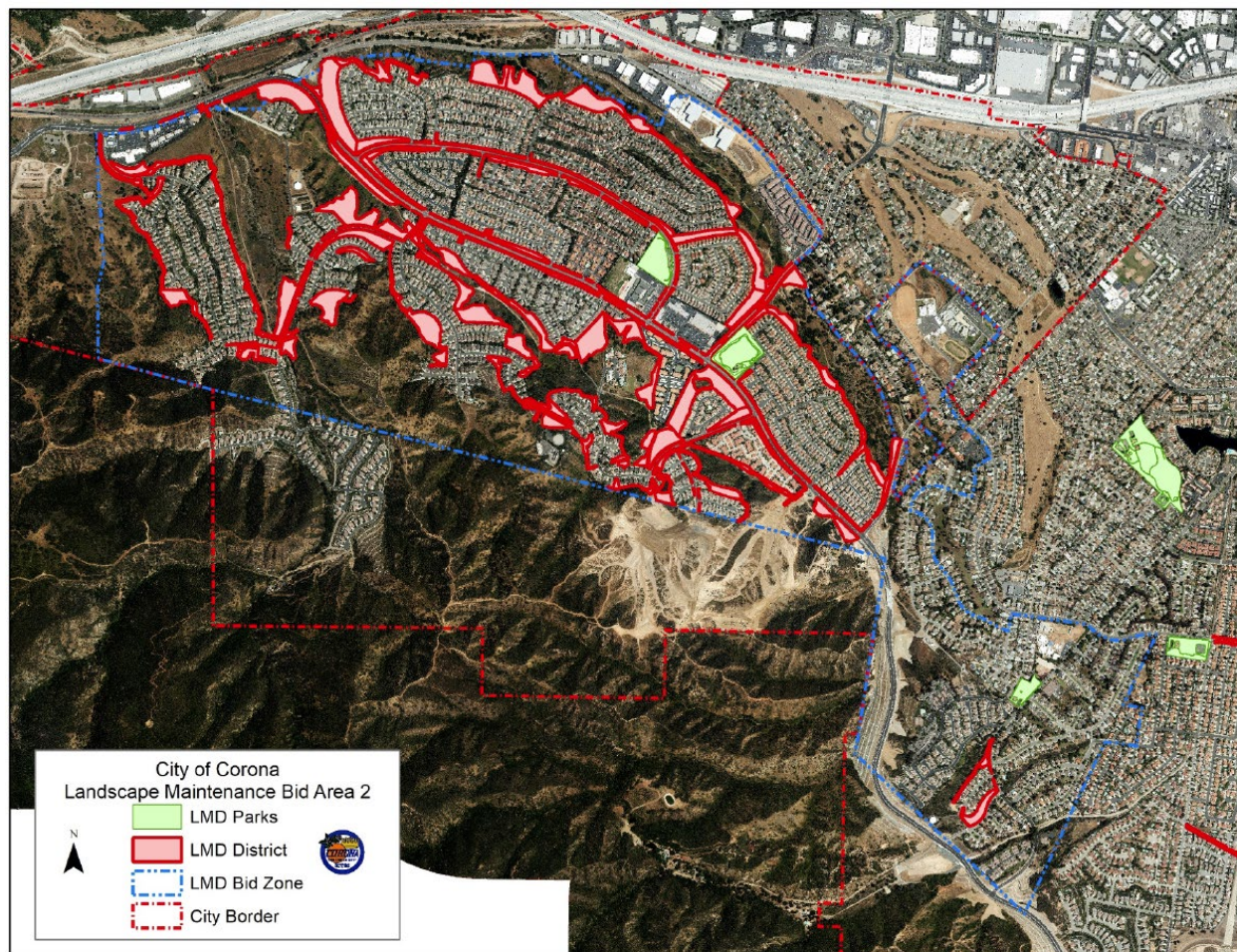
- 1) The City shall compensate Contractors based upon the total dollar amount of a bid or the total dollar amount of a combination of bids, if applicable, in monthly installments beginning 30 days after the commencement of work.
- 2) Billing adjustments may be made where authorized by this Agreement.

#### **D. Payments Withheld**

The City may withhold entire or partial payment for reasons as follows:

- 1) Work required in the specifications which is defective, incomplete (full cycles not completed) or not performed.
- 2) Claims filed or reasonable evidence indicating probable filing of claims.
- 3) Failure of the Contractor to make payments properly to subcontractors, or for materials and/or labor.
- 4) A reasonable doubt that the contract cannot be completed for the remaining balance.
- 5) Reports, logs, or other contractual written documentation required of the Contractor to be delivered to the Director which is/are incomplete or not performed.





The documents identified as “Bid Schedule detailed Bid Items Map Locations NIB-20-061SB” are attached hereto and incorporated herein by reference

## **EXHIBIT "B"**

### **SCHEDULE OF SERVICES**

Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in this Exhibit "B"

#### **Work Schedule**

1) Time to Complete Work: Contractor shall begin work and shall proceed with all reasonable dispatch to completion. The contractor will be required to maintain all project areas assigned to him in the time allotments set for in each project area. Work within a project area must be completed in consecutive days. Inclement weather may result in the cancellation of a mowing cycle only if the area inspector or designate determines that there was an insufficient time period during the entire mowing cycle available for the services described to be performed.

2) Contractors shall accomplish all normal landscape maintenance required under this contract between the hours of 7:00 AM and 6:00 PM, Monday through Saturday. Exceptions may be made to normal working hours, where incidences of use may be too great during the hours specified to allow for proper maintenance. The Director may grant, on an individual basis, permission to perform contract maintenance at other hours. No maintenance functions that generate excess noise which would cause annoyance to residents of any area shall be commenced before 8:00 AM. Contractors shall establish a schedule of routine work to be followed in the performance of this contract.

3) Contractors shall submit to the Parks and Community Services Department a weekly detailed job schedule, time sheet, names and titles of all persons working on the project within ten (10) days after the start of the maintenance contract. Materials and/or chemicals to be used on any site shall be approved by the Director or his representative. The Director shall be notified within five (5) working days of any deviation from this schedule or material usage.

4) Contractors shall maintain and keep current a report form that records all on-going, seasonal, and additional work maintenance functions performed on a daily basis by the Contractor's personnel. Said report shall be in a form and content acceptable to the Director and shall be submitted to the Director upon request.

Note: the director has the authority to cancel scheduled mowing cycles on a week-to-week basis. The cancellation will be based upon need, prevailing weather conditions, and available funding. It is assumed that the contractor shall be notified of any cancellation(s) at such time that a work order is requested for any mowing cycle.

#### **Mandatory:**

It shall be mandatory that a review of the contracted area be conducted prior to beginning the first mowing cycle. Such a review shall be attended by the successful contractor and the assigned inspector.



## Litter/Debris Removal

All areas under maintenance, and other designated areas, will be policed and have trash removed between 6:00 AM and 9:00 AM **daily, five (5) days per week** (Monday through Friday). (LMD/CFD and GENERAL AREAS ONLY)

### MONTHLY MAINTENANCE SCHEDULE

Regular Recurring Tasks	Frequency / Qty. per Year	Jan.	Feb.	Mar.	Apr.	May	June	July	Aug.	Sept.	Oct.	Nov.	Dec.
Weed Control	Weekly / 52	X	X	X	X	X	X	X	X	X	X	X	X
Turf Care - Mowing/Edging	Weekly Mar. – Oct. / 36 Twice a month Nov.- Feb / 8	X	X	X	X	X	X	X	X	X	X	X	X
Vine Trimming	Monthly	X	X	X	X	X	X	X	X	X	X	X	X
Ground Cover Edge/Trim	Monthly	X	X	X	X	X	X	X	X	X	X	X	X
Shrub Trimming	Monthly	X	X	X	X	X	X	X	X	X	X	X	X
Tree Care	Twice a year				X					X			
Irrigation System Inspection, Testing & Maintenance (City to provide parts only)	Weekly	X	X	X	X	X	X	X	X	X	X	X	X
Removal of trash/debris/dog feces	Monday -Friday	X	X	X	X	X	X	X	X	X	X	X	X
Remove leaves & keep curbs, gutters & drains clear of debris	Weekly	X	X	X	X	X	X	X	X	X	X	X	X
Fertilization (Turf & Planters) (City provides the fertilizer)	Once a year				X								
Paint Back-flow devices, cages, valve box lids, etc. (City to provide paint)	Once a year		X										
Install mulch in different areas (cost per 100 C.Y. contractor supplied medium grind mulch ) Bid Add Alternate	Twice a Year												

The City may elect to exercise an extension to renew this contract for an additional four (4), one (1) year terms.

- 1) The first optional extension will be for twelve (12) months from July 1, 2022 through June 30, 2023.
- 2) The second optional extension for twelve (12) months will be from July 1, 2023 through June 30, 2024.
- 3) The third optional extension for twelve (12) months will be from July 1, 2024 through June 30, 2025.
- 4) The fourth optional extension for twelve (12) months will be from July 1, 2025 through June 30, 2026.

**Contract Renewal:** The Contract may be extended by the City for up to four (4) consecutive one (1) year option renewal periods under the terms and conditions of the original contract, upon execution of an Amendment to the Contract by both parties. Should the City elect to exercise the option to extend this agreement for an additional one (1) year period, the Parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases during the additional one (1) year period shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers for Riverside CA" (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised."

Actual option year pricing shall be negotiated with the successful Bidder(s) prior to exercising of any given option year. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.

## EXHIBIT "C"

### COMPENSATION

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C"

Bid Schedule for Landscaping Maintenance for Area 2 Zone 10 in the City of Corona (NIB-20-0615B)					
Bid Item	Item Description	Square Feet	Acreage	Monthly Cost	Annual Cost (monthly cost X 12)
1	1036 Redberry Ln	119491 Sq Ft	2.74 Acreage	\$ 503.00	\$ 6,036.00
2	1208 Dominguez Ranch Rd	128045 Sq Ft	2.94 Acreage	\$ 540.00	\$ 6,480.00
3	1242 Dominguez Ranch Rd	25300 Sq Ft	0.58 Acreage	\$ 94.00	\$ 1,128.00
4	1554 Baldy View C	276000 Sq Ft	6.34 Acreage	\$ 1,085.00	\$ 13,020.00
5	1588 San Ponte Rd	220779 Sq Ft	5.07 Acreage	\$ 893.00	\$ 10,716.00
6	1598 Montana Ranch Rd	321558 Sq Ft	7.38 Acreage	\$ 1,280.00	\$ 15,360.00
7	1611 Montana Ranch Rd	133610 Sq Ft	3.07 Acreage	\$ 515.00	\$ 6,180.00
8	1660 Paseo Grande	166333 Sq Ft	3.82 Acreage	\$ 667.00	\$ 8,004.00
9	1665 Calle Del Oro	120096 Sq Ft	2.76 Acreage	\$ 487.00	\$ 5,844.00
10	2081 Green Riverside Rd	14850 Sq Ft	0.34 Acreage	\$ 50.00	\$ 600.00
11	2210 Green Riverside Rd	139411 Sq Ft	3.2 Acreage	\$ 560.00	\$ 6,720.00
12	2687 Raven Cl	234784 Sq Ft	5.39 Acreage	\$ 904.00	\$ 10,848.00
13	2820 Green River Rd	199102 Sq Ft	4.57 Acreage	\$ 819.00	\$ 9,828.00
14	2820 Green River Rd	42114 Sq Ft	0.97 Acreage	\$ 168.00	\$ 2,016.00
15	2890 Green River Rd	366328 Sq Ft	8.41 Acreage	\$ 1,375.00	\$ 16,500.00
16	2950 Wilderness Cl	110358 Sq Ft	2.53 Acreage	\$ 463.00	\$ 5,556.00
17	2997 Juniper Dr	332607 Sq Ft	7.64 Acreage	\$ 1,244.00	\$ 14,928.00
18	3005 Ridgeline Dr	8515 Sq Ft	0.2 Acreage	\$ 85.00	\$ 1,020.00
19	3059 Diamond View Cl	315258 Sq Ft	7.24 Acreage	\$ 1,154.00	\$ 13,848.00
20	3258 Green River Rd	69998 Sq Ft	1.61 Acreage	\$ 289.00	\$ 3,468.00
21	3260 Green River Rd	108386 Sq Ft	2.49 Acreage	\$ 436.00	\$ 5,232.00
22	3692 Alvarado Cl	321810 Sq Ft	7.39 Acreage	\$ 1,282.00	\$ 15,384.00
23	3950 San Ramon	80225 Sq Ft	1.84 Acreage	\$ 333.00	\$ 3,996.00
24	4192 Green River Rd	8190 Sq Ft	0.19 Acreage	\$ 65.00	\$ 780.00
25	4194 Green River Rd	71913 Sq Ft	1.65 Acreage	\$ 297.00	\$ 3,564.00
26	825 Highland View Dr	183446 Sq Ft	4.21 Acreage	\$ 1,550.00	\$ 18,600.00
27	975 Highland View Dr	25521 Sq Ft	0.59 Acreage	\$ 200.00	\$ 2,400.00
28	1120 Serfas Club Dr	50455 Sq Ft	1.16 Acreage	\$ 204.00	\$ 2,448.00
29	1143 Ridgeline Dr	5277 Sq Ft	0.12 Acreage	\$ 60.00	\$ 720.00
30	1151 Serfas Club Dr	24835 Sq Ft	0.57 Acreage	\$ 93.00	\$ 1,116.00
31	1172 San Lorenzo Ln	2664 Sq Ft	0.06 Acreage	\$ 50.00	\$ 600.00
32	1250 Canyon Crest Dr	303625 Sq Ft	6.97 Acreage	\$ 1,203.00	\$ 14,436.00
33	1251 Canyon Crest Dr	122070 Sq Ft	2.8 Acreage	\$ 494.00	\$ 5,928.00
34	1305 Oakridge Dr	306450 Sq Ft	7.04 Acreage	\$ 1,216.00	\$ 14,592.00
35	1690 Oakridge Dr	214505 Sq Ft	4.92 Acreage	\$ 895.00	\$ 10,740.00
36	1691 Oakridge Dr	365325 Sq Ft	8.39 Acreage	\$ 1,471.00	\$ 17,652.00
37	2598 Green River Rd	263300 Sq Ft	6.04 Acreage	\$ 1,027.00	\$ 12,324.00
38	2817 Green River Rd	18228 Sq Ft	0.42 Acreage	\$ 95.00	\$ 1,140.00
39	2825 Ridgeline Dr	49630 Sq Ft	1.14 Acreage	\$ 200.00	\$ 2,400.00
40	2828 Ridgeline Dr	163425 Sq Ft	3.75 Acreage	\$ 674.00	\$ 8,088.00
41	2830 Ridgeline Dr	296392 Sq Ft	6.8 Acreage	\$ 1,170.00	\$ 14,040.00
42	2831 Ridgeline Rd	26295 Sq Ft	0.6 Acreage	\$ 98.00	\$ 1,176.00
43	3261 Green River Rd	68936 Sq Ft	1.58 Acreage	\$ 284.00	\$ 3,408.00
44	3695 Green River Rd	515800 Sq Ft	11.84 Acreage	\$ 2,438.00	\$ 29,256.00
45	3786 Green River Rd	316280 Sq Ft	7.26 Acreage	\$ 1,157.00	\$ 13,884.00

<b>Bid Schedule for Landscaping Maintenance for Area 2 Zone 10 in the City of Corona</b> <b>(NIB-20-0615B)</b>					
<b>Bid Item</b>	<b>Item Description</b>	<b>Square Feet</b>	<b>Acreage</b>	<b>Monthly Cost</b>	<b>Annual Cost (monthly cost X 12)</b>
45	3786 Green River Rd	316280 Sq Ft	7.26 Acreage	\$ 1,157.00	\$ 13,884.00
46	3786 Green River Rd	66341 Sq Ft	1.52 Acreage	\$ 272.00	\$ 3,264.00
47	3787 Green River Rd	514908 Sq Ft	11.82 Acreage	\$ 2,434.00	\$ 29,208.00
48	3787 green River Rd	44066 Sq Ft	1.01 Acreage	\$ 176.00	\$ 2,112.00
49	1611 Montana Ranch Rd	133610 Sq Ft	3.07 Acreage	\$ 515.00	\$ 6,180.00
50	1625 Calle Del Oro	88859 Sq Ft	2.04 Acreage	\$ 350.00	\$ 4,200.00
51	2451 Green River Rd	38636 Sq Ft	0.89 Acreage	\$ 153.00	\$ 1,836.00
52	Pacesetter Industrial, TR#20006 (Zone 15)			\$ 1,285.00	\$ 15,420.00
53	WSLA 1 North Slopes			Deleted	Deleted
54	WSLA 1 Deer Valley			Deleted	Deleted
55	WSLA 1 Canyons			Deleted	Deleted
56	Fire Station 5 (General Area)	22529 Sq Ft	0.52 Acreage	\$ 485.00	\$ 5,820.00
57	Install 100 C.Y. contractor supplied medium grind mulch			\$ 60.00	\$ 720.00
58	Color change out (Begonias) on Sierra Del Oro Monuments (2) 2 times a year (May/November)			\$ 48.00	\$ 576.00
<b>Subtotal of Areas 1-58</b>				\$ 35,945.00	\$ 431,340.00
59	Add Alternate Price for 1,000 Square Feet Area	1000 Sq Ft	0.02 Acreage	\$ 10.00	\$ 120.00
<b>Total Bid Amount of Areas 1-58 and Add Alternate Area 59</b>				\$ 35,955.00	\$ 431,460.00

The total compensation listed in Section 3.3.1 amount of \$456,460, includes the bid amount of \$431,460 and an additional \$25,000 for any contingencies.

Pursuant to Section 3.2.12 above the City will require the Contractor to provide performance and payment bonds for the amount of the total compensation listed in Section 3.3.1 above





April 27, 2020

**SUBJECT: NOTICE INVITING BIDS (“NIB”) No. 20-061SB**

## **SECTION I**

### **INVITATION**

The City of Corona Administrative Services, Purchasing Division (“City”) invites bids from qualified vendors for:

#### **Landscaping Maintenance for Area 2 Zone 10 in the City of Corona**

Parties interested in obtaining a copy of this NIB 20-061SB may do so by registering with PlanetBids as a vendor at <http://coronaca.gov/i-want-to/rfp-posts-list>. Registered vendors can download a copy of this NIB 20-061SB and receive addenda and notifications when issued.

Please read this entire NIB package, paying particular attention to due dates, the Instructions to Bidders, Technical Specifications, and Bid Content and Forms. Bids must contain all requested information and forms and must be signed by an authorized agent of the offering company, in order to be considered responsive.

**Closing:** Bids shall be submitted at or before 3:00 P.M., May 20, 2020 through PlanetBids Vendor Portal. It is the Contractor’s responsibility to allow sufficient time to complete and submit its proposal, including all required documentation required by this NIB, prior to the Bid Due deadline.

**Award of Contract:** The City shall award a Contract for the Project to the lowest responsive, responsible bidder. The City reserves the right to reject any or all bids or to waive any irregularities or informalities in any bids.

Contractors are solely responsible for submitting their electronic bids on time. The City will only consider bids that have transmitted successfully and have been issued a time stamped confirmation number from PlanetBids indicating that the Proposal was successfully submitted. **Transmission of Bids by any other means will not be accepted.**

Contractors are solely responsible for informing themselves, with respect to proper usage, of the online bid management system PlanetBids, for ensuring the capability of their computer system to upload the required documents, and for the reliability of their internet services. Failure to successfully submit an electronic Bid is the Contractor’s sole risk and no relief will be given for late and/or improperly submitted Bids.

Contractors experiencing any technical difficulties with the bid submission process may contract PlanetBids Support at (818) 992-1771 or, if you continue to experience difficulty, contact City of Corona Purchasing Division at (951) 736-2274. Neither the City, nor PlanetBids, make any guarantees or assurances as to the timely availability of assistance, or resolution of any given issue, prior to the submission date and/or time.

Issuance of this NIB and/or receipt of bids does not commit City to award a contract.

Signed,

Scott Briggs  
Purchasing Specialist V  
City of Corona | Administrative Services Department  
Phone: (951) 736-2369  
Email: [Scott.Briggs@coronaca.gov](mailto:Scott.Briggs@coronaca.gov)

April 27, 2020

**SUBJECT: NOTICE INVITING BIDS (“NIB”) No. 20-061SB**

**SECTION I**

**INVITATION**

The City of Corona Administrative Services Department (City) invites bids from qualified firms for:

**Landscaping Maintenance for Area 2 Zone 10 in the City of  
Corona**

Please read this entire NIB package, and include all requested information and forms in your bid. Bids must be signed by an authorized agent of the company submitting a bid to be considered responsive.

**CITY INSURANCE REQUIREMENTS HAVE BEEN UPDATED.  
REFERENCE INSURANCE REQUIREMENTS ACKNOWLEDGMENT FORM  
IN SECTION IV AND SAMPLE AGREEMENT IN SECTION V,  
SUBSECTION 3.2.10 INSURANCE, ET SEQ.**

**Tentative NIB Schedule  
(Subject to change at City’s discretion)**

1. Issue NIB	April 27, 2020
2. Advertise in Sentinel Weekly	April 29, 2020
3. Written Questions from Contractors Due	May 8, 2020; 10:00 A.M.
4. Responses from City Due	May 13, 2020
5. Bids Due (Date & Time)	May 20, 2020; 3:00 P.M.
6. Bid Evaluation Completed	May 27, 2020
7. Contractor Selection	May 28, 2020
8. Request for Council Action Date	June 1, 2020
9. Council Approval	June 17, 2020
10. Contractor Award	June 18, 2020

## **Table of Contents**

Section I	Invitation, Tentative Schedule, Table of Contents
Section II	Instructions to Bidders
Section III	Scope of Work
Section IV	Bid Content and Forms
Section V	Sample Agreement

**[REMAINDER OF PAGE INTENTIONALLY BLANK]**

## **SECTION II.**

### **INSTRUCTIONS TO BIDDERS**

#### **A. Pre-Bid Meeting**

A pre-bid meeting is not required.

#### **B. Examination of Bid Documents**

1. By submitting a bid, Bidders represent that they have thoroughly examined and become familiar with the items required under this NIB and that they are capable of quality performance to achieve the City's objectives.
2. The City reserves the right to remove from its mailing list for future NIBs, for an undetermined period of time, the name of any Contractor for failure to accept a contract, failure to respond to two (2) consecutive NIBs and/or unsatisfactory performance. Please note that a "No Bid" is considered a response.

#### **C. Addenda**

Substantive City changes to the requirements contained herein will be made by written addendum to this NIB. Any written addenda issued pertaining to this NIB shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Contract. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the bid Due Date and Time. Contractors shall access any and all Addenda from the electronic bidding system's Addenda & Email tab of this NIB. The City shall not be bound to any modifications to or deviations from the requirements set forth in this NIB as the result of oral instruction or communication.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this NIB and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of contractor to ensure they have received all addenda prior to submitting a bid. To this end, each contractor should contact the City's Purchasing Division prior to the bid due date to verify receipt of all Addenda issued. Contractors shall acknowledge receipt of all Addenda when submitting their electronic bids.

#### **D. Clarifications**

##### **1. Examination of Documents**

Should a Bidder require clarifications of this NIB, the Bidder shall notify the City, through PlanetBids, in writing in accordance with Section D.2 below. Should it be found that the point in question is substantive and is not clearly and fully set forth, the City shall issue a written addendum clarifying the matter which shall be sent to all those registered through PlanetBids who have downloaded documents of this NIB and will be posted on PlanetBids.

**2. Submitting Requests**

Contractor shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497>

utilizing the Questions & Answers tab. Contractor questions must be submitted no later than **10:00 A.M., May 8, 2020**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

**3. City Responses**

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this NIB as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the proposal due date and time, the proposal due date will be extended.

**E. Submission of Bids**

**1. Date and Time**

All bids are to be submitted electronically through the City's PlanetBids electronic bidding system no later than **May 20, 2020, 3:00 P.M.**

**2. Acceptance of Bids**

- a. The City reserves the right to accept or reject any and all bids, or any item or part thereof, or to waive any informalities or irregularities in bids.
- b. The City reserves the right to withdraw this NIB at any time without prior notice and the City makes no representations that any contract will be awarded to any Bidder responding to this NIB.

- c. The City reserves the right to postpone bid opening for its own convenience.

**F. Bid Withdrawal.**

Electronic bids may be withdrawn prior to the date and time set forth in Section E.1 above. When paper copy bids are allowed, a proposal may be withdrawn by the Contractor only by means of a written request signed by the Contractor or its properly authorized representative. Such request must be received by Scott Briggs, Purchasing Specialist V, at [scott.briggs@coronaca.gov](mailto:scott.briggs@coronaca.gov) before the bid due date and time. After that time, contractors may not withdraw their bids, whether electronic or paper, for a period of ninety (90) days from the Bid Submittal Deadline. At no time may the successful contractor(s) withdraw their bid(s).

**G. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the Bidder in:

1. Preparing its bid in response to this NIB;
2. Submitting that bid to City; or
3. Negotiating with City on any matter related to the bid; or
4. Any other expenses incurred by the bidder prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by bidders in the preparation of its bid. Bidders shall not include any such expenses as part of their bid.

**H. Award Process**

Once all Bids are opened and reviewed to determine the lowest responsive and responsible Bidder, the City Council may award the contract. The apparent successful Bidder should begin to prepare the following documents: (1) the required insurance certificates and endorsements. Once the City notifies the Bidder of the award, the Bidder will have ten (10) consecutive calendar days from the date of this notification to execute the Agreement and supply the City with all of the required documents and certifications. Regardless of whether the Bidder supplies the required documents and certifications in a timely manner, the contract time will begin to run ten (10) calendar days from the date of the notification. Once the City receives all of the properly drafted and executed documents and certification from the successful bidder, the City shall issue a Notice to Proceed to that Bidder.

**I. Acceptance of Order**

The successful bidder will be required to accept a Purchase Order and/or execute a written Agreement (if a Form of Agreement is included in this NIB) in accordance with and including as a part thereof this NIB, including all requirements, conditions

and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement. The successful bidder shall be bound to accept all NIB requirements and terms and conditions of the Form of Agreement.

**J. Force Majeure**

If execution of this contract shall be delayed or suspended and if such failure arises out of causes beyond the control of and without fault or negligence of the successful Bidder, the successful Bidder shall notify the City, in writing, within twenty-four (24) hours, after the delay. Such causes may include but are not limited to acts of God, war, acts of a public enemy, acts of any governmental entity in its sovereign or contractual capacity, fires, floods, epidemics, strikes and unusually severe weather.

**K. Laws Governing Contract**

This contract shall be in accordance with the laws of the state of California. The parties stipulate that this contract was entered into in the county of Riverside, in state of California. The parties further stipulate that the county of Riverside, California, is the only appropriate forum for any litigation resulting from a breach hereof or any questions risen here from.

**L. Primary Bidders**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one Bid unless in a sub-contractual relationship with respect to the Bids. A person, organization or corporation submitting sub-bids or quoting prices on materials to Bidders is prevented from submitting a Bid to the City as a primary bidder.

**M. Special Provisions for Services**

1. Accessibility. The contractor shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. He shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City as provided by law in this contract, the City of Corona shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the contractor hereunder.
3. Substitution of Securities for Retained Funds. The contractor shall be permitted to substitute securities for **any** monies withheld by the City of



Corona to ensure performance under this contract, such substitution to be subject to the limitations and requirements of Public Contract Code Part 5, §22300.

4. City of Corona Business License. The successful bidder(s) and any sub-contractors are required to obtain a City of Corona Business License prior to award of Contract, and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a bid. Inquiries regarding Business License may be answered by visiting the following link: <https://corona.hdlgov.com/Apply/GettingStarted/BusinessLicense> or calling (951) 736-2275.
5. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. The contractor shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to the contractor for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
6. Clean-up. During performance and upon completion of work on this project contractor will remove all unused equipment and instruments of service, all excess or unsuitable material, trash, rubbish and debris, and legally dispose of same, unless otherwise directed by these specifications. Contractor shall leave entire area in a neat, clean and acceptable condition as approved by the City.
7. Compliance With OSHA. Bidder agrees that all item(s) offered comply with all applicable Federal and the State Occupational Safety and Health Act, laws, standards and regulations, and that Bidder will indemnify and hold the City harmless for any failure to so conform.
8. Prevailing Wage. Refer to Section V, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.
9. Contract Incorporation. This contract embodies the entire contract between the City and the Contractor. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the bid solicitation, all addenda, all of Bidder's successful submittal, supplemental agreements, change orders, performance bond(s), and any and all written agreements which alter, amend or extend the contract.

10. Cooperation Between Contractors. The City reserves the rights to contract for and perform other or additional work on or near the work covered by these specifications. When separate contracts are let within the limits of any one project, each contractor shall conduct his work so as not to interfere with or hinder the progress or completion of the work being performed by other contractors. Contractors working on the same project shall cooperate with each other as directed. Each contractor involved shall assume all liability, financial or otherwise, in connection with his contract and shall protect and save harmless the City from any and all damages or claims that may arise because of inconvenience, delays, or loss experienced by him because of the presence and operations of other contractors working within the limits of the same project.
11. Coordination with Agencies. The contractor shall coordinate his activities with the proper regulatory agencies and have their representative on site at the proper times.
12. Damage. The contractor shall be held responsible for any breakage, loss of the City's equipment or supplies through negligence of the contractor or his employee while working on the City's premises. The contractor shall be responsible for restoring or replacing any equipment, facilities, etc. so damaged. The contractor shall immediately report to the City any damages to the premises resulting from services performed under this contract. Failure or refusal to restore or replace such damaged property will be a breach of this contract.
13. Examination of Specification and Site. Bidder is expected to carefully examine the site of the proposed work and all bid specifications, documents, and forms. He shall satisfy himself as to the character, quality, and quantities of work to be performed, materials to be furnished and the requirements of the proposed specifications.
14. Independent Contractor. In accepting this contract, Contractor covenants that it presently has no interest, and shall not acquire any interest, direct or indirect, financial or otherwise, which would conflict in any manner or degree with the performance of the services hereunder. Contractor further covenants that, in the performance of this contract, no subcontractor or person having such an interest shall be employed. Contractor certifies that to the best of his knowledge, no one who has or will have any financial interest under this contract is an officer or employee of City. It is expressly agreed by Contractor that in the performance of the services required under this contract, Contractor, and any of its subcontractors or employees, shall at times be considered independent contractors and not agents of City.
15. Insurance Requirements. Within ten (10) consecutive calendar **days** after the notice of award of contract, the successful Bidder shall furnish the City with

the Certificates of Insurance evidencing coverage as specified in Section V, Form of Agreement, Section 3.2.10 et seq. for Insurance requirements and naming the City of Corona, its officers and agents, additional insured by endorsement. Failure to furnish the required certificates within the time allowed may result in forfeiture of Bidder's Bid Security.

16. Measurements. It is the responsibility of the Bidder to make all measurements to determine his bid price. The City will not be responsible for determining the quantities of materials necessary to complete the work specified.
17. Permits. Unless otherwise specified herein, Contractor shall at his or her expense, obtain all permits and licenses and pay all charges and fees necessary for the performance of the contract, and shall give all public notices necessary for the lawful performance of the contract.

Contractor shall pay all taxes, levies, duties and assessments of every nature due in connection with any work under the contract, shall make any and all payroll deductions required by law, and shall indemnify and hold harmless the City from any liability on account of any and all such taxes, levies, duties, assessments and deductions.

18. Protection of Public. Adequate warning devices, barricades, guards, flagmen or other necessary precautions shall be taken by the contractor to give advised and reasonable protection, safety and warning to persons and vehicular traffic concerned in the area.
19. Rejection of Work. Contractor agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.
20. Unknown Obstructions. Should any unknown obstruction be encountered during the course of this contract the contractor immediately bring it to the attention of the City. The contractor shall be responsible for the protection of all existing equipment, furniture, or utilities encountered within the work area.

#### **N. Filing of Bid Protests**

Contractors may file a "protest" of a Bid with the City's Purchasing Manager. In order for a Bidder's protest to be considered valid, the protest must:

1. Be filed in writing within five (5) calendar days after the bid due date;
2. Clearly identify the specific irregularity or accusation;
3. Clearly identify the specific City staff determination or recommendation being protested;

4. Specify, in detail, the grounds of the protest and the facts supporting the protest; and
5. Include all relevant, supporting documentation with the protest at time of filing.

If the protest does not comply with each of these requirements, it will be rejected as invalid.

If the protest is valid, the Purchasing Manager or other designated City staff member, shall review the basis of the protest and all relevant information. The Purchasing Manager will provide a written decision to the protestor.

**O. Local Bidder Preference Program**

This bid shall be subject to the City's local bidder preference program. To qualify, bidders must be a "local business" with: (i) fixed facilities with one or more employees, which may include a sole proprietor, located at an address within City limits (a post office box alone is insufficient); and (ii) an appropriate City business license/permit. Bidders seeking to qualify for this local program shall provide supporting information and certify in writing that they meet the above requirements as part of the bid submittal.

A qualifying local business shall be entitled to a reduction of five percent (5%) in the tabulation of its bid for purposes of determining the lowest responsible bidder, unless otherwise prohibited by law.

The Local Program shall be applicable to only purchases of materials, supplies, and equipment as well as contracts for maintenance work and other general services projects, which are competitively bid, and which involve an expenditure of two-hundred thousand dollars (\$200,000) or less. For recurring purchases, the Local Program shall be applicable only to the City's first two-hundred thousand dollars (\$200,000) worth of such purchases for any fiscal year, as determined by city staff in its sole discretion.

The Local Program shall also establish a preference for the purchase of materials, supplies, and equipment, as well as contracts for maintenance work and other general services, which are competitively bid, and which involve an expenditure of more than two-hundred thousand dollars (\$200,000). Such preference shall allow the City to take into consideration the net sales tax to be returned to the City as a result of an award to a qualifying Local Business in determining the lowest responsive and responsible bidder. The net sales tax shall be calculated based on the applicable bid price provided by the bidder in accordance with the City's purchasing policy.

**P. Public Records**

Responses (bids) to this Notice Inviting Bids (NIB) and the documents constituting any contract entered into thereafter become the exclusive property of the City and shall be subject to the California Public Records Act (Government Code Section 6250 et seq.). The City's use and disclosure of its records are governed by this Act.

Those elements in each bid which bidder considers to be trade secrets, as that term is defined in Civil Code Section 3426.1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or "PROPRIETARY" by proposer. The City will use its best efforts to inform bidder of any request for disclosure of any such document. The City, shall not in any way, be liable or responsible for the disclosure of any such records including, without limitation; those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information the bidder considers exempt from disclosure, the City will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City is required to defend an action arising out of a Public Records Act request for any of the contents of a bidder's proposal marked "Confidential", "Proprietary", or "Trade Secret", bidder shall defend and indemnify the City from all liability, damages, costs, and expense, including attorneys' fees, in any action or proceeding arising under the Public Records Act.

To insure confidentiality, bidders are instructed to enclose all "Confidential, "Proprietary," or "Trade Secret" data in separate sealed envelopes, which are then included with the bid documents. Because the bid documents are available for review by any person after award of a contract resulting from an NIB, the City shall not in any way be held responsible for disclosure of any "Confidential," Proprietary," or "Trade Secret" documents that are not contained in envelopes and prominently marked.

**Q. Term of Contract**

The Initial Purchase Order Period shall be effective on or about July 1, 2020 through June 30, 2021. Bid prices shall remain effective and in force for the entire Initial Purchase Order Period.

The Initial Contract term shall be effective on or about July 1, 2020 through June 30, 2021.

The City may elect to exercise an extension to renew this contract for an additional five (5), one (1) year terms.

1) The first optional extension will be for twelve (12) months from July 1, 2021 through June 30, 2022.

2) The second optional extension for twelve (12) months will be from July 1, 2022 through June 30, 2023.

3) The third optional extension for twelve (12) months will be from July 1, 2023 through June 30, 2024.

4) The fourth optional extension for twelve (12) months will be from July 1, 2024 through June 30, 2025.

5) The fifth optional extension for twelve (12) months will be from July 1, 2025 through June 30, 2026.

**Contract Renewal:** The Contract may be extended by the City for up to five (5) consecutive one (1) year option renewal periods under the terms and conditions of the original contract, upon execution of an Amendment to the Contract by both parties. Should the City elect to exercise the option to extend this agreement for an additional one (1) year period, the Parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases during the additional one (1) year period shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers for Riverside San Bernardino Ontario, CA" (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised."

Actual option year pricing shall be negotiated with the successful Bidder(s) prior to exercising of any given option year. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.

#### **R. Safety Requirements/OSHA Violations**

Safety at the Project site during performance of the work is of paramount concern to the City. Accordingly, Contractors must not have committed any serious violations within the last two (2) years or any willful violations within the last five (5) years of federal or state OSHA regulations.

Contractors must identify the number of OSHA violations on the CONTRACTOR'S INDUSTRIAL SAFETY RECORD form. Any serious or willful violation falling within the timeframes noted above may render a bid as non-responsive

responsive. We strongly encourage full disclosure, since failure to identify all violations on the CONTRACTOR'S INDUSTRIAL SAFETY RECORD form may result in rejection of the bid as non-responsive or the Contractor non-responsible following a hearing.

A citation properly appealed through OSHA is not considered to be a violation until the matter is closed and considered final by OSHA. The City still expects this information to be disclosed by the Contractor with an explanation and documentation showing that the matter is properly under appeal with OSHA and not considered closed or final. Failure to be forthcoming with this information may result in rejection of the bid as non-responsive. Notwithstanding the preceding, the City may waive this criterion in its sole and absolute discretion.

### **SECTION III.**

#### **SCOPE OF WORK**



## **SECTION IV.**

### **BID CONTENT AND FORMS**

#### **A. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a bid, bidder warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this NIB are currently held by bidder and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification shall be included in bidder's response. **Bids lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

#### **B. BID / PRICE FORMS**

Bidder shall complete the Bid / Price Form in its entirety including: 1) all items listed and total price; 2) all additional costs associated with performance of specifications; and 3) Contractor's identification information including a binding signature.

Bidder shall state cash discounts offered. Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the equipment or materials or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

All prices shall be quoted F.O.B. destination, Corona, California. All shipping, handling and freight charges must be included in cost.

#### **C. MODIFICATIONS OF BIDS**

Each Bidder shall submit its Bid in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Bid may render it non-responsive and may cause its rejection. Bidders shall neither delete, modify, nor supplement the printed matter on the Bid Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered, unless the Notice Inviting Bids authorizes the submission of electronic bids and modifications thereto and such modifications are made in accordance with the Notice Inviting Bids.

## **Forms to be returned with Bid response:**

- Y Bid/Price Form
- Y Non-Collusion Declaration
- Y Local Bidder Preference Program Statement (ONLY IF APPLICABLE)
- Y Experience Statement
- Y Designation of Sub-Contractors
- Y Contractor's Industrial Safety Record Form
- Y Information Required of Contractors
- Y Contractor's Certificate Regarding  
Workers' Compensation
- Y Acknowledgment of The Terms And Conditions Of The City Of Corona  
Maintenance/General Services Agreement
  
- Y Acknowledgement of the Vendor Performance Evaluation Form
- Y Insurance Requirements Check Sheet
- Y Acknowledgement of Purchase Order Terms and Conditions

## BID / PRICE FORM

NOTICE INVITING BIDS:

NIB No. 20-061SB

DESCRIPTION OF NIB:

Landscaping Maintenance for Area 4 in the City of Corona

BIDDER'S NAME/ADDRESS:

NAME/TELEPHONE NO. OF AUTHORIZED  
REPRESENTATIVE

Please provide Firm Fixed pricing and any other incidental or additional costs required in the spaces provided below to complete the Technical Specifications requirements. Please check your calculations before submitting your bid; the City is not responsible for Contractor miscalculations.

NOTE: bids submitted on forms other than those provided herein may cause rejection of the bid as non-responsive.

Material & Equipment		Unit Price	Quantity	Extended Price
	Membrane Material (tax included)		322	
	Additional Materials		1	
	Freight	LS	1	
On-Site Installation Inspection				
	Flat Fee	LS	1	

As described in Section III. "Technical Specifications", the City reserves the option to purchase additional membranes at the rates set forth in this Bid/Price Form.

In the event that bidder intends to bid zero-dollar value for any item shown in the Bid/Price Form, bidder shall enter "zero" or "0" in the space provided for price or cost. With the exception of "Reason(s) for No Bid", all spaces in the Bid/Price Form shall be filled in by bidders. City reserves the right to reject as non-responsive any or all bids containing blank spaces.

Bidder shall complete the following required information:

NIB No. 20-061SB      Section IV. "Bid Content and Forms" Page 3 of 25

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

Signature below verifies that Bidder has read, understands, and agrees to the conditions contained herein and on all of the attachments and agenda.

Are there any other additional or incidental costs which will be required by your firm in order to meet the requirements of the Technical Specifications? Yes / No . (circle one). If you answered "Yes", please provide detail of said additional costs: \_\_\_\_\_

---

---

Please indicate any exceptions to or deviations from the NIB Requirements here.

---

---

---

Have you included in your bid all informational items and forms as requested? Yes / No . (circle one). If you answered "No", please explain: \_\_\_\_\_

---

---

This offer shall remain firm for 90 days from NIB close date.

Terms and conditions as set forth in this NIB apply to this bid.

Cash discount allowable \_\_\_\_\_ % \_\_\_\_\_ days; unless otherwise stated, payment terms are: Net thirty (30) days.

In signing this bid, Bidder warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this NIB. Below, please indicate all Addenda to this NIB received by your firm, and the date said Addenda was/were received. It is the bidder's responsibility to ensure that all addendums are received. Failure to acknowledge receipt of addenda may cause the City to reject the bid as non-responsive.

Verification of Addenda Received

Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____

AUTHORIZED SIGNATURE: \_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

COMPANY NAME & ADDRESS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

FAX: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**IF SUBMITTING A "NO BID", PLEASE STATE REASON(S) BELOW:**

\_\_\_\_\_

**NON-COLLUSION DECLARATION**  
**(TO BE EXECUTED BY BIDDER AND SUBMITTED WITH BID)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [bidder], the party making the foregoing bid.

The bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The bid is genuine and not collusive or a sham. The bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid. The bidder has not directly or indirectly colluded, conspired, plotted, or agreed with any bidder or anyone else to put in a sham bid, or to refrain from bidding. The bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder. All statements contained in the bid are true. The bidder has not, directly or indirectly, submitted his or her bid price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof to effectuate a collusive or sham bid, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a bidder that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the bidder.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_ [date],  
at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Bid

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of \_\_\_\_\_)

On \_\_\_\_\_ before me, \_\_\_\_\_  
(insert name and title of the officer)

personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

**LOCAL BIDDER PREFERENCE PROGRAM STATEMENT**  
**To Be Submitted with Bid**

This bid shall be subject to the City of Corona local bidder preference program. To qualify, bidders must be a “local business” with: (i) fixed facilities with one or more employees, which may include a sole proprietor, located at an address within City limits (a post office box alone is insufficient); and (ii) an appropriate City business license/permit. Bidders seeking to qualify for this local program shall provide supporting information and certify in writing that they meet the above requirements as part of the bid submittal.

A qualifying local business shall be entitled to a reduction of five percent (5%) in the tabulation of its bid for purposes of determining the lowest responsible bidder, unless otherwise prohibited by law.

The Local Program shall be applicable to only purchases of materials, supplies, and equipment as well as contracts for maintenance work and other general services projects, which are competitively bid and which involve an expenditure of two-hundred thousand dollars (\$200,000) or less. For recurring purchases, the Local Program shall be applicable only to the City’s first two-hundred thousand dollars (\$200,000) worth of such purchases for any fiscal year, as determined by city staff in its sole discretion.

The Local Program shall also establish a preference for the purchase of materials, supplies, and equipment, as well as contracts for maintenance work and other general services, which are competitively bid and which involve an expenditure of more than two-hundred thousand dollars (\$200,000). Such preference shall allow the City to take into consideration the net sales tax to be returned to the City as a result of an award to a qualifying Local Business in determining the lowest responsive and responsible bidder. The net sales tax shall be calculated based on the applicable bid price provided by the bidder in accordance with the City’s purchasing policy.

Local Bidder Preference Qualifications: (Bidder–provide the following information)

\_\_\_\_\_  
Bidder’s Name

\_\_\_\_\_  
Address of Bidder within City limits  
(a post office box does not qualify)

\_\_\_\_\_  
Bidder’s City of Corona business license number \_\_\_\_\_

I hereby certify that I qualify for the City of Corona Local Bidder Preference Program.

\_\_\_\_\_  
Signature of Bidder



**EXPERIENCE STATEMENT  
To Be Submitted with Bid**

**List at least three references for work of a similar nature performed within the last three years.**

I hereby certify that I have performed the work listed below.

\_\_\_\_\_  
Signature of Bidder

Project Client	Description of Bidder's Work	Period of Performance	Contact Name & Phone

## DESIGNATION OF SUBCONTRACTORS

In compliance with the Subletting and Subcontracting Fair Practices Act of the Public Contract Code of the State of California (PCC section 4100 et seq.), each bidder shall set forth below: (a) the name and the location of the place of business and (b) the license number and the DIR registration number, and (c) the portion of the Work which will be done by each subcontractor who will perform work or labor or render service to the Contractor in or about the construction of the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price. Notwithstanding the foregoing, if the Work involves streets and highways, then the Contractor shall list each subcontractor who will perform work or labor or render service to Contractor in or about the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price or \$10,000, whichever is greater. No additional time shall be granted to provide the below requested information.

If Contractor is fully qualified to perform a portion of the Work listed below and will perform such Work, Contractor shall circle "yes" under the "will you be self-performing" column below. Otherwise, if no subcontractor is specified for a portion of the Work or if more than one subcontractor is specified for the same portion of Work, and if that portion of Work is in excess of the amounts described in the paragraph above), then the Contractor shall be deemed to have agreed that it is fully qualified to perform that portion of Work and that it shall perform that portion itself.

If the "PCC 3400(c)" column states "yes" below, then please take note that a portion of the Work described is impacted by findings made by the City that a particular material, product, thing or service must be used and has been designated by a specific brand or trade name.<sup>1</sup> In such cases, **there may be only one subcontractor qualified or authorized to perform a portion of the Work described, so please take note and ensure that you list the proper subcontractor.**

---

<sup>1</sup> A copy of the applicable approved Notice Designating Sole Source Equipment and Products Specifications is available upon request from the City.

Description of Work	PCC 3400(c) Apply?	Will you be Self-Performing? (Please circle)	If no, list Subcontractor	Name, Location, License Number & DIR Registration Number of Subcontractor	Portion of Work by Subcontractor
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			

Contractor: \_\_\_\_\_

**CONTRACTOR'S INDUSTRIAL SAFETY RECORD FORM**

**(To be Completed and Submitted with Contractor's Bid)**

Number of OSHA Violations within the last 5 years (must state zero if none):

\_\_\_ Serious\_\_\_ Willful\_\_\_ Repeat\_\_\_ Other\_\_\_ Unclass\_\_\_ Total

## INFORMATION REQUIRED OF CONTRACTORS

[\*\*\*Indicate not applicable (“N/A”) where appropriate\*\*\*]

NOTE: Where Contractor is a joint venture, pages shall be duplicated, and information provided for all parties to the joint venture.

1.0 Name of Contractor: \_\_\_\_\_

2.0 Type, if Entity: \_\_\_\_\_

3.0 Contractor Address: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Telephone Number

4.0 \_\_\_\_\_  
Landscaping License Number      DIR Registration Number

5.0 How many years has Contractor’s organization been in business as a Contractor?

\_\_\_\_\_

6.0 How many years has Contractor’s organization been in business under its present name? \_\_\_\_\_

6.1 Under what other or former names has Contractor’s organization operated:

\_\_\_\_\_

7.0 If Contractor’s organization is a corporation, answer the following:

7.1 Date of Incorporation: \_\_\_\_\_

7.2 State of Incorporation: \_\_\_\_\_

7.3 President’s Name: \_\_\_\_\_

7.4 Vice-President’s Name(s): \_\_\_\_\_

\_\_\_\_\_

7.5 Secretary’s Name: \_\_\_\_\_

7.6 Treasurer’s Name: \_\_\_\_\_

8.0 If an individual or a partnership, answer the following:

8.1 Date of Organization: \_\_\_\_\_

8.2 Name and address of all partners (state whether general or limited partnership):

---

---

---

9.0 If other than a corporation or partnership, describe organization and name principals:

---

---

10.0 List other states in which Contractor's organization is legally qualified to do business.

---

---

---

11.0 What type of work does the Contractor normally perform with its own forces?

---

---

12.0 Has Contractor ever failed to complete any work awarded to it? If so, note when, where, and why:

---

---

13.0 Has Contractor entered into a settlement agreement involving a project of more than \$100,000 within the last two years with any City or public agency? If so, note when, where, and why. *This information may be the basis for rejecting the bid as nonresponsive or the Contractor as non-responsible following a hearing.*

---

---

14.0 Within the last five years, has any officer or partner of Contractor's organization ever been an officer or partner of another organization when it failed to complete a contract? If so, attach a separate sheet of explanation:

---

---

15.0 Have you been or are you on any federal state list of debarred or suspended bidders/contractors? If yes, state the beginning and ending dates of the period of disbarment:

---

---

16.0 List Trade References:

---

---

---

---

17.0 List Bank References (Bank and Branch Address):

---

---

---

---

18.0 Insurance Documentation:

Submit a sample of your certificate of insurance for a preliminary review by the City.

Disclose any deductibles or self-insured retentions. Any deductibles or self-insured retentions are subject to approval by the City

---

---

---

---

**CONTRACTOR'S CERTIFICATE REGARDING  
WORKERS' COMPENSATION**

I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.

Name of Bidder \_\_\_\_\_

Signature \_\_\_\_\_

Name \_\_\_\_\_

Title \_\_\_\_\_

Dated \_\_\_\_\_



**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA MAINTENANCE/GENERAL SERVICES AGREEMENT**

This is to acknowledge that we have read the City of Corona Maintenance/General Services Agreement and will sign the agreement, as presented, without exception, for the City's NIB No. 20-061SB.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)



## Vendor Performance Evaluation Form

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>				<b>P.O. #:</b>
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
<b>Weekly</b> <input type="radio"/>	<b>Monthly</b> <input type="radio"/>	<b>Quarterly</b> <input type="radio"/>	<b>Annually</b> <input type="radio"/>	<b>Other</b> <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning.			Professional Service - unique, technical, and/or infrequent functions performed by an independent contractor/vendor qualified by education, experience, and/or technical ability to provide services. <div style="text-align: right;"><input type="radio"/></div>	
Products - a supplier of a tangible object that is manufactured or refined for sale. <div style="text-align: right;"><input type="radio"/></div>			Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <div style="text-align: right;"><input type="radio"/></div>	
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> </ol>				

6. *Appropriate Use of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.*
7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<i>Evaluation Criteria</i>	<i>Evaluation Score</i>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate Use of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

<b>OVERALL EVALUATION SCORE</b>	<b>4.89</b>
<b>OVERALL EVALUATION RATING</b>	<b>EXCELLENT</b>

## ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

**Insurance Requirements Check Sheet  
(To be Completed and Submitted with Bid)**

Vendors are encouraged to state any exceptions to or deviations from the insurance requirements of this solicitation. The City will evaluate exceptions or deviations from the insurance requirements to determine acceptability. The City reserves the right to reject bids as non-responsive based on the exceptions or deviations to the insurance requirements.

All applicable insurance requirements will be identified under the “Applicable to Vendor” column with a ***YES***.

**ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET**

This is to acknowledge that we have reviewed the City of Corona Insurance Requirements Check Sheet and understand that we will be able to provide the insurance coverage required unless exceptions have been disclosed.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

## City of Corona

### NIB Insurance Requirements Check List

	YES	NO	Applicable to Vendor (City Use Only)
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Automobile Liability - \$1M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M or occurrence/\$2M aggregate?			Not Applicable
Can your company provide Cyber Liability Insurance - \$M per occurrence or claim, \$M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			Not Applicable
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

### Insurance Endorsements

#### General Liability

	YES	NO	Applicable to Vendor (City Use Only)
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Consultant, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the consultants insurance and will			YES

not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			
--	--	--	--

### Automobile Liability

	YES	NO	Applicable to Vendor (City Use Only)
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor (City Use Only)
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Consultant?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Consultant hereby waives all rights of subrogation any insurer of Consultant's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Consultant?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any "No" responses.

---

---

---

---

---

---

---

---

## **SECTION V.**

**\*\* SAMPLE AGREEMENT - DO NOT  
EXECUTE \*\***

**\*\*\*MODEL - REMOVE THIS TITLE WHEN USED\*\*\***

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH \*\*\*INSERT NAME\*\*\*  
(\*\*\*INSERT TYPE OF SERVICES\*\*\* – \*\*\*INSERT PROJECT NAME\*\*\*)**

### **1. PARTIES AND DATE.**

This Agreement is made and entered into this \*\*\*INSERT DAY\*\*\* day of \*\*\*INSERT MONTH\*\*\*, \*\*\*INSERT YEAR\*\*\* (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and \*\*\*INSERT NAME\*\*\*, a \*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\* with its principal place of business at \*\*\*INSERT ADDRESS\*\*\* (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

### **2. RECITALS.**

#### **2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing \*\*\*INSERT TYPE OF SERVICES\*\*\* services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

#### **2.2 Project.**

City desires to engage Contractor to render such services for the \*\*\*INSERT NAME OF PROJECT\*\*\* project (“Project”) as set forth in this Agreement.

#### **\*\*\*INCLUDE THIS SUB-SECTION ONLY IF APPLICABLE; DELETE OTHERWISE\*\*\*2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona



Utility Authority ("CUA") for the maintenance, management and operation of those utility systems (collectively, the "CUA Management Agreements"). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).  
\*\*\*INCLUDE THIS SUB-SECTION ONLY IF APPLICABLE; DELETE OTHERWISE\*\*\*

### 3. TERMS.

#### 3.1 Scope of Services and Term.

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional \*\*\*INSERT TYPE OF SERVICES\*\*\* maintenance or other general services necessary for the Project ("Services"). The Services are more particularly described in Exhibit "A" attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from \*\*\*INSERT START DATE\*\*\* to \*\*\*INSERT ENDING DATE\*\*\* ("Term"), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. \*\*\*OPTIONAL: INCLUDE EITHER OF THE FOLLOWING, DEPENDING UPON WHETHER THE PARTIES HAVE TO MUTUALLY AGREE TO EXTEND THE TERM OR IF THE CITY WILL RETAIN THE SOLE RIGHT TO EXTEND THE TERM: \*\*\*MUTUAL\*\*\* The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a "Renewal Term"). \*\*\*CITY UNILATERAL\*\*\* The City has the right to extend the Term of this Agreement, in its sole discretion and under the same terms and conditions, for \*\*\*INSERT WRITTEN AMOUNT\*\*\* ([\*\*\*INSERT NUMERICAL AMOUNT\*\*\*]) additional one (1) year periods (each a "Renewal Term"). The terms "Term" and "Renewal Term" may sometimes be generally and collectively referred to as "Term" in this Agreement.\*\*\*]

#### 3.2 Responsibilities of Contractor.

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor's exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers' compensation insurance.

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City’s Representative. The City hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement (“City’s Representative”). City’s Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City’s Representative or his or her designee.

3.2.5 Contractor’s Representative. Contractor hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement (“Contractor’s Representative”). Contractor’s Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor’s Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City’s staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor’s failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or

NIB No. 20-061SB                      Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and  
NIB No. 20-061SB Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: [\*\*\*INSERT AMOUNT - TYPICALLY \$1,000,000 MINIMUM; HOWEVER, AMOUNT OF INSURANCE REQUIRED DEPENDS UPON NATURE OF CONTRACT AND RISK TO CITY. PLEASE CONTACT RISK MANAGEMENT TO CONFIRM AMOUNT\*\*\*] per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: [\*\*\*INSERT AMOUNT - TYPICALLY \$1,000,000 MINIMUM; HOWEVER, AMOUNT OF INSURANCE REQUIRED DEPENDS UPON NATURE OF CONTRACT AND RISK TO CITY. PLEASE CONTACT RISK MANAGEMENT TO CONFIRM AMOUNT\*\*\*] per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of [\*\*\*INSERT AMOUNT - TYPICALLY \$1,000,000 MINIMUM; HOWEVER, AMOUNT OF INSURANCE REQUIRED DEPENDS UPON NATURE OF CONTRACT AND RISK TO CITY. PLEASE CONTACT RISK MANAGEMENT TO CONFIRM AMOUNT\*\*\*] per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess

NIB No. 20-061SB                      Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

3.2.12 Bonds.

[\*\*\*NOTE (READ AND DELETE THIS BLOCK BEFORE USING MODEL): SOME MAINTENANCE PROJECTS OF MORE THAN \$25,000 WILL REQUIRE PAYMENT BONDS BY LAW. SEE GENERALLY CIVIL CODE SECTION 9550 OR SPEAK TO THE CITY'S CONTRACT MANAGER OR CITY ATTORNEY\*\*\*]

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

is required, no payment will be made to Contractor until it has been received and approved by the City.

**3.2.12.2 Payment Bond.** If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

**3.2.12.3 Bond Provisions.** Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

**3.2.12.4 Surety Qualifications.** The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

**3.2.13 Accounting Records.** Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

**3.3.1 Rates & Total Compensation.** Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed **\*\*\*INSERT WRITTEN DOLLAR AMOUNT\*\*\*** (\$**\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\***) ("Total Compensation") without written approval of City's **\*\*\*INSERT TITLE\*\*\***. Extra Work may be authorized, as described below, and if

NIB No. 20-061SB                      Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona



authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. **\*\*\*OPTIONAL: IF FEDERAL FUNDS ARE INVOLVED, USE THE NEXT SENTENCE FOR FEDERAL PW REQUIREMENTS - DELETE OTHERWISE\*\*\*** If the Services involve federal funds or otherwise require compliance with the Davis-Bacon Fair Labor Standards Act, the Contractor and its subcontractors shall comply with the higher of the state or federal prevailing wage rates, and the "Prevailing Wage Laws" shall be deemed to include such federal wages laws. **\*\*\*OPTIONAL: IF FEDERAL FUNDS ARE INVOLVED, USE THE LAST SENTENCE FOR FEDERAL PW REQUIREMENTS - DELETE OTHERWISE\*\*\*** If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's **\*\*\*INSERT TITLE\*\*\***. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to

NIB No. 20-061SB                      Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the **\*\*\*INSERT "Work" "Project" OR "Services"\*\*\*** **\*\*\*INSERT "is" OR "are"\*\*\*** being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

Name of Contractor  
Street Address  
City State Zip  
Attn: **\*\*\*INSERT NAME\*\*\***

**City:**

City of Corona  
400 South Vicentia Avenue  
Corona, CA 92882  
Attn: **\*\*\*INSERT NAME & DEPARTMENT\*\*\***

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

\*\*\*INCLUDE THIS SUB-SECTION ONLY IF APPLICABLE; DELETE OTHERWISE\*\*\*]3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system. . [\*\*\*INCLUDE THIS SUB-SECTION ONLY IF APPLICABLE; DELETE OTHERWISE\*\*\*]

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee,  
NIB No. 20-061SB                      Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

3.5.18 Federal Provisions. **\*\*\*INCLUDE THIS SECTION ONLY IF APPLICABLE; DELETE OTHERWISE. IF APPLICABLE, YOU MAY ALSO NEED TO INCLUDE SOME INFORMATION IN THE RFP. CONSULT AGENCY COUNSEL IF NECESSARY\*\*\*** When funding for the Services is provided, in whole or in part, by an agency of the federal government, Contractor shall also fully and adequately comply with the provisions included in Exhibit "D" (Federal Requirements) attached hereto and incorporated herein by reference ("Federal Requirements"). With respect to any conflict between such Federal Requirements and the terms of this Agreement and/or the provisions of state law, the more stringent requirement shall control.

**[SIGNATURES ON NEXT 2 PAGES]**

NIB No. 20-061SB

Section V. "Sample Agreement"

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

**CITY’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**([\*\*\*INSERT TYPE OF SERVICES\*\*\*] – [\*\*\*INSERT PROJECT NAME\*\*\*])**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
City Clerk

[\*\*\*INSERT OTHER SIGNATURE  
BLOCKS AS NEEDED, INCLUDING  
CITY ATTORNEY AND  
RECOMMENDING EMPLOYEES\*\*\*]

NIB No. 20-061SB

Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

**CONTRACTOR’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**([\*\*\*INSERT TYPE OF SERVICES\*\*\*] – [\*\*\*INSERT PROJECT NAME\*\*\*])**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF CONTRACTOR\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_

**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

By: \_\_\_\_\_

**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

**[\*\*\*NOTE (READ AND DELETE THIS BLOCK BEFORE USING MODEL): SIGNATURE BLOCKS CAN VARY DEPENDING UPON THE CONTRACTOR’S TYPE OF LEGAL ENTITY (E.G. CORPORATION; GENERAL PARTNERSHIP; LIMITED PARTNERSHIP; LIMITED LIABILITY PARTNERSHIP OR COMPANY; OR AN INDIVIDUAL). THIS MODEL CONTAINS A GENERAL FRAMEWORK WHICH WILL WORK FOR MOST CORPORATIONS, INDIVIDUAL (NON-CORPORATE) PARTNERSHIPS AND INDIVIDUAL SOLE PROPRIETORSHIPS. PLEASE REFER TO THE CITY CLERK’S “SIGNATURE REQUIREMENT” MEMO ON THE CITY OF CORONA INFO WEB FOR COMPLETE INFORMATION\*\*\*]**

NIB No. 20-061SB

Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

**EXHIBIT “A”  
SCOPE OF SERVICES**

**\*\*\*INSERT SCOPE\*\*\***

NIB No. 20-061SB

Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019



**EXHIBIT “B”  
SCHEDULE OF SERVICES**

**\*\*\*INSERT SCHEDULE\*\*\***

NIB No. 20-061SB

Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

**EXHIBIT “C”  
COMPENSATION**

**\*\*\*INSERT RATES & AUTHORIZED REIMBURSABLE EXPENSES\*\*\*]**

**[\*\*\*SEE SECTION 3.2.12 ABOVE AND INSERT CITY’S REQUIREMENT FOR  
PERFORMANCE/PAYMENT BONDS, IF APPLICABLE; IF NOT REQUIRED, STATE THAT  
THEY ARE NOT REQUIRED\*\*\*]**

NIB No. 20-061SB

Section V. “Sample Agreement”

Landscaping Maintenance for Area 2 Zone 10 in the City of Corona

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019



**BID / PRICE FORM**

NOTICE INVITING BIDS: NIB No. 20-061SB

DESCRIPTION OF NIB: Landscaping Maintenance for Area 2 Zone 10 in  
the City of Corona

BIDDER'S NAME/ADDRESS: Tropical Plaza Nursery, Inc.  
9642 Santiago Blvd.  
Villa Park, CA 92861

NAME/TELEPHONE NO. OF  
 AUTHORIZED REPRESENTATIVE Leslie T. Fields  
(714) 998-4100

WEBSITE: Tropicalplaza.com

EMAIL: LesFields@tropicalplaza.com

Please provide Firm Fixed pricing and any other incidental or additional costs required in the spaces provided below to complete the Technical Specifications requirements. Please check your calculations before submitting your bid; the City is not responsible for Contractor miscalculations.

NOTE: bids submitted on forms other than those provided herein may cause rejection of the bid as non-responsive.

Award of Contract: The City shall award the bid to the lowest responsive, responsible bidder, as determined by the City from the total of all the base bid items and the add alternate item in the Bid/Price Form.

If the Contract Documents specify alternate bid items, the following Alternate Bid amounts shall be added to the Total Bid Price, at the City's sole option. The City can choose to include one or more of the Alternate Bids in the Project. If any of the Alternate Bids are selected by the City, the resulting amount shall be added to the Total Bid Price. The City may select the add alternate item at the stated Bid Price during the term of the Contract. The City can award/select Alternate Bid items at any time(s).

**Bid Schedule NIB-20-061SB for Area 2 LMD 84-2, Fire Station 5 (General Area) and Zone 15 (Pacesetter Industrial, TR#20006) (see attached maps) This schedule is provided for reference, All bidders shall provide costs on the Planet Bids Line Item Spreadsheet**

<b>Bid Item No.</b>	<b>LMD areas</b>	<b>S.F.</b>	<b>Acreage</b>	<b>Monthly Cost</b>	<b>Annual Cost (monthly cost X12)</b>
1	1036 Redberry Ln	119,491	2.74	\$503	\$6,036
2	1208 Dominguez Ranch Rd	128,045	2.94	\$540	\$6,480
3	1242 Dominguez Ranch Rd	25,300	0.58	\$94	\$1,128
4	1554 Baldy View C	276,000	6.34	\$1,085	\$13,020
5	1588 San Ponte Rd	220,779	5.07	\$893	\$10,716
6	1598 Montana Ranch Rd	321,558	7.38	\$1,280	\$15,360
7	1611 Montana Ranch Rd	133,610	3.07	\$515	\$6,180
8	1660 Paseo Grande	166,333	3.82	\$667	\$8,004
9	1665 Calle Del Oro	120,096	2.76	\$487	\$5,844
10	2081 Green Riverside Rd	14,850	0.34	\$50	\$600
11	2210 Green Riverside Rd	139,411	3.20	\$560	\$6,720
12	2687 Raven Cl	234,784	5.39	\$904	\$10,848
13	2820 Green River Rd	199,102	4.57	\$819	\$9,828
14	2820 Green River Rd	42,114	0.97	\$168	\$2,016
15	2890 Green River Rd	366,328	8.41	\$1,375	\$16,500
16	2950 Wilderness Cl	110,358	2.53	\$463	\$5,556
17	2997 Juniper Dr	332,607	7.64	\$1,244	\$14,928
18	3005 Ridgeline Dr	8,515	0.20	\$85	\$1,020
19	3059 Diamond View Cl	315,258	7.24	\$1,154	\$13,848

20	3258 Green River Rd	69,998	1.61	\$289	\$3,468
21	3260 Green River Rd	108,386	2.49	\$436	\$5,232
22	3692 Alvardao Cl	321,810	7.39	\$1,282	\$15,384
23	3950 San Ramon	80,225	1.84	\$333	\$3,996
24	4192 Green River Rd	8,190	0.19	\$65	\$780
25	4194 Green River Rd	71,913	1.65	\$297	\$3,564
26	825 Highland View Dr	183,446	4.21	\$1,550	\$18,600
27	975 Highland View Dr	25,521	0.59	\$200	\$2,400
28	1120 Serfas Club Dr	50,455	1.16	\$204	\$2,448
29	1143 Ridgeline Dr	5,277	0.12	\$60	\$720
30	1151 Serfas Club Dr	24,835	0.57	\$93	\$1,116
31	1172 San Lorenzo Ln	2,664	0.06	\$50	\$600
32	1250 Canyon Crest Dr	303,625	6.97	\$1,203	\$14,436
33	1251 Canyon Crest Dr	122,070	2.80	\$494	\$5,928
34	1305 Oakridge Dr	306,450	7.04	\$1,216	\$14,592
35	1690 Oakridge Dr	214,505	4.92	\$895	\$10,740
36	1691 Oakridge Dr	365,325	8.39	\$1,471	\$17,652
37	2598 Green River Rd	263,300	6.04	\$1,027	\$12,324
38	2817 Green River Rd	18,228	0.42	\$95	\$1,140
39	2825 Ridgeline Dr	49,630	1.14	\$200	\$2,400
40	2828 Ridgeline Dr	163,425	3.75	\$674	\$8,088
41	2830 Ridgeline Dr	296,392	6.80	\$1,170	\$14,040
42	2831 Ridgeline Rd	26,295	0.60	\$98	\$1,176

43	3261 Green River Rd	68,936	1.58	\$284	\$3,408
44	3695 Green River Rd	515,800	11.84	\$2,438	\$29,256
45	3786 Green River Rd	316,280	7.26	\$1,157	\$13,884
46	3786 Green River Rd	66,341	1.52	\$272	\$3,264
47	3787 Green River Rd	514,908	11.82	\$2,434	\$29,208
48	3787 green River Rd	44,066	1.01	\$176	\$2,112
49	1611 Montana Ranch Rd	133,610	3.07	\$515	\$6,180
50	1625 Calle Del Oro	88,859	2.04	\$350	\$4,200
51	2451 Green River Rd	38,636	0.89	\$153	\$1,836
52	Pacesetter Industrial, TR#20006 (Zone 15)			\$1,285	\$15,420
53	WSLA 1 North Slopes			DELETED	FROM BID
54	WSLA 1 Deer Valley			DELETED	FROM BID
55	WSLA 1 Canyons			DELETED	FROM BID
56	Fire Station 5 (General Area)	22,529	0.52	\$485	\$5,820
57	Install 100 C.Y. contractor supplied medium grind mulch	Per Yard	Price	\$60	\$6,000
58	Color change out (Begonias) on Sierra Del Oro Monuments (2) 2 times a year (May/November)	Per Flat	Price	\$48	-----
<b>Subtotal of Areas 1-58</b>					
59	Add Alternate Price for 1,000 Square Feet Area	1,000	0.02	\$10	\$120
<b>Total Bid Amount of Areas 1-58 and Add Alternate Area 59</b>				\$35,955	

In the event that bidder intends to bid zero-dollar value for any item shown in the Bid/Price Form, bidder shall enter "zero" or "0" in the space provided for price or cost. With the exception of "Reason(s) for No Bid", all spaces in the Bid/Price Form shall be filled in by bidders. City reserves the right to reject as non-responsive any or all bids containing blank spaces.

The successful Contractor will be required to provide performance and payment bonds for the total amount of the contract. Bond forms will be issued on City approved forms after City Council approval of contract. The sample payment and performance bond documents are included for the contractor's review.

Bidder shall complete the following required information:

Signature below verifies that Bidder has read, understands, and agrees to the conditions contained herein and on all of the attachments and agenda.

Are there any other additional or incidental costs which will be required by your firm in order to meet the requirements of the Technical Specifications? Yes No (circle one). If you answered "Yes", please provide detail of said additional costs: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Please indicate any exceptions to or deviations from the NIB Requirements here.

\_\_\_\_\_  
N / A  
\_\_\_\_\_  
\_\_\_\_\_

Have you included in your bid all informational items and forms as requested? Yes ~~No~~ (circle one). If you answered "No", please explain:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This offer shall remain firm for 90 days from NIB close date.

Terms and conditions as set forth in this NIB apply to this bid.

Cash discount allowable \_\_\_\_\_ 0 % \_\_\_\_\_ days; unless otherwise stated, payment terms are: Net thirty (30) days.

In signing this bid, Bidder warrants that all certifications and documents requested herein are attached and properly completed and signed.


From time to time, the City may issue one or more addenda to this NIB. Below, please indicate all Addenda to this NIB received by your firm, and the date said Addenda was/were received. It is the bidder's responsibility to ensure that all addendums are received. Failure to acknowledge receipt of addenda may cause the City to reject the bid as non-responsive.



## Verification of Addenda Received

Addenda No:	<u>1</u>	Received on:	<u>05/08/2020</u>
Addenda No:	<u>2</u>	Received on:	<u>05/13/2020</u>
Addenda No:	<u>3</u>	Received on:	<u>05/19/2020</u>

AUTHORIZED SIGNATURE:

  
\_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE:

Leslie T. FieldsPresidentDATE SIGNED: 05/19/2020IF SUBMITTING A "NO BID", PLEASE STATE REASON(S) BELOW:  
\_\_\_\_\_



Staff Report

---

**File #:** 21-0659

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Public Works Department

**SUBJECT:**

Award of Contract to Western State Builder, Inc. for the Mountain Gate Park Playground Improvements Project.

**EXECUTIVE SUMMARY:**

This action is to approve an award of Notice Inviting Bids 21-080HC for the Mountain Gate Park Playground Improvements Project. This Project will remove the existing playground at Mountain Gate Park and install new playground equipment and rubberized surfacing.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Adopt the Plans and Specifications for the Mountain Gate Park Playground Improvements Project, Notice Inviting Bids 21-080HC.
- b. Award Notice Inviting Bids 21-080HC for the Mountain Gate Park Playground Improvements Project to Western State Builder, Inc. of Escondido, CA, to the lowest responsive, responsible bidder, for a total not to exceed amount of \$144,183 and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- c. Authorize the City Manager, or his designee, to execute a contract with Western State Builder, Inc. of Escondido, CA, in the amount of \$144,183.
- d. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, amendments and change orders up to ten percent or \$14,418 of the original contract amount.
- e. Authorize the Purchasing Manager to issue a Purchase Order to Western State Builder, Inc. of

Escondido, CA, in the amount of \$144,183.

- f. Authorize the transfer of \$34,220 from Capital Improvement Project No. 6869 Citywide ADA Improvements to Capital Improvement Project No. 7380 Mountain Gate Park Improvements for rubberized surfacing installation.

### **BACKGROUND & HISTORY:**

The playground equipment at Mountain Gate Park requires replacement; there are missing components at the playground because replacement parts are no longer available. The Mountain Gate Park Playground Project was included in the current fiscal year Capital Improvement Project (CIP) budget as Project No. 7380. City staff worked with various playground manufacturers, the Parks and Recreation Commission, and the public to select new playground equipment for Mountain Gate Park. On December 16, 2020, the Corona City Council approved the purchase of the playground equipment from Pacific Play, Inc. The equipment was subsequently received at the City's warehouse and plans and specifications were developed for the installation of the new playground equipment and rubberized surfacing.

### **ANALYSIS:**

The Public Works Department issued Notice Inviting Bids (NIB) 21-080HC for this Project. The bid was posted on the City's PlanetBids bidding website and advertised in the Sentinel Weekly on June 2, 2021. A total of 69 contractors were solicited, and seven (7) bids were received by the June 17, 2021 due date and time. The results of the bids are as follows:

<b>Vendor</b>	<b>City</b>	<b>Total Bid Amount</b>
Western State Builder, Inc.	Escondido, CA	\$144,182.73
Ortco, Inc.	Orange, CA	\$149,488.23
Jaynes Brothers Construction	Newbury Park, CA	\$165,995.20
Micon Construction, Inc.	Placentia, CA	\$167,221.00
CEM Construction Corporation	Montebello, CA	\$234,315.00
Sentica Construction, Inc.	Mira Loma, CA	\$239,985.00
PUB Construction, Inc.	Diamond Bar, CA	\$269,960.00

Western State Builder, Inc. of Escondido, CA, is the apparent low bidder, with a bid submission of \$144,183. Staff recommends that the City Council award the Project to Western State Builder, Inc. of Escondido, CA, in an amount not to exceed \$144,183.

### **COMMITTEE ACTION:**

This item was taken to the Parks and Recreation Commission on October 14, 2020, for design review and a recommendation for public input of the final design. The City Council approved the purchase of the playground equipment on December 16, 2020.

### **FINANCIAL IMPACT:**

There is currently a Capital Improvement Project titled Mountain Gate Park Improvements, CIP No.

7380. The total funding available is \$124,381. Additional funding in the amount of \$34,220 will be transferred to CIP No. 7380 from CIP No. 6869 for the rubberized surfacing, which is required as part of ADA improvements for CIP 6869.

**ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15302 of the Guidelines for California Environmental Quality Act (CEQA), which states that the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced and is therefore exempt from CEQA. This action involves the replacement of an existing playground with a new playground in the same location. Therefore, no environmental analysis is required, and staff has filed a Notice of Exemption with the County of Riverside.

**PREPARED BY:** TRACY MARTIN, UTILITIES PROJECT MANAGER

**REVIEWED BY:** SAVAT KHAMPHOU, ACTING PUBLIC WORKS DIRECTOR

**Attachments:**

1. Exhibit 1 - Contract

## CONTRACT

**THIS CONTRACT** is made this 7<sup>th</sup> day of July 2021, in the County of Riverside, State of California, by and between the City of Corona, hereinafter called City, and **Western State Builder, Inc.** hereinafter called Contractor. The City and the Contractor for the considerations stated herein agree as follows:

**ARTICLE 1. SCOPE OF WORK.** The Contractor shall perform all Work within the time stipulated the Contract and shall provide all labor, materials, equipment, tools, utility services, and transportation to complete all of the Work required in strict compliance with the Contract Documents as specified in Article 5 below for the following Project:

**Mountain Gate Park Playground Improvements Project, Project No. 7380, NIB No. 21-080HC**

The Contractor and its surety shall be liable to the City for any damages arising as a result of the Contractor's failure to comply with this obligation.

**ARTICLE 2. TIME FOR COMPLETION.** A Move-in period of **15 calendar days** shall start on the date of issuance of the Notice to Proceed. This period shall be used by the Contractor to confirm utility locations, turn in project submittals or other supporting documentation for approval and procure the necessary material and equipment to complete the Work. The Work shall commence on the last day of the Move-in period or the first Working Day the Contractor actually starts the Work, **whichever occurs first**. The Contractor shall complete all Work required by the Contract Documents within **60 Working Days**. By its signature hereunder, Contractor agrees the time for completion set forth above is adequate and reasonable to complete the Work.

**ARTICLE 3. CONTRACT PRICE.** The City shall pay to the Contractor as full compensation for the performance of the Contract, subject to any additions or deductions as provided in the Contract Documents, and including all applicable taxes and costs, the sum of **One Hundred Forty Four Thousand One Hundred Eighty Two Dollars and Seventy Three Cents (\$144,182.73)** Payment shall be made as set forth in the General Conditions.

**ARTICLE 4. LIQUIDATED DAMAGES.** In accordance with Government Code section 53069.85, it is agreed that the Contractor will pay the City the sum of \$500 for each and every calendar day of delay beyond the time prescribed in the Contract Documents for finishing the Work, as Liquidated Damages and not as a penalty or forfeiture. In the event this is not paid, the Contractor agrees the City may deduct that amount from any money due or that may become due the Contractor under the Contract. This Article does not exclude recovery of other damages specified in the Contract Documents.

**ARTICLE 5. COMPONENT PARTS OF THE CONTRACT.** The "Contract Documents" include the following:

- Notice Inviting Bids
- Instructions to Bidders
- Contractor's Bid Forms
- Contractor's Certificate Regarding Workers' Compensation
- Bid Bond
- Designation of Subcontractors

Information Required of Bidders  
Non-Collusion Declaration form  
Contract  
Performance Bond  
Payment (Labor and Materials) Bond  
General Conditions  
Special Provisions (or Special Conditions)  
Technical Specifications  
Addenda  
Plans and Contract Drawings  
Approved and fully executed change orders  
Any other documents contained in or incorporated into the Contract

The Contactor shall complete the Work in strict accordance with all of the Contract Documents.

All of the Contract Documents are intended to be complementary. Work required by one of the Contract Documents and not by others shall be done as if required by all. This Contract shall supersede any prior agreement of the parties.

**ARTICLE 6. PROVISIONS REQUIRED BY LAW.** Each and every provision of law required to be included in these Contract Documents shall be deemed to be included in these Contract Documents. The Contractor shall comply with all requirements of applicable federal, state and local laws, rules and regulations, including, but not limited to, the provisions of the California Labor Code and California Public Contract Code which are applicable to this Project.

**ARTICLE 7. INDEMNIFICATION.** Contractor shall provide indemnification as set forth in the General Conditions.

**ARTICLE 8. PREVAILING WAGES.** Contractor is aware of the prevailing wage requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Contract is subject to compliance monitoring and enforcement by the DIR. Beginning April 1, 2015, no contractor or subcontractor may be awarded this Contract unless registered with the DIR pursuant to Labor Code section 1725.5. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Work available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Contract from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, the Contractor may obtain a copy of the prevailing wages from the City. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

IN WITNESS WHEREOF, this Contract has been duly executed by the above-named parties, on the day and year above written.

<b>CITY OF CORONA</b>	<b><u>[NAME OF CONTRACTOR]</u></b>
<b>By:</b>	<b>By:</b>
_____ Savat Khamphou Acting Public Works Director/City Engineer	_____ Signature
	_____ Name
<b>Reviewed By:</b>	_____ Title
_____ Norman Bush Purchasing Manager	_____ License Number
<b>Reviewed By:</b>	<b>By:</b>
_____ Tracy Martin Utilities Project Manager	_____ Signature
	_____ Name
<b>Attest:</b>	_____ Title
_____ Sylvia Edwards, City Clerk City of Corona, California	



Staff Report

---

**File #:** 21-0660

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Public Works Department

**SUBJECT:**

Award of Contract to Aguilar and Calderon Corporation for the Citywide Parks ADA Hardscape Improvements.

**EXECUTIVE SUMMARY:**

This action is to approve an award of Notice Inviting Bids ("NIB") 21-075HC for the Citywide Parks ADA Hardscape Improvements - Year 2 Project. This project consists of making repairs and alterations to the parking lots, sidewalks, and areas of decomposed granite at five (5) parks to enhance accessibility in compliance with the Americans with Disabilities Act ("ADA").

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Adopt the Plans and Specifications for the Citywide Parks ADA Hardscape Improvements - Year 2 Project, Notice Inviting Bids 21-075HC.
- b. Award Notice Inviting Bids 21-075HC for the Citywide Parks ADA Hardscape Improvements - Year 2 Project to Aguilar and Calderon Corporation of Whittier CA, the lowest responsive, responsible bidder, for a total not to exceed amount of \$438,290 and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- c. Authorize the City Manager, or his designee, to execute a contract with Aguilar and Calderon Corporation of Whittier, CA, in the amount of \$438,290.
- d. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, amendments and change orders up to ten percent of the project cost, which is equivalent to \$43,829.



- e. Authorize the Purchasing Manager to issue a purchase order to Aguilar and Calderon Corporation in the amount of \$438,290.

**BACKGROUND & HISTORY:**

In 1990, the United States Congress passed the first Americans with Disabilities Act (ADA). The ADA was the first civil rights law that was created to address the needs of people with disabilities by prohibiting discrimination in employment, public services, public accommodations, and telecommunications. The law consists of five titles that address different areas: Title 1 - Employment, Title II - Public Services, Title III - Public Accommodations, Title IV - Telecommunications, and Title V - Miscellaneous Provisions. In 1991 the first regulations were issued and became effective in 1992. ADA mandates reasonable accommodation for individuals with disabilities to ensure they have the same opportunities and access to programs and facilities as those without disabilities.

The City is primarily responsible for compliance with Title II standards, which address Public Services. Both the Federal government and the State of California have issued and amended Title II standards over the years that set building and public facility requirements for accessibility. These standards include requirements for the display of appropriate signage, accessible stalls within parking lots, accessible routes to and surfacing under playgrounds and amenities, and fixture heights, specific hardware, and clearances to ensure access to public restrooms. The City is currently in the process of making ADA improvements at 33 City parks over a five (5) year period. The first four (4) parks to be completed were Citrus, Mountain Gate, Promenade, and Santana Parks. This project is for five (5) parks in the second year and includes: Victoria, Ontario, Lincoln, Ridgeline, and Cresta Verde Parks.

**ANALYSIS:**

The proposed project is for improvements to the five (5) parks mentioned above. Improvements generally consist of modifying parking lot signage and striping, removing and replacing concrete sidewalks, installing compliant ramps and handrails, and refurbishing decomposed granite to improve maneuverability.

The Public Works Department issued NIB 21-075HC for this project. The bid was posted for the project on the City's PlanetBids bidding website and advertised in the Sentinel Weekly on May 12, 2021. A total of 111 contractors were solicited, and eleven (11) bids were received by the June 7, 2021 due date and time. The results of the bids are as follows:

<b>Vendor</b>	<b>City</b>	<b>Total Bid Amount</b>
<b>Aguilar &amp; Calderon Corporation</b>	<b>Whittier, CA</b>	<b>\$438,289.38</b>
Towo Enterprise Inc.	Fullerton, CA	\$562,155.00
C.S. Legacy Construction, Inc.	Chino, CA	\$683,533.05
Horizons Construction Company	Orange, CA	\$693,000.00
Gentry General Engineering, Inc.	Rancho Cucamonga, CA	\$711,476.36
CEM Construction Corporation	Montebello, CA	\$736,452.50
PUB Construction, Inc.	Diamond Bar, CA	\$849,826.00
MLC Constructors, Inc.	Wildomar, CA	\$995,341.10
Act 1 Construction, Inc.	Norco, CA	\$1,027,290.00
CT&T Concrete Paving Inc.	Diamond Bar, CA	\$1,184,936.80
Nationwide Contracting Services, Inc.	Fountain Valley, CA	\$1,552,179.00

The Engineer's estimate is \$464,150. Aguilar & Calderon Corporation of Whittier, CA is the apparent low bidder, with a bid submission of \$438,290. The total bid amount included three bid alternative schedules, which were used to determine the lowest bidder. All alternative bid schedules are proposed to be awarded at this time. Staff recommends that the City Council award the project to Aguilar & Calderon Corporation of Whittier, CA, in the amount of \$438,290.

Staff is also requesting authorization to approve change orders up to ten percent of the contract. The additional change order allowance is requested in the event that some unforeseen condition or circumstance arises that must be remedied.

**COMMITTEE ACTION:**

The overall five-year Citywide Park ADA Project was presented to the Parks and Recreation Commission on May 8, 2019, and the Public Services Committee on June 5, 2019, and was approved to proceed.

**FINANCIAL IMPACT:**

There is currently a Capital Improvement Project ("CIP") for this project, No. 68690, for Citywide ADA Improvements. CIP 68690 has a current balance of \$1,485,315 and is sufficient for awarding of NIB 21-075HC.

**ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical

equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination, and is therefore exempt from CEQA. This action involves minor repairs and upgrades to existing restrooms for accessibility improvements. Therefore, no environmental analysis is required, and staff has filed a Notice of Exemption with the County of Riverside.

**PREPARED BY:** TRACY MARTIN, UTILITIES PROJECT MANAGER

**REVIEWED BY:** SAVAT KHAMPHOU, ACTING PUBLIC WORKS DIRECTOR

**Attachments:**

1. Exhibit 1 - Contract

## CONTRACT

**THIS CONTRACT** is made this 7<sup>th</sup> day July 2021, in the County of Riverside, State of California, by and between the City of Corona, hereinafter called City, and Aguilar & Calderon Corporation, hereinafter called Contractor. The City and the Contractor for the considerations stated herein agree as follows:

**ARTICLE 1. SCOPE OF WORK.** The Contractor shall perform all Work within the time stipulated the Contract and shall provide all labor, materials, equipment, tools, utility services, and transportation to complete all of the Work required in strict compliance with the Contract Documents as specified in Article 5 below for the following Project:

**Citywide Park ADA Hardscape Improvements – Year 2, Drawing No. DWG 21-018, NIB No. 21-075HC**

The Contractor and its surety shall be liable to the City for any damages arising as a result of the Contractor's failure to comply with this obligation.

**ARTICLE 2. TIME FOR COMPLETION.** A Move-in period of **14 calendar days** shall start on the date of issuance of the Notice to Proceed. This period shall be used by the Contractor to confirm utility locations, turn in project submittals or other supporting documentation for approval and procure the necessary material and equipment to complete the Work. The Work shall commence on the last day of the Move-in period or the first Working Day the Contractor actually starts the Work, **whichever occurs first**. The Contractor shall complete all Work required by the Contract Documents within **100 Working Days**. By its signature hereunder, Contractor agrees the time for completion set forth above is adequate and reasonable to complete the Work.

**ARTICLE 3. CONTRACT PRICE.** The City shall pay to the Contractor as full compensation for the performance of the Contract, subject to any additions or deductions as provided in the Contract Documents, and including all applicable taxes and costs, the sum of Four Hundred Thirty-Eight Thousand Two Hundred Eighty-Nine Dollars and Thirty-Eight Cents (\$438,289.38) Payment shall be made as set forth in the General Conditions.

**ARTICLE 4. LIQUIDATED DAMAGES.** In accordance with Government Code section 53069.85, it is agreed that the Contractor will pay the City the sum of **\$500.00** for each and every calendar day of delay beyond the time prescribed in the Contract Documents for finishing the Work, as Liquidated Damages and not as a penalty or forfeiture. In the event this is not paid, the Contractor agrees the City may deduct that amount from any money due or that may become due the Contractor under the Contract. This Article does not exclude recovery of other damages specified in the Contract Documents.

**ARTICLE 5. COMPONENT PARTS OF THE CONTRACT.** The "Contract Documents" include the following:

- Notice Inviting Bids
- Instructions to Bidders
- Contractor's Bid Forms
- Contractor's Certificate Regarding Workers' Compensation
- Bid Bond
- Designation of Subcontractors
- Information Required of Bidders
- Non-Collusion Declaration form
- Contract

Performance Bond  
Payment (Labor and Materials) Bond  
General Conditions  
Special Provisions (or Special Conditions)  
Technical Specifications  
Addenda  
Plans and Contract Drawings  
Approved and fully executed change orders  
Any other documents contained in or incorporated into the Contract

The Contactor shall complete the Work in strict accordance with all of the Contract Documents.

All of the Contract Documents are intended to be complementary. Work required by one of the Contract Documents and not by others shall be done as if required by all. This Contract shall supersede any prior agreement of the parties.

**ARTICLE 6. PROVISIONS REQUIRED BY LAW.** Each and every provision of law required to be included in these Contract Documents shall be deemed to be included in these Contract Documents. The Contractor shall comply with all requirements of applicable federal, state and local laws, rules and regulations, including, but not limited to, the provisions of the California Labor Code and California Public Contract Code which are applicable to this Project.

**ARTICLE 7. INDEMNIFICATION.** Contractor shall provide indemnification as set forth in the General Conditions.

**ARTICLE 8. PREVAILING WAGES.** Contractor is aware of the prevailing wage requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Contract is subject to compliance monitoring and enforcement by the DIR. Beginning April 1, 2015, no contractor or subcontractor may be awarded this Contract unless registered with the DIR pursuant to Labor Code section 1725.5. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Work available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Contract from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, the Contractor may obtain a copy of the prevailing wages from the City. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws

IN WITNESS WHEREOF, this Contract has been duly executed by the above-named parties, on the day and year above written.

**CITY OF CORONA**

By: DocuSigned by:  
Savat Khamphou  
CB312E179B8E463...

Savat Khamphou  
Assistant Public Works Director/City  
Engineer

Reviewed By: DocuSigned by:  
Tracy Martin  
0F4DDBC75F5B46B...

Tracy Martin  
Utilities Project Manager

Reviewed By: DocuSigned by:  
Norman Bush  
184B25F8DA0C420

Norman Bush  
Purchasing Manager

**Attest:**

\_\_\_\_\_

Sylvia Edwards, City Clerk  
City of Corona, California

**AGUILAR & CALDERON CORPORATION**

By: DocuSigned by:  
Marlon S. Calderon  
53DD993748364FD...  
Signature

Marlon S. calderon

Name

President/CEO

Title

988688

License Number

By: DocuSigned by:  
Yampier Aguilar  
0259E50239AE403  
Signature

Yampier Aguilar

Name

Vice President & CFO

Title



Staff Report

---

**File #:** 21-0676

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Maintenance Services Department  
Department of Water and Power

**SUBJECT:**  
Award of Contract to CT&T Concrete Paving, Inc. for On-Call Citywide Concrete Repairs

**EXECUTIVE SUMMARY:**

The City issued Notice Inviting Bids 21-073RH for On-Call Citywide Concrete Repairs. Repair of damaged concrete infrastructure is necessary to ensure pedestrian and motorist safety.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council award Notice Inviting Bids 21-073RH for On-Call Citywide Concrete Repairs to CT&T Concrete Paving, Inc., the lowest responsive, responsible bidder, for the total bid amount of \$750,000, and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreement with CT&T Concrete Paving, Inc. for \$750,000 for the initial contract period ending June 30, 2023, with two optional two-year extensions.
- c. City Council authorize the City Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$75,000 as authorized in Corona Municipal Code Section [3.08.050\(H\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to CT&T Concrete

Paving, Inc. for \$750,000 per year for the initial contract period ending June 30, 2021, with two optional two-year extensions.

- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**BACKGROUND & HISTORY:**

The City of Corona Maintenance Services Department maintains approximately 700 miles of sidewalk, American with Disabilities Act ramps, curb and gutter, cross gutters, and various stormwater appurtenances. In addition, the Maintenance Services Department performs various concrete repairs to preserve the existing structures and infrastructure improvements by proactively maintaining the concrete sidewalks, curb and gutter, spandrels, etc., within the City. Concrete repairs are necessary due to the following: extensive cracking or spalling of the existing concrete, lifted sidewalk due to tree roots, sunken sidewalk due to poor soil conditions, damages from vehicular accidents, deterioration due to age, and replacement due to new construction in the area. The Maintenance Services Department receives work requests from the public as well as staff for City-maintained concrete infrastructure. The Maintenance Services Department evaluates each request and schedules this work based on priority, scope, and work request aging; a third-party contractor is utilized to complete this work.

In fiscal year 2020, Maintenance Services completed 254 concrete-related work requests, including replacing 30,542 square feet of damaged sidewalk and driveway approaches and 935 linear feet of curb and gutter. Similarly, in fiscal year 2021, 242 concrete-related work requests were completed, including replacing 33,155 square feet of damaged sidewalk and driveway approaches and 1,003 linear feet of curb and gutter.

The Department of Water and Power will also use this concrete contractor for water main leaks that involve sidewalk, gutter, and cross-gutter replacement.

**ANALYSIS:**

The City advertised Notice Inviting Bids (NIB) 21-073RH for On-Call Citywide Concrete Repairs according to Public Contract Code formal bidding procedures and Corona Municipal Code (CMC) [3.08.090](#). The bid was published on May 19, 2021, in the Sentinel Weekly and posted on the City's PlanetBids bidding portal. The City received five (5) bids by the June 9, 2021, submission deadline.

The scope of work consists of:

- On-Call emergency and routine concrete repairs and services, which include replacement of curb and gutter sections, sidewalk, ADA ramps, cross gutters, and spandrels, etc.

Vendor	City	Bid Amount
CT&T Concrete Paving, Inc.	Diamond Bar, CA	\$29,597.00
CJ Concrete Construction, Inc.	Santa Fee Spring, CA	\$36,041.00
PUB Construction, Inc.	Diamond Bar, CA	\$37,519.00



Charles C Regan	Corona, CA	\$283,059.00
Deemed nonresponsive:		
Towo Enterprise, Inc.	Garden Grove, CA	

Staff determined the bid received from Towo Enterprise, Inc. was nonresponsive as the contractor did not follow the bid instructions provided to all bidders in the bid documents. The bid document required contractors to have a minimum of five (5) years of experience performing similar services to multiple public agencies with a minimum contract value of \$100,000 and be located within a 50-mile radius of the City to be considered responsive. The projects listed by Towo Enterprise, Inc. on the Experience Statement form issued with the bid were all performed in 2020 or 2021 and did not meet the minimum five (5) years' experience threshold. As such, Towo Enterprise, Inc. does not have the required experience for on-call concrete repair services, and their bid submittal has been deemed nonresponsive.

Additionally, after careful review of the unit prices provided by Charles C Regan, it is believed that the firm may have misunderstood that the unit cost would be multiplied by the unit of measure.

Because the bid was issued for on-call concrete repair services with no guarantee of usage, the Bid Pricing Schedule required bidders to submit pricing based on a single unit cost for 36-line items including, but not limited to, repair of various sidewalk and driveway spandrel concrete thicknesses, curb and gutter, American with Disabilities Act (ADA) access ramp replacements, etc. The low bidder was determined based on the summation of the single unit cost bid for each line item. Therefore, staff recommends that City Council award the bid and agreement in the amount of \$750,000 to CT&T Concrete Paving, Inc., as the lowest responsive, responsible bidder for On-Call Citywide Concrete Repairs. In addition, all licenses and references for CT&T Concrete Paving, Inc. have been reviewed and verified by City staff.

#### **FINANCIAL IMPACT:**

Funding for the recommended action is available in the Fiscal Year 2022 Capital Improvement Project No. 70730 titled Sidewalk, Curb and Gutter Repair/Replacement/Maintenance. Therefore, there are sufficient funds available in the project for the recommended action.

#### **ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination is exempt from CEQA. This action involves the repair of existing city sidewalks and concrete facilities. Therefore, no environmental analysis is required.

**PREPARED BY:** AFTAB HUSSAIN, MAINTENANCE MANAGER

---

**File #:** 21-0676

---

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1 - NIB 21-073RH
2. Exhibit 2 - NIB 21-073RH Addenda
3. Exhibit 3 - NIB 21-073RH Bid Summary
4. Exhibit 4 - Contract CT&T Concrete Paving, Inc. MGSA



May 19, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) 21-073RH**

The City of Corona, Public Works Department, Maintenance Services Division (City) invites qualified bids for:

**ON-CALL CITYWIDE CONCRETE REPAIRS**

Parties interested in obtaining a copy of this NIB 21-073RH may do so by registering with PlanetBids as a City of Corona vendor by visiting the PlanetBids Vendor Portal: <https://www.planetbids.com/portal/portal.cfm?CompanyID=39497>. Registered vendors can download a copy of this NIB 21-073RH and supporting documents at no cost and receive addenda and other notifications when issued.

**Closing: Bids shall be submitted electronically before 10:30 A.M., June 9, 2021** through the PlanetBids Vendor Portal. It is Bidder's responsibility to allow sufficient time to complete and upload its bid, including all documentation required by this NIB, prior to the stated deadline. Electronic submission cannot be completed unless Bidder properly uploads all required documents.

The City will only consider electronic bids that have been transmitted successfully and issued a time stamped confirmation number from PlanetBids indicating the bid was successfully transmitted. **Transmission of bids by any other means will not be accepted.** Bidders are solely responsible for informing themselves with respect to proper usage of the PlanetBids online bid management system, for ensuring the capability of their computer system to upload the required documents, and for the reliability of their internet service. Failure of Bidder to successfully transmit an electronic bid shall be at Bidder's sole risk and no relief will not be given for late or improperly submitted bids.

Bidders experiencing technical difficulties with the bid transmission process should contact PlanetBids Support at (818) 992-1771. Bidders that continue to experience difficulty with the PlanetBids system should contact the City of Corona Purchasing Division at (951) 736-2274. Neither the City nor PlanetBids make any guarantees or assurances as to the timely availability of assistance or resolution of any given issue prior to the bid submission date and time.

Each bidder shall be a licensed contractor pursuant to the Business and Professions Code and shall be licensed in the following appropriate classification(s) of contractor's license(s), for the work bid upon, and must maintain the license(s) throughout the duration of the Contract: California Contractors License Board Classification 'A' or 'C-8'.

The work is subject to the payment of not less than prevailing wages pursuant to Chapter 1 (beginning at Section 1720 et seq. ) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations (“Prevailing Wage Laws”). The Director of the Department of Industrial Relations (“DIR”) has determined the general prevailing rate of per diem wages in the locality in which this work is to be performed for each craft or type of worker needed to execute the Agreement which will be awarded to the successful bidder, copies of which are on file and will be made available to any interested party upon request from the City or online at <http://www.dir.ca.gov/dlsr>. A copy of these rates shall be posted by the successful bidder at the job site.

Pursuant to SB 854, which amended the Prevailing Wage Laws, this contract subject to compliance monitoring and enforcement by the DIR. Beginning March 1, 2015, with very limited exceptions no contractor or subcontractor may be listed on a bid proposal for this contract unless registered with the DIR pursuant to Labor Code section 1725. 5. Beginning April 1, 2015, no contractor or subcontractor may be awarded a contract unless registered with the DIR pursuant to Labor Code section 1725. 5. The DIR registration number for each contractor and subcontractor must be identified on the bid proposal - failure to identify this number could result in the bid being rejected as non-responsive. It is each bidder’s responsibility to ensure that they have fully complied with SB 854. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws.

The successful bidder and all subcontractor(s) under him, shall comply with all applicable Prevailing Wage Laws, which include, but are not limited to the payment of not less than the required prevailing rates to all workers employed by them in the execution of the Contract, the employment of apprentices, the hours of labor, the payment of overtime, and the debarment of contractors and subcontractors. The successful bidder and all subcontractor(s) under him shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws.

The successful bidder will be required to furnish the City with a Performance Bond equal to 100% of the successful bid, and a Payment (Labor and Materials) Bond equal to 100% of the successful bid, prior to execution of the Agreement. All bonds are to be secured from a surety that meets all of the State of California bonding requirements, as defined in Civil Code of Procedure Section 995.120 and is admitted by the State of California.

#### **Award of Contract:**

Bidders must meet these minimum qualifications at the time of their response:

- Must identify and provide a minimum of five (5) years of experience performing similar service to multiple public agencies within a 50 mile radius of the City of Corona.  
Provide a minimum of three (3) agencies,
- Contract value of a minimum of \$100,000 annually.

The City shall award the Contract to the lowest responsive, responsible bidder meeting the above requirements.

The City reserves the right to reject any or all bids or to waive any irregularities or informalities in any bids or in the bidding process.

Issuance of this NIB and/or receipt of bids does not commit City to award a contract.

Signed,

J. Richard Hogate  
Purchasing Specialist Contractor for the  
City of Corona | Purchasing Division | Finance Department  
400 S. Vicentia Ave. , Suite 320 | Corona, CA 92882  
Email: [Richard.Hogate@coronaca.gov](mailto:Richard.Hogate@coronaca.gov)  
Website: [www.coronca.gov](http://www.coronca.gov)



May 19, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) 21-073RH**

**SECTION I**

**INVITATION**

The City of Corona, Public Works Department, Maintenance Services Division (City) invites qualified bids for:

**ON-CALL CITYWIDE CONCRETE REPAIRS**

Please read this entire NIB package and include all requested information and forms in your bid proposal. Bids must be signed by an authorized agent of the company submitting a bid in order to be considered responsive.

**Tentative NIB Schedule**  
(Subject to change at City's discretion)

1. Issue NIB on Planet Bids (Live Bidding) ..... May 19, 2021
2. Advertise in Sentinel Weekly ..... May 19, 2021
3. Notify Plan Rooms..... May 19, 2021
4. Written Questions from Contractor Due on Planet Bids before ..... 11:30 A.M., May 26, 2021
5. Responses from City Due on Planet Bids ..... June 2, 2021, 2021
6. Bids Due (Date & Time) on Planet Bids before ..... 10:30 A.M., June 9, 2021
7. Bid Evaluation Completed..... June 16, 2021
8. Tentative Contractor Selection ..... June 16, 2021
9. City Council Action ..... July 21, 2021
10. Notice to Proceed..... August 18, 2021

**Table of Contents**

SECTION I .....	Invitation
SECTION II .....	Instructions to Bidders
SECTION III.....	Technical Specifications/Scope of Work
SECTION IV .....	Bid Content and Forms
SECTION V .....	Bid Price Schedule
SECTION VI .....	Form of Agreement (Sample)

## **SECTION II.**

### **INSTRUCTIONS TO BIDDERS**

#### **A. Pre-Bid Meeting**

No pre-bid meeting will be held.

#### **B. Examination of Bid Documents**

Bidder shall read this entire NIB package and submit all requested information and forms with their bid. By submitting a bid, Bidders represent they have thoroughly examined and become familiar with the work required under this NIB, have reviewed the project location, specifications and understand the project objectives and are capable of performing quality work to achieve the City's objectives.

Before submitting bids, Bidders must fully inform themselves of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at Bidders' sole risk and Bidder cannot secure relief on the plea of error.

#### **C. Addenda**

Substantive City changes to the requirements will be made by written addendum. Any written addenda issued pertaining to this NIB shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the Bid Due Date and Time. Bidders shall access any and all Addenda from the electronic bidding system's Addenda & Email tab for this NIB.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this NIB and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of bidders to ensure they have received all addenda prior to submitting a bid. To this end, each bidder should contact the City's Purchasing Division prior to the bid proposal due date to verify receipt of all Addenda issued. Bidders shall acknowledge receipt of all Addenda when submitting their electronic bids.

#### **D. Clarifications**

##### **1. Examination of Documents**

Should a bidder require clarifications to this NIB, bidder shall notify the City in writing in accordance with Section D. 2 below. Should it be found that the point in question is not clearly and fully set forth in the NIB, the City shall issue a written addendum clarifying the matter.

## 2. Submitting Requests

Bidders shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497> utilizing the Questions & Answers tab. Bidder questions must be submitted no later than **11:30 A.M., May 26, 2021**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

## 3. City Responses

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this NIB as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the bid due date and time, the bid due date will be extended.

## E. Bid Submission

### 1. Date and Time

All bids shall be submitted no later than **10:30 A.M., June 9, 2021**.

### 2. Electronic Submission

Bids shall be submitted electronically using the City's PlanetBids Vendor Portal. The City's electronic bidding system will not allow bids to be submitted after the due date and time. It is the Bidder's responsibility to allow sufficient time to complete and submit their bid, including all documentation required by this NIB, prior to the stated deadline. **Electronic submission cannot be completed unless Bidder properly uploads all required documents. Only electronic bids will be accepted; hard copy bids will be rejected as nonresponsive and returned unopened without exception.**

### 3. Bid Submittal Check List

Bidder must upload the following documents and forms to the electronic bidding system:

- a. Bid/Price Form
- b. Non-Collusion Declaration
- c. Acknowledgment of Terms and Conditions of the City's Maintenance/General Services Agreement
- d. Acknowledgment of Insurance Requirements Check Sheet
- e. Insurance Requirements Check List
- f. Statement of Past Contract Disqualifications



- g. Industrial Safety Record
- h. Acknowledgment of Vendor Performance Evaluation Form
- i. Information Required of Bidders Form
- j. Designation of Subcontractors Form
- k. Experience Statement
- l. Contractor's Certificate Regarding Workers' Compensation
- m. Local Bidder Preference Program Statement (if applicable)

#### 4. **Acceptance of Bids**

The City may, in its sole discretion:

- a. Accept or reject any or all bids and to waive any informality or irregularity in any bid or the bidding process;
- b. Withdraw this NIB at any time without prior notice, and the City makes no representations that any contract will be awarded to any bidder responding to this NIB; or
- c. Elect to postpone the bid opening for its own convenience.

#### F. **Bid Withdrawal**

Electronic bids may be withdrawn by Bidder prior to the date and time set forth in Section E. 1 above. After that time, Bidders may not withdraw their bids for a period of ninety (90) days from the Bid Submittal Deadline. At no time may the successful Bidder withdraw its bid.

#### G. **Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the bidder in:

- 1. Preparing its bid in response to this NIB;
- 2. Submitting a bid to City;
- 3. Negotiating with City on any matter related to the bid; or
- 4. Any other expenses incurred by Bidder prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by Bidder in the preparation of its bid. Bidder shall not include any such expenses as part of its bid.

#### H. **Contract Award**

Issuance of this NIB and receipt of bids does not commit the City to award a contract. After all bids are opened and reviewed to determine the lowest responsive and responsible Bidder, the City Council may award the Contract.

The apparent successful Bidder should begin to prepare the following documents: (1) the required insurance certificates and endorsements; (2) the Performance Bond; and (3) the Payment (Labor and Materials) Bond when required by law or this bid package. Once the City notifies the Bidder of the award, the Bidder will have 10 consecutive calendar days from the date of this notification to execute the agreement and supply the City with all of the required documents and certifications. Regardless of whether or not the Bidder supplies the required documents and certifications in a timely manner, the contract time may begin to run 10 calendar days from the date of the notification. Once the City receives all of the properly drafted and executed documents and certifications from the Bidder, the City shall issue a Notice to Proceed to that Bidder.

#### **I. Contract Term**

The contract term shall be effective on or about July 7, 2021 through June 30, 2023 with two (2) additional two (2) option year renewal periods, on an as-needed basis, with no guaranteed usage for City Wide Concrete Repairs – On Call. Bid prices shall remain effective and in force for the entire first (1st) contract term. City reserves the right to exercise option year renewals in its sole discretion. Subsequent purchase order periods, if exercised by the City, are as follows:

Option 1, if exercised, shall be effective July 1, 2023 through June 30, 2025

Option 2, if exercised, shall be effective July 1, 2025 through June 30, 2027

Option year pricing shall be negotiated by the Parties prior to commencement of each additional new fiscal year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. **Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.**

#### **J. Acceptance of Order**

The successful bidder will be required to accept a Purchase Order and execute a written Agreement if a Form of Agreement is included in this NIB (see Section VI, Form of Agreement) in accordance with and including as a part thereof this NIB, including all requirements, conditions, and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement. The successful bidder shall be bound to accept all NIB requirements and terms and conditions of the Form of Agreement.

#### **K. City of Corona Business License**

The successful contractor and any subcontractors are required to obtain a City of Corona Business License prior to contract award and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a bid. Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City’s website:

**L. Force Majeure**

If execution of this contract shall be delayed or suspended and if such failure arises out of causes beyond the control of and without fault or negligence of the successful Bidder, the successful Bidder shall notify the City, in writing, within twenty-four (24) hours, after the delay. Such causes may include but are not limited to acts of God, war, acts of a public enemy, acts of any governmental entity in its sovereign or contractual capacity, fires, floods, epidemics, strikes and unusually severe weather.

**M. Insurance Requirements**

Within ten (10) consecutive calendar days after the notice of award, the successful bidder to whom a contract is awarded shall furnish the City, through its third-party insurance partner, Exigis, with certificates of insurance and endorsements evidencing coverage as specified in Section VI, Form of Agreement, Section 3.2.10 Insurance, et seq. and naming the City of Corona, its directors, officials, employees, volunteers and agents as additional insureds by written endorsement. Failure to do so may, in the sole discretion of the City, result in the forfeiture of the Contract Award.

Bidders are encouraged to have their insurance provider(s) review the insurance requirements, pursuant to Section VI. Form of Agreement, subsection 3.2.10 Insurance, et seq prior to bid submission to ensure the minimum coverage limits, endorsements and other requirements can be met.

Bidders shall review, complete and sign the Acknowledgment of Insurance Requirements Check Sheet included in Section IV. and return with their bid. Any exceptions or deviations to the City's insurance requirements must be submitted to the City during the Questions and Answers period.

**N. Laws Governing Contract**

This contract shall be in accordance with the laws of the state of California. The parties stipulate that this contract was entered into in the county of Riverside, in state of California. The parties further stipulate that the county of Riverside, California, is the only appropriate forum for any litigation resulting from a breach hereof or any questions risen here from.

**O. Primary Bidder**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one bid unless in a sub-contractual relationship with respect to the bid. A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a bid to the City as a primary Bidder.

**P. Prevailing Wage**

Refer to Section VI, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.

**Q. SB854 Notice Requirements**

**This contract is subject to compliance monitoring and enforcement by the Department of Industrial Relations.**

Pursuant to SB 854, which amended the Prevailing Wage Laws, this Contract is subject to compliance monitoring and enforcement by the DIR. Beginning March 1, 2015, with very limited exceptions no contractor or subcontractor may be listed on a bid proposal for this Contract unless registered with the DIR pursuant to Labor Code section 1725.5. Beginning April 1, 2015, no contractor or subcontractor may be awarded this Contract unless registered with the DIR pursuant to Labor Code section 1725.5.

**The DIR registration number for each contractor and subcontractor must be identified on the bid proposal** - failure to identify this number could result in Bidder's bid being rejected as non-responsive. It is each contractor's responsibility to ensure that they have fully complied with SB 854. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws

**R. Apprenticeable Crafts:**

If the work is being performed as part of an applicable "public works" or "maintenance" project as defined by the Prevailing Wage Laws, Bidder shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Bidder employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Bidder.

Within 10 days of award or no later than receipt of the Notice to Proceed, Bidder shall submit a copy of the completed Division of Apprenticeship Standards Public Works Contract Award – DAS 140 form to the City. Bidder shall submit copies of completed Division of Apprenticeship Standards Requests for Dispatch of an Apprentice – DAS 142 forms with the progress payment request immediately following submission to the appropriate Apprenticeship Committee in the craft or trade of the public work.

**T. Payment (Labor and Materials Bond) and Performance Bond Requirements**

Within ten (10) consecutive calendar days after the notice of award, the bidder to whom a contract is awarded shall deliver to the City a Payment (Labor and Materials) Bond and a Performance Bond in the form supplied by the City and included in the NIB documents. The surety supplying the bond must be an admitted surety insurer, as defined in Code of Civil Procedure Section 995.120, authorized to do business in the State of California and satisfactory to the City. The Payment (Labor and Materials) Bond and the Performance Bond shall be for one hundred percent (100%) of the Total Bid Price. The City does not require original, embossed corporate seals on any bonds. However, the City reserves the

right at any time to demand an original bond with an embossed corporate seal, and contractor shall supply such bond within seven (7) calendar days of any such request.

**U. Safety Requirements/Violations**

Safety at the Project site during performance of the work is of paramount concern to the City. Accordingly, bidders must not have committed any serious violations within the last two (2) years or any willful violations within the last five (5) years of federal or state OSHA regulations. Bidders must identify the number of OSHA violations on the INDUSTRIAL SAFETY RECORD form. Any serious or willful violation may render a bid as non-responsive. We strongly encourage full disclosure since failure to identify all violations on the INDUSTRIAL SAFETY RECORD form may result in rejection of the bid as non-responsive or the bidder as non-responsible following a hearing. A citation properly appealed through OSHA is not considered to be a violation until the matter is closed and considered final by OSHA. The City still expects this information to be disclosed by the bidder, with an explanation and documentation showing that the matter is properly under appeal with OSHA and not considered closed or final. Failure to be forthcoming with this information may result in rejection of the bid as non-responsive.

**Mandatory Requirements while Performing Work in the City of Corona**

- All contractor and subcontractor staff are required to wear all necessary PPE at all times when at work sites.
- Contractors shall require each of his employees to wear basic public works working attire with some identification of the employee and the Contracting Firm (hard hat, shirt or uniform). If Contractor normally issues uniforms, the Firm and employee's name shall be permanently displayed on the uniform.
- The Contractor and employees shall park vehicles and equipment to comply with all safety standards per the state and federal OSHA and Wastewater requirements – BMP's (for parked equipment).

**V.**

**W. Vendor Performance**

It is the intent of the City to create a long-term working partnership with the supplier. The City's representative will complete a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form is included in Section IV and will be the basis for periodic assessments by the City to establish contract performance metrics.

**X. Public Records**

Responses (bids) to this NIB and the documents constituting any contract entered into thereafter become the exclusive property of the City and shall be subject to the California Public Records Act (Government Code Section 6250 et seq. ). The City's use and disclosure of its records are governed by this Act.

Those elements in each bid which Bidder considers to be trade secrets, as that term is defined in Civil Code Section 3426. 1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or

“PROPRIETARY” by Bidder. The City will use its best efforts to inform Bidder of any request for disclosure of any such document. The City shall not in any way be liable or responsible for the disclosure of any such records including, without limitation; those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information Bidder considers exempt from disclosure, the City will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City is required to defend an action arising out of a Public Records Act request for any of the contents of Bidder’s bid marked “Confidential”, “Proprietary”, or “Trade Secret”, Bidder shall defend and indemnify the City from all liability, damages, costs, and expense, including attorneys’ fees, in any action or proceeding arising under the Public Records Act.

To insure confidentiality, Bidders are instructed to upload separate files for all “Confidential,” “Proprietary,” or “Trade Secret” data when submitting their bid documents. The file names shall include the words “Confidential”, “Proprietary” or “Trade Secret”. Because bid documents are available for review by any person after award of a contract resulting from a NIB, the City shall not in any way be held responsible for disclosure of any “Confidential,” Proprietary,” or “Trade Secret” documents that are not uploaded as separate files and include “Confidential”, “Proprietary” or “Trade Secret” as part of the file name.

**Y. Special Provisions for Services**

1. Accessibility. Contractor shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. Contractor shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City as provided by law in this contract, the City shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the contractor hereunder.
3. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. Contractor shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to Contractor for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
4. Clean-up. During performance and upon completion of work on this project, Contractor will remove all unused equipment and instruments of service, all excess or unsuitable material, trash, rubbish and debris, and legally dispose of same, unless otherwise directed by these specifications. Contractor shall leave entire area in a neat, clean and acceptable condition as approved by the City.

5. Compliance With OSHA. Contractor agrees that all item(s) offered comply with all applicable Federal and the State Occupational Safety and Health Act, laws, standards and regulations, and that Contractor will indemnify and hold the City harmless for any failure to so conform.
6. Contract Incorporation. This contract embodies the entire contract between the City and the successful Bidder. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the NIB, all addenda, Bidder's bid, supplemental agreements, change orders, labor and materials bond, payment and performance bond, and any and all written agreements which alter, amend or extend the contract.
7. Cooperation Between Contractors. The City reserves the right to contract for and perform other or additional work on or near the work covered by these specifications. When separate contracts are let within the limits of any one project, each contractor shall conduct his work so as not to interfere with or hinder the progress or completion of the work being performed by other contractors. Contractors working on the same project shall cooperate with each other as directed. Each contractor involved shall assume all liability, financial or otherwise, in connection with his contract and shall protect and save harmless the City from any and all damages or claims that may arise because of inconvenience, delays, or loss experienced by him because of the presence and operations of other contractors working within the limits of the same project.
8. Coordination With Agencies. Contractor shall coordinate his activities with the proper regulatory agencies and have their representative on site at the proper times.
9. Damage. Contractor shall be held responsible for any breakage, loss of the City's equipment or supplies through Contractor's or his employees' negligence while working on City's premises. Contractor shall be responsible for restoring or replacing any equipment, facilities, etc., so damaged. Contractor shall immediately report to the City any damages to the premises resulting from services performed under this contract. Failure or refusal to restore or replace such damaged property will be a breach of this contract.
10. Examination of Specifications and Site. Contractor is expected to carefully examine the site of the proposed work and all NIB specifications, drawings, documents, and forms. Contractor shall satisfy himself as to the character, quality, and quantities of work to be performed, materials to be furnished and the requirements of the technical specifications.
11. Independent Contractor. In accepting this contract, Contractor covenants that it presently has no interest, and shall not acquire any interest, direct or indirect, financial or otherwise, which would conflict in any manner or degree with the performance of the services hereunder. Contractor further covenants that, in the performance of this

contract, no subcontractor or person having such an interest shall be employed. Contractor certifies that to the best of his knowledge, no one who has or will have any financial interest under this contract is an officer or employee of City. It is expressly agreed by Contractor that in the performance of the services required under this contract, Contractor, and any of its subcontractors or employees, shall at times be considered independent contractors and not agents of City.

12. Measurements. It is the responsibility of the Contractor to make all measurements to determine his bid price. The City will not be responsible for determining the quantities of materials necessary to complete the work specified.

13. Permits. Unless otherwise specified herein, Contractor shall at his expense, obtain all permits and licenses and pay all charges and fees necessary for the performance of the contract, and shall give all public notices necessary for the lawful performance of the contract.

Contractor shall pay all taxes, levies, duties and assessments of every nature due in connection with any work under the contract, shall make any and all payroll deductions required by law, and shall indemnify and hold harmless the City from any liability on account of any and all such taxes, levies, duties, assessments and deductions.

14. Protection of Public. Adequate warning devices, barricades, guards, flagmen or other necessary precautions shall be taken by Contractor to give advised and reasonable protection, safety and warning to persons and vehicular traffic concerned in the area.

15. Rejection of Work. Contractor agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.

16. Subcontractors.

- a. Contractor agrees to bind every subcontractor to the terms of the Contract Documents as far as such terms are applicable to subcontractor's portion of the Work. Contractor shall be as fully responsible to the City for the acts and omissions of its subcontractors and of persons either directly or indirectly employed by its subcontractors, as Contractor is for acts and omissions of persons directly employed by Contractor. Nothing contained in these Contract Documents shall create any contractual relationship between any subcontractor and the City.
- b. City reserves the right to approve all subcontractors. City's approval of any subcontractor under this Contract shall not in any way relieve Contractor of its obligations in the Contract Documents.
- c. Prior to substituting any subcontractor listed in the Bid Forms, Contractor must comply with the requirements of the Subletting and Subcontracting Fair Practices Act pursuant to California Public Contract Code section 4100 et seq.

17. Unknown Obstructions. Should any unknown obstruction be encountered during the course of this contract, Contractor immediately bring it to the attention of the City.



Contractor shall take adequate precautions to protect existing sidewalks, curbs, pavement, inlet/outlet piping, overflow/bypass structures, fencing, access roads, utilities and other adjoining property and structures, etc., and avoid damage thereto. Contractor shall immediately replace or repair any damage caused by the Work operations.

Contractor shall take care to prevent disturbing or covering any survey markers, monuments or other devices marking property boundaries or corners. If such markers are disturbed by accident, they shall be replaced by an approved civil engineer or land surveyor, at no cost to the City.

## **SECTION III.**

### **TECHICAL SPECIFICATIONS/SCOPE OF WORK**

#### **A. PROJECT DESCRIPTION AND GENERAL INFORMATION**

##### **1. Background**

The City Staff strives to provide the Residents of Corona with a well-maintained City concrete infrastructure and improvements through dependable service and quality workmanship to the repair of these structures. Therefore, the City's Maintenance Services Division is required to maintain and repair the City's concrete structures such as: sidewalks, driveways, accessibility facilities, curbs, gutters and catch basins. There are approximately 900 miles of sidewalk, over 800 miles of curbs and gutters plus numerous catch basins.

- The City may spend from \$500,000 to \$700,000 annually for concrete repairs.

##### **2. Goal/Purpose**

The purpose of this solicitation is to award an "As-Needed" agreement with a contractor for the repairs of the concrete infrastructure within the City Limits.

The Maintenance Services Division is responsible for completing or overseeing the minor repairs and/or maintenance of the City's concrete right of ways structures/improvements.

This solicitation is for minor repairs and/or maintenance ONLY. ALL major rehabilitation or construction of concrete structures and improvements are not included in the Scope of Work associated with this solicitation.

The Contractor shall be responsible to provide all deliverables described herein in strict accordance with the terms, covenants and conditions of the Contract and all applicable Federal, State and local laws, codes, rules and regulations. **Permissible work hours within the City of Corona are: 7 a.m. to 5 p.m., Monday through Thursday excluding City observed holidays.** Any deviations to these hours shall be preapproved by the Project Manager.

##### **3. Required Response Times for Concrete Maintenance Services**

The Contractor is required to respond with a crew to provide **concrete repairs** within one (1) working day and begin repairs within two (5) City working days; following email notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor's arrival at the repair location.

The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

## **B. TECHNICAL SPECIFICATIONS/SCOPE OF WORK**

The Contractor shall be responsible for furnishing all: Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including saw cutting) and disposal of existing PCC improvements, 95% compaction of base, necessary forms and form oil, PCC, curing compound and surface finish, and all other items to facilitate the completion of this comprehensive scope of work, as noted in the bid form descriptions included in Section IV.

All concrete provided shall be this Mix Design – 560 C 3250 with curing compound. The work shall be per City of Corona Standard Specifications and the following Standard Plans: 122, 128 to 148 and 153, site conditions may cause some minor variance from the Standard Plans or as individual site conditions require.

**Note: All unit prices shall include removal and lawful disposal of existing concrete, roots removal if any and irrigation repairs.**

City Standard plans can be accessed from following link:

<https://www.coronaca.gov/government/departments-divisions/public-works/development-and-permits/standard-plans>

## **SECTION IV**

### **BID CONTENT AND FORMS**

#### **A. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a bid, Bidder warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this NIB are currently held by bidder and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification shall be included in bidder's response. **Bids lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

#### **B. BID / PRICE FORMS**

Bidder shall complete the Bid / Price Form in its entirety including a binding signature and upload into the PlanetBids electronic bidding system. Bidders shall also enter their unit pricing on the Line Items tab in the PlanetBids electronic bidding system. (See Bid Price Schedule)

Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the required services or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

All prices shall be quoted F.O.B. destination, Corona, California. All shipping, handling and freight charges, if applicable, must be included in bidder's bid amount.

#### **C. MODIFICATIONS OF BIDS**

Each Bidder shall submit its Bid in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Bid may render it non-responsive and may cause its rejection. Bidders shall neither delete, modify, nor supplement the printed matter on the Bid Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered, unless the Notice Inviting Bids authorizes the submission of electronic bids and modifications thereto and such modifications are made in accordance with the Notice Inviting Bids.

PARTY SUBMITTING BID: \_\_\_\_\_

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY BIDDER AND SUBMITTED WITH BID)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [bidder], the party making the foregoing bid.

The bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The bid is genuine and not collusive or a sham. The bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid. The bidder has not directly or indirectly colluded, conspired, plotted, or agreed with any bidder or anyone else to put in a sham bid, or to refrain from bidding. The bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder. All statements contained in the bid are true. The bidder has not, directly or indirectly, submitted his or her bid price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, proposal depository, or to any member or agent thereof to effectuate a collusive or sham bid, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a bidder that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the bidder.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_  
[date], at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Bid

**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA MAINTENANCE/GENERAL SERVICES AGREEMENT**

This is to acknowledge that we have read the City of Corona Maintenance/General Services Agreement (Agreement) and will sign the Agreement, as presented, without exception, for the City's NIB 21-073RH.

---

(Bidder Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

## ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

(To be Completed and Submitted with Bid)

All applicable insurance requirements to this NIB are identified with a 'YES' under the "Applicable to Vendor" column on the NIB Insurance Requirements Check List.

Bidder acknowledges that we have reviewed the City of Corona Insurance Requirements Check List for NIB 21-073RH and understand that we will be able to provide the insurance coverage required. A sample certificate of insurance is enclosed for the City's preliminary review. Any deductibles or self-insured retention amounts have been specified below for City's review and approval.

Deductible Amounts/Self-insured Retentions:

---

---

---

---

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

CITY OF CORONA  
NIB 21-073RH INSURANCE REQUIREMENTS CHECK LIST  
(To be Completed and Submitted with Bid)

All applicable insurance requirements are identified with a ‘YES’ under the “Applicable to Vendor” column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Automobile Liability - \$1M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			Not Applicable
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

**Insurance Endorsements  
General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES



### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any **"NO"** responses.

---

---

---

---

---

---

---

---

---

---

[\*\*\*Indicate not applicable (“N/A”) where appropriate\*\*\*]

- NIB 21-073RH  
ON-CALL CITYWIDE CONCRETE REPAIRS

7. If an individual or a partnership, answer the following:
- 7.1 Date of Organization: \_\_\_\_\_
- 7.2 Name and address of all partners (state whether general or limited partnership):
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
8. If other than a corporation or partnership, describe organization and name principals:
- \_\_\_\_\_
- \_\_\_\_\_
9. List other states in which Bidder's organization is legally qualified to do business.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
10. What type of work does the Bidder normally perform with its own forces?
- \_\_\_\_\_
- \_\_\_\_\_
11. Has Bidder ever failed to complete any work awarded to it? If so, note when, where, and why:
- \_\_\_\_\_
- \_\_\_\_\_
12. Has Bidder entered into a settlement agreement involving a public works project of more than \$100,000 within the last two years with any City or public agency? If so, note when, where, and why. *This information may be the basis for rejecting the bid as nonresponsive or the Bidder as nonresponsible following a hearing.*

13. Within the last five years, has any officer or partner of Bidder's organization ever been an officer or partner of another organization when it failed to complete a contract? If so, attach a separate sheet of explanation:

---

---

---

---

12. Have you been or are you on any federal list of debarred or suspended bidders? If yes, state the beginning and ending dates of the period of disbarment.

---

---

13. List Trade References:

---

---

---

---

14. List Bank References (Bank and Branch Address):

---

---

---

---

- 15 Name of Bonding Company and Name and Address of Agent:

---

---

---

## BIDDER'S STATEMENT OF PAST CONTRACT DISQUALIFICATIONS

Bidder is required to state any and all instances of being disqualified, removed, or otherwise prevented from submitting a bid, or completing any contracts for similar services as detailed in NIB 21-073RH.

1. Have you ever been disqualified from any contract? (circle one)      Yes      No

2. If yes, explain the circumstances:

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and extend across the width of the page. There are no margins, text, or other markings on the paper.

(Firm Name)

(Print name and title of person signing for firm)

(Signature/Date)

## DESIGNATION OF SUBCONTRACTORS

In compliance with the Subletting and Subcontracting Fair Practices Act of the Public Contract Code of the State of California (PCC section 4100 et seq.), each bidder shall set forth below: (a) the name and the location of the place of business (b) the license number and the DIR registration number, and (c) the portion of the Work which will be done by each subcontractor who will perform work or labor or render service to the Contractor in or about the construction of the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price. Notwithstanding the foregoing, if the Work involves streets and highways, then the Contractor shall list each subcontractor who will perform work or labor or render service to Contractor in or about the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price or \$10,000, whichever is greater. No additional time shall be granted to provide the below requested information.

If Contractor is fully qualified to perform a portion of the Work listed below and will perform such Work, Contractor shall circle "yes" under the "will you be self-performing" column below. Otherwise, if no subcontractor is specified for a portion of the Work or if more than one subcontractor is specified for the same portion of Work, and if that portion of Work is in excess of the amounts described in the paragraph above, then the Contractor shall be deemed to have agreed that it is fully qualified to perform that portion of Work and that it shall perform that portion itself.

If the "PCC 3400(c)" column states "yes" below, then please take note that a portion of the Work described is impacted by findings made by the City that a particular material, product, thing or service must be used and has been designated by a specific brand or trade name.<sup>1</sup> In such cases, there may be only one subcontractor qualified or authorized to perform a portion of the Work described, so please take note and ensure that you list the proper subcontractor.



<b>Description of Work</b>	<b>PCC 3400(c) Apply?</b>	<b>Will you be Self- Performing? (Please circle)</b>	<b>If no, list Subcontractor</b>	<b>Location, License Number &amp; DIR Registration Number of Subcontractor</b>	<b>Portion of Work by Subcontractor</b>
		Yes or No			
		Yes or No			
		Yes or No			

Name of Bidder \_\_\_\_\_

Signature \_\_\_\_\_

Name and Title \_\_\_\_\_

Dated \_\_\_\_\_



## INDUSTRIAL SAFETY RECORD

(To be Completed and Submitted with Bid)

Number of Serious OSHA Violations within the last two (2) years or any Willful violations within the last five (5) years (must state zero if none):

\_\_\_ Serious    \_\_\_ Willful    \_\_\_ Repeat    \_\_\_ Other    \_\_\_ Unclass    \_\_\_\_\_ Total

\_\_\_\_\_  
Firm Name (Print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name and Title (Print)

\_\_\_\_\_  
Date

## Vendor Performance Evaluation Form

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P. O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
Weekly <input type="radio"/>	Monthly <input type="radio"/>	Quarterly <input type="radio"/>	Annually <input type="radio"/>	Other <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning. <input style="float: right;" type="radio"/>		Professional Service - unique, technical, and/or infrequent functions performed by an independent consultant/vendor qualified by education, experience, and/or technical ability to provide services. <input style="float: right;" type="radio"/>		
Products - a supplier of a tangible object that is manufactured or refined for sale. <input style="float: right;" type="radio"/>		Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <input style="float: right;" type="radio"/>		
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> <li>6. <i>Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.</i></li> </ol>				

7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

OVERALL EVALUATION SCORE

4. 89

OVERALL EVALUATION RATING

EXCELLENT

## **ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM**

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

**CONTRACTOR'S CERTIFICATE REGARDING  
WORKERS' COMPENSATION**

I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.

Name of Bidder \_\_\_\_\_

Signature \_\_\_\_\_

Name \_\_\_\_\_

Title \_\_\_\_\_

Date: \_\_\_\_\_

**EXPERIENCE STATEMENT**  
**To Be Completed and Submitted with Bid**

**List at least (3) municipal or other public utility/entity references for work of a similar nature performed by Bidder within the last (5) years.**

**Customer #1 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #2 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #3 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #4 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #5 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

Bidder's Name \_\_\_\_\_

Signature \_\_\_\_\_

Print Name and Title \_\_\_\_\_



**\*\*\*INSERT PAYMENT & PERFORMANCE BOND FORMS\*\*\***

**CITY OF CORONA**

**PAYMENT BOND (LABOR AND MATERIALS)**

KNOW ALL MEN BY THESE PRESENTS That

WHEREAS, the City of Corona (hereinafter designated as the "City"), by action taken or a resolution passed \_\_\_\_\_, 20\_\_\_\_ has awarded to \_\_\_\_\_ hereinafter designated as the "Principal," a contract for the work described as follows:

\_\_\_\_\_ (the "Project"); and

WHEREAS, the work to be performed by the Principal is more particularly set forth in the Contract Documents for the Project dated \_\_\_\_\_, (hereinafter referred to as "Contract Documents"), the terms and conditions of which are expressly incorporated herein by reference; and

WHEREAS, said Principal is required to furnish a bond in connection with said Contract Documents; providing that if said Principal or any of its Subcontractors shall fail to pay for any materials, provisions, provender, equipment, or other supplies used in, upon, for or about the performance of the work contracted to be done, or for any work or labor done thereon of any kind, or for amounts due under the Unemployment Insurance Code or for any amounts required to be deducted, withheld, and paid over to the Employment Development Department from the wages of employees of said Principal and its Subcontractors with respect to such work or labor, the Surety on this bond will pay for the same to the extent hereinafter set forth.

NOW THEREFORE, we, the Principal and \_\_\_\_\_ as Surety, are held and firmly bound unto the City in the penal sum of \_\_\_\_\_ DOLLARS and \_\_\_\_\_ CENTS (\$\_\_\_\_\_) lawful money of the United States of America, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH that if said Principal, his or its subcontractors, heirs, executors, administrators, successors or assigns, shall fail to pay any of the persons named in Section 9100 of the Civil Code, fail to pay for any materials, provisions or other supplies, used in, upon, for or about the performance of the work contracted to be done, or for any work or labor thereon of any kind, or amounts due under the Unemployment Insurance Code with respect to work or labor performed under the Contract Documents, or for any amounts required to be deducted, withheld, and paid over to the Employment Development Department or Franchise Tax Board from the wages of employees of the contractor and his subcontractors pursuant to Section 18663 of the Revenue and Taxation Code, with respect to such work and labor the Surety or Sureties will pay for the same, in an amount not exceeding the sum herein above specified, and also, in case suit is brought upon this bond, all litigation expenses incurred by the City in such suit, including reasonable attorneys' fees, court costs, expert witness fees and investigation expenses.

This bond shall inure to the benefit of any of the persons named in Section 9100 of the Civil Code so as to give a right of action to such persons or their assigns in any suit brought upon this bond.

It is further stipulated and agreed that the Surety on this bond shall not be exonerated or released from the obligation of this bond by any change, extension of time for performance, addition, alteration or modification in, to, or of any contract (including the Contract Documents), plans, specifications, or agreement pertaining or relating to any scheme or work of improvement herein above described, or pertaining or relating to the furnishing of labor, materials, or equipment therefore, nor by any change or modification of any terms of payment or extension of the time for any payment pertaining or relating to any scheme or work of improvement herein above described, nor by any rescission or attempted rescission or attempted rescission of the Contract Documents, agreement or bond, nor by any conditions precedent or subsequent in the bond attempting to limit the right of recovery of claimants otherwise entitled to recover under any such contract or agreement or under the bond, nor by any fraud practiced by any person other than the

claimant seeking to recover on the bond and that this bond be construed most strongly against the Surety and in favor of all persons for whose benefit such bond is given, and under no circumstances shall Surety be released from liability to those for whose benefit such bond has been given, by reason of any breach of contract between the owner or City and original contractor or on the part of any obligee named in such bond, but the sole conditions of recovery shall be that claimant is a person described in Section 9100 of the Civil Code, and has not been paid the full amount of his claim and that Surety does hereby waive notice of any such change, extension of time, addition, alteration or modification herein mentioned.

Notwithstanding any other provision of this bond, it is expressly understood, acknowledged and agreed that it shall provide all of the protections required by California Civil Code Sections 9550 through 9566, including the specific coverage protections required by Section 9554.

As-Needed or On-Call Services. Since the Contract Documents involve “as-needed” or “on-call” services, each individual call-out or project work order under the Contract Documents is a separate project for purposes of the City’s bidding and purchasing requirements. In addition, the term of such Contract Documents are based upon the expiration of a date certain and not upon the completion of the Project or any individual project work order. Thus, the Contractor may wish to change sureties or its bond during the term of the Contract Documents, including at the natural expiration of the initial term or any renewal term. Therefore, regardless of any term or timeframe limitation specified above, the obligations of this bond shall include any and all work authorized in accordance with the Contract Documents during any such period this bond was in place, regardless of when the initial term or any renewal term of the Contract Documents expires or is terminated, and regardless of when the Project or any individual project work order is completed. Nothing herein shall be construed to otherwise limit the guarantees and rights of this obligation, including those which may extend beyond when the initial term or any renewal term of the Contract Documents expires or is terminated, or beyond when the Project or any individual project work order is completed. Furthermore, the execution of separate and/or additional bond(s) during the initial term or any renewal term shall not extinguish, exonerate, or terminate the guarantees and obligations as set forth in this bond. Finally, when describing in the preceding paragraph the stipulation and agreement that the Surety on this bond shall not be exonerated or released from the obligation of this bond by any change, extension of time for performance, addition, alteration or modification in, to, or of any contract (including the Contract Documents), any changes or alterations to the Contract Documents shall also include an increase in the compensation for a project work order.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK  
SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR  
CITY OF CORONA  
PAYMENT BOND**

IN WITNESS WHEREOF, two (2) identical counterparts of this instrument, each of which shall for all purposes be deemed unoriginal thereof, have been duly executed by the Principal and Surety above named, on the \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

**CONTRACTOR/PRINCIPAL**

(Corporate Seal of Contractor/  
Principal, if a Corporation)

\_\_\_\_\_  
Name of Contractor/Principal (Type or Print)

By: \_\_\_\_\_  
Name (Signature)

\_\_\_\_\_  
Name (Type or Print)

\_\_\_\_\_  
Title (Type or Print)

**SURETY**

(Seal of Surety)

\_\_\_\_\_  
Name of Surety (Type or Print)

By: \_\_\_\_\_  
Attorney-In-Fact

## ACKNOWLEDGMENT

State of California

County of \_\_\_\_\_ )

On \_\_\_\_\_ before me,  
(insert name and title of the officer)

personally appeared \_\_\_\_\_ ,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

NOTE: A copy of the Power-of-Attorney to local representatives of the bonding company must be attached hereto.

**CITY OF CORONA**  
**PERFORMANCE BOND**

KNOW ALL PERSONS BY THESE PRESENTS:

THAT WHEREAS, the City of Corona (hereinafter referred to as "City") has awarded to \_\_\_\_\_, (hereinafter referred to as the "Contractor") an agreement for \_\_\_\_\_ (hereinafter referred to as the "Project").

WHEREAS, the work to be performed by the Contractor is more particularly set forth in the Contract Documents for the Project dated \_\_\_\_\_, (hereinafter referred to as "Contract Documents"), the terms and conditions of which are expressly incorporated herein by reference; and

WHEREAS, the Contractor is required by said Contract Documents to perform the terms thereof and to furnish a bond for the faithful performance of said Contract Documents.

NOW, THEREFORE, we, \_\_\_\_\_, the undersigned Contractor and \_\_\_\_\_ as Surety, a corporation organized and duly authorized to transact business under the laws of the State of California, are held and firmly bound unto the City in the sum of \_\_\_\_\_ DOLLARS and \_\_\_\_\_ CENTS (\$ \_\_\_\_\_), said sum being not less than one hundred percent (100%) of the total amount of the Contract, for which amount well and truly to be made, we bind ourselves, our heirs, executors and administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, that, if the Contractor, his or its heirs, executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions and agreements in the Contract Documents and any alteration thereof made as therein provided, on its part, to be kept and performed at the time and in the manner therein specified, and in all respects according to their intent and meaning; and shall faithfully fulfill all obligations including, if provided as part of the Contract Documents, the one-year guarantee of all materials and workmanship; and shall indemnify and save harmless the City, its officers and agents, as stipulated in said Contract Documents, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

As a condition precedent to the satisfactory completion of the Contract Documents, unless otherwise provided for in the Contract Documents, the guarantee obligation shall hold good for a period of one (1) year after the acceptance of the work by City, during which time if Contractor shall fail to make full, complete, and satisfactory repair and replacements and totally protect the City from loss or damage resulting from or caused by defective materials or faulty workmanship, the obligations of Surety hereunder shall continue so long as any obligation of Contractor remains. Nothing herein shall limit the City's rights or the Contractor or Surety's obligations under the Contract Documents, law or equity, including, but not limited to, California Code of Civil Procedure section 337.15.

As a part of the obligation secured hereby and in addition to the face amount specified therefor, there shall be included costs and reasonable expenses and fees including reasonable attorney's fees, incurred by City in enforcing such obligation.

Whenever Contractor shall be, and is declared by the City to be, in default under the Contract Documents, the Surety shall remedy the default pursuant to the Contract Documents, or shall promptly, at the City's option:

- (1) Take over and complete the Project in accordance with all terms and conditions in the Contract Documents; or

- (2) Obtain a bid or bids for completing the Project in accordance with all terms and conditions in the Contract Documents and upon determination by Surety of the lowest responsive and responsible bidder, arrange for a contract between such bidder, the Surety and the City, and make available as work progresses sufficient funds to pay the cost of completion of the Project, less the balance of the contract price, including other costs and damages for which Surety may be liable. The term “balance of the contract price” as used in this paragraph shall mean the total amount payable to Contractor by the City under the Contract Documents and any modification thereto, less any amount previously paid by the City to the Contractor and any other set offs pursuant to the Contract Documents.
- (3) Permit the City to complete the Project in any manner consistent with California law and make available as work progresses sufficient funds to pay the cost of completion of the Project, less the balance of the contract price, including other costs and damages for which Surety may be liable. The term “balance of the contract price” as used in this paragraph shall mean the total amount payable to Contractor by the City under the Contract Documents and any modification thereto, less any amount previously paid by the City to the Contractor and any other set offs pursuant to the Contract Documents.

Surety expressly agrees that the City may reject any contractor or subcontractor which may be proposed by Surety in fulfillment of its obligations in the event of default by the Contractor.

Surety shall not utilize Contractor in completing the Project nor shall Surety accept a bid from Contractor for completion of the Project if the City, when declaring the Contractor in default, notifies Surety of the City’s objection to Contractor’s further participation in the completion of the Project.

The Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the Contract Documents or to the Project to be performed thereunder shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract Documents or to the Project and the provisions of Section 2819 and 2845 of the California Civil Code. Without limiting the foregoing, such changes, extensions of time and alterations or additions shall include, but are not limited to, changes or alterations to the Contract Documents (including, without limitation, an increase in the total dollar amount of the Contract Documents), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor.

As-Needed or On-Call Services. Since the Contract Documents involve “as-needed” or “on-call” services, each individual call-out or project work order under the Contract Documents is a separate project for purposes of the City’s bidding and purchasing requirements. In addition, the term of such Contract Documents are based upon the expiration of a date certain and not upon the completion of the Project or any individual project work order. Thus, the Contractor may wish to change sureties or its bond during the term of the Contract Documents, including at the natural expiration of the initial term or any renewal term. Therefore, regardless of any term or timeframe limitation specified above, the obligations of this bond shall include any and all work authorized in accordance with the Contract Documents during any such period this bond was in place, regardless of when the initial term or any renewal term of the Contract Documents expires or is terminated, and regardless of when the Project or any individual project work order is completed. Nothing herein shall be construed to otherwise limit the guarantees and rights of this obligation, including those which may extend beyond when the initial term or any renewal term of the Contract Documents expires or is terminated, or beyond when the Project or any individual project work order is completed. Furthermore, the execution of separate and/or additional bond(s) during the initial term or any renewal term shall not extinguish, exonerate, or terminate the guarantees and obligations as set forth in this bond. Finally, when describing in the preceding paragraph the waiver of notice and the provisions of California Civil Code Sections 2819 and 2845, any changes or alterations to the Contract Documents shall also include an increase in the compensation for a project work order.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK**

**SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR  
CITY OF CORONA  
PERFORMANCE BOND**

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**CONTRACTOR/PRINCIPAL**

(Corporate Seal of Contractor/  
Principal, if a Corporation)

\_\_\_\_\_  
Name of Contractor/Principal (Type or Print)

By: \_\_\_\_\_  
Name (Signature)

\_\_\_\_\_  
Name (Type or Print)

\_\_\_\_\_  
Title (Type or Print)

**SURETY**

(Seal of Surety)

\_\_\_\_\_  
Name of Surety (Type or Print)

By: \_\_\_\_\_  
Attorney-In-Fact

The rate of premium on this bond is \_\_\_\_\_ per thousand. The total amount of premium charges,  
\$ \_\_\_\_\_.  
(The above must be filled in by corporate attorney.)

**THIS IS A REQUIRED FORM**

Any claims under this bond may be addressed to:

(Name and Address of Surety) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(Name and Address of Agent or  
Representative for service of  
process in California, if different  
from above) \_\_\_\_\_  
\_\_\_\_\_

(Telephone number of Surety and  
Agent or Representative for service  
of process in California) \_\_\_\_\_  
\_\_\_\_\_



## ACKNOWLEDGMENT

State of California

County of \_\_\_\_\_ )

On \_\_\_\_\_ before me,  
(insert name and title of the officer)

personally appeared \_\_\_\_\_ ,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

NOTE: A copy of the Power-of-Attorney to local representatives of the bonding company must be attached hereto.

**SECTION V.**  
**BID FORM**

BIDDER: \_\_\_\_\_

The undersigned, hereby declares that we have carefully examined the location of the proposed Work, and have read and examined the Contract Documents, including all plans, specifications, and all addenda, if any, for the following Project:

**ON-CALL CITYWIDE CONCRETE REPAIRS, NIB 21-073RH**

The undersigned agrees that this Bid Form constitutes a firm offer to the City which cannot be withdrawn for the number of calendar days indicated in the Instructions to Bidders or until a Contract for the Work is fully executed by the City and a third party, whichever is earlier.

Bidder certifies that it is licensed in accordance with the law providing for the registration of Contractors, License No. \_\_\_\_\_, Expiration Date \_\_\_\_\_, class of license \_\_\_\_\_. DIR Registration No. \_\_\_\_\_. If the bidder is a joint venture, each member of the joint venture must include the above information.

The undersigned acknowledges receipt, understanding and full consideration of the following addenda to the Contract Documents.

Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____

The basis of Award of this Contract shall be on the lowest total for the Bid Schedule. In case of discrepancy between the unit price and the item cost set forth for a unit basis item, the unit price shall prevail and, shall be utilized as the basis for determining the lowest responsive, responsible bidder. However, if the amount set forth as a unit price is ambiguous, unintelligible or uncertain for any cause, or is omitted, or is the same amount as the entry in the "Item Cost" column, then the amount set forth in the "Item Cost" column for the item shall prevail and shall be divided by the estimated quantity for the item and the price thus obtained shall be the unit price.

Bidders must meet these minimum qualifications at the time of their response:

- Must identify and provide a minimum of five (5) years of experience performing similar service to multiple public agencies within a 50 mile radius of the City of Corona.  
Provide a minimum of three (3) agencies,
- Contract value of a minimum of \$100,000 annually.

The City shall award the Contract to the responsive, responsible bidder with competitive pricing and meeting the above requirements.

No person, organization, or corporation is allowed to make, submit, or be interested in more than one Bid unless in a sub-contractual relationship with respect to the Bids.

**A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a Bid to the City as a primary bidder.**

Cash discount allowable \_\_\_\_\_ % \_\_\_\_\_ days. Unless otherwise stated, payment terms are Net Thirty (30) Days.

I hereby certify under penalty of perjury under the laws of the State of California, that all of the information submitted in connection with this Bid and all of the representations made herein are true and correct.

**Signature:** \_\_\_\_\_

**Print Name:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## **V. BID PRICING SCHEDULE**

**Contractor shall complete the Electronic Bid Schedule found in the Line Items tab within the PlanetBids electronic bidding system.** Provide firm fixed bid prices to furnish all labor, materials, supplies, equipment, tools, transportation, services, and any other incidental or additional costs to discharge all duties and obligations necessary and required to perform and complete the Project. A copy of the Bid Schedule below is provided for reference purposes only and need not be completed and returned.

The Contractor shall include all labor materials, equipment, traffic control, mobilization to accomplish the removal (including saw-cutting) and disposal of existing PCC improvements, 95% compaction of base, necessary forms and form oil, PCC, curing compound and surface finish, to complete the services per linear foot or square foot, as noted in the bid schedule descriptions.

**Note: All unit prices shall include removal and lawful disposal of existing concrete, roots removal if any and irrigation repairs.**

All concrete shall be the following Mix Design – 560 C 3250 with curing compound. The work shall be per City of Corona Standard Specifications and the following Standard Plans: 122, 128 to 148 and 153, site conditions may cause some minor variance from the Standard Plans.

Concrete Sidewalk, driveways and other flatwork shall include in the square foot price:

Bid Item	Description	Unit of Measure	Quantity	Per SF Price
1	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	1 to 100	\$
2	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	101 to 250	\$
3	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	Over 250	\$
4	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	1 to 100	\$
5	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	101 to 250	\$
6	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	Over 250	\$
7	8" thick PCC (i.e.: driveway, spandrel, etc)	SF	1 to 100	\$
8	10" thick PCC (i.e.: driveway, spandrel, etc)	SF	101 to 250	\$
9	12" thick PCC (i.e.: driveway, spandrel, etc)	SF	Over 250	\$

10	4" thick PCC Accessible Curb Ramp	SF	1 to 100	\$
11	4" thick PCC Accessible Curb Ramp	SF	101 to 250	\$
12	1 to 5 Tons CMB installation (95% compaction)	Ton	1 to 5	\$
13	6 to 10 Tons CMB installation (95% compaction)	Ton	6 to 10	\$
14	11 to 15 Tons CMB installation (95% compaction)	Ton	11 to 15	\$
15	16 and over Tons CMB installation (95% compaction)	Ton	16 and over	\$
<b>Bid Item</b>	<b>Description</b>	<b>Unit of Measure</b>	<b>Quantity</b>	<b>Unit Cost Emergency</b>
16	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	1 to 25	\$
17	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	26 to 50	\$
18	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	50 to 75	\$
19	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	Over 75	\$
20	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$
21	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$
22	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$
23	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$
24	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$
25	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$

26	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$
27	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$
28	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$
29	12" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$
30	12" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$
31	Imported fill material (base/clean dirt) with 95% compaction	Ton	1	\$
32	Adjust/Re-install mailbox	LS	1	\$
33	ADA Access Ramp per standard 146 (remove and replace)	LS	1	\$
34	ADA Access Ramp per standard 147 (remove and replace)	LS	1	\$
35	Catch Basin deck only replacement (see standard 204 A, B, C for rebar detail)	SF	25	\$
36	Catch Basin deck only replacement (see standard 204 A, B, C for rebar detail)	SF	50	\$
Total Bid Amount (sum of Items 1-36)				\$

**SECTION VI.**  
**FORM OF AGREEMENT**

**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL CITYWIDE CONCRETE REPAIRS**

This Agreement is made and entered into this [\*\*\*INSERT DAY\*\*\*] day of [\*\*\*INSERT MONTH\*\*\*], [\*\*\*INSERT YEAR\*\*\*] (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and [\*\*\*INSERT NAME\*\*\*], a [\*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\*] with its principal place of business at [\*\*\*INSERT ADDRESS\*\*\*] (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing [\*\*\*INSERT TYPE OF SERVICES\*\*\*] services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for On-Call Citywide Concrete Repairs project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).



### **3. TERMS.**

#### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional On-Call Citywide Concrete Repairs project maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 15, 2021 to June 30, 2023 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The City has the right to extend the Term of this Agreement, in its sole discretion and under the same terms and conditions, for [\*\*\*INSERT WRITTEN AMOUNT\*\*\*] ([\*\*\*INSERT NUMERICAL AMOUNT\*\*\*]) additional two (2) periods, two-years (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

#### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If

Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

**3.2.9 Laws and Regulations; Employee/Labor Certifications.** Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

**3.2.9.1 Employment Eligibility; Contractor.** By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

**3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants.** To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 MINIMUM; per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 MINIMUM; per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 MINIMUM; per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit “C” attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit “C” attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City’s sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best’s rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best’s rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents,



proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed [\*\*\*INSERT WRITTEN DOLLAR AMOUNT\*\*\*] (\$[\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\*]) ("Total Compensation") without written approval of City's [\*\*\*INSERT TITLE\*\*\*]. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make

copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City Clerk's office. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the Project is being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

[\*\*\*INSERT NAME, ADDRESS & CONTACT PERSON\*\*\*]

**City:**

City of Corona  
400 South Vicentia Avenue  
Corona, CA 92882  
Attn: General Manager, DWP or their authorized designee

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL CITYWIDE CONCRETE REPAIRS**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest:  
\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL CITYWIDE CONCRETE REPAIRS**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF CONTRACTOR\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]



## **EXHIBIT “A” SCOPE OF SERVICES**

The Contractor shall be responsible for furnishing all: Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including saw cutting) and disposal of existing PCC improvements, 95% compaction of base, necessary forms and form oil, PCC, curing compound and surface finish, and all other items to facilitate the completion of this comprehensive scope of work, as noted in the bid form descriptions included in Section IV.

All concrete provided shall be this Mix Design – 560 C 3250 with curing compound. The work shall be per City of Corona Standard Specifications and the following Standard Plans: 122, 128 to 148 and 153, site conditions may cause some minor variance from the Standard Plans or as individual site conditions require.

### **Required Response Times for Concrete Maintenance Services:**

The Contractor is required to respond with a crew to provide **emergency concrete repairs** within one (1) City working day and begin repairs within two (2) City working days; following email notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor’s arrival at the repair location.

The Contractor is required to respond to **routine concrete repairs** within one (1) City working day and begin repairs within three (3) City working days; email notification from the City Project Manager. The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

**EXHIBIT “B”  
SCHEDULE OF SERVICES**

**[\*\*\*INSERT SCHEDULE\*\*\*]**

**EXHIBIT “C”  
COMPENSATION**

**INSERT RATES & AUTHORIZED REIMBURSABLE EXPENSE**

**SEE SECTION 3.2.12 ABOVE AND INSERT CITY’S REQUIREMENT  
FOR PERFORMANCE/PAYMENT BONDS**

NIB 21-073RH                      Section VII. Form of Agreement - Page 25 of 22  
ON-CALL CITYWIDE CONCRETE REPAIRS \*\*\*\*\*SAMPLE – DO NOT EXECUTE\*\*\*\*\*

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

(CITY ATTY: 07-17)

## Addenda

< Back to Bid Search

### On-Call Citywide Concrete Repairs NIB 21-073RH

Bid Information

Line Items

Documents

Prospective Bidders

Q&A

Addenda/Emails

Bid Results

### Addenda

**Recall** Jun 02, 2021 1 NIB 21-073RH On-Call Citywide Concrete Repairs

Bid Value \$500,000



## NIB SUMMARY

### Finance Department - Purchasing Division

**DATE:** JUNE 30, 2021

**SUBJECT:** NIB Results

RFP No.: NIB 21-073RH  
RFP Name: ON-CALL CITYWIDE CONCRETE REPAIRS  
Live Bidding on Planet Bids: Date: May 19, 2021  
RFP Close Date: June 9, 2021 @ 10:30 a.m.  
Advertised Date: May 19, 2021  
No. of Vendors solicited: 78  
No. of Proposals received: **5 – The lowest bidder TOWO Enterprise. Inc. Lacks the NIB required business experience requirements.**

Rank	Company	City/State	Bid Amounts
1	CT&T Concrete Paving Inc.	Diamond Bar, CA	\$29,597.00
2	CJ Concrete Construction, Inc.	Santa Fe Springs, CA	\$36,041.00
3	PUB Construction, Inc.	Diamond Bar, CA	\$37,519.00
4	Charles C Regan	Corona, CA	\$283,059.00
Deemed Non-Responsive			
5	TOWO Enterprises, Inc. Garden Grove, CA		

Bids have been evaluated and the summary is provided as a matter of information only. A contract award to the lowest bid is tentative upon final approval of the City Council and the authorized contracting party.

The lowest cost bid was submitted by: CT&T Concrete Paving, Inc., Diamond Bar, CA

**Council Action Date:** \_\_\_\_\_

Sign below if you concur with the bid results and wish to proceed to City Council with a tentative vendor recommendation, award of a contract and purchase order to the highest-ranked bid.

Approved By: \_\_\_\_\_  
Signature  
\_\_\_\_\_  
Name  
\_\_\_\_\_  
Title

NIB 21-073RH  
On-Call Citywide Concrete Repairs

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH CT&T CONCRETE PAVING, INC.  
(CONCRETE REPAIR SERVICES – NIB 21-073RH ON-CALL CITYWIDE  
CONCRETE REPAIRS)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 7th day of July, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and CT&T Concrete Paving, Inc., a California Corporation with its principal place of business at 324 S. Diamond Bar Blvd, PMB 275, Diamond Bar, CA 91765 (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing concrete repair services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the NIB 21-073RH On-Call Citywide Concrete Repairs project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

### **3. TERMS.**

#### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional concrete repair maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 7, 2021 to June 30, 2023 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

#### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely

manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Jose Carvajal, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.



3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City,

its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation,

claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a

Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Seven Hundred Fifty Thousand Dollars (\$750,000.00) ("Total Compensation") per fiscal year without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the

commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

CT&T Concrete Paving, Inc.  
324 S. Diamond Bar Blvd., PMB 275  
Diamond Bar, CA 91765  
Attn: Jose Carvajal



**City:**

City of Corona  
 400 South Vicentia Avenue  
 Corona, CA 92882  
 Attn: Tom Moody Department of Water and Power

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH CT&T CONCRETE PAVING, INC.**  
**(CONCRETE REPAIR SERVICES – NIB 21-073RH ON-CALL CITYWIDE**  
**CONCRETE REPAIRS)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Tom Moody  
General Manager

Reviewed By: \_\_\_\_\_  
Katie Hockett  
Assistant General Manager

Reviewed By: \_\_\_\_\_  
Aftab Hussain  
Maintenance Manager


Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager

Attest: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH CT&T CONCRETE PAVING, INC.**  
**(CONCRETE REPAIR SERVICES – NIB 21-073RH ON-CALL CITYWIDE**  
**CONCRETE REPAIRS)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CT&T CONCRETE PAVING, INC.**  
a California Corporation

By:  E9DF56628A1F498...  
Jose Carvajal  
President/Secretary

## EXHIBIT “A” SCOPE OF SERVICES

Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional concrete repair services to public clients necessary for the Project (“Services”). The Services are more particularly described in this Exhibit “A”

The Contractor shall be responsible to provide all deliverables described herein in strict accordance with the terms, covenants and conditions of the Contract and all applicable Federal, State and local laws, codes, rules and regulations. **Permissible work hours within the City of Corona are: 7 a.m. to 5 p.m., Monday through Thursday excluding City observed holidays.** Any deviations to these hours shall be preapproved by the Project Manager.

### **Required Response Times for Concrete Maintenance Services**

The Contractor is required to respond with a crew to provide **concrete repairs** within one (1) working day and begin repairs within two (5) City working days; following email notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor’s arrival at the repair location.

The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

## **TECHNICAL SPECIFICATIONS/SCOPE OF WORK**

The Contractor shall be responsible for furnishing all: Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including saw cutting) and disposal of existing PCC improvements, 95% compaction of base, necessary forms and form oil, PCC, curing compound and surface finish, and all other items to facilitate the completion of this comprehensive scope of work, as noted in the bid form descriptions included in Section IV.

All concrete provided shall be this Mix Design – 560 C 3250 with curing compound. The work shall be per City of Corona Standard Specifications and the following Standard Plans: 122, 128 to 148 and 153, site conditions may cause some minor variance from the Standard Plans or as individual site conditions require.

**Note: All unit prices shall include removal and lawful disposal of existing concrete, roots removal if any and irrigation repairs.**

City Standard plans can be accessed from following link:

<https://www.coronaca.gov/government/departments-divisions/public-works/development-and-permits/standard-plans>

**EXHIBIT "B"**  
**SCHEDULE OF SERVICES**

Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms:

- 1) The first optional extension will be for the period July 1, 2023 through June 30, 2025.
- 2) The second optional extension will be from July 1, 2025 through June 30, 2027.

Option year pricing shall be negotiated by the Parties prior to commencement of each additional new fiscal year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order



## EXHIBIT "C" COMPENSATION

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this Exhibit "C" attached hereto and incorporated herein by reference.

Bid Item	Description	Unit of Measure	Quantity	Per SF Price
1	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	1 to 100	\$28.00
2	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	101 to 250	\$25.00
3	4" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	Over 250	\$16.00
4	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	1 to 100	\$30.00
5	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	101 to 250	\$28.00
6	6" thick PCC (i.e.: sidewalk, driveway, spandrel, etc)	SF	Over 250	\$18.00
7	8" thick PCC (i.e.: driveway, spandrel, etc)	SF	1 to 100	\$34.00
8	10" thick PCC (i.e.: driveway, spandrel, etc)	SF	101 to 250	\$32.00
9	12" thick PCC (i.e.: driveway, spandrel, etc)	SF	Over 250	\$30.00
10	4" thick PCC Accessible Curb Ramp	SF	1 to 100	\$55.00
11	4" thick PCC Accessible Curb Ramp	SF	101 to 250	\$46.00
12	1 to 5 Tons CMB installation (95% compaction)	Ton	1 to 5	\$350.00
13	6 to 10 Tons CMB installation (95% compaction)	Ton	6 to 10	\$300.00
14	11 to 15 Tons CMB installation (95% compaction)	Ton	11 to 15	\$280.00
15	16 and over Tons CMB installation (95% compaction)	Ton	16 and over	\$170.00

Bid Item	Description	Unit of Measure	Quantity	Unit Cost Emergency
16	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	1 to 25	\$60.00
17	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	26 to 50	\$50.00
18	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	50 to 75	\$40.00
19	8" Cross gutter per standard 145 (including permanent pavement repair patching, min. 1' wide)	SF	Over 75	\$35.00
20	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$75.00
21	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$70.00
22	6" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$65.00
23	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$80.00
24	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$75.00
25	8" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$70.00
26	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$90.00
27	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$85.00
28	10" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	Over 250	\$75.00
29	12" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	1 to 100	\$95.00

Bid Item	Description	Unit of Measure	Quantity	Unit Cost Emergency
30	12" Curb and Gutter (including permanent pavement repair patching, min. 1' wide)	LF	101 to 250	\$90.00
31	Imported fill material (base/clean dirt) with 95% compaction	Ton	1	\$350.00
32	Adjust/Re-install mailbox	LS	1	\$500.00
33	ADA Access Ramp per standard 146 (remove and replace)	LS	1	\$7,500.00
34	ADA Access Ramp per standard 147 (remove and replace)	LS	1	\$7,500.00
35	Catch Basin deck only replacement (see standard 204 A, B, C for rebar detail)	SF	25	\$3,750.00
36	Catch Basin deck only replacement (see standard 204 A, B, C for rebar detail)	SF	50	\$7,500.00
Total Bid Amount (sum of Items 1-36)				\$29,597.00

Pursuant to Section. 3.2.12 Bonds, payment and performance bonds will be required for a value of 100% of the total compensation identified in Section 3.3.1 Rates & Total Compensation.



Staff Report

---

**File #:** 21-0677

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Maintenance Services Department  
Department of Water and Power

**SUBJECT:**  
Award of contract to A&Y Asphalt Contractors, Inc. for on-call Citywide asphalt repairs.

**EXECUTIVE SUMMARY:**

The City issued Notice Inviting Bids 21-076RH for on-call and emergency Citywide asphalt repairs to proactively maintain City streets and address minor street improvements submitted by the public.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council award Notice Inviting Bids 21-076RH for on-call Citywide asphalt repairs to A&Y Asphalt Contractors, Inc., the lowest responsive, responsible bidder, for the total amount of \$600,000, and waive any and all minor irregularities in the bidding document as submitted by said bidder.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreement with A&Y Asphalt Contractors, Inc. for \$600,000 for the initial contract term ending June 30, 2023, with two (2) optional two (2) two-year extensions.
- c. City Council authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$60,000 as authorized in Corona Municipal Code Section [3.08.050\(H\)](#).
- d. City Council authorize the Purchasing Manager to issue a purchase order to A&Y Asphalt Contractors, Inc. for \$600,000 per year for the initial contract term ending June 30, 2023, with

two (2) optional two-year extensions.

- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

### **BACKGROUND & HISTORY:**

The City performs street pavement maintenance and rehabilitation to preserve the existing infrastructure improvements by proactively maintaining the condition of the street system within the City. The Maintenance Services Department receives work requests from the public as well as staff for minor street improvements. The Maintenance Services Department evaluates each request and schedules this work based on priority, scope, and work request aging; a third-party contractor is utilized to complete this work. The Department of Water and Power also uses paving services to repair roadways after repairs to the water, wastewater, and reclaimed water infrastructure. This work is collected and scheduled monthly to obtain the best available contract pricing from the third-party contractor.

### **ANALYSIS:**

On May 20, 2021, the City issued Notice Inviting Bids (NIB) 21-076RH through the City's PlanetBids bidding portal according to Public Contract Code formal bidding procedures and Corona Municipal Code (CMC) [3.08.090](#). The bidding opportunity was also advertised in the Sentinel Weekly on May 19, 2021. Bids were due on June 9, 2021. The City received four (4) bids by the submission deadline.

The scope of work consists of:

- On-call emergency and routine pavement and rehabilitation services which include pothole repairs, failing pavement structure remediation, etc.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
A&Y Asphalt Contractors, Inc.	Norco, CA	\$1,496.40
S E Pipeline Construction	Santa Fe Springs, CA	\$3,557.95
Charles C. Regan, Inc. dba Regan Paving	Corona, CA	\$5,623.50
Hardy and Harper, Inc.	Lake Forest, CA	\$5,655.15

Because the bid was issued for on-call repair services with no guarantee of usage, the Bid Pricing Schedule required bidders to submit pricing based on a single-unit cost for 28-line items including, but not limited to, repair of various asphalt thicknesses, crack sealing, striping, manhole adjustment, etc. The low bidder was determined based on the summation of the single-unit cost bid for each line item. Staff recommends that the City Council award the bid and Maintenance and General Services Agreement (MSGA) for \$600,000 to A&Y Asphalt Contractor, Inc., as the lowest responsive, responsible bidder. The requested \$600,000 award amount is based on historical repair data and available budget. All licenses for A&Y Asphalt Contractor, Inc., have been reviewed and verified by City staff.

### **FINANCIAL IMPACT:**

Funding for the recommended action is available in the Fiscal Year 2022 operating budget. Future fiscal years will be funded through the budget process.

**ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination is exempt from CEQA. This action consists of the repair of existing asphalt and roadways. Therefore, no environmental analysis is required.

**PREPARED BY:** AFTAB HUSSAIN, MAINTENANCE MANAGER

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1: NIB 21-076RH
2. Exhibit 2: NIB 21-076RH Bid Summary
3. Exhibit 3: A&Y Asphalt Contractor, Inc. MGSA



May 19, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) 21-076RH**

The City of Corona, Department of Water & Power (City) invites qualified bids for:

**ON-CALL CITYWIDE ASPHALT REPAIRS**

Parties interested in obtaining a copy of this NIB 21-076RH may do so by registering with PlanetBids as a City of Corona vendor by visiting the PlanetBids Vendor Portal: <https://www.planetbids.com/portal/portal.cfm?CompanyID=39497>. Registered vendors can download a copy of this NIB 21-076RH and supporting documents at no cost and receive addenda and other notifications when issued.

**Closing: Bids shall be submitted electronically before 10:15 A.M., PST, June 9, 2021** through the PlanetBids Vendor Portal. It is Bidder's responsibility to allow sufficient time to complete and upload its bid, including all documentation required by this NIB, prior to the stated deadline. Electronic submission cannot be completed unless Bidder properly uploads all required documents.

The City will only consider electronic bids that have been transmitted successfully and issued a time stamped confirmation number from PlanetBids indicating the bid was successfully transmitted. **Transmission of bids by any other means will not be accepted.** Bidders are solely responsible for informing themselves with respect to proper usage of the PlanetBids online bid management system, for ensuring the capability of their computer system to upload the required documents, and for the reliability of their internet service. Failure of Bidder to successfully transmit an electronic bid shall be at Bidder's sole risk and no relief will not be given for late or improperly submitted bids.

Bidders experiencing technical difficulties with the bid transmission process should contact PlanetBids Support at (818) 992-1771. Bidders that continue to experience difficulty with the PlanetBids system should contact the City of Corona Purchasing Division at (951) 736-2274. Neither the City nor PlanetBids make any guarantees or assurances as to the timely availability of assistance or resolution of any given issue prior to the bid submission date and time.

Each bidder shall be a licensed contractor pursuant to the Business and Professions Code and shall be licensed in the following appropriate classification(s) of contractor's license(s), for the work bid upon, and must maintain the license(s) throughout the duration of the Contract: California Contractors License Board Classification 'A' or 'C-32'.

The work is subject to the payment of not less than prevailing wages pursuant to Chapter 1 (beginning at Section 1720 et seq. ) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations (“Prevailing Wage Laws”). The Director of the Department of Industrial Relations (“DIR”) has determined the general prevailing rate of per diem wages in the locality in which this work is to be performed for each craft or type of worker needed to execute the Agreement which will be awarded to the successful bidder, copies of which are on file and will be made available to any interested party upon request from the City or online at <http://www.dir.ca.gov/dlsr>. A copy of these rates shall be posted by the successful bidder at the job site.

Pursuant to SB 854, which amended the Prevailing Wage Laws, this contract subject to compliance monitoring and enforcement by the DIR. Beginning March 1, 2015, with very limited exceptions no contractor or subcontractor may be listed on a bid proposal for this contract unless registered with the DIR pursuant to Labor Code section 1725. 5. Beginning April 1, 2015, no contractor or subcontractor may be awarded a contract unless registered with the DIR pursuant to Labor Code section 1725. 5. The DIR registration number for each contractor and subcontractor must be identified on the bid proposal - failure to identify this number could result in the bid being rejected as non-responsive. It is each bidder’s responsibility to ensure that they have fully complied with SB 854. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws.

The successful bidder and all subcontractor(s) under him, shall comply with all applicable Prevailing Wage Laws, which include, but are not limited to the payment of not less than the required prevailing rates to all workers employed by them in the execution of the Contract, the employment of apprentices, the hours of labor, the payment of overtime, and the debarment of contractors and subcontractors. The successful bidder and all subcontractor(s) under him shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws.

The successful bidder will be required to furnish the City with a Performance Bond equal to 100% of the successful bid, and a Payment (Labor and Materials) Bond equal to 100% of the successful bid, prior to execution of the Agreement. All bonds are to be secured from a surety that meets all of the State of California bonding requirements, as defined in Civil Code of Procedure Section 995.120 and is admitted by the State of California.

#### **Award of Contract:**

Bidders must meet these minimum qualifications at the time of their response:

- Must identify and provide a minimum of five (5) years of experience performing similar service to multiple public agencies within a 50 mile radius of the City of Corona. Provide a minimum of five (5) agencies.
- Contract value of a minimum of \$100,000 annually.

The City shall award the Contract to the responsive, responsible bidder with competitive pricing and meeting the above requirements.

The City reserves the right to reject any or all bids or to waive any irregularities or informalities in any bids or in the bidding process.



Issuance of this NIB and/or receipt of bids does not commit City to award a contract.

Signed,

J. Richard Hogate  
Purchasing Specialist Contractor for  
City of Corona | Purchasing Division | Finance Department  
400 S. Vicentia Ave. , Suite 320 | Corona, CA 92882  
Email: [Richard.Hogate@coronaca.gov](mailto:Richard.Hogate@coronaca.gov)  
Website: [www.coronca.gov](http://www.coronca.gov)



May 19, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) 21-076RH**

**SECTION I**

**INVITATION**

The City of Corona, Department of Water & Power (City) (City) invites bids from qualified contractors for:

**ON-CALL CITYWIDE ASPHALT REPAIRS**

Please read this entire NIB package and include all requested information and forms in your bid proposal. Bids must be signed by an authorized agent of the company submitting a bid in order to be considered responsive.

**Tentative NIB Schedule**  
(Subject to change at City's discretion)

1. Issue NIB on Planet Bids ..... May 19, 2021
2. Advertise in Sentinel Weekly ..... May 19, 2021
3. Questions from Contractor Due on Planet Bids before ..... 11:15 A.M., May 26, 2021
4. Responses from City Due on Planet Bids ..... June 2, 2021
5. Bids Due (Date & Time) on Planet Bids before ..... 10:15 A.M., June 9, 2021
6. Bid Evaluation Completed ..... June 16, 2021
7. Tentative Contractor Selection ..... June 16, 2021
8. City Council Approval & Contract Award ..... July 21, 2021
9. Notice to Proceed ..... August 18, 2021

**Table of Contents**

SECTION I .....	Invitation
SECTION II .....	Instructions to Bidders
SECTION III .....	Technical Specifications/Scope of Work
SECTION IV .....	Bid Content and Forms
SECTION V .....	Bid / Price Forms
SECTION VI .....	Form of Agreement (Sample)

## **SECTION II.**

### **INSTRUCTIONS TO BIDDERS**

#### **A. Pre-Bid Meeting**

No pre-bid meeting will be held.

#### **B. Examination of Bid Documents**

Bidder shall read this entire NIB package and submit all requested information and forms with their bid. By submitting a bid, Bidders represent they have thoroughly examined and become familiar with the work required under this NIB, have reviewed the project location, specifications and understand the project objectives and are capable of performing quality work to achieve the City's objectives.

Before submitting bids, Bidders must fully inform themselves of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at Bidders' sole risk and Bidder cannot secure relief on the plea of error.

#### **C. Addenda**

Substantive City changes to the requirements will be made by written addendum. Any written addenda issued pertaining to this NIB shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the Bid Due Date and Time. Bidders shall access any and all Addenda from the electronic bidding system's Addenda & Email tab for this NIB.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this NIB and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of bidders to ensure they have received all addenda prior to submitting a bid. To this end, each bidder should contact the City's Purchasing Division prior to the bid proposal due date to verify receipt of all Addenda issued. Bidders shall acknowledge receipt of all Addenda when submitting their electronic bids.

#### **D. Clarifications**

##### **1. Examination of Documents**

Should a bidder require clarifications to this NIB, bidder shall notify the City in writing in accordance with Section D. 2 below. Should it be found that the point in question is not clearly and fully set forth in the NIB, the City shall issue a written addendum clarifying the matter.

## 2. Submitting Requests

Bidders shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497> utilizing the Questions & Answers tab. Bidder questions must be submitted no later than **11:15 A.M. PST, May 26, 2021**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

## 3. City Responses

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this NIB as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the bid due date and time, the bid due date will be extended.

## E. Bid Submission

### 1. Date and Time

All bids shall be submitted no later than **10:15 A.M. PST, June 9, 2021**

### 2. Electronic Submission

Bids shall be submitted electronically using the City's PlanetBids Vendor Portal. The City's electronic bidding system will not allow bids to be submitted after the due date and time. It is the Bidder's responsibility to allow sufficient time to complete and submit their bid, including all documentation required by this NIB, prior to the stated deadline. **Electronic submission cannot be completed unless Bidder properly uploads all required documents. Only electronic bids will be accepted; hard copy bids will be rejected as nonresponsive and returned unopened without exception.**

### 3. Bid Submittal Check List

Bidder must upload the following documents and forms to the electronic bidding system:

- a. Bid/Price Form
- b. Non-Collusion Declaration
- c. Acknowledgment of Terms and Conditions of the City's Maintenance/General Services Agreement
- d. Acknowledgment of Insurance Requirements Check Sheet
- e. Insurance Requirements Check List
- f. Statement of Past Contract Disqualifications

- g. Industrial Safety Record
- h. Acknowledgment of Vendor Performance Evaluation Form
- i. Information Required of Bidders Form
- j. Designation of Subcontractors Form
- k. Experience Statement
- l. Contractor's Certificate Regarding Workers' Compensation
- m. Local Bidder Preference Program Statement (if applicable)

#### 4. **Acceptance of Bids**

The City may, in its sole discretion:

- a. Accept or reject any or all bids and to waive any informality or irregularity in any bid or the bidding process;
- b. Withdraw this NIB at any time without prior notice, and the City makes no representations that any contract will be awarded to any bidder responding to this NIB; or
- c. Elect to postpone the bid opening for its own convenience.

#### **F. Bid Withdrawal**

Electronic bids may be withdrawn by Bidder prior to the date and time set forth in Section E. 1 above. After that time, Bidders may not withdraw their bids for a period of ninety (90) days from the Bid Submittal Deadline. At no time may the successful Bidder withdraw its bid.

#### **G. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the bidder in:

- 1. Preparing its bid in response to this NIB;
- 2. Submitting a bid to City;
- 3. Negotiating with City on any matter related to the bid; or
- 4. Any other expenses incurred by Bidder prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by Bidder in the preparation of its bid. Bidder shall not include any such expenses as part of its bid.

#### **H. Contract Award**

Issuance of this NIB and receipt of bids does not commit the City to award a contract. After all bids are opened and reviewed to determine the lowest responsive and responsible Bidder, the City Council may award the Contract.

The apparent successful Bidder should begin to prepare the following documents: (1) the required insurance certificates and endorsements; (2) the Performance Bond; and (3) the Payment (Labor and Materials) Bond when required by law or this bid package. Once the City notifies the Bidder of the award, the Bidder will have 10 consecutive calendar days from the date of this notification to execute the agreement and supply the City with all of the required documents and certifications. Regardless of whether or not the Bidder supplies the required documents and certifications in a timely manner, the contract time may begin to run 10 calendar days from the date of the notification. Once the City receives all of the properly drafted and executed documents and certifications from the Bidder, the City shall issue a Notice to Proceed to that Bidder.

**I. Contract Term**

The contract term shall be effective on or about July 1, 2021 through June 30, 2023 with two (2) additional options for two (2) year renewal periods, on an as-needed basis, with no guaranteed usage for On-Call Citywide Asphalt Concrete Repairs. Bid prices shall remain effective and in force for the entire first contract term. City reserves the right to exercise option year renewals in its sole discretion. Subsequent purchase order periods, if exercised by the City, are as follows:

Option 1, if exercised, shall be effective July 1, 2023 through June 30, 2025

Option 2, if exercised, shall be effective July 1, 2025 through June 30, 2027

Option year pricing shall be negotiated by the Parties prior to commencement of each additional new fiscal year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. **Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.**

**J. Acceptance of Order**

The successful bidder will be required to accept a Purchase Order and execute a written Agreement if a Form of Agreement is included in this NIB (see Section VI, Form of Agreement) in accordance with and including as a part thereof this NIB, including all requirements, conditions, and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement. The successful bidder shall be bound to accept all NIB requirements and terms and conditions of the Form of Agreement.

**K. City of Corona Business License**

The successful contractor and any subcontractors are required to obtain a City of Corona Business License prior to contract award and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a bid. Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City’s website:

**L. Force Majeure**

If execution of this contract shall be delayed or suspended and if such failure arises out of causes beyond the control of and without fault or negligence of the successful Bidder, the successful Bidder shall notify the City, in writing, within twenty-four (24) hours, after the delay. Such causes may include but are not limited to acts of God, war, acts of a public enemy, acts of any governmental entity in its sovereign or contractual capacity, fires, floods, epidemics, strikes and unusually severe weather.

**M. Insurance Requirements**

Within ten (10) consecutive calendar days after the notice of award, the successful bidder to whom a contract is awarded shall furnish the City, through its third-party insurance partner, Exigis, with certificates of insurance and endorsements evidencing coverage as specified in Section VI, Form of Agreement, Section 3.2.10 Insurance, et seq. and naming the City of Corona, its directors, officials, employees, volunteers and agents as additional insureds by written endorsement. Failure to do so may, in the sole discretion of the City, result in the forfeiture of the Contract Award.

Bidders are encouraged to have their insurance provider(s) review the insurance requirements, pursuant to Section VI. Form of Agreement, subsection 3.2.10 Insurance, et seq prior to bid submission to ensure the minimum coverage limits, endorsements and other requirements can be met.

Bidders shall review, complete and sign the Acknowledgment of Insurance Requirements Check Sheet included in Section IV. and return with their bid. Any exceptions or deviations to the City's insurance requirements must be submitted to the City during the Questions and Answers period.

**N. Laws Governing Contract**

This contract shall be in accordance with the laws of the state of California. The parties stipulate that this contract was entered into in the county of Riverside, in state of California. The parties further stipulate that the county of Riverside, California, is the only appropriate forum for any litigation resulting from a breach hereof or any questions risen here from.

**O. Primary Bidder**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one bid unless in a sub-contractual relationship with respect to the bid. A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a bid to the City as a primary Bidder.

**P. Prevailing Wage**

Refer to Section VI, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.

**Q. SB854 Notice Requirements**

**This contract is subject to compliance monitoring and enforcement by the Department of Industrial Relations.**

Pursuant to SB 854, which amended the Prevailing Wage Laws, this Contract is subject to compliance monitoring and enforcement by the DIR. Beginning March 1, 2015, with very limited exceptions no contractor or subcontractor may be listed on a bid proposal for this Contract unless registered with the DIR pursuant to Labor Code section 1725.5. Beginning April 1, 2015, no contractor or subcontractor may be awarded this Contract unless registered with the DIR pursuant to Labor Code section 1725.5.

**The DIR registration number for each contractor and subcontractor must be identified on the bid proposal** - failure to identify this number could result in Bidder's bid being rejected as non-responsive. It is each contractor's responsibility to ensure that they have fully complied with SB 854. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws

**R. Apprenticeable Crafts:**

If the work is being performed as part of an applicable "public works" or "maintenance" project as defined by the Prevailing Wage Laws, Bidder shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Bidder employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Bidder.

Within 10 days of award or no later than receipt of the Notice to Proceed, Bidder shall submit a copy of the completed Division of Apprenticeship Standards Public Works Contract Award – DAS 140 form to the City. Bidder shall submit copies of completed Division of Apprenticeship Standards Requests for Dispatch of an Apprentice – DAS 142 forms with the progress payment request immediately following submission to the appropriate Apprenticeship Committee in the craft or trade of the public work.

**T. Payment (Labor and Materials Bond) and Performance Bond Requirements**

Within ten (10) consecutive calendar days after the notice of award, the bidder to whom a contract is awarded shall deliver to the City a Payment (Labor and Materials) Bond and a Performance Bond in the form supplied by the City and included in the NIB documents. The surety supplying the bond must be an admitted surety insurer, as defined in Code of Civil Procedure Section 995.120, authorized to do business in the State of California and satisfactory to the City. The Payment (Labor and Materials) Bond and the Performance Bond shall be for one hundred percent (100%) of the Total Bid Price. The City does not require original, embossed corporate seals on any bonds. However, the City reserves the right at any time to demand an original bond with an embossed corporate seal, and contractor shall supply such bond within seven (7) calendar days of any such request.



**U. Safety Requirements/Violations**

Safety at the Project site during performance of the work is of paramount concern to the City. Accordingly, bidders must not have committed any serious violations within the last two (2) years or any willful violations within the last five (5) years of federal or state OSHA regulations. Bidders must identify the number of OSHA violations on the INDUSTRIAL SAFETY RECORD form. Any serious or willful violation may render a bid as non-responsive. We strongly encourage full disclosure since failure to identify all violations on the INDUSTRIAL SAFETY RECORD form may result in rejection of the bid as non-responsive or the bidder as non-responsible following a hearing. A citation properly appealed through OSHA is not considered to be a violation until the matter is closed and considered final by OSHA. The City still expects this information to be disclosed by the bidder, with an explanation and documentation showing that the matter is properly under appeal with OSHA and not considered closed or final. Failure to be forthcoming with this information may result in rejection of the bid as non-responsive.

**Mandatory Requirements while Performing Work in the City of Corona**

- All contractor and subcontractor staff are required to wear all necessary PPE at all times when at work sites.
- Contractors shall require each of his employees to wear basic public works working attire with some identification of the employee and the Contracting Firm (hard hat, shirt or uniform). If Contractor normally issues uniforms, the Firm and employee's name shall be permanently displayed on the uniform.
- The Contractor and employees shall park vehicles and equipment to comply with all safety standards per the state and federal OSHA and Wastewater requirements – BMP's (for parked equipment).

**V. Local Bidder Preference Program**

This bid shall be subject to the City of Corona local bidder preference program. To qualify, bidders must be a "local business" with: (i) fixed facilities with one or more employees, which may include a sole proprietor, located at an address within City limits (a post office box alone is insufficient); and (ii) an appropriate City business license/permit. Bidders seeking to qualify for this local program shall provide supporting information and certify in writing that they meet the above requirements as part of the bid submittal.

A qualifying local business shall be entitled to a reduction of five percent (5%) in the tabulation of its bid for purposes of determining the lowest responsible bidder, unless otherwise prohibited by law.

The Local Program shall be applicable to only purchases of materials, supplies, and equipment as well as contracts for maintenance work and other general services projects, which are competitively bid and which involve an expenditure of two-hundred thousand dollars (\$200,000) or less. For recurring purchases, the Local Program shall be applicable only to the City's first two-hundred thousand dollars (\$200,000) worth of such purchases for any fiscal year, as determined by city staff in its sole discretion.

The Local Program shall also establish a preference for the purchase of materials, supplies, and equipment, as well as contracts for maintenance work and other general services, which are competitively bid and which involve an expenditure of more than two-hundred thousand dollars (\$200,000). Such preference shall allow the City to take into consideration the net sales tax to be returned to the City as a result of an award to a qualifying Local Business in determining the lowest responsive and responsible bidder. The net sales tax shall be calculated based on the applicable bid price provided by the bidder in accordance with the City's purchasing policy.

**W. Vendor Performance**

It is the intent of the City to create a long-term working partnership with the supplier. The City's representative will complete a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form is included in Section IV and will be the basis for periodic assessments by the City to establish contract performance metrics.

**X.**

**Y. Special Provisions for Services**

1. Accessibility. Contractor shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. Contractor shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City as provided by law in this contract, the City shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the contractor hereunder.
3. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. Contractor shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to Contractor for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
4. Clean-up. During performance and upon completion of work on this project, Contractor will remove all unused equipment and instruments of service, all excess or unsuitable material, trash, rubbish and debris, and legally dispose of same, unless otherwise directed by these specifications. Contractor shall leave entire area in a neat, clean and acceptable condition as approved by the City.
5. Compliance With OSHA. Contractor agrees that all item(s) offered comply with all applicable Federal and the State Occupational Safety and Health Act, laws, standards and regulations, and that Contractor will indemnify and hold the City harmless for any failure to so conform.

6. Contract Incorporation. This contract embodies the entire contract between the City and the successful Bidder. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the NIB, all addenda, Bidder's bid, supplemental agreements, change orders, labor and materials bond, payment and performance bond, and any and all written agreements which alter, amend or extend the contract.
7. Cooperation Between Contractors. The City reserves the right to contract for and perform other or additional work on or near the work covered by these specifications. When separate contracts are let within the limits of any one project, each contractor shall conduct his work so as not to interfere with or hinder the progress or completion of the work being performed by other contractors. Contractors working on the same project shall cooperate with each other as directed. Each contractor involved shall assume all liability, financial or otherwise, in connection with his contract and shall protect and save harmless the City from any and all damages or claims that may arise because of inconvenience, delays, or loss experienced by him because of the presence and operations of other contractors working within the limits of the same project.
8. Coordination With Agencies. Contractor shall coordinate his activities with the proper regulatory agencies and have their representative on site at the proper times.
9. Damage. Contractor shall be held responsible for any breakage, loss of the City's equipment or supplies through Contractor's or his employees' negligence while working on City's premises. Contractor shall be responsible for restoring or replacing any equipment, facilities, etc., so damaged. Contractor shall immediately report to the City any damages to the premises resulting from services performed under this contract. Failure or refusal to restore or replace such damaged property will be a breach of this contract.
10. Examination of Specifications and Site. Contractor is expected to carefully examine the site of the proposed work and all NIB specifications, drawings, documents, and forms. Contractor shall satisfy himself as to the character, quality, and quantities of work to be performed, materials to be furnished and the requirements of the technical specifications.
11. Independent Contractor. In accepting this contract, Contractor covenants that it presently has no interest, and shall not acquire any interest, direct or indirect, financial or otherwise, which would conflict in any manner or degree with the performance of the services hereunder. Contractor further covenants that, in the performance of this contract, no subcontractor or person having such an interest shall be employed. Contractor certifies that to the best of his knowledge, no one who has or will have any financial interest under this contract is an officer or employee of City. It is expressly agreed by Contractor that in the performance of the services required under this

contract, Contractor, and any of its subcontractors or employees, shall at times be considered independent contractors and not agents of City.

12. Measurements. It is the responsibility of the Contractor to make all measurements to determine his bid price. The City will not be responsible for determining the quantities of materials necessary to complete the work specified.

13. Permits. Unless otherwise specified herein, Contractor shall at his expense, obtain all permits and licenses and pay all charges and fees necessary for the performance of the contract, and shall give all public notices necessary for the lawful performance of the contract.

Contractor shall pay all taxes, levies, duties and assessments of every nature due in connection with any work under the contract, shall make any and all payroll deductions required by law, and shall indemnify and hold harmless the City from any liability on account of any and all such taxes, levies, duties, assessments and deductions.

14. Protection of Public. Adequate warning devices, barricades, guards, flagmen or other necessary precautions shall be taken by Contractor to give advised and reasonable protection, safety and warning to persons and vehicular traffic concerned in the area.

15. Rejection of Work. Contractor agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.

16. Subcontractors.

a. Contractor agrees to bind every subcontractor to the terms of the Contract Documents as far as such terms are applicable to subcontractor's portion of the Work. Contractor shall be as fully responsible to the City for the acts and omissions of its subcontractors and of persons either directly or indirectly employed by its subcontractors, as Contractor is for acts and omissions of persons directly employed by Contractor. Nothing contained in these Contract Documents shall create any contractual relationship between any subcontractor and the City.

b. City reserves the right to approve all subcontractors. City's approval of any subcontractor under this Contract shall not in any way relieve Contractor of its obligations in the Contract Documents.

c. Prior to substituting any subcontractor listed in the Bid Forms, Contractor must comply with the requirements of the Subletting and Subcontracting Fair Practices Act pursuant to California Public Contract Code section 4100 et seq.

17. Unknown Obstructions. Should any unknown obstruction be encountered during the course of this contract, Contractor immediately bring it to the attention of the City.

Contractor shall take adequate precautions to protect existing sidewalks, curbs, pavement, inlet/outlet piping, overflow/bypass structures, fencing, access roads, utilities and other adjoining property and structures, etc., and avoid damage thereto.

Contractor shall immediately replace or repair any damage caused by the Work operations.

Contractor shall take care to prevent disturbing or covering any survey markers, monuments or other devices marking property boundaries or corners. If such markers are disturbed by accident, they shall be replaced by an approved civil engineer or land surveyor, at no cost to the City.

### SECTION III.

#### SCOPE OF WORK

##### A. PROJECT DESCRIPTION AND GENERAL INFORMATION

###### 1. **Background**

The City Staff strives to provide the Residents of Corona with a well-maintained City asphalt street and parking lot improvements through dependable service and quality workmanship to the repair of these structures. Therefore, the City's Department of Water and Power/Maintenance Services is required to maintain and repair the City's asphaltic structures such as: roadways and parking lots. There are approximately 384 miles of street pavement.

- The City spends from \$500,000 to \$700,000 annually for asphalt repairs.

###### 2. **Goal/Purpose**

The purpose of this solicitation is to award an "As Needed" agreement with one or multiple contractors for the repairs of the asphalt infrastructure within the City Limits.

The Maintenance Services Division and the Department of Water and Power are responsible for completing or overseeing the minor repairs and/or maintenance of the City's asphalt right of ways structures/improvements.

This solicitation is for minor repairs and/or maintenance ONLY. ALL major rehabilitation or construction of asphalt structures and improvements are not included in the Scope of Work associated with this solicitation.

The Contractor shall be responsible to provide all deliverables described herein in strict accordance with the terms, covenants and conditions of the Contract and all applicable Federal, State and local laws, codes, rules and regulations. **Permissible work hours within the City of Corona are: 7 a.m. to 5 p.m., Monday through Thursday excluding City observed holidays.** Any deviations to these hours shall be preapproved by the Project Manager.

###### 3. **Required Response Times for Asphalt Concrete Maintenance Services**

The Contractor is required to respond and evaluate any **emergency asphalt concrete repairs** within 4 hours and begin repairs within one (1) City working days; following notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor's arrival at the repair location.

The Contractor is required to respond to **routine asphalt repairs** within one (1) City working day and begin repairs within five (5) City working days; email notification from the City Project Manager. The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

## **B. TECHNICAL SPECIFICATIONS/SCOPE OF WORK**

Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including sawcutting) and disposal of existing AC improvements and reconstruction/replacement per City of Corona Standard Plan 150. Crack seal, manhole adjustment, striping and pavement markings to match existing shall be on a case by case basis.

1. Areas may be marked in advance by City Staff for saw cut, removal and disposal of existing pavement surface. Repair shall be made per City of Corona Standard Plan 150. If an area is not marked, the Contractor shall remove an additional foot from the outside edges of the area to be repaired in a square or rectangular shape.

2. Materials:

Per City of Corona Standard Plan 150.

3. Construction Methods:

a. The finish surface of the asphalt concrete on the traffic lanes shall match the adjoining surface tolerances.

b. Large Size Repairs:

- 1) Joints shall be feathered and rolled if needed.
- 2) Fog seal maybe required to coat surface of large patches.

## **SECTION IV**

### **BID CONTENT AND FORMS**

#### **A. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a bid, Bidder warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this NIB are currently held by bidder and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification shall be included in bidder's response. **Bids lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

#### **B. BID / PRICE FORMS**

Bidder shall complete the Bid / Price Form in its entirety including a binding signature and upload into the PlanetBids electronic bidding system. Bidders shall also enter their unit pricing on the Line Items tab in the PlanetBids electronic bidding system. (See Bid Schedule)

Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the required services or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

All prices shall be quoted F.O.B. destination, Corona, California. All shipping, handling and freight charges, if applicable, must be included in bidder's bid amount.

#### **C. MODIFICATIONS OF BIDS**

Each Bidder shall submit its Bid in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Bid may render it non-responsive and may cause its rejection. Bidders shall neither delete, modify, nor supplement the printed matter on the Bid Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered, unless the Notice Inviting Bids authorizes the submission of electronic bids and modifications thereto and such modifications are made in accordance with the Notice Inviting Bids.



PARTY SUBMITTING BID: \_\_\_\_\_

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY BIDDER AND SUBMITTED WITH BID)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [bidder], the party making the foregoing bid.

The bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The bid is genuine and not collusive or a sham. The bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid. The bidder has not directly or indirectly colluded, conspired, plotted, or agreed with any bidder or anyone else to put in a sham bid, or to refrain from bidding. The bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder. All statements contained in the bid are true. The bidder has not, directly or indirectly, submitted his or her bid price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, proposal depository, or to any member or agent thereof to effectuate a collusive or sham bid, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a bidder that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the bidder.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_  
[date], at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Bid

**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA MAINTENANCE/GENERAL SERVICES AGREEMENT**

This is to acknowledge that we have read the City of Corona Maintenance/General Services Agreement (Agreement) and will sign the Agreement, as presented, without exception, for the City's NIB 21-076RH.

---

(Bidder Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

## ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

(To be Completed and Submitted with Bid)

All applicable insurance requirements to this NIB are identified with a 'YES' under the "Applicable to Vendor" column on the NIB Insurance Requirements Check List.

Bidder acknowledges that we have reviewed the City of Corona Insurance Requirements Check List for NIB 21-076 and understand that we will be able to provide the insurance coverage required. A sample certificate of insurance is enclosed for the City's preliminary review. Any deductibles or self-insured retention amounts have been specified below for City's review and approval.

Deductible Amounts/Self-insured Retentions:

---

---

---

---

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

**CITY OF CORONA**  
**NIB 21-076RH INSURANCE REQUIREMENTS CHECK LIST**  
**(To be Completed and Submitted with Bid)**

All applicable insurance requirements are identified with a ‘YES’ under the “Applicable to Vendor” column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Automobile Liability - \$1M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			Not Applicable
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

**Insurance Endorsements**  
**General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any **"NO"** responses.

---

---

---

---

---

---

---

---

---

---

\*\*\*Indicate not applicable ("N/A") where appropriate\*\*\*

- NIB 21-076RH  
On-Call Citywide Asphalt Repairs

7. If an individual or a partnership, answer the following:
- 7.1 Date of Organization: \_\_\_\_\_
- 7.2 Name and address of all partners (state whether general or limited partnership):
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
8. If other than a corporation or partnership, describe organization and name principals:
- \_\_\_\_\_
- \_\_\_\_\_
9. List other states in which Bidder's organization is legally qualified to do business.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
10. What type of work does the Bidder normally perform with its own forces?
- \_\_\_\_\_
- \_\_\_\_\_
11. Has Bidder ever failed to complete any work awarded to it? If so, note when, where, and why:
- \_\_\_\_\_
- \_\_\_\_\_
12. Has Bidder entered into a settlement agreement involving a public works project of more than \$100,000 within the last two years with any City or public agency? If so, note when, where, and why. *This information may be the basis for rejecting the bid as nonresponsive or the Bidder as nonresponsible following a hearing.*

13. Within the last five years, has any officer or partner of Bidder's organization ever been an officer or partner of another organization when it failed to complete a contract? If so, attach a separate sheet of explanation:

---

---

---

---

12. Have you been or are you on any federal list of debarred or suspended bidders? If yes, state the beginning and ending dates of the period of disbarment.

---

---

13. List Trade References:

---

---

---

---

14. List Bank References (Bank and Branch Address):

---

---

---

---

15. Name of Bonding Company and Name and Address of Agent:

---

---

---



Bidder is required to state any and all instances of being disqualified, removed, or otherwise prevented from submitting a bid, or completing any contracts for similar services as detailed in NIB 21-076RH.

2. If yes, explain the circumstances:

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and extend across the width of the page. There are no margins, text, or other markings on the paper.

(Signature/Date)

## DESIGNATION OF SUBCONTRACTORS

In compliance with the Subletting and Subcontracting Fair Practices Act of the Public Contract Code of the State of California (PCC section 4100 et seq.), each bidder shall set forth below: (a) the name and the location of the place of business (b) the license number and the DIR registration number, and (c) the portion of the Work which will be done by each subcontractor who will perform work or labor or render service to the Contractor in or about the construction of the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price. Notwithstanding the foregoing, if the Work involves streets and highways, then the Contractor shall list each subcontractor who will perform work or labor or render service to Contractor in or about the Work in an amount in excess of one-half of one percent (1/2%) of the Contractor's Total Bid Price or \$10,000, whichever is greater. No additional time shall be granted to provide the below requested information.

If Contractor is fully qualified to perform a portion of the Work listed below and will perform such Work, Contractor shall circle "yes" under the "will you be self-performing" column below. Otherwise, if no subcontractor is specified for a portion of the Work or if more than one subcontractor is specified for the same portion of Work, and if that portion of Work is in excess of the amounts described in the paragraph above, then the Contractor shall be deemed to have agreed that it is fully qualified to perform that portion of Work and that it shall perform that portion itself.

If the "PCC 3400(c)" column states "yes" below, then please take note that a portion of the Work described is impacted by findings made by the City that a particular material, product, thing or service must be used and has been designated by a specific brand or trade name.<sup>1</sup> In such cases, there may be only one subcontractor qualified or authorized to perform a portion of the Work described, so please take note and ensure that you list the proper subcontractor.

Description of Work	PCC 3400(c) Apply?	Will you be Self-Performing? (Please circle)	If no, list Subcontractor	Location, License Number & DIR Registration Number of Subcontractor	Portion of Work by Subcontractor
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			
		Yes or No			

<b>Description of Work</b>	<b>PCC 3400(c) Apply?</b>	<b>Will you be Self- Performing? (Please circle)</b>	<b>If no, list Subcontractor</b>	<b>Location, License Number &amp; DIR Registration Number of Subcontractor</b>	<b>Portion of Work by Subcontractor</b>
		Yes or No			
		Yes or No			
		Yes or No			

Name of Bidder \_\_\_\_\_

Signature \_\_\_\_\_

Name and Title \_\_\_\_\_

Dated \_\_\_\_\_

## INDUSTRIAL SAFETY RECORD

(To be Completed and Submitted with Bid)

Number of Serious OSHA Violations within the last two (2) years or any Willful violations within the last five (5) years (must state zero if none):

\_\_\_ Serious    \_\_\_ Willful    \_\_\_ Repeat    \_\_\_ Other    \_\_\_ Unclass    \_\_\_\_\_ Total

\_\_\_\_\_  
Firm Name (Print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name and Title (Print)

\_\_\_\_\_  
Date

## Vendor Performance Evaluation Form

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P. O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
Weekly <input type="radio"/>	Monthly <input type="radio"/>	Quarterly <input type="radio"/>	Annually <input type="radio"/>	Other <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning. <input style="float: right;" type="radio"/>			Professional Service - unique, technical, and/or infrequent functions performed by an independent consultant/vendor qualified by education, experience, and/or technical ability to provide services. <input style="float: right;" type="radio"/>	
Products - a supplier of a tangible object that is manufactured or refined for sale. <input style="float: right;" type="radio"/>			Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <input style="float: right;" type="radio"/>	
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> <li>6. <i>Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.</i></li> </ol>				

7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

OVERALL EVALUATION SCORE

4. 89

OVERALL EVALUATION RATING

EXCELLENT

## ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)



**CONTRACTOR'S CERTIFICATE REGARDING  
WORKERS' COMPENSATION**

I am aware of the provisions of Section 3700 of the Labor Code which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and I will comply with such provisions before commencing the performance of the work of this contract.

Name of Bidder \_\_\_\_\_

Signature \_\_\_\_\_

Name \_\_\_\_\_

Title \_\_\_\_\_

Date: \_\_\_\_\_

**EXPERIENCE STATEMENT**  
**To Be Completed and Submitted with Bid**

**List at least (5) municipal or other public utility/entity references for work of a similar nature performed by Bidder within the last (3) years.**

**Customer #1 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #2 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #3 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #4 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #5 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

Bidder's Name \_\_\_\_\_

Signature \_\_\_\_\_

Print Name and Title \_\_\_\_\_

# INSERT PAYMENT & PERFORMANCE BOND FORMS

## CITY OF CORONA

### PAYMENT BOND (LABOR AND MATERIALS)

KNOW ALL MEN BY THESE PRESENTS That

WHEREAS, the City of Corona (hereinafter designated as the "City"), by action taken or a resolution passed \_\_\_\_\_, 20\_\_\_\_ has awarded to \_\_\_\_\_ hereinafter designated as the "Principal," a contract for the work described as follows: \_\_\_\_\_ (the "Project"); and

WHEREAS, the work to be performed by the Principal is more particularly set forth in the Contract Documents for the Project dated \_\_\_\_\_, (hereinafter referred to as "Contract Documents"), the terms and conditions of which are expressly incorporated herein by reference; and

WHEREAS, said Principal is required to furnish a bond in connection with said Contract Documents; providing that if said Principal or any of its Subcontractors shall fail to pay for any materials, provisions, provender, equipment, or other supplies used in, upon, for or about the performance of the work contracted to be done, or for any work or labor done thereon of any kind, or for amounts due under the Unemployment Insurance Code or for any amounts required to be deducted, withheld, and paid over to the Employment Development Department from the wages of employees of said Principal and its Subcontractors with respect to such work or labor, the Surety on this bond will pay for the same to the extent hereinafter set forth.

NOW THEREFORE, we, the Principal and \_\_\_\_\_ as Surety, are held and firmly bound unto the City in the penal sum of \_\_\_\_\_ DOLLARS and \_\_\_\_\_ CENTS (\$ \_\_\_\_\_) lawful money of the United States of America, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH that if said Principal, his or its subcontractors, heirs, executors, administrators, successors or assigns, shall fail to pay any of the persons named in Section 9100 of the Civil Code, fail to pay for any materials, provisions or other supplies, used in, upon, for or about the performance of the work contracted to be done, or for any work or labor thereon of any kind, or amounts due under the Unemployment Insurance Code with respect to work or labor performed under the Contract Documents, or for any amounts required to be deducted, withheld, and paid over to the Employment Development Department or Franchise Tax Board from the wages of employees of the contractor and his subcontractors pursuant to Section 18663 of the Revenue and Taxation Code, with respect to such work and labor the Surety or Sureties will pay for the same, in an amount not exceeding the sum herein above specified, and also, in case suit is brought upon this bond, all litigation expenses incurred by the City in such suit, including reasonable attorneys' fees, court costs, expert witness fees and investigation expenses.

This bond shall inure to the benefit of any of the persons named in Section 9100 of the Civil Code so as to give a right of action to such persons or their assigns in any suit brought upon this bond.

It is further stipulated and agreed that the Surety on this bond shall not be exonerated or released from the obligation of this bond by any change, extension of time for performance, addition, alteration or modification in, to, or of any contract (including the Contract Documents), plans, specifications, or agreement pertaining or relating to any scheme or work of improvement herein above described, or pertaining or relating to the furnishing of labor, materials, or equipment therefore, nor by any change or modification of any terms of payment or extension of the time for any payment pertaining or relating to any scheme or work of improvement herein above described, nor by any rescission or attempted rescission or attempted rescission of the Contract Documents, agreement or bond, nor by any conditions

precedent or subsequent in the bond attempting to limit the right of recovery of claimants otherwise entitled to recover under any such contract or agreement or under the bond, nor by any fraud practiced by any person other than the claimant seeking to recover on the bond and that this bond be construed most strongly against the Surety and in favor of all persons for whose benefit such bond is given, and under no circumstances shall Surety be released from liability to those for whose benefit such bond has been given, by reason of any breach of contract between the owner or City and original contractor or on the part of any obligee named in such bond, but the sole conditions of recovery shall be that claimant is a person described in Section 9100 of the Civil Code, and has not been paid the full amount of his claim and that Surety does hereby waive notice of any such change, extension of time, addition, alteration or modification herein mentioned.

Notwithstanding any other provision of this bond, it is expressly understood, acknowledged and agreed that it shall provide all of the protections required by California Civil Code Sections 9550 through 9566, including the specific coverage protections required by Section 9554.

As-Needed or On-Call Services. Since the Contract Documents involve “as-needed” or “on-call” services, each individual call-out or project work order under the Contract Documents is a separate project for purposes of the City’s bidding and purchasing requirements. In addition, the term of such Contract Documents are based upon the expiration of a date certain and not upon the completion of the Project or any individual project work order. Thus, the Contractor may wish to change sureties or its bond during the term of the Contract Documents, including at the natural expiration of the initial term or any renewal term. Therefore, regardless of any term or timeframe limitation specified above, the obligations of this bond shall include any and all work authorized in accordance with the Contract Documents during any such period this bond was in place, regardless of when the initial term or any renewal term of the Contract Documents expires or is terminated, and regardless of when the Project or any individual project work order is completed. Nothing herein shall be construed to otherwise limit the guarantees and rights of this obligation, including those which may extend beyond when the initial term or any renewal term of the Contract Documents expires or is terminated, or beyond when the Project or any individual project work order is completed. Furthermore, the execution of separate and/or additional bond(s) during the initial term or any renewal term shall not extinguish, exonerate, or terminate the guarantees and obligations as set forth in this bond. Finally, when describing in the preceding paragraph the stipulation and agreement that the Surety on this bond shall not be exonerated or released from the obligation of this bond by any change, extension of time for performance, addition, alteration or modification in, to, or of any contract (including the Contract Documents), any changes or alterations to the Contract Documents shall also include an increase in the compensation for a project work order.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK  
SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR  
CITY OF CORONA  
PAYMENT BOND**

IN WITNESS WHEREOF, two (2) identical counterparts of this instrument, each of which shall for all purposes be deemed unoriginal thereof, have been duly executed by the Principal and Surety above named, on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

**CONTRACTOR/PRINCIPAL**

(Corporate Seal of Contractor/  
Principal, if a Corporation)

\_\_\_\_\_  
Name of Contractor/Principal (Type or Print)

By: \_\_\_\_\_  
Name (Signature)

\_\_\_\_\_  
Name (Type or Print)

\_\_\_\_\_  
Title (Type or Print)

**SURETY**

(Seal of Surety)

\_\_\_\_\_  
Name of Surety (Type or Print)

By: \_\_\_\_\_  
Attorney-In-Fact

## ACKNOWLEDGMENT

State of California

County of \_\_\_\_\_ )

On \_\_\_\_\_ before me,  
(insert name and title of the officer)

personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)



NOTE: A copy of the Power-of-Attorney to local representatives of the bonding company must be attached hereto.

**CITY OF CORONA**  
**PERFORMANCE BOND**

KNOW ALL PERSONS BY THESE PRESENTS:

THAT WHEREAS, the City of Corona (hereinafter referred to as "City") has awarded to \_\_\_\_\_, (hereinafter referred to as the "Contractor") an agreement for \_\_\_\_\_ (hereinafter referred to as the "Project").

WHEREAS, the work to be performed by the Contractor is more particularly set forth in the Contract Documents for the Project dated \_\_\_\_\_, (hereinafter referred to as "Contract Documents"), the terms and conditions of which are expressly incorporated herein by reference; and

WHEREAS, the Contractor is required by said Contract Documents to perform the terms thereof and to furnish a bond for the faithful performance of said Contract Documents.

NOW, THEREFORE, we, \_\_\_\_\_, the undersigned Contractor and \_\_\_\_\_ as Surety, a corporation organized and duly authorized to transact business under the laws of the State of California, are held and firmly bound unto the City in the sum of \_\_\_\_\_ DOLLARS and \_\_\_\_\_ CENTS (\$ \_\_\_\_\_), said sum being not less than one hundred percent (100%) of the total amount of the Contract, for which amount well and truly to be made, we bind ourselves, our heirs, executors and administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, that, if the Contractor, his or its heirs, executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions and agreements in the Contract Documents and any alteration thereof made as therein provided, on its part, to be kept and performed at the time and in the manner therein specified, and in all respects according to their intent and meaning; and shall faithfully fulfill all obligations including, if provided as part of the Contract Documents, the one-year guarantee of all materials and workmanship; and shall indemnify and save harmless the City, its officers and agents, as stipulated in said Contract Documents, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

As a condition precedent to the satisfactory completion of the Contract Documents, unless otherwise provided for in the Contract Documents, the guarantee obligation shall hold good for a period of one (1) year after the acceptance of the work by City, during which time if Contractor shall fail to make full, complete, and satisfactory repair and replacements and totally protect the City from loss or damage resulting from or caused by defective materials or faulty workmanship, the obligations of Surety hereunder shall continue so long as any obligation of Contractor remains. Nothing herein shall limit the City's rights or the Contractor or Surety's obligations under the Contract Documents, law or equity, including, but not limited to, California Code of Civil Procedure section 337.15.

As a part of the obligation secured hereby and in addition to the face amount specified therefor, there shall be included costs and reasonable expenses and fees including reasonable attorney's fees, incurred by City in enforcing such obligation.

Whenever Contractor shall be, and is declared by the City to be, in default under the Contract Documents, the Surety shall remedy the default pursuant to the Contract Documents, or shall promptly, at the City's option:

- (1) Take over and complete the Project in accordance with all terms and conditions in the Contract Documents; or

- (2) Obtain a bid or bids for completing the Project in accordance with all terms and conditions in the Contract Documents and upon determination by Surety of the lowest responsive and responsible bidder, arrange for a contract between such bidder, the Surety and the City, and make available as work progresses sufficient funds to pay the cost of completion of the Project, less the balance of the contract price, including other costs and damages for which Surety may be liable. The term “balance of the contract price” as used in this paragraph shall mean the total amount payable to Contractor by the City under the Contract Documents and any modification thereto, less any amount previously paid by the City to the Contractor and any other set offs pursuant to the Contract Documents.
- (3) Permit the City to complete the Project in any manner consistent with California law and make available as work progresses sufficient funds to pay the cost of completion of the Project, less the balance of the contract price, including other costs and damages for which Surety may be liable. The term “balance of the contract price” as used in this paragraph shall mean the total amount payable to Contractor by the City under the Contract Documents and any modification thereto, less any amount previously paid by the City to the Contractor and any other set offs pursuant to the Contract Documents.

Surety expressly agrees that the City may reject any contractor or subcontractor which may be proposed by Surety in fulfillment of its obligations in the event of default by the Contractor.

Surety shall not utilize Contractor in completing the Project nor shall Surety accept a bid from Contractor for completion of the Project if the City, when declaring the Contractor in default, notifies Surety of the City’s objection to Contractor’s further participation in the completion of the Project.

The Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the Contract Documents or to the Project to be performed thereunder shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract Documents or to the Project and the provisions of Section 2819 and 2845 of the California Civil Code. Without limiting the foregoing, such changes, extensions of time and alterations or additions shall include, but are not limited to, changes or alterations to the Contract Documents (including, without limitation, an increase in the total dollar amount of the Contract Documents), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor.

As-Needed or On-Call Services. Since the Contract Documents involve “as-needed” or “on-call” services, each individual call-out or project work order under the Contract Documents is a separate project for purposes of the City’s bidding and purchasing requirements. In addition, the term of such Contract Documents are based upon the expiration of a date certain and not upon the completion of the Project or any individual project work order. Thus, the Contractor may wish to change sureties or its bond during the term of the Contract Documents, including at the natural expiration of the initial term or any renewal term. Therefore, regardless of any term or timeframe limitation specified above, the obligations of this bond shall include any and all work authorized in accordance with the Contract Documents during any such period this bond was in place, regardless of when the initial term or any renewal term of the Contract Documents expires or is terminated, and regardless of when the Project or any individual project work order is completed. Nothing herein shall be construed to otherwise limit the guarantees and rights of this obligation, including those which may extend beyond when the initial term or any renewal term of the Contract Documents expires or is terminated, or beyond when the Project or any individual project work order is completed. Furthermore, the execution of separate and/or additional bond(s) during the initial term or any renewal term shall not extinguish, exonerate, or terminate the guarantees and obligations as set forth in this bond. Finally, when describing in the preceding paragraph the waiver of notice and the provisions of California Civil Code Sections 2819 and 2845, any changes or alterations to the Contract Documents shall also include an increase in the compensation for a project work order.

**[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK**

**SIGNATURES ON FOLLOWING PAGE]**

**SIGNATURE PAGE FOR  
CITY OF CORONA  
PERFORMANCE BOND**

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**CONTRACTOR/PRINCIPAL**

(Corporate Seal of Contractor/  
Principal, if a Corporation)

\_\_\_\_\_  
Name of Contractor/Principal (Type or Print)

By: \_\_\_\_\_

\_\_\_\_\_  
Name (Signature)

\_\_\_\_\_  
Name (Type or Print)

\_\_\_\_\_  
Title (Type or Print)

**SURETY**

(Seal of Surety)

\_\_\_\_\_  
Name of Surety (Type or Print)

By: \_\_\_\_\_

\_\_\_\_\_  
Attorney-In-Fact

The rate of premium on this bond is \_\_\_\_\_ per thousand. The total amount of premium charges,  
\$ \_\_\_\_\_.

(The above must be filled in by corporate attorney.)

**THIS IS A REQUIRED FORM**

Any claims under this bond may be addressed to:

(Name and Address of Surety) \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(Name and Address of Agent or  
Representative for service of  
process in California, if different  
from above)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(Telephone number of Surety and  
Agent or Representative for service  
of process in California)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## ACKNOWLEDGMENT

State of California

County of \_\_\_\_\_ )

On \_\_\_\_\_ before me,  
(insert name and title of the officer)

personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

NOTE: A copy of the Power-of-Attorney to local representatives of the bonding company must be attached hereto.

**SECTION V.**  
**BID FORM**

BIDDER: \_\_\_\_\_

The undersigned, hereby declares that we have carefully examined the location of the proposed Work, and have read and examined the Contract Documents, including all plans, specifications, and all addenda, if any, for the following Project:

**NIB 21-076RH**

**ON-CALL CITYWIDE ASPHALT REPAIRS**

The undersigned agrees that this Bid Form constitutes a firm offer to the City which cannot be withdrawn for the number of calendar days indicated in the Instructions to Bidders or until a Contract for the Work is fully executed by the City and a third party, whichever is earlier.

Bidder certifies that it is licensed in accordance with the law providing for the registration of Contractors, License No. \_\_\_\_\_, Expiration Date \_\_\_\_\_, class of license \_\_\_\_\_. DIR Registration No. \_\_\_\_\_. If the bidder is a joint venture, each member of the joint venture must include the above information.

The undersigned acknowledges receipt, understanding and full consideration of the following addenda to the Contract Documents.

Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____
Addenda No. _____	Dated: _____

The basis of Award of this Contract shall be on the lowest total for the Bid Schedule. In case of discrepancy between the unit price and the item cost set forth for a unit basis item, the unit price shall prevail and, shall be utilized as the basis for determining the lowest responsive, responsible bidder. However, if the amount set forth as a unit price is ambiguous, unintelligible or uncertain for any cause, or is omitted, or is the same amount as the entry in the "Item Cost" column, then the amount set forth in the "Item Cost" column for the item shall prevail and shall be divided by the estimated quantity for the item and the price thus obtained shall be the unit price.

Bidders must meet these minimum qualifications at the time of their response:

- Must identify and provide a minimum of five (5) years of experience performing similar service to multiple public agencies within a 50 mile radius of the City of Corona.  
Provide a minimum of five (5) agencies,
- Contract value of a minimum of \$100,0700 annually.

The City shall award the Contract to the responsive, responsible bidder with competitive pricing and meeting the above requirements.

No person, organization, or corporation is allowed to make, submit, or be interested in more than one Bid unless in a sub-contractual relationship with respect to the Bids.

**A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a Bid to the City as a primary bidder.**

Cash discount allowable \_\_\_\_\_ % \_\_\_\_\_ days. Unless otherwise stated, payment terms are Net Thirty (30) Days.

I hereby certify under penalty of perjury under the laws of the State of California, that all of the information submitted in connection with this Bid and all of the representations made herein are true and correct.

**Signature:** \_\_\_\_\_

**Print Name:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_



## **BID PRICING SCHEDULE**

**Contractor shall complete the Electronic Bid Schedule found in the Line Items tab within the PlanetBids electronic bidding system.** Provide firm fixed bid prices to furnish all labor, materials, supplies, equipment, tools, transportation, services, and any other incidental or additional costs to discharge all duties and obligations necessary and required to perform and complete the Project. A copy of the Bid Schedule below is provided for reference purposes only and need not be completed and returned.

The Contractor shall include all: Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including sawcutting) and disposal of existing AC improvements and reconstruction/replacement per City of Corona Standard Plan 150. Crack seal, manhole adjustment, striping and pavement markings to match existing shall be on a case by case basis. Also see, Section III, B.

Asphaltic Concrete (AC) work as described below:

Bid Item	Description	Unit of Measure	Quantity	Unit Cost
1	4" thick AC	SF	1 to 100	\$
2	4" thick AC	SF	101 to 250	\$
3	4" thick AC	SF	251 to 1000	\$
4	4" thick AC	SF	Over 1001	\$
5	5" thick AC	SF	1 to 100	\$
6	5" thick AC	SF	101 to 250	\$
7	5" thick AC	SF	251 to 1000	\$
8	5" thick AC	SF	Over 1001	\$
9	6" thick AC	SF	1 to 100	\$
10	6" thick AC	SF	101 to 250	\$
11	6" thick AC	SF	251 to 1000	\$
12	6" thick AC	SF	Over 1001	\$
Bid Item	Description	Unit of Measure	Quantity	Unit Cost
13	8" thick AC	SF	1 to 100	\$

14	8" thick AC	SF	101 to 250	\$
15	8" thick AC	SF	251 to 1000	\$
16	8" thick AC	SF	Over 1001	\$
17	2" grind and overlay with striping and pavement markings	SF	1 to 1000	\$
18	2" grind and overlay with striping and pavement markings	SF	Over 1001	\$
19	Crack Sealing	LF	To 500	\$
20	Crack Sealing	LF	501 to 1000	\$
21	Crack Sealing	LF	1001 to 5000	\$
22	Crack Sealing	LF	5001 to 10,000	\$
23	Crack Sealing	LF	Over 10,001	\$
24	Fog Sealing (if required) SS-1H or CSS-1h, rate of 0.05 to 0.10 gallon per square yard	SY	20	\$
25	Manhole adjustment to 1/4" above grade	EA	1	\$
26	Adjust utility box or can to new grade. Clean out shall be included.	EA	1	\$
27	BMP's (minimum)	LS	1	\$
28	Traffic Control (if not performed by City Staff)	LS	1	\$

**SECTION VI.**  
**FORM OF AGREEMENT**

**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**([\*\*\*INSERT TYPE OF SERVICES\*\*\*] – [\*\*\*INSERT PROJECT NAME\*\*\*])**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this [\*\*\*INSERT DAY\*\*\*] day of [\*\*\*INSERT MONTH\*\*\*], [\*\*\*INSERT YEAR\*\*\*] (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and [\*\*\*INSERT NAME\*\*\*], a [\*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\*] with its principal place of business at [\*\*\*INSERT ADDRESS\*\*\*] (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing [\*\*\*INSERT TYPE OF SERVICES\*\*\*] services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the [\*\*\*INSERT NAME OF PROJECT\*\*\*] project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that

this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s.)

### **3. TERMS.**

#### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional **\*\*\*INSERT TYPE OF SERVICES\*\*\*** maintenance or other general services necessary for the Project ("Services"). The Services are more particularly described in Exhibit "A" attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 21, 2021 to June 30, 2023 ("Term"), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a "Renewal Term"). The City has the right to extend the Term of this Agreement, in its sole discretion and under the same terms and conditions, for **\*\*\*INSERT WRITTEN AMOUNT\*\*\*** (**\*\*\*INSERT NUMERICAL AMOUNT\*\*\***) three (3) additional two (2) year periods (each a "Renewal Term"). The terms "Term" and "Renewal Term" may sometimes be generally and collectively referred to as "Term" in this Agreement.

#### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor's exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers' compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit "B" attached hereto and incorporated herein by reference, and in accordance with any other completion

schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor's conformance with the Schedule, City shall respond to Contractor's submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its subsections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.



3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 MINIMUM; per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 MINIMUM; per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 MINIMUM; per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials,



officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed **\*\*\*INSERT WRITTEN**

**DOLLAR AMOUNT\*\*\*** (\$**\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\***) (“Total Compensation”) without written approval of City’s **\*\*\*INSERT TITLE\*\*\***. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, “Extra Work” means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City’s Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations (“Prevailing Wage Laws”), which require the payment of prevailing wage rates and the performance of other requirements on “public works” and “maintenance” projects. If the Services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations (“DIR”). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor’s principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City Clerk. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the Work is being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

[\*\*\*INSERT NAME, ADDRESS & CONTACT PERSON\*\*\*]

**City:**

City of Corona  
400 South Vicentia Avenue  
Corona, CA 92882

Attn: [\*\*\*INSERT NAME & DEPARTMENT\*\*\*]

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to

the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take



any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further

agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**



**CITY’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**([\*\*\*INSERT TYPE OF SERVICES\*\*\*] – [\*\*\*INSERT PROJECT NAME\*\*\*])**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**([\*\*\*INSERT TYPE OF SERVICES\*\*\*] – [\*\*\*INSERT PROJECT NAME\*\*\*])**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF CONTRACTOR\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_  
**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

By: \_\_\_\_\_  
**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

## **EXHIBIT “A” SCOPE OF SERVICES**

The Contractor shall be responsible to furnish all: Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including sawcutting) and disposal of existing AC improvements and reconstruction/replacement per City of Corona Standard Plan 150. Crack seal, manhole adjustment, striping and pavement markings to match existing shall be on a case by case basis.

### **REQUIRED RESPONSE TIMES FOR ASPHALT MAINTENANCE SERVICES**

The Contractor is required to respond and evaluate any **emergency asphalt repairs** within 4 hours and begin repairs within one (1) City working days; following notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor’s arrival at the repair location.

The Contractor is required to respond to **routine asphalt repairs** within one (1) City working day and begin repairs within five (5) City working days; email notification from the City Project Manager. The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

**EXHIBIT “B”  
SCHEDULE OF SERVICES**

**\*\*\*INSERT SCHEDULE\*\*\***

**EXHIBIT “C”  
COMPENSATION**

**INSERT RATES & OTHER AUTHORIZED REIMBURSABLE EXPENSE**

**SEE SECTION 3.2.12 ABOVE AND INSERT CITY’S REQUIREMENT  
FOR PERFORMANCE/PAYMENT BONDS**

NIB 21-076RH

Section VII. Form of Agreement - Page 23 of 22

**On-Call Citywide Asphalt Repairs**

\*\*\*\*SAMPLE – DO NOT EXECUTE\*\*\*\*

CA\DD\02000.50102\10151745.3  
REV. 3.3.6 - PTEAM 04302019

(CITY ATTY: 07-17)



## NIB SUMMARY

### Finance Department - Purchasing Division

**DATE:** JUNE 15, 2021

**SUBJECT:** NIB Results

RFP No.: NIB 21-076RH

RFP Name: ON-CALL CITYWIDE ASPHALT REPAIRS

Live Bidding on Planet Bids: Date: May 19, 2021

RFP Close Date: June 9, 2021 @ 10:15 A.M.

Advertised Date: May 19, 2021

No. of Vendors solicited: 16

No. of Proposals received: 4

Rank	Company	City/State
1	A&Y Asphalt Contractors, Inc.	Norco, CA
2	S E PIPE LINE CONSTRUCTION	Santa Fe Springs, CA
3	Charles C Regan	Corona, CA
4	Hardy & Harper, Inc	Lake Forest, CA

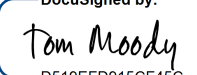
Bids have been evaluated and the summary is provided as a matter of information only. A contract award to the lowest responsive bid is tentative upon final approval of the City Council and the authorized contracting party.

The lowest responsible cost bid was submitted by: A&Y Asphalt Contractors Inc., Norco, CA

**Council Action Date:** \_\_\_\_\_

Sign below if you concur with the bid results and wish to proceed to City Council with a tentative vendor recommendation, award of a contract and purchase order to the highest-ranked bid.

Approved By: \_\_\_\_\_

DocuSigned by:  
  
 D519EFD915CF45C... 6/20/2021

DS  


Signature  
 Tom Moody

Name  
 General  
 Manager

Title

NIB 21-076RH  
 On-Call Citywide Asphalt Repairs

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH A & Y ASPHALT CONTRACTORS, INC.  
(ASPHALT REPAIR SERVICES – NIB 21-076 ON-CALL CITYWIDE ASPHALT  
REPAIRS)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 7th day of July, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and A & Y Asphalt Contractors, Inc., a California Corporation with its principal place of business at 1613 Industrial Ave., Norco, CA 92860 (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing asphalt repair services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that it is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the NIB 21-076RH On-Call Citywide Asphalt Repairs project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

**3. TERMS.**

### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional asphalt repair maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 7, 2021 to June 30, 2023 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.



3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Elaine Giese, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract,

Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or

Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all

insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers’ Compensation and Employer’s Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor’s may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A:-VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A:-X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates

set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Six Hundred Thousand Dollars (\$600,000.00) ("Total Compensation") per fiscal year without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend,



indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

A & Y Asphalt Contractors, Inc.  
1613 Industrial Ave.  
Norco, CA 92860  
Attn: Elaine Giese

**City:**

City of Corona

400 South Vicentia Avenue  
Corona, CA 92882  
Attn: Tom Moody Department of Water and Power

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH A & Y ASPHALT CONTRACTORS, INC.**  
**(ASPHALT REPAIR SERVICES – NIB 21-076 ON-CALL CITYWIDE ASPHALT**  
**REPAIRS)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Tom Moody  
General Manager

Reviewed By: \_\_\_\_\_  
Katie Hockett  
Assistant General Manager

Reviewed By: \_\_\_\_\_  
Aftab Hussain  
Maintenance Manager

Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager

Attest: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH A & Y ASPHALT CONTRACTORS, INC.**  
**(ASPHALT REPAIR SERVICES – NIB 21-076 ON-CALL CITYWIDE ASPHALT**  
**REPAIRS)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**A & Y ASPHALT CONTRACTORS, INC.**  
a California Corporation

By: \_\_\_\_\_  
Elaine Giese  
CEO/Treasurer

## EXHIBIT "A"

### SCOPE OF SERVICES

Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional asphalt repair services to public clients necessary for the Project ("Services"). The Services are more particularly described in this Exhibit "A"

The Contractor shall be responsible to provide all deliverables described herein in strict accordance with the terms, covenants and conditions of the Contract and all applicable Federal, State and local laws, codes, rules and regulations. **Permissible work hours within the City of Corona are: 7 a.m. to 5 p.m., Monday through Thursday excluding City observed holidays.** Any deviations to these hours shall be preapproved by the Project Manager.

#### **Required Response Times for Asphalt Concrete Maintenance Services**

The Contractor is required to respond and evaluate any **emergency asphalt concrete repairs** within 4 hours and begin repairs within one (1) City working days; following notification from the City Project Manager. The City will mark or identify the repair limits prior to the Contractor's arrival at the repair location.

The Contractor is required to respond to **routine asphalt repairs** within one (1) City working day and begin repairs within five (5) City working days; email notification from the City Project Manager. The routine repairs will be at various locations throughout the City with an average of fourteen (14) locations per routine repair request. The City reserves the right to increase or decrease the number of locations per routine repair request.

#### **TECHNICAL SPECIFICATIONS/SCOPE OF WORK**

Labor, materials, equipment, traffic control (unless performed by City Staff), mobilization to accomplish the removal (including sawcutting) and disposal of existing AC improvements and reconstruction/replacement per City of Corona Standard Plan 150. Crack seal, manhole adjustment, striping and pavement markings to match existing shall be on a case by case basis.

1. Areas may be marked in advance by City Staff for saw cut, removal and disposal of existing pavement surface. Repair shall be made per City of Corona Standard Plan 150. If an area is not marked, the Contractor shall remove an additional foot from the outside edges of the area to be repaired in a square or rectangular shape.

2. Materials:

Per City of Corona Standard Plan 150.

3. Construction Methods:

a. The finish surface of the asphalt concrete on the traffic lanes shall match the adjoining surface tolerances.

b. Large Size Repairs:

- 1) Joints shall be feathered and rolled if needed.
- 2) Fog seal maybe required to coat surface of large patches.



**EXHIBIT “B”  
SCHEDULE OF SERVICES**

Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms:

- 1) The first optional extension will be for the period July 1, 2023 through June 30, 2025.
- 2) The second optional extension will be from July 1, 2025 through June 30, 2027.

Option year pricing shall be negotiated by the Parties prior to commencement of each additional new fiscal year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order

## EXHIBIT "C" COMPENSATION

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this Exhibit "C" attached hereto and incorporated herein by reference.

Item Num	Description	Reference	Unit of Measure	Qty	Line Total
1	4" thick AC	1 to 100	SF	1	\$28.00
2	4" thick AC	101 to 250	SF	1	\$24.00
3	4" thick AC	251 to 1000	SF	1	\$14.00
4	4" thick AC	Over 1001	SF	1	\$8.00
5	5" thick AC	1 to 100	SF	1	\$34.00
6	5" thick AC	101 to 250	SF	1	\$29.00
7	5" thick AC	251 to 1000	SF	1	\$16.00
8	5" thick AC	Over 1001	SF	1	\$9.00
9	6" thick AC	1 to 100	SF	1	\$39.00
10	6" thick AC	101 to 250	SF	1	\$32.00
11	6" thick AC	251 to 1000	SF	1	\$18.00
12	6" thick AC	Over 1001	SF	1	\$9.50
13	8" thick AC	1 to 100	SF	1	\$49.00
14	8" thick AC	101 to 250	SF	1	\$34.00
15	8" thick AC	251 to 1000	SF	1	\$18.00
16	8" thick AC	Over 1001	SF	1	\$13.00
17	2" grind and overlay with striping and pavement markings	1 to 1000	SF	1	\$7.00
18	2" grind and overlay with striping and pavement markings	Over 1001	SF	1	\$4.00
19	Crack Sealing	To 500	LF	1	\$4.00
20	Crack Sealing	501 to 1000	LF	1	\$3.50
21	Crack Sealing	1001 to 5000	LF	1	\$1.50
22	Crack Sealing	5001 to 10,000	LF	1	\$1.00
23	Crack Sealing	Over 10,001	LF	1	\$0.90

Item Num	Description	Reference	Unit of Measure	Qty	Line Total
24	Fog Sealing (if required) SS-1H or CSS-1h, rate of 0.05 to 0.10 gallon per square yard	20	SY	20	\$100.00
25	Manhole adjustment to ¼" above grade	1	EA	1	\$450.00
26	Adjust utility box or can to new grade. Clean out shall be included.	1	EA	1	\$350.00
27	BMP's (minimum)	1	LS	1	\$0.00
28	Traffic Control (if not performed by City Staff) Per Hour	1	LS	1	\$200.00
	Subtotal				\$1,496.40
	Total				\$1,496.40

Cash discount allowable 2%, 10 days. Unless otherwise stated, payment terms are Net Thirty (30) Days.

Pursuant to Section. 3.2.12 Bonds, payment and performance bonds will be required for a value of 100% of the total compensation identified in Section 3.3.1 Rates & Total Compensation.



Staff Report

---

**File #:** 21-0678

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Department of Water and Power

**SUBJECT:**

Award contract for Potable Water and Wastewater Treatment Chemicals - Multi-Year Contract and change order for polymer for Fiscal Year 2021.

**EXECUTIVE SUMMARY:**

The City issued Notice Inviting Bids 21-082CA for Potable Water and Wastewater Treatment Chemicals following formal bidding procedures and received 24 bids from fifteen bidders. Bidders had the option to bid on any quantity of chemicals listed in the bid document. Staff recommends the City Council award Notice Inviting Bids 21-082CA to the vendors listed in Table 1 for chemicals used for potable water and wastewater treatment. The total recommended award amount is \$3,090,200. The recommended action also includes an increase for polymer for wastewater treatment for Fiscal Year 2021.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council authorize a change order in the amount of \$40,000 to Aqua Ben Corporation for required polymer for wastewater treatment for Fiscal Year 2021.
- b. City Council award Notice Inviting Bids 21-082CA for Potable Water and Wastewater Treatment Chemicals to the following vendors for an initial contract period ending June 30, 2022, with four one-year renewal periods
  - i. Olin Chlor Alkali Products of Tracy, CA, the lowest responsive, responsible bidder, for the chemical sodium hypochlorite 12.5% for \$1,750,000,
  - ii. Thatcher Company of Nevada, Inc. of Salt Lake City, UT, the lowest responsive, responsible bidder, for the chemical aluminum sulfate 43.65% (10% acidified) and

- 48.5% in the amount of \$83,000,
- iii. Airgas Specialty Products, Inc. of Lawrenceville, GA, the lowest responsive, responsible bidder, for the chemical ammonium hydroxide 19% for \$42,000,
  - iv. King Lee Technologies of San Diego, CA, the lowest responsive, responsible bidder, for the chemical corrosion and scale inhibitor (pre-treatment) for \$150,000,
  - v. Polydyne, Inc. of Riceboro, GA, the lowest responsive, responsible bidder for the chemical cationic polymer (water treatment) for \$125,000,
  - vi. Aqua Ben Corporation of Orange, CA, the lowest responsive, responsible bidder for the chemicals anionic polymer (water treatment), anionic polymer (wastewater treatment), cationic polymer (gravity belt thickeners - wastewater treatment), and cationic polymer (centrifuge - wastewater treatment) for \$590,200,
  - vii. JCI Jones Chemicals, Inc. of Torrance, CA, the lowest responsive, responsible bidder, for the chemical sodium hydroxide 25% for \$40,000,
  - viii. Pacific Star Chemical dba Northstar Chemical of Sherwood, OR, the lowest responsive, responsible bidder, for the chemical sulfuric acid 93% for \$165,000,
  - ix. California Water Technologies, LLC of Santa Fe Springs, CA, the lowest responsive, responsible bidder, for the chemical ferric chloride 15%-40% for \$100,000,
  - x. Univar Solutions USA, Inc. of Kent, WA, the lowest responsive, responsible bidder, for the chemical sodium bisulfite 25% for \$45,000, and waive any minor irregularities in the bidding document as submitted by said bidder.
- c. City Council authorize the City Manager or his designee to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% per purchase order as authorized in Corona Municipal Code Section [3.08.080\(I\)](#).
- d. City Council authorize the Purchasing Manager to issue annual purchase orders for the initial contract period ending June 30, 2022, with four one-year renewal periods to:
- i. Olin Chlor Alkali Products for \$1,750,000,
  - ii. Thatcher Company of Nevada, Inc. for \$83,000,
  - iii. Airgas Specialty Products, Inc. for \$42,000,
  - iv. King Lee Technologies for \$150,000,
  - v. Polydyne, Inc. for \$125,000,
  - vi. Aqua Ben Corporation in the amount of \$590,200,
  - vii. JCI Jones Chemicals, Inc. for \$40,000,
  - viii. Pacific Star Chemical DBA Northstar Chemical for \$165,000.
  - ix. California Water Technologies, LLC for \$100,000.
  - x. Univar Solutions USA, Inc. for \$45,000.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

## BACKGROUND & HISTORY:

The Department of Water and Power operates four water treatment facilities and three water reclamation facilities serving the City of Corona. The Department of Water and Power uses a variety of chemicals at these facilities to treat potable water and wastewater to ensure compliance with state

and federal laws and regulations.

### ANALYSIS:

On June 8, 2021, the Purchasing Division issued Notice Inviting Bids (NIB) 21-082CA for Potable Water and Water Reclamation Treatment Chemicals. NIB 21-082CA was advertised pursuant to Corona Municipal Code (CMC) [3.08.110](#) Non-public projects - formal bidding procedure. The bid was advertised in the Sentinel Weekly on June 16, 2021, and published on PlanetBids on June 8, 2021. The bid close date was June 28, 2021. The City requested bids for 13 chemicals used in water and wastewater treatment. Bidders had the option to bid on any or all of the chemicals listed in the bid document. Forty-five vendors were notified of the bid opportunity. Thirty-four vendors, three planroom/bid service provides, and two "nonbidders" downloaded the bid documents. The City received 24 bids from fifteen bidders by the submission date of June 28, 2021. Staff recommends award to the following bidders:

**Table 1: Recommended Award**

Chemical	Bidders	Vendor	Price	U/M	Award Amount
Sodium Hypochlorite	2	Olin Chlor Alkali Products	\$0.825	per gallon	\$1,750,000
Aluminum Sulfate 43.65% (10% acidified)	1	Thatcher Company of Nevada, Inc.	\$1.26	per gallon	\$61,000
Aluminum Sulfate 48.5%	2	Thatcher Company of Nevada, Inc.	\$1.20	per gallon	\$22,000
Ammonium Hydroxide	1	Airgas Specialty Products, Inc.	\$0.77	per gallon	\$42,000
Cationic (GBT)	2	Aqua Ben Corporation	\$1.27	per lb	\$178,000
Corrosion/Scale Inhibitor	3	King Lee Technologies	\$6.51	per gallon	\$150,000
Cationic (Centrifuge)	2	Aqua Ben Corporation	\$1.33	per lb	\$370,000
Anionic (WRF1A Primary)	2	Aqua Ben Corporation	\$0.95	per lb	\$40,000
Cationic	1	Polydyne, Inc.	\$0.60	per lb	\$125,000
Anionic	1	Aqua Ben Corporation	\$1.34	per lb	\$2,200
Sodium Hydroxide	2	JCI Jones Chemicals, Inc.	\$1.10	per gallon	\$40,000
Sulfuric Acid	2	Pacific Star Chemical dba Northstar Chemical	\$1.64	per gallon	\$165,000
Ferric Chloride	1*	California Water Technologies, LLC	\$1.61	per gallon	\$100,000
Sodium Bisulfite	2	Univar Solutions, Inc	\$0.98	per gallon	\$45,000
<b>Grand Total</b>					<b>\$3,090,200</b>

*\*Two total bids received, one bidder deemed nonresponsive.*

### Sodium Hypochlorite 12.5%

Sodium hypochlorite in 12.5% concentration is used in both water and wastewater treatment.

**Potable Water Treatment** - Sodium hypochlorite is used in water treatment for disinfection and to achieve chlorine contact time. At the Lester and SDO Treatment Plants, sodium hypochlorite is used for pre- and post-treatment disinfection. The influent source for both treatment plants is Colorado River water which is full-body contact. This requires pre-chlorination before the treatment process for the health of the facility and to eliminate pathogens such as bacteria, viruses, parasites, giardia, and cryptosporidium, among others. Sodium hypochlorite is also used in post-treatment disinfection to achieve contact time through a chlorine contact basin (CCB). The chlorine contact time requirements are based on the City's Water Supply Permit as issued by the State Water Resources Control Board. At the Glen Ivy and Well 11 sites, sodium hypochlorite is used to treat groundwater before the water is blended into the distribution system. At the Temescal Desalter facility, sodium hypochlorite is used to achieve the required disinfection to ensure regulatory compliance. The potable water treatment process uses approximately 256,045 gallons of sodium hypochlorite each year.

**Water Reclamation Treatment** - Sodium Hypochlorite is used in wastewater treatment to meet all of the facilities' compliance points throughout DWP's water reclamation treatment process. Sodium hypochlorite is used to meet contact time requirements, achieve system residual, and for disinfecting pathogens. Sodium Hypochlorite is also used in the wastewater treatment process to chemically oxidize ammonia. The water reclamation treatment process uses approximately 1,661,378 gallons of sodium hypochlorite each year.

The City received two bids for sodium hypochlorite:

Vendor	City	Bid Amount
Olin Chlor Alkali Products	Tracy, CA	\$0.825/gal
JCI Jones Chemicals, Inc.	Torrance, CA	\$0.97/gal

Olin Chlor Alkali Products is the apparent low bidder for sodium hypochlorite 12.5% for potable water and wastewater treatment processes, and DWP requests an annual purchase order for \$1,750,000.

### **Aluminum Sulfate 43.65% (10% Acidified) and 48.5%**

The water treatment process uses aluminum sulfate to cause suspended impurities in the water to coagulate into larger particles that can be easily filtered out. This chemical allows the filters to be more efficient. Aluminum Sulfate 43.65% (10% acidified) is used at Lester Water Treatment Plant. Aluminum Sulfate 48.5% is used at Sierra Del Oro Water Treatment Plant.

The City received one bid for Aluminum Sulfate 43.65% (10% acidified), and two bids for Aluminum Sulfate 48.5%.

### **Aluminum Sulfate 43.65% (10% Acidified)**

Vendor	City	Chemical	Bid Amount
Thatcher Company of Nevada, Inc.	Salt Lake City, UT	Alum. Sulfate 43.65% (10% Acidified)	\$1.26/gal

**Aluminum Sulfate 48.5%**

<b>Vendor</b>	<b>City</b>	<b>Chemical</b>	<b>Bid Amount</b>
Thatcher Company of Nevada, Inc	Salt Lake City, UT	Alum. Sulfate 48.5%	\$1.20/gal
Pacific Star Chemical/ DBA Northstar	Sherwood, OR	Alum. Sulfate 48.5%	\$1.395/gal

Thatcher Company of Nevada, Inc. is the apparent low bidder for both Aluminum Sulfate 43.65% (10% Acidified) and 48.5% for the potable water treatment process, and DWP requests annual purchase orders for \$61,000 for Aluminum Sulfate 43.65% (10% Acidified) and \$22,000 for Aluminum Sulfate 48.5%.

**Ammonium Hydroxide 19%**

Ammonium hydroxide is used for disinfection in the water treatment process. Ammonium hydroxide reacts with sodium hypochlorite to yield chloramines. Chloramines are a stable sanitizing compound that provide long-lasting disinfection throughout the city's distribution system.

The City received one bid for ammonium hydroxide.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
Airgas Specialty Products, Inc.	Lawrenceville, GA	\$0.7725/gal

Airgas Specialty Products, Inc. is the apparent low bidder for Ammonium Hydroxide 19% for the potable water treatment process, and DWP requests an annual purchase order for \$42,000.

**Corrosion and Scale Inhibitor**

The Water Operations division uses corrosion and scale inhibitor in the water treatment process at the Temescal Desalter. These chemicals keep minerals in suspension, preventing cohesion to pumps and water pipes. This reduces calcium build-up and extends the life of the water infrastructure. Without corrosion and scale inhibitor, our pumps and infrastructure would be damaged due to the premature precipitation of minerals.

The City received three bids for corrosion and scale inhibitor.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
King Lee Technologies	San Diego, CA	\$6.51/gal
Amaya Solutions, Inc. dba American Water Chemicals	Plant City, FL	\$8.49/gal
Avista Technologies	San Marcos, CA	\$8.74/gal

King Lee Technologies is the apparent low bidder for Corrosion and Scale Inhibitor for the potable



water treatment process, and DWP requests an annual purchase order for \$150,000.

### **Cationic Polymer and Anionic Polymer (Water Reclamation)**

Cationic and anionic polymers are crucial components of the flocculation process in wastewater treatment. Cationic polymers are positively charged, while anionic polymers are negatively charged. These molecules attract particles of an opposite charge and allow them to form large clusters or “flocs.” As flocs are generated, they precipitate much more readily out of solution, which is the key to clarification by settling. The more that solids are combined, the easier they are to remove.

The water reclamation process uses three polymers throughout the treatment process. One cationic polymer is used for the gravity belt thickeners, one cationic polymer is used for the centrifuge, and one anionic polymer is used for WRF1A primary treatment.

#### ***Cationic Polymer (Gravity Belt Thickener)***

<b>Vendor</b>	<b>City</b>	<b>Chemical</b>	<b>Dose Rate</b>	<b>Bid Amount</b>
Aqua Ben Corporation	Orange, CA	Cationic Poly (GBT)	0.42 GPH	\$1.27/LB
Solenis, LLC	Wilmington, DE	Cationic Poly (GBT & Centrifuge)	3.78 GPH	\$1.46/LB

#### ***Cationic Polymer (Centrifuge)***

<b>Vendor</b>	<b>City</b>	<b>Chemical</b>	<b>Dose Rate</b>	<b>Bid Amount</b>
Aqua Ben Corporation	Orange, CA	Cationic Poly (Centrifuge)	1.2 GPH	\$1.33/LB
Solenis, LLC	Wilmington, DE	Cationic Poly (GBT & Centrifuge)	3.78 GPH	\$1.46/LB

#### ***Anionic Polymer (WRF1A Primary Treatment)***

<b>Vendor</b>	<b>City</b>	<b>Chemical</b>	<b>Dose Rate</b>	<b>Bid Amount</b>
Aqua Ben Corporation	Orange, CA	Anionic Polymer	0.5 GPH	\$0.95/LB
Solenis, LLC	Wilmington, DE	Anionic Polymer	3.78 GPH	\$1.17/LB

Aqua Ben Corporation is the apparent low bidder for cationic polymer (gravity belt thickeners), cationic polymer (centrifuge), and anionic polymer (WRF1A Primary Treatment). DWP requests purchase orders for \$178,000 for cationic polymers (gravity belt thickeners), \$370,000 for cationic polymer (centrifuge) and \$40,000 for anionic polymer (WRF1 Primary Treatment).

### **Cationic Polymer and Anionic Polymer (Potable Water)**

The water treatment process uses cationic polymer as a secondary binding agent for the

coagulation/flocculation process. The water treatment process uses anionic polymers for settling solids within the gravity thickeners.

The City received one bid for cationic polymer and one bid for anionic polymer.

Vendor	City	Chemical	Dose Rate	Bid Amount
Polydyne, Inc.	Riceboro, GA	Cationic Polymer	0.3 mg/L	\$0.60/LB

Vendor	City	Chemical	Dose Rate	Bid Amount
Aqua Ben Corporation	Orange, CA	Anionic Polymer	0.5 mg/L	\$1.34/LB

Polydyne, Inc. is the apparent low bidder for cationic polymer for the potable water treatment process, and DWP requests a purchase order for \$125,000.

Aqua Ben Corporation is the apparent low bidder for anionic polymer. DWP requests a purchase order for \$2,200.

### **Sodium Hydroxide 25%**

Sodium hydroxide is used in the water treatment process to regulate water acidity and to assist in the removal of heavy metals in drinking water. Without the use of sodium hydroxide, the pH of the Desalter effluent would be too low, resulting in infrastructure damage, water quality issues, potential damage to homeowners' plumbing, and leaching of copper within homes.

The City received two bids for sodium hydroxide.

Vendor	City	Bid Amount
JCI Jones Chemicals, Inc.	Torrance, CA	\$1.10/gal
Pacific Star Chemical/ DBA Northstar Chemicals	Sherwood, OR	\$1.24/gal

JCI Jones Chemicals, Inc. is the apparent low bidder for Sodium Hydroxide 25% for the potable water treatment process, and DWP requests a purchase order for \$40,000.

### **Sulfuric Acid 93%**

Sulfuric Acid is used exclusively at the Temescal Desalter. The Temescal Desalter utilizes reverse osmosis technology to treat groundwater. Sulfuric acid lowers the pH of the influent water from approximately 7.2 to 6.4. Sulfuric acid is a sequestration agent that helps keep minerals in suspension, thereby optimizing the reverse osmosis process by keeping minerals from precipitating onto the membranes. These minerals are most commonly bicarbonate, calcium carbonate, and silica. Minerals remain in suspension and flow to the waste stream, where they are rejected into the Inland Empire Brine Line (IEBL). Without sulfuric acid, the Temescal Desalter would experience much shorter run times between membrane cleanings.

The City received two bids for sulfuric acid.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
Pacific Star Chemical dba Northstar Chemical	Sherwood, OR	\$1.64/gal
Univar Solutions, Inc.	Kent, WA	\$2.142/gal

Pacific Star Chemical dba Northstar Chemical is the apparent low bidder for Sulfuric Acid 93% for the potable water treatment process, and DWP requests a purchase order for \$165,000.

### **Ferric Chloride 15%-40%**

Ferric chloride is used to reduce hydrogen sulfide in the digesters at the City's water reclamation facilities and helps with clarification in primary sedimentation. High levels of hydrogen sulfide in the digester could result in violations from the South Coast Air Quality Management District.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
California Water Technologies, LLC	Santa Fe Springs, CA	\$1.61/gal
Kemira	Lawrence, KS	**

\*\*Kemira was deemed nonresponsive as they had a serious OSHA violation in December 2019.

California Water Technologies, LLC is the apparent low bidder for Ferric Chloride 15%-40% for the water reclamation treatment process. DWP requests a purchase order for \$100,000 to allow for any changes in the City's treatment needs.

### **Sodium Bisulfite 25%**

During the wastewater treatment process, the tertiary effluent is treated with sodium hypochlorite for disinfection. Some of this water goes into the reclaimed water system, and some of the water is discharged to the Santa Ana River. When the water is discharged to the river, DWP is required to reduce the amount of residual chlorine in the water to ensure compliance with the United States Environmental Protection Agency regulations. Sodium bisulfite is used to reduce the amount of residual chlorine in the water.

The City received two bids for sodium bisulfite.

<b>Vendor</b>	<b>City</b>	<b>Bid Amount</b>
Univar Solutions, Inc.	Kent, WA	\$0.98/gal
JCI Jones Chemicals, Inc.	Torrance, CA	\$1.05/gal

Univar Solutions, Inc. is the apparent low bidder for Sodium Bisulfite 25% for the water reclamation treatment process, and DWP requests a purchase order for \$45,000.

### **Cationic Polymer (Centrifuge) Wastewater Treatment Fiscal Year 2021**

DWP requests a change order with Aqua Ben for Fiscal Year 2021 for cationic polymer for the centrifuge for wastewater treatment for \$40,000. DWP uses cationic polymer in the centrifuge to assist with the dewatering process. Due to a 3-week delay in bulk shipments, staff had to seek alternative solutions by ordering totes of polymer that were available locally to ensure uninterrupted treatment. The bulk order of polymer was finally delivered and will be used. However, the bulk order and the totes exceeded the purchase order authorization for Fiscal Year 2021 with Aqua Ben.

**FINANCIAL IMPACT:**

Funding for the recommended action is available in the Department of Water and Power's Fiscal Year 2021 and Fiscal Year 2022 operating budgets.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action involves the purchase of required chemicals for water and wastewater treatment, and there is no possibility that the recommended actions will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** KRISTIAN ALFELOR, DWP OPERATIONS MANAGER

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1 - NIB 21-082CA
2. Exhibit 2 - NIB 21-082CA Addenda
3. Exhibit 3 - NIB 21-082CA Bid Summary



June 8, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) NO. NIB 21-082CA**

The City of Corona Department of Water and Power (City) invites qualified bids for:

**Potable Water & Wastewater Treatment Chemicals**

Parties interested in obtaining a copy of this NIB No. NIB 21-082CA may do so by registering with PlanetBids as a City of Corona vendor by visiting the PlanetBids Vendor Portal:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497>. Registered vendors can download a copy of this NIB No. NIB 21-082CA and supporting documents at no cost and receive addenda and other notifications when issued.

**Closing: Bids shall be submitted electronically before 10:00 AM, June 28, 2021,** via the PlanetBids Vendor Portal. It is Bidder's responsibility to allow sufficient time to complete and upload their bid, including all documentation required by this NIB, prior to the stated deadline. Electronic submission cannot be completed unless Bidder properly uploads all required documents.

The City will only consider electronic bids that have been transmitted successfully and issued a time stamped confirmation number from PlanetBids indicating the bid was successfully transmitted. **Transmission of bids by any other means will not be accepted.** Bidders are solely responsible for informing themselves with respect to proper usage of the PlanetBids online bid management system, for ensuring the capability of their computer system to upload the required documents, and for the reliability of their internet service. Failure of Bidder to successfully transmit an electronic bid shall be at Bidder's sole risk and no relief will not be given for late or improperly submitted bids.

Bidders experiencing technical difficulties with the bid transmission process should contact PlanetBids Support at (818) 992-1771. Bidders that continue to experience difficulty with the PlanetBids system should contact the City of Corona Purchasing Division at (951) 736-2274. Neither the City nor PlanetBids make any guarantees or assurances as to the timely availability of assistance or resolution of any given issue prior to the bid submission date and time.

**Award of Contract:** The City shall award the Contract to the lowest responsive, responsible bidder for each chemical as determined from the base bid alone by the City. The City reserves the right to reject any or all bids or to waive any irregularities or informalities in any bids or in the bidding process.

Issuance of this NIB and/or receipt of bids does not commit City to award a contract.

Signed,

Carol Appelt

Purchasing Specialist V

City of Corona | Administrative Services Department

400 S. Vicentia Ave., Suite 320 | Corona, CA 92882

Phone: 951-279-3620 - Remote: 931-395-1941 | Email: [carolyn.appelt@coronaca.gov](mailto:carolyn.appelt@coronaca.gov)

Website: [www.coronca.gov](http://www.coronca.gov)



June 8, 2021

**SUBJECT: NOTICE INVITING BIDS (NIB) No. 21-082CA**

## **SECTION I**

### **INVITATION**

The City of Corona Department of Water and Power (City) invites bids from qualified contractors for:

#### **Potable Water & Wastewater Treatment Chemicals**

Please read this entire NIB package and include all requested information and forms in your bid proposal. Bids must be signed by an authorized agent of the company submitting a bid in order to be considered responsive.

**CITY INSURANCE REQUIREMENTS HAVE BEEN UPDATED.  
REFERENCE INSURANCE REQUIREMENTS ACKNOWLEDGMENT FORM  
IN SECTION V AND FORM OF AGREEMENT SAMPLE IN SECTION VI,  
SUBSECTION 3. 2. 10 INSURANCE, ET SEQ.**

#### **Tentative NIB Schedule** (Subject to change at City's discretion)

1. Issue NIB.....June 8, 2021
2. Advertise in Sentinel Weekly..... June 16, 2021
3. Polymer Sludge and Water Samples Available ..... June 16, 2021 – June 21, 2021
4. Written Questions from Contractor Due..... June 21, 2021
5. Responses from City Due..... June 23, 2021
6. Bids Due (Date & Time) ..... 10:00 a.m., June 28, 2021
7. Bid Evaluation Completed..... June 29, 2021
8. Contractor Selection..... June 30, 2021
9. City Council Approval & Contract Award..... July 7, 2021

**Table of Contents**

SECTION I ..... Invitation

SECTION II ..... Instructions to Bidders

SECTION III ..... Technical Specifications/Scope of Work

SECTION IV ..... Bid Content and Forms

SECTION V ..... Bid / Price Forms



## **SECTION II.**

### **INSTRUCTIONS TO BIDDERS**

#### **A. Vendor Polymer Testing & Selection**

1. City will provide prospective bidders with samples of its raw water, digested sludge, GBT blended sludges, and raw influent for bidders' use in determining which of their products best meets the City's needs. Sludge and water samples will be available for pick up by bidders from the City's Water and Water Reclamation Treatment facilities noted below.

<b>Water Treatment</b>	<b>Water Reclamation</b>
Lester Water Treatment Facility 2970 Rimpau Ave. Corona, CA 92881	Water Reclamation Facility 1 2205 Railroad Street Corona, CA 92880
Contact: Justin Amon, Chief Water Operator Phone: 951- 736-2481 Email: <a href="mailto:justin.amon@CoronaCA.gov">justin.amon@CoronaCA.gov</a>	Mauro Casas, Deputy Chief Operator- Water Reclamation Phone: 951-903-9336 Email: <a href="mailto:mauro.casas@CoronaCA.gov">mauro.casas@CoronaCA.gov</a>

2. All requests for samples must be received by the City a minimum of 24 hours in advance of the sample pick up date and time. Bidders shall provide their own appropriately sized sample jars, buckets or other containers, properly labeled with bidder's information. Sample containers may be shipped in advance by bidders to each facility for the polymer applications they wish to bid. Bidders are required to pick up their samples in person from each facility and shall contact the Chief Water Operator, Justin Amon and the Deputy Chief Operator-Water Reclamation, Mauro Casas, to schedule pick up dates and times. By no means will the City ship samples to potential bidders.
3. Bidders shall calculate their Polymer bid prices by inserting the test results of their products and their per pound prices into spaces provided on the Bid / Price Form.

#### **B. Examination of Bid Documents**

Bidder shall read this entire NIB package and submit all requested information and forms with their bid. By submitting a bid, Bidders represent they have thoroughly examined and become familiar with the work required under this NIB, have reviewed the project location, specifications and understand the project objectives and are capable of performing quality work to achieve the City's objectives.

Before submitting bids, Bidders must fully inform themselves of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at Bidders' sole risk and Bidder cannot secure relief on the plea of error.

**C. Addenda**

Substantive City changes to the requirements will be made by written addendum. Any written addenda issued pertaining to this NIB shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the Bid Due Date and Time. Bidders shall access any and all Addenda from the electronic bidding system's Addenda & Email tab for this NIB.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this NIB and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of bidders to ensure they have received all addenda prior to submitting a bid. To this end, each bidder should contact the City's Purchasing Division prior to the bid proposal due date to verify receipt of all Addenda issued. Bidders shall acknowledge receipt of all Addenda when submitting their electronic bids.

**D. Clarifications**

**1. Examination of Documents**

Should a bidder require clarifications to this NIB, bidder shall notify the City in writing in accordance with Section D. 2 below. Should it be found that the point in question is not clearly and fully set forth in the NIB, the City shall issue a written addendum clarifying the matter.

**2. Submitting Requests**

Bidders shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497> utilizing the Questions & Answers tab. Bidder questions must be submitted no later than **5:00 PM on June 21, 2021**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

**3. City Responses**

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this NIB as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the bid due date and time, the bid due date will be extended.

## **E. Bid Submission**

### **1. Date and Time**

All bids shall be submitted no later than **10:00 AM on June 28, 2021**.

### **2. Electronic Submission**

Bids shall be submitted electronically using the City's PlanetBids Vendor Portal. The City's electronic bidding system will not allow bids to be submitted after the due date and time. It is the Bidder's responsibility to allow sufficient time to complete and submit their bid, including all documentation required by this NIB, prior to the stated deadline. **Electronic submission cannot be completed unless Bidder properly uploads all required documents. Only electronic bids will be accepted; hard copy bids will be rejected as nonresponsive and returned unopened without exception.**

**Bidders may submit bids for one or more bulk chemicals. Each chemical shall be bid separately utilizing the City's Bid/Price Form included herein.**

### **3. Bid Submittal Check List**

Bidder must upload the following documents and forms to the electronic bidding system:

- a. Bid/Price Form
- b. Non-Collusion Declaration
- c. Acknowledgment of Insurance Requirements Check Sheet
- d. Insurance Requirements Check List
- e. Sample Insurance Certificate
- f. Statement of Past Contract Disqualifications
- g. Industrial Safety Record
- h. Acknowledgment of Vendor Performance Evaluation Form
- i. Information Required of Bidders Form
- j. Experience Statement
- k. Contractor's Certificate Regarding Workers' Compensation
- l. Local Bidder Preference Program Statement (if applicable)

### **4. Acceptance of Bids**

The City may, in its sole discretion:

- a. Accept or reject any or all bids and to waive any informality or irregularity in any bid or the bidding process;
- b. Withdraw this NIB at any time without prior notice, and the City makes no representations that any contract will be awarded to any bidder responding to this NIB; or
- c. Elect to postpone the bid opening for its own convenience.

**F. Bid Withdrawal**

Electronic bids may be withdrawn by Bidder prior to the date and time set forth in Section E. 1 above. After that time, Bidders may not withdraw their bids for a period of ninety (90) days from the Bid Submittal Deadline. At no time may the successful Bidder withdraw its bid.

**G. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the bidder in:

1. Preparing its bid in response to this NIB;
2. Submitting a bid to City;
3. Negotiating with City on any matter related to the bid; or
4. Any other expenses incurred by Bidder prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by Bidder in the preparation of its bid. Bidder shall not include any such expenses as part of its bid.

**H. Contract Award**

Issuance of this NIB and receipt of bids does not commit the City to award a contract. **This is not an all or nothing bid.** The City shall award to the lowest responsive, responsible bidder for each individual chemical specified herein.

After all bids are opened and reviewed to determine the lowest responsive, responsible bidder for each chemical, the City Council may award contract(s). The apparent successful bidder(s) should begin to prepare the required insurance certificates and endorsements. Once the City notifies bidder(s) of the award, bidder(s) will have 10 consecutive calendar days from the date of this notification to supply the City with all of the required documents and certifications. Regardless of whether or not bidder supplies the required documents and certifications in a timely manner, the contract time may begin to run 10 calendar days from the date of the notification. Once the City receives all of the properly drafted and executed documents and certifications from the bidder(s), the City shall issue a Notice to Proceed to that bidder.

**I. Contract Term**

The contract term shall be effective on or about July 1, 2021 through June 30, 2022 with four additional one-year option year renewal periods, on an as-needed basis, with no guaranteed usage for Potable Water & Wastewater Treatment Chemicals. Bid prices shall remain effective and in force for the entire Initial Purchase Order Period. City reserves the right to exercise option year renewals in its sole discretion. Subsequent purchase order periods, if exercised by the City, are as follows:

Option 1, if exercised, shall be effective July 1, 2022 through June 30, 2023

Option 2, if exercised, shall be effective July 1, 2023 through June 30, 2024  
Option 3, if exercised, shall be effective July 1, 2024 through June 30, 2025  
Option 4, if exercised, shall be effective July 1, 2025 through June 30, 2026

Option year pricing shall be negotiated by the Parties prior to commencement of each additional one-year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.

**J. Acceptance of Order**

The successful bidders will be required to accept a Purchase Order in accordance with and including as a part thereof this NIB, including all requirements, conditions, and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement. The successful bidders shall be bound to accept all NIB requirements and terms and conditions of the purchase order.

**K. Assignment**

Bidder shall, under no circumstances, assign the contract without the prior written consent of the City.

**L. City of Corona Business License**

The successful contractor and any subcontractors are required to obtain a City of Corona Business License prior to contract award and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a bid. Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City’s website:

<https://www.coronaca.gov/government/departments-divisions/finance/business-license-info>.

**M. Force Majeure**

If execution of this contract shall be delayed or suspended and if such failure arises out of causes beyond the control of and without fault or negligence of the successful Bidder, the successful Bidder shall notify the City, in writing, within twenty-four (24) hours, after the delay. Such causes may include but are not limited to acts of God, war, acts of a public enemy, acts of any governmental entity in its sovereign or contractual capacity, fires, floods, epidemics, strikes and unusually severe weather.

N. **Insurance Requirements**

1. Within ten (10) consecutive calendar days after the notice of award, the successful bidder(s) shall furnish the City, through its third-party insurance partner, Exigis, certificates of insurance and endorsements evidencing coverage as specified herein and naming the City of Corona, its directors, officials, employees, volunteers and agents as additional insureds by written endorsement. Failure to provide and maintain all required insurance shall be grounds for the City to terminate the Contract Award.
2. Bidders are encouraged to have their insurance provider(s) review the insurance requirements herein, prior to bid submission to ensure the minimum coverage limits, endorsements and other requirements can be met.
3. Bidders shall review, complete and sign the Acknowledgment of Insurance Requirements Check Sheet included in Section IV. and return with their bid. Any exceptions or deviations to the City's insurance requirements must be submitted to the City during the Questions and Answers period.
4. Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Contract insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Contract by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Contract. Such insurance shall meet at least the following minimum levels of coverage:
  - (A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.; (4) **Contractor's Pollution Liability**: Contractor shall procure and maintain and require its subcontractors to procure and maintain for a period of five (5) years following completion of the Contract, pollution liability insurance, including coverage for bodily injury, property damage and environmental damage, applicable to the work being performed; and (5) **Transportation Pollution Liability**: Transportation Pollution Liability insurance covering materials to be transported.
  - (B) Minimum Limits of Insurance. Contractor shall maintain limits no less than:
    - (1) *General Liability*: **\$2,000,000** per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit

shall apply separately to this Contract/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: **\$2,000,000** per accident for bodily injury and property damage; (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of **\$1,000,000** per accident for bodily injury or disease; (4) *Contractor's Pollution Liability*: **\$2,000,000** per claim/**\$4,000,000** policy aggregate; and (5) *Transportation Pollution Liability*: **\$2,000,000** per accident.

5. Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

- (A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.
- (B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.
- (C) Contractor's Pollution Liability. The Contractor's Pollution Liability policy shall include or be endorsed (amended) to state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insureds with respect to the work or operations performed by or on behalf of the Contractor, including any and all remediation costs, including, but not limited to, restoration costs, and coverage for the removal, repair, handling, and disposal of asbestos and/or lead containing materials, if applicable; (2) the insurance coverage shall be primary insurance as respects the City, its directors, officials, officers, employees, agents, and volunteers, or if excess, shall stand in an unbroken chain of coverage excess of the Contractor's scheduled underlying coverage. Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way; and (3) coverage shall include contractual liability and non-owned disposal sites.



- (D) Transportation Pollution Liability Insurance. Either the Contractor's Automobile Liability policy or the Contractor's Pollution Liability policy shall be endorsed to include Transportation Pollution Liability Insurance, covering or covering material to be transported by the Contractor. If Contractor is required by applicable law to have an MCS-90 endorsement, such endorsement shall also be provided to the City.
  - (E) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.
6. Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Contract by Contractor:
- (A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.
  - (B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.
7. Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Contract commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Contract commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.
8. Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims



administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

9. Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.
10. Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Contract. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.
11. Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Contract.
12. Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section M. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Contract.

**O. Indemnification**

Contractor shall defend, indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all Claims (as defined below) in any manner arising out of or incident to (i) any acts, omissions or willful misconduct of supplier, its officials, officers, employees, agents, consultants and contractors; (ii) the performance of the work or this contract; and/or (iii) any action for product liability arising from a defect in the design, materials and workmanship of any product provided. Contractor shall defend, at supplier's own cost, expense and risk, any and all Claims of any kind that may be brought or instituted against City, its directors, officials, officers, employees, agents or volunteers. Contractor shall pay and satisfy any judgment, award or decree that may be rendered against City or its directors, officials, officers, employees, agents or volunteers, in any such suit, action or other legal proceeding. Contractor shall reimburse City and its directors, officials, officers, employees, agents and/or volunteers, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. For the purpose of this provision, "Claims" means claims, actions, or causes of action, regulatory, legislative or judicial proceedings, at law or equity, and all associated liabilities, demands, assessments, levies, losses, fines, penalties, damages, costs and expenses,

whether in connection with property or persons, including wrongful death, in each case as awarded by a court or arbitrator, including, without limitation: (i) reasonable attorneys', accountants', investigators', and experts' fees and expenses sustained or incurred in connection with the defense or investigation of any such liability, and (ii) all consequential damages and damages that arise as a result of strict liability.

**P. Laws Governing Contract**

This contract shall be in accordance with the laws of the state of California. The parties stipulate that this contract was entered into in the county of Riverside, in state of California. The parties further stipulate that the county of Riverside, California, is the only appropriate forum for any litigation resulting from a breach hereof or any questions risen here from.

**Q. Primary Bidder**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one bid unless in a sub-contractual relationship with respect to the bid. A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a bid to the City as a primary Bidder.

**R. Termination**

If, for any reason, the successful bidder fails to fulfill in a timely and proper manner his or her obligations under this contract, or if the successful bidder violates any of the provisions of this contract, then the City may terminate the contract by giving written notice to the successful bidder of such termination and specify the effective date thereof at least ten (10) days before the effective date of such termination. In such event, all finished or unfinished work prepared by the successful bidder under this contract may, at the option of the City, become the City's property and supplier may be entitled to receive just and equitable compensation for any satisfactory work.

Reasons for cancellation may include any one or more of the following:

1. The product being supplied no longer performs as required.
2. The supplier fails to provide the required MSDS sheets and certificate of analysis with each delivery.
3. The supplier fails to deliver as required

**S. References**

Bidders must list a minimum of three (3) municipal or public utility references that have purchased similar products and services from Bidder within the last two (2) years on the form provided herein. Wherever possible, Bidders should provide references for customers from the same region as City.

**T. Safety Requirements/Violations**

Safety at the Project site during performance of the work is of paramount concern to the City. Accordingly, bidders must not have committed any serious violations within the last two (2) years or any willful violations within the last five (5) years of federal or state OSHA

regulations. Bidders must identify the number of OSHA violations on the INDUSTRIAL SAFETY RECORD form. Any serious or willful violation may render a bid as non-responsive. We strongly encourage full disclosure since failure to identify all violations on the INDUSTRIAL SAFETY RECORD form may result in rejection of the bid as non-responsive or the bidder as non-responsible following a hearing. A citation properly appealed through OSHA is not considered to be a violation until the matter is closed and considered final by OSHA. The City still expects this information to be disclosed by the bidder, with an explanation and documentation showing that the matter is properly under appeal with OSHA and not considered closed or final. Failure to be forthcoming with this information may result in rejection of the bid as non-responsive.

**U. Local Bidder Preference Program**

This bid shall be subject to the City of Corona local bidder preference program. To qualify, bidders must be a “local business” with: (i) fixed facilities with one or more employees, which may include a sole proprietor, located at an address within City limits (a post office box alone is insufficient); and (ii) an appropriate City business license/permit. Bidders seeking to qualify for this local program shall provide supporting information and certify in writing that they meet the above requirements as part of the bid submittal.

A qualifying local business shall be entitled to a reduction of five percent (5%) in the tabulation of its bid for purposes of determining the lowest responsible bidder, unless otherwise prohibited by law.

The Local Program shall be applicable to only purchases of materials, supplies, and equipment as well as contracts for maintenance work and other general services projects, which are competitively bid and which involve an expenditure of two-hundred thousand dollars (\$200,000) or less. For recurring purchases, the Local Program shall be applicable only to the City’s first two-hundred thousand dollars (\$200,000) worth of such purchases for any fiscal year, as determined by city staff in its sole discretion.

The Local Program shall also establish a preference for the purchase of materials, supplies, and equipment, as well as contracts for maintenance work and other general services, which are competitively bid and which involve an expenditure of more than two-hundred thousand dollars (\$200,000). Such preference shall allow the City to take into consideration the net sales tax to be returned to the City as a result of an award to a qualifying Local Business in determining the lowest responsive and responsible bidder. The net sales tax shall be calculated based on the applicable bid price provided by the bidder in accordance with the City’s purchasing policy.

**V. Vendor Performance**

It is the intent of the City to create a long-term working partnership with the supplier. The City’s representative will complete a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form is included in Section IV and will be the basis for periodic assessments by the City to establish contract performance metrics.

## **W. Public Records**

Responses (bids) to this NIB and the documents constituting any contract entered into thereafter become the exclusive property of the City and shall be subject to the California Public Records Act (Government Code Section 6250 et seq.). The City's use and disclosure of its records are governed by this Act.

Those elements in each bid which Bidder considers to be trade secrets, as that term is defined in Civil Code Section 3426. 1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or "PROPRIETARY" by Bidder. The City will use its best efforts to inform Bidder of any request for disclosure of any such document. The City shall not in any way be liable or responsible for the disclosure of any such records including, without limitation; those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information Bidder considers exempt from disclosure, the City will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City is required to defend an action arising out of a Public Records Act request for any of the contents of Bidder's bid marked "Confidential", "Proprietary", or "Trade Secret", Bidder shall defend and indemnify the City from all liability, damages, costs, and expense, including attorneys' fees, in any action or proceeding arising under the Public Records Act.

To insure confidentiality, Bidders are instructed to upload separate files for all "Confidential," "Proprietary," or "Trade Secret" data when submitting their bid documents. The file names shall include the words "Confidential", "Proprietary" or "Trade Secret". Because bid documents are available for review by any person after award of a contract resulting from a NIB, the City shall not in any way be held responsible for disclosure of any "Confidential," Proprietary," or "Trade Secret" documents that are not uploaded as separate files and include "Confidential", "Proprietary" or "Trade Secret" as part of the file name.

### **SECTION III.**

#### **TECHNICAL SPECIFICATIONS/SCOPE OF WORK**

##### **SODIUM HYPOCHLORITE (NaOCl) 12.5%**

###### **General:**

The City is seeking sealed bids for the purchase and delivery of Sodium Hypochlorite 12.5% on an as needed basis for use in treating potable water and wastewater. The estimated annual requirement (“Estimated Quantity”) is approximately 1,000,000 gallons. The Sodium Hypochlorite 12.5% is to be delivered in bulk tanker truck loads to nine (9) delivery point locations within the City and must meet the requirements and specifications provided herein.

###### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 2,000 gallons.

###### **Chemical Specifications:**

The Sodium Hypochlorite 12.5% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Sodium Hypochlorite 12.5%, B-300 (or the most current version)
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be approximately 12.5% “watercare” grade
- 4) Not require any special activation or handling procedures
- 5) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

###### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and

ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit's validity. NSF certification for the chemical bid must be current on the date of bid submittal.

- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet (SDS)

**Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Sodium Hypochlorite 12.5% to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point, for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of sodium hypochlorite
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611 for all water treatment facility deliveries and (951) 830-2396 for all water reclamation facility deliveries; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Sodium Hypochlorite 12.5% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in the per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.

- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 12) All Sodium Hypochlorite 12.5% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Sodium Hypochlorite 12.5% shall be clean and free from contaminating material.

**FOB Destination Delivery Point Locations:**

<b>City of Corona Facility Delivery Points</b>	<b>Storage Capacity</b>
Lester Water Treatment Plant 2970 Rimpau Avenue Corona, CA 92881	10,000 Gallons
Sierra Del Oro Water Treatment Plant 2940 Wilderness Circle Corona, CA 92882	5,500 Gallons
Temescal Desalter 745 Public Safety Way Corona, CA 92878	6,400 Gallons
Well 11A 1865 Pomona Road Corona, CA 92882	4,500 Gallons
Glen Ivy Reservoir 8965 Glen Ivy Road Corona, CA 92883	4,800 Gallons
Mangular Blending Station 2208 Mangular Avenue Corona, CA 92882	5,000 gallons
Water Reclamation Facility 1 2205 Railroad Street Corona, CA 92880	30,000 gallons
Water Reclamation Facility 2 650 East Harrison Street Corona, CA 92879	12,500 gallons



Water Reclamation Facility 3 3997 Temescal Canyon Road Corona, CA 92879	4,000 Gallons
---	---------------

### **Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty- eight (48) hours' notice of the unacceptable delivery.

### **Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk tanker truck load deliveries. For the purpose of attaining better pricing, the City reserves the right to combine multiple facility requirements into a single order to meet the minimum 2,000 gallon order requirement. Bidders would then be required to split deliveries among any combination of the nine (9) delivery point locations stated in these specifications for that order.

Bid prices shall remain effective and in force for the entire Initial Purchase Order Period, and Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

### **Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation. Shipments to the City's water reclamation facilities will be subject to California Sales Tax.

### **Bid Samples**

Bidder is required to submit, and the City must receive, duplicate 500 ml bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Sodium Hypochlorite 12.5% to be supplied and must be accompanied by the appropriate

Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 43.65% & 10% Acidified**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Aluminum Sulfate 43.65% on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 40,000 gallons. The Aluminum Sulfate 43.65% is to be delivered in bulk tanker truck loads to one (1) delivery point locations within the City and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 4,000 gallons.

### **Bid Evaluation:**

Bids for Aluminum Sulfate 43.65% and 10% Acidified will be evaluated for:

1. Results of dosing required
2. Bid Responsiveness
3. Passing test results and lowest per pound bid price

### **Chemical Specifications:**

The Aluminum Sulfate 43.65% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Aluminum Sulfate 43.65%, B-403 (or the most current version)
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be approximately 43.65% dry aluminum sulfate in water
- 4) Specific gravity @ 60 F = 1.335 pH
- 5) Not require any special activation or handling procedures
- 6) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.
- 7) Be acidified alum at 10%.

### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF

certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer's information with their bid. Bidder's failure to provide appropriate manufacturer's documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit's validity. NSF certification for the chemical bid must be current on the date of bid submittal.
- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet (SDS)

#### **Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Aluminum Sulfate 43.65% (10% acidified) to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of aluminum sulfate
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

### **Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Aluminum Sulfate 43.65% (10% acidified) and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.

- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 12) All Aluminum Sulfate 43.65% (10% acidified) shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Aluminum Sulfate 43.65% (10% acidified) shall be clean and free from contaminating material.

**FOB Destination Delivery Point Locations:**

<b>City of Corona Facility Delivery Points</b>	<b>Storage Capacity</b>
Lester Water Treatment Plant 2970 Rimpau Avenue Corona, CA 92881	9,600 Gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk tanker truck load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

**Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Aluminum Sulfate 43.65% (10% acidified) to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA- Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 48.5%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Aluminum Sulfate 48.5% on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 15,000 gallons. The Aluminum Sulfate 48.5% is to be delivered in bulk tanker truck loads to one (1) delivery point locations within the City and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 4,000 gallons.

### **Bid Evaluation:**

Bids for Aluminum Sulfate 48.5% will be evaluated for:

- Results of dosing required
- Bid Responsiveness
- Passing test results and lowest per pound bid price

### **Chemical Specifications:**

The Aluminum Sulfate 48.5% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Aluminum Sulfate 48.5%, B-403 (or the most current version)
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be approximately 48.5% dry aluminum sulfate in water
- 4) Specific gravity @ 60 F = 1.335 pH
- 5) Not require any special activation or handling procedures
- 6) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.



### **Manufacturer's Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer's information with their bid. Bidder's failure to provide appropriate manufacturer's documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit's validity. NSF certification for the chemical bid must be current on the date of bid submittal.
- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet (SDS)

### **Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Aluminum Sulfate 48.5% to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of aluminum sulfate
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Aluminum Sulfate 48.5% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.

- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, gloves,
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 12) All Aluminum Sulfate 48.5% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Aluminum Sulfate 48.5% shall be clean and free from contaminating material.

**FOB Destination Delivery Point Locations:**

<b>City of Corona Facility Delivery Points</b>	<b>Storage Capacity</b>
Sierra Del Oro Water Treatment Plant 2940 Wilderness Circle Corona, CA 92882	6,000 Gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk tanker truck load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

**Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may also be pre-shipped in advance of the bid due date and time. These samples must be representative of the Aluminum Sulfate 48.5% to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona, CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **AMMONIUM HYDROXIDE (NH<sub>4</sub>OH) 19%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Ammonium Hydroxide 19% on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 40,000 gallons. The Ammonium Hydroxide 19% is to be delivered in bulk tanker truck loads to seven (7) delivery point locations within the City and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 250 to 5,000 gallons (per location).

### **Chemical Specifications:**

The Ammonium Hydroxide 19% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Ammonium Hydroxide 19%, B306-07 (or the most current version)
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be 85% pure
- 4) Be 19% solution
- 5) Be colorless and transparent
- 6) Not require any special activation or handling procedures
- 7) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the

chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit's validity. NSF certification for the chemical bid must be current on the date of bid submittal.

- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer.
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet

**Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Ammonium Hydroxide 19% to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of ammonia
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical from the tanker at City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Ammonium Hydroxide 19% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in the per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.

11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.

12) All Ammonium Hydroxide 19% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Ammonium Hydroxide 19% shall be clean and free from contaminating material.

**FOB Destination Delivery Point Locations:**

<b>City of Corona Facility Delivery Points</b>	<b>Storage Capacity</b>
Temescal Desalter 745 Public Safety Way Corona, CA 92878	2,900 gallons
Lester Water Treatment Plant 2970 Rimpau Avenue Corona, CA 92881	4,900 gallons
Sierra Del Oro Water Treatment Plant 2940 Wilderness Circle Corona, CA 92882	4,050 gallons
Well 11 1865 Pomona Road Corona, CA 92882	1,250 gallons
Glen Ivy Reservoir 8965 Glen Ivy Road Corona, CA 92883	1,000 gallons
Promenade Connection 2442 Promenade Avenue Corona, CA 92879	550 gallons
Manglar Blending Station 2208 Manglar Avenue Corona, CA 92882	2,000 gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.



### **Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, insurance, overhead and profit, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk tanker truck load deliveries. For the purpose of attaining better pricing, the City reserves the right to combine multiple facility requirements into a single order to meet the minimum 2,000 to 5,000 gallons order requirement. Bidders would then be required to split deliveries among any combination of the seven (7) delivery point locations stated in these specifications for that order.

Bid prices shall remain effective and in force for the entire Initial Purchase Order Period, and Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form; including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

### **Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

### **Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may also be pre-shipped in advance of the bid due date and time. These samples must be representative of the Ammonium Hydroxide 19% to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona, CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the

samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **CORROSION AND SCALE INHIBITOR**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Corrosion and Scale Inhibitor on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 18,000 gallons. The Corrosion and Scale Inhibitor is to be delivered in bulk totes and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of two (2) 275 gallon totes.

### **Chemical Specifications:**

The Corrosion and Scale Inhibitor supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Corrosion and Scale Control Inhibitor, most current version
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be able to suspend Corrosion and Scale in potable water with a Langlier range of 2 to 1
- 4) Be neat fed
- 5) Not require any special activation or handling procedures
- 6) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead

stationery, attesting to the affidavit's validity. NSF certification for the chemical bid must be current on the date of bid submittal.

- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet

**Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Corrosion and Scale Inhibitor to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of chemical(s)
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical at City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by truck in bulk quantities to the delivery point listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling City's (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Corrosion and Scale Inhibitor and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in the per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.

- 12) All Corrosion and Scale Inhibitor shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks, trailers or totes shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Corrosion and Scale Inhibitor shall be clean and free from contaminating material.

**FOB Destination Delivery Point Location:**

Temescal Desalter  
745 Public Safety Way  
Corona, CA 92878

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

### **Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may also be pre-shipped in advance of the bid due date and time. These samples must be representative of the Corrosion and Scale Inhibitor to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **CATIONIC POLYMER AND ANIONIC POLYMER FOR WASTEWATER TREATMENT**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Cationic Polymer for use in the Centrifuge and Gravity Belt Thickener (GBT). Anionic polymer is needed for use in the primary clarification process. All polymers will be used and delivered to City of Corona Water Reclamation Facility #1 on an as needed basis. Polymers will be used similarly to the flows stated for bidder's calculations in Section IV Price Form. The polymers to be delivered must meet the requirements and specifications provided herein.

### **Estimated Quantities Used Per Year:**

#### **Cationic Polymer**

- 25,000 gallons for centrifuge dewatering
- 15,000 gallons for sludge thickening (Gravity Belt Thickener)
- Approximately 40,000 gallons total

#### **Anionic Polymer**

- Approximately 15,000 gallons total for Advanced Primary Treatment

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an "as needed" basis, and the successful bidder(s) shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. At City's discretion at time of order, polymers shall be delivered in pail and bulk storage totes with a capacity of 5 to 275 gallons or 4,000 - 5,000 gallons bulk load volume depending on polymer haulers' full load capability.

### **Bid Evaluation:**

Bids for Cationic and Anionic Polymers will be evaluated for:

1. Results of dosing required
2. Bid Responsiveness
3. Cationic Polymer: Cost Effectiveness based on the amount of polymer required for minimum desired results.
4. Anionic Polymer: Best test results (coagulation / dosage ratio) and lowest per pound bid price



### Product Specifications:

1. The polymers to be supplied must be available commercially and not experimental grades. All polymers shall:
  - a. Be stable, non-separating liquid polymer;
  - b. Be a polymer product requiring no special activation or special handling procedures;
  - c. Be compatible with plant equipment and procedures;
  - d. Not cause foaming in the filtrate system;
  - e. Have a minimum three-month shelf life from date of delivery;
  - f. Shelf life and storage requirements must be compatible with outdoor Corona climate. Temperatures in Corona can reach as high as 110° F in the summer and as low as 30° F in the winter.
  - g. Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City's facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

2. Cationic Polymer:

This polymer is used for secondary solids settling, sludge thickening and sludge conditioning for dewatering in a Centrifuge

3. Anionic Polymer:

This polymer is used for primary solids settling.

### Manufacturer's Information:

Bidders shall submit the following manufacturer's information with their bid. Bidder's failure to provide appropriate manufacturer's documentation with their bid may result in rejection of the bid as non-responsive.

- 1) A representative Certificate of Analysis of the polymers to be supplied as prepared by a certified independent, third party laboratory. Unless specifically requested by City, bidders need only to provide third party certificate of analysis with the initial sample. Upon award of bid, the successful bidder may then provide certificate of analysis from their own labs or QA/QC staff
- 2) Name and address of the polymer(s) manufacturer(s)
- 3) Product Bulletin and Typical Properties
- 4) Current Safety Data Sheet

### Certificate of Analysis:

Bidders shall submit with their bid a representative Certificate of Analysis for the Cationic and Anionic Polymer products proposed to be supplied by bidder, as prepared by a certified independent, third party laboratory. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive. Bidders are responsible for finding their own third-party independent laboratory. The City only requires independent third-party test results at time of bid submission. Upon award of bid, the successful bidder(s) may provide Certificates of Analysis prepared by their own laboratory or QA/QC staff.

The successful Bidder shall provide Certificates of Analysis to City staff at time of delivery to each delivery point, for the specific batch or lot of polymers delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of polymers delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All polymers furnished must be satisfactory to the City and shall conform to all specifications contained herein.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the supplier's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the supplier refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

### Delivery:

FOB Destination, Corona, CA.

At City's discretion at time of order, supplier shall deliver the Cationic and Anionic Polymers in bulk storage totes with a capacity of 5 to 275 gallons or 4,000 - 5,000 gallons bulk load quantities volume depends on haulers full load capability to the facility delivery points listed below. All deliveries shall conform to the following:

- 1) Tote deliveries shall be made within three (3) working days after placement of order. Bulk load deliveries shall be made within 10 working days after placement of order.
- 2) Deliveries shall be made Monday through Sunday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the supplier or their agent shall provide the City with a minimum one (1) hour notice by calling City's Representative at 951-830-2396; no exceptions.
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading ("Shipping Tickets"), identifying the Cationic and Anionic Polymers and quantity for each delivery location, must be signed by the driver. The Shipping Tickets must also be signed by the on-site City personnel at time of delivery and a copy of the Shipping ticket provided to him or her. No delivery can be made without a City Representative on site.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of Cationic and Anionic Polymer delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 9) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 10) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 11) All Cationic and Anionic Polymers shall be delivered in accordance with the Department of Transportation regulations.

Delivery Locations:

Water Reclamation Facility No. 1  
2205 Railroad Street  
Corona, CA 92880

### Quality Assurance:

Delivery truck tanks or trailers and/or bulk delivery storage totes shall be clean and free of residue from previous loads which might contaminate the chemical. It is the supplier's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, discharge hoses, and bulk storage totes used for delivery of the Cationic and Anionic Polymers shall be clean and free from contaminating material.

Delivery drivers shall be prepared to draw a grab sample of the chemical(s) at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

Any product not meeting State and Federal standards, or the specifications outlined in this bid request, will be returned at no cost to the City.

### Rejection of Deliveries:

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty- eight (48) hours' notice of the unacceptable delivery.

### Container Requirements:

Cationic Polymer must be delivered in a bulk storage tote with a capacity of 5 to 275 gallons or 4,000 - 5,000 gallons bulk load volume depends on haulers full load capacity, at City's discretion at time of order.

Anionic Polymer must be delivered in a bulk storage tote with a capacity of 5 to 275 gallons or 4,000 - 5,000 gallons bulk load volume depends on haulers full load capacity, at City's discretion at time of order.

### Pricing:

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical(s) to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes (including California sales tax).

Bid prices should be based on bulk load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

## **Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may also be pre-shipped in advance of the bid due date and time. These samples must be representative of the Corrosion and Scale Inhibitor to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **CATIONIC AND ANIONIC POLYMER FOR POTABLE WATER TREATMENT**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Cationic Polymers for use in water treatment at two City of Corona Water Treatment Facilities on an as needed basis and Anionic polymer for use in the gravity thickeners at Lester Treatment Facility. Polymers will be used similarly to the flows stated for bidder's calculations in Section IV Price Form. The polymers to be delivered must meet the requirements and specifications provided herein.

Estimated Quantities used per year:

#### **Anionic Polymer**

- Approximately 12,500 gallons total at Temescal Desalter

#### **Cationic Polymer**

- 10,100 gallons at Lester WTP
- 3,950 gallons at SDO WTP
- Approximately 14,500 gallons total

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an "as needed" basis, and the successful bidder(s) shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. At City's discretion at time of order, polymers shall be delivered in bulk load quantities of 500 to 2,000 gallons or 2,000 to 5,000 gallons.

### **Bid Evaluation:**

Bids for Cationic Polymers will be evaluated for:

1. Results of dosing required
2. Bid Responsiveness
3. Cost Effectiveness based on the amount of polymer required for minimum desired results.

### **Product Specifications:**

4. The polymers to be supplied must be available commercially and not experimental grades. All polymers shall:
  - a. Be stable, non-separating liquid polymer;
  - b. Be a polymer product requiring no special activation or special handling procedures;

- c. Be compatible with plant equipment and procedures;
  - d. Not cause foaming in the filtrate system;
  - e. Have a minimum three-month shelf life from date of delivery;
  - f. Shelf life and storage requirements must be compatible with outdoor Corona climate; Temperatures in Corona can reach as high as 110° F in the summer and as low as 30° F in the winter.
  - g. Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City's facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.
5. Cationic Polymer: This polymer is used for potable water treatment.
6. Anionic Polymer: This polymer is used for gravity thickening.

Manufacturer's Information:

Bidders shall submit the following manufacturer's information with their bid. Bidder's failure to provide appropriate manufacturer's documentation with their bid may result in rejection of the bid as non-responsive.

- 1) A representative Certificate of Analysis of the polymers to be supplied as prepared by a certified independent, third party laboratory. Unless specifically requested by City, bidders need only to provide third party certificate of analysis with the initial sample. Upon award of bid, the successful bidder may then provide certificate of analysis from their own labs or QA/QC staff
- 2) Name and address of the polymer(s) manufacturer(s)
- 3) Product Bulletin and Typical Properties
- 4) Current Safety Data Sheet

Certificate of Analysis:

Bidders shall submit with their bid a representative Certificate of Analysis for the Cationic Polymer products to be supplied, as prepared by a certified independent, third party laboratory. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive. Bidders are responsible for finding their own third-party independent laboratory. The City only requires independent third-party test results at time of bid submission. Upon award of bid, the successful bidder(s) may provide Certificates of Analysis prepared by their own laboratory or QA/QC staff.

The successful Bidder shall also provide Certificates of Analysis to City staff at time of delivery to each delivery point, for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name

- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of polymers delivered and the quality specifications provided herein. Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All polymers furnished must be satisfactory to the City and shall conform to all specifications contained herein.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the supplier's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the supplier refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

**Delivery:**

FOB Destination, Corona, CA.

At City's discretion at time of order, supplier shall deliver Cationic Polymers in bulk load quantities of 500 to 2,000 gallons or 2,000 to 5,000 gallons, to the facility delivery points listed below. All deliveries shall conform to the following:

- 1) Tote deliveries shall be made within three (3) working days after placement of order. Bulk load deliveries shall be made within 10 working days after placement of order.
- 2) Deliveries shall be made Monday through Sunday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the supplier or their agent shall provide the City with a minimum one (1) hour notice by calling City's Representative at 951-317-4611; no exceptions.
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading ("Shipping Tickets"), identifying the Cationic Polymers and quantity for each delivery location, must be signed by the driver. Anionic polymer must be shipped to the City of Corona Warehouse. The Shipping Tickets must also be signed by the on-site City



personnel at time of delivery and a copy of the Shipping ticket provided to him or her. No delivery can be made without a City Representative on site.

- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of Cationic Polymer delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 9) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 10) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 11) Cationic and Anionic Polymers shall be delivered in accordance with the Department of Transportation regulations.
- 12) At the City's discretion, stops at multiple locations may be required in order to comply with 2,000 to 5,000 gallon bulk load pricing.

Delivery Locations:

Lester Water Treatment Facility  
2970 Rimpau Ave.  
Corona, CA 92881

Sierra Del Oro (SDO) Water Treatment Facility  
2940 Wilderness Circle  
Corona, CA 92882

Quality Assurance:

Delivery truck tanks or trailers and/or bulk delivery storage totes shall be clean and free of residue from previous loads which might contaminate the chemical. It is the supplier's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, discharge hoses, and bulk storage totes used for delivery of the Cationic Polymers shall be clean and free from contaminating material.

Delivery drivers shall be prepared to draw a grab sample of the chemical(s) at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

Any product not meeting State and Federal standards, or the specifications outlined in this bid request, will be returned at no cost to the City.

#### **Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty- eight (48) hours' notice of the unacceptable delivery.

#### **Container Requirements:**

Cationic Polymer must be delivered in bulk load quantities of 500 to 2,000 gallons or 2,000 to 5,000 gallons, at City's discretion at time of order. Anionic polymer are delivered in 5 gallon totes to the City of Corona Warehouse.

#### **Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical(s) to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes (including California sales tax).

Bid prices should be based on bulk load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

#### **Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may also be pre-shipped in advance of the bid due date and time. These samples must be representative of the Corrosion and Scale Inhibitor to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **SODIUM HYDROXIDE (NaOH) 25%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Sodium Hydroxide 25% on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 30,000 gallons. The Sodium Hydroxide 25% is to be delivered in bulk tanker truck loads and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 2,000 gallons.

### **Chemical Specifications:**

The Sodium Hydroxide 25% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Sodium Hydroxide 25%, most current version
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 4) Not require any special activation or handling procedures
- 5) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit’s validity. NSF certification for the chemical bid must be current on the date of bid submittal.

- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet

**Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Sodium Hydroxide 25% to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of sodium hydroxide
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical

will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Sodium Hydroxide 25% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in the per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.

- 12) All Sodium Hydroxide 25% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Sodium Hydroxide 25% shall be clean and free from contaminating material.

**FOB Destination Delivery Point Location:**

<b>City of Corona Facility Delivery Point</b>	<b>Storage Capacity</b>
Temescal Desalter 745 Public Safety Way Corona, CA 92878	6,100 gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk tanker truck load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for

the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

**Bid Samples:**

Bidder is required to submit and the City must receive duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Sodium Hydroxide 25% to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona, CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.



## **SULFURIC ACID (H<sub>2</sub>SO<sub>4</sub>) 93%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Sulfuric Acid 93% on an as needed basis for use in treating potable water. The estimated annual requirement (“Estimated Quantity”) is approximately 90,000 gallons. The Sulfuric Acid 93% is to be delivered in bulk truck loads and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of 3,000 gallons.

### **Chemical Specifications:**

The Sulfuric Acid 93% supplied by Bidder shall:

- 1) Conform to American Water Works Association’s (AWWA) Standard for Sulfuric Acid 93%, most current version
- 2) Be certified by an accredited certification organization in accordance with the most current American National Standards Institute/National Science Foundation Standard 60 (ANSI/NSF Standard 60) Drinking Water Treatment Chemicals – Health Effects
- 3) Be 93% low iron, RO grade
- 4) Not require any special activation or handling procedures
- 5) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer’s Information:**

All chemicals shall conform to the appropriate AWWA Standard for the bulk chemical and shall be tested and certified as meeting ANSI/NSF Standard 60 and these specifications. The NSF certification for the chemical bid must be current on the date of bid submittal.

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) An affidavit of compliance to the appropriate AWWA Standard and ANSI/NSF standard that the chemical complies with all applicable requirements and specifications provided herein. Bidders shall also include a statement by the chemical manufacturer, signed by an authorized representative on letterhead stationery, attesting to the affidavit’s validity. NSF certification for the chemical bid must be current on the date of bid submittal.

- 2) A representative Certificate of Analysis of the chemical to be supplied
- 3) Name and address of the chemical manufacturer
- 4) Product Bulletin and Typical Properties
- 5) Current Safety Data Sheet

**Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Sulfuric Acid 93% to be supplied. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis at time of delivery to the City and to each delivery point for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID
- 5) Specific gravity at 60 degrees F
- 6) Percent (%) of chemical(s)
- 7) pH
- 8) Appearance

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein. The quality of the chemical will be determined from the analysis of a grab sample collected upon arrival at the point of delivery.

Delivery drivers shall be prepared to draw a grab sample of the chemical at City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical

will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

It is the responsibility of the successful Bidder to immediately notify the City (within 24 hours from the time of verbal or written notification) that NSF certification has been revoked or lapsed. Loss of NSF certification shall constitute sufficient cause for immediate termination of the contract.

**Delivery:**

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery point listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Sunday through Saturday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling (951) 317-4611; **no exceptions.**
- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Sulfuric Acid 93% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in the per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.

- 12) All Sulfuric Acid 93% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Sulfuric Acid 93% shall be clean and free from contaminating material.

**FOB Destination Delivery Point Location:**

<b>City of Corona Facility Delivery Point</b>	<b>Storage Capacity</b>
Temescal Desalter 745 Public Safety Way Corona, CA 92878	12,000 gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes except sales tax.

Bid prices should be based on bulk truck load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

### **Taxes:**

Bid prices are to be quoted exclusive of California sales tax. Pursuant to Sales and Use Tax Law, water treatment facilities are entitled to submit Resale Certificates to the California State Board of Equalization which exempt the City's utility from paying sales tax on any chemical purchased for the expressed use of producing a consumable water product. City will provide the successful Bidder with the appropriate documentation.

### **Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Sulfuric Acid 93% to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive. All pre-shipped samples shall be sent to:

City of Corona Warehouse  
Attention: NIB # 21-082ca Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona, CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. 21-082CA and the chemical name.** The Certificate of Analysis shall include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **FERRIC CHLORIDE (FeCl<sub>3</sub>) 15%-40%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Ferric Chloride, on an as needed basis, which will be used to reduce hydrogen sulfide concentrations to meet AQMD permit regulations at its Water Reclamation Facility No. 1. The estimated annual requirement (“Estimated Quantity”) is approximately 55,000 gallons. The Ferric Chloride is to be delivered in bulk tanker truck loads and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an “as needed” basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of full tanker loads of 4,000 to 5,000 gallons depending on the hauler’s full load capability.

### **Chemical Specifications:**

The Ferric Chloride supplied by Bidder shall:

- 1) Be 15%-40% concentrate, commercial grade
- 2) Not require any special activation or handling procedures
- 3) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City’s facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer’s Information:**

Bidders shall submit the following manufacturer’s information with their bid. Bidder’s failure to provide appropriate manufacturer’s documentation with their bid may result in rejection of the bid as non-responsive.

- 1) A representative Certificate of Analysis of the chemical to be supplied as prepared by a certified independent, third party laboratory.
- 2) Name and address of the chemical manufacturer
- 3) Product Bulletin and Typical Properties
- 4) Current Safety Data Sheet

### **Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Ferric Chloride to be supplied, as prepared by a certified independent, third party laboratory. Bidder’s failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis from a certified independent, third party laboratory, at time of delivery to the City and to each delivery point, for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

**Delivery:**

FOB Destination, Corona, CA.

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery point listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Monday through Sunday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall provide the City with a minimum one (1) hour notice by calling City's 951-830-2396 no exceptions.
- 3) No delivery can be made without a City representative on site.

- 4) Dated delivery bills of lading, identifying the Ferric Chloride and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 12) All Ferric Chloride shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Ferric Chloride shall be clean and free from contaminating material.

Delivery drivers shall be prepared to draw a grab sample of the chemical at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.



**Delivery Location:**

Water Reclamation Facility No. 1  
2205 Railroad Street  
Corona, CA 92880

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes (excluding California sales tax).

Bid prices should be based on bulk tanker truck load deliveries and shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Ferric Chloride to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive.

City of Corona Warehouse  
Attention: NIB # 21-082CA Potable Water & Wastewater Treatment Chemicals  
770 Public Safety Way  
Corona. CA 92878

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. DWP NIB 21-082CA and the chemical name.** The Certificate of Analysis shall be obtained from a certified independent, third party laboratory, and include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory

to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **SODIUM BISULFITE (NaHSO<sub>3</sub>) 25%**

### **General:**

The City is seeking sealed bids for the purchase and delivery of Sodium Bisulfite 25% Solution on an as needed basis for use in treating wastewater. The estimated annual requirement ("Estimated Quantity") is approximately 50,000 gallons. The Sodium Bisulfite 25% is to be delivered in bulk tanker truck loads One facility within the City and must meet the requirements and specifications provided herein.

### **Quantity:**

The Estimated Quantity is not a guarantee of actual usage as quantities may vary depending upon actual operating conditions and demand. Orders for delivery will be placed on an "as needed" basis, and the successful bidder shall deliver the required amounts, whether greater or smaller than the Estimated Quantity. Deliveries will be made in minimum shipments of full tanker loads of 4,000 to 5,000 gallons depending on the hauler's full load capabilities to one location.

### **Chemical Specifications:**

The Sodium Bisulfite 25% supplied by Bidder shall:

- 1) Be liquid form
- 2) Not require any special activation or handling procedures
- 3) Be free from suspended matter or sediment or other contaminating substances which could interfere with the normal operation of City's facilities by causing blockage or clogging of feed lines, valves, strainers, measuring devices, etc.

### **Manufacturer's Information:**

Bidders shall submit the following manufacturer's information with their bid. Bidder's failure to provide appropriate manufacturer's documentation with their bid may result in rejection of the bid as non-responsive.

- 1) A representative Certificate of Analysis of the chemical to be supplied as prepared by a certified independent, third party laboratory.
- 2) Name and address of the chemical manufacturer
- 3) Product Bulletin and Typical Properties
- 4) Current Safety Data Sheet (SDS)

### **Certificate of Analysis:**

Bidders shall submit with their bid a representative Certificate of Analysis for the Sodium Bisulfate 25% to be supplied, as prepared by a certified independent, third party laboratory. Bidder's failure to provide a representative Certificate of Analysis with their bid may result in rejection of the bid as non-responsive.

The successful Bidder shall also provide Certificates of Analysis from a certified independent, third party laboratory, at time of delivery to the City and to each delivery point, for the specific batch or lot of chemical delivered.

All Certificates of Analysis shall include the following:

- 1) Product name
- 2) Date of manufacture
- 3) Date of delivery
- 4) Shipper ID

No deliveries will be accepted by the City unless accompanied by said Certificate of Analysis for the specific batch or lot of chemical delivered and the quality specifications provided herein.

Bidders shall include the cost of the Certificate of Analysis in their unit price on the Bid/Price Form.

**Conformance To Specifications After Award:** All chemicals furnished must be satisfactory to the City and shall conform to all specifications contained herein.

At City's discretion, random samples may be evaluated and analyzed by an outside laboratory for compliance with these specifications, and/or the City employee supervising the delivery may inspect or perform simple tests on the chemical before it is accepted for offloading at the point of delivery.

If deficiencies are detected, the unsatisfactory chemical will be rejected, and it shall be the successful Bidder's responsibility to remove and replace any rejected chemical within 48 hours of receipt of notice. If the successful Bidder refuses or neglects to replace the rejected chemical, the chemical will be removed by the City and the cost for removal and disposal shall be billed to the successful Bidder; it may also result in immediate termination of the contract. No charges will be made for any delivered chemical that has been rejected by the City.

### **Delivery:**

FOB Destination, Corona, CA.

Bidder shall deliver the chemical by tanker truck in bulk quantities to the facility delivery points listed below, and all deliveries shall conform to the following:

- 1) Deliveries shall be made within three (3) working days after placement of order.
- 2) Deliveries shall be made Monday through Sunday (including holidays) between 0800 and 1700 hours. Prior to the actual delivery, the successful Bidder or their agent shall

provide the City with a minimum one (1) hour notice by calling 951-830-2396; no exceptions.

- 3) No delivery can be made without a City representative on site.
- 4) Dated delivery bills of lading, identifying the Sodium Bisulfite 25% and quantity for each delivery location, must be signed by and provided to a City representative at time of delivery.
- 5) All bulk shipments shall include a weight ticket from a certified weigh station in addition to a shipping manifest. Bidder shall include the cost of the weight ticket in their per unit cost.
- 6) All shipments shall include the most current Safety Data Sheet (SDS) for the specific batch or lot of chemical delivered.
- 7) All shipments shall include a Certificate of Analysis for the specific batch or lot of chemical delivered.
- 8) All shipments shall include an Affidavit of Compliance for the specific batch or lot of chemical delivered.
- 9) Delivery drivers shall be properly licensed by the California Department of Motor Vehicles.
- 10) While performing deliveries, drivers shall supply and properly don personal protective equipment (PPE) including, but not limited to: hard hat, safety vest, safety glasses, steel-toed shoes, and gloves.
- 11) While performing deliveries, drivers shall supply and place (2) chock blocks on parked vehicles.
- 12) All Sodium Bisulfite 25% shall be delivered in accordance with the Department of Transportation regulations.

Delivery truck tanks or trailers shall be clean and free of residue from previous loads which might contaminate the chemical. It is the successful Bidder's responsibility to verify the cleanliness of the transporting equipment before loading. All appurtenant valves, pumps, and discharge hoses used for delivery of the Sodium Bisulfite 25% shall be clean and free from contaminating material.

Delivery drivers shall be prepared to draw a grab sample of the chemical at the City's request and in the presence of the City employee supervising the delivery. The sample shall be placed in a container provided by City, which shall include a label to be completed by the driver collecting the sample and given to the City.

**Delivery Point Location:**

<b>City of Corona Facility Delivery Points</b>	<b>Storage Capacity</b>
Water Reclamation Facility 1 2205 Railroad Street Corona, CA 92880	6,000 gallons

**Rejection of Deliveries:**

The City reserves the right to reject any chemical delivery which has been contaminated or does not meet the quality, regulatory, safety, or delivery requirements and return said delivery to the successful Bidder at no cost to the City. Any shipment not meeting these specifications shall be redelivered by Bidder at Bidder's sole cost and expense within forty-eight (48) hours' notice of the unacceptable delivery.

**Pricing:**

Bidders shall include in their unit bid prices all costs incidental to providing, delivering and offloading the chemical to the City's designated delivery points, including but not limited to materials, labor, equipment, apparatus, certification fees, overhead and profit, insurance, delivery and transportation costs, and all applicable taxes (excluding California sales tax).

Bid prices should be based on bulk tanker truck load deliveries with minimum 4,000 - 5,000 gallon order requirement. Based on haulers full load capability.

Bid prices shall remain effective and in force for the entire Initial Purchase Order Period. Bidders must consider any anticipated cost fluctuations when preparing their bid.

The successful Bidder shall not invoice for any costs not included on the Bid/Price Form, including but not limited to fuel surcharges or other transportation costs between the supplier and the final delivery points; therefore, Bidders must insure that all costs and/or surcharges are included in their unit bid price even though the Bid/Price Form may not specifically list them.

**Bid Samples**

Bidder is required to submit duplicate one (1) liter bid samples in tightly capped glass containers by the bid due date and time specified herein. Bid samples may be pre-shipped in advance of the bid due date and time. These samples must be representative of the Sodium Bisulfite 25% to be supplied and must be accompanied by the appropriate Certificate of Analysis and current SDS. The Bid Samples, Certificates of Analysis, and SDS shall be delivered, at no cost to City. Failure to provide the Bid Samples, Certificates of Analysis and SDS may result in the Bidder's bid being deemed nonresponsive.

**Each sample shall be appropriately labeled and include the Bidder's name and Notice Inviting Bids No. DWP NIB 21-082CA and the chemical name.** The Certificate of Analysis shall be obtained from a certified independent, third party laboratory, and include all information stated in the Certificate of Analysis section above. Prior to award, the City shall verify, by means satisfactory

to itself, bid samples submitted conform to these specifications. Failure of the samples to meet any one of the required specifications provided herein shall be sufficient grounds for rejection of the bid.

## **SECTION IV**

### **BID CONTENT AND FORMS**

#### **A. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a bid, Bidder warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this NIB are currently held by bidder and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification shall be included in bidder's response. **Bids lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

#### **B. BID / PRICE FORMS**

Bidder shall complete the Bid / Price Form in its entirety, including a binding signature, and upload into the PlanetBids electronic bidding system.

Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the required services or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

All prices shall be quoted F.O.B. destination, Corona, California. All shipping, handling and freight charges, if applicable, must be included in bidder's bid amount.

#### **C. MODIFICATIONS OF BIDS**

Each Bidder shall submit its Bid in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Bid may render it non-responsive and may cause its rejection. Bidders shall neither delete, modify, nor supplement the printed matter on the Bid Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered, unless the Notice Inviting Bids authorizes the submission of electronic bids and modifications thereto and such modifications are made in accordance with the Notice Inviting Bids.



PARTY SUBMITTING BID: \_\_\_\_\_

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY BIDDER AND SUBMITTED WITH BID)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [bidder], the party making the foregoing bid.

The bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The bid is genuine and not collusive or a sham. The bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid. The bidder has not directly or indirectly colluded, conspired, plotted, or agreed with any bidder or anyone else to put in a sham bid, or to refrain from bidding. The bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder. All statements contained in the bid are true. The bidder has not, directly or indirectly, submitted his or her bid price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, proposal depository, or to any member or agent thereof to effectuate a collusive or sham bid, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a bidder that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the bidder.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_  
[date], at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Bid

## ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

(To be Completed and Submitted with Bid)

All applicable insurance requirements to this NIB are identified with a 'YES' under the "Applicable to Vendor" column on the NIB Insurance Requirements Check List.

Bidder acknowledges that we have reviewed the City of Corona Insurance Requirements Check List for NIB 21-082CA and understand that we will be able to provide the insurance coverage required. A sample certificate of insurance is enclosed for the City's preliminary review. Any deductibles or self-insured retention amounts have been specified below for City's review and approval.

Deductible Amounts/Self-insured Retentions:

---

---

---

---

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

**CITY OF CORONA**  
**NIB NO. 21-082CA INSURANCE REQUIREMENTS CHECK LIST**  
**(To be Completed and Submitted with Bid)**

All applicable insurance requirements are identified with a ‘YES’ under the “Applicable to Vendor” column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$2M occurrence			YES
Can your company provide Automobile Liability - bodily injury and property damage - \$2M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
<b>Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$2 million/\$4 million with a primary Additional Insured endorsement?</b>			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

**Insurance Endorsements**  
**General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

### Contractor's Pollution Liability/Transportation Pollution Liability

	YES	NO	Applicable to Vendor
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including, but not limited to, restoration costs, and coverage for the removal, repair, handling, and disposal of asbestos and/or lead containing materials, if applicable?			YES
Will your company provide an endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute?			YES
Does your coverage include contractual liability and non-owned disposal sites?			
Will you provide an Automobile Liability policy endorsement or Contractor's Pollution Liability endorsement that includes Transportation Pollution Liability coverage?			
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any **"NO"** responses.

---

---

---

---

---

---

---

## INFORMATION REQUIRED OF BIDDERS

### To Be Completed and Returned With Bid

\*\*\*Indicate not applicable ("N/A") where appropriate\*\*\*

1. Name of Bidder: \_\_\_\_\_
  2. Type, if Entity: \_\_\_\_\_
  3. Bidder Address: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- | Email Address   | Telephone Number |
|---|------------------|
| 4. How many years has Bidder's organization been in business as a chemical supplier/manufacturer? _____ |                  |
| 5. How many years has Bidder's organization been in business under its present name? _____              |                  |
| 5.1 Under what other or former names has Bidder's organization operated? _____                          |                  |
| 6. If Bidder's organization is a corporation, answer the following:                                     |                  |
| 6.1 Date of Incorporation:  | _____            |
| 6.2 State of Incorporation:   | _____            |
| 6.3 President's Name:   | _____            |
| 6.4 Vice President's Name(s):   | _____<br>_____   |
| 6.5 Secretary's Name:   | _____            |
| 6.6 Treasurer's Name:   | _____            |

7. If an individual or a partnership, answer the following:
- 7.1 Date of Organization: \_\_\_\_\_
- 7.2 Name and address of all partners (state whether general or limited partnership):
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
8. If other than a corporation or partnership, describe organization and name principals:
- \_\_\_\_\_
- \_\_\_\_\_
9. List other states in which Bidder's organization is legally qualified to do business.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
11. Has Bidder ever failed to complete any contract awarded to it? If so, note when, where, and why:
- \_\_\_\_\_
- \_\_\_\_\_

13. Within the last five years, has any officer or partner of Bidder's organization ever been an officer or partner of another organization when it failed to complete a contract? If so, attach a separate sheet of explanation:

---

---

---

---

12. Have you been or are you on any federal list of debarred or suspended bidders? If yes, state the beginning and ending dates of the period of disbarment.

---

---

13. List Trade References:

---

---

---

---

14. List Bank References (Bank and Branch Address):

---

---

---

---



## BIDDER'S STATEMENT OF PAST CONTRACT DISQUALIFICATIONS

Bidder is required to state any and all instances of being disqualified, removed, or otherwise prevented from submitting a bid, or completing any contracts for similar services as detailed in NIB No. 21-082CA.

1. Have you ever been disqualified from any contract? (circle one)      Yes      No

2. If yes, explain the circumstances:

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

## INDUSTRIAL SAFETY RECORD

(To be Completed and Submitted with Bid)

Number of Serious OSHA Violations within the last two (2) years or any Willful violations within the last five (5) years (must state zero if none):

\_\_\_ **Serious**    \_\_\_ **Willful**    \_\_\_ **Repeat**    \_\_\_ **Other**    \_\_\_ **Unclass**    \_\_\_ **Total**

\_\_\_\_\_  
Firm Name (Print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name and Title (Print)

\_\_\_\_\_  
Date

## Vendor Performance Evaluation Form

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P. O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
Weekly <input type="radio"/>	Monthly <input type="radio"/>	Quarterly <input type="radio"/>	Annually <input type="radio"/>	Other <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning. <input style="float: right;" type="radio"/>		Professional Service - unique, technical, and/or infrequent functions performed by an independent consultant/vendor qualified by education, experience, and/or technical ability to provide services. <input style="float: right;" type="radio"/>		
Products - a supplier of a tangible object that is manufactured or refined for sale. <input style="float: right;" type="radio"/>		Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <input style="float: right;" type="radio"/>		
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> <li>6. <i>Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.</i></li> </ol>				

7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

**EXAMPLE:**

OVERALL EVALUATION SCORE

4. 89

OVERALL EVALUATION RATING

EXCELLENT

## **ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM**

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

**LOCAL BIDDER PREFERENCE PROGRAM STATEMENT**  
**To Be Submitted with Bid**

This bid shall be subject to the City of Corona local bidder preference program. To qualify, bidders must be a “local business” with: (i) fixed facilities with one or more employees, which may include a sole proprietor, located at an address within City limits (a post office box alone is insufficient); and (ii) an appropriate City business license/permit. Bidders seeking to qualify for this local program shall provide supporting information and certify in writing that they meet the above requirements as part of the bid submittal.

A qualifying local business shall be entitled to a reduction of five percent (5%) in the tabulation of its bid for purposes of determining the lowest responsible bidder, unless otherwise prohibited by law.

The Local Program shall be applicable to only purchases of materials, supplies, and equipment as well as contracts for maintenance work and other general services projects, which are competitively bid and which involve an expenditure of two-hundred thousand dollars (\$200,000) or less. For recurring purchases, the Local Program shall be applicable only to the City’s first two- hundred thousand dollars (\$200,000) worth of such purchases for any fiscal year, as determined by city staff in its sole discretion.

The Local Program shall also establish a preference for the purchase of materials, supplies, and equipment, as well as contracts for maintenance work and other general services, which are competitively bid and which involve an expenditure of more than two-hundred thousand dollars (\$200,000). Such preference shall allow the City to take into consideration the net sales tax to be returned to the City as a result of an award to a qualifying Local Business in determining the lowest responsive and responsible bidder. The net sales tax shall be calculated based on the applicable bid price provided by the bidder in accordance with the City’s purchasing policy.

Local Bidder Preference Qualifications: (Bidder–provide the following information)

\_\_\_\_\_  
Bidder’s Name

\_\_\_\_\_  
Bidder’s Address within City limits (a post office box does not qualify)

Bidder’s City of Corona Business License Number: \_\_\_\_\_

I hereby certify that I qualify for the City of Corona Local Bidder Preference Program.

\_\_\_\_\_  
Bidder’s Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Title

**EXPERIENCE STATEMENT**  
**To Be Completed and Submitted with Bid**

**List at least three municipal or other public utility/entity references for work of a similar nature performed by Bidder within the last two years.**

**Customer #1 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #2 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #3 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

**Customer #4 Name:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Position: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Customer Address: \_\_\_\_\_

Period of Performance: \_\_\_\_\_

Description of Services: \_\_\_\_\_

\_\_\_\_\_

Contract Amount: \$ \_\_\_\_\_

Bidder's Name \_\_\_\_\_

Signature \_\_\_\_\_

Print Name and Title \_\_\_\_\_



**SECTION V.**

**BID / PRICE FORM**

NOTICE INVITING BIDS: **NIB 21-082CA**

DESCRIPTION: **Potable Water & Wastewater Treatment Chemicals**

BIDDER'S NAME/ADDRESS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAME/TELEPHONE NO. OF  
AUTHORIZED REPRESENTATIVE \_\_\_\_\_  
\_\_\_\_\_

**ANNUAL PURCHASE ORDER**

The initial Purchase Order Period shall be effective on or about July 1, 2021 through June 30, 2022 with four (1) one year option renewal periods on an as-needed basis with no guarantee of usage for Potable Water & Wastewater Chemicals. Bid prices shall remain effective and in force for the entire Initial Purchase Order Period. Subsequent purchase order periods, if exercised by the City, are as follows:

- Option 1, if exercised, shall be effective July 1, 2022 through June 30, 2023
- Option 2, if exercised, shall be effective July 1, 2023 through June 30, 2024
- Option 3, if exercised, shall be effective July 1, 2024 through June 30, 2025
- Option 4, if exercised, shall be effective July 1, 2025 through June 30, 2026

Option year pricing shall be negotiated by the Parties prior to commencement of each additional one-year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.

**Bidders may submit bids for one or more bulk chemicals, but each bulk chemical must be bid individually and submitted in accordance with the Submission of Bids subsection in the Instructions to Bidders, Section II.E.**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one Bid unless in a sub-contractual relationship with respect to the Bids. **A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a Bid to the City as a primary bidder**

Provide Firm Fixed Price cost information in the spaces provided below for each chemical bid, and any other incidental or additional costs required to complete the specifications pursuant to Section III herein. In the event that bidder intends to bid zero dollar value for any item shown in the Bid/Price Form, bidder shall enter "zero" or "0" in the space provided for price or cost.

Unit prices shall include all costs, including California State sales tax where noted for each chemical stated herein, including but not limited to materials, supplies, labor, equipment, certification fees, delivery, transportation, mill assessments, and ancillary costs for performing under the scope and specifications of this NIB.

**1. SODIUM HYPOCHLORITE (NaOCl) 12.5%**

**Estimated Annual Quantity 1,000,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

2,000 – 4,999 gallon delivery	\$ _____
-------------------------------	----------

5,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**Optional Carrier Stop Charge for Split Delivery Points**

Charge for multiple delivery points combined in a single order to attain minimum 5,000 gallon delivered price. Carrier Stop Charge would apply only when deliveries are split and only to the individual delivery point location(s) not meeting the minimum 5,000 gallon order quantity.

\$ \_\_\_\_\_ per site not meeting minimum 2,000 gallon quantity

**2. ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 43.65% & 10% Acidified**

**Estimated Annual Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

4,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**3. ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 48.5%**

**Estimated Annual Quantity 15,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

4,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**4. AMMONIUM HYDROXIDE (NH<sub>4</sub>OH) 19%**

**Estimated Annual Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

250 – 1,999 gallon delivery	\$ _____
-----------------------------	----------

2,000 – 5,000 gallon delivery	\$ _____
-------------------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

Charge for multiple delivery points combined in a single order to attain minimum 2,000 gallon delivered price. Carrier Stop Charge would apply only when deliveries are split and only to the individual delivery point location(s) not meeting the minimum 2,000 gallon order quantity.

\$ \_\_\_\_\_ per site not meeting minimum 2,000 gallon quantity

**5. CORROSION AND SCALE INHIBITOR**

**Estimated Annual Quantity 18,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

275 gallon tote delivery	\$ _____
--------------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**6. CATIONIC POLYMER FOR WASTEWATER TREATMENT**

**Estimated Annual Quantity 40,000 Gallons**

Dose rate = \_\_\_\_\_gph\_\_\_\_\_

Pounds per day required for 24 hour operation= \_\_\_\_\_

Cost per pound \$ \_\_\_\_\_/lb

8.75% Sales Tax \$ \_\_\_\_\_/lb

**Total Price/lb.:** \$                   /lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**7. ANIONIC POLYMER FOR WASTEWATER TREATMENT**

**Estimated Annual Quantity 15,000 Gallons**

Dose rate = \_\_\_\_\_gph\_\_\_\_\_

Pounds per day required for 24 hour operation= \_\_\_\_\_

Cost per pound \$ \_\_\_\_\_/lb

8.75% Sales Tax \$ \_\_\_\_\_/lb

**Total Price/lb.:** \$                   /lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**8. CATIONIC POLYMER FOR WATER TREATMENT**

**Estimated Annual Quantity 14,500 Gallons**

	500 – 1,999 gal	2000 - 5000 gal
Dose rate = _____ ml/m _____		
Pounds per day required for 24 hour operation= _____		
Cost per pound	\$ _____ /lb	\$ _____ /lb
8.75% Sales Tax	\$ _____ /lb	\$ _____ /lb
<b>Total Price/lb.:</b>	<b>\$ _____ /lb</b>	<b>\$ _____ /lb</b>

Bidders shall enter their formula below for use by City in determining contract value:

---

**9. ANIONIC POLYMER FOR WATER TREATMENT**

**Estimated Annual Quantity 12,500 Gallons**

	500 – 1,999 gal	2000 - 5000 gal
Dose rate = _____ ml/m _____		
Pounds per day required for 24 hour operation= _____		
Cost per pound	\$ _____ /lb	\$ _____ /lb
8.75% Sales Tax	\$ _____ /lb	\$ _____ /lb
<b>Total Price/lb.:</b>	<b>\$ _____ /lb</b>	<b>\$ _____ /lb</b>

Bidders shall enter their formula below for use by City in determining contract value:

---

**10. SODIUM HYDROXIDE (NaOH) 25%**

**Estimated Quantity 30,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

2,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**11. SULFURIC ACID (H<sub>2</sub>SO<sub>4</sub>) 93%**

**Estimated Quantity 90,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

3,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**12. FERRIC CHLORIDE (FeCl<sub>3</sub>) 15%-40%**

**Estimated Quantity 55,000 Gallons**

Quantity	Delivered Price
4,000 gallon delivery	\$ _____ Per Gallon
5,000 gallon delivery	\$ _____ Per Gallon

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**13. SODIUM BISULFITE (NaHSO<sub>3</sub>)25%**

**Estimated Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
4,000-5,000 gallon delivery	\$ _____

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_



Please check your calculations before submitting your bid; the City will not be responsible for Bidder miscalculations.

With the exception of "Reason(s) for No Bid", all spaces in the Bid/Price Form shall be filled in by bidders. City reserves the right to reject as non-responsive any or all bids containing blank spaces.

**Bidder's Acknowledgement of his Understanding of the Terms and Conditions.** Signature below verifies that Bidder has read, understands, and agrees to the conditions contained herein and on all of the attachments and addenda.

Are there any other additional or incidental costs which will be required by your firm in order to meet the requirements of the Technical Specifications? Yes / No. (circle one). If you answered "Yes", please provide detail of said additional costs:

---

---

---

Please indicate any exceptions to or deviations from the NIB Requirements here.

---

---

Have you included in your bid all informational items and forms as requested? Yes / No. (circle one). If you answered "No", please explain:

---

---

---

This offer shall remain firm for 90 days from NIB close date.

Terms and conditions as set forth in this NIB apply to this bid.

Cash discount allowable \_\_\_\_\_% days; unless otherwise stated, payment terms are: Net 30 days.

In signing this bid, Bidder warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this NIB. Below, please indicate all Addenda to this NIB received by your firm, and the date said Addenda was/were received. It is the Bidder's responsibility to ensure that all addendums are received. Failure to acknowledge receipt of addenda may cause the City to reject the bid as non-responsive.

Verification of Addenda Received

Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____

AUTHORIZED SIGNATURE: \_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

COMPANY NAME & ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_



**CITY OF CORONA  
DEPARTMENT OF WATER & POWER**

---

June 17, 2021

**SUBJECT: Notice Inviting Bids No. 21-082CA**

**Addendum No. 1  
Potable Water & Wastewater Treatment Chemicals**

This Addendum No. 1 to the subject Notice Inviting Bids provides answers to questions received. Please note the bid due date and time have not changed.

All provisions of this Addendum No. 1 are hereby incorporated by reference into the subject NIB. Bidders shall account for all provisions pursuant to this Addendum No. 1 in submitting their bids. Each bidder shall acknowledge receipt of this Addendum in their Bid in the spaces provided therein.

**1. Questions & Answers:**

1.1 Question: “Who is the current anionic polymer vendor at Temescal Desalter Plant? What is the product name and current price? What application is the anionic polymer being used for at Temescal Desalter Plant?”

Response: Polymer is not used at the Temescal Desalter.

1.2 Question: “Who is your current cationic and anionic supplier for Water Reclamation and Water Treatment Facilities?”

Response: Water Reclamation:  
Anionic supplier – Solenis. Cationic supplier – Aqua Ben and Solenis

Potable Water Treatment:  
Cationic- Polydyne  
Anionic- Aqua Ben

1.3 Question: Please provide the product names for the cationic and anionic polymers.

Response: Water Reclamation:  
Belt Press / Centrifuge Cationic Polymer (Aqua Ben 750 L)  
GBT Cationic Polymer (Praestol K 275 FLX)

Primary Clarifier Anionic Polymer (Praestol A 3040 LTR)

Potable Water Treatment:

Pretreatment- C308P

Gravity thickener- Hydrofloc 534P

1.4 Question: “What are the dosages of cationic and anionic polymer?”

Response: Water Reclamation:

Anionic – 0.5 gallons per hour

GBT Cationic – ~1 gallons per hour

Centrifuge Cationic - ~5 gallons per hour

Potable Water Treatment:

Cationic- 0.75 mg/l

Anionic - .50 mg/l

1.5 Question: “In the Bid Evaluation section for Water Reclamation and Water Treatment Facilities, please provide what the minimum desired results are for cationic and anionic polymers.”

Response: Water Reclamation:

*Anionic polymer* – increased non-soluble BOD removal and non-soluble TSS removal from primary clarifiers to meet permit requirements.

*Cationic polymer* – to produce thickened sludge and increase solids capacity in digesters; to produce dewatered centrifuge cake of 18% TS or greater.

Potable Water Treatment:

0.05 NTU in post filter effluent

1.6 Question: “In the Bid/Price form section, will the dose rate come from the vendor jar test results?”

Response: They will be used as a guide for both water reclamation and potable water treatment. Flow rates may change based upon demand changes, and accordingly, the dose rates will also need to change from time to time to accommodate for process/flow changes.

1.7 Question: “Since the vendor is required to submit one (1) liter bid product samples, will the City conduct its own jar test to determine the dose rate that meet the minimum desired results?”

- Response: Bidders will conduct the jar testing.
- .
- 1.8 Question: “What type of applications are being used at the Temescal Desalter?”
- Response: Pre- sulfuric acid and threshold inhibitor  
Post- caustic soda, sodium hypochlorite, ammonium hydroxide and polyphosphate
- 1.9 Question: “Please provide the product names and current prices for the scale and corrosion inhibitors.”
- Response: Sulfuric Acid and Kinglee pretreat 0100 plus
- 1.10 Question: “Please provide the product names and current prices for the scale and corrosion inhibitors.”
- Response: Sulfuric Acid  
Threshold Inhibitor
- .
- 1.11 Question: “I just wanted to confirm the bid will be open to the public amid COVID-19 restriction. If not, how soon can we get the bid results after the bid opening?”
- Response: The bid will be open to the public amid COVID-19 restriction. Bidders will be notified by email with the bid results for each chemical. There will not be an official public bid opening as bids are to be submitted electronically through PlanetBids.
- 1.12 Question: “Who is the supplier and the current pricing for the cationic and anionic polymers? Can you provide the bid tabulation from the last bid?”
- Response: Water Reclamation:  
Belt Press / Centrifuge Cationic Polymer (750 L) – Aqua Ben  
\$63,500 per 5000-gallon bulk load.  
GBT Cationic Polymer (Praestol K 275 FLX) – Solenis / \$58,800  
per 5,000-gallon bulk load, \$3200 per 275-gallon tote.  
Primary Clarifier Anionic Polymer (Praestol A 3040 LTR) – Solenis /  
\$59,000 per 5000-gallon bulk load.

Potable Water Treatment:

Cationic polymer - Polydyne- \$0.76/lb

Anionic polymer - Aqua Ben- \$1.47/lb

1.13 Question: “Are one year option year renewals based on mutual agreement with Supplier and City?”

Response: Yes

1.14 Question: “Who are your suppliers and price for the following chemicals: Sodium Hypochlorite, Caustic Soda, Polymer, Aluminums Sulfate, Ammonium Hydroxide, Ferric and Polymer?”

Response: Sodium Hypochlorite – Olin / \$4000 per 5000-gallon bulk load.  
Caustic Soda – n/a  
Aluminum Sulfate – Aqua Ben / \$2715 per 275-gallon tote.  
Ammonium Hydroxide – N/A  
Ferric Chloride – California Water Technologies / \$5300 per 5000-gallon bulk load.  
Belt Press / Centrifuge Cationic Polymer (750 L) – Aqua Ben \$63,500 per 5000-gallon bulk load.  
GBT Cationic Polymer (Praestol K 275 FLX) – Solenis / \$58,800 per 5,000-gallon bulk load, \$3200 per 275-gallon tote.  
Primary Clarifier Anionic Polymer (Praestol A 3040 L) – Solenis / \$59,000 per 5000-gallon bulk load.  
Sodium Bisulfite – UNIVAR / \$4750 per 5000-gallon bulk load.  
Antiscalant- Kinglee Tech - \$9.45/gal  
Cationic polymer-Polydyne - \$0.76/lb  
Alum- Thatcher - \$0.13/lb  
Ammonia - Airgas - \$0.13/lb  
Sulfuric Acid - Univar - \$0.12/lb  
Caustic Soda - JCI Jones - \$1.48/gal  
Sodium Hypochlorite - Olin- \$1.02/gal

1.15 Question: “Can you post the last bid tab for this?”

Response: No. Please submit a Public Records Request through the Corona City Clerk’s office to receive this information.

1.16 Question: “May I get the current supplier/price for Aluminum Sulfate and Ferric Chloride, please?”

Response: Water Reclamation:  
Aluminum Sulfate – Aqua Ben / \$2715 per 275-gallon tote  
Ferric Chloride – California Water Technologies / ~\$5300 per 5000-gallon bulk load  
Potable Water Treatment:  
Aluminum Sulfate- Thatcher- \$0.13/lb

1.17 Question: “The Corrosion and Scale inhibitor references 2 tote deliveries. Are the totes dropped off at site or are they pumped off into a tank on site?”

Response: There is one delivery location, Temescal Desalter. The totes are dropped off at site.

1.18 Question: “Will there be a public opening? If yes, will this be available via conference call or a virtual meeting online?”

Response: No

1.19 Question: “Can you post the last bid tab for this?”

Response: No. Please submit a Public Records Request through the Corona City Clerk’s office to receive this information.

1.20 Question: “Who is supplying each product?”

Response: Sodium Hypochlorite – Olin / \$4000 per 5000-gallon bulk load.  
Caustic Soda – n/a  
Aluminum Sulfate – Aqua Ben / \$2715 per 275-gallon tote.  
Ammonium Hydroxide – N/A  
Ferric Chloride – California Water Technologies / \$5300 per 5000-gallon bulk load.  
Belt Press / Centrifuge Cationic Polymer (750 L) – Aqua Ben \$63,500 per 5000-gallon bulk load.  
GBT Cationic Polymer (Praestol K 275 FLX) – Solenis / \$58,800 per 5,000-gallon bulk load, \$3200 per 275-gallon tote.  
Primary Clarifier Anionic Polymer (Praestol A 3040 L) – Solenis / \$59,000 per 5000-gallon bulk load.  
Sodium Bisulfite – UNIVAR / \$4750 per 5000-gallon bulk load.  
Antiscalant- Kinglee Tech- \$9.45/gal  
Cationic polymer - Polydyne- \$0.76/lb  
Alum – Thatcher - \$0.13/lb

Ammonia - Airgas- \$0.13/lb  
Sulfuric Acid – Univar - \$0.12/lb  
Caustic Soda - JCI Jones -\$1.48/gal  
Sodium Hypochlorite – Olin - \$1.02/gal

1.21 Question: “What are you current paying for each product?”

Response: Refer to the response provided for Question 1.20.

1.22 Question: “We will be submitting samples of our Alum and Acid Alum for the current bid. We use a 1 liter Nalgene bottle typically. Can we use this style container to send our Alum to you? If not, we can see about expediting glass bottles and sending prior to bid opening on 6/28?”

Response: Nalgene is acceptable.

1.23 Question: Please can you kindly let me know if we need to bid on the entire bid line items for potable water and wastewater treatment chemicals? Or can we bid on single line items?

Response: Bidders may bid on any line items and do not need to bid on all line items.

1.24 Question: As your incumbent supplier (Olin) for sodium hypochlorite do we still need to submit a sample?

Response: No

1.25 Question: “Who are the current suppliers and pricing for all the chemicals?”

Response: Refer to the response provided for Question 1.20.

1.26 Question: “In the bid pricing package for the waste water chemicals there is only one spot for cationic polymer. There are two potential polymers to be bid, Centrifuge and GBT. Please advise.”

Response: There are two polymers GBT for thickening, Centrifuge for dewatering. Please provide a price for each.



- 1.27 Question: “For the waste water chemical bid, there is a requirement for independent 3rd party certificate of analysis of the cationic and anionic polymer samples. This is an unknown test for the local labs we have spoken with. Can we for polyacrylamide only, provide the manufacturing COA only?”
- Response: Yes
- 1.28 Question: “May I get the current supplier/price for Aluminum Sulfate and Ferric Chloride, please?”
- Response: Ferric Chloride supplier is California Water Technologies. Refer to the response to Question 1.20 for pricing information.
- 1.29 Question: “Who is the incumbent of Sulfuric Acid 93%?”
- Response: Univar.
- 1.30 Question: “Who is the incumbent of Sodium Hydroxide 25%?”
- Response: JCI Jones
- 1.31 Question: “Who is the incumbent of Aluminum Sulfate 48%?”
- Response: Thatcher
- 1.32 Question: “What is the current price of Sulfuric Acid 93%?”
- Response: Refer to the response to Question 1.20 for pricing information.
- 1.33 Question: “What is the current price of Sodium Hydroxide 25%?”
- Response: Refer to the response to Question 1.20 for pricing information.
- 1.34 Question: “Is it necessary for bid consideration to send a sample for each product being bid?”
- Response: Samples are required for all chemicals being bid except Sulfuric Acid.

- 1.35 Question: “Can a supplier supply a product specification instead of a sample?”  
Response: No
- 1.36 Question: “Can a supplier sign a statement attesting to the product specification?”  
Response: No
- 1.37 Question: “Who is the incumbent for Aluminum Sulfate 43.65% & 10% Acidified?”  
Response: Refer to the response to Question 1.20.
- 1.38 Question: “What is the current price for Aluminum Sulfate 43.65% & 10% Acidified?”  
Response: Refer to the response to Question 1.20.
- 1.39 Question: “Will you post the full bid results from last year?”  
Response: No

*Carol Appelt*

---

Carol Appelt  
Purchasing Specialist V  
City of Corona  
400 South Vicentia Avenue, Suite 320  
Corona, CA 92882  
Remote: 951-395-1941 || Office: 951-279-3620  
Email: carolyn.appelt@coronaca.gov



**CITY OF CORONA  
DEPARTMENT OF WATER & POWER**

---

June 22, 2021

**SUBJECT: Notice Inviting Bids No. 21-082CA**

**Addendum No. 2  
Potable Water & Wastewater Treatment Chemicals**

This Addendum No. 2 to the subject Notice Inviting Bids provides answers to questions received. Please note the bid due date and time have not changed. The City anticipates issuing a third addendum to answer additional questions not included in this Addendum 2.

All provisions of this Addendum No. 2 are hereby incorporated by reference into the subject NIB. Bidders shall account for all provisions pursuant to this Addendum No. 2 in submitting their bids. Each bidder shall acknowledge receipt of this Addendum in their Bid in the spaces provided therein.

**1. Questions & Answers:**

1.40 Question: “As the incumbent supplier (Polydyne) of cationic polymer for water treatment, do we still need to submit a sample of this product?”

Response: No

1.41 Question: “Are PET jars with Polypropylene caps acceptable for submitting polymer samples? We transitioned from glass approximately two years ago and would have to order glass containers?”

Response: Yes, PET jars with Polypropylene caps are acceptable.

1.42 Question: “Who is the current supplier of the Liquid Aluminum Sulfate 48.5%?”

Response: Thatcher

1.43 Question: “Who is the current supplier of the 10% Acid Aluminum Sulfate?”

Response: Thatcher

- 1.44 Question: “At what price is the Liquid Aluminum Sulfate 48.5% currently being purchased at?”
- Response: \$0.13/lb
- 1.45 Question: “At what price is the 10% Acid Aluminum Sulfate currently being purchased at?”
- Response: \$0.13/lb
- 1.46 Question: “Does a bidder have to request a polymer sludge and water samples to qualify?”
- Response: Yes
- 1.47 Question: “Is the estimated volume of 15,000 gallons for Aluminum Sulfate 48.5% used year round or just in the summer months?”
- Response: Year round
- 1.48 Question: “On page 6 of 10 in Section V - Price Form, a Dose rate is requested as \_\_\_\_\_ ml/m\_\_\_\_\_. What are the units requested? If the units are milliliter per minute, what is the flow rate, since the amount of water being treated per minute would need to be known? A flow rate is also needed for determination of Dose rate for the wastewater treatment polymers as well.”
- Response: Water Reclamation and Potable Water Treatment should both read:  
\_\_\_\_\_ mg/l \_\_\_\_\_.
- Water Reclamation:  
Flows vary. Average centrifuge flow = 70 GPM  
Average flow to GBT = 350 GPM  
Primary influent flow through plant 1A = 5.5 MGD
- 1.49 Question: “Can the third party certificate of analysis be removed from the bid, as it does not change product dosage or performance?”
- Response: No

- 1.50 Question: “Can bulk delivery time be extended from 10 days to 15 days to deliver for Cationic Polymer for Potable Water Treatment?”
- Response: No
- 1.51 Question: “If a bidder is not located in the City of Corona, should we just indicate that the Local Bidder Preference Program Statement is not applicable and submit with bid or sign it in addition to indicating that it is not applicable?”
- Response: The Local Bidder Preference form is only applicable to bidders that are “local businesses” with fixed facilities with one or more employees which may include a sole proprietor, located at an address within City limits (post office box alone is insufficient); and (ii) an appropriate City business license. Only bidders that qualify for the program are required to complete and provide the Local Bidder Preference form with their bid. The “required form” status from all bidders for the Local Bidder Preference form in PlanetBids has been eliminated.
- 1.52 Question: “What is the minimum delivery quantity for hypo for any one individual ship-to site?”
- Response: Water Reclamation:  
500 gallons to Water Reclamation Facility 3.
- Potable Water Treatment:  
No minimum, however on multiple stop deliveries, City will keep the loads 4000-5000 gallons.
- 1.53 Question: “There is a conflict in accounting for sales tax in the bid. One section says bid pricing should “exclude sales taxes”. The pricing sheets say, “all costs including sales tax” shall be in unit pricing. Which should it be?”
- Response: Chemicals that remain in the water (sodium hypochlorite, ammonium hydroxide, corrosion inhibitor (polyphosphate) are non taxable, all the rest are taxable.
- 1.54 Question: “For the polymer products, including the cationic polymer for potable water treatment, is the manufacturer's certificate of analysis acceptable for the bid submittal in addition to accompanying

deliveries? Third party labs that do not work with polymers do not have the equipment to conduct the necessary tests.”

Response: Yes, as long as a sample is provided.

1.55 Question: “As your incumbent supplier (JCI) for Sodium Hydroxide 25%, do we still need to submit a sample?”

Response: No

*Carol Appelt*

---

Carol Appelt  
Purchasing Specialist V  
City of Corona  
400 South Vicentia Avenue, Suite 320  
Corona, CA 92882  
Remote: 951-395-1941 || Office: 951-279-3620  
Email: carolyn.appelt@coronaca.gov



**CITY OF CORONA  
DEPARTMENT OF WATER & POWER**

=====

June 23, 2021

**SUBJECT: Notice Inviting Bids No. 21-082CA**

**Addendum No. 3  
Potable Water & Wastewater Treatment Chemicals**

This Addendum No. 3 to the subject Notice Inviting Bids provides answers to questions received and revised bid forms. Please note the bid due date and time have not changed.

All provisions of this Addendum No. 3 are hereby incorporated by reference into the subject NIB. Bidders shall account for all provisions pursuant to this Addendum No. 3 in submitting their bids. Each bidder shall acknowledge receipt of this Addendum in their Bid in the spaces provided therein.

**1. Questions & Answers:**

1.52 Question: “Annual Renewal Pricing; Annual industrial bulk chemical costs of bleach have little to do with the CPI index. The Producer Price index actually has an index WUP0 for chlorine and alkali chemicals. Would you consider using this for annual cost reviews for hypo? If not, then annual renewal options should be upon mutual agreement of both parties.”

Response: The CPI index will be utilized as the base from which negotiations will take place to determine a mutually agreed upon renewal price for option years.

1.53 Question: “Insurance; Contractor’s Pollution coverage is typically for building/construction/maintenance contractors, not chemical deliveries. Requiring contractors’ pollution coverage will add much higher costs to bid selling prices and is not necessary for this type service. Will transportation pollution liability coverage (sudden and accidental liability) covering transportation and offloading safely into customer storage tanks suffice? Will taking exception to Contractor’s Pollution coverage deem bids non-responsive?”

Response: The City is removing the Contractor’s Pollution Liability insurance requirement from the bid. The Pollution Transportation Liability insurance remains a bid requirement.

- 1.56 Question: “Would you please clarify once again the trade name for the Corrosion Scale Inhibitor and who your current supplier is? Also, can you provide product specs required? Thank you.”
- Response: Aquapure 3655 provided by Brenntag. Please refer to Exhibit “A” attached hereto for the product spec.
- 1.59 Question: “Does California Mill Assessment need to be included in the bid price?”
- Response: Bidders are to include all applicable fees and assessments in their unit cost bid price and exclude California Sales Tax.
- 1.60 Question: “Are renewals upon mutual agreement? Are there any price adjustment rules?”
- Response: The CPI index will be utilized as the base from which negotiations will take place to determine a mutually agreed upon renewal price for option years.

## 2. **Bid and Contract Documents:**

- 2.01 Section II. Instruction to Bidders, Subsection N.4(A) Insurance Requirements is hereby deleted in its entirety and replaced with the following:
- (A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); (3) *Workers’ Compensation and Employer’s Liability*: Workers’ Compensation insurance as required by the State of California and Employer’s Liability Insurance; and (4) ***Transportation Pollution Liability***: Transportation Pollution Liability insurance covering materials to be transported.
- 2.02 Section II. Instructions to Bidders, Subsection N.5(C) Insurance Endorsements (Contractor’s Pollution Liability) is hereby deleted in its entirety.
- 2.03 Section IV. Bid Content & Forms, Insurance Requirements Check List is hereby deleted in its entirety and replaced with the Revised Insurance Requirements Check List form attached hereto.



- 2.04 Section V. Bid/Price Form. The Bid/Price Form is hereby deleted in its entirety and replaced with the Revised Bid/Price Form attached hereto. **Please note the City is requesting that all bidders submit their unit pricing excluding sales tax for all chemicals.**

*Carol Appelt*

---

Carol Appelt  
Purchasing Specialist V  
City of Corona  
400 South Vicentia Avenue, Suite 320  
Corona, CA 92882  
Remote: 951-395-1941 || Office: 951-279-3620  
Email: [carolyn.appelt@coronaca.gov](mailto:carolyn.appelt@coronaca.gov)

**REVISED CITY OF CORONA**  
**NIB NO. 21-082CA INSURANCE REQUIREMENTS CHECK LIST**  
**(To be Completed and Submitted with Bid)**

All applicable insurance requirements are identified with a ‘YES’ under the “Applicable to Vendor” column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$2M occurrence			YES
Can your company provide Automobile Liability - bodily injury and property damage - \$2M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
<b>Can your company provide Transportation Pollution Liability with minimum limits of \$2 million/\$4 million with a primary Additional Insured endorsement?</b>			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A. M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

**Insurance Endorsements**  
**General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			

Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES
---	--	--	-----

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

### Transportation Pollution Liability

	YES	NO	Applicable to Vendor
Will you provide an Automobile Liability policy endorsement that includes Transportation Pollution Liability or separate Transportation Pollution Liability policy with an endorsement covering the material to be transported?			
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any "NO" responses.

---

---

---

---

---

---

---

**SECTION V.**

**REVISED BID / PRICE FORM**

NOTICE INVITING BIDS: **NIB 21-082CA**

DESCRIPTION: **Potable Water & Wastewater Treatment Chemicals**

BIDDER'S NAME/ADDRESS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAME/TELEPHONE NO. OF  
AUTHORIZED REPRESENTATIVE \_\_\_\_\_  
\_\_\_\_\_

**ANNUAL PURCHASE ORDER**

The initial Purchase Order Period shall be effective on or about July 1, 2021 through June 30, 2022 with four (1) one year option renewal periods on an as-needed basis with no guarantee of usage for Potable Water & Wastewater Chemicals. Bid prices shall remain effective and in force for the entire Initial Purchase Order Period. Subsequent purchase order periods, if exercised by the City, are as follows:

- Option 1, if exercised, shall be effective July 1, 2022 through June 30, 2023
- Option 2, if exercised, shall be effective July 1, 2023 through June 30, 2024
- Option 3, if exercised, shall be effective July 1, 2024 through June 30, 2025
- Option 4, if exercised, shall be effective July 1, 2025 through June 30, 2026

Option year pricing shall be negotiated by the Parties prior to commencement of each additional one-year period. Negotiated price adjustments will be made in accordance with and shall not exceed the percentage of change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers for Riverside, California, Area (CPI-U), not seasonally adjusted, for the most recent twelve (12) months for which statistics are available. This method of price adjustment shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized Purchase Order.

**Bidders may submit bids for one or more bulk chemicals, but each bulk chemical must be bid individually and submitted in accordance with the Submission of Bids subsection in the Instructions to Bidders, Section II.E.**

No person, organization, or corporation is allowed to make, submit, or be interested in more than one Bid unless in a sub-contractual relationship with respect to the Bids. **A person, organization or corporation submitting sub-proposals or quoting prices on materials to Bidders is prevented from submitting a Bid to the City as a primary bidder.**

Provide Firm Fixed Price cost information in the spaces provided below for each chemical bid, and any other incidental or additional costs required to complete the specifications pursuant to Section III herein. In the event that bidder intends to bid zero dollar value for any item shown in the Bid/Price Form, bidder shall enter “zero” or “0” in the space provided for price or cost.

Unit prices shall include all costs, **except California State sales tax**, including but not limited to materials, supplies, labor, equipment, certification fees, delivery, transportation, mill assessments where applicable, and ancillary costs for performing under the scope and specifications of this NIB.

**1. SODIUM HYPOCHLORITE (NaOCl) 12.5%**

**Estimated Annual Quantity 1,000,000 Gallons**

Quantity	Delivered Price – Per Gallon
2,000 – 4,999 gallon delivery	\$ _____
5,000 gallon delivery	\$ _____

Manufacturer’s Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer’s Address: \_\_\_\_\_

**Optional Carrier Stop Charge for Split Delivery Points**

Charge for multiple delivery points combined in a single order to attain minimum 5,000 gallon delivered price. Carrier Stop Charge would apply only when deliveries are split and only to the individual delivery point location(s) not meeting the minimum 5,000 gallon order quantity.

\$ \_\_\_\_\_ per site not meeting minimum 2,000 gallon quantity

2. **ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 43.65% & 10% Acidified**

**Estimated Annual Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

4,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

3. **ALUMINUM SULFATE [Al<sub>2</sub>(SO<sub>4</sub>)<sub>3</sub>] 48.5%**

**Estimated Annual Quantity 15,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

4,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**4. AMMONIUM HYDROXIDE (NH<sub>4</sub>OH) 19%**

**Estimated Annual Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

250 – 1,999 gallon delivery	\$ _____
-----------------------------	----------

2,000 – 5,000 gallon delivery	\$ _____
-------------------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

Charge for multiple delivery points combined in a single order to attain minimum 2,000 gallon delivered price. Carrier Stop Charge would apply only when deliveries are split and only to the individual delivery point location(s) not meeting the minimum 2,000 gallon order quantity.

\$ \_\_\_\_\_ per site not meeting minimum 2,000 gallon quantity

**5. CORROSION AND SCALE INHIBITOR**

**Estimated Annual Quantity 18,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

275 gallon tote delivery	\$ _____
--------------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_



**6. CATIONIC POLYMER FOR WASTEWATER TREATMENT**

**Estimated Annual Quantity 40,000 Gallons**

Dose rate = \_\_\_\_\_gph\_\_\_\_\_

Pounds per day required for 24 hour operation= \_\_\_\_\_

Cost per pound \$ \_\_\_\_\_/lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**7. ANIONIC POLYMER FOR WASTEWATER TREATMENT**

**Estimated Annual Quantity 15,000 Gallons**

Dose rate = \_\_\_\_\_gph\_\_\_\_\_

Pounds per day required for 24 hour operation= \_\_\_\_\_

Cost per pound \$ \_\_\_\_\_/lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**8. CATIONIC POLYMER FOR WATER TREATMENT**

**Estimated Annual Quantity 14,500 Gallons**

	500 – 1,999 gal	2000 - 5000 gal
Dose rate = _____ ml/m _____		
Pounds per day required for 24 hour operation= _____		
Cost per pound	\$ _____ /lb	\$ _____ /lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**9. ANIONIC POLYMER FOR WATER TREATMENT**

**Estimated Annual Quantity 12,500 Gallons**

	500 – 1,999 gal	2000 - 5000 gal
Dose rate = _____ ml/m _____		
Pounds per day required for 24 hour operation= _____		
Cost per pound	\$ _____ /lb	\$ _____ /lb

Bidders shall enter their formula below for use by City in determining contract value:

---

**10. SODIUM HYDROXIDE (NaOH) 25%**

**Estimated Quantity 30,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

2,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**11. SULFURIC ACID (H<sub>2</sub>SO<sub>4</sub>) 93%**

**Estimated Quantity 90,000 Gallons**

Quantity	Delivered Price – Per Gallon
----------	------------------------------

3,000 gallon delivery	\$ _____
-----------------------	----------

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**12. FERRIC CHLORIDE (FeCl<sub>3</sub>) 15%-40%**

**Estimated Quantity 55,000 Gallons**

Quantity	Delivered Price
4,000 gallon delivery	\$ _____ Per Gallon
5,000 gallon delivery	\$ _____ Per Gallon

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

**13. SODIUM BISULFITE (NaHSO<sub>3</sub>)25%**

**Estimated Quantity 40,000 Gallons**

Quantity	Delivered Price – Per Gallon
4,000-5,000 gallon delivery	\$ _____

Manufacturer's Name: \_\_\_\_\_

Brand Name: \_\_\_\_\_

Manufacturer's Address: \_\_\_\_\_

\_\_\_\_\_

Please check your calculations before submitting your bid; the City will not be responsible for Bidder miscalculations.

With the exception of “Reason(s) for No Bid”, all spaces in the Bid/Price Form shall be filled in by bidders. City reserves the right to reject as non-responsive any or all bids containing blank spaces.

**Bidder's Acknowledgement of his Understanding of the Terms and Conditions.** Signature below verifies that Bidder has read, understands, and agrees to the conditions contained herein and on all of the attachments and addenda.

Are there any other additional or incidental costs which will be required by your firm in order to meet the requirements of the Technical Specifications? Yes / No. (circle one). If you answered “Yes”, please provide detail of said additional costs:

---

---

---

Please indicate any exceptions to or deviations from the NIB Requirements here.

---

---

---

Have you included in your bid all informational items and forms as requested? Yes / No. (circle one). If you answered “No”, please explain:

---

---

---

This offer shall remain firm for 90 days from NIB close date.

Terms and conditions as set forth in this NIB apply to this bid.

Cash discount allowable \_\_\_\_\_% days; unless otherwise stated, payment terms are: Net 30 days.

In signing this bid, Bidder warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this NIB. Below, please indicate all Addenda to this NIB received by your firm, and the date said Addenda was/were received. It is the Bidder's responsibility to ensure that all addendums are received. Failure to acknowledge receipt of addenda may cause the City to reject the bid as non-responsive.

Verification of Addenda Received

Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____
Addenda No: _____	Received on: _____

AUTHORIZED SIGNATURE:

\_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE:

\_\_\_\_\_

\_\_\_\_\_

DATE SIGNED:

\_\_\_\_\_

COMPANY NAME & ADDRESS:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

---

---

# ***AQUAPURE 3655 NSF***

**PRODUCT DISTRIBUTED BY / PRODUIT DISTRIBUÉ PAR**

Brenntag Canada Inc.  
43 Jutland Road.  
Toronto, Ontario  
M8Z 2G6  
(416) 259-8231

WHMIS Number: 00072211  
Index: BCI1352/15D  
Effective Date: 2015 December 14  
Date of Revision: 2015 December 14  
Website: <http://www.brenntag.ca>

---

**EMERGENCY TELEPHONE NUMBER (For Emergencies Involving Chemical Spills or Releases)**

**1 855 273 6824**

**NUMÉRO DE TÉLÉPHONE D'URGENCE (pour les urgences impliquant des rejets ou des déversements chimiques)**

---

This document consists of an MSDS in English.

Le présent document comprend une fiche signalétique en anglais.

**WHMIS Classification / Symbol: Not regulated**



**Classification / symbole SIMDUT: Non réglementé**

**READ THE ENTIRE MSDS FOR THE COMPLETE HAZARD EVALUATION OF THIS PRODUCT.**

**LIRE LA FICHE SIGNALÉTIQUE EN ENTIER POUR UNE ÉVALUATION COMPLÈTE DES DANGERS QUE  
REPRÉSENTE CE PRODUIT**

## 1. Identification

Product identifier	AQUAPURE 3655 NSF	
Other means of identification	None.	
Recommended use	ALL PROPER AND LEGAL PURPOSES	
Recommended restrictions	None known.	
Manufacturer/Importer/Supplier/Distributor information		
Manufacturer		
Company name	Brenntag Mid-South, Inc.	
Address	1405 Highway 136, West Henderson, KY 42420	
Telephone	270-830-1222	
E-mail	Not available.	
Emergency phone number	800-424-9300	CHEMTREC

## 2. Hazard(s) identification

<b>Physical hazards</b>	Not classified.
<b>Health hazards</b>	Not classified.
<b>Environmental hazards</b>	Not classified.
<b>OSHA defined hazards</b>	Not classified.
<b>Label elements</b>	
<b>Hazard symbol</b>	None.
<b>Signal word</b>	None.
<b>Hazard statement</b>	The mixture does not meet the criteria for classification.
<b>Precautionary statement</b>	
<b>Prevention</b>	Observe good industrial hygiene practices.
<b>Response</b>	Wash hands after handling.
<b>Storage</b>	Store away from incompatible materials.
<b>Disposal</b>	Dispose of waste and residues in accordance with local authority requirements.
<b>Hazard(s) not otherwise classified (HNOC)</b>	None known.
<b>Supplemental information</b>	None.

## 3. Composition/information on ingredients

### Mixtures

The manufacturer lists no ingredients as hazardous according to OSHA 29 CFR 1910.1200.

\*Designates that a specific chemical identity and/or percentage of composition has been withheld as a trade secret.

## 4. First-aid measures

<b>Inhalation</b>	Move to fresh air. Call a physician if symptoms develop or persist.
<b>Skin contact</b>	Wash off with soap and water. Get medical attention if irritation develops and persists.
<b>Eye contact</b>	Rinse with water. Get medical attention if irritation develops and persists.
<b>Ingestion</b>	Rinse mouth. Get medical attention if symptoms occur.
<b>Most important symptoms/effects, acute and delayed</b>	Direct contact with eyes may cause temporary irritation.
<b>Indication of immediate medical attention and special treatment needed</b>	Treat symptomatically.



<b>General information</b>	Ensure that medical personnel are aware of the material(s) involved, and take precautions to protect themselves.
<b>5. Fire-fighting measures</b>	
<b>Suitable extinguishing media</b>	Water fog. Foam. Dry chemical powder. Carbon dioxide (CO <sub>2</sub> ).
<b>Unsuitable extinguishing media</b>	Do not use water jet as an extinguisher, as this will spread the fire.
<b>Specific hazards arising from the chemical</b>	During fire, gases hazardous to health may be formed.
<b>Special protective equipment and precautions for firefighters</b>	Self-contained breathing apparatus and full protective clothing must be worn in case of fire.
<b>Fire fighting equipment/instructions</b>	Move containers from fire area if you can do so without risk.
<b>Specific methods</b>	Use standard firefighting procedures and consider the hazards of other involved materials.
<b>General fire hazards</b>	No unusual fire or explosion hazards noted.
<b>6. Accidental release measures</b>	
<b>Personal precautions, protective equipment and emergency procedures</b>	Keep unnecessary personnel away. For personal protection, see section 8 of the SDS.
<b>Methods and materials for containment and cleaning up</b>	Large Spills: Stop the flow of material, if this is without risk. Dike the spilled material, where this is possible. Cover with plastic sheet to prevent spreading. Absorb in vermiculite, dry sand or earth and place into containers. Following product recovery, flush area with water.
	Small Spills: Wipe up with absorbent material (e.g. cloth, fleece). Clean surface thoroughly to remove residual contamination.
	Never return spills to original containers for re-use. For waste disposal, see section 13 of the SDS.
<b>Environmental precautions</b>	Avoid discharge into drains, water courses or onto the ground.
<b>7. Handling and storage</b>	
<b>Precautions for safe handling</b>	Observe good industrial hygiene practices.
<b>Conditions for safe storage, including any incompatibilities</b>	Store in original tightly closed container. Store away from incompatible materials (see Section 10 of the SDS).
<b>8. Exposure controls/personal protection</b>	
<b>Occupational exposure limits</b>	No exposure limits noted for ingredient(s).
<b>Biological limit values</b>	No biological exposure limits noted for the ingredient(s).
<b>Appropriate engineering controls</b>	Good general ventilation (typically 10 air changes per hour) should be used. Ventilation rates should be matched to conditions. If applicable, use process enclosures, local exhaust ventilation, or other engineering controls to maintain airborne levels below recommended exposure limits. If exposure limits have not been established, maintain airborne levels to an acceptable level.
<b>Individual protection measures, such as personal protective equipment</b>	
<b>Eye/face protection</b>	Wear safety glasses with side shields (or goggles).
<b>Skin protection</b>	
<b>Hand protection</b>	Wear appropriate chemical resistant gloves. Suitable gloves can be recommended by the glove supplier.
<b>Other</b>	Wear suitable protective clothing.
<b>Respiratory protection</b>	In case of insufficient ventilation, wear suitable respiratory equipment.
<b>Thermal hazards</b>	Wear appropriate thermal protective clothing, when necessary.
<b>General hygiene considerations</b>	Always observe good personal hygiene measures, such as washing after handling the material and before eating, drinking, and/or smoking. Routinely wash work clothing and protective equipment to remove contaminants.
<b>9. Physical and chemical properties</b>	
<b>Appearance</b>	
<b>Physical state</b>	Liquid.
<b>Form</b>	Liquid.

<b>Color</b>	CLEAR COLORLESS TO PALE STRAW
<b>Odor</b>	NONE
<b>Odor threshold</b>	Not available.
<b>pH</b>	Not available.
<b>Melting point/freezing point</b>	32 °F (0 °C)
<b>Initial boiling point and boiling range</b>	212 °F (100 °C) estimated
<b>Flash point</b>	Not available.
<b>Evaporation rate</b>	Not available.
<b>Flammability (solid, gas)</b>	Not applicable.
<b>Upper/lower flammability or explosive limits</b>	
<b>Flammability limit - lower (%)</b>	Not available.
<b>Flammability limit - upper (%)</b>	Not available.
<b>Explosive limit - lower (%)</b>	Not available.
<b>Explosive limit - upper (%)</b>	Not available.
<b>Vapor pressure</b>	Not available.
<b>Vapor density</b>	Not available.
<b>Relative density</b>	Not available.
<b>Solubility(ies)</b>	
<b>Solubility (water)</b>	Not available.
<b>Partition coefficient (n-octanol/water)</b>	Not available.
<b>Auto-ignition temperature</b>	Not available.
<b>Decomposition temperature</b>	Not available.
<b>Viscosity</b>	Not available.
<b>Other information</b>	
<b>Density</b>	11.40 lbs/gal
<b>Explosive properties</b>	Not explosive.
<b>Oxidizing properties</b>	Not oxidizing.
<b>Percent volatile</b>	61.8 % estimated
<b>Specific gravity</b>	1.37

## 10. Stability and reactivity

<b>Reactivity</b>	The product is stable and non-reactive under normal conditions of use, storage and transport.
<b>Chemical stability</b>	Material is stable under normal conditions.
<b>Possibility of hazardous reactions</b>	No dangerous reaction known under conditions of normal use.
<b>Conditions to avoid</b>	Contact with incompatible materials.
<b>Incompatible materials</b>	Strong oxidizing agents.
<b>Hazardous decomposition products</b>	No hazardous decomposition products are known.

## 11. Toxicological information

### Information on likely routes of exposure

<b>Inhalation</b>	No adverse effects due to inhalation are expected.
<b>Skin contact</b>	No adverse effects due to skin contact are expected.
<b>Eye contact</b>	Direct contact with eyes may cause temporary irritation.
<b>Ingestion</b>	Expected to be a low ingestion hazard.
<b>Symptoms related to the physical, chemical and toxicological characteristics</b>	Direct contact with eyes may cause temporary irritation.

## Information on toxicological effects

<b>Acute toxicity</b>	Not available.
<b>Skin corrosion/irritation</b>	Prolonged skin contact may cause temporary irritation.
<b>Serious eye damage/eye irritation</b>	Direct contact with eyes may cause temporary irritation.
<b>Respiratory or skin sensitization</b>	
<b>Respiratory sensitization</b>	Not a respiratory sensitizer.
<b>Skin sensitization</b>	This product is not expected to cause skin sensitization.
<b>Germ cell mutagenicity</b>	No data available to indicate product or any components present at greater than 0.1% are mutagenic or genotoxic.
<b>Carcinogenicity</b>	This product is not considered to be a carcinogen by IARC, ACGIH, NTP, or OSHA.
<b>IARC Monographs. Overall Evaluation of Carcinogenicity</b>	Not available.
<b>OSHA Specifically Regulated Substances (29 CFR 1910.1001-1050)</b>	Not listed.
<b>US. National Toxicology Program (NTP) Report on Carcinogens</b>	Not available.
<b>Reproductive toxicity</b>	This product is not expected to cause reproductive or developmental effects.
<b>Specific target organ toxicity - single exposure</b>	Not classified.
<b>Specific target organ toxicity - repeated exposure</b>	Not classified.
<b>Aspiration hazard</b>	Not an aspiration hazard.

## 12. Ecological information

<b>Ecotoxicity</b>	The product is not classified as environmentally hazardous. However, this does not exclude the possibility that large or frequent spills can have a harmful or damaging effect on the environment.
<b>Persistence and degradability</b>	No data is available on the degradability of this product.
<b>Bioaccumulative potential</b>	No data available.
<b>Mobility in soil</b>	No data available.
<b>Other adverse effects</b>	No other adverse environmental effects (e.g. ozone depletion, photochemical ozone creation potential, endocrine disruption, global warming potential) are expected from this component.

## 13. Disposal considerations

<b>Disposal instructions</b>	Collect and reclaim or dispose in sealed containers at licensed waste disposal site.
<b>Local disposal regulations</b>	Dispose in accordance with all applicable regulations.
<b>Hazardous waste code</b>	The waste code should be assigned in discussion between the user, the producer and the waste disposal company.
<b>Waste from residues / unused products</b>	Dispose of in accordance with local regulations. Empty containers or liners may retain some product residues. This material and its container must be disposed of in a safe manner (see: Disposal instructions).
<b>Contaminated packaging</b>	Since emptied containers may retain product residue, follow label warnings even after container is emptied. Empty containers should be taken to an approved waste handling site for recycling or disposal.

## 14. Transport information

### DOT

- Not regulated as dangerous goods.
- DOT information on packaging may be different from that listed.

## 15. Regulatory information

<b>US federal regulations</b>	This product is not known to be a "Hazardous Chemical" as defined by the OSHA Hazard Communication Standard, 29 CFR 1910.1200.
<b>TSCA Section 12(b) Export Notification (40 CFR 707, Subpt. D)</b>	Not regulated.

**CERCLA Hazardous Substance List (40 CFR 302.4)**

Not listed.

**SARA 304 Emergency release notification**

Not regulated.

**OSHA Specifically Regulated Substances (29 CFR 1910.1001-1050)**

Not listed.

**Superfund Amendments and Reauthorization Act of 1986 (SARA)**

<b>Hazard categories</b>	Immediate Hazard - No
	Delayed Hazard - No
	Fire Hazard - No
	Pressure Hazard - No
	Reactivity Hazard - No

**SARA 302 Extremely hazardous substance**

Not listed.

<b>SARA 311/312 Hazardous chemical</b>	No
--	----

**SARA 313 (TRI reporting)**

Not regulated.

**Other federal regulations****Clean Air Act (CAA) Section 112 Hazardous Air Pollutants (HAPs) List**

Not regulated.

**Clean Air Act (CAA) Section 112(r) Accidental Release Prevention (40 CFR 68.130)**

Not regulated.

<b>Safe Drinking Water Act (SDWA)</b>	Not regulated.
---------------------------------------	----------------

**US state regulations****US. California Controlled Substances. CA Department of Justice (California Health and Safety Code Section 11100)**

Not listed.

**US. Massachusetts RTK - Substance List**

Not regulated.

**US. New Jersey Worker and Community Right-to-Know Act**

Not listed.

**US. Pennsylvania Worker and Community Right-to-Know Law**

Not listed.

**US. Rhode Island RTK**

Not regulated.

**US. California Proposition 65**

California Safe Drinking Water and Toxic Enforcement Act of 1986 (Proposition 65): This material is not known to contain any chemicals currently listed as carcinogens or reproductive toxins.

**International Inventories**

<b>Country(s) or region</b>	<b>Inventory name</b>	<b>On inventory (yes/no)*</b>
Australia	Australian Inventory of Chemical Substances (AICS)	Yes
Canada	Domestic Substances List (DSL)	Yes
Canada	Non-Domestic Substances List (NDSL)	No
China	Inventory of Existing Chemical Substances in China (IECSC)	Yes
Europe	European Inventory of Existing Commercial Chemical Substances (EINECS)	Yes
Europe	European List of Notified Chemical Substances (ELINCS)	No
Japan	Inventory of Existing and New Chemical Substances (ENCS)	Yes
Korea	Existing Chemicals List (ECL)	Yes
New Zealand	New Zealand Inventory	Yes
Philippines	Philippine Inventory of Chemicals and Chemical Substances (PICCS)	Yes

<b>Country(s) or region</b>	<b>Inventory name</b>	<b>On inventory (yes/no)*</b>
United States & Puerto Rico	Toxic Substances Control Act (TSCA) Inventory	Yes

\*A "Yes" indicates that all components of this product comply with the inventory requirements administered by the governing country(s)  
A "No" indicates that one or more components of the product are not listed or exempt from listing on the inventory administered by the governing country(s).

## 16. Other information, including date of preparation or last revision

<b>Issue date</b>	04-14-2015
<b>Revision date</b>	12-14-2015
<b>Version #</b>	05
<b>HMIS® ratings</b>	Health: 0 Flammability: 0 Physical hazard: 0
<b>NFPA ratings</b>	Health: 0 Flammability: 0 Instability: 0
<b>Disclaimer</b>	While Brenntag believes the information contained herein to be accurate, Brenntag makes no representation or warranty, express or implied, regarding, and assumes no liability for, the accuracy or completeness of the information. The Buyer assumes all responsibility for handling, using and/or reselling the Product in accordance with applicable federal, state, and local law. This SDS shall not in any way limit or preclude the operation and effect of any of the provisions of Brenntag's terms and conditions of sale.

**Bid Summary**  
**Potable Water & Wastewater Treatment Chemicals**  
**Notice Inviting Bids NIB 21-082CA**

**Bid Opening Date:** June 8, 2021

**Bid Close Date:** 10:00 a.m., June 28, 2021

**Bid Advertisement Date:** June 16, 2021

**Number of Bids Received:** 24 bids

**Number of Chemical Companies Submitting Bids:** 15

**Chemical Vendors Notified of Bid Opportunity:** 45

**PlanetBids Vendor Downloads:** 39 (Includes 3 Plan Rooms/Bid Service Providers and 2 Nonbidders)

Sodium Hypochlorite (NaOCl) 12.5% (2 Bidders)		
Bidder	Quantity	Price
Olin Chlor	2000 - 4999 gal	0.895/gal
	5000 gal	0.825/gal
JCI Jones	2000 - 4999 gal	1.16/gal
	5000 gal	0.97/gal

Aluminum Sulfate [Al <sub>2</sub> (SO <sub>4</sub> ) <sub>3</sub> ] 43.65% & 10% Acidified		
Bidder	Quantity	Price
Thatcher Co. of NV	4000 gal	1.26/gal

Aluminum Sulfate [Al <sub>2</sub> (SO <sub>4</sub> ) <sub>3</sub> ] 48.5% (2 Bidders)		
Bidder	Quantity	Price
Pacific Star/North Star	4000 gal	1.395/gal
Thatcher Co. of NV	4000 gal	1.20/gal

Ammonium Hydroxide (NH <sub>4</sub> OH) 19%		
Bidder	Quantity	Price
Airgas Specialty	250 - 1,999 gal	4.4118/gal
	2000 - 5,000 gal	0.7725/gal

**Bid Summary**  
**Potable Water & Wastewater Treatment Chemicals**  
**Notice Inviting Bids NIB 21-082CA**

Corrosion and Scale Inhibitor (3 Bidders)		
Bidder	Quantity	Price
King Lee	275 gal totes	6.51/gal
Amaya Solutions	275 gal totes	8.49/gal
Avista Technologies	275 gal totes	8.74/gal

Cationic Polymer Wastewater (2 Bidders)						
Bidder	Quantity	Price	Efficacy Cost	Dose Rate	Lbs/Day	Formula
AquaBen (GBT 15,000 gal)	Bulk	1.27/lb	\$40,189.79	0.42 gph	86.7	86.7 x 365 = 31,645.5 lbs x \$1.27/lb
	Totes	1.30/lb				
AquaBen (Centrifuge 25,000 gal)	Bulk	1.33/lb	\$120,236.25	1.2 gph	247.68	247.68 x 365 = 90,403.2 lbs x \$1.33/lb
	Totes	1.36/lb				
Solenis (40,000 gal)		1.46/lb	\$415,278.31	3.78 gph	779.28	779.28 x 365 = 284,437.2 x \$1.46/lb

Anionic Polymer Wastewater (2 Bidders)						
Bidder	Quantity	Price	Efficacy Cost	Dose Rate	Lbs/Day	Formula
AquaBen	Bulk	0.95/lb	\$36,200.70	0.5 gph	104.4	104.4 x 365 = 38,106 lbs x 0.95/lb
	Totes	1.04/lb				
Solenis	Bulk	1.17/lb	\$39,766.90	0.435 gph	93.12	93.12 x 365 = 33,988.8 x 1.17

Cationic Polymer Water Treatment						
Bidder	Quantity	Price	Efficacy Cost	Dose Rate	Lbs/Day	Formula
Polydyne	500 - 1990 gal	0.630/lb	\$11,865.42	0.3 mg/l	51.6	51.6 x 365 = 18,834 x 0.63/lb
	2000 - 5000 gal	0.60/lb	\$11,300.40			

Anionic Polymer Water Treatment						
Bidder	Quantity	Price	Efficacy Cost	Dose Rate	Lbs/Day	Formula
AquaBen	500 - 1999 gal	1.34/lb	Not Provided	0.5 mg/l	2	None provided
	2000 - 5000 gal	No Bid				

Sodium Hydroxide (NaOH) 25% (2 Bidders)		
Bidder	Quantity	Price
JCI Jones	2000 gal	1.10/gal
Pacific Star/North Star	2000 gal	1.24/gal

**Bid Summary**  
**Potable Water & Wastewater Treatment Chemicals**  
**Notice Inviting Bids NIB 21-082CA**

<b>Sulfuric Acid (H<sub>2</sub>SO<sub>4</sub>) 93% (2 Bidders)</b>			
<b>Bidder</b>	<b>Quantity</b>	<b>Price</b>	
Pacific Star/North Star	3000 gal	1.64/gal	
Univar	3000 gal	2.142/gal	

Ferric Chloride (FeCl <sub>3</sub> ) 15%-40% (2 Bidders)			
Bidder	Quantity		Price
California Water	4000 gal	1.61/gal	
	5000 gal	No Bid	
Kemira	Nonresponsive - Serious OSHA violation in 2019		

<b>Sodium Bisulfite (NaHSO<sub>3</sub>) 25% (2 Bidders)</b>			
<b>Bidder</b>	<b>Quantity</b>	<b>Price</b>	
Univar	4000-5000 gal	0.98/gal	
JCI Jones	4000-5000 gal	1.05/gal	

Note: Brenntag Pacific, Inc. submitted a blank Bid/Price Form. Bidder deemed nonresponsive.





Staff Report

---

**File #:** 21-0679

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Department of Water and Power

**SUBJECT:**

Award of contract for essential fabrication services to Baghouse & Industrial Sheet Metal Services, Inc.

**EXECUTIVE SUMMARY:**

Request for Proposals No. 21-056RH to provide required metal fabrication that includes cutting, bending, and assembling metal and machines which will help ensure that a service provider will be available at any time to meet the needs of the City with regard to metal structures or supports that shade, protect, or support critical utility and facility equipment.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council award Request for Proposals No. 21-056RH for on-call essential fabrication services to Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA, for the initial contract term ending June 30, 2023, with two optional two-year renewals.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreements with Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA in the amount of \$200,000 for the initial contract term ending June 30, 2023, with two optional two-year renewals.
- c. City Council authorize the General Manager and City Attorney, or their designees, to negotiate and execute non-substantive extensions, change orders and amendments up to \$20,000 or 10% as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).

- d. City Council authorize the Purchasing Manager to issue a purchase order to Baghouse & Industrial Sheet Metal Services, Inc. of Corona, CA in the amount of \$200,000 for the initial term ending June 30, 2023, with two optional two-year renewals.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

### BACKGROUND & HISTORY:

The Department of Water and Power maintains and operates multiple facilities with various metal structures or supports which protect, shade, and support critical equipment. Occasionally, there are required repairs due to age, failure, or vandalism. Metal structures consist of architectural details to multiple buildings throughout the Department of Water and Power, protective screens associated with heating, ventilation and air conditioning systems and protective cages for facility equipment. At various facilities, machinery and equipment are supported by metal frames and brackets that require repairs due to age and failure.

### ANALYSIS:

On March 3, 2021, the Purchasing Division issued Request for Proposals (RFP) No. 21-056RH essential fabrication services through the City's PlanetBids portal pursuant to Corona Municipal Code (CMC) [3.08.110](#) non-public projects formal bidding procedure requirements. The City received two (2) proposals by the submission date of March 24, 2021.

The scope of work consists of:

- On-call 24/7 essential fabrication services for sunscreens, perforated screens, protection plates, brackets, canopies, shim plates, steel pipe bollards, awnings, steel framing, fan guards, ventilation panels, any repairs due to vandalism, supports welding, and custom items.

Staff performed evaluations of the proposals from both firms. The evaluations were based on the following criteria:

Criteria	Max Points
Completeness of Response	0
Qualification of Firm	10
Qualification of Personnel	40
Work Plan / Project Understanding and Approach	40
Value	10
Total	100

After careful review of the two proposals, the panel evaluated the firms. The table below shows the

final rank for each firm:

<b>Firm</b>	<b>Score</b>	<b>Ranking</b>
Baghouse & Industrial Sheet Metal Services, Inc., Corona, CA	85	1
Deemed nonresponsive:		
Power Brothers Machine, Montebello, CA	84	2

The final evaluation scores were very close, the firms' pricing structures had slight differences, and their technician's qualifications ranked very closely to each other. However, Power Brothers Machine was deemed nonresponsive due to the fact they were not able to meet the City's insurance requirements as stated in their proposal documents.

Based on staffs' evaluation of the proposals, staff recommends that the City Council award the RFP in the amount of \$200,000 to Baghouse & Industrial Sheet Metal Services, Inc. to respond to DWP requests and emergencies. All licenses and references have been reviewed and verified by City staff.

**FINANCIAL IMPACT:**

Funding for the recommended action is available in the Fiscal Year 2022 Department of Water and Power Operating Budget. Funding in future fiscal years will be recommended through the budget process.

**ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that exist at the time of the CEQA determination is exempt from CEQA. This action involves fabrication services for metal structures or supports. Therefore, no environmental analysis is required.

**PREPARED BY:** AFTAB HUSSAIN, MAINTENANCE MANAGER

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1 - NIB 21-056RH
2. Exhibit 2 - NIB 21-056RH Addenda
3. Exhibit 3 - NIB 21-056RH Bid Summary
4. Exhibit 4 - Baghouse & Industrial Sheet Metal Services, Inc. MGSA



March 3, 2021

**SUBJECT:                    REQUEST FOR PROPOSALS (RFP) 21-056RH**

**SECTION I**

**INVITATION**

The City of Corona Department of Water and Power (City) invites proposals from qualified contractors for:

**ESSENTIAL FABRICATION SERVICES FOR DWP**

Please read this entire RFP package, and include all requested information and forms in your proposal. Proposals must be signed by an authorized agent of the company submitting a proposal in order to be considered responsive.

**Tentative RFP Schedule**  
(Subject to change at City's discretion)

- |  |                            |
|--|----------------------------|
| 1. Issue RFP .....                                   | March 3, 2021              |
| 2. Advertise .....                                   | March 3, 2021              |
| 3. Questions from Contractor Due on Planet Bids..... | 10:00 a.m., March 10, 2021 |
| 4. Responses from City Due .....                     | March 17, 2021             |
| 5. Proposals Due .....                               | 10:00 a.m., March 24, 2021 |
| 6. Proposal Evaluation Completed.....                | April 7, 2021              |
| 7. Tentative Contractor Selection .....              | April 7, 2021              |
| 8. Department Request to Council .....               | April 7, 2021              |
| 9. Council Action .....                              | May 19, 2021               |
| 10. Notice to Proceed.....                           | May 20, 2021               |

**Table of Contents**

SECTION I .....	Invitation
SECTION II .....	RFP Instructions
SECTION III.....	Evaluation and Award
SECTION IV .....	Project Description and Scope of Work
SECTION V .....	Proposal Content and Forms
SECTION VI .....	Price Form
SECTION VII .....	Form of Agreement

**SECTION II.**

## **RFP INSTRUCTIONS**

### **A. Proposal Format**

The proposal should consist of the following sections, at a minimum. Supplemental information beneficial to the proposal is acceptable as attachments or Appendices if they are directly applicable. Contractors are encouraged to be concise with the company background and experience sections and focus on your experience providing Essential Fabrication Services For DWP.

### **B. Examination of Proposal Documents**

By submitting a proposal, contractors represent they have thoroughly examined and become familiar with the work required under this RFP, have reviewed the project location, understand the project objectives and are capable of performing quality work to achieve the City's objectives.

### **C. Addenda**

Substantive City changes to the requirements will be made by written addendum. Any written addenda issued pertaining to this RFP shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the proposal Due Date and Time. Contractors shall access any and all Addenda from the electronic bidding system's Addenda & Email tab of this RFP.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this RFP and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of contractors to ensure they have received all addenda prior to submitting a proposal. To this end, each contractor should contact the City's Purchasing Division prior to the proposal due date to verify receipt of all Addenda issued. Contractors shall acknowledge receipt of all Addenda when submitting their electronic proposals.

### **D. Informed Contractors**

Before submitting proposals, Contractors must fully inform themselves of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at Contractors' own risk and they cannot secure relief on the plea of error.

## **E. Clarifications**

### **1. Examination of Documents**

Should a contractor require clarifications to this RFP, contractor shall notify the City in writing in accordance with Section E.2 below. Should it be found that the point in question is not clearly and fully set forth in the RFP, the City shall issue a written addendum clarifying the matter.

### **2. Submitting Questions**

Contractors shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497> utilizing the Questions & Answers tab. Contractor questions must be submitted no later than **10:00 a.m., March 10, 2021**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

### **3. City Responses**

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this RFP as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the proposal due date and time, the proposal due date will be extended.

## **F. Submission of Proposals**

### **1. Date and Time**

All proposals shall be submitted no later than **10:00 a.m., March 24, 2021**.

### **2. Electronic Submission**

Proposals shall be submitted electronically using the City's PlanetBids Vendor Portal. Please note the City's electronic bidding system will not allow proposals to be submitted after the due date and time. It is the contractor's responsibility to allow sufficient time to complete and submit their proposal, including all documentation required by this RFP, prior to the stated deadline. **Electronic submission cannot be completed unless the contractor properly uploads all required documents. Only electronic proposals will be accepted; hard copy proposals will be rejected as nonresponsive and returned unopened without exception.**

3. **Acceptance of Proposals**

- a. The City reserves the right to accept or reject any and all proposals, or any item or part thereof, or to waive any informalities or irregularities in proposals.
- b. The City reserves the right to withdraw this RFP at any time without prior notice, and the City makes no representations that any contract will be awarded to any contractor responding to this RFP.
- c. The City reserves the right to postpone proposal opening for its own convenience.

**G. Proposal Withdrawal**

Electronic proposals may be withdrawn prior to the date and time set forth in Section E.1 above. After that time, contractors may not withdraw their proposals for a period of ninety (90) days from the Proposal Submittal Deadline. At no time may the successful contractor(s) withdraw their proposal(s).

**H. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the contractor in:

1. Preparing its proposal in response to this RFP;
2. Submitting the proposal to City;
3. Negotiating with City on any matter related to the proposal; or
4. Any other expenses incurred by the contractor prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by contractor in the preparation of its proposal. Contractor shall not include any such expenses as part of its proposal.

**I. Contract Award**

Issuance of this RFP and receipt of proposals does not commit the City to award a contract. The City reserves the right to postpone proposal opening for its own convenience, to accept or reject any or all proposals received in response to this RFP, to request additional information from the contractor as appropriate, to negotiate with other than the selected contractor(s) should negotiations with the selected contractor(s) be terminated, to negotiate with more than one contractor simultaneously, or to cancel all or part of this RFP.

**J. Acceptance of Order**

The successful contractor(s) will be required to accept a Purchase Order and execute a written Agreement (see Section VII, Form of Agreement) in accordance with and including as a part thereof the published notice of Request for Proposals and this Request for Proposals, including all requirements, conditions and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement.

**K. Contractor Performance**

It is the intent of the City to create a long-term working partnership with the Contractor. The City's representative will be completing a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form can be reviewed in Section V. This type of form will be the basis for periodic assessments by the City to establish contract performance metrics.

**L. City of Corona Business License**

The successful contractor(s) and any sub-contractors are required to obtain a City of Corona Business License prior to contract award and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a proposal. Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City's website:

<https://www.coronaca.gov/government/departments-divisions/finance/business-license-info>.

**M. Prevailing Wage**

Refer to Section VII, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.

**N. Insurance Requirements**

Within ten (10) consecutive calendar days after the notice of award, the Contractor to whom a contract is awarded from this request for proposals shall furnish the City, through its third-party insurance partner, Exigis, with the certificates of insurance and endorsements evidencing coverage as specified in Section VII, Form of Agreement, Section 3.2.10 Insurance, et seq. and naming the City of Corona, its directors, officials, employees, volunteers and agents as additional insureds by written endorsement. Failure to do so may, in the sole discretion of the City, result in the forfeiture of the Contract Award.

**The City's insurance requirements have been updated.** Contractors are encouraged to have their insurance provider(s) review the insurance requirements, pursuant to the Form of Agreement, to ensure the revised minimum coverage limits, endorsements and other requirements can be met.

Contractors shall review, complete and sign the Acknowledgment of Insurance Requirements Check Sheet included in Section V and return with their proposal. Any exceptions or deviations to the City's insurance requirements must be submitted to the City during the Questions and Answer period. Contractors are cautioned that exceptions or deviations from the RFP insurance requirements may cause their proposal to be rejected as non-responsive.



**O. Negative History**

Contractor must include in its Proposal a complete disclosure of any alleged significant prior or on-going contract failures, any civil or criminal litigation or investigation pending which involves the firm or in which the firm has been judged guilty or liable within the last five (5) years.

If there is no negative history to disclose, the firm must affirmatively state in its Proposal, there is no negative history to report.

Failure to comply with the terms of this provision may disqualify any proposal. The City reserves the right to reject any proposal based upon the firm's prior documented history with the City or with any other party, which documents, without limitation, unsatisfactory performance, adversarial or contentious demeanor, significant failures to meet contract milestones or other contractual failures.

**P. Public Records**

Responses (proposals) to this Request for Proposal (RFP) and the documents constituting any contract entered into thereafter become the exclusive property of the City and shall be subject to the California Public Records Act (Government Code Section 6250 et seq.). The City's use and disclosure of its records are governed by this Act.

Those elements in each proposal which proposer considers to be trade secrets, as that term is defined in Civil Code Section 3426.1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or "PROPRIETARY" by proposer. The City will use its best efforts to inform proposer of any request for disclosure of any such document. The City shall not in any way be liable or responsible for the disclosure of any such records including, without limitation; those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information the proposer considers exempt from disclosure, the City will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City is required to defend an action arising out of a Public Records Act request for any of the contents of a proposer's proposal marked "Confidential", "Proprietary", or "Trade Secret", proposer shall defend and indemnify the City from all liability, damages, costs, and expense, including attorneys' fees, in any action or proceeding arising under the Public Records Act.

To insure confidentiality, proposers are instructed to upload separate files for all "Confidential," "Proprietary," or "Trade Secret" data when submitting their proposal documents. The file names shall include the words "Confidential", "Proprietary" or "Trade Secret". Because the proposal documents are available for review by any person after award of a contract resulting from an RFP, the City shall not in any way be held responsible for disclosure of any "Confidential," Proprietary," or "Trade Secret" documents that are not uploaded as separate files and include "Confidential", "Proprietary" or "Trade Secret" as part of the file name.

**Q. Special Provisions for Services**

1. Accessibility. Contractor shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. Contractor shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City as provided by law in this contract, the City shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the contractor hereunder.
3. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. The contractor shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to the contractor for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
4. Contract Incorporation. This contract embodies the entire contract between the City and the Contractor. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the RFP solicitation, all addenda, all of Contractor's successful submittal, supplemental agreements, change orders, performance bond(s), and any and all written agreements which alter, amend or extend the contract.
5. Rejection of Work. Contractor agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.

### **SECTION III.**

#### **EVALUATION AND AWARD**

The City is soliciting contractors who have established knowledge, experience, and expertise in all aspects of the services requested in this RFP. Following is what the City considers important in evaluating the proposals and the assembled teams for a successful project. Minimum requirements are as follows:

##### **A. EVALUATION CRITERIA**

The following weighting and points will be assigned to the Proposal for evaluation purposes:

Criteria	Max Points	Rating
Completeness of Response	0	Pass or Fail
Qualification of Firm	10	
Qualification of Personnel	40	
Work Plan / Project Understanding and Approach	40	
Value	10	
Total	100	

##### **1. Completeness of Response (Pass/Fail) – 0 points**

- a. Responses to this RFP must be complete. Responses that do not include the proposal content requirements identified within this RFP and subsequent addenda and do not address each of the items listed below will be considered incomplete, be rated a Fail in the Evaluation Criteria and will receive no further consideration.

##### **2. Qualification of Firm – 10 points**

- a. Strength and stability of the firm;
- b. Technical competence and experience of firm's contractors in general providing similar services;
- c. Demonstrated knowledge of the scope of work required, capability of performing specific tasks outlined in the RFP;
- d. Adequacy of staff to provide required services; and
- e. Reputation of firm in providing similar services.

##### **3. Qualification of Personnel – 40 points**

- a. Qualifications, education, technical competence, and experience of staff;
- b. Proposal demonstrates the following:
  1. Provides a project-appropriate Contractor team organization diagram, including the Project Manager as the main point of contact.
  2. Identifies the geographic location of the firm and each team member.
  3. Describes the qualifications and experience of each proposed contractor team member, including key areas of expertise of each team member, plus their anticipated level of participation for the proposed type of service.
  4. Identifies the anticipated level of participation as primary or supportive.

5. Clarifies who would be reasonably expected to perform the bulk of the work, and who would perform primarily oversight, QA/QC, and other supportive roles;
- c. Evidence of successful completion of similar projects.

**4. Work Plan / Project Understanding and Approach – 40 points**

- a. Depth and thoroughness of Contractor's understanding of the Project and the City's requirements;
- b. Identification and understanding of Project issues and challenges.
- c. Quality and logic of work plan;
- d. Logic of Project organization and appropriateness of resource estimate and labor distribution among the tasks;
- e. Adequacy of system or process for managing cost and budget;
- f. Adequacy of system or process for managing project schedule;
- g. Adequacy of system or process for communicating with the City.

**5. Value – 10 points**

- a. Appropriate number of hours budgeted for Project tasks;
- b. Reasonableness of Contractor's hourly rates, labor hours, and fee required to perform the work in relation to the scope of work.

**B. EVALUATION PROCEDURE**

An Evaluation Committee comprised of City staff will be appointed to review and evaluate all proposals received in accordance with the above criteria.

During the evaluation period, the City may do any or all of the following:

1. Generate a "short list" and conduct interviews with the top candidates;
2. Conduct on-site visits and/or tours of the candidates' places of business; and
3. Conduct negotiations with the most qualified candidate(s).

Contractors should be aware, however, that award may be made without Contractor visits, project visits, interviews, or further discussions or negotiations.

Subsequent to interviews, if conducted, the Evaluation Committee will further discuss and score the presentation and responses to questions using the same set of scoring of the interviews. The proposal score will count for 60% of the overall combined score and the interview, if scheduled, will count for 40% of the combined score. The final combined score will determine a final ranking of the Contractors.

**C. AWARD**

Contractors shall provide cost proposal(s) as described in Section V (8). Negotiations may or may not be conducted with contractors; therefore, the proposal submitted should contain contractor's most favorable terms and conditions, since the selection and award may be made without discussion with any contractor. Should the City be unable to negotiate a satisfactory contract with the highest ranked contractor, the City retains the right to terminate negotiations with the highest ranked contractor and open negotiations with the next highest ranked contractor.

City staff will submit a recommendation to City Council for consideration and approval of the proposal(s) evaluated by staff to be the most qualified for this project. The City anticipates making final selections and awards on or about April 7, 2021.

**D. CONTRACT TERM**

The initial contract term will be for a one-year period and shall be effective on or about May 19, 2021 through June 30, 2022.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms.

- 1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.
- 2) The second optional extension will be from July 1, 2024 through June 30, 2026.

**Contract Renewal:** The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers” for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

## **SECTION IV.**

### **SCOPE OF WORK**

The City of Corona requires to use a quality fabrication shop that is local to all city facilities. It is a requirement that the shop is On-Call 24 hours, 7 days week and 365 days per year.

The City of Corona DWP does requires a large variety of miscellaneous mockups for each system, including but not limited to Sunscreen, Perforated Screen, Protection Plates, Brackets, Canopies, Shim Plates, Steel Pipe Bollards, Awnings, Steel Framing, Fan Guards, Ventilations Panels, vandalism repairs, HVAC service, supports, welding, and all types of custom items.

It is required that all vendors follow the Cities and Osha safety rules and regulations while on site and contractor will need to keep all sites clean that they work on.

The shop must have a Quality Control Program with no complaints from municipalities and must be able to provide On Call services on emergency basis. The shop will be required to provide trained and professional employees that support the technical requirements that the city demands.

The shop is expected to have top quality parts and material and will be necessary for the shop technicians to be fully trained. Quality Control is essential to the City with no service complaints and the ability to perform under emergency situations.

Describe the firm's experience in performing work of a similar nature to that solicited in this RFP, and highlight the participation in such work by the key personnel proposed for assignment to this project;

Identify sub-contractors by company name, address, contact person, telephone number, project function, describe contractor's experience working with each sub-contractor and identify the scope of work to be performed by subcontractors; and

Provide a minimum of 3 references from the projects cited as related experience. Reference shall include the name, title, address, telephone number, and email address of the person(s) at the client organization most knowledgeable about the work performed. Contractor may also supply references from other work not cited in this section as related experience.

#### **1. Proposed Staffing and Project Organization**

This section of the proposal should establish the qualifications and involvement of the proposed project staff. Contractor shall:

- a. Provide education, experience and applicable professional credentials of proposed project staff.
- b. Furnish brief resumes, not more than two pages, and at least three references, for key personnel.
- c. Identify key personnel proposed to perform the work in the specified tasks and include major areas of sub-contractor work.

- d. Include a project organization chart which clearly delineates communication/reporting relationships among the project staff.
- e. Provide education, experience, and applicable professional credentials of proposed subcontractors.
- f. Include a statement that key personnel will be available to the extent proposed for the duration of the project acknowledging that no person designated as “key” to the project shall be removed or replaced without the prior written concurrence of the City.

## **2. Work Plan**

Contractor shall provide a narrative which addresses the Scope of Work and shows contractor’s understanding of the City’s needs and requirements. Contractor shall:

- a. Describe the approach to completing the tasks specified in the Scope of Work.
- b. Outline sequentially the activities that would be undertaken in completing the tasks and specify who would perform them.
- c. Furnish an anticipated schedule including milestones necessary to complete the project.
- d. Provide a resource estimate of labor resources, utilizing a table projecting the labor-hour allocation to the project by individual task.
- e. Identify methods that contractor will use to ensure quality control as well as budget and schedule control for the project.

Contractor may also propose enhancement or procedural or technical innovations to the Scope of Work which do not materially deviate from the objectives or required content of the project.

## **3. Exceptions/Deviations**

State any exceptions to or deviations from the requirements of this RFP on the Price Form where indicated. Where Contractor wishes to propose alternative approaches to meeting the City’s technical or contractual requirements, these should be thoroughly explained. Contractors are cautioned that exceptions or deviations from RFP requirements may cause their proposal to be rejected as non-responsive.

#### **4. Time Extensions**

There will be no time extensions for routine delays in Project development design, plan check, or permit processing. These must be anticipated in your fee. Time extensions will **only** be authorized in writing as a change order to the contract when due to **major** changes in Scope of Services, unavailability of essential information or delays by others.

#### **5. Alternative Work Schedule**

The Contractor should discuss the Project schedule and the ability to meet or exceed the milestones given. In the event it is determined that there are **major** deficiencies in the work schedule or that the work can be accomplished in less time, an alternative work schedule may be submitted along with an appropriate explanation in the Schedule Section of the proposal. City is under no obligation to consider such an alternative schedule.

#### **6. Labor Hour Estimate and Fee Proposal**

Cost proposals are requested from all contractors submitting proposals. After ranking of the contractors by qualifications, the City will review the cost proposal and begin the negotiations with the most qualified contractor. If agreement cannot be reached, then negotiations proceed to the next most qualified contractor. The goal of negotiations is to agree on a final contract that delivers the services, or products required at a fair and reasonable cost to the City. Contractor shall:

- a. Provide an hourly rate schedule (labeled as Exhibit “C” Compensation) and an hourly cost breakdown by task showing labor hours, hourly labor rates, and fees by task.
- b. Provide a total “Maximum Not-to Exceed” fee for all services to be rendered and all materials to be furnished.

Items typically negotiated include:

- a. Work plan
- b. Schedule and deadlines
- c. Products to be delivered
- d. Classification, wage rates, and experience level of personnel to be assigned
- e. Cost items, payments, and fees

#### **7. Appendices**

Information considered by Contractor to be pertinent to this Project and which has not been specifically solicited in any of the aforementioned sections may be placed in a separate appendix section. Contractors are cautioned, however, that this does not



constitute an invitation to submit large amounts of extraneous materials; **appendices should be relevant and brief.**

**8. Insurance**

Contractors shall submit evidence of ability to provide insurance in the amounts and with coverages as required in the attached Maintenance/General Services Agreement.

**B. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a proposal, Contractor warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this RFP are currently held by Contractor and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification should be included in Contractor's proposal. **Proposals lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

**C. PRICE FORM**

Contractor shall complete the Price Form in its entirety and state cash discounts offered. Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the required services or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

Contractor shall include in all monthly invoices the running total of the amount billed to the City and the remaining contract balance.

**D. MODIFICATIONS OF PROPOSALS**

Each Contractor shall submit its Proposal in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Proposal may render it non-responsive and may cause its rejection. Proposals shall neither delete, modify, nor supplement the printed matter on the Proposal Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered.

**E. NON-COLLUSION DECLARATION/AGREEMENT ACKNOWLEDGEMENT**

Contractor shall complete and sign the Non-Collusion Declaration and Acknowledgment of the City of Corona Agreement on the following pages and submit with proposal.

**F. PROPOSAL CHECKLIST**

- ☐ Cover Letter
- ☐ Technical Proposal
- ☐ Non-Collusion Declaration
- ☐ Acknowledgment of the Terms and Conditions of the City of Corona Professional Services Agreement
- ☐ Acknowledgement of Insurance Requirements Check List
- ☐ Completed Insurance Requirements Check List
- ☐ Contractor's Statement of Past Contract Disqualifications
- ☐ Price Form
- ☐ Fee Proposal
- ☐ Acknowledgement of Vendor Performance Evaluation Form

PARTY SUBMITTING PROPOSAL: Denise M Fonté

Not required to be notarized

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY CONTRACTOR AND SUBMITTED WITH PROPOSAL)**

The undersigned declares:

I am the Chief Operating Officer [title] of  
Baghouse & Industrial Sheet Metal Services, Inc. [proposer], the party making the foregoing bid.

The proposal is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The proposal is genuine and not collusive or a sham. The proposer has not directly or indirectly induced or solicited any other proposer to put in a false or sham bid. The proposer has not directly or indirectly colluded, conspired, plotted, or agreed with any proposer or anyone else to put in a sham bid, or to refrain from submitting a proposal. The proposer has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the proposal price of the proposer or any other proposer, or to fix any overhead, profit, or cost element of the proposal price, or of that of any other proposer. All statements contained in the proposal are true. The proposer has not, directly or indirectly, submitted his or her proposal price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof to effectuate a collusive or sham proposal, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a proposer that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the proposer.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on 3.18.21  
[date], at Corona [city], California [state].

  
\_\_\_\_\_  
Signature

Denise M Fonté  
\_\_\_\_\_  
Typed or Printed Name

Chief Operating Officer  
\_\_\_\_\_  
Title

Denise M Fonté  
\_\_\_\_\_  
Party Submitting Proposal

**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA MAINTENANCE/GENERAL SERVICES AGREEMENT**

This is to acknowledge that we have read the City of Corona Maintenance/General Services Agreement and will sign the Agreement, as presented, without exception, for the City's RFP 21-056RH.

Baghouse & Industrial Sheet Metal Services, Inc.

(Firm Name)

Denise M Fonté

Chief Operating Officer

(Print name and title of person signing for firm)



(Signature/Date)

Type text here

## ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

***(TO BE COMPLETED AND SUBMITTED WITH CONTRACTOR'S PROPOSAL)***

All applicable insurance requirements to this RFP are identified with a 'YES' under the "Applicable to Vendor" column on the RFP Insurance Requirements Check List.

Contractor acknowledges that we have reviewed the City of Corona Insurance Requirements Check Sheet and understand that we will be able to provide the insurance coverage required. A sample certificate of insurance is enclosed for the City's preliminary review. Any deductibles or self-insured retention amounts have been specified below for City's review and approval.

Deductible Amounts/Self-insured Retentions:

---

---

---

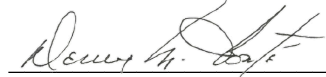
---

Baghouse & Industrial Sheet Metal Services, Inc.

(Firm Name)

Denise M Fonté Chief Operating Officer

(Print name and title of person signing for firm)



(Signature/Date)

See Attached

**City of Corona**  
**RFP 21-056RH Insurance Requirements Check List**  
**(To be Completed and Submitted with Contractor's Proposal)**

All applicable insurance requirements are identified with a 'YES' under the "Applicable to Vendor" column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?	YES		YES
Can your company provide Automobile Liability - \$1M?	YES		YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?	YES		YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			Not Applicable
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?	Y	E	S YES
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):X and authorized to issue the required policies in California?	Y	E	S YES

**Insurance Endorsements**  
**General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)	YES		YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?	YES		YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?	Y	E	S YES
Can your company provide Completed Operations as evidenced with the following endorsements?	Y	E	S YES
Endorsement form CG 20 10 11 85 <b>OR</b>	YES		YES
CG 20 37 <b>and</b> one of the following	Yes		YES
CG 20 10	Yes		YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?	YES - Attached		YES

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?	Y	E	S YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor?	YES		YES
Will your company provide a Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor?	YES		YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?	YES	No	YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?	Y	E	S YES
Does your insurance have any deductibles and/or self-insurance retentions?		No	YES

Use the space below to explain any "**NO**" responses.

-

Travelers for CG D6 04 08 13, page 2 of certificate referencing the 2 forms

---

---

---

---

---

---

---

---

---

---





## **Vendor Performance Evaluation Form**

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P. O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
Weekly <input type="radio"/>	Monthly <input type="radio"/>	Quarterly <input type="radio"/>	Annually <input type="radio"/>	Other <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning. <input style="float: right;" type="radio"/>		Professional Service - unique, technical, and/or infrequent functions performed by an independent contractor/vendor qualified by education, experience, and/or technical ability to provide services. <input style="float: right;" type="radio"/>		
Products - a supplier of a tangible object that is manufactured or refined for sale. <input style="float: right;" type="radio"/>		Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <input style="float: right;" type="radio"/>		
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> <li>6. <i>Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.</i></li> <li>7. <i>Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.</i></li> </ol>				

8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

OVERALL EVALUATION SCORE

4. 89

OVERALL EVALUATION RATING

EXCELLENT

—

## ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

Baghouse & Industrial Sheet Metal Services, Inc.

(Firm name)

Denise M Fonté Chief Operating Officer

(Print name and title of person signing for firm)



(Signature/date)

~~See~~ Attached

**SECTION VI.**  
**PRICE FORM**

REQUEST FOR PROPOSALS: **RFP 21-056RH**

DESCRIPTION OF WORK: **ESSENTIAL FABRICATION SERVICES FOR DWP**

CONTRACTOR'S NAME/ADDRESS:

Baghouse & Industrial Sheet Metal Services, Inc.

1731 Pomona Rd

Corona CA 92878

NAME/TELEPHONE NO. OF  
AUTHORIZED REPRESENTATIVE Denise M Fonté

951.545.3930

Please complete and upload the Price Form in its entirety into the PlanetBids electronic bidding system, and attach separate Excel spreadsheets with Contractor's fee schedule, including:

- 1) A copy of the contractor's hourly rate schedule (labeled as Exhibit "C" Compensation) and an hourly cost breakdown by task.
- 2) A total "Maximum Not-to Exceed" fee for all services to be rendered and all materials to be furnished.

Please indicate any elements of the Technical Specifications which cannot be met by your firm.

---

---

---

---

Have you included in your proposal all requested informational items and forms? Yes / No  
(circle one). If you answered "No", please explain: \_\_\_\_\_

---

---

Are you on the list of ineligible bidders or have you been or are you on any federal list of debarred or suspended bidders? Yes / No. (circle one)

This offer shall remain firm for 90 days from RFP close date.

Terms and conditions as set forth in this RFP apply to this proposal.

Unless otherwise stated, payment terms are: Net thirty (30) days.

In signing this proposal, Contractor warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this RFP. Below, please indicate all Addenda to this RFP received by your firm, and the date said Addenda was/were received.

Verification of Addenda Received

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

AUTHORIZED SIGNATURE:

  
\_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE:

Denise M Fonté Chief Operating Officer  
\_\_\_\_\_  
\_\_\_\_\_

DATE SIGNED:

3.18.21  
\_\_\_\_\_

COMPANY NAME & ADDRESS:

Baghouse & Industrial Sheet Metal Services, Inc.  
\_\_\_\_\_

1731 Pomona Rd  
\_\_\_\_\_

Corna CA 92878  
\_\_\_\_\_

PHONE: 951.545.3930 \_\_\_\_\_

EMAIL: dmfonte@baghousebiz.net \_\_\_\_\_

**SECTION VII.**  
**FORM OF AGREEMENT**

**\*\*\*MODEL - REMOVE THIS TITLE WHEN USED\*\*\***

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH \*\*\*INSERT NAME\*\*\*  
(ESSENTIAL FABRICATION SERVICES FOR DWP)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this \*\*\*INSERT DAY\*\*\* day of \*\*\*INSERT MONTH\*\*\*, \*\*\*INSERT YEAR\*\*\* ("Effective Date") by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 ("City") and \*\*\*INSERT NAME\*\*\*, a \*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\* with its principal place of business at \*\*\*INSERT ADDRESS\*\*\* ("Contractor"). City and Contractor are sometimes individually referred to as "Party" and collectively as "Parties" in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing Essential Fabrication services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the Essential Fabrication Services for DWP, **RFP No. 21-056RH** project ("Project") as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority ("CUA") for the maintenance, management and operation of those utility systems (collectively, the "CUA Management Agreements"). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

**3. TERMS.**

**3.1 Scope of Services and Term.**

**3.1.1 General Scope of Services.** Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the

professional Essential Fabrication maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from [\*\*\*INSERT START DATE\*\*\*] to [\*\*\*INSERT ENDING DATE\*\*\*] (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City’s Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement (“City’s Representative”). City’s Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City’s Representative or his or her designee.

3.2.5 Contractor’s Representative. Contractor hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement (“Contractor’s Representative”). Contractor’s Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor’s Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City’s staff, contractors and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being

employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.



3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Contractors. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and contractors performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or contractors to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subcontractor, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage

form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best’s rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best’s rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor’s obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor’s insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit “C” attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this

Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed **\*\*\*INSERT WRITTEN DOLLAR AMOUNT\*\*\*** (\$**\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\***) ("Total Compensation") without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**



3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

\*\*\*INSERT NAME, ADDRESS & CONTACT PERSON\*\*\*

**City:**

City of Corona  
400 South Vicentia Avenue  
Corona, CA 92882  
Attn: General Manager, Department of Water and Power or their authorized designee

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, contractors or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written

approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**



**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**(ESSENTIAL FABRICATION SERVICES FOR DWP)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_

[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest: \_\_\_\_\_

[\*\*\*INSERT NAME\*\*\*]  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**(ESSENTIAL FABRICATION SERVICES FOR DWP)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF CONTRACTOR\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_

**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

By: \_\_\_\_\_

**[\*\*\*INSERT NAME\*\*\*]**  
**[\*\*\*INSERT TITLE\*\*\*]**

**EXHIBIT "A"**  
**SCOPE OF SERVICES**

**\*\*\*INSERT SCOPE\*\*\***

MODEL 07-17

**EXHIBIT "B"**  
**SCHEDULE OF SERVICES**

**\*\*\*INSERT SCHEDULE\*\*\***

MODEL 07-17

**EXHIBIT "C"**  
**COMPENSATION**

**\*\*\*INSERT RATES & AUTHORIZED REIMBURSABLE EXPENSES\*\*\***

**\*\*\*SEE SECTION 3.2.12 ABOVE AND INSERT CITY'S REQUIREMENT FOR  
PERFORMANCE/PAYMENT BONDS, IF APPLICABLE; IF NOT REQUIRED, STATE THAT THEY  
ARE NOT REQUIRED\*\*\***

Addenda RFP 21-056RH

View Addenda Acknowledgments

March 22, 2021 (1) RFP 21-056RH City Answer to Vendor Question Essential Fabrication Services for DWP

There are no pumps on this RFP. This RFP is strictly for fabrication.



## ***RFP SUMMARY***

### ***Purchasing Division | Finance Department***

**DATE:** **May 11, 2021**

**SUBJECT:** **RFP Results**

RFP No.: RFP 21-056RH

RFP Name: Essential Fabrication Services for DWP  
(24 hours a day, 7 days a week & 365 days per year)

RFP Go Live Bidding Date: March 3, 2021

RFP Close Date: March 24, 2021; 10:00 a.m.

Advertised Date: March 3, 2021

No. of Notified Vendors: 71

No. of Vendors downloaded: 2

No. of Proposals received: 2

Rank	Company	City/State
1	MS Industrial Sheet Metal, Inc Baghouse / Industrial Sheet Metal Services, Inc.	Corona, CA
2	Powers Bros. Machine	Montebello, California

Proposals were evaluated, and this summary is provided as a matter of information only.


A contract award to the highest-ranked proposal is tentative upon final approval of the City's authorized contracting party.

The highest-ranked proposal was submitted by:  
MS Industrial Sheet Metal, Inc. / Baghouse & Industrial Sheet Metal Services, Inc. both located at the same business address in Corona, California

Sign below if you concur with the proposal results and wish to proceed to City Council for action and an award of a contract and purchase order to MS Industrial Sheet Metal, Inc./ Baghouse & Industrial Sheet Metal Services, Inc.

**Tentative Council Date:** June 16, 2021

Approved By:

DocuSigned by: 5/12/2021  
  
 Signature  
 Tom Moody  
 Name  
 General Manager  
 Title

DS  


RFP 21-056RH  
 Essential Fabrication Services for DWP (24 hours a day, 7 days a week & 365 days per year)

**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH BAGHOUSE & INDUSTRIAL SHEET METAL SERVICES, INC.  
("ON-CALL" ESSENTIAL FABRICATION SERVICES FOR DWP- RFP 21-056RH)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 16th day of June, 2021 ("Effective Date") by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 ("City") and Baghouse & Industrial Sheet Metal Services, Inc., a California Corporation with its principal place of business at 1731 Pomona Rd. Corona CA 92880 ("Contractor"). City and Contractor are sometimes individually referred to as "Party" and collectively as "Parties" in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing essential fabrication services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the Essential Fabrication Services for DWP, RFP No. 21-056RH project ("Project") as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority ("CUA") for the maintenance, management and operation of those utility systems (collectively, the "CUA Management Agreements"). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

**3. TERMS.**



### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional essential fabrication maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from June 16, 2021 to June 30, 2023 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Denise M Fonté, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If

Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

**3.2.9 Laws and Regulations; Employee/Labor Certifications.** Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

**3.2.9.1 Employment Eligibility; Contractor.** By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

**3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants.** To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or

Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all

insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: 1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers’ Compensation and Employer’s Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor’s may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A:-VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A:-X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates



set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Three Hundred Thousand Dollars (\$300,000) ("Total Compensation") per fiscal year without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend,

indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

Baghouse & Industrial Sheet Metal Services, Inc.  
1731 Pomona Rd  
Corona, CA 92878  
Attn: Denise M Fonté

**City:**

City of Corona

400 South Vicentia Avenue  
 Corona, CA 92882  
 Attn: Tom Moody Department of Water and Power

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH BAGHOUSE & INDUSTRIAL SHEET METAL SERVICES, INC.**  
**("ON-CALL" ESSENTIAL FABRICATION SERVICES FOR DWP- RFP 21-056RH)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Tom Moody  
General Manager

Reviewed By: \_\_\_\_\_  
Katie Hockett  
Assistant General Manager

Reviewed By: \_\_\_\_\_  
Aftab Hussain  
Maintenance Manager

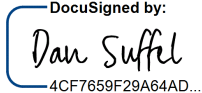
Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager


Attest: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH BAGHOUSE & INDUSTRIAL SHEET METAL SERVICES, INC.**  
**("ON-CALL" ESSENTIAL FABRICATION SERVICES FOR DWP- RFP 21-056RH)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**BAGHOUSE & INDUSTRIAL SHEET METAL SERVICES, INC.**  
a California Corporation

By:   
Daniel Suffel  
VP

By:   
Maryanne Serna  
CFO

## **EXHIBIT "A"**

### **SCOPE OF SERVICES**

Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional essential fabrication services to public clients necessary for the Project ("Services"). The Services are more particularly described in this Exhibit "A"

#### **Contractor Scope**

The City of Corona requires to use a quality fabrication shop that is local to all city facilities. It is a requirement that the shop is On-Call 24 hours, 7 days week and 365 days per year.

The City of Corona DWP does requires a large variety of miscellaneous mockups for each system, including but not limited to Sunscreen, Perforated Screen, Protection Plates, Brackets, Canopies, Shim Plates, Steel Pipe Bollards, Awnings, Steel Framing, Fan Guards, Ventilations Panels, vandalism repairs, HVAC service, supports, welding, and all types of custom items.

It is required that all vendors follow the Cities and Osha safety rules and regulations while on site and contractor will need to keep all sites clean that they work on.

The shop must have a Quality Control Program with no complaints from municipalities and must be able to provide On Call services on emergency basis.

The shop will be required to provide trained and professional employees that support the technical requirements that the city demands. The shop is expected to have top quality parts and material and will be necessary for the shop technicians to be fully trained. Quality Control is essential to the City with no service complaints and the ability to perform under emergency situations.



## **EXHIBIT “B” SCHEDULE OF SERVICES**

Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms:

- 1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.
- 2) The second optional extension will be from July 1, 2024 through June 30, 2026.

Contract Renewal: The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers” for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

## **EXHIBIT "C"**

### **COMPENSATION**

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this Exhibit "C" attached hereto and incorporated herein by reference.

**HOURLY PREVAILING WAGE LABOR  
RATES: CITY OF CORONA**

WEEKDAYS TIL 2:00 PM	\$170.00/hr
2:00 PM TIL 6:00 PM	\$220.00/hr
AFTER 6:00 PM	\$280.00/hr
SATURDAY TIL 2:00 PM	\$220.00/hr
2:00 PM AND AFTER	\$280.00/hr
SUNDAYS & HOLIDAYS - ALL DAY	\$280.00/hr
OH&P	5% of Field Labor

**LASER & WATER JET RATES**

WEEKDAYS TIL 2:00 PM	\$175.00/hr
2:00 PM TIL 6:00 PM	\$220.00/hr
AFTER 6:00 PM	\$280.00/hr
SATURDAY TIL 2:00 PM	\$220.00/hr
2:00 PM AND AFTER	\$280.00/hr
SUNDAYS & HOLIDAYS - ALL DAY	\$280.00/hr

**ALL ENGINEERING & PERMITTING SERVICES**

STANDARD	\$200.00/hr
OVERTIME	\$300.00/hr

**THE FOLLOWING WILL BE BILLED AS NECESSARY**

- FOUR HOUR MINIMUM
- TRAVEL TIME, EXPENSES & SUBSISTENCE
- PERSONAL PROTECTION EQUIPMENT
- ADDITIONAL INSURANCE REQUIREMENTS
- APPLICABLE SURCHARGES

## **HOURLY SHOP LABOR RATES: CITY OF CORONA**

WEEKDAYS TIL 2:00 PM	\$95.00/hr
2:00 PM TIL 6:00 PM	\$148.50/hr
AFTER 6:00 PM	\$190.00/hr
SATURDAY TIL 2:00 PM	\$148.50/hr
2:00 PM AND AFTER	\$190.00/hr
SUNDAYS & HOLIDAYS - ALL DAY	\$190.00/hr
OH&P	5% of Field Labor

## **LASER & WATER JET RATES**

WEEKDAYS TIL 2:00 PM	\$175.00/hr
2:00 PM TIL 6:00 PM	\$220.00/hr
AFTER 6:00 PM	\$280.00/hr
SATURDAY TIL 2:00 PM	\$220.00/hr
2:00 PM AND AFTER	\$280.00/hr
SUNDAYS & HOLIDAYS - ALL DAY	\$280.00/hr

## **ALL ENGINEERING & PERMITTING SERVICES**

STANDARD	\$200.00/hr
OVERTIME	\$300.00/hr

### **THE FOLLOWING WILL BE BILLED AS NECESSARY**

- FOUR HOUR MINIMUM
- TRAVEL TIME, EXPENSES & SUBSISTENCE
- PERSONAL PROTECTION EQUIPMENT
- ADDITIONAL INSURANCE REQUIREMENTS
- APPLICABLE SURCHARGES

Pursuant to Section 3.2.12 above payment and performance bonds will not be required.



Staff Report

---

**File #:** 21-0680

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Maintenance Services Department

**SUBJECT:**

Authorize a Second Amendment to the Maintenance/General Services Agreement with Genuine Parts Company.

**EXECUTIVE SUMMARY:**

The City of Corona Fleet Services Division has used Genuine Parts Company (NAPA Auto Parts) to provide vendor-managed parts for Fleet since 2017. The original contract was awarded to Genuine Parts Company based on a cooperative bid conducted by Sourcewell (formerly National Joint Powers Alliance). The prior bid expired, and Sourcewell issued a new bid. Genuine Parts Company was one of the awardees for the Sourcewell bid. Staff is recommending a second amendment to the Genuine Parts Company agreement to extend the terms to be consistent with the new Sourcewell bid award.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Authorize the City Manager, or his designee, to execute the Second Amendment to the Maintenance/General Services Agreement with Genuine Parts Company (doing business as NAPA Auto Parts) for \$575,000 per year for the initial contract term ending December 29, 2024.
- b. Authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$57,500 as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- c. Make a determination under Corona Municipal Code Section [3.08.140\(C\)](#) that competitive bidding has been satisfied for this purchase based upon the reasons provided in this agenda report.

- d. Authorize the Purchasing Manager to issue a purchase order to Genuine Parts Company (doing business as NAPA Auto Parts) for \$575,000 per year through December 29, 2024

**BACKGROUND & HISTORY:**

The Maintenance Services Department operates the City's Fleet division and conducts maintenance and repair on City-owned vehicles. As part of this operation, the Fleet division maintained an inventory of automotive parts for use on various City vehicles. The maintenance of Fleet parts inventory, which included the ordering, receiving, and issuing of parts, was done by a Fleet employee. It was a cumbersome process. Staff looked at other options available to provide these services cost-effectively and more efficiently. On July 19, 2017, the City Council authorized an award of a Maintenance/General Services Agreement with Genuine Parts Company (doing business as NAPA Auto Parts) of Atlanta, GA, for \$575,000 per year through a competitive bidding process completed through the national bidding consortium Sourcewell (formerly National Joint Powers Alliance). Sourcewell's original contract expired July 21, 2020, but Sourcewell approved an amendment through July 21, 2021. On June 3, 2020, the City Council approved the First Amendment to the Maintenance/General Services Agreement with Genuine Parts Company to extend the contract through July 21, 2021.

NAPA Auto Parts has been providing parts ordering, receiving, and inventory management solutions to the City's Fleet division in a satisfactory manner since the award of the Maintenance/General Services Agreement. NAPA Auto Part's software, known as TAMS, syncs with the AssetWorks software that Fleet utilizes for vehicle life-cycle management, work orders, purchasing and parts inventory management, and to help streamline the parts and supplies ordering process. When conducting a repair or routine maintenance, the Fleet Technician requests parts through Assetworks, automatically sending the request to NAPA Auto Part's system. NAPA Auto Parts then issues the parts from their software, and they post as charges in the Assetworks software for the appropriate work order. NAPA Auto Parts can source parts nationwide as a national company and draw on resources from other NAPA Auto Parts stores to provide the product. Staff has worked closely with NAPA Auto Parts personnel to ensure appropriate parts are always on hand.

**ANALYSIS:**

On September 17, 2020, Sourcewell issued Request for Proposals (RFP) #110520 for Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions. Proposals were due November 5, 2020. On December 23, 2020, Sourcewell executed a contract with Genuine Parts Company (GPC), doing business as NAPA Integrated Business Solutions to provide vendor-managed inventory. The contract is valid through December 29, 2024. The City has an existing Maintenance/General Services Agreement (MGSA) with GPC and recommends executing a Second Amendment to extend the terms of the agreement through December 29, 2024, to be consistent with the Sourcewell contract. The terms of the original agreement are still valid under the new Sourcewell contract.

The City's agreement with GPC utilizes pricing Option 2A as outlined in Exhibit 2. Under this pricing option, the City receives pricing as follows:

- Goods are sold to the City at a 10% gross margin over NAPA's acquisition cost
- Operating expenses are billed to the City at actual cost with no markup
- NAPA's return is built into the price of the part, so no separate fee is billed

The City spends \$29,210 per month on parts and \$4,868 per month on the management fee.

#### **BASIS FOR DETERMINATION OF COMPETITIVE BIDDING**

Staff believes that competitive bidding has already been completed for this purchase pursuant to Corona Municipal Code ("CMC") Section [3.08.140\(C\)](#), which states as follows:

**"Competitive bidding already completed.** When the purchasing agent and the authorized contracting party, with the approval of the City Manager, determines that:

- (1) Another public agency has conducted a competitive bid procedure including, but not limited to, another local agency, the state through the California Multiple Award Schedule (CMAS), the federal government through the General Services Administration (GSA), the U.S. Communities Government Purchasing Alliance, or the Western States Contracting Alliance (WSCA); and
- (2) The price to the City is equal to or better than the price to that public agency."

Staff believes awarding this contract is in the City's best interest because the City receives competitive pricing consistent with Sourcewell's contract, and there would be no competitive advantage gained from conducting a bid in-house. NAPA's vendor-managed inventory system has been very successful for the City and eliminates the need for City staff to use time and resources to find and obtain necessary parts. Further, NAPA can leverage their nationwide buying power to obtain parts that are priced better than those available to the City because they are buying in much larger quantities. Additionally, the management fee is reasonable and covers the cost of the NAPA staff person managing the program. If the City were to hire a City-employee in such a position, the price would be double based on salary and benefits.

#### **FINANCIAL IMPACT:**

Funding for the recommended action is available in the Fiscal Year 2022 Maintenance Services' operating budget. Funding for future fiscal years will be requested through the budget process.

#### **ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination is exempt from CEQA. This action consists of a contract award for the purchase of vehicle parts. Therefore, no environmental analysis is required.

**PREPARED BY:** KATIE HOCKETT, ASSISTANT GENERAL MANAGER

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1: Genuine Parts Company MGSA Second Amendment
2. Exhibit 2: Sourcewell RFP 110520 and Addendum
3. Exhibit 3: GPC Sourcewell Contract 110520
4. Exhibit 4: GPC Sourcewell Pricing Information



**CITY OF CORONA  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH GENUINE PARTS COMPANY (D/B/A NAPA AUTO PARTS)  
(VENDOR-MANAGED INVENTORY SUPPLY –  
CORONA VENDOR-MANAGED INVENTORY SUPPLY PROJECT)**

**1. PARTIES AND DATE.**

This Second Amendment to the Maintenance/General Services Agreement (“Second Amendment”) is made and entered into this \_\_\_ day of \_\_\_\_\_, 2021 by and between the City of Corona (“City”) and Genuine Parts Company d/b/a NAPA Auto Parts, a Georgia corporation (“NAPA”). City and NAPA are sometimes individually referred to as “Party” and collectively as “Parties” in this Second Amendment.

**2. RECITALS.**

2.1 Original Sourcewell Contract. Pursuant to a competitive bidding and selection process by Sourcewell (f/k/a National Joint Powers Alliance) (hereinafter, “Sourcewell”), a Minnesota-based Service Cooperative created by Minnesota Legislative Statute 123A.21, Sourcewell and NAPA executed contract #061015 on July 21, 2015, and that certain Amendment to Contract #061015-GPC dated November 20, 2019 (collectively, “Original Sourcewell Contract”) to establish a source of supply for certain auto, truck and bus parts as well as to provide Integrated Business Solutions services.

2.2 Member and User Agencies. By becoming a participating member of Sourcewell, Members and User Agencies (as those terms are defined in the Original Sourcewell Contract) were authorized to utilize the pricing and incentives available to Sourcewell Members set forth in the Original Sourcewell Contract.

2.3 Original City Agreement. City, as a User Agency under the Original Sourcewell Contract, and Napa previously executed that certain Maintenance/General Services Agreement dated July 19, 2017 by and between City and NAPA, and that certain First Amendment to Maintenance/General Services Agreement dated June 3, 2020 (collectively, “Original City Agreement”), pursuant to which NAPA has provided vendor-managed inventory supply services to City. The Original City Agreement will expire on June 30, 2021 pursuant to Section 3.1.2 of the Original Agreement.

2.4 New Sourcewell Contract. On December 23, 2020, pursuant to a competitive bidding and selection process by Sourcewell, Sourcewell and NAPA executed contract #110520-GPC, pursuant to which NAPA may continue to provide a source of supply for certain auto, truck and bus parts as well as to provide Integrated Business Solutions to User Agencies ( “New Sourcewell Contract”). Napa represents and warrants that the terms and conditions of the New Sourcewell Contract are the same as the terms and conditions of the Original Sourcewell Contract.

2.5 Second Amendment. City remains a User Agency under the New Sourcewell Contract, and the Parties desire to amend the Original City Agreement for the second time to extend the term through December 29, 2024.

### 3. TERMS.

3.1 Term. Section 3.1.2 of the Original City Agreement is hereby deleted in its entirety and replaced with the following:

“The term of this Agreement shall be from July 19, 2017 to December 29, 2024 (“Term”), unless earlier terminated as provided herein. NAPA shall complete the Services within the Term of this Agreement and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”).”

3.2 Continuing Effect of Agreement. Except as amended by this Second Amendment, all provisions of the Original City Agreement shall remain unchanged and in full force and effect. From and after the date of this Second Amendment, whenever the term “Agreement” appears in the Original City Agreement, it shall mean the Original City Agreement as amended by this Second Amendment.

3.3 Adequate Consideration. The Parties hereto irrevocably stipulate and agree that they have each received adequate and independent consideration for the performance of the obligations they have undertaken pursuant to this Second Amendment.

3.4 Counterparts. This Second Amendment may be executed in one or more counterparts and each counterpart shall, for all purposes, be deemed an original, but all such counterparts shall together constitute but one and the same instrument.

[SIGNATURES ON FOLLOWING PAGES]

**CITY'S SIGNATURE PAGE  
FOR  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH GENUINE PARTS COMPANY (D/B/A NAPA AUTO PARTS)  
(VENDOR-MANAGED INVENTORY SUPPLY –  
CORONA VENDOR-MANAGED INVENTORY SUPPLY PROJECT)**

IN WITNESS WHEREOF, the parties have entered into this Second Amendment to Maintenance/General Services Agreement as of the date noted on the first page of the Amendment.

**CITY OF CORONA**

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Reviewed By:

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest:

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

**NAPA'S SIGNATURE PAGE  
FOR  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH GENUINE PARTS COMPANY (D/B/A NAPA AUTO PARTS)  
(VENDOR-MANAGED INVENTORY SUPPLY –  
CORONA VENDOR-MANAGED INVENTORY SUPPLY PROJECT)**

IN WITNESS WHEREOF, the parties have entered into this Second Amendment to Maintenance/General Services Agreement as of the date noted on the first page of the Amendment.

**GENUINE PARTS COMPANY D/B/A NAPA AUTO PARTS**  
a Georgia corporation

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_



**RFP #110520**  
**REQUEST FOR PROPOSALS**  
**for**  
**Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions**

**Proposal Due Date: November 5, 2020, 4:30 p.m., Central Time**

Sourcewell, a State of Minnesota local government agency and service cooperative, is requesting proposals for Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions to result in a contracting solution for use by its Participating Entities. Sourcewell Participating Entities include thousands of governmental, higher education, K-12 education, nonprofit, tribal government, and other public agencies located in the United States and Canada. A full copy of the Request for Proposals can be found on the Sourcewell Procurement Portal [<https://proportal.sourcewell-mn.gov>]. Only proposals submitted through the Sourcewell Procurement Portal will be considered. Proposals are due no later than November 5, 2020, at 4:30 p.m. Central Time, and late proposals will not be considered.

**Solicitation Schedule**

Public Notice of RFP Published:	September 17, 2020
Pre-proposal Conference:	October 7, 2020, 10:00 a.m., Central Time
Question Submission Deadline:	October 29, 2020, 4:30 p.m., Central Time
<b>Proposal Due Date:</b>	<b>November 5, 2020, 4:30 p.m., Central Time</b> Late responses will not be considered.
Opening:	November 5, 2020, 6:30 p.m., Central Time **

\*\* SEE RFP SUB-SECTION V. G. "OPENING"

## **I. ABOUT SOURCEWELL PARTICIPATING ENTITIES**

### **A. SOURCEWELL**

Sourcewell is a State of Minnesota local government agency and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that facilitates a competitive public solicitation and contract award process for the benefit of its 50,000+ participating entities across the United States and Canada. Sourcewell's solicitation process complies with State of Minnesota law and policies, conforms to Canadian trade agreements, and results in cooperative contracting solutions from which Sourcewell's Participating Entities procure equipment, products, and services.

Cooperative contracting provides participating entities and vendors increased administrative efficiencies and the power of combined purchasing volume that result in overall cost savings. At times, Sourcewell also partners with other purchasing cooperatives to combine the purchasing volume of their membership into a single solicitation and contract expanding the reach of contracted vendors' potential pool of end users.

Sourcewell uses a website-based platform, the Sourcewell Procurement Portal, through which all proposals to this RFP must be submitted.

### **B. USE OF RESULTING CONTRACTS**

In the United States, Sourcewell's contracts are available for use by:

- Federal and state government entities;
- Cities, towns, and counties/parishes;
- Education service cooperatives;
- K-12 and higher education entities;
- Tribal government entities;
- Some nonprofit entities; and
- Other public entities.

In Canada, Sourcewell's contracts are available for use by:

- Provincial and territorial government departments, ministries, agencies, boards, councils, committees, commissions, and similar agencies;
- Regional, local, district, and other forms of municipal government, municipal organizations, school boards, and publicly-funded academic, health, and social service entities referred to as MASH sector (this should be construed to include but not be limited to the Cities of Calgary, Edmonton, Toronto, Calgary, Ottawa, and Winnipeg), as well as any corporation or entity owned or controlled by one or more of the preceding entities;

- Crown corporations, government enterprises, and other entities that are owned or controlled by these entities through ownership interest;
- Members of the Rural Municipalities of Alberta (RMA) and their represented Associations, Saskatchewan Association of Rural Municipalities (SARM), Saskatchewan Urban Municipalities Association (SUMA), Association of Manitoba Municipalities (AMM), Local Authority Services (LAS), Municipalities Newfoundland and Labrador (MNL), Nova Scotia Federation of Municipalities (NSFM), and Federation of Prince Edward Island Municipalities (FPEIM).

For a listing of current United States and Canadian Participating Entities visit Sourcewell's website (note: there is a tab for each country's listing): <https://www.sourcewell-mn.gov/sourcewell-for-vendors/agency-locator>.

Access to contracted equipment, products, or services by Participating Entities is typically through a purchase order issued directly to the applicable vendor. A Participating Entity may request additional terms or conditions related to a purchase. Use of Sourcewell contracts is voluntary and Participating Entities retain the right to obtain similar equipment, products, or services from other sources.

To meet Participating Entities' needs, public notice of this RFP has been broadly published, including notification in the United States to each state-level procurement department for possible re-posting.

Proof of publication will be available at the conclusion of the solicitation process.

## **II. EQUIPMENT, PRODUCTS, AND SERVICES**

### **A. SOLUTIONS-BASED SOLICITATION**

This RFP and contract award process is a solutions-based solicitation; meaning that Sourcewell is seeking equipment, products, or services that meet the general requirements of the scope of this RFP and that are commonly desired or are required by law or industry standards.

### **B. REQUESTED EQUIPMENT, PRODUCTS, OR SERVICES**

It is expected that Proposers will offer a wide array of equipment, products, or services at lower prices and with better value than what they would ordinarily offer to a single government entity, a school district, or a regional cooperative.

1. Sourcewell is seeking proposals for Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions, including, but not to be limited to:

a. Vendor Managed Inventory solutions, such as:

1. Parts, fluids, equipment, and supplies for vehicle, truck, fleet, and warehouse operations;
  2. On and off-site storage, service, and parts room operation, management, and staffing;
  3. Performance reporting, and data and technology analysis;
  4. Fleet and facility software integration and data exchange;
  5. Emergency response services;
  6. Parts replacement and warranty management;
  7. National distribution system services;
  8. Stock and non-stock parts sourcing of original equipment and aftermarket parts, fluids, equipment, and supplies; and,
  9. Parts research, acquisition, and delivery.
- b. Logistics Management Solutions, such as:
1. Warehouse management services;
  2. Warehouse and transportation coordination for in and outbound supplies;
  3. Shipment optimization;
  4. Freight management;
  5. Load scheduling and delivery confirmation;
  6. Customs management for international shipments;
  7. Coordination of just-in-time replenishment of parts; and,
  8. Web-based solutions and knowledge-based professional services.
- c. Training, consultative, and administrative or technical support services related to the delivery of the solutions offered under Section 1. a. or b. above.
2. The primary focus of this solicitation is on Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions. This solicitation should NOT be construed to include:
- a. Inventory Software System-only solutions;
  - b. Vehicle Parts-only solutions;
  - c. Public Safety Consultancy-only solutions.
3. This solicitation does not include those equipment, products, or services covered under categories included in contracts currently maintained by Sourcewell:
- a. RFP #022217 Fleet Management and Related Technology Solutions
  - b. RFP #060618 Fleet Management Services

Proposers may include related equipment, accessories, and services to the extent that these solutions are complementary to the equipment, products, or service(s) being proposed.



Generally, the solutions for Participating Entities are turn-key solutions, providing a combination of equipment, products and services, delivery, and installation to a properly operating status. However, equipment or products only solutions may be appropriate for situations where Participating Entities possess the ability, either in-house or through local third-party contractors, to properly install and bring to operation the equipment or products being proposed.

Sourcewell prefers vendors that provide a sole source of responsibility for the products and services provided under a resulting contract. If Proposer requires the use of dealers, resellers, or subcontractors to provide the products or services, the Proposal should address how the products or services will be provided to Participating Entities and describe the network of dealers, resellers, and/or subcontractors that will be available to serve Participating Entities under a resulting contract.

Sourcewell desires the broadest possible selection of equipment, products, and services being proposed over the largest possible geographic area and to the largest possible cross-section of Sourcewell current and future Participating Entities.

#### C. REQUIREMENTS

It is expected that Proposers have knowledge of all applicable industry standards, laws, and regulations and possess an ability to market and distribute the equipment, products, or services to Participating Entities.

1. Safety Requirements. All items proposed must comply with current applicable safety or regulatory standards or codes.
2. Deviation from Industry Standard. Deviations from industry standards must be identified with an explanation of how the equipment, products, and services will provide equivalent function, coverage, performance, and/or related services.
3. New Equipment and Products. Proposed equipment and products must be for new, current model; however, Proposer may offer certain close-out equipment or products if it is specifically noted in the Pricing proposal.
4. Delivered and operational. Unless clearly noted in the Proposal, equipment and products must be delivered to the Participating Entity as operational.
5. Warranty. All equipment, products, supplies, and services must be covered by a warranty that is the industry standard or better.

#### D. ANTICIPATED CONTRACT TERM

Sourcewell anticipates that the term of any resulting contract(s) will be four (4) years. Up to two one-year extensions may be offered based on the best interests of Sourcewell and its Participating Entities.

#### E. ESTIMATED CONTRACT VALUE AND USAGE

Based on past volume of similar contracts, the estimated annual value of all transactions from contracts resulting from this RFP are anticipated to be USD \$100 Million; therefore, proposers are expected to propose volume pricing. Sourcewell anticipates considerable activity under the contract(s) awarded from this RFP; however, sales and sales volume from any resulting contract are not guaranteed.

#### F. MARKETING PLAN

Proposer's sales force will be the primary source of communication with Participating Entities. The Proposer's Marketing Plan should demonstrate Proposer's ability to deploy a sales force or dealer network to Participating Entities, as well as Proposer's sales and service capabilities. It is expected that Proposer will promote and market any contract award.

#### G. ADDITIONAL CONSIDERATIONS

1. Contracts will be awarded to Proposers able to best meet the need of Participating Entities. Proposers should submit their complete line of equipment, products, or services that are applicable to the scope of this RFP.
2. Proposers should include all relevant information in its proposal, since Sourcewell cannot consider information that is not included in the Proposal. Sourcewell reserves the right to verify Proposer's information and may request clarification from a Proposer, including samples of the proposed equipment or products.
3. Depending upon the responses received in a given category, Sourcewell may need to organize responses into subcategories in order to provide the broadest coverage of the requested equipment, products, or services to Participating Entities. Awards may be based on a subcategory.
4. A Proposer's documented negative past performance with Sourcewell or its Participating Entities occurring under a previously awarded Sourcewell contract may be considered in the evaluation of a proposal.

### III. PRICING

#### A. REQUIREMENTS

All proposed pricing must be:

1. Line-Item Pricing, Percentage Discount from Catalog Pricing, Cost-Plus Pricing, or a combination of these:
  - a. **Line-item Pricing** is pricing based on each individual product or services. Each line must indicate the Vendor's published "List Price," as well as the "Contract Price."
  - b. **Percentage Discount from Catalog or Category** is based on a percentage discount from a catalog or list price, defined as a published Manufacturer's Suggested Retail Price

(MSRP) for the products or services. Individualized percentage discounts can be applied to any number of defined product groupings. Proposers will be responsible for providing and maintaining current published MSRP with Sourcewell, and this pricing must be included in its proposal and provided throughout the term of any Contract resulting from this RFP.

- c. **Cost-Plus Pricing** is pricing based on the actual cost incurred by the Vendor in performance of the contract, or a stated price for equipment or products supplied by Vendor, plus a specified amount of fee or profit.
2. The Proposer's ceiling price (Ceiling price means that the proposed pricing will be considered as the highest price for which equipment, products, or services may be billed to a Participating Entity). However, it is permissible for vendors to sell at a price that is lower than the contracted price;
3. Stated in U.S. and Canadian dollars (as applicable); and
4. Clearly understood, complete, and fully describe the total cost of acquisition (e.g., the cost of the proposed equipment, products, and services delivered and operational for its intended purpose in the Participating Entity's location).

Proposers should clearly identify any costs that are NOT included in the proposed product or service pricing. This may include items such as installation, set up, mandatory training, or initial inspection. Include identification of any parties that impose such costs and their relationship to the Proposer. Additionally, Proposers should clearly describe any unique distribution and/or delivery methods or options offered in the Proposal.

#### B. ADMINISTRATIVE FEES

Proposers are expected to pay to Sourcewell an administrative fee in exchange for Sourcewell facilitating the resulting contracts. The administrative fee is normally calculated as a percentage of the total sales to Participating Entities for all contracted equipment, products, or services made during a calendar quarter, and is typically one percent (1%) to two percent (2%). In some categories, a flat fee may be an acceptable alternative.

### IV. CONTRACT

Proposers awarded a contract will be required to execute a contract with Sourcewell (see attached template). Only those modifications the Proposer indicates in its proposal will be available for discussion. Much of the language in the Contract reflects Minnesota legal requirements and cannot be altered. Numerous and/or onerous exceptions that contradict Minnesota law may result in the Proposal being disqualified from further review and evaluation.

To request a modification to the Contract terms, conditions, or specifications, a Proposer must complete and submit the Exceptions to Terms, Conditions, or Specifications table, with all requested modifications, through the Sourcewell Procurement Portal at the time of submitting the Proposer's Proposal. Exceptions must:

1. Clearly identify the affected article and section, and
2. Clearly note what language is requested to be modified.

Unclear requests will be automatically denied.

Only those exceptions that have been accepted by Sourcewell will be included in the contract document provided to the awarded vendor for signature.

If a Proposer receives a contract award resulting from this solicitation it will have up to 30 days to sign and return the contract. After that time, at Sourcewell's sole discretion, the contract award may be revoked.

## **V. RFP PROCESS**

### **A. PRE-PROPOSAL CONFERENCE**

Sourcewell will hold an optional, non-mandatory pre-proposal conference via webcast on the date and time noted on page one of this RFP and on the Sourcewell Procurement Portal. The purpose of this conference is to allow potential Proposers to ask questions regarding this RFP and Sourcewell's competitive contracting process. Information about the webcast will be sent to all entities that have registered for this solicitation opportunity through their Sourcewell Procurement Portal Vendor Account. Pre-proposal conference attendance is optional.

### **B. QUESTIONS REGARDING THIS RFP AND ORAL COMMUNICATION**

Questions regarding this RFP must be submitted through the Sourcewell Procurement Portal. The deadline for submission of questions is found in the Solicitation Schedule and on the Sourcewell Procurement Portal. Answers to questions will be issued through an addendum to this RFP. Repetitive questions will be summarized into a single answer and identifying information will be removed from the submitted questions.

All questions, whether specific to a Proposer or generally related to the RFP, must be submitted using this process. Do not contact individual Sourcewell staff to ask questions or request information as this may disqualify the Proposer from responding to this RFP. Sourcewell will not respond to questions submitted after the deadline.

### **C. ADDENDA**

Sourcewell may modify this RFP at any time prior to the proposal due date by issuing an addendum. Addenda issued by Sourcewell become a part of the RFP and will be delivered to potential Proposers through the Sourcewell Procurement Portal. Sourcewell accepts no liability in connection with the delivery of any addenda.

Before a proposal will be accepted through the Sourcewell Procurement Portal, all addenda, if any, must be acknowledged by the Proposer by checking the box for each addendum. It is the

responsibility of the Proposer to check for any addenda that may have been issued up to the solicitation due date and time.

If an addendum is issued after a Proposer submitted its proposal, the Sourcewell Procurement Portal will WITHDRAW the submission and change the Proposer's proposal status to INCOMPLETE. The Proposer can view this status change in the "MY BIDS" section of the Sourcewell Procurement Portal Vendor Account. The Proposer is solely responsible to check the "MY BIDS" section of the Sourcewell Procurement Portal Vendor Account periodically after submitting its Proposal (and up to the Proposal due date). If the Proposer's Proposal status has changed to INCOMPLETE, the Proposer is solely responsible to:

- i) make any required adjustments to its proposal;
- ii) acknowledge the addenda; and
- iii) ensure the re-submitted proposal is received through the Sourcewell Procurement Portal no later than the Proposal Due Date and time shown in the Solicitation Schedule above.

#### D. PROPOSAL SUBMISSION

Proposer's complete proposal must be submitted through the Sourcewell Procurement Portal no later than the date and time specified in the Solicitation Schedule. Any other form of proposal submission, whether electronic, paper, or otherwise, will not be considered by Sourcewell. **Late proposals will not be considered.** It is the Proposer's sole responsibility to ensure that the proposal is received on time.

It is recommended that Proposers allow sufficient time to upload the proposal and to resolve any issues that may arise. The time and date that a Proposal is received by Sourcewell is solely determined by the Sourcewell Procurement Portal web clock.

In the event of problems with the Sourcewell Procurement Portal, follow the instructions for technical support posted in the portal. It may take up to twenty-four (24) hours to respond to certain issues.

Upon successful submission of a proposal, the Portal will automatically generate a confirmation email to the Proposer. If the Proposer does not receive a confirmation email, contact Sourcewell's support provider at [support@bidsandtenders.ca](mailto:support@bidsandtenders.ca).

To ensure receipt of the latest information and updates via email regarding this solicitation, or if the Proposer has obtained this solicitation document from a third party, the onus is on the Proposer to create a Sourcewell Procurement Portal Vendor Account and register for this solicitation opportunity.

Within the Procurement Portal, all proposals must be digitally acknowledged by an authorized representative of the Proposer attesting that the information contained in the proposal is true and accurate. By submitting a proposal, Proposer warrants that the information provided is true, correct, and reliable for purposes of evaluation for potential contract award. The

submission of inaccurate, misleading, or false information is grounds for disqualification from a contract award and may subject the Proposer to remedies available by law.

#### E. GENERAL PROPOSAL REQUIREMENTS

Proposals must be:

- In substantial compliance with the requirements of this RFP or it will be considered nonresponsive and be rejected.
- Complete. A proposal will be rejected if it is conditional or incomplete.
- Submitted in English.
- Valid and irrevocable for 90 days following the Proposal Due Date.

Any and all costs incurred in responding to this RFP will be borne by the Proposer.

#### F. PROPOSAL WITHDRAWAL

Prior to the proposal deadline, a Proposer may withdraw its proposal.

#### G. OPENING

The Opening of Proposals will be conducted electronically through the Sourcewell Procurement Portal. A list of all Proposers will be made publicly available in the Sourcewell Procurement Portal after the Proposal Due Date, but no later than the Opening time listed in the Solicitation Schedule.

To view the list of Proposers, verify that the Sourcewell Procurement Portal opportunities list search is set to “All” or “Closed.” The solicitation status will automatically change to “Closed” after the Proposal Due Date and Time.

### **VI. EVALUATION AND AWARD**

#### A. EVALUATION

It is the intent of Sourcewell to award one or more contracts to responsive and responsible Proposer(s) offering the best overall quality, selection of equipment, products, and services, and price that meet the commonly requested specifications of Sourcewell and its Participating Entities. The award(s) will be limited to the number of Proposers that Sourcewell determines is necessary to meet the needs of Participating Entities. Factors to be considered in determining the number of contracts to be awarded in any category may include the following:

- The number of and geographic location of:
  - Proposers necessary to offer a comprehensive selection of equipment, products, or services for Participating Entities’ use.

- A Proposer's sales and service network to assure availability of product supply and coverage to meet Participating Entities' anticipated needs.
- Total evaluation scores.
- The attributes of Proposers, and their equipment, products, or services, to assist Participating Entities achieve environmental and social requirements, preferences, and goals. Information submitted as part of a proposal should be as specific as possible when responding to the RFP. Do not assume Sourcewell's knowledge about a specific vendor or product.

## B. AWARD(S)

Award(s) will be made to the Proposer(s) whose proposal conforms to all conditions and requirements of the RFP, and consistent with the award criteria defined in this RFP.

Sourcewell may request written clarification of a proposal at any time during the evaluation process.

Proposal evaluation will be based on the following scoring criteria and the Sourcewell Evaluator Scoring Guide (available in the Sourcewell Procurement Portal):

Conformance to RFP Requirements	50
Financial Viability and Marketplace Success	75
Ability to Sell and Deliver Service	100
Marketing Plan	50
Value Added Attributes	75
Warranty	50
Depth and Breadth of Offered Equipment, Products, or Services	200
Pricing	400
<b>TOTAL POINTS</b>	<b>1000</b>

## C. PROTESTS OF AWARDS

Any protest made under this RFP by a Proposer must be in writing, addressed to Sourcewell's Executive Director, and delivered to the Sourcewell office located at 202 12th Street NE, P.O. Box 219, Staples, MN 56479. The protest must be received no later than 10 calendar days' following Sourcewell's notice of contract award(s) or non-award and must be time stamped by Sourcewell no later than 4:30 p.m., Central Time.

A protest must include the following items:

- The name, address, and telephone number of the protester;
- The original signature of the protester or its representative;
- Identification of the solicitation by RFP number;
- A precise statement of the relevant facts;

- Identification of the issues to be resolved;
- Identification of the legal or factual basis;
- Any additional supporting documentation; and
- Protest bond in the amount of \$20,000, except where prohibited by law or treaty.

Protests that do not address these elements will not be reviewed.

#### D. RIGHTS RESERVED

This RFP does not commit Sourcewell to award any contract and a proposal may be rejected if it is nonresponsive, conditional, incomplete, conflicting, or misleading. Proposals that contain false statements or do not support an attribute or condition stated by the Proposer may be rejected.

Sourcewell reserves the right to:

- Modify or cancel this RFP at any time;
- Reject any and all proposals received;
- Reject proposals that do not comply with the provisions of this RFP;
- Select, for contracts or for discussion, a proposal other than that with the lowest cost;
- Independently verify any information provided in a Proposal;
- Disqualify any Proposer that does not meet the requirements of this RFP, is debarred or suspended by the United States or Canada, State of Minnesota, Participating Entity's state or province; has an officer, or other key personnel, who have been charged with a serious crime; or is bankrupt, insolvent, or where bankruptcy or insolvency are a reasonable prospect;
- Waive or modify any informalities, irregularities, or inconsistencies in the proposals received;
- Clarify any part of a proposal and discuss any aspect of the proposal with any Proposer; and negotiate with more than one Proposer;
- Award a contract if only one responsive proposal is received if it is in the best interest of Participating Entities; and
- Award a contract to one or more Proposers if it is in the best interest of Participating Entities.

#### E. DISPOSITION OF PROPOSALS

All materials submitted in response to this RFP will become property of Sourcewell and will become public record in accordance with Minnesota Statutes Section 13.591, after negotiations are complete. Sourcewell considers that negotiations are complete upon execution of a resulting contract. It is the Proposer's responsibility to clearly identify any data submitted that it considers to be protected. Proposer must also include a justification for the classification citing the applicable Minnesota law.



Sourcewell will not consider the prices submitted by the Proposer to be confidential, proprietary, or trade secret materials. Financial information, including financial statements, provided by a Proposer is not considered trade secret under the statutory definition.

The Proposer understands that Sourcewell will reject proposals that are marked confidential or nonpublic, either substantially or in their entirety.



9/24/2020

Addendum No. 1

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Questions and Answers to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

Who are the end users? What is their Number range?

**Answer 1:**

Sourcewell is a State of Minnesota local government agency and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that facilitates a competitive public solicitation and contract award process for the benefit of its 50,000+ participating entities across the United States and Canada. Refer to RFP Section I. B. – Use of Resulting Contracts, for a listing of the types of entities eligible to utilize Sourcewell cooperative contracts.

The number of participating Sourcewell Participating Entities is not static. Sourcewell maintains a link to a Participating Entity list on the “Sourcewell for Vendors” page of the Sourcewell website, with a separate worksheet for both the US and Canada ([www.sourcewell-mn.gov/sourcewell-for-vendors/agency-locator](http://www.sourcewell-mn.gov/sourcewell-for-vendors/agency-locator)). The list is updated weekly.

**Question 2:**

Are Participating Entities represented on the selection committee? Who else is on the selection committee?

**Answer 2:**

In regard to this RFP, the proposal evaluation committee will be comprised of Sourcewell procurement professionals.

**Question 3:**

Did you have demonstrations of solutions that meet your requirements before posting the RFP? Will proposers be allowed to demonstrate a proposed solution?

**Answer 3:**

Refer to RFP Section V. – RFP Process for an overview of Sourcewell’s solicitation process. No proposer demonstrations have occurred, been planned or anticipated.

Each proposer, in its discretion, will determine the method it deems best suited to convey the relevant information through the Sourcewell Procurement Portal. The complete proposal must be submitted through the Sourcewell Procurement Portal, no later than the date and time specified in the Solicitation Schedule, and all relevant information should be included in the proposal.

**Question 4:**

Why are you trying to get a new system? What problem are you trying to solve with this RFP?

**Answer 4:**

This RFP and contract award process is a solutions-based solicitation; meaning that Sourcewell is seeking equipment, products, or services that meet the general requirements of the scope of this RFP and that are commonly desired or are required by law or industry standards.

**Question 5:**

Are there any requirements for a native mobile app or a native web app?

**Answer 5:**

Sourcewell utilizes a competitive, solutions-based solicitation approach that is not based on detailed specifications or finite quantities. A proposer can propose its entire line of equipment, products, and services falling within the requested equipment, products, and services as described in the RFP.

**Question 6:**

Is there a current vendor?

**Answer 6:**

For examples of current Sourcewell-awarded contracts, navigate to the page on the Sourcewell website at the following address: <https://www.sourcewell-mn.gov/contract-search>.

**Question 7:**

Can you provide a list of other purchasing cooperatives that you have worked with in the past?

**Answer 7:**

As stated in RFP Section I. A., "At times, Sourcewell also partners with other purchasing cooperatives...expanding the reach of contracted vendors' potential pool of end users." However, regarding this RFP, Sourcewell has not partnered with another purchasing cooperative to co-solicit this opportunity. Each RFP is an opportunity independent of any other prior, current or future RFPs.

**Question 8:**

Will you provide a list of plan takers?

**Answer 8:**

A list of plan takers will not be provided as part of the solicitation process.

**Question 9:**

Section III. A. 3. instructs pricing needs to be "Stated in US and Canadian dollars". Did you mean stated in US or Canadian Dollars? If you meant "and," how do you expect the exchange rate to be applied?

**Answer 9:**

RFP Section III. A. 3. states that pricing is to be "Stated in U.S. and Canadian dollars (as applicable)." Each proposer will use its discretion in addressing the exchange rate fluctuation challenge, as applicable. Without limiting the available alternatives, reference to applicable indexes, rates, or metrics, is allowable in a proposal. A proposer is not required to cover every geographic region to be considered for award. Each proposal is evaluated based on the criteria stated in the RFP.

---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 9/24/2020, is required at the time of proposal submittal.



9/28/2020

Addendum No. 2

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Questions and Answers to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

Will Sourcewell provide additional information on the requested equipment, products, and services? For instance, in RFP Section II. B. 1. a. 2., what is meant by “service”? What is involved with “parts room operation and management”? Or, referring to RFP Section II. B. 1. a. 3., what performance are you reporting? What do you need in terms of “data and technology analysis”?

[Note: Additional submitted questions omitted as repetitive per RFP Section V. B.]

**Answer 1:**

Sourcewell utilizes a competitive, solutions-based solicitation approach that is not based on detailed specifications or finite quantities. A proposer can propose its entire line of equipment, products, and services falling within the requested equipment, products, and services as described in the RFP. Sourcewell desires the broadest possible selection of equipment, products, and services being proposed over the largest possible geographic area and to the largest possible cross-section of Sourcewell current and future Participating Entities.

**Question 2:**

Due to a scheduling conflict, will Sourcewell consider shifting the virtual pre-proposal conference to the afternoon of 7 October?

**Answer 2:**

At this time Sourcewell will not entertain alterations to the Solicitation Schedule as outlined in the RFP. The Pre-Proposal Conference will be recorded. Following the Pre-

Proposal Conference, registered plan takers will receive an email providing the Pre-Proposal Conference presentation in PDF format and a link to the recording.

---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 9/28/2020, is required at the time of proposal submittal.



10/8/2020

Addendum No. 3

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Question and Answer to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

How do I locate the prior Sourcewell RFPs that have been excluded from this solicitation?

**Answer 1:**

All documentation for prior solicitations is located on the Sourcewell website ([www.sourcewell-mn.gov](http://www.sourcewell-mn.gov)). On the Sourcewell website homepage, access the search function located in the website header bar (identified with a “magnifying glass” icon) and enter the RFP number of interest. The search results page will display a hyperlink to the landing pages of the awarded vendors for the relevant RFP. Navigate to any awarded vendor landing page and then select the “Contract Documents” section along the left margin. The RFP is available as a download within the Contract Documentation section.

---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 10/8/2020, is required at the time of proposal submittal.



10/19/2020

Addendum No. 4

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Questions and Answers to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

How would you evaluate two partners working jointly on this RFP? Do you have a partnering list where plan takers volunteer their contact info to be contacted?

**Answer 1:**

Refer to RFP Section II. B. – Requested Equipment, Products, or Services – “If Proposer requires the use of dealers, resellers, or subcontractors to provide the products or services, the Proposal should address how the products or services will be provided to Participating Entities and describe the network of dealers, resellers, and/or subcontractors that will be available to serve Participating Entities under a resulting contract.” It is left to the discretion of each proposer to determine the information or documentation necessary to best demonstrate their ability to serve Sourcewell Participating Entities and satisfy all the requirements included in the questionnaire tables. Proposals are evaluated based on the criteria stated in the RFP.

Sourcewell does not maintain a partnering list.

**Question 2:**

Can we review a list of plan takers?

**Answer 2:**

Refer to Addendum 1, Question and Answer 8.



---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 10/19/2020, is required at the time of proposal submittal.



10/21/2020

Addendum No. 5

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Question and Answer to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

Due to the nature of our customizable solutions/services, is it acceptable to enter into separate agreements directly with the Participating Entity that would detail the specific scope of services to be provided and all of the key provisions relating to such services (e.g., termination rights, insurance requirements and liability).

**Answer 1:**

Refer to Sourcewell contract template Section 6. B. – Additional Terms and Conditions/Participating Addendum. “Additional terms and conditions to a purchase order may be negotiated between a Participating Entity and Vendor, such as job or industry-specific requirements, legal requirements (e.g., affirmative action or immigration status requirements), or specific local policy requirements. ... Any negotiated additional terms and conditions must never be less favorable to the Participating Entity than what is contained in this Contract.”

---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 10/21/2020, is required at the time of proposal submittal.



10/27/2020

Addendum No. 6

Solicitation Number: RFP 110520

Solicitation Name: Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

Consider the following Questions and Answers to be part of the above-titled solicitation documents. The remainder of the documents remain unchanged.

---

**Question 1:**

If there is an “addendum” or “additional terms” entered into directly with a Participating Entity, does that become a separate standalone and distinct agreement, such that the Sourcewell agreement only governs the contractual relationship between the vendor and Sourcewell?

**Answer 1:**

No. The Sourcewell contract is a necessary element of a Participating Entity purchase under the contract. Refer also to Sourcewell contract template Section 6. D. – Specialized Service Requirements, related to extra-contractual services or requirements.

**Question 2:**

Would the agreement that we enter into with a Participating Entity for specific services be required to be made public?

**Answer 2:**

Refer to Sourcewell contract template Section 6. F. – Governing Law and Venue. “The governing law and venue for any action related to a Participating Entity’s order will be determined by the Participating Entity making the purchase.”

---

End of Addendum

Acknowledgement of this Addendum to RFP 110520 posted to the Sourcewell Procurement Portal on 10/27/2020, is required at the time of proposal submittal.

**Solicitation Number: RFP #110520****CONTRACT**

This Contract is between Sourcewell, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479 (Sourcewell) and Genuine Parts Company d.b.a. NAPA Integrated Business Solutions, 2999 Wildwood Parkway, Atlanta, GA 30339 (Vendor).

Sourcewell is a State of Minnesota local government agency and service cooperative created under the laws of the State of Minnesota (Minnesota Statutes Section 123A.21) that offers cooperative procurement solutions to government entities. Participation is open to federal, state/province, and municipal governmental entities, higher education, K-12 education, nonprofit, tribal government, and other public entities located in the United States and Canada.

Vendor desires to contract with Sourcewell to provide equipment, products, or services to Sourcewell and the entities that access Sourcewell's cooperative purchasing contracts (Participating Entities).

**1. TERM OF CONTRACT**

- A. **EFFECTIVE DATE.** This Contract is effective upon the date of the final signature below.
- B. **EXPIRATION DATE AND EXTENSION.** This Contract expires December 29, 2024, unless it is cancelled sooner pursuant to Article 24. This Contract may be extended up to one additional one-year period upon request of Sourcewell and with written agreement by Vendor.
- C. **SURVIVAL OF TERMS.** Articles 11 through 16 survive the expiration or cancellation of this Contract.

**2. EQUIPMENT, PRODUCTS, OR SERVICES**

- A. **EQUIPMENT, PRODUCTS, OR SERVICES.** Vendor will provide the Equipment, Products, or Services as stated in its Proposal submitted under the Solicitation Number listed above. Vendor's Equipment, Products, or Services Proposal (Proposal) is attached and incorporated into this Contract.

All Equipment and Products provided under this Contract must be new/current model. Vendor may offer close-out or refurbished Equipment or Products if they are clearly indicated in

Vendor's product and pricing list. Unless agreed to by the Participating Entities in advance, Equipment or Products must be delivered as operational to the Participating Entity's site.

This Contract offers an indefinite quantity of sales, and while substantial volume is anticipated, sales and sales volume are not guaranteed.

B. **WARRANTY.** All products supplied to a Participating Entity under the Contract are subject to the terms of written warranties provided by the manufacturer of each product, and Vendor shall use reasonable commercial efforts to assist the Participating Entity in processing all warranty claims that the Participating Entity may have against a manufacturer. The manufacturer's warranty will be the sole and exclusive remedy of the Participating Entity in connection with any claims concerning the products supplied under the Contract. Copies of the manufacturers' warranties will be made available to the Participating Entity upon request. Vendor will pass through all available warranty benefits from the applicable manufacturer to the Participating Entity to the extent permitted by contract or law.

C. **DEALERS, DISTRIBUTORS, AND/OR RESELLERS.** Upon Contract execution, Vendor will make available to Sourcewell a means to validate or authenticate Vendor's authorized dealers, distributors, and/or resellers relative to the Equipment, Products, and Services related to this Contract. This list may be updated from time-to-time and is incorporated into this Contract by reference. It is the Vendor's responsibility to ensure Sourcewell receives the most current version of this list.

### **3. PRICING**

All Equipment, Products, or Services under this Contract will be priced as stated in Vendor's Proposal.

When providing pricing quotes to Participating Entities, all pricing quoted must reflect a Participating Entity's total cost of acquisition. This means that the quoted cost is for delivered Equipment, Products, and Services that are operational for their intended purpose, and includes all costs to the Participating Entity's requested delivery location.

Regardless of the payment method chosen by the Participating Entity, the total cost associated with any purchase option of the Equipment, Products, or Services must always be disclosed in the pricing quote to the applicable Participating Entity at the time of purchase.

A. **SHIPPING AND SHIPPING COSTS.** All delivered Equipment and Products must be properly packaged. Damaged Equipment and Products may be rejected. If the damage is not readily apparent at the time of delivery, Vendor must permit the Equipment and Products to be returned within a reasonable time at no cost to Sourcewell or its Participating Entities. Participating Entities reserve the right to inspect the Equipment and Products at a reasonable

time after delivery where circumstances or conditions prevent effective inspection of the Equipment and Products at the time of delivery.

Vendor must arrange for and pay for the return shipment on Equipment and Products that arrive in a defective or inoperable condition.

Sourcwell may declare the Vendor in breach of this Contract if the Vendor intentionally delivers substandard or inferior Equipment or Products. In the event of the delivery of nonconforming Equipment and Products, the Participating Entity will notify the Vendor as soon as possible and the Vendor will replace nonconforming Equipment and Products with conforming Equipment and Products that are acceptable to the Participating Entity.

B. SALES TAX. Each Participating Entity is responsible for supplying the Vendor with valid tax-exemption certification(s). When ordering, a Participating Entity must indicate if it is a tax-exempt entity.

C. HOT LIST PRICING. At any time during this Contract, Vendor may offer a specific selection of Equipment, Products, or Services at discounts greater than those listed in the Contract. When Vendor determines it will offer Hot List Pricing, it must be submitted electronically to Sourcwell in a line-item format. Equipment, Products, or Services may be added or removed from the Hot List at any time through a Sourcwell Price and Product Change Form as defined in Article 4 below.

Hot List program and pricing may also be used to discount and liquidate close-out and discontinued Equipment and Products as long as those close-out and discontinued items are clearly identified as such. Current ordering process and administrative fees apply. Hot List Pricing must be published and made available to all Participating Entities.

#### **4. PRODUCT AND PRICING CHANGE REQUESTS**

Vendor may request Equipment, Product, or Service changes, additions, or deletions at any time. All requests must be made in writing by submitting a signed Sourcwell Price and Product Change Request Form to the assigned Sourcwell Contract Administrator. This form is available from the assigned Sourcwell Contract Administrator. At a minimum, the request must:

- Identify the applicable Sourcwell contract number;
- Clearly specify the requested change;
- Provide sufficient detail to justify the requested change;
- Individually list all Equipment, Products, or Services affected by the requested change, along with the requested change (e.g., addition, deletion, price change); and
- Include a complete restatement of pricing documentation in Microsoft Excel with the effective date of the modified pricing, or product addition or deletion. The new pricing

restatement must include all Equipment, Products, and Services offered, even for those items where pricing remains unchanged.

A fully executed Sourcewell Price and Product Request Form will become an amendment to this Contract and be incorporated by reference.

## **5. PARTICIPATION, CONTRACT ACCESS, AND PARTICIPATING ENTITY REQUIREMENTS**

A. PARTICIPATION. Sourcewell's cooperative contracts are available and open to public and nonprofit entities across the United States and Canada; such as federal, state/province, municipal, K-12 and higher education, tribal government, and other public entities.

The benefits of this Contract should be available to all Participating Entities that can legally access the Equipment, Products, or Services under this Contract. A Participating Entity's authority to access this Contract is determined through its cooperative purchasing, interlocal, or joint powers laws. Any entity accessing benefits of this Contract will be considered a Service Member of Sourcewell during such time of access. Vendor understands that a Participating Entity's use of this Contract is at the Participating Entity's sole convenience and Participating Entities reserve the right to obtain like Equipment, Products, or Services from any other source.

Vendor is responsible for familiarizing its sales and service forces with Sourcewell contract use eligibility requirements and documentation and will encourage potential participating entities to join Sourcewell. Sourcewell reserves the right to add and remove Participating Entities to its roster during the term of this Contract.

B. PUBLIC FACILITIES. Vendor's employees may be required to perform work at government-owned facilities, including schools. Vendor's employees and agents must conduct themselves in a professional manner while on the premises, and in accordance with Participating Entity policies and procedures, and all applicable laws.

## **6. PARTICIPATING ENTITY USE AND PURCHASING**

A. ORDERS AND PAYMENT. To access the contracted Equipment, Products, or Services under this Contract, a Participating Entity must clearly indicate to Vendor that it intends to access this Contract; however, order flow and procedure will be developed jointly between Sourcewell and Vendor. Typically, a Participating Entity will issue an order directly to Vendor. If a Participating Entity issues a purchase order, it may use its own forms, but the purchase order should clearly note the applicable Sourcewell contract number. All Participating Entity orders under this Contract must be issued prior to expiration of this Contract; however, Vendor performance, Participating Entity payment, and any applicable warranty periods or other Vendor or Participating Entity obligations may extend beyond the term of this Contract.

Vendor's acceptable forms of payment are included in Attachment A. Participating Entities will be solely responsible for payment and Sourcewell will have no liability for any unpaid invoice of any Participating Entity.

B. **ADDITIONAL TERMS AND CONDITIONS/PARTICIPATING ADDENDUM.** Additional terms and conditions to a purchase order may be negotiated between a Participating Entity and Vendor, such as job or industry-specific requirements, legal requirements (e.g., affirmative action or immigration status requirements), or specific local policy requirements. Some Participating Entities may require the use of a Participating Addendum; the terms of which will be worked out directly between the Participating Entity and the Vendor. Any negotiated additional terms and conditions must never be less favorable to the Participating Entity than what is contained in this Contract.

C. **PERFORMANCE BOND.** If requested by a Participating Entity, Vendor will provide a performance bond that meets the requirements set forth in the Participating Entity's order.

D. **SPECIALIZED SERVICE REQUIREMENTS.** In the event that the Participating Entity requires service or specialized performance requirements (such as e-commerce specifications, specialized delivery requirements, or other specifications and requirements) not addressed in this Contract, the Participating Entity and the Vendor may enter into a separate, standalone agreement, apart from this Contract. Sourcewell, including its agents and employees, will not be made a party to a claim for breach of such agreement.

E. **TERMINATION OF ORDERS.** Participating Entities may terminate an order, in whole or in part, immediately upon notice to Vendor in the event of any of the following events:

1. The Participating Entity fails to receive funding or appropriation from its governing body at levels sufficient to pay for the goods to be purchased;
2. Federal, state, or provincial laws or regulations prohibit the purchase or change the Participating Entity's requirements; or
3. Vendor commits any material breach of this Contract or the additional terms agreed to between the Vendor and a Participating Entity.

F. **GOVERNING LAW AND VENUE.** The governing law and venue for any action related to a Participating Entity's order will be determined by the Participating Entity making the purchase.

## **7. CUSTOMER SERVICE**

A. **PRIMARY ACCOUNT REPRESENTATIVE.** Vendor will assign an Account Representative to Sourcewell for this Contract and must provide prompt notice to Sourcewell if that person is changed. The Account Representative will be responsible for:



- Maintenance and management of this Contract;
- Timely response to all Sourcwell and Participating Entity inquiries; and
- Business reviews to Sourcwell and Participating Entities, if applicable.

B. BUSINESS REVIEWS. Vendor must perform a minimum of one business review with Sourcwell per contract year. The business review will cover sales to Participating Entities, pricing and contract terms, administrative fees, supply issues, customer issues, and any other necessary information.

## **8. REPORT ON CONTRACT SALES ACTIVITY AND ADMINISTRATIVE FEE PAYMENT**

A. CONTRACT SALES ACTIVITY REPORT. Each calendar quarter, Vendor must provide a contract sales activity report (Report) to the Sourcwell Contract Administrator assigned to this Contract. A Report must be provided regardless of the number or amount of sales during that quarter (i.e., if there are no sales, Vendor must submit a report indicating no sales were made).

The Report must contain the following fields:

- Customer Name (e.g., City of Staples Highway Department);
- Customer Physical Street Address;
- Customer City;
- Customer State/Province;
- Customer Zip Code;
- Customer Contact Name;
- Customer Contact Email Address;
- Customer Contact Telephone Number;
- Sourcwell Assigned Entity/Participating Entity Number;
- Item Purchased Description;
- Item Purchased Price;
- Sourcwell Administrative Fee Applied; and
- Date Purchase was invoiced/sale was recognized as revenue by Vendor.

B. ADMINISTRATIVE FEE. In consideration for the support and services provided by Sourcwell, the Vendor will pay an administrative fee to Sourcwell on all Equipment, Products, and Services provided to Participating Entities. The Administrative Fee must be included in, and not added to, the pricing. Vendor may not charge Participating Entities more than the contracted price to offset the Administrative Fee.

The Vendor will submit a check payable to Sourcwell for the percentage of administrative fee stated in the Proposal multiplied by the total sales of all Equipment, Products, and Services purchased by Participating Entities under this Contract during each calendar quarter. Payments should note the Sourcwell-assigned contract number in the memo and must be mailed to the

address above "Attn: Accounts Receivable." Payments must be received no later than 45 calendar days after the end of each calendar quarter.

Vendor agrees to cooperate with Sourcewell in auditing transactions under this Contract to ensure that the administrative fee is paid on all items purchased under this Contract.

In the event the Vendor is delinquent in any undisputed administrative fees, Sourcewell reserves the right to cancel this Contract and reject any proposal submitted by the Vendor in any subsequent solicitation. In the event this Contract is cancelled by either party prior to the Contract's expiration date, the administrative fee payment will be due no more than 30 days from the cancellation date.

#### **9. AUTHORIZED REPRESENTATIVE**

Sourcewell's Authorized Representative is its Chief Procurement Officer.

Vendor's Authorized Representative is the person named in the Vendor's Proposal. If Vendor's Authorized Representative changes at any time during this Contract, Vendor must promptly notify Sourcewell in writing.

#### **10. ASSIGNMENT, AMENDMENTS, WAIVER, AND CONTRACT COMPLETE**

A. ASSIGNMENT. Neither the Vendor nor Sourcewell may assign or transfer any rights or obligations under this Contract without the prior consent of the parties and a fully executed assignment agreement. Such consent will not be unreasonably withheld.

B. AMENDMENTS. Any amendment to this Contract must be in writing and will not be effective until it has been fully executed by the parties.

C. WAIVER. If either party fails to enforce any provision of this Contract, that failure does not waive the provision or the right to enforce it.

D. CONTRACT COMPLETE. This Contract contains all negotiations and agreements between Sourcewell and Vendor. No other understanding regarding this Contract, whether written or oral, may be used to bind either party.

E. RELATIONSHIP OF THE PARTIES. The relationship of the parties is one of independent contractors, each free to exercise judgment and discretion with regard to the conduct of their respective businesses. This Contract does not create a partnership, joint venture, or any other relationship such as master-servant, or principal-agent.

## **11. LIABILITY**

Vendor must indemnify, save, and hold Sourcewell and its Participating Entities, including their agents and employees, harmless from any claims or causes of action, including attorneys' fees, arising out of the performance of this Contract by the Vendor or its agents or employees; this indemnification includes injury or death to person(s) or property alleged to have been caused by some defect in the Equipment, Products, or Services under this Contract to the extent the Equipment, Product, or Service has been used according to its specifications.

## **12. AUDITS**

Sourcewell reserves the right to review the books, records, documents, and accounting procedures and practices of the Vendor relevant to this Contract for a minimum of 6 years from the end of this Contract. This clause extends to Participating Entities as it relates to business conducted by that Participating Entity under this Contract.

## **13. GOVERNMENT DATA PRACTICES**

Vendor and Sourcewell must comply with the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13, as it applies to all data provided by or provided to Sourcewell under this Contract and as it applies to all data created, collected, received, stored, used, maintained, or disseminated by the Vendor under this Contract.

If the Vendor receives a request to release the data referred to in this article, the Vendor must immediately notify Sourcewell and Sourcewell will assist with how the Vendor should respond to the request.

## **14. INDEMNIFICATION**

As applicable, Vendor agrees to indemnify and hold harmless Sourcewell and its Participating Entities against any and all suits, claims, judgments, and costs instituted or recovered against Sourcewell or Participating Entities by any person on account of violation of applicable patent or copyright laws related to intellectual property rights owned, or represented as owned, by Vendor. Vendor will not provide copyright, trademark, or patent indemnity to Sourcewell or its Participating Entities for Equipment or Products supplied under the Contract which Vendor does not manufacture. Vendor will use reasonable commercial efforts to assist the Participating Entity in prosecuting any infringement indemnification claim against the applicable manufacturer.

## **15. INTELLECTUAL PROPERTY, PUBLICITY, MARKETING, AND ENDORSEMENT**

### **A. INTELLECTUAL PROPERTY**

1. *Grant of License.* During the term of this Contract:

- a. Sourcewell grants to Vendor a royalty-free, worldwide, non-exclusive right and license to use the Trademark(s) provided to Vendor by Sourcewell in advertising and promotional materials for the purpose of marketing Sourcewell's relationship with Vendor.
  - b. Vendor grants to Sourcewell a royalty-free, worldwide, non-exclusive right and license to use Vendor's Trademarks in advertising and promotional materials for the purpose of marketing Vendor's relationship with Sourcewell.
- 2. *Limited Right of Sublicense.* The right and license granted herein includes a limited right of each party to grant sublicenses to its and their respective distributors, marketing representatives, and agents (collectively "Permitted Sublicensees") in advertising and promotional materials for the purpose of marketing the Parties' relationship to Participating Entities. Any sublicense granted will be subject to the terms and conditions of this Article. Each party will be responsible for any breach of this Article by any of their respective sublicensees.
- 3. *Use; Quality Control.*
  - a. Sourcewell must not alter Vendor's Trademarks from the form provided by Vendor and must comply with Vendor's removal requests as to specific uses of its trademarks or logos.
  - b. Vendor must not alter Sourcewell's Trademarks from the form provided by Sourcewell and must comply with Sourcewell's removal requests as to specific uses of its trademarks or logos.
  - c. Each party agrees to use, and to cause its Permitted Sublicensees to use, the other party's Trademarks only in good faith and in a dignified manner consistent with such party's use of the Trademarks. Upon written notice to the breaching party, the breaching party has 30 days of the date of the written notice to cure the breach or the license will be terminated.
- 4. *Termination.* Upon the termination of this Contract for any reason, each party, including Permitted Sublicensees, will have 30 days to remove all Trademarks from signage, websites, and the like bearing the other party's name or logo (excepting Sourcewell's pre-printed catalog of vendors which may be used until the next printing). Vendor must return all marketing and promotional materials, including signage, provided by Sourcewell, or dispose of it according to Sourcewell's written directions.

B. **PUBLICITY.** Any publicity regarding the subject matter of this Contract must not be released without prior written approval from the Authorized Representatives. Publicity includes notices, informational pamphlets, press releases, research, reports, signs, and similar public notices prepared by or for the Vendor individually or jointly with others, or any subcontractors, with respect to the program, publications, or services provided resulting from this Contract.

C. **MARKETING.** Any direct advertising, marketing, or offers with Participating Entities must be approved by Sourcewell. Materials should be sent to the Sourcewell Contract Administrator assigned to this Contract.

D. ENDORSEMENT. The Vendor must not claim that Sourcewell endorses its Equipment, Products, or Services.

## **16. GOVERNING LAW, JURISDICTION, AND VENUE**

Minnesota law governs this Contract. Venue for all legal proceedings out of this Contract, or its breach, must be in the appropriate state court in Todd County or federal court in Fergus Falls, Minnesota.

## **17. FORCE MAJEURE**

Neither party to this Contract will be held responsible for delay or default caused by acts of God or other conditions that are beyond that party's reasonable control. A party defaulting under this provision must provide the other party prompt written notice of the default.

## **18. SEVERABILITY**

If any provision of this Contract is found to be illegal, unenforceable, or void then both Sourcewell and Vendor will be relieved of all obligations arising under such provisions. If the remainder of this Contract is capable of performance, it will not be affected by such declaration or finding and must be fully performed.

## **19. PERFORMANCE, DEFAULT, AND REMEDIES**

A. PERFORMANCE. During the term of this Contract, the parties will monitor performance and address unresolved contract issues as follows:

1. *Notification.* The parties must promptly notify each other of any known dispute and work in good faith to resolve such dispute within a reasonable period of time. If necessary, Sourcewell and the Vendor will jointly develop a short briefing document that describes the issue(s), relevant impact, and positions of both parties.
2. *Escalation.* If parties are unable to resolve the issue in a timely manner, as specified above, either Sourcewell or Vendor may escalate the resolution of the issue to a higher level of management. The Vendor will have 30 calendar days to cure an outstanding issue.
3. *Performance while Dispute is Pending.* Notwithstanding the existence of a dispute, the Vendor must continue without delay to carry out all of its responsibilities under the Contract that are not affected by the dispute. If the Vendor fails to continue without delay to perform its responsibilities under the Contract, in the accomplishment of all undisputed work, any additional costs incurred by Sourcewell and/or its Participating Entities as a result of such failure to proceed will be borne by the Vendor.

B. DEFAULT AND REMEDIES. Either of the following constitutes cause to declare this Contract, or any Participating Entity order under this Contract, in default:

1. Nonperformance of contractual requirements, or
2. A material breach of any term or condition of this Contract.

Written notice of default and a reasonable opportunity to cure must be issued by the party claiming default. Time allowed for cure will not diminish or eliminate any liability for liquidated or other damages permitted by the Contract. If the default remains after the opportunity for cure, the non-defaulting party may:

- Exercise any remedy provided by law or equity, or
- Terminate the Contract or any portion thereof, including any orders issued against the Contract.

## 20. INSURANCE

A. REQUIREMENTS. At its own expense, Vendor must maintain insurance policy(ies) in effect at all times during the performance of this Contract with insurance company(ies) licensed or authorized to do business in the State of Minnesota having an "AM BEST" rating of A- or better, with coverage and limits of insurance not less than the following:

1. *Workers' Compensation and Employer's Liability.*

Workers' Compensation: As required by any applicable law or regulation.

Employer's Liability Insurance: must be provided in amounts not less than listed below:

Minimum limits:

\$500,000 each accident for bodily injury by accident

\$500,000 policy limit for bodily injury by disease

\$500,000 each employee for bodily injury by disease

2. *Commercial General Liability Insurance.* Vendor will maintain insurance covering its operations, with coverage on an occurrence basis, and must be subject to terms no less broad than the Insurance Services Office ("ISO") Commercial General Liability Form CG0001 (2001 or newer edition), or equivalent. At a minimum, coverage must include liability arising from premises, operations, bodily injury and property damage, independent contractors, products-completed operations including construction defect, contractual liability, blanket contractual liability, and personal injury and advertising injury. All required limits, terms and conditions of coverage must be maintained during the term of this Contract.

Minimum Limits:

\$1,000,000 each occurrence Bodily Injury and Property Damage

\$1,000,000 Personal and Advertising Injury

\$2,000,000 aggregate for Products-Completed operations

\$2,000,000 general aggregate

3. *Commercial Automobile Liability Insurance.* During the term of this Contract, Vendor will maintain insurance covering all owned, hired, and non-owned automobiles in limits of liability not less than indicated below. The coverage must be subject to terms no less broad than ISO Business Auto Coverage Form CA 0001 (2010 edition or newer), or equivalent.

Minimum Limits:

\$1,000,000 each accident, combined single limit

4. *Umbrella Insurance.* During the term of this Contract, Vendor will maintain umbrella coverage over Workers' Compensation, Commercial General Liability, and Commercial Automobile.

Minimum Limits:

\$2,000,000

5. *Network Security and Privacy Liability Insurance.* During the term of this Contract, Vendor will maintain coverage for network security and privacy liability. The coverage may be endorsed on another form of liability coverage or written on a standalone policy. The insurance must cover claims which may arise from failure of Vendor's security resulting in, but not limited to, computer attacks, unauthorized access, disclosure of not public data – including but not limited to, confidential or private information, transmission of a computer virus, or denial of service.

Minimum limits:

\$2,000,000 per occurrence

\$2,000,000 annual aggregate

Failure of Vendor to maintain the required insurance will constitute a material breach entitling Sourcewell to immediately terminate this Contract for default.

B. CERTIFICATES OF INSURANCE. Prior to commencing under this Contract, Vendor must furnish to Sourcewell a certificate of insurance, as evidence of the insurance required under this Contract. Prior to expiration of the policy(ies), renewal certificates must be mailed to Sourcewell, 202 12th Street Northeast, P.O. Box 219, Staples, MN 56479 or sent to the Sourcewell Contract Administrator assigned to this Contract. The certificates must be signed by a person authorized by the insurer(s) to bind coverage on their behalf.

Failure to request certificates of insurance by Sourcewell, or failure of Vendor to provide certificates of insurance, in no way limits or relieves Vendor of its duties and responsibilities in this Contract.

C. ADDITIONAL INSURED ENDORSEMENT AND PRIMARY AND NON-CONTRIBUTORY INSURANCE CLAUSE. Vendor agrees to list Sourcewell and its Participating Entities, including their officers, agents, and employees, as an additional insured under the Vendor's commercial general liability insurance policy with respect to liability arising out of activities, "operations," or



“work” performed by or on behalf of Vendor, and products and completed operations of Vendor. The policy provision(s) or endorsement(s) must further provide that coverage is primary and not excess over or contributory with any other valid, applicable, and collectible insurance or self-insurance in force for the additional insureds.

D. **WAIVER OF SUBROGATION.** Vendor waives and must require (by endorsement or otherwise) all its insurers to waive subrogation rights against Sourcewell and other additional insureds for losses paid under the insurance policies required by this Contract or other insurance applicable to the Vendor or its subcontractors. The waiver must apply to all deductibles and/or self-insured retentions applicable to the required or any other insurance maintained by the Vendor or its subcontractors. Where permitted by law, Vendor must require similar written express waivers of subrogation and insurance clauses from each of its subcontractors.

E. **UMBRELLA/EXCESS LIABILITY/SELF-INSURED RETENTION.** The limits required by this Contract can be met by either providing a primary policy or in combination with umbrella/excess liability policy(ies), or self-insured retention.

## **21. COMPLIANCE**

A. **LAWS AND REGULATIONS.** All Equipment, Products, or Services provided under this Contract must comply fully with applicable federal laws and regulations, and with the laws in the states and provinces in which the Equipment, Products, or Services are sold.

B. **LICENSES.** Vendor must maintain a valid and current status on all required federal, state/provincial, and local licenses, bonds, and permits required for the operation of the business that the Vendor conducts with Sourcewell and Participating Entities.

## **22. BANKRUPTCY, DEBARMENT, OR SUSPENSION CERTIFICATION**

Vendor certifies and warrants that it is not in bankruptcy or that it has previously disclosed in writing certain information to Sourcewell related to bankruptcy actions. If at any time during this Contract Vendor declares bankruptcy, Vendor must immediately notify Sourcewell in writing.

Vendor certifies and warrants that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from programs operated by the State of Minnesota; the United States federal government or the Canadian government, as applicable; or any Participating Entity. Vendor certifies and warrants that neither it nor its principals have been convicted of a criminal offense related to the subject matter of this Contract. Vendor further warrants that it will provide immediate written notice to Sourcewell if this certification changes at any time.



### **23. PROVISIONS FOR NON-UNITED STATES FEDERAL ENTITY PROCUREMENTS UNDER UNITED STATES FEDERAL AWARDS OR OTHER AWARDS**

Participating Entities that use United States federal grant or FEMA funds to purchase goods or services from this Contract may be subject to additional requirements including the procurement standards of the Uniform Administrative Requirements, Cost Principles and Audit Requirements for Federal Awards, 2 C.F.R. § 200. Participating Entities may also require additional requirements based on specific funding specifications provided that any such additional requirements must be accepted in writing by Vendor for any such requirements to be binding on Vendor. Within this Article, all references to “federal” should be interpreted to mean the United States federal government. The following list only applies when a Participating Entity accesses Vendor’s Equipment, Products, or Services with United States federal funds.

A. **EQUAL EMPLOYMENT OPPORTUNITY.** Except as otherwise provided under 41 C.F.R. § 60, all contracts that meet the definition of “federally assisted construction contract” in 41 C.F.R. § 60-1.3 must include the equal opportunity clause provided under 41 C.F.R. §60-1.4(b), in accordance with Executive Order 11246, “Equal Employment Opportunity” (30 FR 12319, 12935, 3 C.F.R. §, 1964-1965 Comp., p. 339), as amended by Executive Order 11375, “Amending Executive Order 11246 Relating to Equal Employment Opportunity,” and implementing regulations at 41 C.F.R. § 60, “Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor.” The equal opportunity clause is incorporated herein by reference.

B. **DAVIS-BACON ACT, AS AMENDED (40 U.S.C. § 3141-3148).** When required by federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non-federal entities must include a provision for compliance with the Davis-Bacon Act (40 U.S.C. § 3141-3144, and 3146-3148) as supplemented by Department of Labor regulations (29 C.F.R. § 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non-federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non-federal entity must report all suspected or reported violations to the federal awarding agency. The contracts must also include a provision for compliance with the Copeland “Anti-Kickback” Act (40 U.S.C. § 3145), as supplemented by Department of Labor regulations (29 C.F.R. § 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). The Act provides that each contractor or subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non-federal entity must report

all suspected or reported violations to the federal awarding agency. Vendor must be in compliance with all applicable Davis-Bacon Act provisions.

C. CONTRACT WORK HOURS AND SAFETY STANDARDS ACT (40 U.S.C. § 3701-3708). Where applicable, all contracts awarded by the non-federal entity in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with 40 U.S.C. §§ 3702 and 3704, as supplemented by Department of Labor regulations (29 C.F.R. § 5). Under 40 U.S.C. § 3702 of the Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of 40 U.S.C. § 3704 are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence. This provision is hereby incorporated by reference into this Contract. Vendor certifies that during the term of an award for all contracts by Sourcewell resulting from this procurement process, Vendor must comply with applicable requirements as referenced above.

D. RIGHTS TO INVENTIONS MADE UNDER A CONTRACT OR AGREEMENT. If the federal award meets the definition of “funding agreement” under 37 C.F.R. § 401.2(a) and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that “funding agreement,” the recipient or subrecipient must comply with the requirements of 37 C.F.R. § 401, “Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements,” and any implementing regulations issued by the awarding agency. Vendor certifies that during the term of an award for all contracts by Sourcewell resulting from this procurement process, Vendor must comply with applicable requirements as referenced above.

E. CLEAN AIR ACT (42 U.S.C. § 7401-7671Q.) AND THE FEDERAL WATER POLLUTION CONTROL ACT (33 U.S.C. § 1251-1387). Contracts and subgrants of amounts in excess of \$150,000 require the non-federal award to agree to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (42 U.S.C. § 7401- 7671q) and the Federal Water Pollution Control Act as amended (33 U.S.C. § 1251- 1387). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA). Vendor certifies that during the term of this Contract will comply with applicable requirements as referenced above.

F. DEBARMENT AND SUSPENSION (EXECUTIVE ORDERS 12549 AND 12689). A contract award (see 2 C.F.R. § 180.220) must not be made to parties listed on the government wide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at 2 C.F.R.

§180 that implement Executive Orders 12549 (3 C.F.R. § 1986 Comp., p. 189) and 12689 (3 C.F.R. § 1989 Comp., p. 235), "Debarment and Suspension." SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549. Vendor certifies that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation by any federal department or agency.

G. BYRD ANTI-LOBBYING AMENDMENT, AS AMENDED (31 U.S.C. § 1352). Vendors must file any required certifications. Vendors must not have used federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any federal contract, grant, or any other award covered by 31 U.S.C. § 1352. Vendors must disclose any lobbying with non-federal funds that takes place in connection with obtaining any federal award. Such disclosures are forwarded from tier to tier up to the non-federal award. Vendors must file all certifications and disclosures required by, and otherwise comply with, the Byrd Anti-Lobbying Amendment (31 U.S.C. § 1352).

H. RECORD RETENTION REQUIREMENTS. To the extent applicable, Vendor must comply with the record retention requirements detailed in 2 C.F.R. § 200.333. The Vendor further certifies that it will retain all records as required by 2 C.F.R. § 200.333 for a period of 3 years after grantees or subgrantees submit final expenditure reports or quarterly or annual financial reports, as applicable, and all other pending matters are closed.

I. ENERGY POLICY AND CONSERVATION ACT COMPLIANCE. To the extent applicable, Vendor must comply with the mandatory standards and policies relating to energy efficiency which are contained in the state energy conservation plan issued in compliance with the Energy Policy and Conservation Act.

J. BUY AMERICAN PROVISIONS COMPLIANCE. To the extent applicable, Vendor must comply with all applicable provisions of the Buy American Act. Purchases made in accordance with the Buy American Act must follow the applicable procurement rules calling for free and open competition. Vendor does not guarantee compliance with the Buy American Act, except as may be negotiated with the Participating Entity on a case-by-case basis where compliance is required.

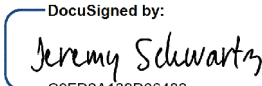
K. ACCESS TO RECORDS (2 C.F.R. § 200.336). Vendor agrees that duly authorized representatives of a federal agency must have access to any books, documents, papers and records of Vendor that are directly pertinent to Vendor's discharge of its obligations under this Contract for the purpose of making audits, examinations, excerpts, and transcriptions. The right also includes timely and reasonable access to Vendor's personnel for the purpose of interview and discussion relating to such documents.

L. PROCUREMENT OF RECOVERED MATERIALS (2 C.F.R. § 200.322). A non-federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 C.F.R. § 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines. Vendor does not guarantee compliance with Section 6002 of the Solid Waste Disposal Act, except as may be negotiated with the Participating Entity on a case-by-case basis where compliance is required.


## 24. CANCELLATION

Sourcwell or Vendor may cancel this Contract at any time, with or without cause, upon 60 days' written notice to the other party. However, Sourcwell may cancel this Contract immediately upon discovery of a material defect in any certification made in Vendor's Proposal. Cancellation of this Contract does not relieve either party of financial, product, or service obligations incurred or accrued prior to cancellation.

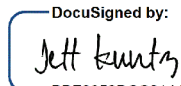
Sourcwell

DocuSigned by:  
  
By: C0FD2A139D06489...  
Jeremy Schwartz  
Title: Director of Operations &  
Procurement/CPO

Date: 12/21/2020 | 12:19 PM CST

Approved:  
DocuSigned by:  
  
By: 7E42B8F817A64CC...  
Chad Coauette  
Title: Executive Director/CEO  
Date: 12/23/2020 | 11:40 AM CST

Genuine Parts Company d.b.a.  
NAPA Integrated Business Solutions

DocuSigned by:  
  
By: BBF6652DCC21445...  
Jett Kuntz  
Title: Vice President NAPA Fleet & IBS

Date: 12/23/2020 | 7:25 AM PST

# RFP 110520 - Fleet and Facility Related Vendor Managed Inventory and Logistics Management Solutions

---

## Vendor Details

Company Name: Genuine Parts Company - NAPA Integrated Business Solutions

Does your company conduct business under any other name? If yes, please state: NAPA Auto Parts, NAPA IBS

Address: 2999 Wildwood Parkway  
Atlanta, GA 20229

Contact: Jett Kuntz

Email: jett\_kuntz@genpt.com

Phone: 770-855-2221

HST#: 58-0254510

## Submission Details

Created On: Thursday September 17, 2020 08:59:24

Submitted On: Wednesday November 04, 2020 13:44:42

Submitted By: Jett Kuntz

Email: jett\_kuntz@genpt.com

Transaction #: e59f1323-082e-4ac8-a098-20b0fad79e43

Submitter's IP Address: 104.225.162.124

---

## Specifications

**Table 1: Proposer Identity & Authorized Representatives**

**General Instructions** (applies to all Tables) Sourcewell prefers a brief but thorough response to each question. Please do not merely attach additional documents to your response without also providing a substantive response. Do not leave answers blank; mark "NA" if the question does not apply to you (preferably with an explanation).

Line Item	Question	Response *	
1	Proposer Legal Name (and applicable d/b/a, if any):	Genuine Parts Company d.b.a. NAPA Integrated Business Solutions	*
2	Proposer Address:	Genuine Parts Company 2999 Wildwood Parkway Atlanta, GA 30339	*
3	Proposer website address:	www.NAPA-IBS.com	*
4	Proposer's Authorized Representative (name, title, address, email address & phone) (The representative must have authority to sign the "Proposer's Assurance of Compliance" on behalf of the Proposer and, in the event of award, will be expected to execute the resulting contract):	Jett Kuntz Vice President, NAPA Fleet & IBS 2999 Wildwood Parkway Atlanta, GA 30339 Jett_Kuntz@genpt.com (770) 855-2221	*
5	Proposer's primary contact for this proposal (name, title, address, email address & phone):	Jett Kuntz Vice President, NAPA Fleet & IBS 2999 Wildwood Parkway Atlanta, GA 30339 Jett_Kuntz@genpt.com (770) 855-2221	*
6	Proposer's other contacts for this proposal, if any (name, title, address, email address & phone):	Tim Crowe NAPA IBS Marketing Coordinator 7150 South Fulton Street, Suite #300 Centennial, CO 80112 Tim_Crowe@genpt.com (720) 822-1264  Ryan Ouellette Director IBS Operations 2999 Wildwood Parkway Atlanta, GA 30339 Ryan_Ouellette@genpt.com (678) 934-5302	

**Table 2: Company Information and Financial Strength**

Line Item	Question	Response *
-----------	----------	------------

7	Provide a brief history of your company, including your company's core values, business philosophy, and industry longevity related to the requested equipment, products or services.	<p>Genuine Parts Company, founded in 1928, is a Fortune 200 (NYSE: GPC) service organization engaged in the distribution of automotive replacement parts, industrial replacement parts and electrical/electronic materials.</p> <p>In 1928, Carlyle Fraser founded GPC with the purchase of Motor Parts Depot in Atlanta, Georgia for \$40,000. He then renamed the parts store Genuine Parts Company. The original GPC store had annual sales of \$75,000 and had only six employees.</p> <p>Over the last 92 years, GPC, in relationship with NAPA, has grown rapidly as the number of independent car repair garage shops has increased. From the beginning, GPC stressed swift, reliable service as a way to outflank the competition.</p> <p>GPC has continued to grow through the acquisition of other companies in the automotive and industrial industries. Today, the Company serves tens of thousands of customers from more than 3,600 operations in the United States, Canada, Mexico, Australia, New Zealand, Indonesia, Singapore, France, the U.K., Germany, Poland, the Netherlands, Belgium and China and has approximately 50,000 employees and annual revenues exceeding \$19 billion.</p> <p>In 1994, NAPA instituted a vendor managed inventory program called NAPA Integrated Business Solutions (NAPA IBS), bringing fleet inventory management solutions to government customers across the US and Canada. Today, NAPA IBS supports more than 400 fleet garages across the public and private sectors.</p> <p>With more than 92 years of distribution expertise, GPC's commitment and reputation for just-in-time service position us as a critical partner in our customers' success.</p>
8	What are your company's expectations in the event of an award?	<p>Our first order of business, if awarded, will be to renew/extend each of our 50+ current Sourcewell IBS contracts to the allowable timeframe.</p> <p>In 2015 when Genuine Parts Company responded to the RFP for the current Sourcewell contract #061015, we had 17 IBS operations using the contract. In the past five years, we have worked tirelessly to grow the contract and today have more than 50 IBS customers using it. Our current customers have seen the benefits and are eager to continue the completely integrated programs we have begun over the last decade. We are already working on providing our team of 15 IBS sales and marketing specialists in the US and Canada with initiatives to reach out to these customers in anticipation of an award.</p> <p>Our next order of business upon award would be a large-scale campaign to recruit new government agencies to our contract. We currently have 20+ new agencies awaiting award to begin using a new Sourcewell contract term. We already have specific digital tracking of Sourcewell contract opportunities through Salesforce.com and customized pipeline reporting and will be creating a Sourcewell customer testimonial and promotional video series and more that we will discuss in greater depth in our Marketing Plan responses. We will present the new contract to these 20+ agencies within the first 45 days after award.</p> <p>When looking at the government fleet sector, we have identified more than \$500 million in potential new sales opportunity through NAPA IBS VMI services. With a new Sourcewell contract award, we estimate that we can achieve double the sales volume that we are doing today through new government contracts.</p> <p>Finally, we have more than 100 current IBS government customers in the US and Canada that are not currently using the Sourcewell cooperative for our contract. In the light of our current pandemic, we feel there will be many of these agencies who will be looking for contract solutions to keep our partnerships going with minimal effort and interruption. Our number one priority for these customers is to promote the Sourcewell contract as a vehicle to forego the RFP process when our current contracts come up for rebid. We feel good about our opportunities to convert many of these to Sourcewell contracts upon award.</p> <p>On another note, we are also currently working to drive Sourcewell revenues through our other related Sourcewell contracts, including MRO management and fleet auto parts, further strengthening our relationship with Sourcewell and our mutual business impact.</p> <p>All in, the opportunity to more than double our existing contract base using Sourcewell is our main objective with a new award.</p>



9	Demonstrate your financial strength and stability with meaningful data. This could include such items as financial statements, SEC filings, credit and bond ratings, letters of credit, and detailed reference letters. Upload supporting documents (as applicable) in the document upload section of your response.	<p>Founded in 1928, Genuine Parts Company has had more than 90 years of financial growth and operational stability. This strength brings confidence to Sourcewell members who want to know they are doing business with a company that is here to support them long term.</p> <p>Today, GPC is a leading global distributor with scale and brand strength. We have a strong track record of strategic acquisitions to drive growth in large, fragmented addressable markets where we can leverage our distribution expertise, efficiencies and shared services across our portfolio of businesses. We continuously optimize our portfolio and organizational structure for profitable growth and year over year maintain a strong balance sheet, cash flow, disciplined capital allocation and history of consistent dividends.</p> <p>In 2019, we continued to grow through several strategic transactions designed to optimize our portfolio and create value for our stakeholders. All in, 2019 was a record sales year and we provided our shareholders with a 14.0% total return. Our financial results in 2019 reflect the positive impact of our strategic growth initiatives and continued focus on improving our operating performance, maintaining a strong balance sheet, driving meaningful cash flows and effective capital allocation.</p> <p>In 2020, the COVID-19 crisis has affected business and governments across the world and GPC has felt some of these effects as well. However, by focusing on the health and safety of our people and supporting agility in our operations, we have come through this stronger than ever and continue to grow.</p> <p>Overall, GPC has a strong history of sales and profit growth, increasing sales in 87 consecutive years and profits in 75. Additionally, 2020 marks our 64th consecutive year of increased dividends to our shareholders.</p> <p>For further information and documentation, please find our 2019 annual report in the document upload section of this response.</p>	*
10	What is your US market share for the solutions that you are proposing?	With more than 400 IBS locations across the US, GPC/NAPA has an estimated 80 percent market share in the scope of the government vendor managed inventory services outlined in this RFP.	*
11	What is your Canadian market share for the solutions that you are proposing?	Within current government agencies that are doing vendor managed inventory programs in Canada, NAPA IBS has an estimated 90 percent market share. With 22 IBS sites across the country, including our cornerstone Sourcewell contract with the City of Toronto and eight other government IBS contract, our Canada operations are experienced and ready to grow their Sourcewell IBS footprint.	*
12	Has your business ever petitioned for bankruptcy protection? If so, explain in detail.	No, Genuine Parts Company has never petitioned for bankruptcy protection in our 92-year history.	*
13	How is your organization best described: is it a manufacturer, a distributor/dealer/reseller, or a service provider? Answer whichever question (either a) or b) just below) best applies to your organization. a) If your company is best described as a distributor/dealer/reseller (or similar entity), provide your written authorization to act as a distributor/dealer/reseller for the manufacturer of the products proposed in this RFP. If applicable, is your dealer network independent or company owned? b) If your company is best described as a manufacturer or service provider, describe your relationship with your sales and service force and with your dealer network in delivering the products and services proposed in this RFP. Are these individuals your employees, or the employees of a third party?	<p>Our company is both a distributor/dealer/reseller and a service provider with respect to this contract and is authorized to act as such for the products and services proposed in this RFP.</p> <p>Distributor/Dealer/Reseller: GPC/NAPA has an internal supply chain of NAPA branded aftermarket parts and supplies that we distribute through our 52 distribution centers and 6,000+ retail stores in the US and eight distribution centers and 600+ retail locations in Canada. These stores are a mix of company-owned and independent locations that exclusively are authorized to distribute aftermarket NAPA branded parts. In addition, NAPA Integrated Business Solutions (NAPA IBS) is a separate service offering that is made available through both our company-owned and independent operations. NAPA IBS is a trademarked, licensed brand exclusive to the NAPA family of stores. Through contractual assignment language, we are able to authorize our independent locations to perform the exact same services proposed within our response and have done so multiple times under our current contract.</p> <p>Additionally, in order to best serve our Sourcewell customers, we have a vast network of more than 1,400 outside suppliers available exclusively through our NAPA IBS network, that we partner with to be a full service, turnkey sourcing solution for government fleets that require more product than the NAPA system alone can provide. In these cases, we act as a service provider in procuring parts and managing those vendor relationships. All functions of this work are done by GPC employees or independent store employees. Typically, we do not hire third-party employees on any contracts unless specifically asked for by a government agency.</p>	*
14	If applicable, provide a detailed explanation outlining the licenses and certifications that are both required to be held, and actually held, by your organization (including third parties and subcontractors that you use) in pursuit of the business contemplated by this RFP.	Genuine Parts Company holds current business licenses to operate, as well as brick-and-mortar infrastructure, in each of the 50 states as well as Canada. With our company and independent store network, it is important to note that NAPA has current business licenses to do business in more than 6,000 markets with existing Sourcewell members today. What this means to the members is that there are local businesses with tax paying citizens working in those markets ready to serve them today.	*



15	Provide all "Suspension or Debarment" information that has applied to your organization during the past ten years.	Genuine Parts Company has not had any suspension or debarment action applied to our organization in the past ten years.	*
----	--	---	---

**Table 3: Industry Recognition & Marketplace Success**

Line Item	Question	Response *	
16	Describe any relevant industry awards or recognition that your company has received in the past five years	<p>In 2019, Jett Kuntz, Vice President of NAPA IBS, was awarded the Sourcewell Pioneer award at Sourcewell's H20 conference for his vision, commitment and drive to grow the current Sourcewell VMI contract. In the last five years, the contract has grown exponentially through Jett's and the IBS team's commitment to cooperative purchasing. In their press release announcing the award, Sourcewell stated:</p> <p>"Jett has supported Sourcewell's mission beyond cooperative purchasing. He shows great respect for other people in a manner that is rarely as authentic and genuine. He is committed to the cause, confident in supporting what they commit to, and willing to go where others cannot see a way. And like the other Sourcewell Pioneers, he has always been willing to share information and ideas with fellow vendors to help them grow their contracts. He was part of our 1st Vendor Advisory Committee and remains an active committee member helping guide our growth and represent the vendor voice as we plan for Sourcewell's future."</p> <p>Our vendor managed inventory services with IBS are also awarded with the successes of our customers. Over the past 26 years our NAPA IBS customers have received hundreds of local and national awards. In Government Fleet Magazine's 2019 Leading Fleet Awards, the following fleet organizations received awards of operational excellence and have attributed part of their success to NAPA IBS. These awards are given to the best fleets, all of the below being current NAPA IBS customers and many of which being Sourcewell members, for their use of industry best practices, forward-thinking initiatives and in many cases revolutionary contracting solutions. This is one of the highest honors in government fleet business.</p> <p>Current NAPA IBS Customers Awarded as Leading Fleets in 2019 (in alphabetical order):</p> <ul style="list-style-type: none"> <li>• City of Cape Coral, Fla.</li> <li>• City of Denton, Texas</li> <li>• City of Dublin, Ohio</li> <li>• City of Fort Worth, Texas</li> <li>• City of Greenville, S.C.</li> <li>• City of Lakeland Fleet Management, Fla.</li> <li>• City of Sacramento, Calif.</li> <li>• City of Tempe, Ariz.</li> <li>• City of Ventura, Calif.</li> <li>• County of San Diego</li> <li>• County of San Luis Obispo, Calif.</li> <li>• County of Sonoma, Calif.</li> <li>• Hillsborough County, Fla., Fleet Management Department</li> <li>• New York City Fleet</li> <li>• Ventura County, Calif., GSA Fleet Services</li> </ul> <p>Current NAPA IBS Customers Mentioned as Notable Fleets in 2019 (in alphabetical order):</p> <ul style="list-style-type: none"> <li>• Broward County Sheriff's Office, Fla.</li> <li>• City of Grand Prairie, Texas</li> <li>• City of Marietta, Ga.</li> <li>• City of West Jordan, Utah</li> <li>• Cobb County Fleet Management, Ga.</li> <li>• New York City Department of Transportation</li> <li>• New York City Police Department</li> <li>• Pasco County, Fla.</li> <li>• Sarasota County Government, Fla.</li> </ul>	*
17	What percentage of your sales are to the governmental sector in the past three years	<p>Of our 400+ IBS locations, Government (City, County, State, DOT, Government Utility) and Education (Higher Ed/K-12) comprise about 60 percent of our overall purchase volume in vendor managed inventory services. Of that government market, approximately 80 percent is traditional government and 20 percent is education.</p> <p>We also have very large customers in the private sector (airlines, construction, utility, private fleets) that are a significant portion of our IBS services. It is a tremendous value to our government customers that we have information on vendors from our private sector business as it broadens the scope of availability on OE and MRO supplies for our government and education fleet customers.</p>	*

18	What percentage of your sales are to the education sector in the past three years	Our education customers can be divided into K-12 bus fleets and higher education fleets. Traditional K-12 fleets have been the majority of purchases for us in the last three years. However, we have seen a significant uptick in Sourcewell members in the higher education category contracting with us. Of our total government volume, education is roughly 20 percent of our sales.	*
19	List any state, provincial, or cooperative purchasing contracts that you hold. What is the annual sales volume for each of these contracts over the past three years?	<p>NAPA has a mix of state, provincial and cooperative purchasing contracts that make up our government business segment. We have 40 standalone and cooperative state contracts for traditional automotive parts. Within the scope of vendor managed inventory services, we also have state and cooperative contracts that provide the specifications required by this RFP. A summary of each type of contract we currently hold is below.</p> <p>Traditional Parts Business:</p> <p>Direct Contracts with States (no coop): Total average annual contract value past 3 years = \$36.5 million</p> <p>State of Delaware State of Georgia State of Idaho State of Iowa State of Massachusetts State of Mississippi State of New Jersey State of Utah State of Virginia State of W. Virginia</p> <p>Cooperative Contracts:</p> <p>NASPO: 18 States Total avg. annual contract value past 3 years = \$35 million</p> <p>Sourcewell: 3 States + Individual Cities Total avg. annual contract value past 3 years = \$25 million</p> <p>Vendor Managed Inventory (IBS) Business:</p> <p>Direct Contracts with States (no coop): Total average annual contract value past 3 years = \$33.8 million</p> <p>State of Arizona State of Illinois State of Kansas State of Ohio</p> <p>Cooperative Contracts:</p> <p>Sourcewell: 3 States Total average annual contract value past 3 years = \$12.0 million</p> <p>State of Georgia State of Illinois State of Massachusetts</p>	*
20	List any GSA contracts or Standing Offers and Supply Arrangements (SOSA) that you hold. What is the annual sales volume for each of these contracts over the past three years?	NAPA IBS holds no GSA contracts.	*

Table 4: References/Testimonials

Line Item 21. Supply reference information from three customers who are eligible to be Sourcewell participating entities.

Entity Name *	Contact Name *	Phone Number *	
City of Sacramento, CA Department of Public Works Fleet Division	Mark Stevens Fleet Manager mstevens@cityofsacramento.org	916-808-5869	*
City of Ventura, CA Public Works Department	Mary Joyce Ivers Deputy Public Works Director mjivers@cityofventura.ca.gov	805-701-7315	*
Polk County, FL Fleet Management Division	Robert Biller Director, Fleet Management robertbiller@polk-county.net	863-534-5660	*
We have additional letters of recommendation for all three references attached in the supplemental document upload section of this response.	We have additional letters of recommendation for all three references attached in the supplemental document upload section of this response.	We have additional letters of recommendation for all three references attached in the supplemental document upload section of this response.	

**Table 5: Top Five Government or Education Customers**

**Line Item 22. Provide a list of your top five government, education, or non-profit customers (entity name is optional), including entity type, the state or province the entity is located in, scope of the project(s), size of transaction(s), and dollar volumes from the past three years.**

Entity Name	Entity Type *	State / Province *	Scope of Work *	Size of Transactions *	Dollar Volume Past Three Years *	
Chicago Transit Authority	Government	Illinois - IL	Vendor managed inventory services. Master warehouse that services 20 City bus and rail garages for the second-largest transit authority in the US.	Multi-year contract. Agency is billed a monthly fee for operational expenses. Separate billing is provided for all parts and supplies procured monthly through the contract. Parts transactions number in the thousands as we source through hundreds of vendors.	2020 YTD: \$55,365,549 2019: \$70,838,159 2018: \$68,722,731	*
City of Chicago Fleet	Government	Illinois - IL	Vendor managed inventory services for 14 on-site parts rooms servicing the City's fire, police, sanitation, parks, aviation and general fleets.	Multi-year contract. Agency is billed a monthly fee for operational expenses. Separate billing is provided for all parts and supplies procured monthly through the contract. Parts transactions number in the thousands as we source through hundreds of vendors.	2020 YTD: \$20,323,676 2019: \$28,098,757 2018: \$27,280,538	*
City of New York Fleet	Government	New York - NY	Vendor managed inventory services for 17 on-site parts rooms servicing the City's fire, police, sanitation, DOT, parks, corrections and general fleets.	Multi-year contract. Agency is billed a monthly fee for operational expenses. Separate billing is provided for all parts and supplies procured monthly through the contract. Parts transactions number in the thousands as we source through hundreds of vendors.	2020 YTD: \$19,639,682 2019: \$23,925,781 2018: \$20,285,905	*
Ohio Department of Transportation	Government	Ohio - OH	Vendor managed inventory services with onsite personnel in each of 12 DOT districts servicing more than 100 downline shops statewide supporting all DOT fleet operations, including snow removal, mowing, highway maintenance and more.	Multi-year contract. Agency is billed a monthly fee for operational expenses. Separate billing is provided for all parts and supplies procured monthly through the contract. Parts transactions number in the thousands as we source through hundreds of vendors.	2020 YTD: \$19,899,819 2019: \$21,439,285 2018: N/A	*
City of San Diego Fleet	Government	California - CA	Vendor managed inventory services for current Sourcewell customer with an on-site parts room with single-source delivery service to 11 garages supporting the City's police, fire, public works, sanitation, parks, golf course and utility fleets as well as MRO products.	Multi-year contract. Agency is billed a monthly fee for operational expenses. Separate billing is provided for all parts and supplies procured monthly through the contract. Parts transactions number in the thousands as we source through hundreds of vendors.	2020 YTD: \$8,979,109 2019: \$11,622,621 2018: \$11,076,795	*

**Table 6: Ability to Sell and Deliver Service**

Describe your company's capability to meet the needs of Sourcewell participating entities across the US and Canada, as applicable. Your response should address in detail at least the following areas: locations of your network of sales and service providers, the number of workers (full-time equivalents) involved in each sector, whether these workers are your direct employees (or employees of a third party), and any overlap between the sales and service functions.

Line Item	Question	Response *
23	Sales force.	<p>NAPA IBS has 100% coverage of the US through full-time NAPA IBS dedicated sales representatives across our 6 automotive company divisions: Our NAPA IBS United States Sourcewell sales force includes 16 Sourcewell sales execution specialists:</p> <p>Eastern Division – Terry Ryan, Lis Malysa – CT, DE, MA, ME, NH, NJ, NY, PA, RI, VT</p> <p>Mid-Atlantic Division – Josh Peters, Ron Nelson, Steve McNeal, Dan Bigham and Rich Huzi – DC, IN, KY, MD, NC, OH, PA, SC, TN, VA, WV</p> <p>Mountain Division – Dale Clark, Hunter Beal, Vicky Donio – AK, CO, ID, MT, OK, ND, NM, SD, TX, UT, WA, WY</p> <p>Midwest Division – Steve Brisco, John Marchese – IA, IL, KS, MI, MN, MO, NE, WI</p> <p>Southeast Division – Peter Purpura, Mark Smith – AL, AR, FL, GA, LA, MS, TN</p> <p>Western Division – Mike Picardi, Robert Sperry - AZ, CA, HI, OR, NV, WA</p> <p>In addition to our dedicated sales force in the US, we have local teams in every major market that are knowledgeable about and invested in promoting the Sourcewell program. Our local General Managers, District Managers, Commercial Sales Managers, Wholesale Managers and Area Managers make up another 250+ NAPA team members who are tasked with growing this contract.</p> <p>Napa will be also supporting the Sourcewell contract amongst 4 regions across Canada. Below is an organizational breakdown that demonstrates how it will be supported in the Atlantic, Quebec, Ontario and the Western region.</p> <p>Central &amp; East Regions – Stephanie Cooney-Mann – ON, MB, NS, PEI, NB, NF</p> <p>Quebec Region – Pierre Berthiaume - QC</p> <p>West Region - Troy Sawada – BC, AB, SK</p> <p>NAPA IBS Headquarters Sourcewell Contract Support – United States</p> <p>Jett Kuntz - Corporate Vice President NAPA IBS</p> <ul style="list-style-type: none"> <li>Responsible for all business category segments of IBS sales and operations including, project implementation, personnel development, operations, contracts, software integrations and marketing</li> <li>Senior, single point of contact for all Sourcewell contract questions</li> </ul> <p>Ryan Ouellette - Director of Operations – NAPA IBS</p> <ul style="list-style-type: none"> <li>Responsible for building a rock-solid operations platform to enhance our current operations and assist the roll-out of new locations</li> </ul> <p>Tim Crowe – Marketing Coordinator – NAPA IBS</p> <ul style="list-style-type: none"> <li>Manages NAPA IBS Digital Marketing and Salesforce.com database efforts</li> <li>Coordinates Digital Marketing for Sourcewell publicity and marketing efforts</li> </ul> <p>Matt Chapman - IBS Inventory Control Manager</p> <ul style="list-style-type: none"> <li>Manages NAPA IBS national "Vendor Spend" analysis</li> <li>Identifies reasonably achievable pricing cost schedules by supplier and/or industry</li> <li>Identifies targets for potential national vendor buying agreements</li> <li>Coordinates non-NAPA product line database to promote national inventory and sales reporting</li> <li>Reviews opportunities to move unproductive inventory to other IBS sites reducing obsolescence</li> <li>Provides feedback and input on IBS inventory control improvements</li> </ul> <p>Eric Maurey – IBS Operations Manager</p> <ul style="list-style-type: none"> <li>Establishes and provides oversight of standardized procedures</li> <li>Reviews operational initiatives for increased efficiencies</li> <li>Reports to upper management on operational key performance indicators (KPIs) of our group</li> <li>Establishes and reviews corporate IBS Policies and disperses them to the field</li> <li>Oversees implementation of service and accountability initiatives</li> <li>Sourcewell audit reporting reconciliation specialist</li> </ul> <p>Collin Garner - IBS Legal Counsel</p> <ul style="list-style-type: none"> <li>Reviews all documents before we execute an RFP response, contract change or new agreements</li> <li>Negotiates and coordinates all Sourcewell and IBS contract documents</li> </ul>

Donna Wright-Walsh – IBS IT Director

- Maintains relationships with major fleet software providers
- Oversees all software integration and IT reporting efforts
- Reviews new technology issues to improve platform compatibility

NAPA IBS Headquarters Sourcewell Contract Support – Canada

Gerry Tadeo – Director, IBS Store Operations

- Responsible for all business category segments of IBS sales and operations including, project implementation, personnel development, operations, contracts, software integrations
- Responsible for building a rock-solid operations platform to enhance our current operations and assist the roll-out of new locations

Darren Rest – Specialists, Bids & Quotes

- Lead proposal development including RFPs, RFIs, RFQs and RFSOs, as well as maintaining pertinent related electronic documentation, managing proposal drafts and researching content.
- Lead efforts to ensure accurate and effective logging, tracking, preparation and completion of high-quality proposals to support NAPA's sales activities.
- Develop and foster relationships with Regional Specialists to capitalize on sales opportunities pertaining to Government & large Fleets.

Barbara Schryver – IBS Inventory Coordinator

- Coordinates non-NAPA product line database to promote national inventory and sales reporting
- Reviews opportunities to move unproductive inventory to other IBS sites reducing obsolescence
- Provides feedback and input on IBS inventory control improvements

Martin Rolland – Uap Inc. Legal Counsel

- Reviews all documents before we execute an RFP response, contract change or new agreements
- Negotiates and coordinates all Sourcewell and IBS contract documents

Gilles Desrochers – Director, Store Computing/Integration

- Oversees all software integration and IT reporting efforts
- Reviews new technology issues to improve platform compatibility

24	Dealer network or other distribution methods.	<p>NAPA IBS promotes the Sourcewell vendor managed inventory contract to all of our 6,000+ stores nationwide. Our dealer network is broken out into 5,000 small business independent stores and 1,000 company-owned NAPA stores. These stores and our 400 unique vendor-managed locations are supported by our 52 master distribution centers that contain more than \$1 billion of fleet parts and other replenishment inventory for our network.</p> <p>The value of this network to Sourcewell members lies in our ability to provide inventory, distribution and local support in any area of the US or Canada without having to incur excessive mobilization or freight times or charges. If a member wants to implement our services, chances are we already have boots on the ground in their location who are trained and ready to support them right away. Our network is available 365 days each year to get our customers the parts they need in the most efficient way possible.</p> <p>Our network starts with the 5,000 local, small business NAPA stores that support Sourcewell in the areas where they operate. Many municipalities, such as the City of Tuscaloosa, Ala., place a strong emphasis on supporting local businesses and our local NAPA network in the City helped them do just that. When they had a need for fleet parts support, they were able to use our Sourcewell VMI contract to not only capture the benefits of the IBS program, but also support our local NAPA store owner, Joseph Roberto, and his operation that consisted of employees who lived and worked in the City in which they were serving.</p> <p>Our internal independent NAPA network supports local, small business across the US and Canada, but that's just one way we do that. We also have dedicated efforts across our local operations and our corporate footprint as a whole to support minority-, women- and veteran-owned and disadvantaged businesses in all of our sourcing activity. Whether a contractual obligation or a good-faith effort, this is an important cornerstone of our community support policy for IBS.</p> <p>In addition to our 5,000 local small business independent NAPA stores, we have the strength of our corporate-owned distribution network backing up the IBS program across the country. These stores have the financial support of NAPA headquarters and are key hubs in providing reliable staffing and distribution to our Sourcewell member customers. They also take advantage of our sister companies like Motion Industries, all under the Genuine Parts Company organization, that provide non-fleet distribution across the US and Canada, including industrial supplies, office products, MRO products, equipment and more.</p> <p>Furthermore, NAPA Auto Parts partners with over 14,000 independent automotive repair shops to provide high quality automotive repair and maintenance parts to ASE service professionals. NAPA AutoCare is the largest network of independent mechanics in North America. So, if it is time for routine maintenance or if a Sourcewell member needs major repairs, there is a NAPA AutoCare ASE Certified mechanic nearby. NAPA is highly motivated in partnering Sourcewell members contracted with IBS with our independent network of repair facilities to increase their technician productivity and reduce asset downtime by contracting out certain jobs to local small business NAPA AutoCare facilities. Ensuring the same quality parts are being used on all Sourcewell members equipment and possibly reducing costs by reducing the need of overtime contract mechanics for automotive work.</p> <p>All of our stores, whether under corporate or independent ownership, have the ability to source and stock the products that our customers need, whether NAPA branded or sourced from our outside network. This provides members the choice of what fits their fleet and facilities operations best while still having the power of our network to provide it. We currently work with more than 1,300 outside vendors in the IBS program that supply a wide variety of product categories and provide a basis for comparison for our customers on price, quality and service so they know they are getting what they want for their dollars.</p>
----	---	---



25	Service force.	<p>NAPA employs thousands of store, area, district, divisional and national sales and operations professionals to help execute our IBS programs and put boots on the ground in all areas across the US and Canada.</p> <p>The dedicated sales and operations team outlined in question #23 are solely focused on business development, compliance, and operation in all IBS contract engagements in the US and Canada. In addition, they do offer road service and manage the contract process throughout the life of the contract for our company and dealer network for IBS services. They are involved in contract selling, contract negotiation, mobilization, initial vendor management, and project implementation.</p> <p>After the launch of our IBS locations, the IBS sales representative remains involved with the contract to ensure we are meeting benchmarking and key performance indicators for the customer. They are a vital part in bringing outside of market information to the fleets and maintenance facilities we service. Our IBS contract sales force are a mobile field-driven sales team and are available to service the customers at their locations and to assist our existing on-site parts management team in any endeavor.</p> <p>The following is a look at the overall process flow for selling and managing Sourcwell contracts, along with which teams are involved at each stage:</p> <ol style="list-style-type: none"> <li>1. NAPA IBS HQ team sets standard operating procedures.</li> <li>2. Sales force promotes the contract to customers.</li> <li>3. Service force executes contracts and opens and manages sites.</li> <li>4. Marketing team conducts regular business reviews to promote contract retention.</li> <li>5. HQ team ensures compliance, reporting and overall growth.</li> </ol>
26	Describe in detail the process and procedure of your customer service program, if applicable. Include your response-time capabilities and commitments, as well as any incentives that help your providers meet your stated service goals or promises.	<p>Our customer service process and procedure support breaks into three categories: Sourcwell Contract Sales Process (Pre-Contract), Sourcwell Contract Implementation/Project Startup Process (Post Contract), and Sourcwell "Live Project" Process (Continuous Improvement Process)</p> <p><b>**Note**</b> All resources listed in this section are already in place and immediately available to respond to the award and commitments of a Sourcwell contract and subsequent contract marketing, mobilization and implementation.</p> <p>Sourcwell Contract Sales Process – Pre Contract</p> <p>Our NAPA IBS Vice President – Jett Kuntz – and the team of 10 dedicated Sourcwell IBS contract sellers are responsible for selling and promoting Sourcwell IBS contracts to our thousands of prospective candidates to use the Sourcwell contract for our services. This team will promote the contract using the marketing tools listed in our RFP response. Their responsibility will be to work with fleet management, procurement, finance, accounting and administration to build the best-in-class total IBS solution customized for their specific contract. They will coordinate the contract details, work with local NAPA management teams on personnel, inventory and implementation. This team will do the hard core analytics with fleet and warehouse management to determine the best solution for the customer. NAPA IBS believes in face-to-face customer service – so our teams are dedicated to work directly with customers in their shops to help them build the best vendor managed strategy for their operation.</p> <p>In conjunction with our sales effort – GPC provides NAPA IBS with dedicated legal resources to expedite the contract negotiation and finalization process. Our legal contact – Collin Garner – is available as an immediate resource to Sourcwell, our sales team, and our Sourcwell contract members to answer questions and expedite documents for contracts. This has been a huge benefit for our Sourcwell customers because of the speed of response on contract questions and finalizations.</p> <p>Sourcwell Contract Implementation/Project Startup Process – Post Contract</p> <p>After a contract has been finalized – our entire IBS operations organization immediately kicks into gear as we mobilize the vendor managed on-site location. Our headquarters support team listed in question #23 of this response is in charge of implementing the new project and performs the following mobilization support tasks:</p> <ol style="list-style-type: none"> <li>1) Databases Sourcwell contract in our in-house contract managing database</li> <li>2) Establishes contract pricing in the new site</li> <li>3) Coordinates IT efforts to support on-site point of sale and any special IT initiatives</li> <li>4) Verifies reporting systems for Sourcwell contract reporting</li> <li>5) Initializes our in-house on-line project management tools for the field</li> <li>6) Reviews internal business plan proposal to ensure contract compliance</li> <li>7) Finalizes specific key performance indicators and baseline benchmarks for our customer</li> </ol>



Next – our local field teams that will operate the day-to-day operations are mobilized according to the launch time-line of the project. The power of NAPA IBS is our phenomenal local support teams that execute the terms of our agreements. The support team that will work with our NAPA IBS sales team to mobilize the project include:

Local mobilization teams are comprised of members of our company that execute an IBS contract site implementation that includes initial inventory of customer's fleet parts and supplies, staffing, training, reporting, vendor initialization, billing services, IT connection, and site planning.

On company-owned locations, these efforts are led by our GPC District Manager and District Operations Manager for the particular market. NAPA has 50+ District Managers and District Ops Managers in place to mobilize any new IBS efforts. On the independent store side, we have GPC support resources to help our small business owners implement the same structure within their IBS location. These efforts are led by our GPC Distribution Center (DC) Management Team and their support staff. New independent Sourcewell IBS contracts will be led by a team of DC General Managers/ DC Operations Managers and the local market Commercial Sales Manager for that store's market.

All IBS new store installations are also aided by a vital added-value part of our effort: the NAPA Systems Selling Group team. This is a dedicated group of NAPA product managers that will assist in a mobilization through inventory efforts, product identification, and product cross-over databasing and fleet surveys to assist any operation in finding the correct stocking level for their products. This exclusive NAPA team includes:

- Filtration/Heavy Duty Product Support
- Undercar (Brakes/Chassis) Product Support
- Electrical/Underhood (Batteries, Rotating Electrical, Engine Management) Product Support
- Heating and Cooling Product Support
- Paint and Body Product Support
- Tools and Equipment Product Support

A final, important part of our site mobilization team is our IT team – every market has dedicated IT members who install our point-of-sale systems in IBS locations. In addition, our HQ IT team will work with this TAMS team and the customer to make sure any software integrations, billing procedures, and invoicing requirements are met.

#### Sourcewell "Live Project" Process (Continuous Improvement Process)

Once our site is live and the local operations have begun executing the services outlined in our contract, we feel a major part of our process and procedures include continuous improvement processes and continuous communication steps with our Sourcewell contract customers.

Each contract should have well-defined key performance objectives. Typical objectives include daily service rate, special order tracking, core and return tracking, daily parts fill-rate goals, down vehicle reports, inventory effectiveness, and parts cost comparisons. NAPA IBS has developed exclusive tools to measure these types of KPI's included in our contract.

The baseline of our continuous improvement program includes regular reviews of the business processes, inventory baselines, vendor management, and store operations. NAPA IBS has developed a solid regular business review process that we make a mandatory part of our offering. The Sourcewell contract customer will work with NAPA IBS on specific reporting and service measurables within our contract, and these will be reported during our regular business reviews. Usually these reviews are weekly in the first 90 days, monthly in the next 90 days, and quarterly after the first 6 months of operation.

These business reviews are conducted using a proprietary digital business review tool that streamlines and regulates the review process and includes customer input, feedback and scoring to ensure we are delivering above expectations. We have included a sample business review document as an attachment. Bottom-line, the only way we deliver continuous improvement is to communicate with ALL LEVELS of our contract customers to ensure the on-site location is performing to the expectations of our customer.

The last step of process and procedure accountability for our process after we go live is our Divisional and Headquarters quarterly review of all Sourcewell contracts. Our Division Vice Presidents and NAPA Headquarters operational staff outlined in this response review the Sourcewell contract and subsequent business review reports produced by our local operations to ensure contract compliance.

		NAPA IBS/Genuine Parts Company has countless dedicated resources to ensure a great Sourcewell contract experience for Sourcewell members when they engage in an IBS contract.	
27	Identify your ability and willingness to provide your products and services to Sourcewell participating entities in the United States.	<p>NAPA IBS is superiorly able and willing to provide all products and services in this RFP to Sourcewell participating entities in the United States.</p> <p>NAPA IBS has the unparalleled ability to provide our services to Sourcewell participating entities across the United States and we are already doing so today. We are currently actively under more than 50 contracts using Sourcewell with cities, counties, states, DOTs, K-12 and higher education institutions in the United States.</p> <p>We are able to accomplish this through our vast network of 55,000+ employees, our database of hundreds of fleet professionals that we work with every day to develop innovations and best practices, the support of NAPA headquarters to invest in programs and solutions that will benefit our customers, and our extensive distribution infrastructure. 6,000 NAPA stores and 52 large distribution centers nationwide make it really easy to get customers what they need, whether from our internal supply chain or by sourcing from supplier partners that we have spent decades building great relationships with.</p> <p>In sum, we have more than \$1 billion in NAPA inventory across our distribution network, \$175 million of which is dedicated specifically to IBS VMI parts rooms. Out of our 55,000 employees, nearly 5,000 of them have hands in the selling and operating processes that aide this contract development and execution and 1,100 of them are solely focused on NAPA IBS customers. Long story short, whatever the product is, we have the people and resources to get it.</p> <p>We have an incredible existing relationship with Sourcewell that demonstrates, year over year, our willingness to participate fully in this program. Sourcewell is the only cooperative contract that IBS holds in the US and it is an integral part of our selling and marketing fabric. Our national sales team and local support teams are well versed in presenting the Sourcewell solution to existing members and non-members and it is one of the first points raised when discussing simplifying VMI contract processes for governments.</p> <p>Beyond our current contract performance, we have further invested in our Sourcewell relationship through the other contracts we hold with Sourcewell, including Fleet Parts, MRO VMI, and Lifts &amp; Equipment contracts. We also partner with Government Sourcing Solutions, a procurement consulting organization closely tied to Sourcewell, to help us seek out existing members and non-members to approach about the Sourcewell opportunity.</p> <p>Our plan is to expand upon our success with the current Sourcewell contract to grow into new business areas and solutions for many Sourcewell members.</p>	*
28	Identify your ability and willingness to provide your products and services to Sourcewell participating entities in Canada.	<p>NAPA IBS is superiorly able and willing to provide all products and services in this RFP to Sourcewell participating entities in Canada.</p> <p>NAPA IBS in the US and Canada work as one and we are excited about the possibility of expanding use of the Sourcewell contract in Canada. They have existing IBS vendor managed sites within government operations, including a Sourcewell contract with the City of Toronto, today. We have a dedicated sales staff in place today that is trained and ready to execute a similar marketing plan that we are using in the US to further grow our Canadian footprint with Sourcewell.</p> <p>NAPA has a strong presence in every region and is fully capable of serving the Canadian geographical locations described in this RFP of current and future Sourcewell members and represented associations. NAPA has a national presence from coast to coast across Canada. Thanks to our 600-store network and our strategic distribution centers locations, we can meet all members' needs in a short amount of time, wherever they are operating.</p> <p>In addition, NAPA IBS Canada is already engaged in fleet related trade organizations, including NAFA, RMA and Kinetic GPO, where we have easy access to promote and market the Sourcewell message. Our team is in place, the training is ready to go, and our NAPA Canada team would be ready to promote day one of an award.</p> <p>Finally, Genuine Parts Company and NAPA IBS can provide Sourcewell with future international expansion of the co-operative contract solution for what we do. GPC owns operations in Australia, New Zealand and Mexico as well. Our IBS efforts in those markets are just underway and could prove to be an excellent opportunity to help promote co-op solutions internationally.</p>	*

29	Identify any geographic areas of the United States or Canada that you will NOT be fully serving through the proposed contract.	Our NAPA IBS is available in all 50 states and every Canadian province. We have a unique capability of having ready-to-go staffing and brick and mortar support as well as nightly parts and supply distribution into all 50 states. With over 6,000 stores across all 50 states (and many US Territories) and 52 master warehouses we offer a unique way for our locations to get parts and supplies delivered at extremely low costs to our customers. In addition, our IBS services are available to all government (city, county, state, utility, transit, airports, etc.) and education (state universities and school bus garages) institutions. Non-profits can also be serviced under our IBS program if the program fits their needs.	*
30	Identify any Sourcwell participating entity sectors (i.e., government, education, not-for-profit) that you will NOT be fully serving through the proposed contract. Explain in detail. For example, does your company have only a regional presence, or do other cooperative purchasing contracts limit your ability to promote another contract?	<p>NAPA IBS can service every vertical listed in the RFP: Government, Education and Non-Profit. If there is a fleet or warehousing service need with a Sourcwell member, NAPA IBS can customize our solution for that customer. For example, today the IBS program currently operates parts rooms in all of the following verticals and more:</p> <ul style="list-style-type: none"> <li>• Municipal, State and Federal Fleets</li> <li>• Facilities Management</li> <li>• General Services Warehousing</li> <li>• Public Transit</li> <li>• Education</li> <li>• Aviation Management</li> <li>• Public Works</li> <li>• Sanitation</li> <li>• Transportation</li> <li>• Police</li> <li>• Fire</li> <li>• Utility</li> <li>• Parks &amp; Recreation</li> <li>• Golf Courses</li> <li>• Forestry</li> <li>• More</li> </ul> <p>NAPA operates in all 50 states and all Canadian provinces and has no geographical limitation on providing VMI services to Sourcwell members. We even have distribution centers and current NAPA IBS operations in Alaska and Hawaii that increase our service ability and reduce freight concerns for those regions.</p> <p>One area where we feel we can improve our footprint with Sourcwell is in the non-profit sector, including hospitals, charity and other organizations. Regardless of the size of their fleets, these organizations have ways that we can help them manage their inventory better, and our MRO and warehousing management capabilities can be a good way to grow our Sourcwell business in that sector.</p>	*
31	Define any specific contract requirements or restrictions that would apply to our participating entities in Hawaii and Alaska and in US Territories.	<p>We have no requirements or restrictions for Alaska or Hawaii within the services in our RFP. NAPA IBS has brick and mortar warehouse locations and employees in both Honolulu and Anchorage as well as multiple company and independent NAPA dealers in multiple markets in both states that can and currently provide the services outlined in this RFP.</p> <p>The only US territory that we do not service is Puerto Rico.</p>	*

Table 7: Marketing Plan

Line Item	Question	Response *
-----------	----------	------------

32	Describe your marketing strategy for promoting this contract opportunity. Upload representative samples of your marketing materials (if applicable) in the document upload section of your response.	<p>NAPA IBS has a national team dedicated to marketing and growing our most important contracts, including everything Sourcewell. In addition to training this team on selling the value of our Sourcewell contract, we have headquarters-driven digital and print marketing efforts as well. Below are several examples of our available marketing materials and efforts and samples will be provided as attached documents.</p> <ul style="list-style-type: none"> <li>• NAPA IBS Website – public facing marketing and lead generation website that prominently displays our Sourcewell contract details and links to Sourcewell's contract page.</li> <li>• Salesforce.com – customer relationship management software that has been customized to track communications, lead progress, contract status, success metrics and more for Sourcewell prospects and existing customers. This allows our sales team to sell the program more efficiently.</li> <li>• Print Materials – marketing materials available to our sales team and customers include Sourcewell customer case studies, Sourcewell benefits and process flyers, customer information packet content and more.</li> <li>• Presentation Materials – our team has access to a predeveloped suite of digital content and presentation materials (Powerpoint slides) that promote the benefits of implementing Sourcewell contracts.</li> <li>• Video Content – we are in the process of developing specific video content that discusses Sourcewell opportunities with existing IBS customers using the contract. These videos will be available for use in presentations, on our website, on social media and more.</li> <li>• Fleet Industry Events – NAPA IBS sales and marketing experts attend more than 50 industry events across the US and Canada each year and we make specific efforts to promote the Sourcewell contract at each one where it applies. Some of the most significant industry events we attend on a regular basis include:</li> </ul> <p>National Events</p> <ul style="list-style-type: none"> <li>o NAFA I&amp;E <a href="http://www.NAFA.org">www.NAFA.org</a></li> <li>o Government Fleet Expo (GFX) <a href="http://www.governmentfleetexpo.com">www.governmentfleetexpo.com</a></li> <li>o FleetCon presented by FleetPros <a href="http://www.FleetPros.org">www.FleetPros.org</a></li> </ul> <p>Regional Events</p> <ul style="list-style-type: none"> <li>o Florida Association of Government Fleet Administrators (FLAGFA) <a href="http://www.FLAGFA.org">www.FLAGFA.org</a></li> <li>o Georgia Association of Pupil Transportation (GAPT) <a href="http://www.GAPTonline.org">www.GAPTonline.org</a></li> </ul>
----	--	--

33	Describe your use of technology and digital data (e.g., social media, metadata usage) to enhance marketing effectiveness.	<p>Our primary use of technology in promoting our Sourcewell contract is through the NAPA IBS website. Our website is a public-facing lead generation site that explicitly displays our Sourcewell partnership to prospective customers. The site also drives visitors to a contact page where we can collect fleet data and automatically pass it on to our local sales representative who is a trained expert on selling our Sourcewell option. When a prospect fills out the contact form, an email is automatically generated and sent to not only the local sales representative, but also to NAPA IBS executive and sales leadership to ensure prompt follow-up. We track all of this activity to measure our success rates and Sourcewell contract growth.</p> <p>The IBS website also contains digital tools and materials to help our team sell the Sourcewell VMI contract. It has a suite of presentation elements, which we use digitally these days to connect with prospects remotely and safely, as well as embedded testimonial videos that discuss how Sourcewell has helped real customers. These materials are also available to our entire NAPA store network to help them identify and educate potential Sourcewell customers that they already work with.</p> <p>Additionally, we use Salesforce.com, our customer relationship management system, to automatically track communication with Sourcewell customers and prospects through an integration with our Outlook email system. This allows our sales team to communicate more effectively with prospects and allows management to track pipeline movement and help drive results.</p> <p>Social media, such as LinkedIn, is an avenue we use to both network with fleet decision makers who we can educate about Sourcewell and promote events that we will be participating in. We further participate on event websites, in digital newsletters and email blasts and mobile apps. We also promote customer and vendor awards that tie into our Sourcewell offering to grow awareness and interest in the contract. All social media efforts are tracked so we can optimize our performance with respect to driving interest in this contract.</p> <p>While we are proud of the digital efforts we make, we can always do more. Moving forward, we are considering ideas such as adding a specific Sourcewell information section to our web contact form on <a href="http://www.NAPA-IBS.com">www.NAPA-IBS.com</a>. We are also interested in adding a Sourcewell link into applicable government email communications from our sales team to increase exposure and drive Sourcewell conversations.</p>
34	In your view, what is Sourcewell's role in promoting contracts arising out of this RFP? How will you integrate a Sourcewell-awarded contract into your sales process?	<p>We feel it is our job to educate our sales team on Sourcewell and make it an integral part of the way they sell the IBS solution to governments. The materials and tools we provide to our team have been developed specifically to this end and every applicable customer we meet with is presented the Sourcewell contract option. While we will continue to drive the success of this partnership, there are clearly defined ways in which Sourcewell can help the marketing effort:</p> <ul style="list-style-type: none"> <li>• Marketing Materials – Sourcewell can provide materials that help train our specialists and educate our customers on the benefits and procurement process of using Sourcewell contracts.</li> <li>• Continuing Education – provide our team with access to Sourcewell knowledge through online training, live and digital seminars, trade show involvement and personal consulting via phone calls with your team.</li> <li>• Government Contacts – supply direct access to government fleet and procurement decisionmakers who have expressed interest to you in the Sourcewell IBS contract.</li> <li>• Legislation – continue to drive legislative approval across the US and Canada for the ability to adopt Sourcewell contracts.</li> </ul>

35	Are your products or services available through an e-procurement ordering process? If so, describe your e-procurement system and how governmental and educational customers have used it.	<p>Yes, our products are available through e-procurement and other digital platforms and we have a large number of government customers using these ordering vehicles today. The following are a few of the most common digital methods used to order from us:</p> <ul style="list-style-type: none"> <li>• <b>NAPA ProLink:</b> NAPA ProLink is an exclusive online ordering and messaging system for customer shops to order NAPA branded parts from our stores or IBS locations. It gives the customer direct digital access to our catalog of more than 465,000 SKUs, all available on this contract.</li> <li>• <b>Fleet Software Integrations:</b> Our IBS sites offer a more in-depth digital solution to on- and off-site customers who want to order from us electronically. Integrating a shop's fleet software system into our inventory management and point-of-sale platform allows work order, parts order, vehicle status, billing, reporting and other data to pass automatically between the two. This increases technician productivity and data accuracy by letting the customer know exactly where their parts are and attaching every part ordered to a specific unit and work order. Some of our integrations even perform automated invoice reconciliation, extending the benefits beyond the shop and into customer administrative and accounting departments. Some examples of our most successful integrations with third-party software systems available today include AssetWorks (FA, M5), Faster, RTA, Dossier, Chevin and many more.</li> <li>• <b>Enterprise E-Procurement:</b> NAPA IBS has the capability to provide digital cataloging through punchouts and EDI interfaces placed directly within a customer's enterprise procurement system. On our e-commerce website, <a href="http://www.NAPAIBIZ.com">www.NAPAIBIZ.com</a>, we show companies that use large eProcurement programs how to register with NAPA to access our NAPA catalog. Platforms supported include Ariba, SAP, Oracle, Epicor, Ketera, Jaggaer, Proactis/Perfect Commerce, Coupa and more. We also offer digital warehousing solutions with JD Edwards and Manhattan products.</li> </ul>
----	---	--

**Table 8: Value-Added Attributes**

Line Item	Question	Response *
36	Describe any product, equipment, maintenance, or operator training programs that you offer to Sourcwell participating entities. Include details, such as whether training is standard or optional, who provides training, and any costs that apply.	<p>NAPA IBS has a unique position in fleet related services as we are the only company in this space that houses our own internal technician training on-site, on-line, and manufacturer based shop training – all in one package. Genuine Parts Company has made the investment to have our own certified technician training in-house – all with the purpose to help our fleet customers drive efficiency in their operations and to ensure their technicians receive the most up-to-date training to keep their fleet vehicles on the road.</p> <p>A sample of our NAPA IBS exclusive Autotech training course offerings is included in the supplemental uploads.</p> <p>Our customer needs for training vary, so we have a mix of free training – offered by dedicated NAPA Product Support teams – as an added value to our customers, in categories including: Filtration/Heavy Duty, Undercar (Brakes/Chassis), Electrical/Underhood (Batteries, Rotating Electrical, Engine Management), Heating and Cooling, Paint and Body, Tools and Equipment. This training is part of the fabric of any customer that has a NAPA IBS contract and will be available to Sourcwell members. In addition, Autotech has online and on-site training courses available for an additional fee.</p> <p>NAPA also works with a select group of non-NAPA suppliers that are able to provide resources and customer product training upon request. The size and scope of any requested training will determine any fees associated with these opportunities. All fees would be passed through to the customer at our cost with no markup.</p> <p>All onsite and online training can be bundled and easily tracked by a government agency through our <a href="http://www.NAPATraining.com">www.NAPATraining.com</a> website. This is a one-stop location for government fleet professionals to track and manage all training activities within their operations.</p>
37	Describe any technological advances that your proposed products or services offer.	<p>The IBS HUB, a NAPA IBS exclusive technology platform, revolutionizes the way that NAPA conducts business with government fleet customers and is available to all Sourcwell members at zero cost to them. The IBS HUB replaces typical invoicing/point-of-sale technology and replaces it with a work order and inventory management tool that has point-of-sale functionality built into it. All functionality inside of the IBS HUB was designed to make our NAPA IBS team members more efficient in routine processes so that they can focus on the important task of procuring parts to help keep our customers' fleets up and running.</p> <p>The IBS HUB directly impacts how an IBS operates, removing inefficient time-consuming activities and replacing them with intuitive interactive processes. Improvements that your Sourcwell members gain through the IBS HUB include, but are not limited to:</p> <ul style="list-style-type: none"> <li>• Order Management (Work Orders)</li> <li>• Inventory Management</li> <li>• Local Supplier Management</li> </ul>



- Inventory Barcoding
- Inventory Receiving and Reconciliation
- Automated, Accurate and Consistent Reporting.
- Ease of Integration
- IBS Network Wide Supply Chain Visibility

NAPA IBS has a dedicated team that works exclusively on enhancements to the IBS HUB system that will continue to add value to all IBS customers. One of our most recent value add additions is our IBS HUB Remote Consignment module.

The IBS HUB Remote Consignment Module adds functionality to the IBS HUB to facilitate offsite remote inventories that are not directly managed by on-site NAPA staff. These consignment inventories are supported by an on-site NAPA IBS location which provides stocking levels, tracking of used inventory, replenishment, and allocation of the inventory onto work orders.

#### Consignment Inventory Work Order and Replenishment Features:

- Source parts from Consignment Inventory during parts issuance to work orders
- Ad-hoc/Scheduled Replenishment from on-site NAPA IBS location
- Parts will be controlled by specific Shop location or Garage
- Provides a static inventory listing for each location
- Stores bin locations for each consignment location
- Ability to conduct physical inventory sessions as often as needed, but required quarterly
- Ability to replenish Consignments via Supplier Orders, Interstore Orders and/or DC Orders
- Ability to aggregate inventory across multiple Consignments
- Ability to calculate and recommend MIN/MAX levels for Consignments based on specific location parts usage
- Tracking of inventory in Consignments that has been re-numbered or superseded to new product

#### Benefits for IBS Customers and Sourcewell Members:

Consignments offer our IBS clients the ability to have smaller inventories in their remote service facilities that would not have the need for a staffed parts room. These inventories are provided on consignment so that the parts are not paid for until consumed on a work order, PO, or similar billing. The IBS HUB consignment module then provided automated tracking to ensure proper and timely replenishment from your IBS location ensuring the needed parts are always available.

The recommended stocking quantity feature of the IBS HUB ensures the right parts are stocked in these locations in which space is normally limited. By tracking usage by the specific shop, the IBS HUB ensures only the parts used at each consignment most frequently is stocked. The Pending and Pull List functionality of the IBS HUB works to track each stocked part used at the location until it has been confirmed to be replenished. These functions make sure that the agreed upon stocking parts will be there when the technician needs them.

The physical inventory sessions for each consignment in the IBS HUB make sure that the inventory in the offsite locations stay true to their expected stocking levels. Quarterly counts are required, but they can be run more frequently as needed. Ultimately the IBS HUB Consignment Module provides IBS clients with offsite inventory so that remote technicians have a consistent organized inventory to support their work.

NAPA Canada has recently invested in new warehouse automation technology that will improve our efficiencies and add the ability to increase our inventory at our DC in Cambridge, ON. Our Cambridge DC has collaborated with KNAPP, a global leader in industrial automation solutions, to integrate KNAPP's AG - OSR Shuttle, a high-performance, reliable semi-automatic picking and storage system.

Furthermore, NAPA, the Federal Government and Drone Delivery Canada (DDC) are participating in "The Moosonee & Moose Factory Pilot Program" to deliver NAPA Auto Parts to rural locations across Canada. Today the drones are carrying approximately 25 lbs, but DDC is working on those that could handle 100-400 lbs.

NAPA vendor managed IBS sites in the US and Canada are also using a new proactive inventory management program called Pulse. The system uses predictive analytics to determine what factors drive categorical sales, including vehicle registrations, part failure rates, market demographics, climate and geography. Pulse also has the ability to customize inventory assortments for specific fleets by uploading a VIN list into the system, which creates an inventory list with the product categories of choice.

38	Describe any "green" initiatives that relate to your company or to your products or services, and include a list of the certifying agency for each.	<p>At NAPA IBS, we share our customers' and their communities' commitments to sustainable practices in procurement and fleet operations. Below are some of the benefits members will realize from working with NAPA IBS:</p> <ul style="list-style-type: none"> <li>• Many chemicals that are offered are non-detergent/green products</li> <li>• We recycle oil at our stores and can recycle oil for any customer</li> <li>• We advocate the use of the used oil filter crusher to extract environmentally hazardous chemicals from landfills</li> <li>• We recycle all plastic, paper, cardboard and wooden pallets at our DCs and HQ offices</li> <li>• GPC supports paperless systems initiatives within all business segments</li> <li>• GPC promotes the use of fuel-friendly delivery fleet vehicles</li> <li>• Many of our IBS customers have received Clean Cities Green Fleet of the Year awards in past years</li> <li>• GPC corporate has established a sustainability roadmap that is available for our customers to review on our corporate website</li> <li>• Upon customer requests, we can employ electric vehicles in certain of our operations</li> </ul> <p>In addition to our green fleet initiatives, NAPA IBS markets and sells many green Initiative products, including:</p> <ul style="list-style-type: none"> <li>• Smart Washers</li> <li>• Challenger Water In-Ground Lifts</li> <li>• 3M lead free wheel weight system</li> <li>• Schumacher solar battery charger/maintainers</li> <li>• Energy Logic - waste oil burners</li> <li>• Vortex waterborne auto paint - no solvents</li> <li>• Valvoline Next Gen oil - made with recycled oil</li> <li>• Recycled Batteries</li> <li>• Nature's Broom absorbent - eats shop floor oil and lubricants and is environmentally disposable</li> <li>• Micro Green - Lifetime Fleet Filtration Products</li> </ul> <p>Finally, NAPA IBS implements a strict environmental and spill policy:</p> <ul style="list-style-type: none"> <li>• All chemical products issued by NAPA will have a corresponding Material Safety Data Sheet or MSDS report. The MSDS sheet lists on-site potential hazards of the product. NAPA maintains a computer cataloged MSDS library that will be on the premises of our IBS Fleet locations.</li> <li>• NAPA IBS will produce a MSDS (and soon will make the move to new SDS) hard copy of all chemicals that will be stocked on the premises and update an OSHA approved MSDS book in the event of an emergency.</li> <li>• NAPA maintains a store policy mandating key emergency contacts be clearly posted in the event of an emergency. Hazardous Material hotline and Poison Control will be posted.</li> <li>• NAPA Policy Hazardous materials handling includes the use of protective measures such as an approved eye wash station, approved fire extinguishers, approved safety glasses and gloves.</li> <li>• NAPA will advocate the use of the environmentally friendly Parts Washer system to eliminate the use of needless hazardous chemical washing solvents to be replaced with "Ozzy Juice", an enzyme based solvent proven to work both for the environment as well as the safety and well-being of the technician washing fleet parts.</li> </ul>
39	Identify any third-party issued eco-labels, ratings or certifications that your company has received for the equipment or products included in your Proposal related to energy efficiency or conservation, life-cycle design (cradle-to-cradle), or other green/sustainability factors.	<p>NAPA IBS is not a manufacturer of the products we manage for our VMI customers, but we make a concerted effort to source sustainable products from eco-conscious suppliers whenever possible.</p> <p>NAPA also has a detailed sustainability plan that is monitored and reported on annually. One of the three pillars of this plan is environmental sustainability and some of the results we have achieved are as follow:</p> <p>NAPA Fleet Management</p> <ul style="list-style-type: none"> <li>• Recycles more than 20 tons of tires annually</li> <li>• Recycles more than 3,500 gallons of oil annually</li> </ul> <p>General Recycling</p> <ul style="list-style-type: none"> <li>• More than 7,800 lbs. of cardboard annually</li> <li>• More than 6,400 lbs. of other waste annually</li> </ul> <p>Energy Efficiency</p> <ul style="list-style-type: none"> <li>• More than 750 lighting retrofits completed that reduced more than 52 million lbs. of CO2</li> </ul>



40	Describe any Women or Minority Business Entity (WMBE), Small Business Entity (SBE), or veteran owned business certifications that your company or hub partners have obtained. Upload documentation of certification (as applicable) in the document upload section of your response.	<p>Many of our current IBS government and education customers require our IBS sites to work with procurement to achieve specific MWBE goals within our contracts. NAPA IBS has a policy to help our IBS partners exceed diverse spend goals when present in their procurement plan. We do this by helping our government customers recruit new vendors, provide due diligence support on these vendors, and provide regular reporting on our progress on the organizational MWBE goal vs. our actual performance.</p> <p>SBE Efforts - Genuine Parts Company and NAPA IBS has extensive experience working with more than 5,200 SBE/MWBE supply partners in our many operations across the country. Our goal with our proposal is to not only give a "good faith" effort – but to meet and exceed the stated goals of our customers.</p> <p>NAPA's action plan includes using a mix of service vendors and local businesses to work toward the procurement goal of compliance. NAPA IBS has a tremendous track record of accountability and exceeding SBE/WMBE goals in our operations.</p> <p>NAPA IBS' real world track record speaks for itself. In three major municipal contracts currently in place, we show historical success in meeting and exceeding SBE, MWBE goals set forth in the RFPs:</p> <table border="1"> <thead> <tr> <th>IBS</th><th>Requirement</th><th>Actual Results</th></tr> </thead> <tbody> <tr> <td>City of Chicago</td><td>25% MBE / 5% WBE</td><td>37% MBE / 5.5% WBE</td></tr> <tr> <td>City of Sacramento</td><td>10% SBE</td><td>28% SBE</td></tr> <tr> <td>City of Cincinnati</td><td>15% SBE</td><td>17% SBE</td></tr> </tbody> </table>	IBS	Requirement	Actual Results	City of Chicago	25% MBE / 5% WBE	37% MBE / 5.5% WBE	City of Sacramento	10% SBE	28% SBE	City of Cincinnati	15% SBE	17% SBE
IBS	Requirement	Actual Results												
City of Chicago	25% MBE / 5% WBE	37% MBE / 5.5% WBE												
City of Sacramento	10% SBE	28% SBE												
City of Cincinnati	15% SBE	17% SBE												
41	What unique attributes does your company, your products, or your services offer to Sourcewell participating entities? What makes your proposed solutions unique in your industry as it applies to Sourcewell participating entities?	<p>NAPA IBS has unique, custom attributes that separate us from the competition:</p> <p>a) Current network of over 400 contracts – we offer a unique opportunity for Sourcewell to market to hundreds of existing contracts to use the Sourcewell contract as a vehicle to extend current services. No other vendor managed inventory fleet solution has the opportunity to expand use of the Sourcewell contract like NAPA IBS.</p> <p>b) Dedicated IBS project staff of 11 sales representatives and 22 field operators that do nothing but selling and managing the vendor managed inventory solution presented in this RFP.</p> <p>c) A 26+ year network of over 1,400 OE, aftermarket, supplies, MRO and parts related vendors to support ANY operation that wishes to use the Sourcewell contract. Our services go well beyond NAPA branded parts and include many OE and alternative brands to give our Sourcewell customers a broad range of choice on the products they wish to use in their fleet and warehouse operations. No other vendor of these services can provide the choice and leverage that our 1,400 non-NAPA branded parts and supplies vendor network and experience can bring. NAPA IBS has exclusive vendor arrangements with key fleet parts and supplies-related vendors that are exclusive to NAPA IBS customers and are unavailable to any other supplier of these services.</p> <p>d) The IBS HUB is NAPA IBS's exclusive technology platform that was built specifically for the IBS program and providing vendor managed inventory services. It is a technology that is exclusive to NAPA and is available to all Sourcewell members at zero cost to them. The IBS HUB replaces typical invoicing/point-of-sale technology and replaces it with a work order and inventory management tool that has point-of-sale functionality built into it. All functionality inside of the IBS HUB was designed to make our NAPA IBS team members more efficient in routine processes so that they can focus on the important task of procuring parts to help keep our customers' fleets up and running. It also contains detailed reporting that is available on demand or at scheduled intervals to customers' management teams so they always know exactly how we are performing and when their work orders will be complete.</p> <p>As mentioned, one of the most unique features of our service is the ability to integrate a customer's fleet software/work order management system into our inventory platform, the IBS HUB. This kind of integration seamlessly shares data between the two interfaces and allows work order, parts order, vehicle status, billing, reporting and other data to pass automatically between the two. This increases technician productivity and data accuracy by letting the customer know exactly where their parts are and attaching every part ordered to a specific unit and work order. Some of our integrations even perform automated invoice reconciliation, extending the benefits beyond the shop and into customer administrative and accounting departments. Some examples of our most successful integrations with third-party software systems available today include AssetWorks (FA, M5), Faster, RTA, Dossier, Chevin and many more.</p>												

**Table 9: Warranty (Performance Standards or Guarantees)**

**Describe in detail your performance standards or guarantees, including conditions and requirements to qualify, claims procedure, and overall structure. You may upload representative samples of your performance materials (if applicable) in the document upload section of your response in addition to responding to the questions below.**

Line Item	Question	Response *
42	Describe any performance standards or guarantees that apply to your services (customer service response times, processing time frames, stock and non-stock fill rates, etc.).	<p>Our performance standards can vary largely depending on the size, scope, complexity and sometimes geography of the VMI operation we are managing. We work hard to customize a solution that works for each individual customer, but the following is a list of some of the most common standards and guarantees that we implement and track:</p> <ul style="list-style-type: none"> <li>• Many of the important performance standards, goals and KPIs of operating IBS parts rooms are tracked and can be reported through our IBS HUB system, which is an exclusive capability of NAPA IBS. The system provides regular and on-demand reporting on the following to communicate our operation successes and areas of improvement to customer management: <ul style="list-style-type: none"> <li>o Parts Fill Rates</li> <li>o Daily Service Metrics</li> <li>o Inventory Special Order Tracking</li> <li>o Down Vehicle Time &amp; Percentage</li> <li>o Inventory Readiness</li> <li>o Parts Cost Comparison</li> </ul> </li> </ul> <p>We will go into greater detail on the aforementioned IBS HUB reporting capabilities in question #68, but have included an upload of sample IBS HUB KPI reports in this section of the supplemental document upload portal.</p> <ul style="list-style-type: none"> <li>• Regular contract compliance audits will be conducted to ensure operational accuracy.</li> <li>• We have invested in a digital business review portal that schedules, tracks and stores business reviews with every IBS customer on a monthly or quarterly basis. It also communicates results to the customer and solicits feedback and ratings from them so we can measure our performance from the customer's perspective.</li> <li>• We provide product choices for our customers. Whether NAPA parts or parts sourced from other suppliers, we will stock the parts that fit the customer's operation and preferences best.</li> <li>• We possess a local footprint in any area we operate. This allows us to provide backup inventory, staffing and distribution support in any situation without long wait times, expensive freight or mobilization charges.</li> <li>• We have industry leading technology capabilities to support our Sourcewell member partners that we can customize to meet their ordering, billing, payment and reporting needs.</li> <li>• Orders placed manually or directly with our parts staff will be addressed immediately upon request.</li> <li>• Orders placed electronically will be acknowledged in our system immediately and will be addressed by our parts staff within 30-60 minutes.</li> <li>• Where applicable and/or required, our parts staff and management will be ASE trained and/or certified.</li> <li>• All parts sold to customers will meet or exceed OE or equivalent specifications or will satisfy the required specifications of the individual Sourcewell member customers</li> <li>• Warranty eligible products will be identified, tracked, processed and credited through our IBS HUB inventory management system. When a technician brings a warranty product to our parts counter, we will know on the spot if it is eligible and will issue credit as appropriate, then work with the supplier to resolve the warranty.</li> <li>• All staff involved in IBS operations will be fully trained and knowledgeable on required parts, vendors and technology required to excel at the position.</li> <li>• Our contracts have the ability to be terminated by our customers if we are ever not meeting expectations. Most contracts have mutual 60-day termination clauses and language pertaining to our failure to meet obligations is negotiated on each individual contract.</li> </ul>

43	Describe any service standards or guarantees that apply to your services (policies, metrics, KPIs, etc.).	<p>Our service standards can vary largely depending on the size, scope, complexity and sometimes geography of the VMI operation we are managing. Depending on customer needs and priorities, the KPIs we track can be customized to give them the insight desired into our performance levels and theirs. However, the following are a few of the general aspects of our service that we track and maintain:</p> <ul style="list-style-type: none"> <li>• Under normal operating conditions, we generally target a KPI of 85-90 percent fill rate after an acceptable ramp-up/grace period following initial implementation of the IBS site. Many agencies that we work with do not have clear historical data so we will work with them to build forward-looking KPIs based on actual purchase history after we go to contract.</li> <li>• One of the key benefits of our program is the tracking and processing of parts manufacturer warranties for our government agencies. Our NAPA IBS service guarantees that we will replace any alleged warranty item immediately for our government fleets. Then, our onsite personnel have the responsibility to submit warranties to specific product manufacturers and track that item from the moment it is returned through the discovery phase to conclusion. NAPA IBS outlines our warranty policy in each contract and has the responsibility to track and report on this for hundreds of suppliers that we procure parts from for our agency customers.</li> <li>• Non-stock orders rely on third-party vendor performance and availability, but acknowledgment times can be measured to ensure our parts staff act quickly on such orders.</li> <li>• NAPA IBS will comply with all customer expectations and processes regarding work order information, data communication, safety procedures and others.</li> <li>• NAPA IBS will adhere to customer, local, state and federal regulations as they apply in the location of the operation, including allowable stocking restrictions on chemicals and other items.</li> <li>• While our IBS staff are employees of ours, they are still working in our customers' environments. It is our corporate policy that all of our IBS employees are background checked through E-Verify. At the same time, we respect the safety and security policies of our customers as well. All NAPA employees that work on site are required to follow the procedures and policies of our customers.</li> <li>• Because NAPA IBS is providing an inventory management service for customers, one of the strengths of the warranty of service that we provide is the mutual ability to end an IBS contract in the case where services standards are not being met.</li> </ul>
----	---	--

44	Describe any service contract options for the items included in your proposal.	<p>The services we provide remain fairly consistent as we work with different agencies in our contracts. We are contracted to maintain and manage parts and supplies inventory for fleets in many verticals. For the purposes of this RFP – those verticals include – but are not limited to – government fleets and warehousing, education fleets and warehousing, non-profit fleets and warehousing. Each customer has unique needs within their operation, so we provide the flexibility within the scope of our services to accommodate customers in the projects we are contracted to perform.</p> <p>The basic offering we propose is to manage fleet-related supplies and parts. This can be accomplished either in an on-site dedicated operation or off-site dedicated operation. Space considerations, labor considerations, work schedule considerations, and inventory needs considerations are all variables for our fleet customers that require customization in each contract. In addition, we are asked to handle MRO skus as part of an overall operation.</p> <p>For example, in the City of Sacramento fleet operations, we have held a fleet contract for over five years. Recently, their warehousing operations has been looking for a solution to help them manage skus for their maintenance operations. We have responded to and have been awarded a contract to handle these materials as well as fleet related services and will use some of the same resources we currently have on-site within the fleet operation to manage the warehouse contract as well. Both facilities are on the same lot in the same area – and we can bring efficiency through our services by managing both.</p> <p>Another service function that NAPA IBS has the technology and experience to perform is that of managing remote and/or consignment inventories. Customers with satellite locations that don't carry enough inventory to justify onsite staffing can have their inventory managed, replenished and billed through our IBS HUB system. This requires either electronic submission of all parts removed from the parts room, or a periodic physical inventory count by NAPA IBS staff to determine parts usage and proper billing.</p> <p>Third-party services, such as outside repairs, can also be sourced and managed by NAPA IBS for Sourcewell customers. Such needs have specific line codes programmed into our IBS HUB system that can track and invoice according to our contractual pricing model.</p> <p>Finally, running multi-location fleet operations often means crossing jurisdictional lines that can affect tax rates and other regulations. NAPA IBS has the ability to manage these logistics digitally so Sourcewell members know they are paying the right prices and following all guidelines without having to do the work themselves.</p>	*
----	--	---	---

**Table 10: Payment Terms and Financing Options**

Line Item	Question	Response *	
45	What are your payment terms (e.g., net 10, net 30)?	Our contract payment terms for parts purchases and operational expenses as part of our IBS services are Net 30th. On a monthly basis, we deliver parts billing and operational cost billing as part of our services to our IBS contract customers.	*
46	Describe available payment options (e.g., frequency, method, platform, etc.)	<p>NAPA IBS is highly flexible in accepting payment options. We are able to integrate with most enterprise billing systems through our industry-exclusive IBIZ custom billing platform. NAPA is able to bill according to customer specifications, but at a minimum of monthly for both parts and operational expenses. The standard policy for all of our customers, and in the industry, is to accept payment via one of the following methods:</p> <ul style="list-style-type: none"> <li>• Check payment</li> <li>• ACH</li> <li>• Wire transfer</li> </ul> <p>Specific payment options are one of the core points that are detailed in our individual contracts with Sourcewell members.</p>	*

47	<p>Briefly describe your proposed order process. Include enough detail to support your ability to report quarterly sales to Sourcewell as described in the Contract template. For example, indicate whether your dealer network is included in your response and whether each dealer (or some other entity) will process the Sourcewell participating entities' purchase orders.</p>	<p>Our order process for Sourcewell members requesting IBS services is as follows:</p> <p>Step One – Discover the need with fleet operations and management on outsourcing parts and service needs this will require analysis of current staffing, inventory, hours of operation, fleet needs, software adoption, billing processes, paperwork flow, audit procedures, and approvals.</p> <p>Step Two – Introduce co-operative contract solution as a means to contract during the early phase of our analysis. If customer is not an Sourcewell member, we use this time to present the easy steps to become a member. If they already are an Sourcewell member, we present our contract opportunity with IBS along with documentation on the solicitation. At this point we have added a step in our process to verify documentation of Sourcewell membership with our Sourcewell contract manager.</p> <p>Step Three – Complete financial and staffing analysis to determine needs of customer.</p> <p>Step Four – Once customer has agreed to proceed to contract, our GPC legal and NAPA IBS representative present our Sourcewell IBS contract terms to the customer for their legal review.</p> <p>Step Five – Customer builds business exceptions as part of our master IBS Sourcewell contract. NAPA IBS will negotiate specific terms for the customer based on their hours of operation, staffing needs, inventory needs, etc.</p> <p>Step Six – NAPA IBS and Customer come to terms on Sourcewell contract.</p> <p>Step Seven – NAPA IBS will inform Sourcewell when a contract has been agreed to between NAPA and customer. NAPA sets the commencement date with customer and ensures all operational systems are in place during mobilization. For Sourcewell, this is the window where we turn flags on in our system to accurately report sales per our Sourcewell contract agreement.</p> <p>Step Eight – Contract tracking and reporting will be communicated to Sourcewell on a quarterly basis along with announcements of all new contracts.</p> <p>a) Yes – Our independent dealer network will be part of this proposal. Genuine Parts Company controls the process much like was outlined above for our independent dealer network. The dealer is responsible during the analysis phase to provide staffing, inventory and operational documentation. The dealer must agree to all of the terms of the Sourcewell IBS contract as well as the customization for a Sourcewell contract holder in the final agreement. To ensure these steps are made and done in our dealer network, Genuine Parts Company has provided an assignment document as part of the Sourcewell contract that must be signed by the customer, Genuine Parts Company, Sourcewell (if required), and the independent dealer as part of the contract process. The dealer is required to abide by the terms of the contract or will need to assign the business back to Genuine Parts Company.</p> <p>In order to maintain consistency and accuracy in reporting and contract fee payments, our NAPA headquarters team tracks and consolidates all company- and independently owned Sourcewell contract sales and reports them to Sourcewell directly.</p>	
48	<p>Do you accept the P-card procurement and payment process? If so, is there any additional cost to Sourcewell participating entities for using this process?</p>	<p>Our NAPA IBS operations typically do not accept p-cards for payment on our monthly parts statement or monthly operations charges statement. We do make exceptions where customers are required to pay us via p-cards. However, since our NAPA IBS operations bill customers for all operating costs incurred in our services, we will be required to bill back any p-card service charges incurred by our IBS store operations on the monthly operating statement bill. For this reason, most NAPA IBS customers do not use their p-cards for our monthly billing – as we would bill them back any service charges.</p>	

Table 11: Pricing and Delivery

Provide detailed pricing information in the questions that follow below. Keep in mind that reasonable price and product adjustments can be made during the term of an awarded Contract as described in the RFP, the template Contract, and the Sourcwell Price and Product Change Request Form.

Line Item	Question	Response *
49	Describe your pricing model (e.g., line-item discounts, product-category discounts or cost plus). Provide detailed pricing data (including standard or list pricing and the Sourcwell discounted price) on all of the items and services that you want Sourcwell to consider as part of your RFP response. If applicable, provide a SKU for each item in your proposal. Upload your pricing materials (if applicable) in the document upload section of your response.	<p>Cost Methodology Reasoning &amp; Explanation:</p> <p>NAPA IBS has 26 years of best practice contract and pricing experience providing customized VMI solutions for government fleets. Our existing 50+ Sourcwell vendor managed inventory contracts and hundreds of government contracts are already on one of the pricing options listed below and their guidance has given us tremendous insights on how government agencies wish to have pricing outlined in these agreements.</p> <p>Our customers have made it very clear: Our government agencies want options when it comes to how goods and services are priced in VMI contracts. We have worked with hundreds of government finance, purchasing and operations teams to build three best practice pricing options that are universally used in fleet VMI parts and service contracts:</p> <p>NAPA IBS Option 1: No Markup Goods Pricing / Management Fee  NAPA IBS Option 2a: Not-to-Exceed 10% Margin Model  NAPA IBS Option 2b: Not-to-Exceed Pricing Profile 9074 / 25% Margin Model</p> <p>Currently NAPA contracts with hundreds of government agencies on this program. Currently we have 33% that use the option 1 price option, 55% using the Option 2a and 12% using Option 2b.</p> <p>In our agreement/contracts with our government agencies, the customer is allowed to select the pricing option that best fits their finance and business rules. All three pricing options are outlined below and are also supported with an explanation grid in our attached documents in this section.</p> <p>In each of these options there are two basic pricing components:</p> <ol style="list-style-type: none"> <li>1. Pricing of Goods</li> <li>2. Pricing of Monthly Operating Costs</li> </ol> <p>The mix of these two components deliver transparent billing for total cost of contract and also deliver the contractual ROI for NAPA making it a win-win public/private contract relationship.</p> <p>Our government customers feel these options provide the perfect balance of transparent costs of goods/services.</p> <p>Pricing Options:</p> <p>Each Sourcwell member contracting with NAPA IBS will have the choice of which of the following two model options suits their operation best. Both are negotiable within the framework of the model, include not-to-exceed pricing structures, and are proven concepts in use by government IBS customers today.</p> <p>Pricing Option 1) No Markup Goods Pricing / Management Fee</p> <p>Cost of Goods:  All goods are sold to customer with no markup.  Cost is determined by current product acquisition cost on sourced, non-NAPA branded goods. If the customer elects to use NAPA branded goods, they will be priced at the current NAPA jobber acquisition cost.</p> <p>Example: NAPA procures a Ford OE part at \$100. NAPA IBS sells that part to Sourcwell customer for \$100 with no markup.</p> <p>Operating Expenses:  The monthly operating expenses of the store, or cost of services, are billed separately to the customer at actual cost. No operating expenses are built into the price of goods. Operating costs are determined and outlined in contract – agreed to by the Sourcwell</p>



customer.

#### NAPA Management Fee:

A monthly management fee is also billed to the customer at a not to exceed 10% of their total cost of goods purchases for that month. This allows NAPA to realize contractual ROI.

#### Options:

For customers who prefer, we can combine the operating costs and ROI management fee into one fee and calculate a balanced budget monthly total fee. Some customers have even asked us to combine the operating costs and management fee into an hourly total fee that can be billed across actual hours of service for our on-site operation. Each customer operates differently, has different hours of operation and different staffing level needs. We have flexibility within this option to fit the needs of the customer.

#### Customer Benefits:

No markups are shown on goods purchases, creating a less impactful goods line item on budgets. Separate billing for true monthly operating costs and easy to calculate NAPA management fee (See option 1 sample operating cost model in attachment within this section)

#### Pricing Option 2) Not-to-Exceed 10% Margin on Goods/Monthly Operating Costs

Customers have two options in this model: a consistent not to exceed 10% percent margin on goods or a pricing profile option as described below.

#### Pricing Option 2a) Not-to-Exceed 10% Margin Model

##### Cost of Goods:

All goods are sold to customer at cost plus designated gross margin not to exceed 10% gross margin, defined as cost of good divided by .90 = selling price of good. This is a not-to exceed pricing structure.

Example: NAPA procures a Ford OE part at \$100. NAPA IBS sells that part to Sourcewell customer at \$100 divided by 0.90 = \$111. This is the formula to sell the product to the Sourcewell customer at 10% margin.

##### Operating Costs:

The operating expenses of the store, or cost of services, are billed to the agency separately to the customer at actual cost. Operating costs are determined and outlined in contract – agreed to by the Sourcewell customer.

##### NAPA ROI:

NAPA's ROI is built into the price of the good to arrive at a final net margin of no greater than 10% of total customer purchases.

##### Customer Benefits:

All NAPA ROI is built into the price of the good for simplicity of billing. All monthly operating expenses are billed at cost and no separate management fee is billed (See option 2a sample operating cost model in attachment within this section).

#### Pricing Option 2b) Not-to-Exceed Pricing Profile 9074/25% Margin Model

##### Cost of Goods:

NAPA-branded goods are sold to customer on our NAPA Sourcewell Government Pricing Profile 9074. NAPA branded goods are sold to the customer at a higher margin on our not-to-exceed list less pricing outlined in detail in the attachment within this section. Non-NAPA (sourced) goods are sold to customer at a not-to-exceed 25% gross margin, defined as cost of goods divided by 0.75 = selling price. This is a not-to exceed pricing structure.

Example: NAPA procures a Ford OE part at \$100. NAPA IBS sells that part to Sourcewell customer at \$100 divided by 0.75 = \$133. This is the formula to sell the product to the Sourcewell customer at 25% margin.

		<p><b>Operating Costs:</b> The operating expenses of the store, or cost of services, are paid entirely by NAPA and not charged to the customer as they are built into the price of the good.</p> <p><b>NAPA ROI:</b> NAPA's ROI is contractually built into the price of the good to arrive at a final net margin of no greater than 10% of total customer purchases.</p> <p><b>Customer Benefits:</b> All NAPA ROI and operating expenses are built into the price of the good for simplicity of billing. No separate management fee or operating expenses are billed. This is a popular option for customers that do not want a separate operating fee and wish to bill the cost of operating and NAPA's ROI out as part of the price of goods so they can share the expense across the departments proportionately by the departments that buy the most goods (See option 2b sample operating cost model in attachment within this section).</p> <p><b>Acquisition Cost Definitions</b></p> <p>Because all of our parts pricing is based directly on acquisition costs, the following is an explanation of how we arrive at our acquisition costs:</p> <ol style="list-style-type: none"> <li>1. For Non-NAPA, or sourced, goods – i.e. OE parts, tires, bulk fluids, proprietary parts, outside services, etc. – the pricing passed on to our customer is our current acquisition cost plus whatever our contracted margin is for that good. We provide transparent documentation of all supplier invoices, so the customer knows exactly what they are paying for each part.</li> <li>2. For NAPA branded products that we source internally, customer pricing is based on our current NAPA jobber acquisition cost plus whatever our contracted margin is for that good. This can be a significant savings for our customers if they choose for us to provide our own NAPA-branded goods.</li> </ol> <p>In our attached documents, we have provided a sample agreement and sample monthly operating expense examples that demonstrate each pricing model proposed. Our customers appreciate the transparency in our operating cost models when they are not surprised with unknown mobilization costs, startup costs or incremental costs throughout the term of a contract. As a publicly traded company, our transparent operating statements are held to a high standard. When we engage with customers on contract options, customers are allowed to add specific terms and conditions to customize their contract and select the pricing option and business model that best fits their operation.</p>
50	Quantify the pricing discount represented by the pricing proposal in this response. For example, if the pricing in your response represents a percentage discount from MSRP or list, state the percentage or percentage range.	<p>NAPA IBS is a VMI service program so the products we issue are a function of the services we provide. One of the top priorities of the program and most impactful services we conduct is to facilitate and negotiate ways to reduce the acquisition cost of our products, which in turn represents the discount our customers receive. Competitors who offer specific discounts often do so with no mention of the original cost of the part, resulting in higher prices that appear to be a good deal. Because parts in the IBS model are priced based on acquisition cost, all discounts we negotiate with our vendors are automatically passed on to our customers and we don't have to incur markups on products that are sourced internally.</p> <p>Here is how we arrive at our acquisition costs:</p> <ol style="list-style-type: none"> <li>1. For Non-NAPA, or sourced, products (non-NAPA branded goods – i.e. OE parts, tires, bulk fluids, proprietary parts, outside services, etc.), the pricing passed on to our customer is our current acquisition cost plus whatever our contracted margin is for that good. We provide transparent documentation of all supplier invoices, so the customer knows exactly what they are paying for each part. NAPA IBS currently works with thousands of national brands and holds a national database of pricing for our customers as a comparison of the pricing offered by local, regional and national vendors to their project.</li> </ol>



2. For NAPA branded products that we source internally, customer pricing is based on our current NAPA jobber acquisition cost plus whatever our contracted margin is for that good. This can be a significant savings for our customers if they choose for us to provide our own NAPA-branded goods.

The way we arrive at discount rates differs depending on the pricing model a customer selects. The following is a general breakdown of the estimated discounts received in each model:

Pricing Option 1: No Markup Goods Pricing/Management Fee

- Non-NAPA Branded Goods – NAPA IBS sources non-NAPA branded goods from thousands of local, regional and national suppliers. Depending on the products our customers ask us to source, we have seen realized discounts of up to 40% off certain published List pricing, where published List pricing is available.
- NAPA Branded Goods – NAPA-branded products have varying discounts off of list price in this option. Customers that elect to use NAPA products in their contracts may realize discounts of up to 84% off certain NAPA List pricing.
  - o Note: This model realizes no gross margin at the point of sale and a management fee is collected in order to obtain part margin and the operational cost reimbursement

Pricing Option 2a: Not-to-Exceed 10% Margin Model

- Non-NAPA Branded Goods – NAPA IBS sources non-NAPA branded goods from thousands of local, regional and national suppliers. Depending on the products our customers ask us to source, we have seen realized discounts of up to 30% off certain published List pricing, where published List pricing is available.
- NAPA Branded Goods – NAPA-branded products have varying discounts off of list price in this option. Customers that elect to use NAPA products in their contracts may realize discounts of up to 82% off certain NAPA List pricing.
  - o Note: This model realizes 10% gross margin at the point of sale and a management fee is applied to obtain the operational cost reimbursement

Pricing Option 2b: Not-to-Exceed Pricing Profile 9074/25% Margin Model

- Non-NAPA Branded Goods – NAPA IBS sources non-NAPA branded goods from thousands of local, regional and national suppliers. Depending on the products our customers ask us to source, we have seen realized discounts of up to 15% off certain published List pricing, where published List pricing is available.
- NAPA Branded Goods – NAPA-branded products have varying discounts off of list price in this option. Customers that elect to use NAPA products in their contracts may realize discounts of up to 70% off certain NAPA List pricing.
  - o Note: This model realizes approximately 25% gross margin, based on product mix, at the point of sale and a no management fee is collected in order to obtain part margin and the operational cost reimbursement

Each pricing option, regardless of the gross margin realized at the point of sale, results in very similar net results for the Sourcewell member and NAPA IBS. These options are provided to showcase NAPA's flexibility to work with a Sourcewell member inside of their control environment. The NAPA IBS program affords all Sourcewell members the opportunity to take advantage of NAPA's local, regional, national and global purchasing power. This includes negotiated discounts on certain goods. From time to time at a supplier's sole discretion additional discounts may also be offered outside of the typical discount off List price as well. NAPA IBS delivers all available discounts to Sourcewell members at the point of sale. It is important to note that discounts and the listed percentages are subject to change and or vary due to local regulations, supplier program changes and other events.

51	Describe any quantity or volume discounts or rebate programs that you offer.	Based on our cost-based model, we do not provide rebates as part of a volume program with our IBS customers. We are an aggressive advocate for cost reduction on parts for our vendor managed customers. Any negotiated discounts are included at the invoice level and realized at the point of sale. Parts are sold to our customers based on acquisition cost and the pricing model selected at contract. The true cost savings for the customer is encumbered in the total solution of NAPA IBS – cost savings come from buying parts and supplies at the “after discount” price net acquisition cost on parts, inventory reduction and/or acquisition, transaction cost reductions, and shop productivity.	*
52	Propose a method of facilitating “sourced” products or related services, which may be referred to as “open market” items or “nonstandard options”. For example, you may supply such items “at cost” or “at cost plus a percentage,” or you may supply a quote for each such request.	<p>The NAPA IBS program offers a brand-agnostic approach to stocking parts rooms that gives each customer the choice of what combination of OE and aftermarket brands and product lines they want us to stock. Aftermarket parts have become a crucial savings vehicle for many Sourcewell members so our Sourcewell customers benefit because we are a direct supplier of these items that comprise a significant portion of their spend.</p> <p>For products that are outside of our supply chain or that are simply preferred by fleet or facilities management, we have a large automotive and non-fleet vendor network that we can turn to. We regularly source PPE products, outside repair work and other non-traditional inventory requests for Sourcewell customers across the US and Canada and we don't add any additional markups for doing so. The pricing model that we have in place applies to any part we stock regardless of the source. With NAPA IBS, the goal is to build an inventory that fits the customer, not one based on our preferences or agenda. Furthermore, we provide transparent invoices from all suppliers so our customer can see acquisition costs and make smart purchasing decisions.</p> <p>Due to our affiliation with NAPA, we do have the important ability to source a vast selection of parts from our internal supply chain, saving the customer significant dollars when they choose to go that direction. We work with 1,300+ outside vendors to source parts for our Sourcewell customers today, but the cost savings offered by supplying NAPA parts makes NAPA the number one stocked brand across our IBS parts rooms. Stocking NAPA parts offers a dramatically reduced acquisition cost versus what our competitors pay for the same parts. Vendors without this internal supply chain pay and pass on to the customer multiple markups on aftermarket parts.</p> <p>Finally, our national footprint creates buying power with our suppliers that reduces overall acquisition costs, and therefore final pricing, but it also guarantees one more thing: The potential loss of a large customer in the IBS world would not have an impact on our ability to achieve the best pricing and service from our suppliers, adding stability to our service that not all competitors who rely on just a few large accounts can provide.</p>	*
53	Identify any element of the total cost of acquisition that is NOT included in the pricing submitted with your response. This includes all additional charges associated with a purchase that are not directly identified as freight or shipping charges. For example, list costs for items like pre-delivery inspection, installation, set up, mandatory training, or initial inspection. Identify any parties that impose such costs and their relationship to the Proposer.	<p>The only additions to total cost outside of our acquisition costs may be special request projects like IT projects, special freight requests, customer equipment purchases, third-party involvement agreed to by the customer, or overtime charges that come up as part of our agreement. Those expenses are 100% verified and agreed to by a customer before they are ever billed or charged as part of our services.</p> <p>We have seen several cases where competitors charge additional fees that raise the overall cost of services, but we do not charge any of the following through the NAPA IBS program:</p> <ul style="list-style-type: none"> <li>• Standard mobilization or installation costs</li> <li>• Internal freight</li> <li>• Technology integration costs on solutions we already provide</li> <li>• Markups on operating expenses</li> </ul> <p>We provide transparent and accurate costs of our program up front and throughout our contracts. Our pricing model stays consistent throughout the contract and can be easily amended for the changing needs and scope changes from any Sourcewell members.</p>	*

54	If freight, delivery, or shipping is an additional cost to the Sourcewell participating entity, describe in detail the complete freight, shipping, and delivery program.	<p>As part of our IBS services, the only freight or shipping costs come in the form of special order parts and supplies as requested by the customer.</p> <p>For example, if we have a specific application part that is an emergency and the only supply for that particular part is from a vendor in another state we provide the customer with a freight approval for and will only ship upon approval from authorized Sourcewell IBS customer approver. Freight and shipping on special order items is billed to customer on the itemized operating statement on a monthly basis and is billed at cost with no markup. In addition, freight for these special order items is included on our invoice along with the part for auditing and tracking.</p> <p>NAPA branded parts are primarily supplied from our closest NAPA Distribution Center at no freight charge to the customer. Our NAPA Distribution Centers are available for parts supply 7 days per week for our On-site NAPA IBS stores. Nightly freight deliveries to IBS locations are available on Monday-Friday with special pickups and deliveries on weekend.</p> <p>We also handle a huge array of local, regional and national non-NAPA vendors. Our goal is to have a vast majority of stock on hand to avoid freight charges. We work with all vendors to deliver us parts at cost – with no separate delivery charges.</p>	*
55	Specifically describe freight, shipping, and delivery terms or programs available for Alaska, Hawaii, Canada, or any offshore delivery.	<p>We have no requirements or restrictions for Alaska, Hawaii or Canada within the services in our RFP response. NAPA IBS has brick and mortar warehouse locations and employees in Anchorage, Honolulu and throughout Canada, as well as multiple company and independent NAPA dealers in multiple markets in both states that can and currently do provide services outlined in this RFP.</p> <p>NAPA also has export distribution centers on the West Coast (Sacramento) and East Coast (Miami) that already have international channels of distribution in place that can expand our services proposed in this agreement to the Caribbean, Central America, South America, and the South Pacific (including Guam).</p> <p>Since we have brick and mortar store and warehouse operations in Alaska, Hawaii and Canada, they will have the exact same benefits as all other 48 states. Since they are part of the Genuine Parts Company family and NAPA network – NAPA branded products are delivered at the same cost as the mainland US. Freight and shipping for special order parts and parts not available through local and regional vendors would be vetted the same as in the 48 mainland states. Freight charges would be on an approval basis from customer on special order and national vendors.</p> <p>Genuine Parts Company owns our own private fleet company in Rayloc Merchandise Distribution Services (RMDS). RMDS provides transportation solutions for all of GPC's U.S. based companies. RMDS is often called upon to deliver weather related emergency relief supplies and provide solutions for any other special projects the GPC family orchestrates. RMDS is headquartered in Atlanta, GA and has cross-dock facilities in Atlanta, GA, Cedar Rapids, IA, Charlotte, NC, Hagerstown, MD, Indianapolis, IN and Memphis, TN. RMDS logistical services are available to Sourcewell Members and upon request we can get our logistics professionals to review opportunities and work towards value add solutions. Because we have our own distribution network, we are able to significantly lower the cost of freight for our Sourcewell member customers.</p>	*
56	Describe any unique distribution and/or delivery methods or options offered in your proposal.	<p>NAPA IBS has several unique offerings within our contracts that provide solutions to our customers, including:</p> <p>Brick-&amp;-Mortar Infrastructure – We have an unparalleled existing infrastructure of distribution and current VMI solutions across the US and Canada. With more than 6,000 retail stores, 52 major distribution centers, 55,000 employees and 400+ current IBS VMI operations active today, our ability to provide these services quickly, effectively and on budget is unmatched.</p> <p>Product Diversity – our distribution network includes the largest and most diverse product catalog of any service provider in the VMI world, including:</p>	

- 465,000 SKUs of NAPA branded parts
- 4 Million SKUs of MRO, Industrial, Office and other products through Motion Industries
- Millions more through our network of 1,300+ external supplier partners

Off-site inventory services – Sometimes space, location or labor issues may require us to provide an off-site dedicated warehousing or parts supply operation for our customers. We have multiple examples where customers have asked us for an off-site solution. In these cases, we are able to manage inventories remotely through our IBS HUB consignment program. Having consignment or off-site inventory loaded into our technology allows us to monitor what has been used, what needs replenishment and what to bill the customer for. Periodic manual counts will be conducted by NAPA IBS personnel to reconcile all unmanned satellite locations and consignment inventories. This offsite inventory management also applies to customer mobile units and service vehicles that carry emergency inventory that is not held at a specific brick-and-mortar location.

Hub and spoke services – In some cases we have customers that have multiple sites but do not require staffing at all locations. In these cases, we can model a hub and spoke inventory management system using people, technology, bar coding and standard operating procedures to accomplish the parts management goals of our customers. The unique nature of NAPA's brick and mortar operations – 52 master distribution centers and 6,000 retail outlets – gives us a unique footprint on the ability to source both NAPA and non-NAPA parts and supplies for our fleet customers...as well as deliver those products in an expedited manner leveraging our dedicated brick and mortar assets and logistics. This allows us to keep staffing costs in check and provide manned and unmanned services to fleets that are mobile or geographically broad in nature. The fact that we have so many brick and mortar sites and daily delivery to these sites...along with 400+ dedicated vendor managed inventory sites (NAPA IBS) allows us to give our government/education customers unparalleled service and availability.

Virtual Inventory Exchange Warehouse (VIEW) – IBS VIEW is a module within the IBS HUB system that facilitates the exchange of inventory between IBS sites, whether within the same organization or outside of it. This reduces obsolescence, shares outside pricing levels that can help us negotiate better deals and helps find hard-to-source parts. It also integrates with UPS labeling and shipping modules to make a one-stop-shop for moving parts.

Electronic vending machine/RFID solutions: We work with multiple suppliers of vending technology – including vending machines and RFID solutions to address specific non-manned solutions. In these cases, we build the standard operating procedures and cost/benefit analysis for customers to use this technology to decide if it is the proper fit.

MRO warehouse supply management – In addition to fleet supplies, many of our municipal customers ask us to use the same technology, staffing, and inventory tools we do in fleet-related operations. We have the capabilities and vendor relationships to add this as an added value service to our IBS operations. We currently hold Sourcwell contract #121218 for MRO inventory management.

Technology Solutions – With our dedicated IBS headquarters team we also have the ability to partner with the billing, finance, and management of fleet and government/education fleet operations to work on custom integration solutions for their fleet or enterprise procurement platforms – all meant to drive transactional efficiency and cost reduction in the day to day process of ordering parts and supplies.

Custom technician training solutions – We are dedicated to helping productivity in the shop through shop training – paced at the speed of the shop. Whether it is on-line, on-site or classroom study, NAPA IBS has tools to keep the government/education fleet technicians and fleet managers on the cutting edge. [www.NAPATraining.com](http://www.NAPATraining.com)

	<p>Warranty Tracking – Our IBS HUB system identifies, tracks and facilitates warranty, core and return processes to make them as automated and easy for the customer as possible. Over time, we can identify common product issues and work with suppliers to resolve them without the customer having to do any work.</p> <p>Financial Investments – As a Fortune 200 organization, our parent company Genuine Parts Company has the unique ability to make financial investments in Sourcewell members to make sure they have the parts they need on the shelves. Other providers shy away from investing in proper inventory levels, resulting in longer wait times, expedited freight costs and low fill rates.</p>
--	---

**Table 12: Pricing Offered**

Line Item	The Pricing Offered in this Proposal is: *	Comments
57	b. the same as the Proposer typically offers to GPOs, cooperative procurement organizations, or state purchasing departments.	

**Table 13: Audit and Administrative Fee**

Line Item	Question	Response *
58	Specifically describe any self-audit process or program that you plan to employ to verify compliance with your proposed Contract with Sourcewell. This process includes ensuring that Sourcewell participating entities obtain the proper pricing, that the Vendor reports all sales under the Contract each quarter, and that the Vendor remits the proper administrative fee to Sourcewell.	<p>NAPA IBS employs an in-depth, multitiered audit system that extends from self-audits to third-party corporate governance.</p> <p>Self-audit process/program: NAPA IBS manages a similar process with audits on all 400+ IBS contracts nationally.</p> <p>Corporate auditing and governance: As a publicly traded company, Genuine Parts Company is guided by Sarbanes-Oxley corporate governance and auditors as part of our public responsibility. Our business units in all company operations – including IBS - are audited on a regular basis.</p> <p>IBS Corporate Auditing: Genuine Parts Company supplies each of our IBS locations with 3rd party inventory auditing through 3rd party contract inventory teams – per Sarbanes Oxley regulations. Each Sourcewell/NAPA IBS customer agreement will include monthly monitored electronic tracking of all customer purchases handled through our NAPA Headquarters in Atlanta, GA. The contracts will be subject to a quarterly compliance business review with involvement from the contract owner (GPC or independent dealer) and the customer and will be signed off and logged at NAPA Headquarters) for compliance.</p> <p>NAPA Internal Audits: NAPA internal audits occur at a minimum twice a year before and after our interim write off period. Stores scoring less than 85% will get re-audited to ensure the non-compliance items are corrected. GPC Internal Audit and NAPA team members use the national “APG Store Loss Prevention Review” guidelines to randomly select and audit stores and to discuss results in detail with management and senior leadership. Due to the random nature of these audits we are unable identify the frequency. The regular NAPA audit is used to ensure a location is ready for GPC internal Audit.</p> <p>NAPA external audit is conducted by EY and assisted by Moore Colson. These audits require quarterly, interim and annual support and are reviewed by GPC Sr. Leadership and used to sign off on the company financials and 10K documentation.</p> <p>Parts Pricing and Operations Statements Compliance: Our HQ's IBS operations department listed in this response produces and reviews month end contract compliance reporting to ensure each customer's prices match their specific agreements and with any deviation reported to the operations for corrections. This team performs quarterly</p>

		<p>pricing reviews along with our local operations to ensure our customers receive contract pricing per our agreed Sourcwell contract. Our on-site point of sale system will be the system of record for all transactions – and we have dozens of daily, weekly and monthly reporting available to any IBS customer for contract compliance. In many of our IBS sites, we are very familiar with contract compliance and audit measures, so our team is seasoned to report and audit our operations. This transparency is reflected in our IBS Sourcwell contract agreement attached. As a rule, in many of our IBS contracts, we provide a specific market basket of products to our customer with specific margins and costs to ensure compliance – typically on a quarterly basis. Our customers may pick the parts from parts acquired in the contract and may ask us to do an analysis on our contract price vs. the price charged. We then produce specific reports and billing showing specific contract price to ensure compliance. The audit needs of our Sourcwell contract customers may differ so we write the information requirements specifically in our contract language. NAPA IBS lives in a transparent government and education fleet environment every day and takes price compliance very seriously.</p> <p>One additional note: All IBS customer purchases are stored and protected in our GPC secured network daily. Purchases are held in two separate secure corporate servers/data warehouses and preserved for the term of the contract for internal and external audit purposes.</p> <p>Sourcwell Marketing Requirements: In regard to marketing and advertising requirements, our VP of IBS will assign the designated IBS Marketing Coordinator to ensure the IBS website has the most current Sourcwell marketing materials posted and maintained monthly.</p> <p>Reporting Compliance: Our IBS Operations Department will be notified of all new members and will ensure that the locations purchases are properly tracked to insure accurate quarterly reporting to the designated Sourcwell representative. Under our current contract, we have customized reporting on our Sourcwell contract for the co-op. We can deliver SKU-level data and overall program progress to Sourcwell on quarterly basis.</p>	
59	Identify a proposed administrative fee that you will pay to Sourcwell for facilitating, managing, and promoting the Sourcwell Contract in the event that you are awarded a Contract. This fee is typically calculated as a percentage of Vendor's sales under the Contract or as a per-unit fee; it is not a line-item addition to the Member's cost of goods. (See the RFP and template Contract for additional details.)	<p>NAPA IBS proposes a 1% fixed percentage fee paid to Sourcwell based on monthly total net sales of the IBS to the Sourcwell contract customer – on all IBS contracts using the Sourcwell contract as vehicle. This fee would be payable to Sourcwell on a quarterly basis directly from NAPA headquarters – regardless if the Sourcwell IBS contract was through a company or independent location. NAPA HQ will handle the sales tracking, reporting, audits, and fee disbursement. The 1% fee will be paid by NAPA Headquarters directly to Sourcwell – none of these fees will have an economic impact on the actual end user IBS Sourcwell customer. These payments to Sourcwell will not reflect in the price of the parts or services paid by the IBS contract customer.</p>	*

**Table 14A: Depth and Breadth of Offered Equipment Products and Services**

Line Item	Question	Response *
60	Provide a detailed description of the equipment, products, and services that you are offering in your proposal.	<p>NAPA Integrated Business Solutions (IBS) is a customized on-site (or off-site) vendor managed parts and supplies inventory management program offered by NAPA Auto Parts under the trademark name Integrated Business Solutions. Genuine Parts Company/NAPA has engaged in this specific service offering for more than 26 years.</p> <p>In the simplest form NAPA IBS is a service for fleet customers in any government segment (State, DOT, City, County, Utility, etc.) or education segment (Higher Education and K-12) where the customer has a need to more effectively manage the parts, supplies and materials it takes to maintain their fleet vehicles. NAPA's on-site store program provides the following benefits:</p> <ul style="list-style-type: none"> <li>On-site, vendor managed, inventory consisting of commonly used items. These</li> </ul>



items are purchased and held at NAPA's expense and are charged to the customer only when used for a given maintenance or repair.

- Dedicated staff providing on-site parts related services.
- Procuring, stocking, and issuing of automotive parts including both NAPA branded and non-branded items.
- Work order system integration to ensure parts and equipment are timely and accurately charged to vehicle maintenance and cost records.

These services greatly reduce the involvement of agency personnel in the acquisition and administration of parts enabling improved departmental focus on core functions and responsibilities.

Today, NAPA IBS operates over 400 on-site locations for multiple government and private fleet and warehousing operations in the US and over 20 sites in Canada.

Each IBS contract is unique because each fleet we service has different hours of operation, different vehicles, varying ages of vehicles, and unique staffing situations... no two fleets are the same. Each IBS location is customized for the government/education customers business. We start with a fresh scope of work and use industry best practices as benchmarks, then build a customized service and store structure around the government agency's needs (people, vendors, services, hours, space, and inventory).

NAPA IBS works with government administrations, procurement and fleet operations to develop a custom contract and scope of work. Once contract terms are agreed to, we mobilize staffing, inventory, standard operating procedures, billing processes and regular contract compliance reporting. When onsite, NAPA IBS manages any product our customers need us to handle (NAPA and Non-NAPA Automotive/Truck/GSE Parts, OE parts, office supplies, safety material, tires, bulk fluids, and more).

Under the Sourcwell agreement, the NAPA IBS store will be physically located within the customer's fleet shop or facility. NAPA will staff the location with full-time employees dedicated to that customer. NAPA will work with the customer's personnel to identify existing inventory with low utilization and will provide management with recommendations for disposition. NAPA will then procure commonly used items and supplies used by the agency, at its own cost, to stock the On-Site Store. NAPA's assigned resource will be responsible to procure all automotive and heavy truck related items, whether or not these are available through NAPA or through any other source. All items, whether issued through the On-Site Store, or procured by NAPA on the agency's behalf will be entered into the agency's work order management system.

Our current Sourcwell customers have experienced immediate benefits leveraging a cooperative contract to employ our onsite location service. Some key benefits include:

- Contracting Speed and Simplicity – Every government entity wants to be able to build contracts and solutions that meet their specific needs and working through Sourcwell and NAPA IBS they have been able to do that while avoiding a laborious and expensive RFP process. Especially in a year of pronounced operational difficulties and global crisis, solutions like this one have helped governments get the help they need more quickly and efficiently.
- Immediate Inventory Reduction – NAPA IBS owns the parts supply and inventory. In many cases, we buy the existing non-obsolete parts the customer stocked prior to IBS, relieving them of the inventory investment. Then we add additional inventory on NAPA's investment to support the fleet and improve fill rates. NAPA IBS stores sell our contract customers parts and supplies as they need them – on-demand... dramatically reducing the expensive world of owning and managing inventory. The customer only pays for the part when they use it.
- Staffing – NAPA IBS provides the staff to run the parts operation during the hours the customer needs us. This staff is 100% dedicated to their contract customer and will also be available to cover the parts operation after hours and in emergency situations if needed).
- Transaction Cost Reduction – NAPA IBS works with fleet departments and procurement departments to reduce the number of transactions by reducing paperwork and reducing the vast number of vendors usually servicing a fleet. We source from all vendors NAPA and non-NAPA and provide our customers with one bill at the end of the month. By consolidating the monthly parts bill into one statement, our customers experience a big transactional cost savings reduction by paying one bill versus hundreds.
- Technology Advances - NAPA IBS also works to reduce transactional time and cost by integrating our exclusive IBS HUB point of sale system with existing fleet and warehousing software systems. By integrating with a fleets existing software platform,

we help them leverage a major investment they have made in their fleet software and fully utilize the billing, reconciliation, work orders, and reporting available in their software. Most importantly, it ensures that all parts and supplies used in the shop get billed to a proper work order – allowing our customers the auditability of what they do in their fleet operations. NAPA seamlessly integrates with dozens of the most popular systems on the market (including Assetworks – Fleet Focus, FA, M5, Faster, RTA, Dossier, Chevin).

- Shop Productivity Improvement -- NAPA IBS on-site store handles the day-to-day productivity killers (parts management, paperwork, cores, defects, warranties, new part returns). A very important part of our service is providing regular reporting of on-demand fill rates. Between inventory management, customized min-max services and our nationwide vendor network, NAPA IBS builds a transparent, auditable inventory plan with our customers that builds in specific KPI's and benchmarks for on-time parts delivery to the technicians. Our goal with this is to eliminate the expensive downtime in a shop spent waiting for parts delivery in the traditional parts procurement system. Our goal is to help the government/educational customer by keeping technicians turning wrenches through having the proper inventory on hand and taking the ball on parts pickup and service to ensure the shop gets their parts on time – by dealing with hundreds of vendors.

Within the scope of these services, we are able to source, manage and provide a vast array of product categories from our internal and external supply chains to be a single-source supplier for Sourcewell customers. Some of the products we regularly supply include:

- OE & Aftermarket Automotive Parts
- Light, Medium & Heavy Duty Truck Parts
- Off-Road & Construction Equipment
- Marine Parts & Equipment
- Transit-Specific Parts
- Agriculture Parts
- Tires
- Fluids & Chemicals
- Shop Supplies
- MRO Products
- Chains
- Tools & Equipment
- Lifts & Jacks
- Vehicles
- Hydraulics
- Janitorial Supplies
- Office Products
- Paint
- and more...

We offer such a breadth of sourced and internal NAPA goods to provide our government customers a perfect mix of OE and aftermarket options. Our role is to provide fleets with options that allow them to select the products they want that meet their quality, warranty, price and availability criteria, regardless of brand. The choice is theirs.

While we work with more than 4,000 manufacturers and distributors, we have included a sample line card of the top sourced suppliers as well as NAPA-branded light, medium and heavy duty products in the supplemental uploads section.



61	Within this RFP category there may be subcategories of solutions. List subcategory titles that best describe your products and services.	<p>Potential list of subcategory services/solutions NAPA IBS can provide under the services outlined in this RFP:</p> <ul style="list-style-type: none"> <li>• Vendor managed fleet parts management services – aftermarket, OE parts, tires, related supplies, paint, tools and equipment</li> <li>• Vendor managed facilities Maintenance, Repair, and Operating (MRO) warehouse management services - including building materials, industrial materials, school supplies, office supplies</li> <li>• Repair and diagnostic tools and equipment for fleet operations</li> <li>• MRO replacement supplies for facilities, schools, non-profits, housing authorities, transit agencies</li> <li>• IT services for fleet and MRO facilities – including warehouse enterprise software integration, consulting, fleet software integration, data management</li> <li>• Parts and MRO supplies using vending machine solutions –based on customer need</li> <li>• Off-site inventory vendor managed services – manned and unmanned</li> <li>• Parts and warehouse staffing services</li> <li>• Inventory management analysis</li> <li>• Exclusive online parts ordering via NAPA ProLink, customized punchouts or software integrations</li> <li>• Fleet metrics reporting</li> <li>• Public Works/Water Management Supplies</li> <li>• Building &amp; Construction Supplies &amp; Materials</li> <li>• Supply Chain Services</li> </ul>
----	--	--

**Table 14B: Depth and Breadth of Offered Equipment Products and Services**

Indicate below if the listed types or classes of equipment, products, and services are offered within your proposal. Provide additional comments in the text box provided, as necessary.

Line Item	Category or Type	Fleet Related *	Facility Related *	Comments
62	Vendor Managed Inventory solutions	<input checked="" type="radio"/> Yes <input type="radio"/> No	<input checked="" type="radio"/> Yes <input type="radio"/> No	<p>Other than what has been presented – we feel that the biggest added value we bring to this solicitation is our network of suppliers, customers, contracts and people. Today, we staff over 400 IBS fleet operations with well over 1,100 dedicated vendor managed on-site staff in our US operations. Our track record of driving cost out of fleet-related and warehousing operations stems through four main avenues: inventory management, staffing, transaction cost reduction and shop productivity. We are unique in that we have over 400 unique sites in the US where today NAPA IBS owns and maintains over \$175 million in parts inventory for hundreds of thousands of fleet vehicles.</p> <p>NAPA IBS specializes in Vendor Managed Inventory services (VMI).</p> <p>Customized Inventory Management Services</p> <ul style="list-style-type: none"> <li>• Complete inventory analysis of parts, supplies, tires, chemicals, fluids and much more</li> <li>• Obsolete inventory reduction planning and dispersal services</li> </ul>

- State-of-the-art barcoding of all inventory regardless of vendor
- Electronic min/max establishment and regular review to ensure specific fill rates

#### Transaction Cost Reduction

- NAPA IBS deals with hundreds of vendors and the customer only receives one monthly statement for parts
- IBS can assist with reduction of paperwork through monthly invoice reconciliation services
- The goal: Delivering streamlined paperwork and reduction of effort for accounting/billing

#### Technician Training – NAPA IBS Exclusive

- NAPA exclusive: Online technician skills assessment
- NAPA Training exclusive: Over 200 online tech training modules
- NAPA Training Exclusive: Over 50 on-site professional training instructor-led classes
- ASE test preparation for shop technicians and shops striving for ASE Blue Seal Certification

#### Fleet Software Integration – NAPA IBS Exclusive

- Seamless integration of customer's fleet management system with our IBS HUB inventory management system
- This is full-scale integration, not just a data dump
- Our staff insures all requested and billed parts are on work orders
- Full-time national IT support for IBS operations – including customized IT solutions

#### Contract Compliance Reporting – NAPA US IBS Exclusive

- Customer Summary Report – daily overview of parts operation efficiency.
- Daily Status Report – work orders fulfilled, unfulfilled and pending.
- Parts on Order/Unit Status Report – gives fleet manager view of all pending parts on order relative to specific pieces of equipment, including ETAs.

				<ul style="list-style-type: none"> <li>• Daily Transaction Report – detailed data of each part requests including ordering technician, unit number, work order number, part description, quantity ordered/billed and more.</li> <li>• Vehicle Out of Service Report – shows number and percentage of fleet units current down waiting for parts.</li> <li>• Fill Rate Report – SKU-specific actual fill rates per contract KPIs.</li> <li>• Cost Comparison Detail Report – SKU-level daily report showing last paid cost versus previous cost.</li> </ul> <p>We are best-in-class on the training of our people and our customers and pride ourselves in transparency and driving results for fleet and maintenance repair operations.</p>
63	Logistics Management Solutions	<input checked="" type="radio"/> Yes <input type="radio"/> No	<input checked="" type="radio"/> Yes <input type="radio"/> No	<p>In addition to our core function of sourcing and managing Sourcewell customer inventory, we provide a long list of logistics services that make their overall fleet operations run more effectively. What this does is creates a menu of service options for each customer that allows them to customize exactly what we do for them so we know their needs are met. The following are several examples, but not an all-encompassing list, of store and warehouse logistics we manage in the IBS program:</p> <ul style="list-style-type: none"> <li>• IBS HUB – our proprietary inventory and order management system controls all aspects of analyzing inventory status, placing and tracking orders and deliveries, managing pricing and more so the parts operation is predictable for the customer and runs efficiently.</li> <li>• Barcoding – NAPA IBS barcodes and location codes every item in the parts room, whether NAPA product or sourced product, so we can tell the customer exactly what is on the shelf, where it is, and can get it to them quickly when needed.</li> <li>• Cores/Warranty&gt;Returns Tracking – We track all core and warranty eligible items in IBS HUB as soon as they are issued to the customer. This way, when a</li> </ul>

				<p>product is returned to the parts room, we can identify what the appropriate way to process it is. We also handle all claims with the manufacturers/suppliers for the customer.</p> <ul style="list-style-type: none"> <li>• Delivery Tracking – IBS HUB provides reporting that shows all orders that have been placed, when they are scheduled to arrive, and what units and work orders are waiting on these parts. This helps the customer know when their units will be back in service and eliminates time spent trying to track down orders.</li> <li>• Off-Site Inventory Management – NAPA IBS can manage remote and/or consignment inventories. Unmanned location inventory is managed, replenished and billed through our IBS HUB system. The technology reduces the required headcount to run a customer's parts operation, saving them dollars.</li> <li>• JOEI/NAPA Express – These proprietary sourcing systems allow our IBS store personnel access to our nationwide distribution network to find the parts they need easily. We are also tied into our outside suppliers' inventories so NAPA and non-NAPA parts can be acquired in the best way possible every time.</li> <li>• Virtual Inventory Exchange Warehouse (VIEW) – IBS VIEW is a module within the IBS HUB system that facilitates the exchange of inventory between IBS sites, whether within the same organization or outside of it. This reduces obsolescence, shares outside pricing levels that can help us negotiate better deals and helps find hard-to-source parts. It also integrates with UPS labeling and shipping modules to make a one-stop-shop for moving parts.</li> <li>• Vending Solutions – when requested by a customer, we have the ability to implement vending machine solutions that give them access to parts after hours or at unstaffed locations.</li> <li>• JDE &amp; MIO – NAPA</li> </ul>	*
--	--	--	--	---	---

				<p>IBS employs digital warehousing solutions, when beneficial to a fleet operation, through JD Edwards and Manhattan IO platforms.</p> <ul style="list-style-type: none"><li>• Shuttle System – NAPA IBS uses innovative shuttle systems to streamline parts supply to our customers by utilizing routes that strategically connect our distribution centers, retail stores and IBS shops.</li><li>• NAPA AutoCare Centers - NAPA Auto Parts partners with over 14,000 independent automotive repair shops to provide high quality automotive repair and maintenance parts to ASE service professionals. NAPA AutoCare is the largest network of independent mechanics in North America. So, if it is time for routine maintenance or if a Sourcewell member needs major repairs, there is a NAPA AutoCare ASE Certified mechanic nearby. NAPA is highly motivated in partnering Sourcewell members contracted with IBS with our independent network of repair facilities to increase their technician productivity and reduce asset downtime by contracting out certain jobs to local small business NAPA AutoCare facilities. Ensuring the same quality parts are being used on all Sourcewell members equipment and possibly reducing costs by reducing the need of overtime contract mechanics for automotive work.</li></ul>
--	--	--	--	---

Table 15: Industry Specific Questions

**General Instructions** (applies to all Tables) Sourcewell prefers a brief but thorough response to each question. Please do not merely attach additional documents to your response without also providing a substantive response. Do not leave answers blank; mark “NA” if the question does not apply to you (preferably with an explanation).

Line Item	Question	Response *
-----------	----------	------------

64	If you are awarded a contract, provide a few examples of internal metrics that will be tracked to measure whether you are having success with the contract.	<p>The following items are specific, trackable metrics that, if awarded this contract, we will use to measure our success in growing our Sourcewell footprint through the IBS program:</p> <ol style="list-style-type: none"> <li>1. Contract Renewals: The ability to renew our existing 50+ Sourcewell IBS contracts through the term of the new contract means customers are happy with the program and partnership we have built and guarantees future revenue for NAPA and Sourcewell.</li> <li>2. Existing IBS Contract Conversion: We make a concerted effort to promote the Sourcewell contract to our existing standalone customers as a way to continue their service with us without having to issue an RFP. Converting non-cooperative contracts to Sourcewell is a great way to grow our success.</li> <li>3. New Sourcewell Contracts: Acquiring new government fleet customers through the implementation of the Sourcewell IBS contract is the most impactful way to grow NAPA's and Sourcewell's business simultaneously.</li> <li>4. Customer Satisfaction Surveys: Every quarter, our local management teams meet with every IBS customer to discuss key wins, opportunities for improvement, and the state of the relationships. Following each of these reviews, the customer submits a satisfaction score that is tracked by NAPA Headquarters. The scores our Sourcewell customers give us are a strong indicator of our ability to deliver on the promise of what we offer.</li> </ol>	*
65	Describe your strategy regarding the disposition of existing and remaining inventory at the start of and conclusion of a Participating Entity utilizing your services.	<p>As part of taking over the stockroom NAPA IBS understands the desire of Sourcewell members for NAPA to purchase the existing inventory that is currently on hand at the Sourcewell members location. NAPA's financial requirements can allow, upon review and approval, for NAPA to purchase inventory from a Sourcewell member that is in new, sellable condition, fits the current fleet and has verified issuance history in the most recent 12-month period immediately before the purchase. In addition to the sales justification inventory purchase standard NAPA is also required to complete a full wall to wall inventory to validate the purchase.</p> <p>Another option, if preferred by the customer, is for NAPA to manage existing parts room inventory for Sourcewell members utilizing NAPA's inventory management systems and issuing the inventory at \$0.00 to Sourcewell members until the inventory is depleted and replaced with NAPA owned and managed inventory.</p> <p>At the conclusion of a contract - defined as termination, expiration, or non-renewal of the contract -NAPA shall require the Sourcewell member to purchase all non-NAPA branded inventory owned by NAPA and located in the on-site store(s) at NAPA's most recent acquisition cost. Additionally, the Sourcewell member shall have the option to purchase all NAPA branded inventory, owned by NAPA and located in the on-site store(s) at NAPA's current jobber net acquisition cost. This will help any Sourcewell member in their transition period if they choose to separate from NAPA.</p>	*
66	Describe how inventory owned by a Participating Entity is managed.	<p>As mentioned in Question #65, NAPA has the ability to enter customer-owned inventory into our inventory management system and manage it for them. When requested by a technician, we can then issue the parts to them at a cost of \$0.00. This allows the customer to still realize the benefits of our inventory management best practices, technology and reporting, without having to conduct a financial transaction on either end of the process.</p> <p>In this system, their inventory would gradually be depleted as requested and would generally be replenished as NAPA IBS-owned inventory after that. Customers often ask us to show them regular status updates on their inventory position and depletion and managing it this way allows us to easily provide them with that information. Certain items, however, such as rare-use parts, critical spares or customer rebuilds, may be replenished and billed to the customer upon receipt but still managed by NAPA in the same way as described above.</p>	*
67	Describe your ability to integrate fleet software into your inventory management program.	<p>NAPA IBS offers exclusive fleet software integration capabilities for on-site and off-site vendor managed services. We also offer more in-depth integration capabilities within our IBS operations where customers may wish to have their current fleet software system integrate with our NAPA IBS point of sale system. This allows electronic transfer of work order parts orders, consolidated billing, data transfer, reporting, and down vehicle reporting to be integrated within our electronic point of sale system, improving shop productivity and ensuring all parts get placed on work orders and are billed correctly. Some of these integrations also allow for invoice reconciliation to happen electronically, dramatically improving productivity time for fleet and accounting departments.</p> <p>NAPA IBS is the only vendor submitting a response to this RFP with the full capability to provide these types of integrations. Others claim to integrate technologies but only offer a mass data dump at the end of each day. What we offer Sourcewell members means real-time data and reporting available to them on demand, a true view of where their shop or facility stands at any moment, and a</p>	

customizable experience for their users that ensures their operational needs are met.

Successful examples of NAPA IBS integrations to third-party fleet and facilities software systems include Assetworks FA and M5, Faster, RTA, Dossier, Chevin, and many more.

In Gwinnett County, Ga., an IBS customer for more than 10 years that adopted the Sourcewell IBS contract in 2020, their fleet management division utilizes AssetWorks software as the driver behind its entire fleet operation. NAPA worked with the County to build a custom integration between our IBS HUB system and their AssetWorks interface to create a more efficient way of doing this and the results were immediate. The County has reduced approximately eight to 10 man hours per day by reducing redundant parts keying and work order reconciliation, saving them valuable time and real dollars. Previously, a daily reconciliation report took four or more hours to compile and review, but today it has been automated and can be audited in under five minutes.

NAPA IBS also has the capability to provide digital cataloging through punchouts and EDI interfaces placed directly within a customer's enterprise procurement system. On our e-commerce website, [www.NAPAIBIZ.com](http://www.NAPAIBIZ.com), we show companies that use large eProcurement programs how to register with NAPA to access our NAPA catalog. Platforms supported include Ariba, SAP, Oracle, Epicor, Katera, Jaggaer, Proactis/Perfect Commerce, Coupa and more. We also offer digital warehousing solutions with JD Edwards and Manhattan products.

Developing and managing this important technology requires time, financial investment and considerable manpower, so NAPA has invested heavily in a dedicated IT team that can support our operations and our customers throughout the life of our contract:

Donna Wright Walsh	Director, IT & Integrations
Jim Welch	Sr. Business Analyst
Kevin Osborn	Sr. Analyst
Tom Simcox	Product Specialist
Rob Thierry	Product Specialist
Richard Gomez	Product Specialist
Nick Giometti	Developer
Demetrios Papacharalampos	Developer
Nandini Chavan	Developer
Nivedhetha Seshadri	Developer

This team is responsible for supporting our customers in the following areas and more:

- Leading and managing end-to-end integrations for NAPA IBS customers.
- Integrating eCommerce platforms such as Ariba, Coupa, Jaeggar, AConnex, WHI, etc.
- Implementing many eCommerce formats such as:
  - o cXml
  - o EDI ANS x.12
  - o .csv
  - o .pdf
  - o email
- Implementing a multitude of eCommerce transactions such as:
  - o Electronic Orders from customer to NAPA
  - o Electronic Acknowledgements to Customers
  - o Electronic Invoices to Customers
  - o Electronic Payment/Remittance from customer to NAPA
- Integrating Fleet Management Software platforms with NAPA's IBS HUB for IBS customers.

In addition to direct integrations, we also offer unique specialized technology and internet tools that are built into the IBS system, including:

**PULSE – Market Inventory Classification System** – This tool is used by NAPA to list most vehicles in a fleet and find/stock all applicable replacement parts. This tool will aid NAPA in maintaining the right mix of inventory for our customers.

**ProLink Connectivity** – NAPA can provide any PC located in our customers facility access to NAPA ProLink. This is an internet-based tool to check inventory levels, costs, etc. on parts stocked in the Full-Service Shop and Self-Service Shop ([www.napaprolink.com](http://www.napaprolink.com)).

**FleetCross – Medium/Heavy Duty OE/Aftermarket E- Catalogs** – NAPA can provide our customers facility with access to FleetCross on the web ([www.fleetcross.com](http://www.fleetcross.com)). NAPA will utilize its contract with FleetCross to provide IBS stores customized parts and service referencing systems for many OE vehicles, equipment, and parts.



68	Describe your reporting and data analysis capabilities and the frequency with which it is provided.	<p>NAPA IBS delivers on-demand, daily, weekly, monthly, quarterly and annual reporting across many metrics for our customers. With the vast amount of data we have nationwide, we also have the capability to deliver ad hoc category-specific reporting. With the diverse array of fleets we handle in our 400+ IBS sites, we have unparalleled access to specific data that can be used to improve cost and efficiency within a government agency. We accomplish this through our exclusive IBS HUB system, which networks all of our company-owned sites nationwide.</p> <p>IBS HUB also allows real-time KPI tracking on certain contract performance metrics with IBS fleet operations: parts fill rates, daily service metrics, inventory special order tracking, down vehicle reporting, inventory readiness, and parts cost comparison reporting. This is exclusive to NAPA IBS company operations and our customers have found it an invaluable technology tool for contract tracking, metric reporting and cost savings tracking. Independent IBS operations have access to a Microsoft Access based program that delivers similar fleet metrics.</p> <p>A sample of the IBS HUB reporting available is included in our supplemental document upload for Warranty &amp; Performance Standards Table: Question #42.</p>
69	Describe any emergency response services and support included in your proposal.	<p>In the event that a disaster or emergency strikes a Sourcewell customer location, our local management teams are prepared to meet the challenges associated with this type of situation and have lived through them with your members over the history of the IBS program. The following are a few examples of real emergency situations we have handled recently:</p> <p>Hurricane Laura – Louisiana</p> <ul style="list-style-type: none"> <li>• Category 4 storm in August 2020 that destroyed all local merchant channels, including area NAPA stores, across a large geography.</li> <li>• Large utility fleet and IBS customer designated as first responder and tasked with restoring the local electric utility infrastructure after the storm.</li> <li>• Parts/equipment support needed for thousands of dispatched employees.</li> <li>• NAPA provided personnel support within 24 hours, sourced from our surrounding distribution centers and stores that were still operational.</li> <li>• Within 48 hours, NAPA had implemented tractor trailers as mobile parts and supplies vehicles that provided on-site support throughout the impacted area.</li> <li>• NAPA remained involved on-site with our IBS customer to support their efforts until the restoration of the local infrastructure was completed.</li> </ul> <p>COVID-19 Pandemic – Atlanta, GA</p> <ul style="list-style-type: none"> <li>• Global pandemic arising in the US in Spring 2020 and continuing today.</li> <li>• Several IBS customers in the area are government fleets and Sourcewell users designated as first responders and needing emergency backup staffing and parts support while maintaining operational safety.</li> <li>• Fleet and safety/PPE products were sourced and available for use by all first responders and all on-site personnel safety measures were strictly followed.</li> <li>• K-12 school district customers were shut down completely, leaving staff at potential risk of unemployment. NAPA IBS redistributed their talent to working operations in our retail and IBS network and provided consulting for fleets on how to retain their staff in other functions.</li> </ul> <p>COVID-19 Pandemic – Ventura, CA</p> <ul style="list-style-type: none"> <li>• PPE supplies unavailable throughout the state during initial spread in March 2020.</li> <li>• NAPA IBS sourced supplies from outside sources for the City of Ventura, a Sourcewell member customer, including 110 gallons of hand sanitizer and disinfectant.</li> <li>• At the City, 95 percent of all parts requests are supplied within 24 hours of request, and 85 percent are issued on demand.</li> </ul> <p>In all emergency cases, it is our job to provide backup or increased staffing, after-hours support and on-demand distribution for governments across the US and Canada. Early on in the COVID-19 pandemic NAPA was identified as an essential business in support of first responders and emergency operations and it has been our brick-and-mortar distribution infrastructure that has allowed us to serve them as well as we have.</p> <p>When an emergency hits, we stock up on the products that we know our customers will need, whether tires, snow removal equipment, light bulbs, PPE supplies or anything else, so they won't run out when it matters most. Also, because of our national footprint and distribution foundation, we can promise that no individual emergency will take away our ability to support Sourcewell members. We always have the capability to source from somewhere else if any particular location is affected.</p> <p>While we will always respect and defer to the customer's emergency policies, GPC has a detailed Emergency Plan in place that establishes procedures to mitigate the effects of a disaster in an effective and efficient manner. Our staff is fully trained and have experience serving our customers, managing media and training others in the</p>



		<p>following cases and more:</p> <ul style="list-style-type: none"> <li>• Flooding</li> <li>• Hurricanes</li> <li>• Fires</li> <li>• HAZMATs</li> <li>• Power Outages</li> <li>• Snow/Ice</li> <li>• Tornado</li> <li>• Pandemic Outbreak</li> </ul> <p>Upon opening a new IBS location, our management team will work with our customers to define the critical processes and the minimum staffing levels required to maintain the business operation for a period of weeks following a disaster situation. We will ensure our initiatives are in line with current customer procedures and that they will protect both our and the customer's employees and facilities. In the case of an after-hours emergency that requires additional parts service at an IBS location, we have flexible options for how to manage the situation to accommodate the customer's needs in the best way possible. Some options that we have found to be efficient and successful are below, but we will work with the customer to arrange a plan that fits their protocol and desires.</p> <ul style="list-style-type: none"> <li>• For large enough government operations, our IBS Site Managers, Area Managers and Project Managers will be available "on call" to assist on-site in an emergency situation where parts service is required. In this situation, all transactions would be approached as normal.</li> <li>• In some cases, we will arrange for a parts allotment to be available to customer staff outside of our parts room operating hours based on proven models in other IBS locations. The IBS Manager will then reconcile the inventory each morning.</li> </ul> <p>In any case, it is important to know that our team will be fully trained in our procedures and the customer's and that IBS will always be there to support their fleet in any situation. Additionally, all of our distribution centers and stores stock up on emergency equipment and supplies from NAPA, our other subsidiaries and outside vendors, during high risk periods to make sure we have the customer's needs covered.</p> <p>In addition to the physical needs of a shop during emergency situations, we also have data security practices in place to protect our information and our customers' in the case of instances where data could be affected. We have existing Sourcewell IBS customers who have gone through hurricanes, power outages and more and our data has always been secured and maintained through our backup servers located in Atlanta and Dallas.</p>
70	Describe any training, consultative, and administrative or technical support services that you offer related to your Vendor Managed Inventory or Logistics Management services.	<p>We are dedicated to helping productivity in the shop through shop training, IT support and other consulting efforts. NAPA IBS has tools to keep the government/education fleet technicians and fleet managers on the cutting edge of operating their fleets.</p> <p>Technician Training - NAPA IBS Exclusive</p> <ul style="list-style-type: none"> <li>• NAPA exclusive: Online technician skills assessment</li> <li>• NAPA Training exclusive: Over 200 online tech training modules</li> <li>• NAPA Training Exclusive: Over 50 on-site professional training instructor-led classes</li> <li>• ASE test preparation for shop technicians and shops striving for ASE Blue Seal Certification</li> </ul> <p>Technology &amp; Innovation Support</p> <ul style="list-style-type: none"> <li>• Dedicated NAPA IBS Integrations Team</li> <li>• Local Operational Success Managers</li> <li>• Shop technology consulting</li> <li>• Fast support on all technology issues</li> </ul> <p>Stockroom Optimization &amp; Construction</p> <ul style="list-style-type: none"> <li>• Stockroom schematics and layout consulting</li> <li>• Shelving and storage provisions</li> <li>• Construction project facilitation</li> <li>• Location expansions and consolidations</li> </ul>

## Exceptions to Terms, Conditions, or Specifications Form

Only those Proposer Exceptions to Terms, Conditions, or Specifications that have been accepted by Sourcewell have been incorporated into the contract text.

### Documents

#### Ensure your submission document(s) conforms to the following:

1. Documents in PDF format are preferred. Documents in Word, Excel, or compatible formats may also be provided.
  2. Documents should NOT have a security password, as Sourcewell may not be able to open the file. It is your sole responsibility to ensure that the uploaded document(s) are not either defective, corrupted or blank and that the documents can be opened and viewed by Sourcewell.
  3. Sourcewell may reject any response where any document(s) cannot be opened and viewed by Sourcewell.
  4. If you need to upload more than one (1) document for a single item, you should combine the documents into one zipped file. If the zipped file contains more than one (1) document, ensure each document is named, in relation to the submission format item responding to. For example, if responding to the Marketing Plan category save the document as "Marketing Plan."
- [Financial Strength and Stability](#) - Question #9 - Genuine Parts Company 2019 Annual Report.pdf - Wednesday October 28, 2020 09:31:24
  - [Marketing Plan/Samples](#) - Marketing Plan Questions #32 & #33 - IBS Website, Print Materials, Digital Promo Samples.pdf - Wednesday October 28, 2020 10:31:26
  - [WMBE/MBE/SBE or Related Certificates](#) - Value-Added Attributes Questions #36 & #39- Training Course Lists, Corporate Sustainability.pdf - Wednesday October 28, 2020 11:19:58
  - [Warranty Information](#) - Question #42 & #68 - IBS HUB Reporting.pdf - Wednesday October 28, 2020 10:55:25
  - [Pricing](#) - Question #49 - Sourcewell Member Contract, Sample Operating Statements, 9074 Pricing Profile.pdf - Wednesday November 04, 2020 09:52:16
  - [Additional Document](#) - Additional Upload - Questions #21, #26, & #60 - Reference Letters, Business Review Sample, Product Line Cards.pdf - Wednesday October 28, 2020 14:52:00

**Proposer's Affidavit****PROPOSER AFFIDAVIT AND ASSURANCE OF COMPLIANCE**

I certify that I am the authorized representative of the Proposer submitting the foregoing Proposal with the legal authority to bind the Proposer to this Affidavit and Assurance of Compliance:

1. The Proposer is submitting this Proposal under its full and complete legal name, and the Proposer legally exists in good standing in the jurisdiction of its residence.
2. The Proposer warrants that the information provided in this Proposal is true, correct, and reliable for purposes of evaluation for contract award.
3. The Proposer, including any person assisting with the creation of this Proposal, has arrived at this Proposal independently and the Proposal has been created without colluding with any other person, company, or parties that have or will submit a proposal under this solicitation; and the Proposal has in all respects been created fairly without any fraud or dishonesty. The Proposer has not directly or indirectly entered into any agreement or arrangement with any person or business in an effort to influence any part of this solicitation or operations of a resulting contract; and the Proposer has not taken any action in restraint of free trade or competitiveness in connection with this solicitation. Additionally, if Proposer has worked with a consultant on the Proposal, the consultant (an individual or a company) has not assisted any other entity that has submitted or will submit a proposal for this solicitation.
4. To the best of its knowledge and belief, and except as otherwise disclosed in the Proposal, there are no relevant facts or circumstances which could give rise to an organizational conflict of interest. An organizational conflict of interest exists when a vendor has an unfair competitive advantage or the vendor's objectivity in performing the contract is, or might be, impaired.
5. The contents of the Proposal have not been communicated by the Proposer or its employees or agents to any person not an employee or legally authorized agent of the Proposer and will not be communicated to any such persons prior to Due Date of this solicitation.
6. If awarded a contract, the Proposer will provide to Sourcwell Participating Entities the equipment, products, and services in accordance with the terms, conditions, and scope of a resulting contract.
7. The Proposer possesses, or will possess before delivering any equipment, products, or services, all applicable licenses or certifications necessary to deliver such equipment, products, or services under any resulting contract.
8. The Proposer agrees to deliver equipment, products, and services through valid contracts, purchase orders, or means that are acceptable to Sourcwell Members. Unless otherwise agreed to, the Proposer must provide only new and first-quality products and related services to Sourcwell Members under an awarded Contract.
9. The Proposer will comply with all applicable provisions of federal, state, and local laws, regulations, rules, and orders.
10. The Proposer understands that Sourcwell will reject RFP proposals that are marked "confidential" (or "nonpublic," etc.), either substantially or in their entirety. Under Minnesota Statutes Section 13.591, subdivision 4, all proposals are considered nonpublic data until the evaluation is complete and a Contract is awarded. At that point, proposals become public data. Minnesota Statutes Section 13.37 permits only certain narrowly defined data to be considered a "trade secret," and thus nonpublic data under Minnesota's Data Practices Act.
11. Proposer its employees, agents, and subcontractors are not:
  - a. Included on the "Specially Designated Nationals and Blocked Persons" list maintained by the Office of Foreign Assets Control of the United States Department of the Treasury found at: <https://www.treasury.gov/ofac/downloads/sdnlist.pdf>;
  - b. Included on the government-wide exclusions lists in the United States System for Award Management found at: <https://www.sam.gov/portal/3>; or
  - c. Presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from programs operated

by the State of Minnesota; the United States federal government or the Canadian government, as applicable; or any Participating Entity. Vendor certifies and warrants that neither it nor its principals have been convicted of a criminal offense related to the subject matter of this solicitation.

☒ By checking this box I acknowledge that I am bound by the terms of the Proposer's Affidavit, have the legal authority to submit this Proposal on behalf of the Proposer, and that this electronic acknowledgment has the same legal effect, validity, and enforceability as if I had hand signed the Proposal. This signature will not be denied such legal effect, validity, or enforceability solely because an electronic signature or electronic record was used in its formation. - Jett Kuntz, Vice President, NAPA Fleet & IBS, Genuine Parts Company / NAPA Integrated Business Solutions

The Proposer declares that there is an actual or potential Conflict of Interest relating to the preparation of its submission, and/or the Proposer foresees an actual or potential Conflict of Interest in performing the contractual obligations contemplated in the bid.

☒ Yes ☐ No

The Bidder acknowledges and agrees that the addendum/addenda below form part of the Bid Document.

Check the box in the column "I have reviewed this addendum" below to acknowledge each of the addenda.

File Name	I have reviewed the below addendum and attachments (if applicable)	Pages
<b>Addendum 6_VMI_Logistics_MGMT_RFP_110520</b> Tue October 27 2020 03:58 PM	<input checked="" type="checkbox"/>	1
<b>Addendum 5_VMI_Logistics_MGMT_RFP_110520</b> Wed October 21 2020 02:03 PM	<input checked="" type="checkbox"/>	1
<b>Addendum 4_VMI_Logistics_MGMT_RFP_110520</b> Mon October 19 2020 01:11 PM	<input checked="" type="checkbox"/>	2
<b>Addendum 3_VMI_Logistics_MGMT_RFP_110520</b> Thu October 8 2020 01:01 PM	<input checked="" type="checkbox"/>	1
<b>Addendum 2_VMI_Logistics_MGMT_RFP_110520</b> Mon September 28 2020 03:21 PM	<input checked="" type="checkbox"/>	2
<b>Addendum 1_VMI_Logistics_MGMT_RFP_110520</b> Thu September 24 2020 10:16 AM	<input checked="" type="checkbox"/>	3

Dear Sourcewell Member,

Thank you for your interest in the Sourcewell Fleet Vendor Managed Inventory contract and your consideration of NAPA Integrated Business Solutions (NAPA IBS) as a future business partner for your fleet operation. NAPA IBS is the best-in-class provider of parts room management services and we look forward to learning more about how we can help you manage your fleet's supply chain.

The Contract Documents section of the Sourcewell Contract #110520-GPC information page contains a copy of the awarded contract we hold with Sourcewell that includes our detailed RFP response submitted for this opportunity. Throughout our RFP response, we reference several attachments that provide examples and detail on a number of impactful components of our service offering. While not included on the Sourcewell website, each of these attachments is available to Sourcewell members on request.

We have attached two vital parts of the pricing component of our response:

- Pricing Options Summary
- Sample Member Contract (referenced in Table 11, Question #49 of our response)

We understand that every Sourcewell member has its own desired terms and conditions, operational procedures, service hours, metrics and more. To that end, our contract is flexible and adaptable to best suit your preferences.

Thank you again for your consideration of NAPA IBS as your fleet operations business partner. We look forward to connecting with you soon.

Thank you,



Jett Kuntz  
Vice President, NAPA IBS  
(770) 855-2221  
Jett\_Kuntz@genpt.com  
www.NAPA-IBS.com

## Sourcewell Pricing for NAPA IBS Contract #110520-GPC

Sourcewell members that elect to use the Sourcewell NAPA IBS #110520-GPC Contract have three options for pricing models based on our on-site vendor managed inventory model.

### 1. Sourcewell Member Pricing Option 1: No Markup Goods Pricing/Management Fee

- Goods are sold to customer at no markup over NAPA's acquisition cost
- Operating expenses are billed to customer at actual cost with no markup
- Separate management fee charged to attain a 10% return for NAPA on the sale price of goods

### 2. Sourcewell Member Pricing Option 2a: Not-to-Exceed 10% Margin Model

- Goods are sold to customer at a 10% gross margin over NAPA's acquisition cost
- Operating expenses are billed to customer at actual cost with no markup
- NAPA's return is built into the price of the part so no separate fee is billed

### 3. Sourcewell Member Pricing Option 2b: Not-to-Exceed Pricing Profile 9074 / 25% Margin Model

- NAPA branded goods are sold to customer on NAPA Pricing Profile 9074 (details available upon request)
- Non-NAPA sourced goods are sold to customer at a 25% gross margin over NAPA's acquisition cost
- All store operating expenses are paid by NAPA and not billed to customer
- All cost and return are included in the price of the part, so customer only receives one consolidated statement

**Sourcewell members have the option to select the pricing model that works best for their agency. These options are outlined in the sample agreement attached.**

Each government customer has different needs for how our parts and services are billed, we have dozens of current Sourcewell customers that use all three of these models based on their best practices. NAPA IBS team can model each of these for an agency wishing to leverage our Sourcewell contract # 110520-GPC. To begin the process, please contact:

Jett Kuntz  
Vice President, NAPA IBS  
(770) 855-2221  
Jett\_Kuntz@genpt.com  
www.NAPA-IBS.com

**INTEGRATED SUPPLY AGREEMENT**

**BY AND BETWEEN**

**GENUINE PARTS COMPANY**

**AND**

---

**INTEGRATED SUPPLY AGREEMENT  
BY AND BETWEEN  
GENUINE PARTS COMPANY  
AND**

---

**THIS INTEGRATED SUPPLY AGREEMENT** (this “Agreement”) is made by and between **GENUINE PARTS COMPANY**, a Georgia corporation (d/b/a NAPA Auto Parts) (“NAPA”), and \_\_\_\_\_, (“CUSTOMER”), to be effective as of the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ (the “Effective Date”).

**WITNESSETH**

WHEREAS, pursuant to a competitive bidding and selection process by Sourcewell (f/k/a National Joint Powers Alliance) (hereinafter, “Sourcewell”), a Minnesota-based Service Cooperative created by Minnesota Legislative Statute 123A.21, Sourcewell and NAPA executed contract #110520 on \_\_\_\_\_, 2020 (hereinafter, “Sourcewell Contract”), attached hereto as Exhibit C, to establish a source of supply for certain auto, truck and bus parts as well as to provide Integrated Business Solutions services; and

WHEREAS, by becoming a participating member of Sourcewell (hereinafter, “Member”), CUSTOMER and its related entities (hereinafter, “User Agencies”) are authorized to utilize the pricing and incentives available to Sourcewell Members set forth in the Sourcewell Contract; and

WHEREAS, CUSTOMER desires to become a User Agency under such Sourcewell Contract and desires to receive integrated business solutions services from NAPA; and

WHEREAS, CUSTOMER and NAPA agree that the Sourcewell Contract is a vehicle by which CUSTOMER may contract directly with NAPA for parts and services, but that the terms and conditions of this Agreement and not the terms and conditions of the Sourcewell Contract shall govern the relationship of the parties; and

WHEREAS, NAPA desires to provide integrated business solutions services and to establish inventories in CUSTOMER’s locations to service the fleet parts needs of CUSTOMER and to serve as the primary supplier of automotive replacement parts and other supplies and/or equipment (the “Inventory” or “Products”) to serve the needs of CUSTOMER; and

WHEREAS, CUSTOMER desires to provide space for the Inventory on the premises of CUSTOMER for use by NAPA (“On Site Store”) and agrees that NAPA will be its primary supplier of the Inventory pursuant to the terms herein.



**NOW THEREFORE**, in consideration of the mutual promises and covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties hereto agree as follows:

### **AGREEMENT**

**1. DEFINITIONS.** For purposes of this Agreement, the following terms shall have the meanings set forth below:

- (a) **Primary Supplier** shall mean the parts supplier that provides a minimum of ninety percent (90%) of the Inventory needs of CUSTOMER.
- (b) **NAPA Owned Store** shall mean an auto parts store lawfully using the tradename or trademark “NAPA” which is wholly owned by NAPA.
- (c) **NAPA Jobber** shall mean an auto parts store lawfully using the tradename or trademark “NAPA” with respect to which NAPA maintains no ownership interest.
- (d) **Current NAPA Jobber Acquisition Cost** shall mean NAPA’s current gold price as set forth on NAPA’s Confidential Jobber Cost and Suggested Resales price list.

**2. CUSTOMER’S CURRENT LOCATIONS.** NAPA will establish On Site Store(s) at the CUSTOMER’S following location(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Additional locations of the CUSTOMER may be added to this Agreement but only by a written amendment executed and agreed to by both the CUSTOMER and NAPA.

**3. TERM.** Subject to the terms and conditions set forth below, this Agreement shall begin on the Effective Date and shall end when the Sourcewell Contract terminates or expires or when terminated earlier in accordance with the applicable terms and conditions stated herein. As the Sourcewell Contract is renewed or extended, this Agreement may be renewed or extended for a period of time equal to or shorter than the period of time the Sourcewell Contract is renewed or extended upon the mutual written agreement of the parties. Notwithstanding the foregoing, should the parties desire to extend this Agreement past the termination or expiration date of the Sourcewell Contract, the parties may do so by entering into a mutually agreed upon written amendment to this Agreement. Further, as Sourcewell awards new successive agreements to NAPA

Sourcewell Contract

following expiration of the Sourcewell Contract, any new contract number and/or new terms and conditions may be added with mutual agreement via a written amendment to this Agreement. Either party may terminate this Agreement at any time for its convenience by giving the other party sixty (60) days prior written notice of such termination.

**4. DUTIES AND RESPONSIBILITIES OF NAPA.** NAPA shall have the following duties and responsibilities during the term of this Agreement:

(a) NAPA will operate the On Site Store(s) and provide the Inventory to CUSTOMER's now existing locations. NAPA shall provide all personnel required to operate the On Site Store(s).

(b) In those circumstances when delivery is required by CUSTOMER, NAPA will provide parts to CUSTOMER's locations on a daily route basis. In addition, NAPA will accelerate delivery on those items CUSTOMER requires to be delivered on an expedited basis. NAPA will make all reasonable efforts to ensure prompt delivery to the CUSTOMER's location(s) requesting part(s).

(c) NAPA shall provide all computers and reports necessary to monitor monthly expenses as they pertain to the daily operation of the On Site Store(s). NAPA shall provide computer ordering and cataloging to each On Site Store.

(d) NAPA shall provide a profit and loss statement of the parts operations to the CUSTOMER on approximately the 25th of each month for each On Site Store.

(e) NAPA shall provide back-up emergency service during non-working hour contingencies. This overtime expense (calculated at time and one half) will be charged on a cost basis to CUSTOMER and must be pre-approved by CUSTOMER. The parties shall mutually agree upon the pre-approval process for such emergency situations. NAPA will provide a list of personnel, including telephone numbers, who will respond to emergency service requests.

**5. DUTIES AND RESPONSIBILITIES OF CUSTOMER.** CUSTOMER shall have the following duties and responsibilities during the term of this Agreement:

(a) CUSTOMER shall provide, at its sole expense, usable space for NAPA's On Site Store(s) and the Inventory. CUSTOMER shall provide access to restroom facilities for NAPA employees. Further, CUSTOMER shall furnish, at its sole expense, all utilities for the On Site Store(s) including: water, sanitation, sewer, light, telephone, heat, gas, electricity, power, fuel, janitorial and all other utilities and services rendered or delivered to the On Site Store(s) whatsoever. CUSTOMER shall provide NAPA a safe work environment that is free from hostility, violence, or discrimination. NAPA reserves the right to terminate the contract immediately should NAPA encounter a hostile, violent, discriminatory, or unsafe work environment.

(b) CUSTOMER shall use NAPA as its Primary Supplier of the Inventory under this Agreement. CUSTOMER reserves the right to purchase any item outside this Agreement where it is determined to be more economical or timely so long as the purchase of aforesaid part or parts does not result in NAPA no longer being CUSTOMER's Primary Supplier in which case NAPA may terminate this Agreement.

(c) Each On Site Store location shall be appropriately secured or otherwise maintained separate and apart from the business of CUSTOMER. There shall be no intermingling of CUSTOMER's parts or other inventory with NAPA's parts or inventory. Access to the secured On Site Store(s) shall be restricted to NAPA employees and authorized NAPA representatives only. CUSTOMER'S employees, contractors or agents shall not be permitted to enter the secured On-Site Store area unless accompanied by a NAPA employee or other authorized NAPA representative. CUSTOMER hereby assumes and shall bear any and all risk of loss or damage from any cause to the Inventory and other personal property located in the On Site Store(s), except for loss or damage arising out of the acts, errors or omissions of NAPA. NAPA shall invoice CUSTOMER for any such loss of or damage to the Inventory and/or other personal property located in the On Site Store(s), and CUSTOMER shall pay such invoiced amount to NAPA in accordance with the payment terms set forth in Section 7 below.

(d) CUSTOMER shall, at all times during the term of this Agreement, at CUSTOMER'S sole expense, maintain in good condition and repair (so as to prevent any damage or injury to NAPA's employees, the Inventory or other personal property located in the On Site Store(s)) the roof, exterior walls, foundation, and structural portions of the On Site Store(s) and all portions of the electrical and plumbing systems lying outside of the On Site Store(s) but serving the On Site Store(s).

(e) CUSTOMER shall provide information regarding fleet changes to NAPA as soon as possible. Fleet changes include but are not limited to the removal of types of vehicles from the fleet and the addition of new vehicles to the fleet.

**6. ALTERNATIVE SUPPLIERS.** Each On Site Store may be serviced by a NAPA Owned Store or a NAPA Jobber. CUSTOMER acknowledges that whether it will be serviced by a NAPA Owned Store or a NAPA Jobber will be determined by NAPA, in its sole discretion, and that if CUSTOMER is to be serviced by a NAPA Jobber, then such NAPA Jobber must evidence its desire to abide by the terms of this Agreement by entering into an Assignment in the form of Exhibit A hereto.

**7. PAYMENT TERMS/PRICING.** NAPA shall invoice the CUSTOMER for all Inventory purchased pursuant to this Agreement on a monthly basis according to the pricing plan below. CUSTOMER agrees to pay the entire amount of all statements received from NAPA by the 25<sup>th</sup> day of the month following receipt of any such statement. If CUSTOMER has not paid the entire amount of all statements received from NAPA within 10 days of the 25<sup>th</sup> day of the month following receipt of such invoice, CUSTOMER shall be put on COD until such amount is paid in full. No prompt pay discount is available under this Agreement.

There are three pricing options available to CUSTOMER. Those pricing options are Pricing Option #1 (Management Fee), Pricing Option #2a (10% Gross Profit on Products/Monthly Operating Expenses), and Pricing Option #2b (Higher Gross Profit on Products/No Monthly Operating Expenses). The pricing option for *this* Agreement must be indicated by CUSTOMER initials, below.

**PRICING OPTION #1 (NO MARKUP GOODS PRICING/MANAGEMENT FEE)**

**CUSTOMER INITIALS:** \_\_\_\_\_

The overall objective of CUSTOMER's pricing plan is for: (i) NAPA to provide Products in accordance with the Pricing Plan Summary set forth below, (ii) NAPA to provide Outside Services in accordance with the Pricing Plan Summary set forth below, (iii) reimbursement by CUSTOMER of each On Site Store's operating expenses, and (iv) payment by CUSTOMER of the Management Fee (as defined below). By billing CUSTOMER for these four categories, NAPA's On Site Store(s) will achieve its target ten percent (10%) net profit for the Agreement (the "Net Profit Target"). These categories are defined as follows:

- (a) **Product Price.** The pricing of the Products to be supplied to CUSTOMER by NAPA pursuant to this Agreement shall be divided into: 1) "**NAPA Product Price**," which is the pricing of NAPA branded or NAPA cataloged supplier manufactured products; and 2) "**Non-NAPA Product Price**," which is the pricing of products which have not been manufactured by NAPA suppliers or do not exist in NAPA's proprietary catalog system but which have been acquired for CUSTOMER by NAPA pursuant to this Agreement. The pricing of NAPA Product and Non-NAPA Product shall be billed in accordance with the Pricing Plan Summary defined below.
- (b) **Outside Services Price.** Outside Services are those services not traditionally performed by NAPA. The pricing of Outside Services shall be billed in accordance with the Pricing Plan Summary defined below.
- (c) **Operational Expenses.** Any and all costs and expenses associated with the operation of the On Site Store(s), including, but not limited to, vehicle gas and maintenance costs, salary and benefits payable to NAPA employees at the On Site Store(s), worker's compensation benefits and insurance, unemployment insurance, personal property insurance for the On Site Store(s) and Inventory, any deductible for losses covered under the personal property, automobile liability, or general liability insurance policies of NAPA, all equipment supplied by NAPA, Corporate Allocation Expenses (as defined below), inventory investment expense, obsolescence expense, pension funding costs, accounting fees, general office expenses,

and shared service expenses. An example of a profit and loss statement reflecting such costs and expenses is attached hereto as Exhibit B. CUSTOMER acknowledges and agrees that the costs and expenses reflected on the profit and loss statement set forth on Exhibit B are subject to change based on actual monthly costs, expenses or Corporate Allocation Expenses incurred relative to the operation of the On Site Store(s). To achieve economies of scale, NAPA utilizes certain headquarter and corporate personnel to assist in the performance of this Agreement. As a result, each On Site Store location is charged certain corporate allocation expenses for various line items shown on Exhibit B (“Corporate Allocation Expenses”) which are calculated as a percentage of total Product sales for each month. As such, there is not a supportive invoice for such expenses other than a monthly allocation rate statement. These Corporate Allocation Expenses allow NAPA to have fewer employees performing routine general administrative tasks such as paper work and filing at the On Site Store(s), allowing NAPA counter personnel to focus more attention on serving the On-Site Store operations, and maximizing on-site cost efficiency.

- (d) **Management Fee.** CUSTOMER shall be billed a Management Fee (as defined below) on a monthly basis in accordance with the terms below.

#### **PRICING PLAN SUMMARY**

NAPA Product Price	Billed to CUSTOMER at the Current NAPA Jobber Acquisition Cost
Non-NAPA Product Price	Billed to CUSTOMER at NAPA’s current product acquisition cost
Outside Services Price	Billed to CUSTOMER at NAPA’s cost
Operational Expenses	Billed to CUSTOMER in accordance with Section 7(c) above.
Management Fee	Billed to CUSTOMER in accordance with the terms below
Net Profit Target	10% net profit for the NAPA On Site Store(s) after Products, Outside Services, Operational Expenses, and Management Fee are billed to CUSTOMER.

NAPA Product shall be billed to CUSTOMER at the Current NAPA Jobber Acquisition Cost. Non-NAPA Product shall be billed to CUSTOMER at NAPA’s current product

acquisition cost, and Outside Services shall be billed to CUSTOMER at NAPA's cost. CUSTOMER is solely responsible for improper or inappropriate instructions by CUSTOMER's employees to NAPA regarding NAPA's purchases of nontraditional parts or services, unless CUSTOMER provided prior written notice to NAPA of parts or services that may not be procured by NAPA in relation to this Agreement. Operational Expenses will be charged to CUSTOMER in accordance with Section 7(c) above, with all such charges for Operational Expenses to be included in CUSTOMER's monthly billing statement. CUSTOMER will be billed at the end of each month for Operational Expenses on an "in arrears" basis.

CUSTOMER shall pay to NAPA on a monthly basis a management fee equal to ten percent (10%) of the Total Monthly Net Sales (as defined below) during the preceding month (the "Management Fee"). For purposes hereof, "Total Monthly Net Sales" means the total dollar amount of all Products (both NAPA and Non-NAPA) and Outside Services sold to the CUSTOMER during the preceding month at the prices set forth in the pricing plan summary above less purchase returns.

CUSTOMER and NAPA mutually agree that CUSTOMER'S maximum annual payment obligation for all Products, Outside Services, Operational Expenses and Management Fees billed to CUSTOMER pursuant to this Section 7 shall be set at \$\_\_\_\_\_ per annum; and CUSTOMER has encumbered such amount to cover this potential liability. The parties agree to mutually work together to adjust the amount if such amount must be increased during the term of the contract. **CUSTOMER INITIALS** \_\_\_\_\_

### **PRICING OPTION #2a (NOT-TO-EXCEED 10% MARGIN MODEL)**

**CUSTOMER INITIALS:** \_\_\_\_\_

The overall objective of CUSTOMER's pricing plan is for NAPA to provide Products in accordance with the agreed upon Pricing Plan Summary set forth below and reimbursement by CUSTOMER of each On Site Store's operating expenses. By billing CUSTOMER for these two categories, NAPA's On Site Store(s) will achieve its target ten percent (10%) net profit for the Agreement (the "Net Profit Target"). These categories are defined as follows:

- (a) **Product Price.** The pricing of the Products to be supplied to CUSTOMER by NAPA pursuant to this Agreement shall be divided into: 1) "**NAPA Product Price**," which is the pricing of NAPA branded or NAPA cataloged supplier manufactured products; and 2) "**Non-NAPA Product Price**," which is the pricing of products which have not been manufactured by NAPA suppliers or do not exist in NAPA's proprietary catalog system but which have been acquired for CUSTOMER by NAPA pursuant to this Agreement. The pricing of NAPA Product and Non-NAPA Product shall be billed in accordance with the Pricing Plan Summary defined below.

- (b) **Operational Expenses.** Any and all costs and expenses associated with the operation of the On Site Store(s), including, but not limited to, vehicle gas and maintenance costs, salary and benefits payable to NAPA employees at the On Site Store(s), worker's compensation benefits and insurance, unemployment insurance, personal property insurance for the On Site Store(s) and Inventory, any deductible for losses covered under the personal property, automobile liability, or general liability insurance policies of NAPA, all equipment supplied by NAPA, Corporate Allocation Expenses (as defined below), inventory investment expense, obsolescence expense, pension funding costs, accounting fees, general office expenses, and shared service expenses. An example of a profit and loss statement reflecting such costs and expenses is attached hereto as Exhibit B. CUSTOMER acknowledges and agrees that the costs and expenses reflected on the profit and loss statement set forth on Exhibit B are subject to change based on actual monthly costs, expenses or Corporate Allocation Expenses incurred relative to the operation of the On Site Store(s). To achieve economies of scale, NAPA utilizes certain headquarter and corporate personnel to assist in the performance of this Agreement. As a result, each On Site Store location is charged certain corporate allocation expenses for various line items shown on Exhibit B ("Corporate Allocation Expenses") which are calculated as a percentage of total Product sales for each month. As such, there is not a supportive invoice for such expenses other than a monthly allocation rate statement. These Corporate Allocation Expenses allow NAPA to have fewer employees performing routine general administrative tasks such as paper work and filing at the On Site Store(s), allowing NAPA counter personnel to focus more attention on serving the On-Site Store operations, and maximizing on-site cost efficiency.

#### PRICING PLAN SUMMARY

NAPA Product Price	Billed to CUSTOMER at a 10% gross profit rate (The formula for NAPA Product Price for CUSTOMER is the Current NAPA Jobber Acquisition Cost divided by .90) This formula will achieve the gross profit rate set forth above. Example: Current NAPA Jobber Acquisition Cost is \$1.00. CUSTOMER's price would be $\$1.00/.90=\$1.11$
Non-NAPA Product Price	Billed to CUSTOMER at a 10% gross profit rate (The formula for Non-NAPA Product Price for CUSTOMER is NAPA's current product acquisition cost divided by .90) This formula will achieve the gross profit rate set forth above. Example: current product acquisition cost is \$1.00. CUSTOMER's price would be $\$1.00/.90=\$1.11$

Operational Expenses	Billed to CUSTOMER in accordance with Section 7(b) above.
Net Profit Target	10% net profit for the NAPA On Site Store(s) after Products and Operational Expenses are billed to CUSTOMER.

Both NAPA Product and Non-NAPA Product shall be set by NAPA to yield a gross profit of ten percent (10%). Operational Expenses will be charged to CUSTOMER in accordance with Section 7(b) above, with all such charges for Operational Expenses to be included in CUSTOMER's monthly billing statement. CUSTOMER will be billed at the end of each month for Operational Expenses on an "in arrears" basis.

CUSTOMER and NAPA mutually agree that CUSTOMER'S maximum annual payment obligation for all Products and Operational Expenses billed to CUSTOMER pursuant to this Section 7 shall be set at \$ \_\_\_\_\_ per annum; and CUSTOMER has encumbered such amount to cover this potential liability. The parties agree to mutually work together to adjust the amount if such amount must be increased during the term of the contract. **CUSTOMER INITIALS** \_\_\_\_\_

In addition, NAPA may use any sub-contractor for the procurement of "outside" services (i.e., those services not traditionally performed by NAPA), and CUSTOMER will be billed an additional charge for any such purchases so as to yield NAPA a ten percent (10%) gross profit on such purchases. CUSTOMER must provide pre-approval in writing of such outside service purchases. CUSTOMER is solely responsible for improper or inappropriate instructions by CUSTOMER's employees to NAPA regarding NAPA's purchases of nontraditional parts or services, unless CUSTOMER provided prior written notice to NAPA of parts or services that may not be procured by NAPA in relation to this Agreement.

**PRICING OPTION #2b (NOT-TO-EXCEED PRICING PROFILE 9074/25% MARGIN MODEL)**

**CUSTOMER INITIALS:** \_\_\_\_\_

The overall objective of CUSTOMER's pricing plan is for NAPA to provide Products in accordance with the agreed upon Pricing Plan Summary set forth below. By billing CUSTOMER for the Products, NAPA's On Site Store(s) will achieve its target ten percent (10%) net profit for the Agreement (the "Net Profit Target"). CUSTOMER's pricing plan is comprised of the following elements:

- (a) **Product Price.** The pricing of the Products to be supplied to CUSTOMER by NAPA pursuant to this Agreement shall be divided into: 1) "**NAPA**



**Product Price,”** which is the pricing of NAPA branded or NAPA cataloged supplier manufactured products; and 2) “**Non-NAPA Product Price,”** which is the pricing of products which have not been manufactured by NAPA suppliers or do not exist in NAPA’s proprietary catalog system but which have been acquired for CUSTOMER by NAPA pursuant to this Agreement. The pricing of NAPA Product and Non-NAPA Product shall be billed in accordance with the Pricing Plan Summary defined below.

- (b) **Operational Expenses.** Any and all costs and expenses associated with the operation of the On Site Store(s), including, but not limited to, vehicle gas and maintenance costs, salary and benefits payable to NAPA employees at the On Site Store(s), worker’s compensation benefits and insurance, unemployment insurance, personal property insurance for the On Site Store(s) and Inventory, any deductible for losses covered under the personal property, automobile liability, or general liability insurance policies of NAPA, all equipment supplied by NAPA, Corporate Allocation Expenses (as defined below), inventory investment expense, obsolescence expense, pension funding costs, accounting fees, general office expenses, and shared service expenses. An example of a profit and loss statement reflecting such costs and expenses is attached hereto as Exhibit B. CUSTOMER acknowledges and agrees that the costs and expenses reflected on the profit and loss statement set forth on Exhibit B are subject to change based on actual monthly costs, expenses or Corporate Allocation Expenses incurred relative to the operation of the On Site Store(s). To achieve economies of scale, NAPA utilizes certain headquarter and corporate personnel to assist in the performance of this Agreement. As a result, each On Site Store location is charged certain corporate allocation expenses for various line items shown on Exhibit B (“Corporate Allocation Expenses”) which are calculated as a percentage of total Product sales for each month. As such, there is not a supportive invoice for such expenses other than a monthly allocation rate statement. These Corporate Allocation Expenses allow NAPA to have fewer employees performing routine general administrative tasks such as paper work and filing at the On Site Store(s), allowing NAPA counter personnel to focus more attention on serving the On-Site Store operations, and maximizing on-site cost efficiency.

#### PRICING PLAN SUMMARY

NAPA Product Price	Billed to CUSTOMER on a “9074 NAPA Pricing Profile”
Non-NAPA Product Price	Billed to CUSTOMER at a 25% gross profit rate (The formula for Non-NAPA Product Price for CUSTOMER is NAPA’s current product acquisition cost divided by .75) This formula will achieve the gross profit

	rate set forth above. Example: current product acquisition cost is \$1.00. CUSTOMER's price would be \$1.00/.75=\$1.33
Operational Expenses	Paid entirely by NAPA
Net Profit Target	Amounts will be refunded or charged based on the failure or achievement of an overall 10% net profit for the previous month.

NAPA Product shall be billed to CUSTOMER based on a "9074 NAPA Pricing Profile" which has been provided to CUSTOMER in connection with this Agreement. Non-NAPA Product shall be billed by NAPA to yield a gross profit of twenty-five percent (25%). All Operational Expenses shall be borne by NAPA.

Sales at each On Site Store location will be reviewed after the first ninety (90) days of operation and on a month by month basis thereafter to ensure a ten percent (10%) net profit for NAPA. If monthly sales at each On Site Store, independently as opposed to in the aggregate, are producing more than a ten percent (10%) net profit for NAPA, NAPA will pay to CUSTOMER, via a refund check, the overage. Conversely, if NAPA's net profit for the preceding month is less than ten percent (10%), NAPA will bill CUSTOMER for the deficiency.

CUSTOMER and NAPA mutually agree that CUSTOMER'S maximum annual payment obligation for Products billed to CUSTOMER pursuant to this Section 7 shall be set at \$\_\_\_\_\_ per annum; and CUSTOMER has encumbered such amount to cover this potential liability. The parties agree to mutually work together to adjust the amount if such amount must be increased during the term of the contract.

**CUSTOMER INITIALS** \_\_\_\_\_

In addition, NAPA may use any sub-contractor for the procurement of "outside" services (i.e., those services not traditionally performed by NAPA), and CUSTOMER will be billed an additional charge for any such purchases so as to yield NAPA a twenty-five percent (25%) gross profit on such purchases. CUSTOMER must provide pre-approval in writing for such outside service purchases. CUSTOMER is solely responsible for improper or inappropriate instructions by CUSTOMER's employees to NAPA regarding NAPA's purchases of nontraditional parts or services, unless CUSTOMER provided prior written notice to NAPA of parts or services that may not be procured by NAPA in relation to this Agreement.

## **8. INSURANCE.**

(a) CUSTOMER shall maintain during the term of this Agreement workers' compensation insurance for its employees and general liability insurance covering its property. NAPA acknowledges that CUSTOMER may elect to self-insure such obligations.

(b) NAPA shall maintain during the term of this Agreement workers' compensation insurance coverage for its employees located at the On Site Store(s) in amounts required by law. In addition, NAPA shall maintain personal property insurance during the term of this Agreement in an amount sufficient to cover any loss or damage to the Inventory and any other personal property owned by NAPA that is located at the On Site Store(s).

9. **NO LIENS.** CUSTOMER warrants that it shall take no action, including but not limited to the granting of a security interest, or fail to take any action, which would operate or does operate in any way to encumber the Inventory of NAPA located in the On Site Store(s).

10. **PERSONNEL.** NAPA and CUSTOMER shall attempt in good faith to mutually agree upon the identity of the persons that will be selected to staff the On Site Store(s). In the event that CUSTOMER for any reason wishes to remove or replace any of the NAPA personnel in the On Site Store(s), the parties will attempt to resolve CUSTOMER's request by mutual agreement.

11. **WARRANTY/LIABILITY DISCLAIMER.** All Products supplied pursuant to this Agreement are subject to the terms of written warranties provided by the manufacturer of each Product, and NAPA shall use reasonable commercial efforts to assist the CUSTOMER in processing all warranty claims that the CUSTOMER may have against a manufacturer. The manufacturer's warranty will be the sole and exclusive remedy of the CUSTOMER in connection with any claims concerning the Products supplied to CUSTOMER pursuant to this Agreement. ALL OTHER WARRANTIES, BOTH EXPRESS AND IMPLIED, INCLUDING ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, ARE HEREBY EXCLUDED. Copies of the manufacturers' warranties are available to CUSTOMER upon request.

For suppliers (or categories of suppliers) of Non-NAPA Products that CUSTOMER instructs NAPA to utilize or consider for future purchases, NAPA is under no obligation to (and NAPA disclaims all liability in connection with) investigate product quality, management, ownership, reputation, certifications, qualifications, price competitiveness, or any other related characteristics of the products, individuals or entities at issue.

12. **TERMINATION FOR CAUSE.** This Agreement may be terminated immediately, unless otherwise stated in this Section 12, by either party for cause:

(a) In the event that the other party fails or refuses to pay any amounts due under this Agreement and such failure continues for ten (10) days;

(b) In the event that the other party fails or refuses to perform any other obligation required under this Agreement, and such failure or refusal continues for thirty

(30) days after written notice thereof; or

(c) In the event that the other party files any bankruptcy petition, has any bankruptcy petition filed against it, makes any assignment of its assets for the benefit of creditors, or admits in writing its inability to pay its debts as they become due.

**13. EFFECT OF TERMINATION.** Immediately upon termination, expiration, or non-renewal of this Agreement for any reason:

(a) All duties, responsibilities and other obligations of each party hereunder shall terminate, except for the payment of any amounts due and owing to NAPA at the time of termination, expiration, or non-renewal.

(b) Each party shall immediately return to the other party all equipment, software, books, records, tools and any other personal property owned by the other party that are in such party's possession. CUSTOMER shall allow NAPA full and unrestricted access to enter into the On Site Store(s) and immediately remove all equipment and other items of personal property owned by NAPA without being deemed guilty of trespass or any other violation of the law. All inventory records, sales history, sales analysis and all other information generated by NAPA under this Agreement will be returned to CUSTOMER.

Nothing contained in this Section shall be deemed a waiver of, or in any other manner impair or prejudice, any other legal rights that either party may have against the other party for any breach of this Agreement. The provisions and obligations of Sections 9, 11, 13, 14, 15, 16, and 22 shall survive the termination, expiration, or non-renewal of this Agreement for any reason.

**14. BUY-BACK OF INVENTORY.** Upon termination, expiration, or non-renewal of this Agreement, NAPA shall have the option to require CUSTOMER to purchase all non-NAPA Inventory owned by NAPA and located in each On Site Store at NAPA's On Site Store's current product acquisition cost, and CUSTOMER shall have the option to purchase all NAPA Inventory, owned by NAPA and located in each On Site Store at the Current NAPA Jobber Acquisition Cost. Upon CUSTOMER's request, NAPA shall provide CUSTOMER with a listing of all NAPA and non-NAPA Inventory owned by NAPA and located in the On Site Store(s).

**CUSTOMER INITIALS:** \_\_\_\_\_

**15. INDEMNIFICATION.** NAPA shall be responsible for and shall indemnify and hold CUSTOMER harmless from and against all damages, claims or demands that may, during the term of this Agreement, arise or be occasioned by the negligent or intentional acts of NAPA or NAPA's employees.

**16. NOTICES.** Whenever any notice, demand or request is required or permitted hereunder, such notice, demand or request shall be hand-delivered in person or

sent by overnight mail through a reputable service, or by certified mail, return receipt requested, to the addresses set forth below:

As to NAPA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Attn: \_\_\_\_\_

As to CUSTOMER: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Attn: \_\_\_\_\_

Each such notice shall be deemed delivered (i) on the date of receipt if delivered by hand or overnight courier service or (ii) on the date three (3) business days after depositing with the United States Postal Service if mailed by registered or certified mail. Either party may change its address specified for this notice by giving the other party at least ten (10) days written notice in accordance with this Section 16.

**17. FORCE MAJEURE / DAMAGE OF PREMISES.**

(a) Whenever performance by either party of any of their respective obligations (other than the obligation to make payment of money due hereunder) is substantially prevented by reason of any act of God, other industrial or transportation disturbance, fire, floods, riots, acts of enemies, national emergencies, pandemics, or by any other cause not within the reasonable control of such party and not occasioned by its negligence, then such performance shall be excused and the performance of such obligations under this Agreement shall be suspended for the duration of such prevention and for a reasonable time thereafter; provided that the foregoing in this Section 17 shall not apply to obligations relating to the payment of money.

(b) NAPA may terminate this Agreement immediately in the event that the CUSTOMER's premises are damaged by any casualty, or such portion of the premises is condemned by any legally constituted authority, such as will make the CUSTOMER's premises unusable for the On Site Store(s) in the reasonable judgment of NAPA.

**18. SUCCESSORS AND ASSIGNS.** The provisions of this Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective officers, directors, employees, successors and assigns. Notwithstanding the foregoing, the rights and obligations of either party to this Agreement may not be assigned without the prior written consent of the other party hereto, which consent shall not be unreasonably withheld.

19. **AMENDMENTS.** No amendment to this Agreement shall be binding on either party hereto unless such amendment is in writing and executed by both parties with the same formality as this Agreement is executed.

20. **NO WAIVER OF RIGHTS.** No failure of either party hereto to exercise any power given such party hereunder or to insist upon strict compliance by the other party to its obligations hereunder, and no custom or practice of the parties in variance with the terms hereof, shall constitute a waiver of either party's right to demand exact compliance with the terms hereof. Notwithstanding the same, only waivers made in writing shall be valid and enforceable.

21. **LIMITATIONS ON RIGHTS OF THIRD PARTIES.** All obligations of a party under this Agreement are imposed solely and exclusively for the benefit of the parties, and no other person shall, under any circumstances, be deemed to be a beneficiary of such obligations.

22. **LIMITATION OF LIABILITY.** WHILE NOT APPLICABLE TO BREACHES OF CONFIDENTIALITY PROVISIONS, THE PARTIES HEREBY DISCLAIM ANY CONSEQUENTIAL, INCIDENTAL, INDIRECT, EXEMPLARY, PUNITIVE, OR SPECIAL DAMAGES IN ANY WAY RELATED TO THIS AGREEMENT, THEIR OTHER BUSINESS RELATIONSHIPS, OR THE TRANSACTIONS CONTEMPLATED HEREIN.

23. **INDEPENDENT CONTRACTOR.** The parties hereto are independent contractors. Nothing in this Agreement shall create or shall be deemed to create any fiduciary relationship or the relationship of principal and agent, partnership, joint venturers or any other similar or representative relationship between the parties hereto.

24. **CHOICE OF LAW.** This Agreement shall be construed and interpreted under the laws of the State of \_\_\_\_\_.

25. **COUNTERPARTS.** This Agreement may be executed in one or more counterparts and each counterpart shall, for all purposes, be deemed an original, but all such counterparts shall together constitute but one and the same instrument.

26. **SECTION HEADINGS.** Section titles or captions contained herein are inserted only as a matter of convenience for reference and in no way define, limit, extend, or describe the scope hereof or the intent of any provision hereof.

27. **SEVERABILITY.** In the event any part of this Agreement shall be finally determined by a court of law to be illegal or unenforceable for any reason, then that illegal or unenforceable part shall be severed from the Agreement, and the remaining terms shall continue in full force and effect.

28. **ENTIRE AGREEMENT.** This Agreement constitutes the entire agreement of the parties hereto and no prior representation, inducement, promise or

agreement, oral or written, between the parties not embodied herein shall be of any force and effect.

**[Signatures Appear on Next Page]**

**IN WITNESS WHEREOF**, the parties hereto cause their hands and seals to be affixed by their duly-authorized representatives effective as of the date and year first above written.

GENUINE PARTS COMPANY

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_*[Name of Customer]*

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_



**EXHIBIT A**  
**ASSIGNMENT**

See attached.

## ASSIGNMENT

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, GENUINE PARTS COMPANY, a Georgia corporation (hereinafter "Assignor"), hereby assigns, transfers, sets over and delivers to [JOBBER], a \_\_\_\_\_ (hereinafter "Assignee"), all of Assignor's rights, obligations and interest, including any options to renew or extend the contract term, in those certain location(s) as set forth below, as governed by the Integrated Supply Agreement dated \_\_\_\_\_ by and between Genuine Parts Company and \_\_\_\_\_ [CUSTOMER] (the "Integrated Supply Agreement").

Location(s): \_\_\_\_\_

Assignee hereby accepts the assignment of the Integrated Supply Agreement, agrees to provide the services and perform all other obligations required to be performed by "NAPA" in said Integrated Supply Agreement at the times and in the manner set forth in said Integrated Supply Agreement, and shall be bound by all other terms, covenants and conditions of said Integrated Supply Agreement with regard to the location(s) set forth above, all with the same force and effect as if Assignee were originally named as "NAPA" therein.

[CUSTOMER] hereby consents to the above assignment of the Integrated Supply Agreement on the terms set forth herein and hereby agrees to release and discharge Assignor from any further obligation or liability under the Integrated Supply Agreement and to look solely to Assignee as the responsible party under the Integrated Supply Agreement for all liabilities or obligations arising from and after the effective date of this assignment.

The parties hereto agree that the assignment as set forth herein shall be effective as of 12:01 a.m. on \_\_\_\_\_.

[Signatures appear on following page]

**IN WITNESS WHEREOF**, the undersigned have set their hands this \_\_\_\_ day  
of \_\_\_\_, 20\_\_\_\_.

ASSIGNOR:

ASSIGNEE:

GENUINE PARTS COMPANY

\_\_\_\_ [JOBBER]

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Its: \_\_\_\_\_

Agreed and acknowledged:

\_\_\_\_ [CUSTOMER]

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

**EXHIBIT B**

**SAMPLE PROFIT AND LOSS STATEMENT**

See attached.

## Pricing Option 1: No Markup Goods Pricing/Management Fee (Example Only)

NAPA IBS Sample P&L	Management Fee Model			Item Description
Sourcwell	Monthly	Annual	% of Purchases	
<b>Customer Purchases</b>	<b>100,000</b>	<b>1,200,000</b>		<b>Parts Bill For Customer</b>
Cost of Goods to NAPA	100,000	1,200,000	100.00%	NAPA IBS Cost of Goods
NAPA Margin on Parts	0	0	0.00%	NAPA IBS Gross Margin (Point of Sale)
<b>GROSS MARGIN</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>	<b>NAPA IBS Gross Margin (Point of Sale)</b>
<b>Centralized Accounting/Admin Fees</b>	<b>990</b>	<b>11,880</b>	<b>0.99%</b>	<b>Fixed Expense</b> at .99% of purchases, Accounting & Data Processing Fee
<b>Payroll</b>				<b>These costs will vary based on scope, hours and responsibilities as required per each contract</b>
Manager/Counter Salaries	7,000	84,000	7.00%	Cost of Dedicated Parts Manager/Project Manager and any parts clerks for IBS Site
Delivery Driver Salaries	1,200	14,400	1.20%	Delivery Driver Pay - if applicable for a site there will be a charge in this category
Pension/401K	450	5,400	0.45%	<b>Fixed Expense</b> at .45% of customer monthly purchases
Insurance	750	9,000	0.75%	Mainly Group Insurance Premiums for on-site NAPA IBS staff
Workers Comp Insurance	100	1,200	0.10%	Insurance - General and Worker's Comp for on-site NAPA IBS staff
FICA	400	4,800	0.40%	Payroll Taxes for NAPA IBS On-Site Employees
<b>Total IBS Payroll</b>	<b>9,900</b>	<b>118,800</b>	<b>9.90%</b>	
<b>Miscellaneous Expenses</b>				
Delivery Truck Insurance	250	3,000	0.25%	Insurance Coverage for delivery trucks required per contract - if applicable
Delivery Maintenance/Gas	100	1,200	0.10%	Vehicle Repairs and Fuel for Delivery Vehicles required per contract - if applicable
Truck Payment	300	3,600	0.30%	Lease/Depreciation Payment for any Delivery Trucks required per contract - if applicable
Inventory Insurance	15	180	0.02%	Small insurance on our on-site inventory assets
Shelving/Equipment Depreciation	0	0	0.00%	Shelving needed for secure parts location - if customer requires us to add shelving, Cage, etc - if applicable
Store Expenses	150	1,800	0.15%	Misc. Store Expenses (Printer Ink, Paper, Barcode Labels etc.)
P-Card Card Fees	0	0	0.00%	Credit Card Processing Fees - only if agency uses a p-card to pay NAPA parts and or operating statements
Phone/Internet	400	4,800	0.40%	Phone and/or Internet Charges (if not provided from Customer)
TAMS Inventory Computer	1,000	12,000	1.00%	TAMS Computer & Equipment Lease/Depreciation Expense, Maint/Support Fee's & Tams Misc. Expenses
Taxes		0	0.00%	Sales and Use Taxes, Personal Property Tax - only if applicable
Freight & Postage	300	3,600	0.30%	Estimated Freight Charges Incurred by this Operation to procure special order parts
Training	30	360	0.03%	Training Materials for NAPA IBS (including Hazmat)
<b>Total IBS Misc Expense</b>	<b>2,545</b>	<b>30,540</b>	<b>2.55%</b>	
<b>TOTAL EXPENSES</b>	<b>13,435</b>	<b>161,220</b>	<b>13.44%</b>	<b>Total Monthly Expenses to Operate this IBS</b>
Gross Margin Less Expenses	-13,435	-161,220	-13.44%	
<b>ROI for NAPA</b>	<b>10,000</b>	<b>120,000</b>	<b>10.00%</b>	<b>NAPA's contracted return on investment (included in above lines)</b>
<b>Sample Billing Summary</b>				
Customer Purchases	100,000	1,200,000		Parts Bill For Customer - all parts at cost
Management Fee	10,000	120,000	10.00%	NAPA's ROI
Expense Bill	13,435	161,220	13.44%	Expense Reimbursement by Customer
Adjustment to Customer	0	0	0.00%	Margin reimbursement to Customer after all expenses and NAPA ROI are realized
<b>Total Cost of Operation</b>	<b>123,435</b>	<b>1,481,220</b>		

\*It is important to note that these sample operating statements are issued to inform new, existing and potential Sourcwell members of the flexibility of the NAPA IBS program.

\*\* These sample operating statements reflect NAPA IBS's typical expense structure but all categories are subject to change based on scope, hours and responsibilities as required per each contract.

## Pricing Option 2a: Not-to-Exceed 10% Margin Model (Example Only)

NAPA IBS Sample P&L	10% Margin Model			Item Description
Sourcwell	Monthly	Annual	% of Purchases	
<b>Customer Purchases</b>	<b>111,111</b>	<b>1,333,332</b>		<b>Parts Bill For Customer</b>
Cost of Goods to NAPA	100,000	1,200,000	90.00%	NAPA IBS Cost of Goods
NAPA Margin on Parts	11,111	133,332	10.00%	NAPA IBS Gross Margin (Point of Sale)
<b>GROSS MARGIN</b>	<b>11,111</b>	<b>133,332</b>	<b>10.00%</b>	<b>NAPA IBS Gross Margin (Point of Sale)</b>
<b>Centralized Accounting/Admin Fees</b>	<b>1,100</b>	<b>13,200</b>	<b>0.99%</b>	<b>Fixed Expense</b> at .99% of purchases, Accounting & Data Processing Fee
<b>Payroll</b>				<b>These costs will vary based on scope, hours and responsibilities as required per each contract</b>
Manager/Counter Salaries	7,000	84,000	6.30%	Cost of Dedicated Parts Manager/Project Manager and any parts clerks for IBS Site
Delivery Driver Salaries	1,200	14,400	1.08%	Delivery Driver Pay - if applicable for a site there will be a charge in this category
Pension/401K	500	6,000	0.45%	<b>Fixed Expense</b> at .45% of customer monthly purchases
Insurance	750	9,000	0.68%	Mainly Group Insurance Premiums for on-site NAPA IBS staff
Workers Comp Insurance	100	1,200	0.09%	Insurance - General and Worker's Comp for on-site NAPA IBS staff
FICA	400	4,800	0.36%	Payroll Taxes for NAPA IBS On-Site Employees
<b>Total IBS Payroll</b>	<b>9,950</b>	<b>119,400</b>	<b>8.96%</b>	
<b>Miscellaneous Expenses</b>				
Delivery Truck Insurance	250	3,000	0.23%	Insurance Coverage for delivery trucks required per contract - if applicable
Delivery Maintenance/Gas	100	1,200	0.09%	Vehicle Repairs and Fuel for Delivery Vehicles required per contract - if applicable
Truck Payment	300	3,600	0.27%	Lease/Depreciation Payment for any Delivery Trucks required per contract - if applicable
Inventory Insurance	15	180	0.01%	Small insurance on our on-site inventory assets
Shelving/Equipment Depreciation	0	0	0.00%	Shelving needed for secure parts location - if customer requires us to add shelving, Cage, etc - if applicable
Store Expenses	150	1,800	0.14%	Misc. Store Expenses (Printer Ink, Paper, Barcode Labels etc.)
P-Card Card Fees	0	0	0.00%	Credit Card Processing Fees - only if agency uses a p-card to pay NAPA parts and or operating statements
Phone/Internet	400	4,800	0.36%	Phone and/or Internet Charges (if not provided from Customer)
TAMS Inventory Computer	1,000	12,000	0.90%	TAMS Computer & Equipment Lease/Depreciation Expense, Maint/Support Fee's & Tams Misc. Expenses
Taxes	0	0	0.00%	Sales and Use Taxes, Personal Property Tax - only if applicable
Freight & Postage	300	3,600	0.27%	Estimated Freight Charges Incurred by this Operation to procure special order parts
Training	30	360	0.03%	Training Materials for NAPA IBS (including Hazmat)
<b>Total IBS Misc Expense</b>	<b>2,545</b>	<b>30,540</b>	<b>2.29%</b>	
<b>TOTAL EXPENSES</b>	<b>13,595</b>	<b>163,140</b>	<b>12.24%</b>	<b>Total Monthly Expenses to Operate this IBS</b>
Gross Margin Less Expenses	-2,484	-29,808	-2.24%	
<b>ROI for NAPA</b>	<b>11,110</b>	<b>133,320</b>	<b>10.00%</b>	<b>NAPA's contracted return on investment</b>
<b>Sample Billing Summary</b>				
Customer Purchases	111,111	1,333,332		Parts Bill For Customer including 10% margin
Management Fee	0	0	0.00%	
Expense Bill	16,079	192,948	14.47%	Expense Reimbursement by Customer
Adjustment to Customer	0	0	0.00%	Margin reimbursement to Customer after all expenses and NAPA ROI are realized
<b>Total Cost of Operation</b>	<b>127,190</b>	<b>1,526,280</b>		

\*It is important to note that these sample operating statements are issued to inform new, existing and potential Sourcwell members of the flexibility of the NAPA IBS program.

\*\* These sample operating statements reflect NAPA IBS's typical expense structure but all categories are subject to change based on scope, hours and responsibilities as required per each contract.

## Pricing Option 2b: Not-to-Exceed Pricing Profile 9074/25% Margin Model (Example Only)

NAPA IBS Sample P&L	Pricing Profile 9074/25% Margin Model			Item Description
Sourcewell	Monthly	Annual	% of Purchases	
<b>Customer Purchases</b>	<b>133,333</b>	<b>1,599,996</b>		<b>Parts Bill For Customer</b>
Cost of Goods to NAPA	100,000	1,200,000	75.00%	<b>NAPA IBS Cost of Goods</b>
NAPA Margin on Parts	33,333	399,996	25.00%	<b>NAPA IBS Gross Margin (Point of Sale) - estimated average margin based on product blend</b>
<b>GROSS MARGIN</b>	<b>33,333</b>	<b>399,996</b>	<b>25.00%</b>	<b>NAPA IBS Gross Margin (Point of Sale)</b>
<b>Centralized Accounting/Admin Fees</b>	<b>1,320</b>	<b>15,840</b>	<b>0.99%</b>	<b>Fixed Expense at .99% of purchases, Accounting &amp; Data Processing Fee</b>
<b>Payroll</b>				<b>These costs will vary based on scope, hours and responsibilities as required per each contract</b>
Manager/Counter Salaries	7,000	84,000	5.25%	Cost of Dedicated Parts Manager/Project Manager and any parts clerks for IBS Site
Delivery Driver Salaries	1,200	14,400	0.90%	Delivery Driver Pay - if applicable for a site there will be a charge in this category
Pension/401K	600	7,200	0.45%	<b>Fixed Expense</b> at .45% of customer monthly purchases
Insurance	750	9,000	0.56%	Mainly Group Insurance Premiums for on-site NAPA IBS staff
Workers Comp Insurance	100	1,200	0.08%	Insurance - General and Worker's Comp for on-site NAPA IBS staff
FICA	400	4,800	0.30%	Payroll Taxes for NAPA IBS On-Site Employees
<b>Total IBS Payroll</b>	<b>10,050</b>	<b>120,600</b>	<b>7.54%</b>	
<b>Miscellaneous Expenses</b>				
Delivery Truck Insurance	250	3,000	0.19%	Insurance Coverage for delivery trucks required per contract - if applicable
Delivery Maintenance/Gas	100	1,200	0.08%	Vehicle Repairs and Fuel for Delivery Vehicles required per contract - if applicable
Truck Payment	300	3,600	0.23%	Lease/Depreciation Payment for any Delivery Trucks required per contract - if applicable
Inventory Insurance	15	180	0.01%	Small insurance on our on-site inventory assets
Shelving/Equipment Depreciation	0	0	0.00%	Shelving needed for secure parts location - if customer requires us to add shelving. Cage, etc - if applicable
Store Expenses	150	1,800	0.11%	Misc. Store Expenses (Printer Ink, Paper, Barcode Labels etc.)
P-Card Card Fees	0	0	0.00%	Credit Card Processing Fees - only if agency uses a p-card to pay NAPA parts and or operating statements
Phone/Internet	400	4,800	0.30%	Phone and/or Internet Charges (if not provided from Customer)
TAMS Inventory Computer	1,000	12,000	0.75%	TAMS Computer & Equipment Lease/Depreciation Expense, Maint./Support Fee's & Tams Misc. Expenses
Taxes	0	0	0.00%	Sales and Use Taxes, Personal Property Tax - only if applicable
Freight & Postage	300	3,600	0.23%	Estimated Freight Charges Incurred by this Operation to procure special order parts
Training	30	360	0.02%	Training Materials for NAPA IBS (including Hazmat)
<b>Total IBS Misc Expense</b>	<b>2,545</b>	<b>30,540</b>	<b>1.91%</b>	
<b>TOTAL EXPENSES</b>	<b>13,915</b>	<b>166,980</b>	<b>10.44%</b>	<b>Total Monthly Expenses to Operate this IBS</b>
Gross Margin Less Expenses	19,418	233,016	14.56%	
<b>ROI for NAPA</b>	<b>13,333</b>	<b>160,000</b>	<b>10.00%</b>	<b>NAPA's contracted return on investment</b>
<b>Sample Billing Summary</b>				
Customer Purchases	133,333	1,599,996		Parts Bill For Customer including blended margin
Management Fee	0	0	0.00%	
Expense Bill	0	0	0.00%	Expense Reimbursement by Customer
Adjustment to Customer	-6,085	-73,016	-4.56%	Margin reimbursement to Customer after all expenses and NAPA ROI are realized
<b>Total Cost of Operation</b>	<b>127,248</b>	<b>1,526,980</b>		

\*It is important to note that these sample operating statements are issued to inform new, existing and potential Sourcewell members of the flexibility of the NAPA IBS program.

\*\* These sample operating statements reflect NAPA IBS's typical expense structure but all categories are subject to change based on scope, hours and responsibilities as required per each contract.

**EXHIBIT C**  
**SOURCEWELL CONTRACT**

See attached.





Staff Report

---

**File #:** 21-0681

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Department of Water and Power

**SUBJECT:**  
Award of contract for on-call essential machine & pump services for the Department of Water and Power.

**EXECUTIVE SUMMARY:**

The City issued Request for Proposals 21-055RH for on-call essential machine and pump services for the Department of Water and Power to ensure reliability and redundancy for the utility's 24-hour operation.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council award Request for Proposals 21-055RH for Essential Machining & Pump Services to Bender CCP, Inc. of Vernon, CA.
- b. City Council authorize the City Manager, or his designee, to execute a Maintenance/General Services Agreement with Bender CCP, Inc. of Vernon, CA for \$300,000 for the initial contract term ending June 30, 2023, with two optional two-year renewals.
- c. City Council authorize the City Manager, or his designee, to negotiate and execute non-substantive extensions, change orders, and amendments up to \$30,000 each or 10% of the original contract amount as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).
- d. City Council authorize the Purchasing Manager to issue purchase orders to Bender CCP Inc. of Vernon, CA for \$300,000 per year for an initial contract term ending June 30, 2023, with two optional two-year renewals.

- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

**BACKGROUND & HISTORY:**

The Department of Water and Power operates and maintains four water treatment plants, twenty-one active well sites, eighteen potable water booster stations, eighteen reservoirs, three water reclamation facilities, fourteen sewer lift stations, and three reclaimed water booster stations with over 200 pumps and gearboxes ranging in many different sizes that are essential to ensure the supply of potable water, reclaimed water and pumping and treatment of raw sewage. Despite having a robust preventative maintenance program, gearboxes and pumps fail due to harsh environments and continuous operations. Therefore, immediate attention is required to address gearboxes and pumps that fail to provide constant, uninterrupted services.

**ANALYSIS:**

On March 3, 2021, the City issued a Request for Proposals (RFP) 21-055RH for on-call essential machine & pump services for the Department of Water and Power (DWP) to prospective firms through the City's PlanetBids portal. The RFP was advertised according to Public Contract Code formal bidding procedures and the Corona Municipal Code (CMC) [3.08.110](#) non-public projects formal bidding procedure requirements. The City received two (2) proposals by the submission date of April 5, 2021.

The scope of work consists of:

- On-call on-site or off-site Machining & Pump Repair Services for DWP

**Evaluation Criteria**

The proposal evaluations were based on the following:

1. Qualifications of the Firm (20 points): strength and stability of the firm; firm demonstrated an overall knowledge of the scope of work required and the availability of adequate staff to perform the scope of work.
2. Qualifications and experience of Personnel (20 points): qualifications, education, technical experience and competence of staff, project appropriate team organization, geographic location of the firm, experience and qualifications of team members identifying critical areas of expertise.
3. Completeness and Timeliness of Response (10 points): completeness of response in accordance with RFP instructions that the proposer has not taken exceptions to or deviations from the RFP requirements; Inclusion of required licenses and certifications of the firm and key personnel performing the project. It also included depth of thoroughness of Proposer's understanding of the Project and the City's needs, understanding of the project potential issues and challenges, quality and depth of work plan, firm's logic for the Project's organization with appropriate resources to perform the scope of work.

4. Competitive Cost and Price (25 points): the appropriate number of hours budgeted to the Project tasks and reasonableness of the respondent's rates and competitiveness of quoted firm-fixed prices with other proposals received; adequacy of the data supporting figures quotes; basis on which prices are quoted.
5. Project Plan and Completion (25 points) Approach and methodology; Data requirements needed from the City and how the data would be submitted; Identification of activities required to complete tasks; Schedule for project completion

Staff performed evaluations of the proposals from both firms. The evaluations were based on the presented qualifications, technician qualifications, understanding and approach of the City's work plan, and value-based hourly rates and fees to perform the work required. The final evaluation scores were very close. Although the firms pricing structures had slight differences, their technician's qualifications ranked very close to each other. The table below shows the final rank for each firm:

<b>Firm</b>	<b>Score</b>	<b>Ranking</b>
Bender CCP, Inc.	74	1
Deemed nonresponsive:		
Power Brothers Machine	70	2

Staff intended to award the RFP to both companies; however, after a thorough document review by the Purchasing Division, Power Brothers Machine was deemed nonresponsive. They could not meet the City's insurance requirements as stated in their proposal documents. Therefore, staff recommends that the City Council award the RFP in the amount of \$300,000 to Bender CCP Inc. of Vernon, CA. Additionally, all licenses have been reviewed and verified by City staff.

#### **FINANCIAL IMPACT:**

Funding for the recommended action is included in the Fiscal Year 2022 Water, Reclaimed Water, and Water Reclamation Operating Budgets. In addition, funding in future fiscal years will be recommended through the budget process.

#### **ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Action (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination is exempt from CEQA. This action involves repairs/rehabilitation to existing infrastructure to maintain public health and safety and therefore is exempt from the requirements of CEQA. Therefore, no environmental analysis is required.

**PREPARED BY:** AFTAB HUSSAIN, MAINTENANCE MANAGER

---

**File #:** 21-0681

---

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1: RFP 21-055RH
2. Exhibit 2: RFP 21-055RH Addenda
3. Exhibit 3: RFP 21-055RH Bid Summary
4. Exhibit 4: Bender CCP, Inc. MGSA



successful consultant, copies of which are on file and will be made available to any interested party upon request from the City or online at <http://www.dir.ca.gov/dlsr>. A copy of these rates shall be posted by the successful consultant at the job site.

Pursuant to SB 854, which amended the Prevailing Wage Laws, certain categories of services are subject to compliance monitoring and enforcement by the DIR. Beginning March 1, 2015, with very limited exceptions no consultant or subconsultant may be listed on a proposal for these contracts unless registered with the DIR pursuant to Labor Code section 1725. 5. Beginning April 1, 2015, no consultant or subconsultant may be awarded a contract unless registered with the DIR pursuant to Labor Code section 1725. 5. The DIR registration number for each consultant and subconsultant must be identified on the consultant's proposal - failure to identify this number could result in the proposal being rejected as non-responsive. It is each Consultant's responsibility to ensure that they have fully complied with SB 854. The City will report all necessary contracts to the DIR as required by the Prevailing Wage Laws.

The Services required under this RFP will be performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and Consultant shall comply with the provisions of Section 1777. 5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Consultant employs workmen in an apprenticeable craft or trade.

Issuance of this RFP and/or receipt of proposals does not commit City to award a contract.

Signed,

Rich Hogate  
Purchasing Specialist Contractor for  
City of Corona | Purchasing Division |  
Administrative Services Department  
400 S. Vicentia Ave. , Suite 320 | Corona, CA 92882  
Phone: 951 736-2369 | Email: [Richard.Hogate@coronaca.gov](mailto:Richard.Hogate@coronaca.gov)  
Website: [www.coronca.gov](http://www.coronca.gov)



March 3, 2021

**SUBJECT:                    REQUEST FOR PROPOSALS (RFP) 21-055RH**

**SECTION I**

**INVITATION**

The City of Corona Public Works Department of Water & Power (City) invites proposals from qualified firms for:

**ESSENTIAL MACHINING AND PUMP REPAIR SERVICES FOR DWP**

Please read this entire RFP package and include all requested information and forms in your proposal. Proposals must be signed by an authorized agent of the company submitting a proposal to be considered responsive.

**Tentative RFP Schedule**  
**(Subject to change at City's discretion)**

1. Issue RFP.....March 3, 2021
2. Advertise in Local Newspaper.....March 3, 2021
3. Written Questions from Consultants Due.....March 10, 2021 @ 11:30 A.M.
4. Responses from City Due.....March 24, 2021
5. Proposals Due (Date & Time).....March 31, 2021 @ 10:00 A.M.
6. RFP Evaluation Completed.....April 14, 2021
7. Tentative Consultant Selection.....April 14, 2021
8. Request to Council.....April 14, 2021
9. Council Action.....May 19, 2021
10. Notice to Proceed.....June 16, 2021

**Table of Contents**

Section I	Invitation, Tentative Schedule, Table of Contents
Section II	RFP Instructions
Section III	Evaluation Criteria
Section IV	Scope of Work
Section V	Proposal Content and Forms
Section VI	Price Form
Section VII	Form of Agreement Sample

## **SECTION II.**

### **RFP INSTRUCTIONS**

#### **A. Pre-Proposal Meeting**

Not Applicable

#### **B. Examination of Proposal Documents**

1. By submitting a proposal, consultants represent they have thoroughly examined and become familiar with the work required under this RFP and are capable of performing quality work to achieve the City's objectives.
2. The City reserves the right to remove from its mailing list for future RFPs, for an undetermined period of time, the name of any consultant for failure to accept a contract, failure to respond to three (3) consecutive RFPs and/or unsatisfactory performance. Please note that submitting a "No Offer" letter is considered a response.
3. Prior to submitting a proposal, consultant must fully inform himself of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at consultant's own risk and cannot secure relief on the plea of error.

#### **C. Addenda**

Substantive City changes to the requirements will be made by written addendum to this RFP. Any written addenda issued pertaining to this RFP shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of the Addenda will be furnished through the City's electronic bidding system, PlanetBids, and to all registered vendors receiving this RFP. Bidders are responsible for ensuring that they have received any and all Addenda. To this end, each consultant should contact the City's Purchasing Division to verify that he or she has received all Addenda issued, if any, prior to the due date. Consultants shall acknowledge receipt of all Addenda in Section VI. "Price Form" of this RFP. The City shall not be bound to any modifications to or deviations from the requirements set forth in this RFP as the result of oral instruction.

#### **D. Clarifications**

##### **1. Examination of Documents**

Should a consultant require clarifications to this RFP, consultant shall notify the City in writing in accordance with Section D.2 below. Should it be found that the point in question is not clearly and fully set forth in the RFP, the City shall issue a written addendum clarifying the matter which shall be sent to all known recipients of this RFP and through the City's electronic bidding system, PlanetBids.



## **2. Submitting Requests**

All questions, clarifications or comments shall be submitted through the City's electronic bidding system:

<http://www.planetbids.com/portal/portal.cfm?CompanyID=39497>

using the Questions & Answers tab. Questions must be submitted **no later than 11:30 A.M., March 13, 2021.**

## **3. City Responses**

- a. Responses from the City will be communicated in writing to all known recipients of this RFP by way of addendum via the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the proposal Due Date and Time. It is the sole responsibility of consultants to ensure they have received all addenda prior to submitting a proposal.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the proposal due date and time, the proposal due date will be extended.

## **E. Submission of Proposals**

### **1. Date and Time**

All proposals are to be submitted to the City's electronic bidding system, PlanetBids, no later than:

**March 31, 2021 @ 10:00 A.M.**

Proposals received after that date and time will be rejected by the City as non-responsive (NO EXCEPTIONS).

### **2. Electronic Submission**

Proposals shall be submitted using the City's PlanetBids Vendor Portal. It is the Consultant's responsibility to allow sufficient time to complete and submit their proposal, including all required documentation required by this RFP, prior to the Proposals Due deadline.

Proposals may not be delivered in person or by other delivery methods. It is the sole responsibility of consultants to ensure that their proposals are received at the time and date indicated in the RFP.

### **3. Acceptance of Proposals**

- a. The City reserves the right to accept or reject any and all proposals, or any item or part thereof, or to waive any informalities or irregularities in proposals received.
- b. The City reserves the right to withdraw this RFP at any time without prior notice, and the City makes no representations that any contract will be awarded to any consultant responding to this RFP.
- c. The City reserves the right to postpone proposal opening for its own convenience.

### **F. Proposal Withdrawal**

Prior to the proposal opening, a proposal may be withdrawn by the consultant only by means of a written request signed by the consultant or its properly authorized representative. Such request must be received through Planet Bids. After that time, consultants may not withdraw their proposals for a period of ninety (90) days from the Proposal Submittal Deadline. At no time may the successful consultant(s) withdraw their proposal(s).

### **G. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the consultant in:

1. Preparing its proposal in response to this RFP;
2. Submitting the proposal to City;
3. Negotiating with City any matter related to the proposal; or any other expenses incurred by the consultant prior to date of award, if any, of the Agreement.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by consultant in the preparation of its proposal. Consultant shall not include any such expenses as part of its proposal.

### **H. Contract Award**

Issuance of this RFP and receipt of proposals does not commit the City to award an Agreement. The City reserves the right to postpone proposal opening for its own convenience, to accept or reject any or all proposals received in response to this RFP, to negotiate with other than the selected consultant(s) should negotiations with the selected consultant(s) be terminated, to negotiate with more than one consultant simultaneously, or to cancel all or part of this RFP.

### **I. Contract Term**

The initial contract term will be for the initial period of on or about May 19, 2021 through June 30, 2022.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms.

- 1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.
- 2) The second optional extension will be from July 1, 2024 through June 30, 2026.

**Contract Renewal:** The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers” for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

**J. Acceptance of Order**

The successful consultant(s) will be required to accept a Purchase Order and execute a written Agreement (see Section VII, Form of Agreement) in accordance with and including as a part thereof the published notice of Request for Proposals and this Request for Proposals, including all requirements, conditions and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement.

**K. Vendor Performance**

It is the intent of the City to create a long-term working partnership with the consultant. The City’s representative will be completing a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form can be reviewed in Section V. This type of form will be the basis for periodic assessments by the City to establish contract performance metrics.

**L. City of Corona Business License**

The successful consultant(s) and any sub-consultants are required to obtain a City of Corona Business License prior to award of Contract, and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a proposal, and Business Licenses are not required for materials or equipment shipped by U.S. mail or common carrier.

Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City’s website: <https://www.coronaca.gov/government/departments-divisions/finance/business-license-info>.

**M. Prevailing Wage**

Refer to Section VII, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.

**N. Special Provisions for Services**

1. Accessibility. Consultant shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. Consultant shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City of Corona as provided by law in this contract, the City of Corona shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the contractor hereunder.
3. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. The consultant shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to the consultant for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
4. Contract Incorporation. This contract embodies the entire contract between the City and the consultant. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the RFP solicitation, all addenda, all of consultant's successful submittal, supplemental agreements, change orders, performance bond(s), and any and all written agreements which alter, amend or extend the contract.
5. Rejection of Work. Consultant agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.

**O. Public Records**

Responses (proposals) to this Request for Proposal (RFP) and the documents constituting any contract entered into thereafter become the exclusive property of the City of Corona and shall be subject to the California Public Records Act (Government Code Section 6250 et seq.). The City of Corona's use and disclosure of its records are governed by this Act.

Those elements in each proposal which proposer considers to be trade secrets, as that term is defined in Civil Code Section 3426.1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or "PROPRIETARY" by proposer. The City of Corona will use its best efforts to inform proposer of any request for disclosure of any such document. The City of Corona shall not in any way be liable or responsible for the disclosure of any such records including, without

limitation those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information the proposer considers exempt from disclosure, the City of Corona will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City of Corona is required to defend an action arising out of a Public Records Act request for any of the contents of a proposer's proposal marked "Confidential", "Proprietary", or "Trade Secret", proposer shall defend and indemnify the City of Corona from all liability, damages, costs, and expense, including attorneys' fees, in any action or proceeding arising under the Public Records Act.

To ensure confidentiality, proposers are instructed to enter all "Confidential", "Proprietary," or "Trade Secret" data by posting it on Planet Bids with your proposal documents. Because the proposal documents are available for review by any person after award of a contract resulting from an RFP, the City of Corona shall not in any way be held responsible for disclosure of any "Confidential," Proprietary," or "Trade Secret" documents.

**P. Negative History**

Consultant must include in its Proposal a complete disclosure of any alleged significant prior or on-going contract failures, any civil or criminal litigation or investigation pending which involves the firm or in which the firm has been judged guilty or liable within the last five (5) years.

If there is no negative history to disclose the firm must affirmatively state in its Proposal there is no negative history to report.

Failure to comply with the terms of this provision may disqualify any proposal. The City reserves the right to reject any proposal based upon the firm's prior documented history with the City or with any other party which documents, without limitation, unsatisfactory performance, adversarial or contentious demeanor, significant failures to meet contract milestones or other contractual failures.

### **SECTION III.**

#### **EVALUATION AND AWARD**

The City is soliciting consultants who have established knowledge and expertise in all aspects of the services requested in this RFP.

1. Have a minimum of three (3) similar projects within the last three (3) years providing the same or similar services requested in this RFP.
  - a. Provide reference(s) of agencies you have contracted with, providing the same or similar services.
2. Have sufficient staff and/or sub-consultants available with experience in the disciplines required for this service.
3. Have the administrative and fiscal capability to provide and manage the proposed services.

#### **A. EVALUATION CRITERIA**

Selection of the successful proposal will be based upon submission of proposals meeting the selection criteria. Proposals determined to not meet one or more material RFP requirements may be excluded. The minimum selection criteria will include:

##### **1. Qualifications of Firm – 20 pts**

Strength, stability, experience and technical competence of the firm and sub-consultants (if any) – the City reserves the right to request specific sub-consultants for certain portions of the project; Logic of project organization; Adequacy of labor and resource committed to the project.

##### **2. Qualifications and Experience of Personnel – 20 pts**

Qualifications, education, and experience of project staff; Key Personnel's level of involvement in performing related work. Experience in providing services similar to those requested herein; Experience working with public agencies; Client references.

##### **3. Completeness and Timeliness of Response – 10 pts**

Completeness of response in accordance with RFP instructions; Has not taken exceptions to or deviations from the RFP requirements; Inclusion of required licenses and certifications of firm and key personnel performing the project.

##### **4. Competitive Cost and Price – 25 pts**

Reasonableness of the individual firm-fixed prices and/or hourly rates, and competitiveness of quoted firm-fixed prices with other proposals received; adequacy of the data in support of figures quotes; basis on which prices are quoted.

**5. Project Plan and Completion – 25 pts**

Approach and methodology; Data requirements needed from the City and how the data would be submitted; Identification of activities required to complete tasks; Schedule for project completion.

Consultant must include in his or her proposal a complete disclosure of any alleged significant prior or ongoing contract failures, any civil or criminal litigation or investigation pending which involves the consultant or in which the consultant has been judged guilty or liable. Failure to comply with the terms of this provision may disqualify your Proposals. The City reserves the right to reject any Proposals based upon the consultant's prior history with the City or with any other party which documents, without limitation, unsatisfactory performance, adversarial or contentious demeanor, significant failure(s) to meet contract milestones or other contractual failures.

**B. EVALUATION PROCEDURE**

The City's evaluation committee will evaluate all proposals received in accordance with the above criteria. During the evaluation period, the City may do any or all of the following:

1. generate a "short list" and conduct interviews with the top candidates;
2. conduct on-site visits and/or tours of the candidates' places of business;
3. conduct negotiations with the most qualified candidate(s).

Consultants should be aware, however, that award may be made without consultant visits, interviews, or further discussions or negotiations.

**C. AWARD**

On the basis of evaluation criteria so stated in the Request for Proposal and all information developed in the selection process to this point, the City will select firms whose professional qualifications and proposed services are deemed to meet the requirements of the RFP.

Depending on the dollar amounts of the proposals received, City staff will either select consultant(s) best meeting the above-specified criteria or submit a recommendation to City Council for consideration and selection of the proposal(s) evaluated by staff to be the most qualified.

The City anticipates making final selections and awards on or about March 3, 2021.

In addition, negotiations may or may not be conducted with consultants; therefore, the proposal submitted should contain your most favorable terms and conditions, since the selection and award may be made without discussion with any consultant.

## **SECTION IV.**

### **SCOPE OF WORK**

#### **Background and Purpose:**

The City of Corona (City) is an incorporated city, approximately 45 square miles in size, located in western Riverside County at the intersection of State Route 91 and Interstate 15. The City's population is over 160,000. The City is a full-service city, providing police, fire, water, sewer, and reclaimed water to its citizens, and providing electric service.

The City of Corona DWP Maintenance division requires a very well-rounded machine shop to perform all types of repairs and custom metal work. Due to the nature of continuous services, when equipment breaks down vendor must be able to have the equipment repaired, back in-service in timely manner to continue providing 24-hour services.

City of Corona DWP has a requirement for a reliable shop that can handle requests for on-call custom fabrication, repairs and rebuilding of pumps (centrifugal, rotary lobe, positive displacement, piston, screw ,progressive cavity, diaphragm, and hydraulic), thermal spray, machine and grind shafts, repair bearing housings, rebuild valves, certified welding, restore and refurbish products, and certify custom pressure parts.

These services must be provided by a shop that conforms to ISO 9001:2015 by providing a Quality Maintenance Management Systems or equivalent. Compliance in machining, grinding, balancing, overhauls, repairs, or restoration of large-scale industrial pumps, valves, piping, and related process flow equipment, conforming to ISO 9001:2015 and shop Quality Maintenance Management System standards.

The shop must have a Quality Control Program with no service complaints from any municipalities and must be able to provide on call services on emergency basis outside of regular work hours 24 hours, 7 days a week, 365 days per year.

#### **Qualifications of Consultant:**

Safety at the Project site during performance of the work is of paramount concern to the City. Accordingly, Contractors must not have committed any serious violations within the last two (2) years or any willful violations within the last five (5) years of federal or state OSHA regulations.

Contractors must identify the number of OSHA violations on the CONTRACTOR'S INDUSTRIAL SAFETY RECORD form. Any serious or willful violation falling within the timeframes noted above may render a proposal as non-responsive. We strongly encourage full disclosure, since failure to identify all violations on the CONTRACTOR'S INDUSTRIAL SAFETY RECORD form may result in rejection of the proposal as non-responsive or the Contractor non-responsible following a hearing.

A citation properly appealed through OSHA is not considered to be a violation until the matter is closed and considered final by OSHA. The City still expects this information to be disclosed by the Contractor with an explanation and documentation showing that the matter is properly under



appeal with OSHA and not considered closed or final. Failure to be forthcoming with this information may result in rejection of the proposal as non-responsive. Notwithstanding the preceding, the City may waive this criterion in its sole and absolute discretion.

The consultant shall have experience in water/wastewater distribution systems. The consultant must have the necessary equipment and technology to evaluate pump equipment conditions to analyze and evaluate the data. Consultant shall have the ability to identify, recommend and provide cost estimates for the repair or replacement of all defective equipment. The consultant shall have extensive knowledge of pump distribution systems.

## **SECTION V.**

### **PROPOSAL CONTENT AND FORMS**

#### **A. PRESENTATION**

Proposals should not include any unnecessarily elaborate or promotional material. Information should be presented in the order in which it is requested. Lengthy narrative is discouraged, and presentations should be brief and concise.

##### **1. Letter of Transmittal**

A Letter of Transmittal shall be included with the proposal, addressed to Scott Briggs, and must, at a minimum, contain the following:

- a. Identification of consultant, including name, address and telephone number;
- b. Proposed working relationship between consultant and subcontractors, if applicable;
- c. Acknowledgment of receipt of all RFP addenda, if any;
- d. Name, title, address, telephone number and email address of consultant's contact person during period of proposal evaluation;
- e. A statement to the effect that the proposal shall remain valid for a period of not less than 90 days from the date of submittal; and
- f. Signature of a person authorized to bind consultant to the terms of the proposal.

Following the letter of transmittal, proposals should address the following items in turn:

##### **2. Technical Proposal**

###### **a. Qualifications, Related Experience and References**

This section of the proposal should establish the ability of consultant to satisfactorily perform the required work by reasons of: experience in performing work of a similar nature; demonstrated competence in the services to be provided; educational qualifications; strength and stability of the firm; staffing capability; work load; record of meeting schedules on similar projects; and supportive client references.

Consultant shall:

- (1) provide a brief profile of the firm, including the types of services offered; the year founded; form of the organization (corporation,

partnership, sole proprietorship); number, size and location of offices; number of employees;

- (2) provide a general description of the firm's financial condition; identify any conditions (e.g., bankruptcy, pending litigation, planned office closures, impending merger) that may impede consultant's ability to complete the project;
- (3) describe the firm's experience in performing work of a similar nature to that solicited in this RFP, and highlight the participation in such work by the key personnel proposed for assignment to this project;
- (4) identify sub-consultants by company name, address, contact person, telephone number and project function and describe consultant's experience working with each sub-consultant; and
- (5) provide, at a minimum, three references from work performed of a similar nature, cited as related experience; reference shall furnish the name, title, address and telephone number of the person(s) at the client organization who is most knowledgeable about the work performed. Consultant may also supply references from other work not cited in this section as related experience.

**b. Proposed Staffing and Project Organization**

This section of the proposal should establish the qualifications of the proposed project staff.

Consultant shall:

- (1) Provide education, experience and applicable professional credentials of proposed project staff;
- (2) Provide specific professional experience related to each type of service described herein;
- (2) Furnish brief resumes (not more than two [2] pages each) for the proposed key personnel;
- (3) Indicate adequacy of labor resources;
- (4) Identify key personnel proposed to perform the work in the specified tasks and include major areas of sub-consultant work;
- (5) Include a project organization chart which clearly delineates communication/reporting relationships among the project staff; and

- (6) include a statement that key personnel will be available to the extent proposed for the duration of the project acknowledging that no person designated as “key” to the project shall be removed or replaced without the prior written concurrence of the City.

**c. Project Plan and Completion**

This section of the proposal should outline the project plan for the services to be performed. Consultant shall provide a narrative which addresses the Scope of Work and shows the consultant’s understanding of the City’s needs and requirements.

**d. Exceptions/Deviations**

State any exceptions to or deviations from the requirements of this RFP. Where consultant wishes to propose alternative approaches to meeting the City’s technical requirements, these should be thoroughly explained. The City reserves the right to accept or reject any or all exceptions / deviations at its sole discretion. Consultant shall be bound to accept all RFP requirements and terms and conditions of the Form of Agreement.

**e. Fee Proposal**

Consultant shall complete and sign the Price Form in Section VI. in its entirety.

**f. Appendices**

Information considered by consultant to be pertinent to this project and which has not been specifically solicited in any of the aforementioned sections may be placed in a separate appendix section. Consultants are cautioned, however, that this does not constitute an invitation to submit large amounts of extraneous materials; **appendices should be relevant and brief.**

**3. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a proposal, consultant warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this RFP are currently held by consultant and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification shall be included in consultant's response. **Proposals lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

**4. COST AND PRICE FORMS**

Consultant shall complete the Price Form in its entirety including: 1) all individual tasks listed and total price; 2) basis on which prices are quoted; and 3) Consultant’s identification information including a binding signature.

Consultant shall state cash discounts offered. Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the equipment/materials or required services and a complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized and discount thereon is disallowed.

**5. CONSULTANT PERFORMANCE**

It is the intent of the City to create a long-term working partnership with the consultant. The City's representative will be completing a Performance Evaluation Form on a periodic basis. An example of this type of form can be reviewed on the following pages of this Proposal Document. This type of form will be the basis for periodic assessments by the City, to establish contract performance metrics.

**6. NON-COLLUSION DECLARATION**

Consultant shall complete and sign the Non-Collusion Declaration on the following page and submit with proposal.

**7. PROPOSAL CHECKLIST**

- ☐ Letter of Transmittal
- ☐ Technical Proposal
- ☐ Non-Collusion Declaration
- ☐ Acknowledgment of the Terms and Conditions of the City of Corona Professional Services Agreement
- ☐ Insurance Requirements Check Sheet Acknowledgment
- ☐ Information Required by Consultant
- ☐ Consultant's Statement of Past Contract Disqualifications
- ☐ Industrial Safety Record
- ☐ Vendor Performance Evaluation Form Acknowledgment
- ☐ Price Form

PARTY SUBMITTING PROPOSAL: \_\_\_\_\_

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY CONSULTANT AND SUBMITTED WITH PROPOSAL)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [proposer], the party making the foregoing proposal.

The proposal is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The proposal is genuine and not collusive or a sham. The proposer has not directly or indirectly induced or solicited any other proposer to put in a false or sham proposal. The proposer has not directly or indirectly colluded, conspired, plotted, or agreed with any proposer or anyone else to put in a sham proposal, or to refrain from submitting a proposal. The proposer has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the proposal price of the proposer or any other proposer, or to fix any overhead, profit, or cost element of the proposal price, or of that of any other proposer. All statements contained in the proposal are true. The proposer has not, directly or indirectly, submitted his or her proposal price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, proposal depository, or to any member or agent thereof to effectuate a collusive or sham proposal, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a proposer that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the proposer.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_  
[date], at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Proposal

# CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }  
County of \_\_\_\_\_ } ss.

On \_\_\_\_\_, before me, \_\_\_\_\_  
(date) here insert name and title of the officer)

personally appeared \_\_\_\_\_ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ [Seal]

**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA PROFESSIONAL SERVICES AGREEMENT**

**(To be Completed and Submitted with Consultant's Proposal)**

This is to acknowledge that we have read the City of Corona Professional Services Agreement and will sign the Agreement, as presented, without exception, for the City's RFP 21-055RH.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)



## INSURANCE REQUIREMENTS CHECK SHEET

### (To be Completed and Submitted with Proposal)

Vendors are encouraged to state any exceptions to or deviations from the insurance requirements of this solicitation. The City will evaluate exceptions or deviations from the insurance requirements to determine acceptability. The City reserves the right to reject bids or proposals as non-responsive based on the exceptions or deviations to the insurance requirements.

All applicable insurance requirements will be identified under the “Applicable to Vendor” column with a **YES**.

### ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

This is to acknowledge that we have reviewed the City of Corona Insurance Requirements Check Sheet and understand that we will be able to provide the insurance coverage required unless exceptions have been disclosed.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

## City of Corona

### RFP Insurance Requirements Check List

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Automobile Liability - \$1M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			Not Applicable
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

### Insurance Endorsements

#### General Liability

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Consultant?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Consultant hereby waives all rights of subrogation any insurer of Consultant's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Consultant?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any "No" responses.

---

---

---

---

---

---

---

---

---

---

## INFORMATION REQUIRED OF CONSULTANTS

[\*\*\*Indicate not applicable (“N/A”) where appropriate\*\*\*]

NOTE: Where Consultant is a joint venture, pages shall be duplicated and information provided for all parties to the joint venture.

1.0 Name of Consultant: \_\_\_\_\_

2.0 Type, if Entity: \_\_\_\_\_

3.0 Consultant Address: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Email Address

\_\_\_\_\_

Telephone Number

4.0 How many years has Consultant’s organization been in business as a Consultant?

\_\_\_\_\_

5.0 How many years has Consultant’s organization been in business under its present name? \_\_\_\_\_

5.1 Under what other or former names has Consultant’s organization operated?

\_\_\_\_\_

6.0 If Consultant’s organization is a corporation, answer the following:

6.1 Date of Incorporation: \_\_\_\_\_

6.2 State of Incorporation: \_\_\_\_\_

6.3 President’s Name: \_\_\_\_\_

6.4 Vice-President’s Name(s): \_\_\_\_\_

\_\_\_\_\_

6.5 Secretary’s Name: \_\_\_\_\_

6.6 Treasurer’s Name: \_\_\_\_\_

7.0 If an individual or a partnership, answer the following:

7.1 Date of Organization: \_\_\_\_\_

7.2 Name and address of all partners (state whether general or limited partnership):

---

---

---

8.0 If other than a corporation or partnership, describe organization and name principals:

---

---

9.0 List other states in which Consultant's organization is legally qualified to do business.

---

---

10.0 What type of work does the Consultant normally perform with its own forces?

---

---

11.0 Has Consultant ever failed to complete any work awarded to it? If so, note when, where, and why:

---

---

12.0 Has Consultant entered into a settlement agreement involving a public works project of more than \$100,000 within the last two years with any City or public agency? If so, note when, where, and why. *This information may be the basis for rejecting the proposal as nonresponsive or the Consultant as nonresponsible following a hearing.*

---

---

13.0 Within the last five years, has any officer or partner of Consultant's organization ever been an officer or partner of another organization when it failed to complete a contract? If so, attach a separate sheet of explanation:

14.0 Have you been or are you on any federal state list of debarred or suspended bidders/Consultants? If yes, state the beginning and ending dates of the period of disbarment:

---

---

15.0 List Trade References:

---

---

---

---

16.0 List Bank References (Bank and Branch Address):

---

---

---

---

## CONSULTANT'S STATEMENT OF PAST CONTRACT DISQUALIFICATIONS

Consultant is required to state any and all instances of being disqualified, removed, or otherwise prevented from submitting a proposal, or completing any, contracts for similar services as detailed in RFP 21-055RH.

1. Have you ever been disqualified from any contract?

2. If yes, explain the circumstances:

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Signature of Consultant

## INDUSTRIAL SAFETY RECORD

(To be Completed and Submitted with Contractor's Proposal)

Number of OSHA Violations within the last 5 years (must state zero if none):

\_\_\_ **Serious**    \_\_\_ **Willful**    \_\_\_ **Repeat**    \_\_\_ **Other**    \_\_\_ **Unclass**    \_\_\_\_\_ **Total**

\_\_\_\_\_  
Firm Name (Print)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Name and Title (Print)

\_\_\_\_\_  
Date





## **Vendor Performance Evaluation Form**

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P.O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
Weekly <input type="radio"/>	Monthly <input type="radio"/>	Quarterly <input type="radio"/>	Annually <input type="radio"/>	Other <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning.  <input type="radio"/>		Professional Service - unique, technical, and/or infrequent functions performed by an independent consultant/vendor qualified by education, experience, and/or technical ability to provide services.  <input type="radio"/>		
Products - a supplier of a tangible object that is manufactured or refined for sale.  <input type="radio"/>		Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system.  <input type="radio"/>		
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> </ol>				

6. *Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.*
7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

OVERALL EVALUATION SCORE

4.89

OVERALL EVALUATION RATING

EXCELLENT

## **ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM**

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)

**SECTION VI.**

**PRICE FORM**

REQUEST FOR PROPOSALS:      **RFP 21-055RH**

DESCRIPTION OF WORK:      ESSENTIAL MACHINING &  
PUMP REPAIR SERVICES FOR DWP

CONSULTANT'S NAME/ADDRESS:

---

---

---

---

NAME/TELEPHONE NO. OF  
AUTHORIZED REPRESENTATIVE

---

---

Please provide detailed costs of total project listing all the tasks and their individual costs. Additionally, provide standard schedules of charges that include hourly rates for professional services, overhead and direct costs.

NOTE: Price proposals submitted on forms other than those provided herein may cause rejection of the proposal as non-responsive.

Are there any other additional or incidental costs which will be required by your firm in order to meet the requirements of the Scope of Work? Yes / No (circle one). If you answered "Yes", please provide detail of said additional costs: \_\_\_\_\_

---

---

Please indicate any elements of the Scope of Work which cannot be met by your firm.

---

---

---

---

Have you included in your proposal all requested informational items and forms? Yes / No (circle one). If you answered “No”, please explain: \_\_\_\_\_

---

---

---

Have you been on any federal list of debarred or suspended consultants? Yes / No (circle one).

This offer shall remain firm for 90 days from RFP close date.

Terms and conditions as set forth in this RFP apply to this proposal.

Unless otherwise stated, payment terms are: Net thirty (30) days.

In signing this proposal, Consultant warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this RFP. Below, please indicate all Addenda to this RFP received by your firm, and the date said Addenda was/were received. It is Consultant’s responsibility to ensure that all addenda are received. Failure to acknowledge receipt of addenda may cause the City to reject the proposal as non-responsive.

Verification of Addenda Received

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE: \_\_\_\_\_

\_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

COMPANY NAME & ADDRESS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

DIR REGISTRATION NO.: \_\_\_\_\_

## **SECTION VII.**

### **Form of Agreement**

**CITY OF CORONA  
PROFESSIONAL SERVICES AGREEMENT  
WITH [\*\*\*INSERT NAME\*\*\*]  
ON-CALL ON-SITE & IN-SHOP MACHINE  
AND PUMP REPAIR SERVICES FOR DWP**

#### **1. PARTIES AND DATE.**

This Agreement is made and entered into this [\*\*\*INSERT DAY\*\*\*] day of [\*\*\*INSERT MONTH\*\*\*], [\*\*\*INSERT YEAR\*\*\*] ("Effective Date") by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 ("City") and [\*\*\*INSERT NAME\*\*\*], a [\*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\*] with its principal place of business at [\*\*\*INSERT ADDRESS\*\*\*] ("Consultant"). City and Consultant are sometimes individually referred to as "Party" and collectively as "Parties" in this Agreement.

#### **2. RECITALS.**

##### **2.1 Consultant.**

Consultant desires to perform and assume responsibility for the provision of certain professional services required by the City on the terms and conditions set forth in this Agreement. Consultant represents that it is experienced in providing On-Call On-Site & In-Shop Machine And Pump Repair Services For Dwp to public clients, is licensed in the State of California, and is familiar with the plans of City.

##### **2.2 Project.**

City desires to engage Consultant to render such services for ON-CALL MACHINE SHOP SERVICES METAL FABRICATION & PUMP REPAIR project ("Project") as set forth in this Agreement.

##### **2.3 Corona Utility Authority.**

Consultant understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority ("CUA") for the maintenance, management and operation of those utility systems (collectively, the "CUA Management Agreements"). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

#### **3. TERMS.**

##### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Consultant promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional On-Call On-Site & In-Shop Machine And Pump Repair Services For DWP consulting services necessary for the Project ("Services"). The Services are more particularly described in Exhibit "A" attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits

attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules, and regulations.

3.1.2 Term. The term of this Agreement shall be from March 3, 2021 to June 30, 2022 ("Term"), unless earlier terminated as provided herein. Consultant shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.6.8 below (each a "Renewal Term"). The terms "Term" and "Renewal Term" may sometimes be generally and collectively referred to as "Term" in this Agreement.

### **3.2 Responsibilities of Consultant.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Consultant or under its supervision. Consultant will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Consultant on an independent contractor basis and not as an employee. Consultant retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Consultant shall also not be employees of City and shall at all times be under Consultant's exclusive direction and control. Consultant shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Consultant shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers' compensation insurance.

3.2.2 Schedule of Services. Consultant shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit "B" attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Consultant represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Consultant's conformance with the Schedule, City shall respond to Consultant's submittals in a timely manner. Upon request of City, Consultant shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Consultant shall be subject to the approval of City.

3.2.4 Substitution of Key Personnel. Consultant has represented to City that certain key personnel will perform and coordinate the Services under this Agreement. Should one or more of such personnel become unavailable, Consultant may substitute other personnel of at least equal competence upon written approval of City. In the event that City and Consultant cannot agree as to the substitution of key personnel, City shall be entitled to terminate this Agreement for cause. As discussed below, any personnel who fail or refuse to perform the Services in a manner acceptable to the City, or who are determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project or a threat to the safety of persons or property, shall be promptly removed from the Project by the Consultant at the request of the City. The key personnel for performance of this Agreement are as follows: [\*\*\*INSERT NAMES\*\*\*].

3.2.5 City's Representative. The City hereby designates the Public Works Director or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Contract. Consultant shall not accept direction or orders from any person other than the Public Works Director or his or her designee.

3.2.6 Consultant's Representative. Consultant hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("Consultant's Representative"). Consultant's Representative shall have full authority to represent and act on behalf of the Consultant for all purposes under this Agreement. The Consultant's Representative shall supervise and direct the Services, using



his best skill and attention, and shall be responsible for all means, methods, techniques, sequences, and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.7 Coordination of Services. Consultant agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.8 Standard of Care; Performance of Employees. Consultant shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Consultant represents and maintains that it is skilled in the professional calling necessary to perform the Services. Consultant agrees that all employees and subconsultants shall have sufficient skill and experience to perform the Services assigned to them. Finally, Consultant represents that it, its employees and subconsultants shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Consultant shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Consultant's failure to comply with the standard of care provided for herein. Any employee of the Consultant or its sub-consultants who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Consultant and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Consultant shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Consultant shall be liable for all violations of such laws and regulations in connection with Services. If the Consultant performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Consultant shall be solely responsible for all costs arising therefrom. Consultant shall defend, indemnify and hold City, its officials, directors, officers, employees, and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Consultant. By executing this Agreement, Consultant verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Consultant. Consultant also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Consultant shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Consultant shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Consultant's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Consultants, Sub-subcontractors and Subconsultants. To the same extent and under the same conditions as Consultant, Consultant shall require all of its subcontractors, consultants, sub-subcontractors and subconsultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Consultant verifies that they are a duly authorized officer of Consultant, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Consultant or its subcontractors, consultants, sub-subcontractors or subconsultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Consultant under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Consultant certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Consultant represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Consultant shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. To the extent applicable, Consultant must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Consultant shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Consultant shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Consultant, its subconsultants, or others for whom Consultant is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Consultant commences any Services under this Agreement, Consultant shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Consultant shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Consultant, its agents, representatives, employees or subconsultants. Consultant shall also require all of its subconsultants to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Consultant has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Consultant shall maintain limits no less than: (1) *General Liability*: **\$1,000,000** per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: **\$1,000,000** per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of **\$1,000,000** per accident for bodily injury or disease.

3.2.10.4 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Consultant, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers, employees, agents, and volunteers shall be excess of the Consultant's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Consultant.

(C) All Coverages. If Consultant maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Consultant. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.5 Other Provisions; Endorsements Preferred. Consultant shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Consultant:

(A) Waiver of Subrogation – All Other Policies. Consultant hereby waives all rights of subrogation any insurer of Consultant's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Consultant. Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Consultant shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Consultant. Consultant understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.6 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any

Services under this Agreement commence, Consultant must purchase “extended reporting” coverage for a minimum of five (5) years after completion of Project.

3.2.10.7 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Consultant to provide proof of ability to pay losses and related investigation, claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.8 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best’s rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best’s rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.9 Verification of Coverage. Consultant shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Consultant’s obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.10 Reporting of Claims. Consultant shall report to the City, in addition to Consultant’s insurer, any and all insurance claims submitted by Consultant in connection with the Services under this Agreement.

3.2.10.11 Sub-Consultants. All sub-consultants shall comply with each and every insurance provision of this Section 3.2.10. Consultant shall therefore not allow any sub-consultant to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the sub-consultant has secured all insurance required under this Agreement.

3.2.10.12 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Consultant shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Consultant shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

3.2.13 Accounting Records. Consultant shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Consultant shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Consultant shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Consultant shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit ”C” attached hereto

CA\DD\02000.50101\1401461.14

and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed [\*\*\*INSERT WRITTEN DOLLAR AMOUNT\*\*\*] (\$[\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\*]) (“Total Compensation”), without written approval of City’s Public Works Director or his/her designee. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Consultant shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Consultant. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Consultant shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Consultant perform Extra Work. As used herein, “Extra Work” means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Consultant shall not perform, nor be compensated for, Extra Work without written authorization from City’s Representative.

3.3.5 Prevailing Wages. Consultant is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations (“Prevailing Wage Laws”), which require the payment of prevailing wage rates and the performance of other requirements on “public works” and “maintenance” projects. If the Services are being performed as part of an applicable “public works” or “maintenance” project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Consultant and its subconsultants shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Consultant and its subconsultants shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations (“DIR”). Beginning April 1, 2015, no consultant or subconsultant may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Consultant shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Consultant’s principal place of business and at the Project site. It is most efficient for the Consultant to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Consultant may obtain a copy of the prevailing wages from the City’s Director, Department of Water & Power or his/her designee. Consultant shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as defined by the Prevailing Wage Laws, Consultant shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Consultant employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Consultant.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Consultant, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Consultant of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Consultant shall be compensated only for those Services which have been adequately rendered to City,

CA\DD\02000.50101\1401461.14

as well as any authorized reimbursable expenses, and Consultant shall be entitled to no further compensation. Consultant may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Consultant to provide all finished or unfinished Documents and Data and other information of any kind prepared by Consultant in connection with the performance of Services under this Agreement. Consultant shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 Ownership of Materials and Confidentiality.**

3.5.1 Documents & Data; Licensing of Intellectual Property. This Agreement creates a non-exclusive and perpetual license for City to copy, use, modify, reuse, or sublicense any and all copyrights, designs, and other intellectual property embodied in plans, specifications, studies, drawings, estimates, and other documents or works of authorship fixed in any tangible medium of expression, including but not limited to, physical drawings or data magnetically, electronically or otherwise recorded or stored, which are prepared or caused to be prepared by Consultant under this Agreement ("Documents & Data"). All Documents & Data shall be and remain the property of City, and shall not be used in whole or in substantial part by Consultant on other projects without the City's express written permission. Within thirty (30) days following the completion, suspension, abandonment or termination of this Agreement, Consultant shall provide to City reproducible copies of all Documents & Data, in a form and amount required by City. City reserves the right to select the method of document reproduction and to establish where the reproduction will be accomplished. The reproduction expense shall be borne by City at the actual cost of duplication. In the event of a dispute regarding the amount of compensation to which the Consultant is entitled under the termination provisions of this Agreement, Consultant shall provide all Documents & Data to City upon payment of the undisputed amount. Consultant shall have no right to retain or fail to provide to City any such documents pending resolution of the dispute. In addition, Consultant shall retain copies of all Documents & Data on file for a minimum of five (5) years following completion of the Project, and shall make copies available to City upon the payment of actual reasonable duplication costs. In addition, before destroying the Documents & Data following this retention period, Consultant shall make a reasonable effort to notify City and provide City with the opportunity to obtain the documents.

3.5.2 Subconsultants. Consultant shall require all subconsultants to agree in writing that City is granted a non-exclusive and perpetual license for any Documents & Data the subconsultant prepares under this Agreement. Consultant represents and warrants that Consultant has the legal right to license any and all Documents & Data. Consultant makes no such representation and warranty in regard to Documents & Data which were prepared by design professionals other than Consultant or its subconsultants, or those provided to Consultant by the City.

3.5.3 Right to Use. City shall not be limited in any way in its use or reuse of the Documents and Data or any part of them at any time for purposes of this Project or another project, provided that any such use not within the purposes intended by this Agreement or on a project other than this Project without employing the services of Consultant shall be at City's sole risk. If City uses or reuses the Documents & Data on any project other than this Project, it shall remove the Consultant's seal from the Documents & Data and indemnify and hold harmless Consultant and its officers, directors, agents and employees from claims arising out of the negligent use or re-use of the Documents & Data on such other project. Consultant shall be responsible and liable for its Documents & Data, pursuant to the terms of this Agreement, only with respect to the condition of the Documents & Data at the time they are provided to the City upon completion, suspension, abandonment or termination. Consultant shall not be responsible or liable for any revisions to the Documents & Data made by any party other than Consultant, a party for whom the Consultant is legally responsible or liable, or anyone approved by the Consultant.

3.5.4 Indemnification. Consultant shall defend, indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless, pursuant to the indemnification provisions of

this Agreement, for any alleged infringement of any patent, copyright, trade secret, trade name, trademark, or any other proprietary right of any person or entity in consequence of the use on the Project by City of the Documents & Data, including any method, process, product, or concept specified or depicted.

3.5.5 Confidentiality. All Documents & Data, either created by or provided to Consultant in connection with the performance of this Agreement, shall be held confidential by Consultant. All Documents & Data shall not, without the prior written consent of City, be used or reproduced by Consultant for any purposes other than the performance of the Services. Consultant shall not disclose, cause or facilitate the disclosure of the Documents & Data to any person or entity not connected with the performance of the Services or the Project. Nothing furnished to Consultant that is otherwise known to Consultant or is generally known, or has become known, to the related industry shall be deemed confidential. Consultant shall not use City's name or insignia, photographs of the Project, or any publicity pertaining to the Services or the Project in any magazine, trade paper, newspaper, television or radio production or other similar medium without the prior written consent of City.

### **3.6 General Provisions.**

3.6.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Consultant:**

[\*\*\*INSERT NAME, ADDRESS & CONTACT PERSON\*\*\*]

**City:**

City of Corona  
400 South Vicentia Avenue  
Corona, CA 92882  
Attn: General Manager, Department of Water & Power or authorized designee

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.6.2 Indemnification. To the fullest extent permitted by law, Consultant shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Consultant, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Consultant's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Consultant's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Consultant. Consultant's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.6.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Consultant must comply with the claim procedures set forth in Government Code Sections 900 *et seq.* prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Consultant. If no

such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Consultant shall be barred from bringing and maintaining a valid lawsuit against the City.

3.6.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.6.5 City's Right to Employ Other Consultants. City reserves right to employ other consultants in connection with this Project.

3.6.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the Parties.

3.6.6.1 Subconsultants; Assignment or Transfer. Consultant shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Consultant shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subconsultants, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.6.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Consultant has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Consultant shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.6.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Consultant include all personnel, employees, agents, and subconsultants of Consultant, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.6.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.6.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.6.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.6.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.6.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.6.12 Prohibited Interests. Consultant maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Consultant, to solicit or secure this Agreement. Further, Consultant warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Consultant, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Consultant further



agrees to file, or shall cause its employees or subconsultants to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.6.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.6.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.6.15 Authority to Enter Agreement. Consultant has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.6.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.6.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**PROFESSIONAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ESSENTIAL MACHINING & PUMP SERVICES FOR DWP**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest:  
\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
City Clerk

**CONSULTANT’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**PROFESSIONAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ESSENTIAL MACHINING & PUMP SERVICES FOR DWP**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF CONSULTANT\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

## **EXHIBIT “A” SCOPE OF SERVICES**

The City of Corona DWP Maintenance division requires a very well-rounded machine shop to perform all types of repairs and custom metal work. Due to the nature of continuous services, when equipment breaks down vendor must be able to have the equipment repaired, back in-service in timely manner to continue providing 24-hour services.

City of Corona DWP has a requirement for a reliable shop that can handle requests for on-call custom fabrication, repairs and rebuilding of pumps (centrifugal, rotary lobe, positive displacement, piston, screw ,progressive cavity, diaphragm, and hydraulic), thermal spray, machine and grind shafts, repair bearing housings, rebuild valves, certified welding, restore and refurbish products, and certify custom pressure parts.

These services must be provided by a certified shop that conform to most current ISO 9001 principles and must provide all pertinent documents that ensure compliance in machining, grinding, balancing, overhauls, repairs, or restoration of large-scale industrial pumps, valves, piping, and related process flow equipment.

The shop must have a Quality Control Program with no service complaints from any municipalities and must be able to provide on-call services on emergency basis 24 hours, 7 days a week, 365 days per year.

**EXHIBIT “B”  
SCHEDULE OF SERVICES**

**[\*\*\*INSERT SCHEDULE OF ON-CALL ON-SITE & IN-SHOP MACHINE AND PUMP  
SERVICES BEING FOR DWP BEING OFFERED\*\*\*]**

**EXHIBIT “C”  
COMPENSATION/ PRICE SHEET**

**[\*\*\*INSERT LABOR RATES FOR ON-CALL SERVICES, ANY OTHER  
AUTHORIZED REIMBURSABLE EXPENSES & THE MARK-UP PERCENTAGE  
FROM YOUR WHOLESALE COSTS BEING OFFERED TO CITY ON SALES OF ANY  
EQUIPMENT AND PARTS\*\*\*]**

## Addenda RFP 21-055RH

View Addenda Acknowledgments

March 30, 2021 (1) RFP 21-055RH - Added Required Response File + Moved RFP Opening Date Added Required Response File + Moved RFP Opening Date to Monday, April 5, 2021, @ 10:00 AM.

March 30, 2021 (2) RFP 21-055RH Forms Changeout - On-Call / Emergency - Essential Machining and Pump Repair Services for DWP Do not use: "Section VI "Price Form" for your response. Please use "Section VI "RFP Acknowledgement Form" as its replacement. Please note instructions in "red" font regarding where to put the pricing.



## ***RFP SUMMARY***

### ***Purchasing Division | Finance Department***

**DATE:** **April 28, 2021**

**SUBJECT:** **RFP Results**

RFP No.: RFP 21-055RH

RFP Name: On-Call Essential Machining & Pump Services for DWP

RFP Open Date: March 3, 2021

RFP Close Date: March 31, 2021; 10:00 a.m.

Advertised Date: March 3, 2021

No. of Vendors solicited: 49

No. of Proposals received: 2

Rank	Company	City/State
1	Bender CCP, Inc.	Vernon, California
2	Powers Bros. Machine	Montebello, California

Proposals were evaluated, and this summary is provided as a matter of information only.

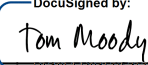

A contract award to the highest-ranked proposal is tentative upon final approval of the City's authorized contracting party.

The highest-ranked proposal was submitted by Bender CCP, Inc of Vernon, California.

Sign below if you concur with the proposal results and wish to proceed to City Council for action and an award of a contract and purchase order to Bender CCP, Inc.

Tentative Council Date: \_\_\_\_\_

Approved By: \_\_\_\_\_

DocuSigned by:  DS 

**Signature**  
Tom Moody

**Name**  
General Manager

**Title**

RFP 21-055RH  
On-Call Essential Machining & Pump Services for DWP



**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH BENDER CCP, INC.  
(ON-CALL ON-SITE & IN-SHOP MACHINE AND PUMP REPAIR SERVICES FOR  
DWP)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 16th day of June, 2021 ("Effective Date") by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 ("City") and Bender CCP, Inc., a California Corporation with its principal place of business at 2150 E. 37<sup>th</sup> Street, Vernon, CA 90058 ("Contractor"). City and Contractor are sometimes individually referred to as "Party" and collectively as "Parties" in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing On-Call On-Site & In-Shop Machine And Pump Repair Services For Corona Department of Water and Power services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the ON-CALL MACHINE SHOP SERVICES METAL FABRICATION & PUMP REPAIR RFP 21-055RH project ("Project") as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority ("CUA") for the maintenance, management and operation of those utility systems (collectively, the "CUA Management Agreements"). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

### 3. TERMS.

#### 3.1 Scope of Services and Term.

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional On-Call On-Site & In-Shop Machine And Pump Repair Services For Corona Department of Water and Power maintenance or other general services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from June 16, 2021 to June 30, 2022 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

#### 3.2 Responsibilities of Contractor.

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely

manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Bob Medlen, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City,

its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation,

claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a



Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Three Hundred Thousand Dollars (\$300,000.00) ("Total Compensation") per fiscal year without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the

commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

Bender CCP, Inc.  
2150 E. 37<sup>th</sup> Street  
Vernon, CA 90058  
Attn: Bob Medlen

**City:**

City of Corona  
 400 South Vicentia Avenue  
 Corona, CA 92882  
 Attn: Tom Moody Department of Water and Power

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH BENDER CCP, INC.**  
**(ON-CALL ON-SITE & IN-SHOP MACHINE AND PUMP REPAIR SERVICES FOR**  
**DWP)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Tom Moody  
General Manager

Reviewed By: \_\_\_\_\_  
Katie Hockett  
Assistant General Manager

Reviewed By: \_\_\_\_\_  
Aftab Hussain  
Maintenance Manager

Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager

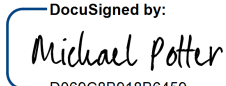
Attest: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

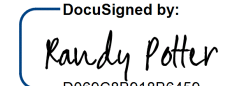


**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH BENDER CCP, INC.**  
**(ON-CALL ON-SITE & IN-SHOP MACHINE AND PUMP REPAIR SERVICES FOR**  
**DWP)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**Bender CCP, Inc.**  
a California Corporation

By:   
\_\_\_\_\_  
D069C8B918B6459...  
Mike Potter  
President

By:   
\_\_\_\_\_  
D069C8B918B6459...  
Randy Potter  
Secretary

## **EXHIBIT “A” SCOPE OF SERVICES**

Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional On-Call On-Site & In-Shop Machine and Pump Repair Services to public clients necessary for the Project (“Services”). The Services are more particularly described in this Exhibit “A”

The City of Corona DWP Maintenance division requires a very well-rounded machine shop to perform all types of repairs and custom metal work. Due to the nature of continuous services, when equipment breaks down vendor must be able to have the equipment repaired, back in-service in timely manner to continue providing 24-hour services.

City of Corona DWP has a requirement for a reliable shop that can handle requests for on-call custom fabrication, repairs and rebuilding of pumps (centrifugal, rotary lobe, positive displacement, piston, screw ,progressive cavity, diaphragm, and hydraulic), thermal spray, machine and grind shafts, repair bearing housings, rebuild valves, certified welding, restore and refurbish products, and certify custom pressure parts.

These services must be provided by a certified shop that conform to most current ISO 9001 principles and must provide all pertinent documents that ensure compliance in machining, grinding, balancing, overhauls, repairs, or restoration of large-scale industrial pumps, valves, piping, and related process flow equipment.

The shop must have a Quality Control Program with no service complaints from any municipalities and must be able to provide on-call services on emergency basis 24 hours, 7 days a week, 365 days per year.

**EXHIBIT “B”  
SCHEDULE OF SERVICES**

Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms:

- 1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.
- 2) The second optional extension will be from July 1, 2024 through June 30, 2026.

Contract Renewal: The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers” for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

## EXHIBIT "C" COMPENSATION

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this Exhibit "C" attached hereto and incorporated herein by reference.

### Normal Straight Time Rates:

Outside Machinist / Mechanic / Welder	\$105.00 /hr
Shop Machining – Small	\$98.00 /hr
Leadman	\$105.00 /hr
General Foreman	\$115.00 /hr
Field Machining / Vibration Analysis / Balancing	\$135.00/hr
Project Manager	\$150.00/hr

Overtime Hourly Rates: Over-time	1.3 x normal hourly rate
Double-time	1.7 x normal hourly rate

Travel time: \$(Straight Time Rate) regardless of when it occurs

Materials: Cost +10%

Subcontract: Cost +10%

Other Expenses: expenses for lodging, car rental, flights, toll, parking, fuel, meals, and Per Diem will be charged at Cost +10%

Pursuant to Section 3.2.12 above payment and performance bonds will not be required.



Staff Report

---

**File #:** 21-0682

---

**REQUEST FOR CITY COUNCIL AND  
CORONA UTILITY AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members  
Honorable President and Board Members

**FROM:** Department of Water and Power

**SUBJECT:**

Award of contract for on-call in-field/in-shop electric motor repair services to Energy Management Electric Corp.

**EXECUTIVE SUMMARY:**

The City issued Request for Proposal No. 21-050RH for on-call in-field/in-shop electric motor repair services for the Department of Water and Power's pumps for the water and water reclamation facilities for after-hours and as-needed services.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council award Request for Proposal No. 21-050RH for on-call in-field/in-shop electric motor repair services to Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, for an initial one-year contract in Fiscal Year 2022 with two optional two-year extensions.
- b. City Council authorize the City Manager, or his designee, to execute the Maintenance/General Services Agreements with Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, in the amount of \$200,000 for the initial contract term ending June 30, 2022, with two optional two-year extensions.
- c. City Council authorize the General Manager and City Attorney or their designees to negotiate and execute non-substantive extensions, change orders, and amendments up to 10% or \$20,000 as authorized in Corona Municipal Code Section [3.08.060\(J\)](#).

- d. City Council authorize the Purchasing Manager to issue a purchase order to Energy Management Electric Corp doing business as GP Electric Motor of Pomona, CA, in the amount of \$200,000 per year starting in Fiscal Year 2022 through Fiscal Year 2026.
- e. Corona Utility Authority review, ratify, and to the extent necessary, direct the City Council to take the above actions.

### BACKGROUND & HISTORY:

The Department of Water and Power operates and maintains four water treatment plants, twenty-one active wells, eighteen potable water booster stations, eighteen reservoirs, three water reclamation facilities, fourteen sewer lift stations, and three reclaimed water booster stations to reliably serve the residents and businesses of the City of Corona and its service area. These facilities have 200 various-sized motors ranging from 7 horsepower to 400 horsepower. These motors are in service twenty-four (24) hours a day, seven (7) days a week (continuous duty with lead and lag pumps). Maintenance staff performs regular inspections, preventive maintenance, and repair services to all these facilities and heavily relies on on-call, as-needed, time-and-materials basis repairs for these motors to reliably provide high-quality services to the community.

### ANALYSIS:

On February 10, 2021, the Purchasing Division issued Request for Proposals (RFP) No. 21-050RH pursuant to Corona Municipal Code (CMC) [3.08.110](#) non-public projects formal bidding procedure requirements. The proposal closing date was March 24, 2021. The City received two (2) proposals by the submission date of March 24, 2021.

The scope of work consists of:

- On-call on-site or off-site repairs of electrical motors ranging in size from 7 to 400 horsepower.

Staff performed evaluations of the proposals from both firms. The evaluations were based on the following criteria:

Criteria	Max Points
Qualifications of Firm	10
Qualifications of Personnel	40
Work Plan/Project Understanding and Approach	40
Value	10
Total	100

After careful review of the two proposals, the panel evaluated the firms. The table below shows the final rank for each firm:

<b>Firm</b>	<b>Score</b>	<b>Ranking</b>
Energy Management Corporation	84.33	1
Superior Electric Motor Service Inc.	77	2

The final evaluation scores were very close, 84.3 and 77 for Energy Management Corporation and Superior Electric Motor Service, Inc., respectively. In addition, their pricing structures had slight differences while their technicians' qualifications ranked very close to each other. However, after a thorough document review by the Purchasing Division, Superior Electric Motor Service, Inc. was deemed non-responsive due to not being registered with the California Department of Industrial Relations (DIR) as stipulated in bid documents and California Labor Code 1725.5.

Based on the staffs' evaluation of the proposals, staff recommends that the City Council award the RFP in the amount of \$200,000 to Energy Management Electric Corp dba GP Electric Motor of Pomona, CA. All licenses have been reviewed and verified by City staff.

**FINANCIAL IMPACT:**

Funding for the recommended action is included in the Fiscal Year 2022 Water, Water Reclamation, and Reclaimed Water Operating Budgets. In addition, funding in future fiscal years will be recommended through the budget process.

**ENVIRONMENTAL ANALYSIS:**

This action is categorically exempt pursuant to Section 15301 of the Guidelines for the California Environmental Quality Act (CEQA), which states that operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the CEQA determination is exempt from CEQA. This action consists of the repair of existing motors within the existing water and water reclamation systems. Therefore, no environmental analysis is required.

**PREPARED BY:** AFTAB HUSSAIN, MAINTENANCE MANAGER

**REVIEWED BY:** TOM MOODY, GENERAL MANAGER

**Attachments:**

1. Exhibit 1 - RFP 21-050RH
2. Exhibit 2 - RFP 21-050RH Addenda
3. Exhibit 3 - RFP 21-050RH Summary
4. Exhibit 4 - Energy Management Electric Corp. MGSA



February 10, 2021

**SUBJECT: REQUEST FOR PROPOSALS (RFP) 21-050RH**

The City of Corona Public Works Department (City) invites proposals from qualified consultants for:

**ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES**

Please read this entire RFP package, and include all requested information and forms in your proposal. Proposals must be signed by an authorized agent of the company submitting a proposal in order to be considered responsive.

Parties interested in obtaining a copy of this RFP 21-050RH may do so by registering for PlanetBids as a vendor at <http://coronaca.gov/i-want-to/rfp-posts-list>. Registered vendors can download Contract Documents, including this RFP 21-050RH, and receive addenda and notifications when issued. Consultants will also submit electronic bids through PlanetBids.

**Closing: Proposals shall be submitted at or before 10:00 A.M., March 17, 2021** through PlanetBids Vendor Portal. It is the Consultant's responsibility to allow sufficient time to complete and submit its proposal, including all required documentation required by this RFP, prior to the Proposals Due deadline.

Consultants are solely responsible for submitting their electronic proposal on time. The City will only consider Proposals that have transmitted successfully and have been issued a time stamped confirmation number from PlanetBids indicating that the Proposal was successfully submitted. **Transmission of Proposals by any other means will not be accepted.**

Consultants are solely responsible for informing themselves, with respect to proper usage, of the online bid management system PlanetBids, for ensuring the capability of their computer system to upload the required documents, and for the reliability of their internet services. Failure to successfully submit an electronic Bid is the Consultant's sole risk and relief will not be given for later and/or improperly submitted Bids.

Consultants experiencing any technical difficulties with the bid submission process may contact PlanetBids Support at (818) 992-1771 or, if you continue to experience difficulties, the City of Corona Purchasing Division at (951) 736-2274. Neither the City, nor PlanetBids, make any guarantees or assurances as to the timely availability of assistance or resolution of any given issue prior to the submission date and/or time.

Issuance of this RFP and/or receipt of proposals does not commit the City to award a contract.

Signed,

Rich Hogate

Purchasing Specialist Contractor for

City of Corona | Purchasing Division |

Phone: (951) 736-2369 Email: [Richard.Hogate@coronaca.gov](mailto:Richard.Hogate@coronaca.gov)





February 10, 2021

**SUBJECT:                    REQUEST FOR PROPOSALS (RFP) 21-050RH**

**SECTION I**

**INVITATION**

The City of Corona Public Works Department (City) invites proposals from qualified Vendors for:

**ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES**

Please read this entire RFP package, and include all requested information and forms in your proposal. Proposals must be signed by an authorized agent of the company submitting a proposal in order to be considered responsive.

**Revised Tentative RFP Schedule**  
(Subject to change at City's discretion)

- |  |                               |
|--|-------------------------------|
| 1. Issue RFP .....                               | February 10, 2021             |
| 2. Advertise .....                               | February 10, 2021             |
| 3. Questions from Vendor Due on Planet Bids..... | 11:00 a.m., February 24, 2021 |
| 4. Response from City Due on Planet Bids.....    | March 10, 2021                |
| 5. Proposals Due on Planet Bids.....             | 10:00 a.m., March 17, 2021    |
| 6. Proposal Evaluation Completed.....            | March 31, 2021                |
| 7. Tentative Vendor Selection.....               | March 31, 2021                |
| 8. Council Action.....                           | May 5, 2021                   |
| 9. Notice to Proceed.....                        | June 2, 2021                  |

**Table of Contents**

SECTION I .....	Invitation
SECTION II .....	RFP Instructions
SECTION III.....	Evaluation and Award
SECTION IV .....	Project Description and Scope of Work
SECTION V .....	Proposal Content and Forms
SECTION VI .....	Price Form
SECTION VII .....	Form of Agreement

## **SECTION II.**

### **RFP INSTRUCTIONS**

#### **A. Proposal Format**

The proposal should consist of the following sections, at a minimum. Supplemental information beneficial to the proposal is acceptable as attachments or Appendices if they are directly applicable. Vendors are encouraged to be concise with the company background and experience sections and focus on your experience providing On-Call In-Field In-Shop Electric Motor Repair Services.

#### **B. Examination of Proposal Documents**

By submitting a proposal, Vendors represent they have thoroughly examined and become familiar with the work required under this RFP, have reviewed the project location, understand the project objectives and are capable of performing quality work to achieve the City's objectives.

#### **C. Addenda**

Substantive City changes to the requirements will be made by written addendum. Any written addenda issued pertaining to this RFP shall be incorporated into the terms and conditions of any resulting Purchase Order and/or Agreement. Copies of all Addenda will be furnished through the City's electronic bidding system, PlanetBids, no later than 72 hours prior to the proposal Due Date and Time. Vendors shall access any and all Addenda from the electronic bidding system's Addenda & Email tab of this RFP.

All registered vendors with a status of either bidder or non-bidder that have downloaded a copy of this RFP and supporting documents will be notified by a system generated email from PlanetBids when an Addendum has been issued. It is the sole responsibility of Vendors to ensure they have received all addenda prior to submitting a proposal. To this end, each Vendor should contact the City's Purchasing Division prior to the proposal due date to verify receipt of all Addenda issued. Vendors shall acknowledge receipt of all Addenda when submitting their electronic proposals.

#### **D. Informed Vendors**

Before submitting proposals, Vendors must fully inform themselves of the conditions, requirements and specifications of the work or materials to be furnished. Failure to do so will be at Vendors' own risk and they cannot secure relief on the plea of error.

## **E. Clarifications**

### **1. Examination of Documents**

Should a Vendor require clarifications to this RFP, Vendor shall notify the City in writing in accordance with Section E.2 below. Should it be found that the point in question is not clearly and fully set forth in the RFP, the City shall issue a written addendum clarifying the matter.

### **2. Submitting Questions**

Vendors shall submit all questions, clarifications or comments through the City's PlanetBids electronic bidding system:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=39497> utilizing the Questions & Answers tab. Vendor questions must be submitted no later than **11:00 a.m., February 24, 2021**. Please note the City's electronic bidding system will not allow inquiries to be submitted after this date and time.

### **3. City Responses**

- a. Responses from the City will be communicated in writing by way of addendum in accordance with Section C above. The City shall not be bound to any modifications to or deviations from the requirements set forth in this RFP as the result of any oral instruction.
- b. The Tentative Schedule may change at any time. Any and all changes to the Tentative Schedule will be made by way of addendum. If an Addendum is issued less than 72 hours before the proposal due date and time, the proposal due date will be extended.

## **F. Submission of Proposals**

### **1. Date and Time**

All proposals shall be submitted no later than **10:00 a.m., March 17, 2021**.

### **2. Electronic Submission**

Proposals shall be submitted electronically using the City's PlanetBids Vendor Portal. Please note the City's electronic bidding system will not allow proposals to be submitted after the due date and time. It is the Vendor's responsibility to allow sufficient time to complete and submit their proposal, including all documentation required by this RFP, prior to the stated deadline. **Electronic submission cannot be completed unless the Vendor properly uploads all required documents. Only electronic proposals will be accepted; hard copy proposals will be rejected as nonresponsive and returned unopened without exception.**

3. **Acceptance of Proposals**

- a. The City reserves the right to accept or reject any and all proposals, or any item or part thereof, or to waive any informalities or irregularities in proposals.
- b. The City reserves the right to withdraw this RFP at any time without prior notice, and the City makes no representations that any contract will be awarded to any Vendor responding to this RFP.
- c. The City reserves the right to postpone proposal opening for its own convenience.

**G. Proposal Withdrawal**

Electronic proposals may be withdrawn prior to the date and time set forth in Section F.1 above. After that time, Vendors may not withdraw their proposals for a period of ninety (90) days from the Proposal Submittal Deadline. At no time may the successful Vendor(s) withdraw their proposal(s).

**H. Pre-Contractual Expenses**

Pre-contractual expenses are defined as expenses incurred by the Vendor in:

1. Preparing its proposal in response to this RFP;
2. Submitting the proposal to City;
3. Negotiating with City on any matter related to the proposal; or
4. Any other expenses incurred by the Vendor prior to date of award, if any.

The City shall not, in any event, be liable for any pre-contractual expenses incurred by Vendor in the preparation of its proposal. Vendor shall not include any such expenses as part of its proposal.

**I. Contract Award**

Issuance of this RFP and receipt of proposals does not commit the City to award a contract. The City reserves the right to postpone proposal opening for its own convenience, to accept or reject any or all proposals received in response to this RFP, to request additional information from the Vendor as appropriate, to negotiate with other than the selected Vendor(s) should negotiations with the selected Vendor(s) be terminated, to negotiate with more than one Vendor simultaneously, or to cancel all or part of this RFP.

**J. Acceptance of Order**

The successful Vendor(s) will be required to accept a Purchase Order and execute a written Agreement (see Section VII, Form of Agreement) in accordance with and including as a part thereof the published notice of Request for Proposals and this Request for Proposals, including all requirements, conditions and specifications contained herein, with no exceptions other than those specifically listed in the written purchase order and/or Agreement.

**K. Vendor Performance**

It is the intent of the City to create a long-term working partnership with the Vendor. The City's representative will be completing a Vendor Performance Evaluation Form on a periodic basis. An example of this type of form can be reviewed in Section V. This type of form will be the basis for periodic assessments by the City to establish contract performance metrics.

**L. City of Corona Business License**

The successful Vendor(s) and any sub-Vendors are required to obtain a City of Corona Business License prior to contract award and to maintain the license for the entire term of the Agreement. The Business License is not a prerequisite for submission of a proposal. Inquiries regarding the City Business License may be answered by calling 951-736-2275 or by visiting the City's website:

<https://www.coronaca.gov/government/departments-divisions/finance/business-license-info>.

**M. Prevailing Wage**

Refer to Section VII, Form of Agreement, Section 3.3.5 for Prevailing Wage requirements.

**N. Insurance Requirements**

Within ten (10) consecutive calendar days after the notice of award, the Vendor to whom a contract is awarded from this request for proposals shall furnish the City, through its third-party insurance partner, Exigis, with the certificates of insurance and endorsements evidencing coverage as specified in Section VII, Form of Agreement, Section 3.2.10 Insurance, et seq. and naming the City of Corona, its directors, officials, employees, volunteers and agents as additional insureds by written endorsement. Failure to do so may, in the sole discretion of the City, result in the forfeiture of the Contract Award.

**The City's insurance requirements have been updated.** Vendors are encouraged to have their insurance provider(s) review the insurance requirements, pursuant to the Form of Agreement, to ensure the revised minimum coverage limits, endorsements and other requirements can be met.

Vendors shall review, complete and sign the Acknowledgment of Insurance Requirements Check Sheet included in Section V and return with their proposal. Any exceptions or deviations to the City's insurance requirements must be submitted to the City during the Questions and Answer period. Vendors are cautioned that exceptions or deviations from the RFP insurance requirements may cause their proposal to be rejected as non-responsive.

**O. Negative History**

Vendor must include in its Proposal a complete disclosure of any alleged significant prior or on-going contract failures, any civil or criminal litigation or investigation pending which involves the firm or in which the firm has been judged guilty or liable within the last five (5) years.

If there is no negative history to disclose, the firm must affirmatively state in its Proposal, there is no negative history to report.

Failure to comply with the terms of this provision may disqualify any proposal. The City reserves the right to reject any proposal based upon the firm's prior documented history with the City or with any other party, which documents, without limitation, unsatisfactory performance, adversarial or contentious demeanor, significant failures to meet contract milestones or other contractual failures.

**P. Public Records**

Responses (proposals) to this Request for Proposal (RFP) and the documents constituting any contract entered into thereafter become the exclusive property of the City and shall be subject to the California Public Records Act (Government Code Section 6250 et seq.). The City's use and disclosure of its records are governed by this Act.

Those elements in each proposal which proposer considers to be trade secrets, as that term is defined in Civil Code Section 3426.1(d), or otherwise exempt by law from disclosure, should be prominently marked as "TRADE SECRET", "CONFIDENTIAL", or "PROPRIETARY" by proposer. The City will use its best efforts to inform proposer of any request for disclosure of any such document. The City shall not in any way be liable or responsible for the disclosure of any such records including, without limitation; those so marked if disclosure is deemed to be required by law or by an order of the Court.

In the event of litigation concerning disclosure of information the proposer considers exempt from disclosure, the City will act as a stakeholder only, holding the information until otherwise ordered by a court or other legal process. If the City is required to defend an action arising out of a Public Records Act request for any of the contents of a proposer's proposal marked "Confidential", "Proprietary", or "Trade Secret", proposer shall defend and indemnify the City from all liability, damages, costs, and expense, including attorneys' fees, in any action or proceeding arising under the Public Records Act.

To insure confidentiality, proposers are instructed to upload separate files for all "Confidential," "Proprietary," or "Trade Secret" data when submitting their proposal documents. The file names shall include the words "Confidential", "Proprietary" or "Trade Secret". Because the proposal documents are available for review by any person after award of a contract resulting from an RFP, the City shall not in any way be held responsible for disclosure of any "Confidential," Proprietary," or "Trade Secret" documents that are not uploaded as separate files and include "Confidential", "Proprietary" or "Trade Secret" as part of the file name.

**Q. Special Provisions for Services**

1. Accessibility. Vendor shall fully inform himself regarding any peculiarities and limitations of the spaces available for the performance of work under this contract. Vendor shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
2. Authority of the City of Corona. Subject to the power and authority of the City as provided by law in this contract, the City shall in all cases determine the quantity, quality, and acceptability of the work, materials and supplies for which payment is to be made under this contract. The City shall decide questions that may arise relative to the fulfillment of the contract or the obligations of the Vendor hereunder.
3. Changes in Work. The City may, at any time work is in progress, by written order and without notice to the sureties, make alterations in the terms of work as shown in the specifications, require the performance of extra work, decrease the quantity of work, or make such other changes as the City may find necessary or desirable. The Vendor shall not claim forfeiture of contract by reasons of such changes by the City. Changes in work and the amount of compensation to be paid to the Vendor for any extra work as so ordered shall be determined in accordance with the unit prices quoted.
4. Contract Incorporation. This contract embodies the entire contract between the City and the Vendor. The parties shall not be bound by or be liable for any statement, representation, promise, inducement or understanding of any kind or nature not set forth herein. No changes, amendments, or modifications of any of the terms or conditions of the contract shall be valid unless reduced to writing and signed by both parties. The complete contract shall include the entire contents of the RFP solicitation, all addenda, all of Vendor's successful submittal, supplemental agreements, change orders, performance bond(s), and any and all written agreements which alter, amend or extend the contract.
5. Rejection of Work. Vendor agrees that the City has the right to make all final determinations as to whether the work has been satisfactorily completed.

### **SECTION III.**

#### **EVALUATION AND AWARD**

The City is soliciting firms and/or individuals who have established knowledge, experience preparing PEIRs, and expertise in all aspects of the services requested in this RFP. Following is what the City considers important in evaluating the proposals and the assembled teams for a successful project. Minimum requirements are as follows:

##### **A. EVALUATION CRITERIA**

The following weighting and points will be assigned to the Proposal for evaluation purposes:

Criteria	Max Points	Rating
Completeness of Response	0	Pass or Fail
Qualification of Firm	10	
Qualification of Personnel	40	
Work Plan / Project Understanding and Approach	40	
Value	10	
Total	100	

##### **1. Completeness of Response (Pass/Fail) – 0 points**

- a. Responses to this RFP must be complete. Responses that do not include the proposal content requirements identified within this RFP and subsequent addenda and do not address each of the items listed below will be considered incomplete, be rated a Fail in the Evaluation Criteria and will receive no further consideration.

##### **2. Qualification of Firm – 10 points**

- a. Strength and stability of the firm;
- b. Technical competence and experience of firm's Vendors in general providing similar services;
- c. Demonstrated knowledge of the scope of work required, capability of performing specific tasks outlined in the RFP;
- d. Adequacy of staff to provide required services; and
- e. Reputation of firm in providing similar services.

##### **3. Qualification of Personnel – 40 points**

- a. Qualifications, education, technical competence, and experience of staff;
- b. Proposal demonstrates the following:
  1. Provides a project-appropriate Vendor team organization diagram, including the Project Manager as the main point of contact.
  2. Identifies the geographic location of the firm and each team member.
  3. Describes the qualifications and experience of each proposed Vendor team member, including key areas of expertise of each team member, plus their anticipated level of participation for the proposed type of service.
  4. Identifies the anticipated level of participation as primary or supportive.



5. Clarifies who would be reasonably expected to perform the bulk of the work, and who would perform primarily oversight, QA/QC, and other supportive roles;
- c. Evidence of successful completion of similar projects.

**4. Work Plan / Project Understanding and Approach – 40 points**

- a. Depth and thoroughness of Vendor's understanding of the Project and the City's requirements;
- b. Identification and understanding of Project issues and challenges.
- c. Quality and logic of work plan;
- d. Logic of Project organization and appropriateness of resource estimate and labor distribution among the tasks;
- e. Adequacy of system or process for managing cost and budget;
- f. Adequacy of system or process for managing project schedule;
- g. Adequacy of system or process for communicating with the City.

**5. Value – 10 points**

- a. Appropriate number of hours budgeted for Project tasks;
- b. Reasonableness of Vendor's hourly rates, labor hours, and fee required to perform the work in relation to the scope of work.

**B. EVALUATION PROCEDURE**

An Evaluation Committee comprised of City staff will be appointed to review and evaluate all proposals received in accordance with the above criteria.

During the evaluation period, the City may do any or all of the following:

1. Generate a "short list" and conduct interviews with the top candidates;
2. Conduct on-site visits and/or tours of the candidates' places of business; and
3. Conduct negotiations with the most qualified candidate(s).

Vendors should be aware, however, that award may be made without Vendor visits, project visits, interviews, or further discussions or negotiations.

Subsequent to interviews, if conducted, the Evaluation Committee will further discuss and score the presentation and responses to questions using the same set of scoring of the interviews. The proposal score will count for 60% of the overall combined score and the interview, if scheduled, will count for 40% of the combined score. The final combined score will determine a final ranking of the Vendors.

**C. AWARD**

Vendors shall provide cost proposal(s) as described in Section V. Negotiations may or may not be conducted with Vendors; therefore, the proposal submitted should contain Vendor's most favorable terms and conditions, since the selection and award may be made without discussion with any Vendor. Should the City be unable to negotiate a satisfactory contract with the highest ranked Vendor, the City retains the right to terminate negotiations with the highest ranked Vendor and open negotiations with the next highest ranked Vendor.

City staff will submit a recommendation to City Council for consideration and approval of the proposal(s) evaluated by staff to be the most qualified for this project. The City anticipates making final selections and awards on or about **May 5, 2021**.

**D. CONTRACT TERM**

The initial contract term will be for one year and two months and shall be effective on or about May 5, 2021 through June 30, 2022.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms.

1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.

2) The second optional extension will be from July 1, 2024 through June 30, 2026.

**Contract Renewal:** The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index “All Urban Consumers” for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

## **SECTION IV.**

### **PROJECT DESCRIPTION AND SCOPE OF WORK**

The City of Corona DWP is seeking to contract with a reliable local On-Call Electric Motor Repair Services Shop. DWP has all types of Motors that need to be running and operational all year 24/7.

The Shop will be required to handle and service motors from 10 HP to 500 Hp. They will need the ability to pick up motors, dismantle, clean, analyze, repair, test, and deliver in very short periods of time.

The City has Wastewater Lift Stations that must be in service and running 24hrs a day 7 days a week and many other types of pumps that have to be in production.

The City will require to have a shop assist in energy savings and reducing energy consumptions.

The vendor will need to have experience with other Cities and understand the pumps and motors used in the water and wastewater industry.

The shop is expected to have top quality parts and material and will be necessary for the shop technicians to be fully trained. Quality Control is essential to the City with no service complaints and the ability to perform under emergency situations.

Describe the firm's experience in performing work of a similar nature to that solicited in this RFP, and highlight the participation in such work by the key personnel proposed for assignment to this project;

Identify sub-Vendors by company name, address, contact person, telephone number, project function, describe Vendor's experience working with each sub-Vendor and identify the scope of work to be performed by subVendors; and

Provide a minimum of 3 references from the projects cited as related experience. Reference shall include the name, title, address, telephone number, and email address of the person(s) at the client organization most knowledgeable about the work performed. Vendor may also supply references from other work not cited in this section as related experience.

#### **1. Proposed Staffing and Project Organization**

This section of the proposal should establish the qualifications and involvement of the proposed project staff. Vendor shall:

- a. Provide education, experience and applicable professional credentials of proposed project staff.
- b. Furnish brief resumes, not more than two pages, and at least three references, for key personnel.

- c. Identify key personnel proposed to perform the work in the specified tasks and include major areas of sub-Vendor work.
- d. Include a project organization chart which clearly delineates communication/reporting relationships among the project staff.
- e. Provide education, experience, and applicable professional credentials of proposed subcontractors.
- f. Include a statement that key personnel will be available to the extent proposed for the duration of the project acknowledging that no person designated as “key” to the project shall be removed or replaced without the prior written concurrence of the City.

## **2. Work Plan**

Vendor shall provide a narrative which addresses the Scope of Work and shows Vendor’s understanding of the City’s needs and requirements. Vendor shall:

- a. Describe the approach to completing the tasks specified in the Scope of Work.
- b. Outline sequentially the activities that would be undertaken in completing the tasks and specify who would perform them.
- c. Furnish an anticipated schedule including milestones necessary to complete the project.
- d. Provide a resource estimate of labor resources, utilizing a table projecting the labor-hour allocation to the project by individual task.
- e. Identify methods that Vendor will use to ensure quality control as well as budget and schedule control for the project.

Vendor may also propose enhancement or procedural or technical innovations to the Scope of Work which do not materially deviate from the objectives or required content of the project.

## **3. Exceptions/Deviations**

State any exceptions to or deviations from the requirements of this RFP on the Price Form where indicated. Where Vendor wishes to propose alternative approaches to meeting the City’s technical or contractual requirements, these should be thoroughly explained. Vendors are cautioned that exceptions or deviations from RFP requirements may cause their proposal to be rejected as non-responsive.

## **Time Extensions**

There will be no time extensions for routine delays in Project development design, plan check, or permit processing. These must be anticipated in your fee. Time extensions will **only** be authorized in writing as a change order to the contract when due to **major** changes in Scope of Services, unavailability of essential information or delays by others.

### **4. Alternative Work Schedule**

The Vendor should discuss the Project schedule and the ability to meet or exceed the milestones given. In the event it is determined that there are **major** deficiencies in the work schedule or that the work can be accomplished in less time, an alternative work schedule may be submitted along with an appropriate explanation in the Schedule Section of the proposal. City is under no obligation to consider such an alternative schedule.

### **5. Labor Hour Estimate and Fee Proposal**

Cost proposals are requested from all Vendors submitting proposals. After ranking of the Vendors by qualifications, the City will review the cost proposal and begin the negotiations with the most qualified Vendor. If agreement cannot be reached, then negotiations proceed to the next most qualified Vendor. The goal of negotiations is to agree on a final contract that delivers the services, or products required at a fair and reasonable cost to the City. Vendor shall:

- a. Provide an hourly rate schedule (labeled as Exhibit “C” Compensation) and an hourly cost breakdown by task showing labor hours, hourly labor rates, and fees by task.
- b. Provide a total “Maximum Not-to Exceed” fee for all services to be rendered and all materials to be furnished.

Items typically negotiated include:

- a. Work plan
- b. Schedule and deadlines
- c. Products to be delivered
- d. Classification, wage rates, and experience level of personnel to be assigned
- e. Cost items, payments, and fees

### **6. Appendices**

Information considered by Vendor to be pertinent to this Project and which has not been specifically solicited in any of the aforementioned sections may be placed in a separate appendix section. Vendors are cautioned, however, that this does not constitute

an invitation to submit large amounts of extraneous materials; **appendices should be relevant and brief.**

**7. Insurance**

Vendors shall submit evidence of ability to provide insurance in the amounts and with coverages as required in the attached Maintenance/General Services Agreement.

**B. LICENSING AND CERTIFICATION REQUIREMENTS**

By submitting a proposal, Vendor warrants that any and all licenses and/or certifications required by law, statute, code or ordinance in performing under the scope and specifications of this RFP are currently held by Vendor and are valid and in full force and effect. Copies or legitimate proof of such licensure and/or certification should be included in Vendor's proposal. **Proposals lacking copies and/or proof of said licenses and/or certifications may be deemed non-responsive and may be rejected.**

**C. PRICE FORM**

Vendor shall complete the Price Form in its entirety and state cash discounts offered. Unless discount payment terms are offered, payment terms shall be "Net 30 Days". Payment due dates, including discount period, will be computed from date of City acceptance of the required services or of a correct and complete invoice, whichever is later, to the date City's check is mailed. Any discounts taken will be taken on full amount of invoice, unless other charges are itemized, and discount thereon is disallowed.

Vendor shall include in all monthly invoices the running total of the amount billed to the City and the remaining contract balance.

**D. MODIFICATIONS OF PROPOSALS**

Each Vendor shall submit its Proposal in strict conformity with the requirements of the Contract Documents. Unauthorized additions, modifications, revisions, conditions, limitations, exclusions or provisions attached to a Proposal may render it non-responsive and may cause its rejection. Proposals shall neither delete, modify, nor supplement the printed matter on the Proposal Forms, nor make substitutions thereon. Oral, telephonic and electronic modifications will not be considered.

**E. NON-COLLUSION DECLARATION/AGREEMENT ACKNOWLEDGEMENT**

Vendor shall complete and sign the Non-Collusion Declaration and Acknowledgment of the City of Corona Agreement on the following pages and submit with proposal.

**F. PROPOSAL CHECKLIST**

- ☐ Cover Letter
- ☐ Technical Proposal
- ☐ Non-Collusion Declaration
- ☐ Acknowledgment of the Terms and Conditions of the City of Corona  
Maintenance/General Services Agreement
- ☐ Acknowledgement of Insurance Requirements Check List
- ☐ Completed Insurance Requirements Check List
- ☐ Vendor's Statement of Past Contract Disqualifications
- ☐ Price Form
- ☐ Fee Proposal
- ☐ Acknowledgement of Vendor Performance Evaluation Form

PARTY SUBMITTING PROPOSAL: \_\_\_\_\_

Not required to be notarized

**NON-COLLUSION DECLARATION  
(TO BE EXECUTED BY VENDOR AND SUBMITTED WITH PROPOSAL)**

The undersigned declares:

I am the \_\_\_\_\_ [title] of  
\_\_\_\_\_ [proposer], the party making the foregoing bid.

The proposal is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation. The proposal is genuine and not collusive or a sham. The proposer has not directly or indirectly induced or solicited any other proposer to put in a false or sham bid. The proposer has not directly or indirectly colluded, conspired, plotted, or agreed with any proposer or anyone else to put in a sham bid, or to refrain from submitting a proposal. The proposer has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the proposal price of the proposer or any other proposer, or to fix any overhead, profit, or cost element of the proposal price, or of that of any other proposer. All statements contained in the proposal are true. The proposer has not, directly or indirectly, submitted his or her proposal price, or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof to effectuate a collusive or sham proposal, and has not paid, and will not pay, any person or entity for such purpose.

Any person executing this declaration on behalf of a proposer that is a corporation, partnership, joint venture, limited liability company, limited liability partnership, or any other entity, hereby represents that he or she has full power to execute, and does execute, this declaration on behalf of the proposer.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this declaration is executed on \_\_\_\_\_  
[date], at \_\_\_\_\_ [city], \_\_\_\_\_ [state].

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Party Submitting Proposal



**ACKNOWLEDGMENT OF THE TERMS AND CONDITIONS OF THE CITY OF  
CORONA MAINTENANCE/GENERAL SERVICES AGREEMENT**

This is to acknowledge that we have read the City of Corona Maintenance/General Services Agreement and will sign the Agreement, as presented, without exception, for the City's RFP 21-050RH.

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

## ACKNOWLEDGMENT OF THE INSURANCE REQUIREMENTS CHECK SHEET

***(TO BE COMPLETED AND SUBMITTED WITH VENDOR'S PROPOSAL)***

All applicable insurance requirements to this RFP are identified with a 'YES' under the "Applicable to Vendor" column on the RFP Insurance Requirements Check List.

Vendor acknowledges that we have reviewed the City of Corona Insurance Requirements Check Sheet and understand that we will be able to provide the insurance coverage required. A sample certificate of insurance is enclosed for the City's preliminary review. Any deductibles or self-insured retention amounts have been specified below for City's review and approval.

Deductible Amounts/Self-insured Retentions:

---

---

---

---

---

(Firm Name)

---

(Print name and title of person signing for firm)

---

(Signature/Date)

City of Corona  
RFP 21-050RH Insurance Requirements Check List  
(To be Completed and Submitted with Vendor's Proposal)

All applicable insurance requirements are identified with a 'YES' under the "Applicable to Vendor" column. Indicate Yes or No below if you are able to comply with the requirement.

	YES	NO	Applicable to Vendor
Can your company provide General Liability - \$1M occurrence/\$2M aggregate?			YES
Can your company provide Automobile Liability - \$1M?			YES
Can your company provide Workers Compensation and Employer's Liability - \$1M?			YES
Can your company provide Errors and Omissions (Professional) Liability Insurance - \$1M occurrence/\$2M aggregate?			Not Applicable
Can your company provide Technology Professional Errors and Omissions Liability Insurance - \$2M occurrence or \$2M aggregate?			Not Applicable
Can your company provide Builders'/All Risk for the completed value of the project naming the City as the loss payee?			Not Applicable
Can your company provide Contractor's Pollution Liability and Transportation Pollution Liability with minimum limits of \$1 million/\$2 million with a primary Additional Insured endorsement?			NO
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):VII and licensed as an admitted insurance carrier in California?			YES
Can your company provide coverage with an insurer with a current A.M. Best's rating no less than (A-):X and authorized to issue the required policies in California?			YES

**Insurance Endorsements  
General Liability**

	YES	NO	Applicable to Vendor
(Occurrence form CG 0001)			YES
Will your company provide an insurance policy that states the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith?			YES
Will your company provide an insurance policy that states any person or organization whom you have agreed to include as an additional insured under a written contract? provided such contract was executed prior to the date of loss?			YES
Can your company provide Completed Operations as evidenced with the following endorsements?			YES
Endorsement form CG 20 10 11 85 <b>OR</b>			YES
CG 20 37 <b>and</b> one of the following			YES
CG 20 10			YES
CG 20 26			
CG 20 33			
CG 20 38			
Will your company provide a General Liability endorsement stating that the insurance coverage shall be primary any City insurance will be in excess of the contractors' insurance and will not be called upon to contribute Endorsement Form shall be as broad as CG 20 01 04 13?			YES

### Automobile Liability

	YES	NO	Applicable to Vendor
Does your insurance cover Owned automobiles with Form number CA 0001 code 1 (Any Auto)?			YES
If your company does not have owned automobiles, does your insurance cover No owned autos Code 8 (hired) <b>and</b> 9 (non-owned)?			YES

### Workers' Compensation

	YES	NO	Applicable to Vendor
Will your company provide a waiver for all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Vendor?			YES
Will your company provide a Waiver of Subrogation – All Other Policies. Vendor hereby waives all rights of subrogation any insurer of Vendor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Vendor?			YES
Will your insurance policies have a (30) days' notice of cancellation endorsement?			YES
If your firm is unable to provide a (30) day notice of cancellation will your firm sign a City provided statement that the Vendor shall notify the City within two business days any notice of cancellation?			YES
Does your insurance have any deductibles and/or self-insurance retentions?			YES

Use the space below to explain any **"NO"** responses.

---

---

---

---

---

---

---

---

---

## VENDOR'S STATEMENT OF PAST CONTRACT DISQUALIFICATIONS

Vendor is required to state any and all instances of being disqualified, removed, or otherwise prevented from submitting a proposal, or completing any contracts for similar services as detailed in RFP 21-050RH.

1. Have you ever been disqualified from any contract? (circle one)      Yes      No

2. If yes, explain the circumstances:

[illegible]

(Firm Name)

(Print name and title of person signing for firm)

(Signature/Date)

## **Vendor Performance Evaluation Form**

<b>Department:</b>			<b>Division:</b>	
<b>Prepared By:</b>			<b>Title:</b>	
<b>Vendor Name:</b>			<b>P. O. #:</b>	
<b>Contract Amount: \$</b>			<b>Change Order Amount: \$</b>	
<b>Project Name:</b>				
<b>Description of Project:</b>				
<b>Date Prepared:</b>				
<b>Performance Evaluation Period: (select one)</b>				
<b>Weekly</b> <input type="radio"/>	<b>Monthly</b> <input type="radio"/>	<b>Quarterly</b> <input type="radio"/>	<b>Annually</b> <input type="radio"/>	<b>Other</b> <input type="radio"/>
<b>Vendor Category: (select one)</b>				
General and Maintenance Services - Commercial services provided on a frequent basis such as catering, lawn service, general maintenance, or cleaning. <span style="float: right;"><input type="radio"/></span>			Professional Service - unique, technical, and/or infrequent functions performed by an independent Vendor/vendor qualified by education, experience, and/or technical ability to provide services. <span style="float: right;"><input type="radio"/></span>	
Products - a supplier of a tangible object that is manufactured or refined for sale. <span style="float: right;"><input type="radio"/></span>			Software - a supplier of technology infrastructure or any license/maintenance based, or cloud based software, requiring access to the City's information technology system. <span style="float: right;"><input type="radio"/></span>	
<b>Evaluation Score Range and Criteria Factors</b>				
<b>EXCELLENT</b>	<b>ABOVE AVERAGE</b>	<b>AVERAGE</b>	<b>BELOW AVERAGE</b>	<b>UNSATISFACTORY</b>
5 (4.50-5.00)	4 (3.20-4.49)	3 (2.60-3.19)	2 (1.81-2.59)	1 (1.00-1.80)
<ol style="list-style-type: none"> <li>1. <i>Quality of Goods and Services: A measure to determine if the goods/ service received met the quality desired.</i></li> <li>2. <i>Quality of Work Performed: A measure to determine if the actual performed met the quality desired.</i></li> <li>3. <i>Timeliness of Delivery of Goods: A measure to determine if the goods delivered met (at minimum) the date specified to the vendor.</i></li> <li>4. <i>Compliance with Law and Regulations: A measure to determine if the supplier adhered to compliance law and regulations related to the nature of work or product delivered.</i></li> <li>5. <i>Safety and Protection: A measure to determine if the supplier followed all safety precautions and wore the appropriate protection gear to perform the service.</i></li> <li>6. <i>Appropriate of Tools/Technology: A measure to determine if the vendor provided tools/technology that aligned with requirements.</i></li> </ol>				

7. *Customer Service: How knowledgeable was the vendor regarding the product or service, was the vendor proactive in addressing City staff problems or concerns regarding the product or service.*
8. *Overall Timeliness of Invoices: Invoices for payment were submitted on a timely basis reflective to the contract.*
9. *Overall accuracy of Invoices: Invoices for payment were accurate and complete, covering the Work completed as of the date of the Application, inclusive of all required attachments and backup data*

For each category identified below, enter the score (1 – 5) with 1 being unsatisfactory and 5 being excellent

<b>Evaluation Criteria</b>	<b>Evaluation Score</b>				
1. <i>Quality of Goods and Services</i>	5	4	3	2	1
2. <i>Quality of Work Performed</i>	5	4	3	2	1
3. <i>Timeliness of Delivery of Goods</i>	5	4	3	2	1
4. <i>Compliance with Law and Regulations</i>	5	4	3	2	1
5. <i>Safety and Protection</i>	5	4	3	2	1
6. <i>Appropriate of Tools/Technology</i>	5	4	3	2	1
7. <i>Customer Service</i>	5	4	3	2	1
8. <i>Overall Timeliness of Invoices</i>	5	4	3	2	1
9. <i>Overall accuracy of Invoices</i>	5	4	3	2	1

EXAMPLE:

OVERALL EVALUATION SCORE

4. 89

OVERALL EVALUATION RATING

EXCELLENT

## **ACKNOWLEDGMENT OF THE VENDOR PERFORMANCE EVALUATION FORM**

This is to acknowledge that we have read the City of Corona Vendor Performance Evaluation Form and understand a version of this type of form will be used to provide the basis for periodic assessments by the City to establish contract performance metrics.

---

(Firm name)

---

(Print name and title of person signing for firm)

---

(Signature/date)



**SECTION VI.**  
**PRICE FORM**

REQUEST FOR PROPOSALS: **RFP 21-050RH**

DESCRIPTION OF WORK: **ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC  
MOTOR REPAIR SERVICES**

VENDOR'S NAME/ADDRESS:

---

---

---

---

NAME/TELEPHONE NO. OF  
AUTHORIZED REPRESENTATIVE

---

---

Please complete and upload the Price Form in its entirety into the PlanetBids electronic bidding system, and attach separate Excel spreadsheets with Vendor's fee schedule, including:

- 1) A copy of the Vendor's hourly rate schedule (labeled as Exhibit "C" Compensation) and an hourly cost breakdown by task.
- 2) A total "Maximum Not-to Exceed" fee for all services to be rendered and all materials to be furnished.

Please indicate any elements of the Technical Specifications which cannot be met by your firm.

---

---

---

---

Have you included in your proposal all requested informational items and forms? Yes / No  
(circle one). If you answered "No", please explain: \_\_\_\_\_

---

---

Are you on the list of ineligible bidders or have you been or are you on any federal list of debarred or suspended bidders? Yes / No. (circle one)

This offer shall remain firm for 90 days from RFP close date.

Terms and conditions as set forth in this RFP apply to this proposal.

Unless otherwise stated, payment terms are: Net thirty (30) days.

In signing this proposal, Vendor warrants that all certifications and documents requested herein are attached and properly completed and signed.

From time to time, the City may issue one or more addenda to this RFP. Below, please indicate all Addenda to this RFP received by your firm, and the date said Addenda was/were received.

Verification of Addenda Received

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

Addenda No: \_\_\_\_\_ Received on: \_\_\_\_\_

AUTHORIZED SIGNATURE: \_\_\_\_\_

PRINT SIGNER'S NAME AND TITLE: \_\_\_\_\_

DATE SIGNED: \_\_\_\_\_

COMPANY NAME & ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**SECTION VII.**  
**FORM OF AGREEMENT**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this [\*\*\*INSERT DAY\*\*\*] day of [\*\*\*INSERT MONTH\*\*\*], [\*\*\*INSERT YEAR\*\*\*] (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and [\*\*\*INSERT NAME\*\*\*], a [\*\*\*[INSERT TYPE OF ENTITY - CORPORATION, PARTNERSHIP, SOLE PROPRIETORSHIP OR OTHER LEGAL ENTITY]\*\*\*] with its principal place of business at [\*\*\*INSERT ADDRESS\*\*\*] (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. Recitals.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing [\*\*\*INSERT TYPE OF SERVICES\*\*\*] services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the [\*\*\*INSERT NAME OF PROJECT\*\*\*] project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that

RFP 21-050RH                      Section VII. Form of Agreement - Page 1 of 21  
On-Call In-Field In-Shop Electric Motor Repair Services \*\*\*\*\*SAMPLE – DO NOT EXECUTE\*\*\*\*\*

this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

### **3. Terms.**

#### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional [\*\*\*INSERT TYPE OF SERVICES\*\*\*] maintenance or other general services necessary for the Project ("Services"). The Services are more particularly described in Exhibit "A" attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from [\*\*\*INSERT START DATE\*\*\*] to [\*\*\*INSERT ENDING DATE\*\*\*] ("Term"), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a "Renewal Term"). The terms "Term" and "Renewal Term" may sometimes be generally and collectively referred to as "Term" in this Agreement.

#### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor's exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers' compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit "B" attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents

that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor's conformance with the Schedule, City shall respond to Contractor's submittals in a timely manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates [\*\*\*INSERT NAME OR TITLE\*\*\*], or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its subsections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

RFP 21-050RH                      Section VII. Form of Agreement - Page 5 of 21  
On-Call In-Field In-Shop Electric Motor Repair Services \*\*\*\*\*SAMPLE – DO NOT EXECUTE\*\*\*\*\*

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City, its directors, officials, officers,



employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation, claims administration and defense

expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall

execute and provide to City concurrently with this Agreement a Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-:VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-:X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed [\*\*\*INSERT WRITTEN DOLLAR AMOUNT\*\*\*] (\$[\*\*\*INSERT NUMERICAL DOLLAR AMOUNT\*\*\*]) ("Total Compensation") without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker

needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

**3.3.6 Apprenticeable Crafts.** If the services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

**3.4.1 Grounds for Termination.** City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

**3.4.2 Effect of Termination.** If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

**3.4.3 Additional Services.** In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

**3.5.1 Delivery of Notices.** All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

[\*\*\*INSERT NAME, ADDRESS & CONTACT PERSON\*\*\*]

RFP 21-050RH                      Section VII. Form of Agreement - Page 11 of 21  
On-Call In-Field In-Shop Electric Motor Repair Services \*\*\*\*SAMPLE – DO NOT EXECUTE\*\*\*\*

**City:**

City of Corona

400 South Vicentia Avenue

Corona, CA 92882

Attn: General Manager, Department of Water & Power or their designee.

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system. .

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.



**[SIGNATURES ON NEXT 2 PAGES]**

**CITY’S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

Attest:

\_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
City Clerk

**VENDOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH [\*\*\*INSERT NAME\*\*\*]**  
**ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**[\*\*\*INSERT NAME OF VENDOR\*\*\*]**  
a **[\*\*\*INSERT TYPE OF LEGAL ENTITY\*\*\*]**

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

By: \_\_\_\_\_  
[\*\*\*INSERT NAME\*\*\*]  
[\*\*\*INSERT TITLE\*\*\*]

## **EXHIBIT “A” SCOPE OF SERVICES**

The City of Corona DWP is seeking to contract with a reliable local On-Call Electric Motor Repair Services Shop. DWP has all types of Motors that need to be running and operational all year 24/7.

The Shop will be required to handle and service motors from 10 HP to 500 Hp. They will need the ability to pick up motors, dismantle, clean, analyze, repair, test, and deliver in very short periods of time.

The City has Wastewater Lift Stations that must be in service and running 24hrs a day 7 days a week and many other types of pumps that have to be in production.

The City will require to have a shop assist in energy savings and reducing energy consumptions.

The vendor will need to have experience with other Cities and understand the pumps and motors used in the water and wastewater industry.

The shop is expected to have top quality parts and material and will be necessary for the shop technicians to be fully trained. Quality Control is essential to the City with no service complaints and the ability to perform under emergency situations.

Describe the firm’s experience in performing work of a similar nature to that solicited in this RFP, and highlight the participation in such work by the key personnel proposed for assignment to this project;

Identify sub-Vendors by company name, address, contact person, telephone number, project function, describe Vendor’s experience working with each sub-Vendor and identify the scope of work to be performed by sub-Vendors; and

Provide a minimum of 3 references from the projects cited as related experience. Reference shall include the name, title, address, telephone number, and email address of the person(s) at the client organization most knowledgeable about the work performed. Vendor may also supply references from other work not cited in this section as related experience.

**EXHIBIT “B”  
SCHEDULE OF SERVICES**

**[\*\*\*INSERT SCHEDULE\*\*\*]**

**EXHIBIT “C”  
COMPENSATION**

**[\*\*\*INSERT RATES & AUTHORIZED REIMBURSABLE EXPENSES\*\*\*]**

## Addenda

[View Addenda Acknowledgments](#)

March 15, 2021 (1) RFP 21-050RH - Revised Proposal Due Date/Time  
Proposal deadline moved to 10:00 AM, March 24, 2021



## RFP SUMMARY

### Administrative Services Department - Purchasing Division

**DATE:** April 19, 2021

**SUBJECT:** RFP Results

RFP No.: RFP 21-050RH

RFP Name: On-Call In-Field In-Shop Electric Motor Repair Services

RFP Open Date: February 10, 2021

RFP Close Date: March 17, 2021; 10:00 a.m.

Advertised Date: February 10, 2021

No. of Vendors solicited: 13

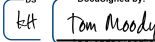
No. of Proposals received: 2

Rank	Company	City/State
1	Superior Electric Motor Service, Inc	Vernon, CA
2	Energy Management Electric, Corp.	Pomona, CA

Proposals have been evaluated and the summary is provided as a matter of information only. A contract award to the highest-ranked proposal is tentative upon final approval of the City's authorized contracting party.

The highest-ranking proposal was submitted by Superior Electric Motor Services, Inc. of Vernon, CA.

Sign below if you concur with the proposal results and wish to proceed to City Council for action with award of a contract and purchase order to the highest rated proposal.

Approved By:    
 Signature  
 Tom Moody  
 Name  
 General Manager  
 Title

RFP 21-050RH  
 On-Call In-Field In-Shop Electric Motor Repair Services for DWP



**CITY OF CORONA  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH ENERGY MANAGEMENT CORPORATION  
(ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES – RFP 21-050RH)**

**1. PARTIES AND DATE.**

This Agreement is made and entered into this 7th day of July, 2021 (“Effective Date”) by and between the City of Corona, a municipal corporation organized under the laws of the State of California with its principal place of business at 400 South Vicentia Avenue, Corona, California 92882 (“City”) and Energy Management Corporation, Inc., a Utah Corporation with its principal place of business at 501 West 700 South, Salt Lake City, UT 84101 (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Agreement.

**2. RECITALS.**

**2.1 Contractor.**

Contractor desires to perform and assume responsibility for the provision of certain maintenance or other general services required by the City on the terms and conditions set forth in this Agreement. Contractor represents that it is experienced in providing Electric Motor Repair services to public clients, that it and its employees or subcontractors have all necessary licenses and permits to perform the Services in the State of California, and that is familiar with the plans of City. Contractor shall not subcontract any portion of the work required by this Agreement, except as expressly stated herein, without prior written approval of City. Subcontracts, if any, shall contain a provision making them subject to all provisions stipulated in this Agreement.

**2.2 Project.**

City desires to engage Contractor to render such services for the **ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES – RFP 21-050RH** project (“Project”) as set forth in this Agreement.

**2.3 Corona Utility Authority.**

Contractor understands that the City has entered into a Water Enterprise Management Agreement and a Wastewater Enterprise Management Agreement, both dated as of February 6, 2002, with the Corona Utility Authority (“CUA”) for the maintenance, management and operation of those utility systems (collectively, the “CUA Management Agreements”). To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, City enters into this Agreement on behalf of the CUA and subject to the terms of the applicable CUA Management Agreement(s).

### **3. TERMS.**

#### **3.1 Scope of Services and Term.**

3.1.1 General Scope of Services. Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional Electric Motor Repair services necessary for the Project (“Services”). The Services are more particularly described in Exhibit “A” attached hereto and incorporated herein by reference. All Services shall be subject to, and performed in accordance with, this Agreement, the exhibits attached hereto and incorporated herein by reference, and all applicable local, state and federal laws, rules and regulations.

3.1.2 Term. The term of this Agreement shall be from July 7, 2021 to June 30, 2022 (“Term”), unless earlier terminated as provided herein. Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines. The Parties may, by mutual, written consent, extend the Term of this Agreement one or more times by executing a written amendment pursuant to Section 3.5.8 below (each a “Renewal Term”). The terms “Term” and “Renewal Term” may sometimes be generally and collectively referred to as “Term” in this Agreement.

#### **3.2 Responsibilities of Contractor.**

3.2.1 Control and Payment of Subordinates; Independent Contractor. The Services shall be performed by Contractor or under its supervision. Contractor will determine the means, methods and details of performing the Services subject to the requirements of this Agreement. City retains Contractor on an independent contractor basis and not as an employee. Contractor retains the right to perform similar or different services for others during the Term of this Agreement. Any additional personnel performing the Services under this Agreement on behalf of Contractor shall also not be employees of City and shall at all times be under Contractor’s exclusive direction and control. Contractor shall pay all wages, salaries, and other amounts due such personnel in connection with their performance of Services under this Agreement and as required by law. Contractor shall be responsible for all reports and obligations respecting such additional personnel, including, but not limited to: social security taxes, income tax withholding, unemployment insurance, disability insurance, and workers’ compensation insurance.

3.2.2 Schedule of Services. Contractor shall perform the Services within the Term of this Agreement, in accordance with the Schedule of Services set forth in Exhibit “B” attached hereto and incorporated herein by reference, and in accordance with any other completion schedule or milestones which may be separately agreed upon in writing by the Parties. Contractor represents that it has the professional and technical personnel required to perform the Services in conformance with such conditions. In order to facilitate Contractor’s conformance with the Schedule, City shall respond to Contractor’s submittals in a timely

manner. Upon request of City, Contractor shall provide a more detailed schedule of anticipated performance to meet the Schedule of Services.

3.2.3 Conformance to Applicable Requirements. All Services performed by Contractor shall be subject to the approval of City.

3.2.4 City's Representative. The City hereby designates Tom Moody, or his or her designee, to act as its representative for the performance of this Agreement ("City's Representative"). City's Representative shall have the power to act on behalf of the City for all purposes under this Agreement. Contractor shall not accept direction or orders from any person other than the City's Representative or his or her designee.

3.2.5 Contractor's Representative. Contractor hereby designates Henry Stimson, or his or her designee, to act as its representative for the performance of this Agreement ("Contractor's Representative"). Contractor's Representative shall have full authority to represent and act on behalf of the Contractor for all purposes under this Agreement. The Contractor's Representative shall supervise and direct the Services, using his best skill and attention, and shall be responsible for all means, methods, techniques, sequences and procedures and for the satisfactory coordination of all portions of the Services under this Agreement.

3.2.6 Coordination of Services. Contractor agrees to work closely with City staff in the performance of Services and shall be available to City's staff, consultants and other staff at all reasonable times.

3.2.7 Standard of Care; Performance of Employees. Contractor shall perform all Services under this Agreement in a skillful and competent manner, consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Contractor represents and maintains that it is skilled in the professional calling necessary to perform the Services. Contractor agrees that all employees and subcontractors shall have sufficient skill and experience to perform the Services assigned to them. Finally, Contractor represents that it, its employees and subcontractors shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the Services, including a City Business License, and that such licenses and approvals shall be maintained throughout the Term of this Agreement. As provided for in the indemnification provisions of this Agreement, Contractor shall perform, at its own cost and expense and without reimbursement from the City, any services necessary to correct errors or omissions which are caused by the Contractor's failure to comply with the standard of care provided for herein. Any employee of the Contractor or its sub-contractors who is determined by the City to be uncooperative, incompetent, a threat to the adequate or timely completion of the Project, a threat to the safety of persons or property, or any employee who fails or refuses to perform the Services in a manner acceptable to the City, shall be promptly removed from the Project by the Contractor and shall not be re-employed to perform any of the Services or to work on the Project.

3.2.8 Disputes. Should any dispute arise respecting the true value of any work done, of any work omitted, or of any extra work which Contractor may be required to do, or respecting the size of any payment to Contractor during the performance of this Contract, Contractor shall continue to perform the Work while said dispute is decided by the City. If Contractor disputes the City's decision, Contractor shall have such remedies as may be provided by law.

3.2.9 Laws and Regulations; Employee/Labor Certifications. Contractor shall keep itself fully informed of and in compliance with all local, state and federal laws, rules and regulations in any manner affecting the performance of the Project or the Services, including all Cal/OSHA requirements, and shall give all notices required by law. Contractor shall be liable for all violations of such laws and regulations in connection with Services. If the Contractor performs any work or Services knowing them to be contrary to such laws, rules and regulations and without giving written notice to the City, Contractor shall be solely responsible for all costs arising therefrom. City is a public entity of the State of California subject to certain provisions of the Health & Safety Code, Government Code, Public Contract Code, and Labor Code of the State. It is stipulated and agreed that all provisions of the law applicable to the public contracts of a municipality are a part of this Contract to the same extent as though set forth herein and will be complied with. These include but are not limited to the payment of prevailing wages, the stipulation that eight (8) hours' labor shall constitute a legal day's work and that no worker shall be permitted to work in excess of eight (8) hours during any one calendar day except as permitted by law. Contractor shall defend, indemnify and hold City, its officials, directors, officers, employees and agents free and harmless, pursuant to the indemnification provisions of this Agreement, from any claim or liability arising out of any failure or alleged failure to comply with such laws, rules or regulations.

3.2.9.1 Employment Eligibility; Contractor. By executing this Agreement, Contractor verifies that it fully complies with all requirements and restrictions of state and federal law respecting the employment of undocumented aliens, including, but not limited to, the Immigration Reform and Control Act of 1986, as may be amended from time to time. Such requirements and restrictions include, but are not limited to, examination and retention of documentation confirming the identity and immigration status of each employee of the Contractor. Contractor also verifies that it has not committed a violation of any such law within the five (5) years immediately preceding the date of execution of this Agreement, and shall not violate any such law at any time during the Term of the Agreement. Contractor shall avoid any violation of any such law during the Term of this Agreement by participating in an electronic verification of work authorization program operated by the United States Department of Homeland Security, by participating in an equivalent federal work authorization program operated by the United States Department of Homeland Security to verify information of newly hired employees, or by some other legally acceptable method. Contractor shall maintain records of each such verification, and shall make them available to the City or its representatives for inspection and copy at any time during normal business hours. The City shall not be responsible for any costs or expenses related to Contractor's compliance with the requirements provided for in Section 3.2.9 or any of its sub-sections.

3.2.9.2 Employment Eligibility; Subcontractors, Sub-subcontractors and Consultants. To the same extent and under the same conditions as Contractor, Contractor shall require all of its subcontractors, sub-subcontractors and consultants performing any work or Services relating to the Project or this Agreement to make the same verifications and comply with all requirements and restrictions provided for in Section 3.2.9.1.

3.2.9.3 Employment Eligibility; Failure to Comply. Each person executing this Agreement on behalf of Contractor verifies that they are a duly authorized officer of Contractor, and understands that any of the following shall be grounds for the City to terminate the Agreement for cause: (1) failure of Contractor or its subcontractors, sub-subcontractors or consultants to meet any of the requirements provided for in Sections 3.2.9.1 or 3.2.9.2; (2) any misrepresentation or material omission concerning compliance with such requirements (including in those verifications provided to the Contractor under Section 3.2.9.2); or (3) failure to immediately remove from the Project any person found not to be in compliance with such requirements.

3.2.9.4 Labor Certification. By its signature hereunder, Contractor certifies that it is aware of the provisions of Section 3700 of the California Labor Code which require every employer to be insured against liability for Workers' Compensation or to undertake self-insurance in accordance with the provisions of that Code, and agrees to comply with such provisions before commencing the performance of the Services.

3.2.9.5 Equal Opportunity Employment. Contractor represents that it is an equal opportunity employer and it shall not discriminate against any subconsultant, employee or applicant for employment because of race, religion, color, national origin, handicap, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination. Contractor shall also comply with all relevant provisions of City's Minority Business Enterprise program, Affirmative Action Plan or other related programs or guidelines currently in effect or hereinafter enacted.

3.2.9.6 Air Quality. Contractor must fully comply with all applicable laws, rules and regulations in furnishing or using equipment and/or providing services, including, but not limited to, emissions limits and permitting requirements imposed by the South Coast Air Quality Management District (SCAQMD) and/or California Air Resources Board (CARB). Although the SCAQMD and CARB limits and requirements are more broad, Contractor shall specifically be aware of their application to "portable equipment", which definition is considered by SCAQMD and CARB to include any item of equipment with a fuel-powered engine. Contractor shall indemnify City against any fines or penalties imposed by SCAQMD, CARB, or any other governmental or regulatory agency for violations of applicable laws, rules and/or regulations by Contractor, its subcontractors, or others for whom Contractor is responsible under its indemnity obligations provided for in this Agreement.

### 3.2.10 Insurance.

3.2.10.1 Time for Compliance. Promptly following the Effective Date of this Agreement, but in no event before Contractor commences any Services under this Agreement, Contractor shall provide evidence satisfactory to the City that it has secured all insurance required under this section. Failure to provide and maintain all required insurance shall be grounds for the City to terminate this Agreement for cause.

3.2.10.2 Minimum Requirements. Contractor shall, at its expense, procure and maintain for the duration of the Agreement insurance against claims for injuries to persons or damages to property which may arise from or in connection with the performance of the Agreement by the Contractor, its agents, representatives, employees or subcontractors. Contractor shall also require all of its subcontractors to procure and maintain the same insurance for the duration of the Agreement. Such insurance shall meet at least the following minimum levels of coverage:

(A) Minimum Scope of Insurance. Coverage shall be at least as broad as the latest version of the following: (1) *General Liability*: Insurance Services Office Commercial General Liability coverage (occurrence form CG 0001); (2) *Automobile Liability*: Insurance Services Office Business Auto Coverage form number CA 0001, code 1 (any auto), or if Contractor has no owned autos, Code 8 (hired) and 9 (non-owned); and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation insurance as required by the State of California and Employer's Liability Insurance.

(B) Minimum Limits of Insurance. Contractor shall maintain limits no less than: (1) *General Liability*: \$1,000,000 per occurrence for bodily injury, personal injury, advertising injury and property damage. If Commercial General Liability Insurance or other form with general aggregate limit is used including, but not limited to, form CG 2503, either the general aggregate limit shall apply separately to this Agreement/location or the general aggregate limit shall be twice the required occurrence limit; (2) *Automobile Liability*: \$1,000,000 per accident for bodily injury and property damage; and (3) *Workers' Compensation and Employer's Liability*: Workers' Compensation limits as required by the Labor Code of the State of California. Employer's Liability limits of \$1,000,000 per accident for bodily injury or disease.

3.2.10.3 Insurance Endorsements. The insurance policies shall contain or be endorsed (amended) to include the following provisions:

(A) General Liability. The general liability policy shall state that: (1) the City, its directors, officials, officers, employees, agents, and volunteers shall be covered as additional insured with respect to liability arising out of work or operations performed by or on behalf of the Contractor, including materials, parts or equipment furnished in connection therewith (the endorsement form shall be at least as broad as ISO Form CG 20 10 11 85 or both CG 20 37 and one of the following: CG 20 10, CG 20 26, CG 20 33 or CG 20 38); and (2) the insurance coverage shall be primary insurance coverage as respects the City, its directors, officials, officers, employees, agents, and volunteers (the endorsement form shall be at least as broad as ISO CG 20 01 04 13). Any insurance or self-insurance maintained by the City,

its directors, officials, officers, employees, agents, and volunteers shall be excess of the Contractor's insurance and shall not be called upon to contribute with it in any way.

(B) Waiver of Subrogation – Workers' Compensation and Employer's Liability Coverage. The insurer shall agree to waive all rights of subrogation against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of the insurance policy which arise from work or Services performed by the Contractor.

(C) All Coverages. If Contractor maintains broader coverage and/or higher limits than the minimums shown above, the City is entitled to the broader coverage and/or higher limits maintained by Contractor. Thus, any available insurance proceeds in excess of the specified minimum limits of insurance and coverage shall be available to the City.

3.2.10.4 Other Provisions; Endorsements Preferred. Contractor shall endeavor to provide endorsements regarding the following provisions, but nonetheless understands, acknowledges and agrees that the following provisions shall apply and that failure to comply shall be considered to be a breach of this Agreement by Contractor:

(A) Waiver of Subrogation – All Other Policies. Contractor hereby waives all rights of subrogation any insurer of Contractor's may acquire against the City, its directors, officials, officers, employees, agents, and volunteers for losses paid under the terms of any insurance policy which arise from work or Services performed by the Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

(B) Notice. Contractor shall either: (1) require its insurer to provide thirty (30) days prior written notice to the City before coverage is suspended, voided, or canceled; or (2) notify City in writing that such notice is not available and forward any notice of such actions to the City within two (2) business days from date of receipt by Contractor. Contractor understands, acknowledges and agrees that this provision is in full force and effect even if the City does not receive a waiver of subrogation endorsement from the insurer.

3.2.10.5 Claims Made Policies. The following provisions shall apply to all policies that provide coverage on a claims-made basis: (A) the retroactive date must be shown and must be before the date on which any Services under this Agreement commence; (B) the insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the Project; and (C) if coverage is canceled or not renewed and is not replaced with another claims-made policy with a retroactive date prior to the date on which any Services under this Agreement commence, Contractor must purchase "extended reporting" coverage for a minimum of five (5) years after completion of Project.

3.2.10.6 Deductibles and Self-Insurance Retentions. Any deductibles or self-insured retentions must be declared to and approved by the City. The City may require the Contractor to provide proof of ability to pay losses and related investigation,

claims administration and defense expenses within the deductible or self-insured retention. The deductible or self-insured retention may be satisfied by either the named insured or the City.

3.2.10.7 Acceptability of Insurers. Unless under the circumstances a different rating is otherwise acceptable to the City in its sole and absolute discretion, insurance is to be placed with insurers which are satisfactory to the City and which meet either of the following criteria : (1) an insurer with a current A.M. Best's rating no less than A-:VII and licensed as an admitted insurance carrier in California; or (2) an insurer with a current A.M. Best's rating no less than A-:X and authorized to issue the required policies in California.

3.2.10.8 Verification of Coverage. Contractor shall furnish City with original certificates of insurance, as well as amendatory endorsements or copies of the applicable policy language effecting coverage required by this Agreement. All documents must be received and approved by the City before any Services commence; provided, however, that failure to obtain the required documents prior to the commencement of Services shall not waive Contractor's obligation to provide them. The City reserves the right to require complete, certified copies of all required insurance policies, at any time.

3.2.10.9 Reporting of Claims. Contractor shall report to the City, in addition to Contractor's insurer, any and all insurance claims submitted by Contractor in connection with the Services under this Agreement.

3.2.10.10 Sub-Contractors. All subcontractors shall comply with each and every insurance provision of this Section 3.2.10. Contractor shall therefore not allow any subcontractor to commence work on any subcontract to perform any part of the Services until it has provided evidence satisfactory to the City that the subcontractor has secured all insurance required under this Agreement.

3.2.10.11 Special Risk or Circumstances. The City reserves the right, in its sole and absolute discretion, to modify the requirements of this Section 3.2.10, including limits, based on any of the following: (A) the nature of the risk of the Services; (B) the prior experience of the insured; (C) the rating or other quality or characteristic of the insurer; (D) any special or unique coverage issues; and (E) any other special or unique circumstances.

3.2.11 Safety. Contractor shall execute and maintain its work and Services so as to avoid injury or damage to any person or property. In carrying out its Services, the Contractor shall at all times be in compliance with all applicable local, state and federal laws, rules and regulations, and shall exercise all necessary precautions for the safety of employees appropriate to the nature of the Services and the conditions under which the Services are to be performed.

### 3.2.12 Bonds.

3.2.12.1 Performance Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a



Performance Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.2 Payment Bond. If required by law or otherwise specifically requested by City in Exhibit "C" attached hereto and incorporated herein by reference, Contractor shall execute and provide to City concurrently with this Agreement a Payment Bond in the amount of the Total Compensation indicated in this Agreement, and in a form provided or approved by the City. If such bond is required, no payment will be made to Contractor until it has been received and approved by the City.

3.2.12.3 Bond Provisions. Should, in City's sole opinion, any bond become insufficient or any surety be found to be unsatisfactory, Contractor shall renew or replace the affected bond within 10 days of receiving notice from City. In the event the surety or Contractor intends to reduce or cancel any required bond, at least thirty (30) days prior written notice shall be given to the City, and Contractor shall post acceptable replacement bonds at least ten (10) days prior to expiration of the original bonds. No further payments shall be deemed due or will be made under this Agreement until any replacement bonds required by this section are accepted by the City. To the extent, if any, that the Total Compensation is increased in accordance with the Agreement, the Contractor shall, upon request of the City, cause the amount of the bonds to be increased accordingly and shall promptly deliver satisfactory evidence of such increase to the City. To the extent available, the bonds shall further provide that no change or alteration of the Agreement (including, without limitation, an increase in the Total Compensation, as referred to above), extensions of time, or modifications of the time, terms, or conditions of payment to the Contractor, will release the surety. If the Contractor fails to furnish any required bond, the City may terminate this Agreement for cause.

3.2.12.4 Surety Qualifications. The bonds must be provided by a surety which is satisfactory to the City and which meets either of the following criteria: (1) a surety with a current A.M. Best's rating no less than A-VII and licensed as an admitted surety insurer in California; or (2) a surety with a current A.M. Best's rating no less than A-X and authorized to issue the required bonds in California. If a surety does not meet these requirements, the insurer will be considered qualified if it is in conformance with Section 995.660 of the California Code of Civil Procedure, and proof of such is provided to the City.

3.2.13 Accounting Records. Contractor shall maintain complete and accurate records with respect to all costs and expenses incurred under this Agreement. All such records shall be clearly identifiable. Contractor shall allow a representative of City during normal business hours to examine, audit, and make transcripts or copies of such records and any other documents created pursuant to this Agreement. Contractor shall allow inspection of all work, data, documents, proceedings, and activities related to the Agreement for a period of three (3) years from the date of final payment under this Agreement.

### **3.3 Fees and Payments.**

3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit "C" attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Two Hundred Thousand Dollars (\$200,000.00) ("Total Compensation") per fiscal year without written approval of City's Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.3.2 Payment of Compensation. Contractor shall submit to City a monthly itemized statement which indicates work completed and hours of Services rendered by Contractor. The statement shall describe the amount of Services and supplies provided since the initial commencement date, or since the start of the subsequent billing periods, as appropriate, through the date of the statement. City shall, within 30 days of receiving such statement, review the statement and pay all approved charges thereon.

3.3.3 Reimbursement for Expenses. Contractor shall not be reimbursed for any expenses unless authorized in writing by City.

3.3.4 Extra Work. At any time during the Term of this Agreement, City may request that Contractor perform Extra Work. As used herein, "Extra Work" means any work which is determined by City to be necessary for the proper completion of the Project, but which the Parties did not reasonably anticipate would be necessary at the execution of this Agreement. Contractor shall not perform, nor be compensated for, Extra Work without written authorization from City's Representative.

3.3.5 Prevailing Wages. Contractor is aware of the requirements of Chapter 1 (beginning at Section 1720 et seq.) of Part 7 of Division 2 of the California Labor Code, as well as Title 8, Section 16000 et seq. of the California Code of Regulations ("Prevailing Wage Laws"), which require the payment of prevailing wage rates and the performance of other requirements on "public works" and "maintenance" projects. If the Services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, and if the Total Compensation is \$1,000 or more, Contractor and its subcontractors shall fully comply with the Prevailing Wage Laws for their employees and any others to whom such laws are applicable. Contractor and its subcontractors shall also be responsible for any and all violations and fines imposed on them pursuant to the Prevailing Wage Laws. Pursuant to SB 854, which amended the Prevailing Wage Laws, this Agreement would also be subject to compliance monitoring and enforcement by the California Department of Industrial Relations ("DIR"). Beginning April 1, 2015, no contractor or subcontractor may be awarded this Agreement unless registered with the DIR pursuant to Labor Code Section 1725.5. The City will report all necessary agreements to the DIR as required by the Prevailing Wage Laws. Contractor shall make copies of the prevailing rates of per diem wages for each craft, classification or type of worker needed to execute the Services available to interested parties upon request, and shall post copies at the Contractor's principal place of business and at the Project site. It is most efficient for the Contractor to obtain a copy of the prevailing wages in effect at the

commencement of this Agreement from the website of the Division of Labor Statistics and Research of the DIR located at [www.dir.ca.gov/dlsr/](http://www.dir.ca.gov/dlsr/). In the alternative, Contractor may obtain a copy of the prevailing wages from the City's Representative. Contractor shall defend, indemnify and hold the City, its elected officials, officers, employees and agents free and harmless from any claim or liability arising out of any failure or alleged failure to comply with the Prevailing Wage Laws.

3.3.6 Apprenticeable Crafts. If the services are being performed as part of an applicable "public works" or "maintenance" project, as defined by the Prevailing Wage Laws, Contractor shall comply with the provisions of Section 1777.5 of the California Labor Code with respect to the employment of properly registered apprentices upon public works when Contractor employs workmen in an apprenticeable craft or trade. The primary responsibility for compliance with said section for all apprenticeable occupations shall be with Contractor.

### **3.4 Termination of Agreement.**

3.4.1 Grounds for Termination. City may, by written notice to Contractor, terminate the whole or any part of this Agreement at any time and without cause by giving written notice to Contractor of such termination, and specifying the effective date thereof, at least seven (7) days before the effective date of such termination. Upon termination, Contractor shall be compensated only for those Services which have been adequately rendered to City, as well as any authorized reimbursable expenses, and Contractor shall be entitled to no further compensation. Contractor may not terminate this Agreement except for cause.

3.4.2 Effect of Termination. If this Agreement is terminated as provided herein, City may require Contractor to provide all finished or unfinished Documents and Data and other information of any kind prepared by Contractor in connection with the performance of Services under this Agreement. Contractor shall be required to provide such document and other information within fifteen (15) days of the request.

3.4.3 Additional Services. In the event this Agreement is terminated in whole or in part as provided herein, City may procure, upon such terms and in such manner as it may determine appropriate, services similar to those terminated.

### **3.5 General Provisions.**

3.5.1 Delivery of Notices. All notices permitted or required under this Agreement shall be given to the respective Parties at the following address, or at such other address as the respective Parties may provide in writing for this purpose:

**Contractor:**

Energy Management Corporation  
1020 Price Street  
Pomona, CA 91767  
Attn: Henry Stimson

**City:**

City of Corona  
 400 South Vicentia Avenue  
 Corona, CA 92882  
 Attn: Tom Moody Department of Water and Power

Such notice shall be deemed made when personally delivered or when mailed, forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the Party at its applicable address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

3.5.2 Indemnification. To the fullest extent permitted by law, Contractor shall defend (with counsel of City's choosing), indemnify and hold the City, its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury of any kind, in law or equity, to property or persons, including wrongful death, to the extent arising out of, pertaining to, or incident to any alleged willful misconduct or negligent acts, errors or omissions of Contractor, its officials, officers, employees, subcontractors, consultants or agents in connection with the performance of the Contractor's Services, the Project or this Agreement, including without limitation the payment of all settlement amounts, expert witness fees and attorneys fees and other related costs and expenses. Notwithstanding the foregoing, to the extent Contractor's Services are subject to Civil Code Section 2782.8, the above indemnity shall be limited, to the extent required by Civil Code Section 2782.8, to claims that arise out of, pertain to, or relate to the negligence, recklessness, or willful misconduct of the Contractor. Contractor's obligation to indemnify shall survive expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by the City, its directors, officials officers, employees, agents, or volunteers.

3.5.3 Governing Law; Government Code Claim Compliance. This Agreement shall be governed by the laws of the State of California. Venue shall be in Riverside County. In addition to any and all contract requirements pertaining to notices of and requests for compensation or payment for extra work, disputed work, claims and/or changed conditions, Contractor must comply with the claim procedures set forth in Government Code Sections 900 et seq. prior to filing any lawsuit against the City. Such Government Code claims and any subsequent lawsuit based upon the Government Code claims shall be limited to those matters that remain unresolved after all procedures pertaining to extra work, disputed work, claims, and/or changed conditions have been followed by Contractor. If no such Government Code claim is submitted, or if any prerequisite contractual requirements are not otherwise satisfied as specified herein, Contractor shall be barred from bringing and maintaining a valid lawsuit against the City.

3.5.4 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.5.5 City's Right to Employ Other Contractors. City reserves right to employ other contractors in connection with this Project.

3.5.6 Successors and Assigns. This Agreement shall be binding on the successors and assigns of the parties.

3.5.6.1 Subcontractors; Assignment or Transfer. Contractor shall not subcontract any portion of the Services required under this Agreement, except as expressly authorized herein, without the prior written approval of the City. Subcontracts, if any, shall include a provision making them subject to all provisions of this Agreement. Contractor shall also not assign, hypothecate or transfer, either directly or by operation of law, this Agreement or any interest herein without the prior written consent of the City. Any attempt to subcontract or take any other action not authorized herein shall be null and void, and any subcontractors, assignees, hypothecates or transferees shall acquire no right or interest by reason of such action.

3.5.6.2 Corona Utility Authority. To the extent that this Agreement is deemed to be a "material contract" under either of the CUA Management Agreements, Contractor has no right to terminate this Agreement, either with or without cause, based upon the existence or non-existence of either or both of the CUA Management Agreements. Therefore, if an applicable CUA Management Agreement expires or terminates for any reason, Contractor shall remain fully obligated to perform under this Agreement with the CUA or another third party contracted by the CUA for the maintenance, management and operation of the applicable utility system.

3.5.7 Construction; References; Captions. Since the Parties or their agents have participated fully in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days or period for performance shall be deemed calendar days and not work days. All references to Contractor include all personnel, employees, agents, and subcontractors of Contractor, except as otherwise specified in this Agreement. All references to City include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content or intent of this Agreement.

3.5.8 Amendment; Modification. No supplement, modification or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

3.5.9 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual rights by custom, estoppel or otherwise.

3.5.10 No Third Party Beneficiaries. Except to the extent expressly provided for in Section 3.5.6, there are no intended third party beneficiaries of any right or obligation assumed by the Parties.

3.5.11 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

3.5.12 Prohibited Interests. Contractor maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Agreement. Further, Contractor warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. Contractor further agrees to file, or shall cause its employees or subcontractors to file, a Statement of Economic Interest with the City's Filing Officer as required under state law in the performance of the Services. For breach or violation of this warranty, City shall have the right to rescind this Agreement without liability. For the Term of this Agreement, no member, officer or employee of City, during the term of his or her service with City, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.5.13 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate or convenient to attain the purposes of this Agreement.

3.5.14 Attorney's Fees. If either Party commences an action against the other Party, either legal, administrative or otherwise, arising out of or in connection with this Agreement, the prevailing Party in such litigation shall be entitled to have and recover from the losing Party reasonable attorney's fees and all other costs of such action.

3.5.15 Authority to Enter Agreement. Contractor has all requisite power and authority to conduct its business and to execute, deliver, and perform the Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority to make this Agreement and bind each respective Party.

3.5.16 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original.

3.5.17 Entire Agreement. This Agreement contains the entire Agreement of the Parties with respect to the subject matter hereof, and supersedes all prior negotiations, understandings or agreements. This Agreement may only be modified by a writing signed by both Parties.

**[SIGNATURES ON NEXT 2 PAGES]**

**CITY'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH ENERGY MANAGEMENT CORPORATION**  
**(ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES – RFP 21-050RH)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**CITY OF CORONA**

By: \_\_\_\_\_  
Tom Moody  
General Manager

Reviewed By: \_\_\_\_\_  
Katie Hockett  
Assistant General Manager

Reviewed By: \_\_\_\_\_  
Aftab Hussain  
Maintenance Manager

Reviewed By: \_\_\_\_\_  
Norman Bush  
Purchasing Manager

Attest: \_\_\_\_\_  
Sylvia Edwards  
City Clerk

**CONTRACTOR'S SIGNATURE PAGE FOR**  
**CITY OF CORONA**  
**MAINTENANCE/GENERAL SERVICES AGREEMENT**  
**WITH ENERGY MANAGEMENT CORPORATION**  
**(ON-CALL, IN-FIELD, IN-SHOP, ELECTRIC MOTOR REPAIR SERVICES – RFP 21-050RH)**

IN WITNESS WHEREOF, the Parties have entered into this Agreement as of the date first written above.

**ENERGY MANAGEMENT CORPORATION**  
a Utah Corporation

By:   
905BF7FC6C3A413...  
Signature

Paul Rossiter

\_\_\_\_\_  
Name (Print)

President

\_\_\_\_\_  
Title (Print) (President, Vice President or CEO)

By:   
DC900BE484C445F  
Signature

Robert Baer

\_\_\_\_\_  
Name (Print)

CFO

\_\_\_\_\_  
Title (Print) (Treasurer, Secretary or CFO)



## **EXHIBIT "A"**

### **SCOPE OF SERVICES**

Contractor promises and agrees to furnish to the City all labor, materials, tools, equipment, services, and incidental and customary work necessary to fully and adequately supply the professional Electric Motor Repair services essential fabrication services to public clients necessary for the Project ("Services"). The Services are more particularly described in this Exhibit "A"

The City of Corona DWP is seeking to contract with a reliable local On-Call Electric Motor Repair Services Shop. DWP has all types of Motors that need to be running and operational all year 24/7.

The Shop will be required to handle and service motors from 10 HP to 500 Hp. They will need the ability to pick up motors, dismantle, clean, analyze, repair, test, and deliver in very short periods of time.

The City has Wastewater Lift Stations that must be in service and running 24hrs a day 7 days a week and many other types of pumps that have to be in production.

The City will require to have a shop assist in energy savings and reducing energy consumptions.

The vendor will need to have experience with other Cities and understand the pumps and motors used in the water and wastewater industry.

The shop is expected to have top quality parts and material and will be necessary for the shop technicians to be fully trained. Quality Control is essential to the City with no service complaints and the ability to perform under emergency situations.

## **EXHIBIT "B"**

### **SCHEDULE OF SERVICES**

Contractor shall complete the Services within the Term of this Agreement, and shall meet any other established schedules and deadlines.

The City may elect to exercise an extension to renew this contract for an additional two (2), two (2) year terms:

- 1) The first optional extension will be for the period July 1, 2022 through June 30, 2024.
- 2) The second optional extension will be from July 1, 2024 through June 30, 2026.

Contract Renewal: The contract may be extended by the City under the terms and conditions of the original contract, upon execution of an amendment to the contract by both parties. Should the City elect to exercise the option to extend this contract, the parties shall negotiate pricing for such period prior to commencement of the additional one-year period. Negotiated price increases for the contract extension shall not exceed the percentage change in the United States Bureau of Labor Statistics Consumer Price Index "All Urban Consumers" for Riverside San Bernardino Ontario, CA (CPI) for the most recent twelve months for which statistics are available. This method of price negotiation shall apply to each extension period exercised. Option years shall become effective only upon issuance by the City of a duly authorized purchase order and signed amendment.

## EXHIBIT "C"

### COMPENSATION

Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in this Exhibit "C" attached hereto and incorporated herein by reference.

#### Hourly Labor Costs for Electric Motor Repair EMEC/GP Electric Motor - Pomona, CA

	Hourly Rate	Overtime Rate	Sundays & Holiday Rate
Shop Repair Labor	\$70.00	\$105.00	\$140.00
Machinist Repair Labor	\$80.00	\$120.00	\$160.00
Mechanic Repair Labor	\$70.00	\$105.00	\$140.00
Shop Rewind Labor	\$70.00	\$105.00	\$140.00

Pursuant to Section 3.2.12 above payment and performance bonds will not be required.



Staff Report

---

**File #:** 21-0667

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Public Works Department

**SUBJECT:**

Second Amendment to the Maintenance/General Services Agreement with Chrisp Company for street striping and pavement marking and maintenance repair services.

**EXECUTIVE SUMMARY:**

The Public Works Department utilizes contractors to provide pavement marking services to maintain roadway markings on public streets. These services include refreshing existing markings, the removal of markings, and the installation of new markings.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Approve the Second Amendment to the Maintenance/General Services Agreement with Chrisp Company to increase the total compensation by \$201,000 to provide street striping and pavement marking maintenance repair services.
- b. Authorize the City Manager, or his designee, to execute the Second Amendment to the Maintenance/General Services Agreement with Chrisp Company for a total contract amount of \$201,000.
- c. Authorize the Purchasing Manager to issue Change Order No. 2 to Purchase Order B210513 to Chrisp Company, in the amount of \$101,000.

**BACKGROUND & HISTORY:**

On June 20, 2018, the City Council approved Request for Proposal (RFP) 18-005SB to Chrisp Company for street striping and pavement marking maintenance repair services.

During Fiscal Year 2021, the Public Works Department received many requests for roadway striping. These requests come from an assortment of channels: email requests, SeeClickFix reports, phone calls, requests from local schools, Corona Police Department, and staff observations. After receiving a request, staff evaluates the concern and will issue a work order to refresh or replace necessary pavement markings. City staff looks for opportunities to replace what is necessary and improve the area by updating the size/type of striping to better comply with current standards issued by federal and state guidelines.

**ANALYSIS:**

This request to increase the total compensation for the contractor to provide street striping and pavement marking repair services from \$100,000 to \$201,000 includes the installation of forty-four (44) crosswalks, which follow the City Standard for ladder-type crosswalks. These are mainly installed near schools and areas of high pedestrian volume. Aside from the additional cross-sectional striping that runs along the entire crosswalk, the supplemental paint brings more attention and awareness to the crossing. These crosswalks require more material and are more expensive than the typical crosswalk with just an outline for the pedestrian path of travel. The cost varies per crosswalk as the length is a function of the total cost. The total costs for these crosswalks is approximately \$35,500.

Along with the crosswalks, the additional work includes the restriping of Railroad Street between Auto Center Drive and Lincoln Avenue. This length of roadway measuring approximately 2.15 miles had deteriorated striping and pavement markings. With the heavy use of large trucks and a posted speed limit of 40 MPH, a full restripe of the entire segment was necessary. This work effort was about \$65,500 to complete.

Additionally, any striping which includes a full street segment or block to be replaced, the latest striping standards are followed per the Caltrans Standard Plans. The most recent changes have been an increase in striping width from 4 inches to 6 inches. This additional change produced an increase in cost to most striping work orders.

The pavement marking services provided by Chrisp Company plays an important role in maintaining a safe environment for vehicles, bicycles, and pedestrians as they use City roadways. Maintaining visible reflective pavement markings is essential in providing clear instruction to roadway users and ensures the City keeps the roads safe and updated with the latest striping delineation and pavement markings per the Caltrans Standard Plans, Manual on Uniform Traffic Control Devices, and City Standards.

**FINANCIAL IMPACT:**

With the approval of the recommended actions, funding for the change order is available in the Capital Improvement Project Budget as follows:

Account Name	Fund	Account	Amount
Striping Rehabilitation available FY20/21	227	72920	\$359,533.30
Striping Rehabilitation available FY20/21	222	72920	\$79,727.13
Striping Rehabilitation available FY21/22	227	72920	\$325,000.00
Total available for Striping Rehabilitation			\$764,260.43

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action approves an agreement to provide maintenance services. Since there is no possibility that adopting this action will have a significant effect on the environment, no environmental analysis is required.

**PREPARED BY:** ROSALVA N. URENO, P.E., T.E., CITY TRAFFIC ENGINEER

**REVIEWED BY:** SAVAT KHAMPHOU, ACTING PUBLIC WORKS DIRECTOR

**Attachments:**

1. Second Amendment to the Maintenance/General Services Agreement

**CITY OF CORONA  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH CHRISP COMPANY  
(STREET STRIPING AND PAVEMENT MARKING MAINTENANCE REPAIR  
SERVICES, RFP 18-005SB)**

**1. PARTIES AND DATE.**

This Second Amendment to the Maintenance/General Services Agreement (“Second Amendment”) is made and entered into this 7th day of July, 2021 by and between the City of Corona (“City”) and Chrisp Company, a California corporation (“Contractor”). City and Contractor are sometimes individually referred to as “Party” and collectively as “Parties” in this Second Amendment.

**2. RECITALS.**

2.1 Agreement. City and Contractor entered into that certain Maintenance/General Services Agreement dated June 6, 2018 (“Agreement”), whereby Contractor agreed to provide street striping and pavement marking maintenance services.

2.2 Prior Amendments. City and Contractor entered into that certain First Amendment to the Maintenance/General Services Agreement on or about November 19, 2020 (“First Amendment”).

2.3 Amendment. City and Contractor desire to amend the Agreement for the second time to increase the compensation by one hundred one thousand dollars.

**3. TERMS.**

3.1 Rates & Total Compensation. Section 3.3.1 (Rates & Total Compensation) of the Agreement, as amended by the First Amendment, is hereby deleted in its entirety and replaced with the following:

"3.3.1 Rates & Total Compensation. Contractor shall receive compensation, including authorized reimbursements, for all Services rendered under this Agreement at the rates set forth in Exhibit “C-1” attached hereto and incorporated herein by reference. The total compensation, including authorized reimbursements, shall not exceed Two Hundred One Thousand Dollars (\$201,000.) (“Total Compensation”) during each fiscal year ending June 30, 2021 and June 30, 2022 without written approval of City’s Representative. Extra Work may be authorized, as described below, and if authorized, will be compensated at the rates and manner set forth in this Agreement.

3.2 Continuing Effect of Agreement. Except as amended by this Second Amendment, all provisions of the Agreement shall remain unchanged and in full force and effect. From and after the date of this Second Amendment, whenever the term “Agreement” appears in the Agreement, it shall mean the Agreement as amended by this Second Amendment.

3.3 Adequate Consideration. The Parties hereto irrevocably stipulate and agree that they have each received adequate and independent consideration for the performance of the obligations they have undertaken pursuant to this Second Amendment.

3.4 Counterparts. This Second Amendment may be executed in duplicate originals, each of which is deemed to be an original, but when taken together shall constitute but one and the same instrument.

**[SIGNATURES ON FOLLOWING PAGE]**



**CITY'S SIGNATURE PAGE  
FOR  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH CHRISP COMPANY  
(STREET STRIPING AND PAVEMENT MARKING MAINTENANCE REPAIR  
SERVICES, RFP 18-005SB)**

IN WITNESS WHEREOF, the Parties have entered into this Second Amendment to Maintenance/General Services Agreement as of the date noted on the first page of the Amendment.

**CITY OF CORONA**

By:

\_\_\_\_\_  
Savat Khamphou, P.E., P.L.S.  
Acting Public Works Director/  
City Engineer

Reviewed By:

\_\_\_\_\_  
Rosalva Ureno  
Traffic Engineer

Reviewed By:

\_\_\_\_\_  
Norman Bush  
Purchasing Manager

Attest:

\_\_\_\_\_  
Sylvia Edwards, City Clerk  
City of Corona, California

**CONTRACTOR'S SIGNATURE PAGE  
FOR  
SECOND AMENDMENT TO  
MAINTENANCE/GENERAL SERVICES AGREEMENT  
WITH CHRISP COMPANY  
(STREET STRIPING AND PAVEMENT MARKING MAINTENANCE REPAIR  
SERVICES, RFP 18-005SB)**

IN WITNESS WHEREOF, the Parties have entered into this Second Amendment to Maintenance/General Services Agreement as of the date noted on the first page of the Amendment.

**CHRISP COMPANY**  
a California corporation

By: \_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

By: \_\_\_\_\_  
Title  
(President, Vice President or CEO)

By: \_\_\_\_\_  
Signature

\_\_\_\_\_  
Name

By: \_\_\_\_\_  
Title  
(Secretary, Treasurer or CFO)



Staff Report

---

**File #:** 21-0657

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Community Services Department

**SUBJECT:**

Deed Restrictions for Tehachapi and Cresta Verde Parks for Proposition 68 Per Capita Grant Requirements.

**EXECUTIVE SUMMARY:**

The City of Corona filed two grant applications for the replacement of playground equipment at Tehachapi and Cresta Verde Parks for the California Department of Parks and Recreation Proposition 68 Per Capita Grant Program. To fulfill the grant requirements, the City must record Deed Restrictions on each property ensuring their continued use as recreation assets.

**RECOMMENDED ACTION:**

**That the City Council** authorize recording deed restrictions for Tehachapi and Cresta Verde Parks.

**BACKGROUND & HISTORY:**

The Proposition 68 Per Capita Program (Program) authorized \$185 million of funding statewide for cities, counties and districts based upon population for the acquisition of open space, park development, and improvements to local parks. The total funds that the City can receive for this Program is \$280,981. On October 16, 2019, the City Council adopted Resolution No. 2019-089, approving the submittal of applications to the California Department of Parks for the Proposition 68 Per Capita Grant Program for Cresta Verde and Tehachapi Park Playground Replacements. Funding will be used to remove the existing playgrounds at Cresta Verde and Tehachapi Parks, which are past their useful life and do not have replacement parts available. The grant monies will fund the purchase and installation of new playground equipment and install rubberized surfacing at these parks.

As a condition of receiving Program funds, a 20 percent match is required for projects that do not serve a severely disadvantaged community. A severely disadvantaged community as defined by Public Resources Code §80061(c) as having a median household income less than 60% of the

statewide average. Cresta Verde Park does not require a 20% match as the area around it meets the requirements, however, Tehachapi Park does require a match. Funding for the 20% match for Tehachapi Park will come from the General Fund and is already appropriated in the budget.

**ANALYSIS:**

The Program Procedural Guidelines require that the Grantee record a Deed Restriction on the property title. The Deed Restriction restricts the title to the property and safeguards the property for purposes consistent with the Program grant for the duration of the grant performance period. The purpose of the Program is to encourage the rehabilitation of existing infrastructure and to address deficiencies in neighborhoods lacking access to the outdoors. The primary purpose of any project must be public recreation. As per the grant terms and agreement, the Deed Restriction indicates that the City of Corona agrees to operate and maintain the property for the duration of the grant performance period for the purposes of the grant; that is, the City will maintain the parks as recreation assets and that no other use, sale, or other disposition or change of the use of the property to one not consistent with its purpose shall be permitted. The property may only be transferred to another entity if the successor entity assumes the obligations imposed under the grant agreement and with the approval of the State. The property may not be used as security for any debt or mitigation, without the written approval of the State, provided that such approval shall not be unreasonably withheld as long as the purposes for which the grant was awarded are maintained. All facilities shall be open to members of the public generally, except as noted under the special provisions of this project contract or under provisions of the enabling legislation and/or grant program. Payments will not be made under the Program until a Deed Restriction has been filed on the properties. The Deed Restrictions shall be in effect until June 30, 2048.

**COMMITTEE ACTION:**

The original projects for playground replacements at Tehachapi and Cresta Verde Parks utilizing Proposition 68 Per Capita funding were taken to the Public Services Committee on October 2, 2019, and the Parks and Recreation Commission on October 9, 2019, and received recommendations to proceed.

**FINANCIAL IMPACT:**

The grant has already been accepted and will be reimbursed after expenses are invoices. The recording of the deed restrictions will satisfy the grant requirements and maintain the City's eligibility for the grant, otherwise funds will not be reimbursable.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the commonsense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action simply authorizes the recording of two Deed Restrictions against City owned property at Cresta Verde and Tehachapi Parks, and there is no possibility that adopting this resolution will have a significant effect on the environment. Therefore, no

environmental analysis is required. Staff previously filed Notices of Exemption with the County of Riverside for these two projects.

**PREPARED BY:** TRACY MARTIN, UTILITIES PROJECT MANAGER

**REVIEWED BY:** ANNE K. TURNER, COMMUNITY SERVICES DIRECTOR

**Attachments:**

1. Exhibit 1- Resolution No. 2019-089
2. Exhibit 2- Deed Restriction - Tehachapi Park
3. Exhibit 3- Deed Restriction - Cresta Verde Park

**RESOLUTION NO. 2019-089**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
CORONA, CALIFORNIA, APPROVING APPLICATION(S)  
FOR PER CAPITA GRANT FUNDS**

**WHEREAS**, the State Department of Parks and Recreation has been delegated the responsibility by the Legislature of the State of California for the administration of the Per Capita Grant Program, setting up necessary procedures governing application(s); and

**WHEREAS**, said procedures established by the State Department of Parks and Recreation require the grantee's Governing Body to certify by resolution the approval of project application(s) before submission of said applications to the State; and

**WHEREAS**, the grantee will enter into a contract with the State of California to complete project(s).

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Corona, California, as follows:

**SECTION 1.** Approves the filing of project application(s) for Per Capita Program grant project(s).

**SECTION 2.** Certifies that the City has or will have available, prior to commencement of project work utilizing Per Capita Program funding, sufficient funds to complete the project(s).

**SECTION 3.** Certifies that the City has or will have sufficient funds to operate and maintain the project(s).

**SECTION 4.** Certifies that all projects proposed will be consistent with the park and recreation element of the City of Corona's general or recreation plan (PRC §80063(a)).

**SECTION 5.** Certifies that Per Capita Program funds will be used to supplement, not supplant, local revenues in existence as of June 5, 2018 (PRC §80062(d)).

**SECTION 6.** Certifies that it will comply with the provisions of §1771.5 of the State Labor Code.

**SECTION 7.** To the extent practicable, as identified in the "Presidential Memorandum—Promoting Diversity and Inclusion in Our National Parks, National Forests, and Other Public Lands and Waters," dated January 12, 2017, the City of Corona will consider a range of actions that include, but are not limited to, the following:

- (A) Conducting active outreach to diverse populations, particularly minority, low-income, and disabled populations and tribal communities, to increase awareness within those communities and the public generally about specific programs and opportunities.
- (B) Mentoring new environmental, outdoor recreation, and conservation leaders to increase diverse representation across these areas.
- (C) Creating new partnerships with state, local, tribal, private and nonprofit organizations to expand access for diverse populations.
- (D) Identifying and implementing improvements to existing programs to increase visitation and access by diverse populations, particularly minority, low-income, and disabled populations and tribal communities.
- (E) Expanding the use of multilingual and culturally appropriate materials in public communications and educational strategies, including through social media strategies, as appropriate, that target diverse populations.
- (F) Developing or expanding coordinated efforts to promote youth engagement and empowerment, including fostering new partnerships with diversity-serving and youth-serving organizations, urban areas, and programs.
- (G) Identifying possible staff liaisons to diverse populations. (PRC §80001(b)(8)(A-G)).

**SECTION 8.** Agrees that to the extent practicable, the project(s) will provide workforce education and training, contractor and job opportunities for disadvantaged communities (PRC §80001(b)(5)).

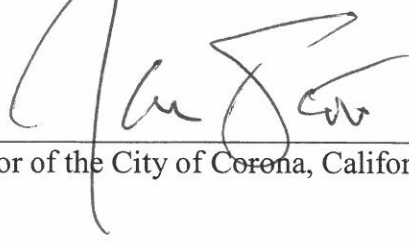
**SECTION 9.** Certifies that the City shall not reduce the amount of funding otherwise available to be spent on parks or other projects eligible for funds under this division in its jurisdiction. A one-time allocation of other funding that has been expended for parks or other projects, but which is not available on an ongoing basis, shall not be considered when calculating a recipient's annual expenditures. (PRC §80062(d)).

**SECTION 10.** Certifies that the City has reviewed, understands, and agrees to the General Provisions contained in the contract shown in the Procedural Guide.

**SECTION 11.** Delegates the authority to the Library and Recreation Services Director, or designee, to conduct all negotiations, sign and submit all documents including, but not limited to, applications, agreements, amendments, and payment requests, which may be necessary for the completion of the grant scope(s).

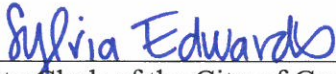
**SECTION 12.** Agrees to comply with all applicable federal, state and local laws, ordinances, rules, regulations and guidelines.

**PASSED AND ADOPTED** this 16th day of October, 2019.



Mayor of the City of Corona, California

**ATTEST:**



City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 16<sup>th</sup> day of October 2019, by the following vote:

<b>AYES:</b>	<b>CARRILLO , CASILLAS, SCOTT, STEINER, SPEAKE</b>
<b>NOES:</b>	<b>NONE</b>
<b>ABSENT:</b>	<b>NONE</b>
<b>ABSTAINED:</b>	<b>NONE</b>

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 16<sup>th</sup> day of October 2019.

  
\_\_\_\_\_  
City Clerk of the City of Corona, California

(SEAL)

RECORDING REQUESTED BY:  
California Department of Parks and Recreation  
Office of Grants and Local Services

WHEN RECORDED MAIL TO:  
Office of Grants and Local Services  
PO Box 942896  
Sacramento, CA 94296-0001  
Attn: Anne Davigeadono

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

### DEED RESTRICTION

I. WHEREAS, the City of Corona (hereinafter referred to as "Owner(s)" is/are recorded owner(s) of the real property described in Exhibit A, attached and incorporated herein by reference (hereinafter referred to as the "Property"); and

II. WHEREAS, the California Department of Parks and Recreation (hereinafter referred to as "DPR") is a public agency created and existing under the authority of section 5001 of the California Public Resources Code (hereinafter referred to as the "PRC"); and

III. WHEREAS, Owner(s) (or Grantee) applied to DPR for grant funds available pursuant to the California Drought, Water, Parks, Climate, Coastal Protection, and Outdoor Access for All of 2018 Parks Bond Act, 2018 Parks Bond Act Per Capita Program for replacement of existing playground equipment at Tehachapi Park on the Property; and

IV. WHEREAS, on July 1, 2020, DPR's Office of Grants and Local Services conditionally approved Grant 18-33-009 , (hereinafter referred to as "Grant") for replacement of existing playground equipment at Tehachapi Park on the Property, subject to, among other conditions, recordation of this Deed Restriction on the Property; and

V. WHEREAS, but for the imposition of the Deed Restriction condition of the Grant, the Grant would not be consistent with the public purposes of the 2018 Parks Bond Act, 2018 Parks Bond

Act Per Capita Program and the funds that are the subject of the Grant could therefore not have been granted; and

VI. WHEREAS, Owner(s) has/ve elected to comply with the Deed Restriction of the Grant, so as to enable Owner(s), to receive the Grant funds and perform the work described in the Grant;

NOW, THEREFORE, in consideration of the issuance of the Grant funds by DPR, the undersigned Owner(s) for himself/herself/themselves and for his/her/their heirs, assigns, and successors-in-interest, hereby irrevocably covenant(s) with DPR that the condition of the grant (set forth at paragraph(s) 1 through 5 and in Exhibit B hereto) shall at all times on and after the date on which this Deed Restriction is recorded constitute for all purposes covenants, conditions and restrictions on the use and enjoyment of the Property that are hereby attached to the deed to the Property as fully effective components thereof.

1. DURATION. (a) This Deed Restriction shall remain in full force and effect and shall bind Owner(s) and all his/her/their assigns or successors-in-interest for the period running from July 1, 2018 through June 30, 2048.

2. TAXES AND ASSESSMENTS. It is intended that this Deed Restriction is irrevocable and shall constitute an enforceable restriction within the meaning of a) Article XIII, section 8, of the California Constitution; and b) section 402.1 of the California Revenue and Taxation Code or successor statute. Furthermore, this Deed Restriction shall be deemed to constitute a servitude upon and burden to the Property within the meaning of section 3712(d) of the California Revenue and Taxation Code, or successor statute, which survives a sale of tax-deeded property.

3. RIGHT OF ENTRY. DPR or its agent or employees may enter onto the Property at times reasonably acceptable to Owner(s) to ascertain whether the use restrictions set forth above are being observed.

4. REMEDIES. Any act, conveyance, contract, or authorization by Owner(s) whether written or oral which uses or would cause to be used or would permit use of the Property contrary to the terms of this Deed Restriction will be deemed a violation and a breach hereof. DPR may pursue any and

all available legal and/or equitable remedies to enforce the terms and conditions of this Deed Restriction up to and including a lien sale of the property. In the event of a breach, any forbearance on the part of DPR to enforce the terms and provisions hereof shall not be deemed a waiver of enforcement rights regarding any subsequent breach.

5. SEVERABILITY. If any provision of these restrictions is held to be invalid, or for any reason becomes unenforceable, no other provision shall be affected or impaired.

Dated: \_\_\_\_\_, 20 \_\_\_\_

Business Name (if property is owned by a business): \_\_\_\_\_

Owner(s) Name(s): \_\_\_\_\_

\_\_\_\_\_

Signed: \_\_\_\_\_

Signed: \_\_\_\_\_

\_\_\_\_\_  
PRINT/TYPE NAME & TITLE OF ABOVE  
(GRANTEE'S AUTHORIZED REPRESENTATIVE)

\_\_\_\_\_  
PRINT/TYPE NAME & TITLE OF ABOVE  
(ADDITIONAL SIGNATURE, AS REQUIRED)

**\*\*NOTARY ACKNOWLEDGEMENT ON THE NEXT PAGE\*\***

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of \_\_\_\_\_

On \_\_\_\_\_ before me, \_\_\_\_\_, a Notary Public,  
personally appeared \_\_\_\_\_, who proved to me on the basis of  
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and  
acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that  
by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the  
person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the  
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

## **EXHIBIT “A”**

### **LEGAL DESCRIPTION FOR TEHACHAPI PARK**

Lot 232 of Tract 21202-1 as shown in the map recorded in Book 169, Page 2 of Maps, records of Riverside County, State of California.

(APN 115-482-042)

State of California - Natural Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

**GRANT CONTRACT**  
**2018 Parks Bond Act**  
**Per Capita Grant Program**

GRANTEE City of Corona

THE PROJECT PERFORMANCE PERIOD is from July 01, 2018 through June 30, 2024

CONTRACT PERFORMANCE PERIOD is from July 01, 2018 through June 30, 2048

The GRANTEE agrees to the terms and conditions of this Contract, and the State of California, acting through its Director of the Department of Parks and Recreation, pursuant to the State of California, agrees to fund the total State grant amount indicated below.

The GRANTEE agrees to complete the GRANT SCOPE(s) as defined in the GRANT SCOPE/Cost Estimate Form or acquisition documentation for the application(s) filed with the State of California.

The General and Special Provisions attached are made a part of and incorporated into the Contract.

City of Corona

By *Anne Turner*  
E6BF842E66F0454  
(Signature of Authorized Representative)

Title Library and Recreation Services Director

Date 4/28/2021

STATE OF CALIFORNIA  
DEPARTMENT OF PARKS AND RECREATION

By *Jana Clarke*  
96CAD152004346D...

Date 5/17/2021

**CERTIFICATION OF FUNDING**

CONTRACT NO C9801491	AMENDMENT NO	FISCAL SUPPLIER I.D. 0000002661	PROJECT NO. 18-33-008 18-33-009
AMOUNT ENCUMBERED BY THIS DOCUMENT \$177,952.00	FUND. Drought, Water, Cln Air, Cstl Protc, Outdoor Fund		
PRIOR AMOUNT ENCUMBERED FOR THIS CONTRACT	ITEM 3790-101-6088	CHAPTER 29	STATUTE 18 FISCAL YEAR 2020/21
TOTAL AMOUNT ENCUMBERED TO DATE \$ \$177,952.00	Reporting Structured. 37900091	Account/Alt Account. 5432000-5432000000	ACTIVITY CODE 69801 PROJECT / WORK PHASE

## **I. RECITALS**

This CONTRACT is entered into between the California Department of Parks and Recreation (hereinafter referred to as “GRANTOR,” “DEPARTMENT” or “STATE”) and City of Corona (hereinafter referred to as “GRANTEE”).

The DEPARTMENT hereby grants to GRANTEE a sum (also referred to as “GRANT MONIES”) not to exceed \$177,952, subject to the terms and conditions of this AGREEMENT and the 2018/19 California State Budget, Chapter 29, statutes of 2018, Item number – 3790-101-6088 (appropriation chapter and budget item number hereinafter referred to as “PER CAPITA GRANT”). These funds shall be used for completion of the GRANT SCOPE(S).

The Grant Performance Period is from July 01, 2018 to June 30, 2024.

## **II. GENERAL PROVISIONS**

### **A. Definitions**

As used in this CONTRACT, the following words shall have the following meanings:

1. The term “ACT” means the California Drought, Water, Parks Climate, Coastal Protection, and Outdoor Access for All Act of 2018, as referred to in section I of this CONTRACT.
2. The term “APPLICATION” means the individual project APPLICATION packet for a project pursuant to the enabling legislation and/or grant program process guide requirements.
3. The term “DEPARTMENT” or “STATE” means the California Department of Parks and Recreation.
4. The term “DEVELOPMENT” means capital improvements to real property by means of, but not limited to, construction, expansion, and/or renovation, of permanent or fixed features of the property.
5. The term “GRANTEE” means the party described as the GRANTEE in Section I of this CONTRACT.
6. The term “GRANT SCOPE” means the items listed in the GRANT SCOPE/Cost Estimate Form or acquisition documentation found in each of the APPLICATIONS submitted pursuant to this grant.
7. The term “PROCEDURAL GUIDE” means the document identified as the “Procedural Guide for California Drought, Water, Parks, Climate, Coastal Protection, and Outdoor Access For All Act of 2018 Per Capita Program.” The



PROCEDURAL GUIDE provides the procedures and policies controlling the administration of the grant.

## **B. Project Execution**

1. Subject to the availability of GRANT MONIES, the STATE hereby grants to the GRANTEE a sum of money not to exceed the amount stated in Section I of this CONTRACT, in consideration of, and on condition that, the sum be expended in carrying out the purposes as set forth in the scope described in the enabling legislation and referenced in the APPLICATION, Section I of this CONTRACT, and under the terms and conditions set forth in this CONTRACT.

The GRANTEE shall assume any obligation to furnish any additional funds that may be necessary to complete the GRANT SCOPE(S).

The GRANTEE agrees to submit any change or alteration from the original GRANT SCOPE(S) in writing to the STATE for prior approval. This applies to any and all changes that occur after STATE has approved the APPLICATION. Changes in the GRANT SCOPE(S) must be approved in writing by the STATE.

2. The GRANTEE shall complete the GRANT SCOPE(S) in accordance with the time of the Performance Period set forth in Section I of this CONTRACT, and under the terms and conditions of this CONTRACT.
3. The GRANTEE shall comply with the California Environmental Quality Act (Public Resources Code, Section 21000, et seq., Title 14, California Code of Regulations, Section 15000 et seq.).
4. The GRANTEE shall comply with all applicable current laws and regulations affecting DEVELOPMENT projects, including, but not limited to, legal requirements for construction contracts, building codes, health and safety codes, and laws and codes pertaining to individuals with disabilities, including but not limited to the Americans With Disabilities Act of 1990 (42 U.S.C. §12101 et seq.) and the California Unruh Act (California Civil Code §51 et seq.).

## **C. Project Costs**

1. GRANTEE agrees to abide by the PROCEDURAL GUIDE.
2. GRANTEE acknowledges that STATE may make reasonable changes to its procedures as set forth in the PROCEDURAL GUIDE. If STATE makes any changes to its procedures and guidelines, STATE agrees to notify GRANTEE within a reasonable time.

## **D. Project Administration**

1. If GRANT MONIES are advanced for DEVELOPMENT projects, the advanced funds shall be placed in an interest bearing account until expended. Interest earned on the advanced funds shall be used on the project as approved by the STATE. If grant monies are advanced and not expended, the unused portion of the

grant and any interest earned shall be returned to the STATE within 60 days after project completion or end of the Grant Performance Period, whichever is earlier.

2. The GRANTEE shall submit written project status reports within 30 calendar days after the STATE has made such a request. In any event, the GRANTEE shall provide the STATE a report showing total final project expenditures within 60 days of project completion or the end of the grant performance period, whichever is earlier. The Grant Performance Period is identified in Section I of this CONTRACT.
3. The GRANTEE shall make property or facilities acquired and/or developed pursuant to this contract available for inspection upon request by the STATE.

#### **E. Project Termination**

1. Project Termination refers to the non-completion of a GRANT SCOPE. Any grant funds that have not been expended by the GRANTEE shall revert to the STATE.
2. The GRANTEE may unilaterally rescind this CONTRACT at any time prior to the commencement of the project. The commencement of the project means the date of the letter notifying GRANTEE of the award or when the funds are appropriated, whichever is later. After project commencement, this CONTRACT may be rescinded, modified or amended only by mutual agreement in writing between the GRANTEE and the STATE, unless the provisions of this CONTRACT provide that mutual agreement is not required.
3. Failure by the GRANTEE to comply with the terms of the (a) PROCEDURAL GUIDE, (b) any legislation applicable to the ACT, (c) this CONTRACT as well as any other grant contracts, specified or general, that GRANTEE has entered into with STATE, may be cause for suspension of all obligations of the STATE unless the STATE determines that such failure was due to no fault of the GRANTEE. In such case, STATE may reimburse GRANTEE for eligible costs properly incurred in performance of this CONTRACT despite non-performance of the GRANTEE. To qualify for such reimbursement, GRANTEE agrees to mitigate its losses to the best of its ability.
4. Any breach of any term, provision, obligation or requirement of this CONTRACT by the GRANTEE shall be a default of this CONTRACT. In the case of any default by GRANTEE, STATE shall be entitled to all remedies available under law and equity, including but not limited to: a) Specific Performance; b) Return of all GRANT MONIES; c) Payment to the STATE of the fair market value of the project property or the actual sales price, whichever is higher; and d) Payment to the STATE of the costs of enforcement of this CONTRACT, including but not limited to court and arbitration costs, fees, expenses of litigation, and reasonable attorney fees.
5. The GRANTEE and the STATE agree that if the GRANT SCOPE includes DEVELOPMENT, final payment may not be made until the work described in the GRANT SCOPE is complete and the GRANT PROJECT is open to the public.

#### **F. Budget Contingency Clause**

If funding for any fiscal year is reduced or deleted by the budget act for purposes of this program, the STATE shall have the option to either cancel this contract with no liability occurring to the STATE, or offer a CONTRACT amendment to GRANTEE to reflect the reduced grant amount. This Paragraph shall not require the mutual agreement as addressed in Paragraph E, provision 2, of this CONTRACT.

## **G. Hold Harmless**

1. The GRANTEE shall waive all claims and recourse against the STATE including the right to contribution for loss or damage to persons or property arising from, growing out of or in any way connected with or incident to this CONTRACT except claims arising from the concurrent or sole negligence of the STATE, its officers, agents, and employees.
2. The GRANTEE shall indemnify, hold harmless and defend the STATE, its officers, agents and employees against any and all claims, demands, damages, costs, expenses or liability costs arising out of the ACQUISITION, DEVELOPMENT, construction, operation or maintenance of the property described as the project which claims, demands or causes of action arise under California Government Code Section 895.2 or otherwise except for liability arising out of the concurrent or sole negligence of the STATE, its officers, agents, or employees.
3. The GRANTEE agrees that in the event the STATE is named as codefendant under the provisions of California Government Code Section 895 et seq., the GRANTEE shall notify the STATE of such fact and shall represent the STATE in the legal action unless the STATE undertakes to represent itself as codefendant in such legal action in which event the GRANTEE agrees to pay the STATE's litigation costs, expenses, and reasonable attorney fees.
4. The GRANTEE and the STATE agree that in the event of judgment entered against the STATE and the GRANTEE because of the concurrent negligence of the STATE and the GRANTEE, their officers, agents, or employees, an apportionment of liability to pay such judgment shall be made by a court of competent jurisdiction. Neither party shall request a jury apportionment.
5. The GRANTEE shall indemnify, hold harmless and defend the STATE, its officers, agents and employees against any and all claims, demands, costs, expenses or liability costs arising out of legal actions pursuant to items to which the GRANTEE has certified. The GRANTEE acknowledges that it is solely responsible for compliance with items to which it has certified.

## **H. Financial Records**

1. The GRANTEE shall maintain satisfactory financial accounts, documents, including loan documents, and all other records for the project and to make them available to the STATE for auditing at reasonable times. The GRANTEE also agrees to retain such financial accounts, documents and records for five years following project

termination or issuance of final payment, whichever is later.

2. The GRANTEE shall keep such records as the STATE shall prescribe, including records which fully disclose (a) the disposition of the proceeds of STATE funding assistance, (b) the total cost of the project in connection with such assistance that is given or used, (c) the amount and nature of that portion of the project cost supplied by other sources, and (d) any other such records that will facilitate an effective audit.
3. The GRANTEE agrees that the STATE shall have the right to inspect and make copies of any books, records or reports pertaining to this contract or matters related thereto during regular office hours. The GRANTEE shall maintain and make available for inspection by the STATE accurate records of all of its costs, disbursements and receipts with respect to its activities under this contract. Such accounts, documents, and records shall be retained by the GRANTEE for at least five years following project termination or issuance of final payment, whichever is later.
4. The GRANTEE shall use a generally accepted accounting system.

#### **I. Use of Facilities**

1. The GRANTEE agrees that the GRANTEE shall operate and maintain the property acquired or developed with the GRANT MONIES, for the duration of the Contract Performance Period.
2. The GRANTEE agrees that, during the Contract Performance Period, the GRANTEE shall use the property acquired or developed with GRANT MONIES under this contract only for the purposes of this grant and no other use, sale, or other disposition or change of the use of the property to one not consistent with its purpose shall be permitted except as authorized by the STATE and the property shall be replaced with property of equivalent value and usefulness as determined by the STATE.
3. The property acquired or developed may be transferred to another entity if the successor entity assumes the obligations imposed under this CONTRACT and with the approval of STATE.
4. Any real Property (including any portion of it or any interest in it) may not be used as security for any debt or mitigation, without the written approval of the STATE provided that such approval shall not be unreasonably withheld as long as the purposes for which the Grant was awarded are maintained. Any such permission that is granted does not make the STATE a guarantor or a surety for any debt or mitigation, nor does it waive the STATE'S rights to enforce performance under the Grant CONTRACT.

5. All real property, or rights thereto, acquired with GRANT MONIES shall be subject to an appropriate form of restrictive title, rights, or covenants approved by the STATE. If the project property is taken by use of eminent domain, GRANTEE shall reimburse STATE an amount at least equal to the amount of GRANT MONIES received from STATE or the pro-rated full market value of the real property, including improvements, at the time of sale, whichever is higher.
6. If eminent domain proceedings are initiated against GRANTEE, GRANTEE shall notify STATE within 10 days of receiving the complaint.

#### **J. Nondiscrimination**

1. The GRANTEE shall not discriminate against any person on the basis of sex, race, color, national origin, age, religion, ancestry, sexual orientation, or disability in the use of any property or facility developed pursuant to this contract.
2. The GRANTEE shall not discriminate against any person on the basis of residence except to the extent that reasonable differences in admission or other fees may be maintained on the basis of residence and pursuant to law.
3. All facilities shall be open to members of the public generally, except as noted under the special provisions of this project contract or under provisions of the enabling legislation and/or grant program.

#### **K. Severability**

If any provision of this CONTRACT or the application thereof is held invalid, that invalidity shall not affect other provisions or applications of the CONTRACT which can be given effect without the invalid provision or application, and to this end the provisions of this CONTRACT are severable.

#### **L. Liability**

1. STATE assumes no responsibility for assuring the safety or standards of construction, site improvements or programs related to the GRANT SCOPE. The STATE'S rights under this CONTRACT to review, inspect and approve the GRANT SCOPE and any final plans of implementation shall not give rise to any warranty or representation that the GRANT SCOPE and any plans or improvements are free from hazards or defects.
2. GRANTEE will secure adequate liability insurance, performance bond, and/or other security necessary to protect the GRANTEE'S and STATE'S interest against poor workmanship, fraud, or other potential loss associated with completion of the grant project.

#### **M. Assignability**

Without the written consent of the STATE, the GRANTEE'S interest in and responsibilities under this CONTRACT shall not be assignable by the GRANTEE either in whole or in part.

#### N. Use of Grant Monies

GRANTEE shall not use any grant funds (including any portion thereof) for the purpose of making any leverage loan, pledge, promissory note or similar financial device or transaction, without: 1) the prior written approval of the STATE; and 2) any financial or legal interests created by any such leverage loan, pledge, promissory note or similar financial device or transaction in the project property shall be completely subordinated to this CONTRACT through a Subordination Agreement provided and approved by the STATE, signed by all parties involved in the transaction, and recorded in the County Records against the fee title of the project property.

#### O. Section Headings

The headings and captions of the various sections of this CONTRACT have been inserted only for the purpose of convenience and are not a part of this CONTRACT and shall not be deemed in any manner to modify, explain, or restrict any of the provisions of this CONTRACT.

#### P. Waiver

Any failure by a party to enforce its rights under this CONTRACT, in the event of a breach, shall *not* be construed as a waiver of said rights; and the waiver of any breach under this CONTRACT shall *not* be construed as a waiver of any subsequent breach.

City of Corona

GRANTEE

DocuSigned by:

By: Anne Turner  
E08F842E00F0454...

Signature of Authorized Representative

Title: Director of Community Services

Date: 4/28/2021

STATE OF CALIFORNIA  
DEPARTMENT OF PARKS AND RECREATION

DocuSigned by:

By: Jana Clarke  
96CAD152004346D...

Date: 5/17/2021

RECORDING REQUESTED BY:  
California Department of Parks and Recreation  
Office of Grants and Local Services

WHEN RECORDED MAIL TO:  
Office of Grants and Local Services  
PO Box 942896  
Sacramento, CA 94296-0001  
Attn: Anne Davigeadono

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

### DEED RESTRICTION

I. WHEREAS, the City of Corona (hereinafter referred to as "Owner(s)" is/are recorded owner(s) of the real property described in Exhibit A, attached and incorporated herein by reference (hereinafter referred to as the "Property"); and

II. WHEREAS, the California Department of Parks and Recreation (hereinafter referred to as "DPR") is a public agency created and existing under the authority of section 5001 of the California Public Resources Code (hereinafter referred to as the "PRC"); and

III. WHEREAS, Owner(s) (or Grantee) applied to DPR for grant funds available pursuant to the California Drought, Water, Parks, Climate, Coastal Protection, and Outdoor Access for All of 2018 Parks Bond Act, 2018 Parks Bond Act Per Capita Program for replacement of existing playground equipment at Tehachapi Park on the Property; and

IV. WHEREAS, on July 1, 2020, DPR's Office of Grants and Local Services conditionally approved Grant 18-33-009 , (hereinafter referred to as "Grant") for replacement of existing playground equipment at Tehachapi Park on the Property, subject to, among other conditions, recordation of this Deed Restriction on the Property; and

V. WHEREAS, but for the imposition of the Deed Restriction condition of the Grant, the Grant would not be consistent with the public purposes of the 2018 Parks Bond Act, 2018 Parks Bond

Act Per Capita Program and the funds that are the subject of the Grant could therefore not have been granted; and

VI. WHEREAS, Owner(s) has/ve elected to comply with the Deed Restriction of the Grant, so as to enable Owner(s), to receive the Grant funds and perform the work described in the Grant;

NOW, THEREFORE, in consideration of the issuance of the Grant funds by DPR, the undersigned Owner(s) for himself/herself/themselves and for his/her/their heirs, assigns, and successors-in-interest, hereby irrevocably covenant(s) with DPR that the condition of the grant (set forth at paragraph(s) 1 through 5 and in Exhibit B hereto) shall at all times on and after the date on which this Deed Restriction is recorded constitute for all purposes covenants, conditions and restrictions on the use and enjoyment of the Property that are hereby attached to the deed to the Property as fully effective components thereof.

1. DURATION. (a) This Deed Restriction shall remain in full force and effect and shall bind Owner(s) and all his/her/their assigns or successors-in-interest for the period running from July 1, 2018 through June 30, 2048.

2. TAXES AND ASSESSMENTS. It is intended that this Deed Restriction is irrevocable and shall constitute an enforceable restriction within the meaning of a) Article XIII, section 8, of the California Constitution; and b) section 402.1 of the California Revenue and Taxation Code or successor statute. Furthermore, this Deed Restriction shall be deemed to constitute a servitude upon and burden to the Property within the meaning of section 3712(d) of the California Revenue and Taxation Code, or successor statute, which survives a sale of tax-deeded property.

3. RIGHT OF ENTRY. DPR or its agent or employees may enter onto the Property at times reasonably acceptable to Owner(s) to ascertain whether the use restrictions set forth above are being observed.

4. REMEDIES. Any act, conveyance, contract, or authorization by Owner(s) whether written or oral which uses or would cause to be used or would permit use of the Property contrary to the terms of this Deed Restriction will be deemed a violation and a breach hereof. DPR may pursue any and



all available legal and/or equitable remedies to enforce the terms and conditions of this Deed Restriction up to and including a lien sale of the property. In the event of a breach, any forbearance on the part of DPR to enforce the terms and provisions hereof shall not be deemed a waiver of enforcement rights regarding any subsequent breach.

5. SEVERABILITY. If any provision of these restrictions is held to be invalid, or for any reason becomes unenforceable, no other provision shall be affected or impaired.

Dated: \_\_\_\_\_, 20 \_\_\_\_

Business Name (if property is owned by a business): \_\_\_\_\_

Owner(s) Name(s): \_\_\_\_\_

\_\_\_\_\_

Signed: \_\_\_\_\_

Signed: \_\_\_\_\_

\_\_\_\_\_  
PRINT/TYPE NAME & TITLE OF ABOVE  
(GRANTEE'S AUTHORIZED REPRESENTATIVE)

\_\_\_\_\_  
PRINT/TYPE NAME & TITLE OF ABOVE  
(ADDITIONAL SIGNATURE, AS REQUIRED)

**\*\*NOTARY ACKNOWLEDGEMENT ON THE NEXT PAGE\*\***

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of \_\_\_\_\_

On \_\_\_\_\_ before me, \_\_\_\_\_, a Notary Public,  
personally appeared \_\_\_\_\_, who proved to me on the basis of  
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and  
acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that  
by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the  
person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the  
foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_ (Seal)

## **EXHIBIT “A”**

### **LEGAL DESCRIPTION FOR CRESTA VERDE PARK**

Parcel 1 in Parcel Map 16758 of that portion of Rancho El Sobrante de San Jacinto as shown in the parcel map recorded in Book 89, Page 53 of Maps of Riverside County, State of California.

(APN 115-100-010)

State of California - Natural Resources Agency  
DEPARTMENT OF PARKS AND RECREATION**GRANT CONTRACT**  
**2018 Parks Bond Act**  
**Per Capita Grant Program**GRANTEE City of CoronaTHE PROJECT PERFORMANCE PERIOD is from July 01, 2018 through June 30, 2024CONTRACT PERFORMANCE PERIOD is from July 01, 2018 through June 30, 2048

The GRANTEE agrees to the terms and conditions of this Contract, and the State of California, acting through its Director of the Department of Parks and Recreation, pursuant to the State of California, agrees to fund the total State grant amount indicated below.

The GRANTEE agrees to complete the GRANT SCOPE(s) as defined in the GRANT SCOPE/Cost Estimate Form or acquisition documentation for the application(s) filed with the State of California.

The General and Special Provisions attached are made a part of and incorporated into the Contract.

City of Corona

DocuSigned by:  
By Anne Turner Grantee  
E0BF642E06F0454  
(Signature of Authorized Representative)

Title Library and Recreation Services DirectorDate 4/28/2021STATE OF CALIFORNIA  
DEPARTMENT OF PARKS AND RECREATION

DocuSigned by:  
By Jana Clarke  
96CAD152004346D...

Date 5/17/2021**CERTIFICATION OF FUNDING**

CONTRACT NO C9802202	AMENDMENT NO	FISCAL SUPPLIER I.D. 0000002661	PROJECT NO. 18-33-009 18-33-011
AMOUNT ENCUMBERED BY THIS DOCUMENT \$103,029.00	FUND. Drought, Water, Cln Air, Cstl Protc, Outdoor Fund		
PRIOR AMOUNT ENCUMBERED FOR THIS CONTRACT	ITEM 3790-101-6088	CHAPTER 23	STATUTE 19 FISCAL YEAR 2020/21
TOTAL AMOUNT ENCUMBERED TO DATE \$ \$103,029.00	Reporting Structured. 37900091	Account/Alt Account. 5432000-5432000000	ACTIVITY CODE 69803 PROJECT / WORK PHASE

## **I. RECITALS**

This CONTRACT is entered into between the California Department of Parks and Recreation (hereinafter referred to as “GRANTOR,” “DEPARTMENT” or “STATE”) and City of Corona (hereinafter referred to as “GRANTEE”).

The DEPARTMENT hereby grants to GRANTEE a sum (also referred to as “GRANT MONIES”) not to exceed \$103,029, subject to the terms and conditions of this AGREEMENT and the 2019/20 California State Budget, Chapter 23, statutes of 2019, Item number – 3790-101-6088 (appropriation chapter and budget item number hereinafter referred to as “PER CAPITA GRANT”). These funds shall be used for completion of the GRANT SCOPE(S).

The Grant Performance Period is from July 01, 2018 to June 30, 2024.

## **II. GENERAL PROVISIONS**

### **A. Definitions**

As used in this CONTRACT, the following words shall have the following meanings:

1. The term “ACT” means the California Drought, Water, Parks Climate, Coastal Protection, and Outdoor Access for All Act of 2018, as referred to in section I of this CONTRACT.
2. The term “APPLICATION” means the individual project APPLICATION packet for a project pursuant to the enabling legislation and/or grant program process guide requirements.
3. The term “DEPARTMENT” or “STATE” means the California Department of Parks and Recreation.
4. The term “DEVELOPMENT” means capital improvements to real property by means of, but not limited to, construction, expansion, and/or renovation, of permanent or fixed features of the property.
5. The term “GRANTEE” means the party described as the GRANTEE in Section I of this CONTRACT.
6. The term “GRANT SCOPE” means the items listed in the GRANT SCOPE/Cost Estimate Form or acquisition documentation found in each of the APPLICATIONS submitted pursuant to this grant.
7. The term “PROCEDURAL GUIDE” means the document identified as the “Procedural Guide for California Drought, Water, Parks, Climate, Coastal Protection, and Outdoor Access For All Act of 2018 Per Capita Program.” The

PROCEDURAL GUIDE provides the procedures and policies controlling the administration of the grant.

## **B. Project Execution**

1. Subject to the availability of GRANT MONIES, the STATE hereby grants to the GRANTEE a sum of money not to exceed the amount stated in Section I of this CONTRACT, in consideration of, and on condition that, the sum be expended in carrying out the purposes as set forth in the scope described in the enabling legislation and referenced in the APPLICATION, Section I of this CONTRACT, and under the terms and conditions set forth in this CONTRACT.

The GRANTEE shall assume any obligation to furnish any additional funds that may be necessary to complete the GRANT SCOPE(S).

The GRANTEE agrees to submit any change or alteration from the original GRANT SCOPE(S) in writing to the STATE for prior approval. This applies to any and all changes that occur after STATE has approved the APPLICATION. Changes in the GRANT SCOPE(S) must be approved in writing by the STATE.

2. The GRANTEE shall complete the GRANT SCOPE(S) in accordance with the time of the Performance Period set forth in Section I of this CONTRACT, and under the terms and conditions of this CONTRACT.
3. The GRANTEE shall comply with the California Environmental Quality Act (Public Resources Code, Section 21000, et seq., Title 14, California Code of Regulations, Section 15000 et seq.).
4. The GRANTEE shall comply with all applicable current laws and regulations affecting DEVELOPMENT projects, including, but not limited to, legal requirements for construction contracts, building codes, health and safety codes, and laws and codes pertaining to individuals with disabilities, including but not limited to the Americans With Disabilities Act of 1990 (42 U.S.C. §12101 et seq.) and the California Unruh Act (California Civil Code §51 et seq.).

## **C. Project Costs**

1. GRANTEE agrees to abide by the PROCEDURAL GUIDE.
2. GRANTEE acknowledges that STATE may make reasonable changes to its procedures as set forth in the PROCEDURAL GUIDE. If STATE makes any changes to its procedures and guidelines, STATE agrees to notify GRANTEE within a reasonable time.

## **D. Project Administration**

1. If GRANT MONIES are advanced for DEVELOPMENT projects, the advanced funds shall be placed in an interest bearing account until expended. Interest earned on the advanced funds shall be used on the project as approved by the STATE. If grant monies are advanced and not expended, the unused portion of the

grant and any interest earned shall be returned to the STATE within 60 days after project completion or end of the Grant Performance Period, whichever is earlier.

2. The GRANTEE shall submit written project status reports within 30 calendar days after the STATE has made such a request. In any event, the GRANTEE shall provide the STATE a report showing total final project expenditures within 60 days of project completion or the end of the grant performance period, whichever is earlier. The Grant Performance Period is identified in Section I of this CONTRACT.
3. The GRANTEE shall make property or facilities acquired and/or developed pursuant to this contract available for inspection upon request by the STATE.

#### **E. Project Termination**

1. Project Termination refers to the non-completion of a GRANT SCOPE. Any grant funds that have not been expended by the GRANTEE shall revert to the STATE.
2. The GRANTEE may unilaterally rescind this CONTRACT at any time prior to the commencement of the project. The commencement of the project means the date of the letter notifying GRANTEE of the award or when the funds are appropriated, whichever is later. After project commencement, this CONTRACT may be rescinded, modified or amended only by mutual agreement in writing between the GRANTEE and the STATE, unless the provisions of this CONTRACT provide that mutual agreement is not required.
3. Failure by the GRANTEE to comply with the terms of the (a) PROCEDURAL GUIDE, (b) any legislation applicable to the ACT, (c) this CONTRACT as well as any other grant contracts, specified or general, that GRANTEE has entered into with STATE, may be cause for suspension of all obligations of the STATE unless the STATE determines that such failure was due to no fault of the GRANTEE. In such case, STATE may reimburse GRANTEE for eligible costs properly incurred in performance of this CONTRACT despite non-performance of the GRANTEE. To qualify for such reimbursement, GRANTEE agrees to mitigate its losses to the best of its ability.
4. Any breach of any term, provision, obligation or requirement of this CONTRACT by the GRANTEE shall be a default of this CONTRACT. In the case of any default by GRANTEE, STATE shall be entitled to all remedies available under law and equity, including but not limited to: a) Specific Performance; b) Return of all GRANT MONIES; c) Payment to the STATE of the fair market value of the project property or the actual sales price, whichever is higher; and d) Payment to the STATE of the costs of enforcement of this CONTRACT, including but not limited to court and arbitration costs, fees, expenses of litigation, and reasonable attorney fees.
5. The GRANTEE and the STATE agree that if the GRANT SCOPE includes DEVELOPMENT, final payment may not be made until the work described in the GRANT SCOPE is complete and the GRANT PROJECT is open to the public.

#### **F. Budget Contingency Clause**

If funding for any fiscal year is reduced or deleted by the budget act for purposes of this program, the STATE shall have the option to either cancel this contract with no liability occurring to the STATE, or offer a CONTRACT amendment to GRANTEE to reflect the reduced grant amount. This Paragraph shall not require the mutual agreement as addressed in Paragraph E, provision 2, of this CONTRACT.

#### **G. Hold Harmless**

1. The GRANTEE shall waive all claims and recourse against the STATE including the right to contribution for loss or damage to persons or property arising from, growing out of or in any way connected with or incident to this CONTRACT except claims arising from the concurrent or sole negligence of the STATE, its officers, agents, and employees.
2. The GRANTEE shall indemnify, hold harmless and defend the STATE, its officers, agents and employees against any and all claims, demands, damages, costs, expenses or liability costs arising out of the ACQUISITION, DEVELOPMENT, construction, operation or maintenance of the property described as the project which claims, demands or causes of action arise under California Government Code Section 895.2 or otherwise except for liability arising out of the concurrent or sole negligence of the STATE, its officers, agents, or employees.
3. The GRANTEE agrees that in the event the STATE is named as codefendant under the provisions of California Government Code Section 895 et seq., the GRANTEE shall notify the STATE of such fact and shall represent the STATE in the legal action unless the STATE undertakes to represent itself as codefendant in such legal action in which event the GRANTEE agrees to pay the STATE's litigation costs, expenses, and reasonable attorney fees.
4. The GRANTEE and the STATE agree that in the event of judgment entered against the STATE and the GRANTEE because of the concurrent negligence of the STATE and the GRANTEE, their officers, agents, or employees, an apportionment of liability to pay such judgment shall be made by a court of competent jurisdiction. Neither party shall request a jury apportionment.
5. The GRANTEE shall indemnify, hold harmless and defend the STATE, its officers, agents and employees against any and all claims, demands, costs, expenses or liability costs arising out of legal actions pursuant to items to which the GRANTEE has certified. The GRANTEE acknowledges that it is solely responsible for compliance with items to which it has certified.

#### **H. Financial Records**

1. The GRANTEE shall maintain satisfactory financial accounts, documents, including loan documents, and all other records for the project and to make them available to the STATE for auditing at reasonable times. The GRANTEE also agrees to retain such financial accounts, documents and records for five years following project



termination or issuance of final payment, whichever is later.

2. The GRANTEE shall keep such records as the STATE shall prescribe, including records which fully disclose (a) the disposition of the proceeds of STATE funding assistance, (b) the total cost of the project in connection with such assistance that is given or used, (c) the amount and nature of that portion of the project cost supplied by other sources, and (d) any other such records that will facilitate an effective audit.
3. The GRANTEE agrees that the STATE shall have the right to inspect and make copies of any books, records or reports pertaining to this contract or matters related thereto during regular office hours. The GRANTEE shall maintain and make available for inspection by the STATE accurate records of all of its costs, disbursements and receipts with respect to its activities under this contract. Such accounts, documents, and records shall be retained by the GRANTEE for at least five years following project termination or issuance of final payment, whichever is later.
4. The GRANTEE shall use a generally accepted accounting system.

#### **I. Use of Facilities**

1. The GRANTEE agrees that the GRANTEE shall operate and maintain the property acquired or developed with the GRANT MONIES, for the duration of the Contract Performance Period.
2. The GRANTEE agrees that, during the Contract Performance Period, the GRANTEE shall use the property acquired or developed with GRANT MONIES under this contract only for the purposes of this grant and no other use, sale, or other disposition or change of the use of the property to one not consistent with its purpose shall be permitted except as authorized by the STATE and the property shall be replaced with property of equivalent value and usefulness as determined by the STATE.
3. The property acquired or developed may be transferred to another entity if the successor entity assumes the obligations imposed under this CONTRACT and with the approval of STATE.
4. Any real Property (including any portion of it or any interest in it) may not be used as security for any debt or mitigation, without the written approval of the STATE provided that such approval shall not be unreasonably withheld as long as the purposes for which the Grant was awarded are maintained. Any such permission that is granted does not make the STATE a guarantor or a surety for any debt or mitigation, nor does it waive the STATE'S rights to enforce performance under the Grant CONTRACT.

5. All real property, or rights thereto, acquired with GRANT MONIES shall be subject to an appropriate form of restrictive title, rights, or covenants approved by the STATE. If the project property is taken by use of eminent domain, GRANTEE shall reimburse STATE an amount at least equal to the amount of GRANT MONIES received from STATE or the pro-rated full market value of the real property, including improvements, at the time of sale, whichever is higher.
6. If eminent domain proceedings are initiated against GRANTEE, GRANTEE shall notify STATE within 10 days of receiving the complaint.

#### **J. Nondiscrimination**

1. The GRANTEE shall not discriminate against any person on the basis of sex, race, color, national origin, age, religion, ancestry, sexual orientation, or disability in the use of any property or facility developed pursuant to this contract.
2. The GRANTEE shall not discriminate against any person on the basis of residence except to the extent that reasonable differences in admission or other fees may be maintained on the basis of residence and pursuant to law.
3. All facilities shall be open to members of the public generally, except as noted under the special provisions of this project contract or under provisions of the enabling legislation and/or grant program.

#### **K. Severability**

If any provision of this CONTRACT or the application thereof is held invalid, that invalidity shall not affect other provisions or applications of the CONTRACT which can be given effect without the invalid provision or application, and to this end the provisions of this CONTRACT are severable.

#### **L. Liability**

1. STATE assumes no responsibility for assuring the safety or standards of construction, site improvements or programs related to the GRANT SCOPE. The STATE'S rights under this CONTRACT to review, inspect and approve the GRANT SCOPE and any final plans of implementation shall not give rise to any warranty or representation that the GRANT SCOPE and any plans or improvements are free from hazards or defects.
2. GRANTEE will secure adequate liability insurance, performance bond, and/or other security necessary to protect the GRANTEE'S and STATE'S interest against poor workmanship, fraud, or other potential loss associated with completion of the grant project.

#### **M. Assignability**

Without the written consent of the STATE, the GRANTEE'S interest in and responsibilities under this CONTRACT shall not be assignable by the GRANTEE either in whole or in part.

#### **N. Use of Grant Monies**

GRANTEE shall not use any grant funds (including any portion thereof) for the purpose of making any leverage loan, pledge, promissory note or similar financial device or transaction, without: 1) the prior written approval of the STATE; and 2) any financial or legal interests created by any such leverage loan, pledge, promissory note or similar financial device or transaction in the project property shall be completely subordinated to this CONTRACT through a Subordination Agreement provided and approved by the STATE, signed by all parties involved in the transaction, and recorded in the County Records against the fee title of the project property.

#### **O. Section Headings**

The headings and captions of the various sections of this CONTRACT have been inserted only for the purpose of convenience and are not a part of this CONTRACT and shall not be deemed in any manner to modify, explain, or restrict any of the provisions of this CONTRACT.

#### **P. Waiver**

Any failure by a party to enforce its rights under this CONTRACT, in the event of a breach, shall *not* be construed as a waiver of said rights; and the waiver of any breach under this CONTRACT shall *not* be construed as a waiver of any subsequent breach.

City of Corona  
GRANTEE

DocuSigned by:  
By: Anne Turner  
E08F842E00F0454...  
Signature of Authorized Representative

Title: Director of Community Services

Date: 4/28/2021

STATE OF CALIFORNIA  
DEPARTMENT OF PARKS AND RECREATION

DocuSigned by:  
By: Jana Clarke  
96CAD152004346D...

Date: 5/17/2021



Staff Report

---

**File #:** 21-0662

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Public Works Department

**SUBJECT:**

Approve the release of certain Grading Securities associated with Tract Map 37030.

**EXECUTIVE SUMMARY:**

Grading activities within Lots 11 and 18 through 20 of Tract Map 37030 have been completed. The project is located in the first phase of development of the Arantine Hills Specific Plan, within the Whitney single-family home product of the Bedford Community. The proposed action will release the Grading and Erosion Control securities posted by the owner, The New Home Company Southern California LLC, a California Limited Liability Company.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Release the Bedford (50x90 Model) Portion of Lot 18 Precise Grading Faithful Performance and Erosion Control Security (PB02497500806 FP, PGR170013-R6488 cash).
- b. Release the Bedford (50x90 Production) Lots 11, 19-20 and Portion of Lot 18 Faithful Performance and Erosion Control Security (PB02497500795 FP, PWGR2017-0125-R6633 cash).

**BACKGROUND & HISTORY:**

Tract Map 37030 is a subdivision of approximately 54 acres into 45 lots for condominium purposes and is the first phase of development in the Arantine Hills Specific Plan, approved by the City Council on October 4, 2017. The project is located south of Eagle Glen Parkway and west of Interstate 15, as shown on Exhibit "1." The map facilitates the construction of 393 residential units comprised of 100 single-family detached condominiums, 96 detached units in clusters of six, 96 paired units in clusters of eight, 101 townhomes, opens space areas, trail areas, and an active park and recreational facility.

On October 18, 2017, the master developer, Arantine Hills Holdings, LP, entered into Grading and Public Improvement Agreements with the City and posted bonds for the development of Tract Map 37030. On June 6, 2018, The New Home Company Southern California LLC posted replacement securities and entered into new Grading and Public Improvement Agreements for the precise grading and certain street and landscaping improvements as the merchant builder for the 41 single-family dwelling unit product on Lots 11 and 18 through 20, marketed as the Whitney product.

**ANALYSIS:**

The model and production lots associated with the Whitney product have been precise graded in accordance with all City Standards and the approved Grading Plans. Therefore, it is appropriate to release the Grading and Erosion Control Securities at this time.

**FINANCIAL IMPACT:**

All applicable fees have been paid by the developer.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action merely releases the current securities associated with the property. Since there is no possibility that adopting this action will have a significant effect on the environment, no environmental analysis is required.

**PREPARED BY:** MICHELE HINDERSINN, P.E., SENIOR CIVIL ENGINEER

**REVIEWED BY:** SAVAT KHAMPHOU, ACTING PUBLIC WORKS DIRECTOR

**Attachments:**

1. Exhibit 1 - Location Map

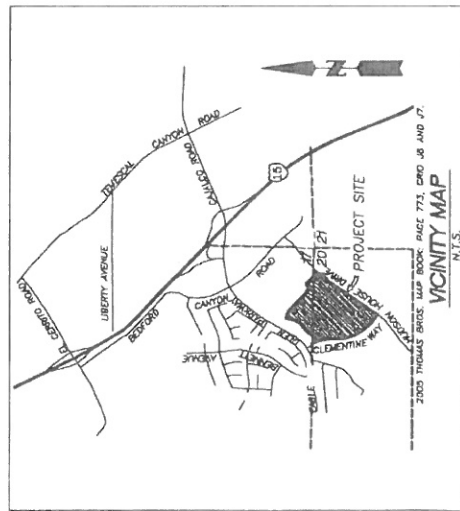
UNIMPROVED LOTS: 45  
 LETTERED LOTS: 17  
 IMPROVED LOTS: 31,047 AC.  
 UNIMPROVED LOTS: 20,639 AC.  
 TOTAL ACRES: 51,746 AC.

**SHEET INDEX**

- (1) INDICATES SHEET NUMBER
- INDICATES SHEET BOUNDARY

**EASEMENT NOTES**

1. A STORM DRAIN EASEMENT AS SHOWN AND DEDICATED ON TRACT 36234, RECORDED JULY 13, 2017, IN MAP BOOKS 438 PAGES 23 - 30.
2. A DRAINAGE EASEMENT AS SHOWN AND DEDICATED ON TRACT 36234, RECORDED JULY 13, 2017, IN MAP BOOKS 438 PAGES 23 - 30.
3. AN EASEMENT FOR PUBLIC WATER, RECLAIMED WATER, SEWER, STREET LIGHT, DRAINAGE, AND PUBLIC UTILITY PURPOSES TOGETHER WITH THE RIGHT OF INTEREST AND ACCESS FOR SERVICE AND EMERGENCY VEHICLES AND PERSONNEL, AS SHOWN AND DEDICATED ON TRACT 36234, RECORDED JULY 13, 2017, IN MAP BOOKS 438 PAGES 23 - 30.
4. AN EASEMENT FOR PUBLIC WATER, RECLAIMED WATER, SEWER, STREET LIGHT, DRAINAGE, AND PUBLIC UTILITY PURPOSES TOGETHER WITH THE RIGHT OF INTEREST AND ACCESS FOR SERVICE AND EMERGENCY VEHICLES AS SHOWN AND DEDICATED HEREON.
5. AN EASEMENT FOR PUBLIC UTILITY PURPOSES AS SHOWN AND DEDICATED HEREON.
6. A DRAINAGE EASEMENT, AS SHOWN AND DEDICATED TO THE PUBLIC HEREON.
7. A STORM DRAIN EASEMENT, AS SHOWN AND DEDICATED TO THE PUBLIC HEREON.
8. AN EASEMENT FOR PUBLIC SEWER PURPOSES AS SHOWN AND DEDICATED HEREON.
9. AN EASEMENT TO THE PUBLIC FOR ACCESS PURPOSES FOR INTEREST AND ACCESS FOR THE CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES OVER LOT 12 AND LOTS "C", "L", "N" AND "K", DEDICATED TO THE PUBLIC HEREON.
10. A TRAIL EASEMENT FOR PUBLIC USE, AS SHOWN AND DEDICATED HEREON.
11. AN EASEMENT FOR PUBLIC WATER PURPOSES SHOWN AND DEDICATED HEREON.
12. AN EASEMENT FOR LANDSCAPE PURPOSES, AS SHOWN AND RETAINED HEREON.
13. AN EASEMENT FOR LANDSCAPE PURPOSES, AS SHOWN AND RETAINED HEREON.

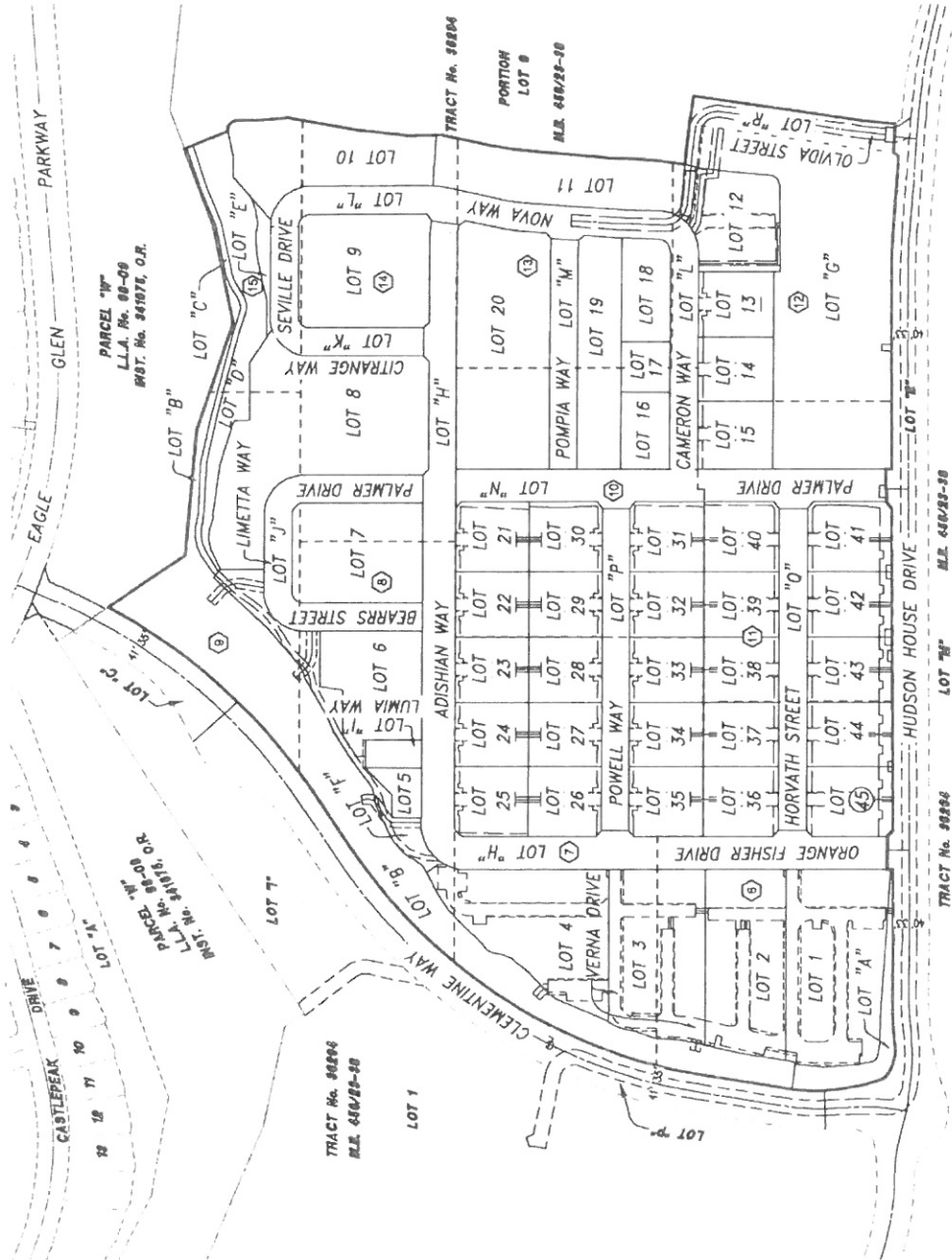


**NOTES**

SEE SHEET 3 FOR NOTARY ACKNOWLEDGMENTS  
 SEE SHEET 4 FOR ADDITIONAL BOUNDARY DETAIL INFORMATION, BASIS OF MEASUREMENT AND DATA STATEMENT  
 SEE SHEET 5 FOR PROJECT INFORMATION  
 SEE SHEET 6 FOR PROJECT INFORMATION  
 SEE SHEET 7 AND 8 FOR LANDSCAPE EASEMENT INFORMATION

IN THE CITY OF CORONA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TRACT NO. 37030**

BEING A SUBDIVISION OF LOTS 2, 3, 4, 5, 6, 7, 8 AND 9 OF TRACT MAP NO. 36234, FILED IN BOOK 438, PAGES 23 THROUGH 30, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA  
 HUNSAKER AND ASSOCIATES, INC.  
 AUGUST, SEPTEMBER & NOVEMBER, 2015.  
 FOR CONDOMINIUM PURPOSES



**EXHIBIT "1"**



Staff Report

---

**File #:** 21-0668

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Human Resources Department

**SUBJECT:**  
Personnel Report providing employee updates and details on various recruitment transactions.

**EXECUTIVE SUMMARY:**

This Personnel Report includes only the new personnel activity since the previous meeting. The Report includes employee updates and information on recruitments from Human Resources.

**RECOMMENDED ACTION:**

**That the City Council** receive and file the Personnel Report for employee updates and recruitment transactions.

**BACKGROUND & HISTORY:**

The employee updates in the Personnel Report include full-time appointments, full-time promotions, and retirements. The recruitment activity portion of the report includes both open/competitive recruitments as well as internal/promotional recruitments.

**ANALYSIS:**

The Personnel Report includes the employee updates and recruitments noted below. These transaction types are reported to Council for informational purposes each meeting to enhance transparency. The report includes new activity only since the previous meeting. The employee updates in the Personnel Report include full-time appointments, full-time promotions, and retirements. The recruitment activity portion of the report includes both open/competitive recruitments as well as internal/promotional recruitments.

## Full-Time Appointments

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Monthly Pay Range</i>	<i>Effective Date</i>
Lopez, Moises	Community Services	Parks Services Worker I Flex	\$2,927 - \$3,573	June 21, 2021

## Full-Time Promotions

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Monthly Pay Range</i>	<i>Effective Date</i>
Kieffer, Logan	Police Department	Public Safety Dispatcher I Flex	\$4,068 - \$4,966	May 22, 2021
Perez, Ismael	Public Works	Associate Engineer	\$6,123 - \$7,475	June 5, 2021
Sitton, Kim	Administrative Services/Finance	Administrative Services Director	\$12,433 - \$15,178	April 14, 2021

## Retirements

<i>Employee Name</i>	<i>Department</i>	<i>Position</i>	<i>Years of Service</i>	<i>Last Day on Payroll</i>
Davis, Robert	Department of Water & Power	Water Operator III Flex	31 years	May 28, 2021

## Open/Competitive Recruitments

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Open Date</i>	<i>Closing Date</i>	<i>Status</i>
Community Services Leader I	Community Services	Part Time	June 24, 2021	July 15, 2021	Accepting applications
Community Services Leader III	Community Services	Part Time	June 23, 2021	July 14, 2021	Accepting applications
GIS Analyst	Information Technology	Part Time	June 22, 2021	July 13, 2021	Accepting applications
Janitor	Police Department	Part Time	June 21, 2021	July 12, 2021	Accepting applications
Program Coordinator	Community Services	Full Time	June 24, 2021	July 14, 2021	Accepting applications
Public Safety Dispatcher I/II (POST/T-Score)	Police Department	Full Time	June 10, 2021	June 30, 2021	Interviews
Water Operator I/II	Department of Water and Power	Full Time	June 10, 2021	July 1, 2021	Accepting applications



## Internal/Promotional Recruitments

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Open Date</i>	<i>Closing Date</i>	<i>Status</i>
Jailer	Police Department	Full Time	June 8, 2021	June 16, 2021	Interviews scheduled 7/1/21

## Active Recruitments

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Status</i>
Accounting Supervisor	Administrative Services	Full Time	Interview Stage
Payroll Technician I	Administrative Services	Full Time	Interview Stage
Library and Recreation Leader I	Community Services	Part Time	Interview Stage
Lifeguard	Community Services	Part Time	Interview Stage
Park Ranger	Community Services	Part Time	Interview Stage
Pool Manager	Community Services	Part Time	Interview Stage
Water Safety Instructor	Community Services	Part Time	Interview Stage
Administrative Assistant	Department of Water and Power	Full Time	Department Review Stage
Street Maintenance Worker	Department of Water and Power	Full Time	Department Review Stage
Utility Service Worker I	Department of Water and Power	Full Time	Interview Stage
Water Operator I & II	Department of Water and Power	Full Time	Department Review Stage
Water Resources Technician I	Department of Water and Power	Full Time	Department Review Stage
Occupational Health and Safety Officer	Human Resources	Full Time	Department Review Stage
Intern II	Legal and Risk Management	Part Time	Department Review Stage
Animal Care Attendant	Police Department	Part Time	Interview Stage
Jailer	Police Department	Part Time	Interview Stage

## Active Recruitments (Continued)

<i>Position</i>	<i>Department</i>	<i>Position Type</i>	<i>Status</i>
Police Officer I/II - Lateral	Police Department	Full Time	Accepting applications
Police Trainee	Police Department	Full Time	Department Review Stage
Public Safety Dispatcher I - PT	Police Department	Part Time	Interview Stage
Executive Assistant II	Public Works	Full Time	Interview Stage
Public Works Inspector II	Public Works	Full Time	Interview Stage

**FINANCIAL IMPACT:**

There is no cost impact associated with the acceptance of this report. The cost of the various personnel changes listed herein are reflected in the Adopted Fiscal Year 2020-2021 Budget for the departments listed in the report.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. There is no possibility that the acceptance of this report will have a significant effect on the environment.

**PREPARED BY:** SHELLY MATHEWS, HUMAN RESOURCES ADMINISTRATIVE ASSISTANT

**REVIEWED BY:** ANGELA RIVERA, CHIEF TALENT OFFICER



Staff Report

---

**File #:** 21-0517

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Community Services Department

**SUBJECT:**

Resolution Adopting the Updated Citywide Master Fee Recovery Schedule to Create a Simplified Convenience Fee Surcharge for Recreation Customer Transactions.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution will update the Citywide Master Fee Recovery Schedule for Recreation fees. The proposed fees reflect the total cost of recreation activities including the processing fees, rounded to the nearest whole dollar amount. This change will replace the unpopular "convenience fee," which is a third-party transaction fee that is charged in addition to the advertised program costs and set fees, with a simplified, all-inclusive advertised cost. This aligns with the Community Services Department objective to keep resident fees for activities, programs, and services at a minimum, while providing an optimal customer service experience.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Adopt Resolution No. 2021-055 to update the Citywide Master Fee Recovery Schedule.
- b. Incorporate the third-party software transaction fee into the advertised cost for all recreation programs rounded to the nearest whole dollar so no additional "convenience fees" are charged to program users effective August 1, 2021.
- c. Incorporate the third party-software transaction fee into the advertised cost for all facility use and rentals at total cost, effective August 1, 2021.

- d. Authorize an increase in General Fund estimated revenue in the amount of \$15,000, as a result of the amended fees.

**BACKGROUND & HISTORY:**

In January of 2019, as a cost savings to the City, a pass-through charge or "transaction fee" for the City's use of third-party merchant processing and fees for its Active Network service as its primary recreation software, was introduced. These fees are applied in addition to the City's advertised rates for programs and services. In 2020, the City switched from the Active Network to CivicRec to reduce costs and provide better service to the community following an extensive search for a better software solution. With the introduction of CivicRec, the City dropped a confusing "transaction fee" model that varied from 1.74% to 4.34% in favor of a simplified 3% flat rate percentage "convenience fee." This was intended to provide better customer services while opening more online, self-service, and phone-based operations. Based upon customer feedback, many have expressed frustrations with the unanticipated "convenience fee" being added to recreations fees at the end of the transaction, and customers would prefer that all costs be provided upfront prior to any transaction.

**ANALYSIS:**

As part of the Fiscal Year 2022 budget process, the Community Services Department saw an opportunity to reassess its fees as part of the City-Wide Master Fee Recovery Schedule. This is an opportune time to reestablish fees as part of the fiscal year and integrate the unpopular "convenience fee" to create an all-inclusive charge for advertised costs. Coming out of the pandemic, this is especially important for recreational programs and services when families have been faced with many challenges. Understanding that this has been a sore spot amongst many users, the Community Services Department seeks to lower barriers to programs and services. By doing away with overly complicated processes and the perception of hidden fees, it is anticipated that residents will have a more positive and engaging experience with the City.

**COMMITTEE ACTION:**

The Parks and Recreation Commission received this item at its regular meeting on May 11, 2021. The Commission was in favor of incorporating the convenience and recreation fees as part of the fee schedule, with the exception of any fee increases for athletic facilities used by youth leagues, which will be reassessed at a later time. The recommendation passed 4:1. Based upon this feedback, the Community Services Department determined it would be best to separate program fees from facility use until they could be reviewed by a consultant. The recommendation being brought forth to the Council reflects the recommendation of the Parks and Recreation Commission.

**FINANCIAL IMPACT:**

Staff have reviewed the City's recreation service fees and have made multiple recommendations to incorporate the 3% "convenience fee," where appropriate. These proposed fees are outlined in the Resolution No. 2021-055 updating the Citywide Master Fee Recovery Schedule (Exhibit 1). Any difference between the 3% rate and the rounding of the dollar goes to offset the operation of these programs. All facility use rates are only increased by 3% and are not rounded to a whole dollar amount. This will be evaluated through the use of a consultant and brought back to the Parks and

Recreation Commission and Council at a later time.

Approval of the recommended action may result in an estimated revenue increase of \$15,000 in the General Fund. The increased amount will vary depending on the third-party transaction cost and quantity of transactions. These increased funds that are generated will go back to the City's General Fund to pay the costs of the merchant fees and transaction fees associated with maintaining the service for the CivicRec software.

<b>GENERAL FUND</b>	
Adopted Budget - FY 2022 Estimated Revenue Over Expenditures	\$ 14,593,660
Less Measure X Reserves	(13,144,418)
Previously Approved/Revised Budget Adjustments (Net)*	(38,983)
Community Services Market-Based Fees - Revenue	15,000
<b>Revised Estimated Revenue Over Expenditures</b>	<b>\$ 1,425,259</b>
Budget Balancing Measures Reserve - Estimated 06/30/2021	27,665,595
Estimated FY 2022 Change in Budget Balancing Measures Reserve	1,425,259
<b>Estimated Budget Balancing Measures Reserve - 06/30/22</b>	<b>\$ 29,090,854</b>

\* Approved through Council Action or other operational process.

#### **ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the common-sense exemption that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. This action is for City Council to approve a Recreation fee schedule, which is already occurring in the City of Corona, and there is no possibility that approving this plan will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** JASON LASS, COMMUNITY SERVICES MANAGER

**REVIEWED BY:** ANNE K. TURNER, COMMUNITY SERVICES DIRECTOR

#### **Attachment:**

1. Exhibit 1- Resolution No. 2021-055

## **RESOLUTION NO. 2021-055**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, UPDATING THE EXISTING CITYWIDE MASTER FEE RECOVERY SCHEDULE FOR MARKET-BASED RECREATION FEES**

**WHEREAS**, Corona Municipal Code Section 3.02.040 provides that the City Council shall adopt the fee and services schedule and percentage of cost recovery by resolution; and

**WHEREAS**, on November 20, 2018, the City Council adopted Resolution No. 2018-125 to update the fees set forth in the Citywide Master Fee Recovery Schedule other than all building related fees; and

**WHEREAS**, on September 4, 2019, the City Council adopted Resolution No. 2019-079 to update the building related fees and amend previously approved fees set forth in the Citywide Master Fee Recovery Schedule; and

**WHEREAS**, the City Council desires to update existing market-based Community Services Recreation established in this Resolution fees; and

**WHEREAS**, the fees adopted by this Resolution includes California Proposition 26 Article XII C Section 1(e) exemption categories.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

#### **SECTION 1. Adoption of Fees and Charges and Percentage of Cost Recovery.**

The Citywide Master Fee Recovery Schedule, adopted pursuant to Resolution No. 2018-125 and 2019-079, is hereby revised and updated to amend, and establish the fees and charges and the corresponding cost recovery percentages as set forth in Exhibit “A” attached hereto and incorporated herein by reference.

**SECTION 2. Updated Fees.** The City Council hereby adopts the Master Fee Recovery Schedule for market-based Recreation fees set forth in Exhibit “A” attached hereto and incorporated herein by reference. The Finance Director is hereby authorized to update the Master Fee Recover Schedule adopted by Resolution No. 2018-125 and Resolution No. 2019-079 to incorporate the updated fees set forth in Exhibit “A” attached hereto.

**SECTION 3. New Fees and Service Charges prior to adoption of next Fee Study.** The Finance Director is hereby authorized to establish and implement, with City Manager approval, new market-based fees and service charges for new programs or services that are not set forth in the Master Fee Recovery Schedule adopted by this Resolution. City staff will conduct a survey of local cities offering similar programs or services to ensure new fees are comparable to other agencies. Any fees or service charges adopted pursuant to the authority granted in this

Section will be included in the next biennial fee review.

**SECTION 4.** Effective Date of Fee Updates. The Mayor shall sign the Resolution and the City Clerk attest there to, and this Resolution shall take effect and be in force on August 1, 2021.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

---

Mayor of the City of Corona, California

**ATTEST:**

---

City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

\_\_\_\_\_  
City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A "**

**UPDATED MASTER FEE RECOVERY SCHEDULE FOR MARKET-BASED  
RECREATION FEES**

[SEE ATTACHED 15 PAGES]



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES



						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
COMMUNITY SERVICES								
2	LARS-010 (previously PR-010)	Adult Sports Program Supervision	Per Team	390	390	-	-	50 - 100%
4	LARS-011 (previously PR-011, LB-070, LB-071, LB-073, PR-1002)	Recreation Facility Reservations	Per Reservation					0 - 100%
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00	-	-	
		Groups III- V		25.00	25.00	-	-	
		Facility Reservation Change Fee Actual Cost of Staff Time to Process	Per Reservation	Actual Cost	Actual Cost	-	-	
		Facility Reservation Cancellation Fee	Per Reservation					
		46 days + from reservation date		10.00	10.00	-	-	
		31-45 days from reservation date		10% loss of rental fees	10% loss of rental fees	-	-	
		16-30 days from reservation date		25% loss of rental fees	25% loss of rental fees	-	-	
		1-15 days from reservation date		50% loss of rental fees	50% loss of rental fees	-	-	
		Library Room Rentals						
		XL Room (capacity 160)	Per Hour					
		Frances A. Martinez Room (FAM)						
		One (1) hour minimum rental during Library's operating hours / 3 hour minimum rental for non-operational hours						
		Group II & IIY		70.00	70.00	72.10	2.10	
		Group III		105.00	105.00	108.15	3.15	
		Group IV		125.00	125.00	128.90	3.90	
		Group V		190.00	190.00	195.70	5.70	
		Medium Room (capacity 55)	Per Hour					
		Frances A. Martinez Room (FAM) 1/2 Room						
		North Room						
		South Room						
		One (1) hour minimum rental during Library's operating hours / 3 hour minimum rental for non-operational hours						
		Group II & IIY		35.00	35.00	36.05	1.05	
		Group III		45.00	45.00	46.35	1.35	
		Group IV		55.00	55.00	56.65	1.65	
		Group V		80.00	80.00	82.40	2.40	



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
		Small Room (capacity 24)	Per Hour					
		Library High Desert Room						
		One (1) hour minimum rental during Library's operating hours / 3 hour minimum rental for non-operational hours						
		Group II & IIY		25.00	25.00	25.75	0.75	
		Group III		35.00	35.00	36.05	1.05	
		Group IV		45.00	45.00	46.35	1.35	
		Group V		70.00	70.00	72.10	2.10	
		Conference Room (capacity 12)	Per Hour					
		Taber						
		One (1) hour minimum rental during Library's operating hours / 3 hour minimum rental for non-operational hours						
		Group II & IIY		15.00	15.00	15.45	0.45	
		Group III		25.00	25.00	25.75	0.75	
		Group IV		30.00	30.00	30.90	0.90	
		Group V		45.00	45.00	46.35	1.35	
		FAM Room Equipment	Per Reservation					
		Audio/visual use		50.00	50.00		-	
		Plus (\$100 Deposit)		Security Deposit	Security Deposit		-	
		Stage		50.00	50.00		-	
		Piano		20.00	20.00		-	
		Kitchen, per hour		20.00	20.00		-	
		Cleanup based on actual cost of clean-up		Actual Costs	Actual Costs		-	
		FAM Room Security Guard	Per Reservation					
		Current rate charged by security company		Current Rate	Current Rate		-	
		<i>Paid directly to security company</i>						
		Circle City Center Rentals						
		Open Gym - daily drop in fee to play						
		18 and over - Resident		2.00	2.00		-	
		18 and over - Non Resident		3.00	3.00		-	
		Open Membership Gym Card (15 visits)						
		Adaptive Participant		15.00	15.00		-	
		Resident		20.00	20.00		-	
		Non-Resident		30.00	30.00		-	
LARS-011		Gym Rental - Full Basketball Court / hourly rate	Per Hour					
(continued)		One (1) hour minimum during Center operating hours /						
		Three (3) hour minimum during after hours events						



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	7/7/2021		Recovery Level
						PROPOSED FEE	Dollar Change	
		Group II & IIV		50.00	50.00	51.50	1.50	
		Group III		60.00	60.00	61.80	1.80	
		Group IV		70.00	70.00	72.10	2.10	
		Group V		105.00	105.00	108.15	3.15	
		Scorekeeper Hourly Fee		20.00	Actual Cost		-	
		Volleyball Equipment (Net and Ball) Set Rental		100.00	100.00		-	
		Equipment Deposit (refundable)		100.00	100.00		-	
		Event Hall for gathering space / hourly rate (capacity 400-651)	Per Hour					
		Three (3) hour minimum rental required						
		Group I - Set-up, Cleaning, and Removal of Circle City						
		Event Hall Flooring		375.00	375.00	286.25	11.55	
		Group II & IIV		150.00	150.00	154.50	4.50	
		Group III		200.00	200.00	206.00	6.00	
		Group IV		250.00	250.00	257.50	7.50	
		Group V		375.00	375.00	286.25	11.25	
		Lobby / hourly rate	Per Hour					
		One (1) hour minimum rental required						
		Group II & IIV		40.00	40.00	41.20	1.20	
		Group III		50.00	50.00	51.50	1.50	
		Group IV		60.00	60.00	61.80	1.80	
		Group V		90.00	90.00	92.70	2.70	
		Banquet Room - Full Room / hourly rate (capacity 250)	Per Hour					
		Three (3) hour minimum rental required						
		Group II & IIV		125.00	125.00	128.75	3.75	
		Group III		175.00	175.00	180.25	5.25	
		Group IV		210.00	210.00	216.30	6.30	
		Group V		315.00	315.00	324.45	9.45	
		XL Room (capacity 140)	Per Hour					
		Banquet Room - Half Room / hourly rate						
		Three (3) hour minimum rental required						
		Group II & IIV		70.00	70.00	72.10	2.10	
		Group III		105.00	105.00	108.15	3.15	
		Group IV		125.00	125.00	128.75	3.75	
		Group V		190.00	190.00	195.70	5.70	
LARS-011		Fitness Room - Full Room / hourly rate (capacity 90)	Per Hour					
(continued)		One (1) hour minimum during Center operating hours / Three (3) hour minimum during after hours events						



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	7/7/2021		Recovery Level
						PROPOSED FEE	Dollar Change	
		Group II & IIY		40.00	40.00	41.20	1.20	
		Group III		55.00	55.00	56.65	1.65	
		Group IV		65.00	65.00	66.95	1.95	
		Group V		95.00	95.00	97.85	2.85	
		Fitness Room - Half Room / hourly rate (capacity 45)	Per Hour					
		One (1) hour minimum during Center operating hours / Three						
		(3) hour minimum during after hours events						
		Group II & IIY		25.00	25.00	25.75	0.75	
		Group III		30.00	30.00	30.90	0.90	
		Group IV		35.00	35.00	36.05	1.05	
		Group V		55.00	55.00	56.65	1.65	
		Small Room (capacity 40-45)	Per Hour					
		Activity Room A & B / hourly rate						
		One (1) hour minimum during Center operating hours / Three						
		(3) hour minimum during after hours events						
		Group II & IIY		15.00	25.00	25.75	0.75	
		Group III		25.00	35.00	36.05	1.05	
		Group IV		30.00	45.00	46.35	1.35	
		Group V		45.00	70.00	72.10	2.10	
		XS Room (capacity 15-20)	Per Hour					
		Activity Room C, Visual Arts Room and Conference Room /						
		hourly rate						
		One (1) hour minimum during Center operating hours / Three						
		(3) hour minimum during after hours events						
		Group II & IIY		15.00	15.00	15.45	0.45	
		Group III		25.00	25.00	25.75	0.75	
		Group IV		30.00	30.00	30.90	0.90	
		Group V		45.00	45.00	46.35	1.35	
		Game Room / hourly rate (capacity 45)	Per Hour					
		One (1) hour minimum during Center operating hours / Three						
		(3) hour minimum during after hours events						
		Group II & IIY		40.00	40.00	41.20	1.20	
		Group III		45.00	45.00	46.35	1.35	
		Group IV		55.00	55.00	56.65	1.65	
		Group V		80.00	80.00	82.40	2.40	
LARS-011		Stage and Lawn Area	Per Hour					
(continued)		Fees based on Special Event Criteria						



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	Recovery Level
		One (1) hour minimum during Center operating hours / Three (3) hour minimum during after hours events						
		Group II & IIY - hourly rate plus actual cost		120.00	120.00	123.60	3.60	
		Group III - hourly rate plus actual cost		130.00	130.00	133.90	3.90	
		Group IV - hourly rate plus actual cost		140.00	140.00	144.20	4.20	
		Group V - hourly rate plus actual cost		210.00	210.00	216.30	6.30	
		Audio Visual Equipment Rental		50.00	50.00		-	
		Kitchen Rental	Per Hour	30.00	30.00		-	
		Hourly Rate for all Groups						
		Stage Rental Fee	Flat Rate	50.00	50.00		-	
		Flat Rate for all Groups						
		Civic Auditorium Theater (capacity 380)	Per Hour					
		Three (3) hour minimum rental required	(Formerly Flat Rate)					
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		70.00	70.00	72.10	2.10	
		Group III		105.00	105.00	108.15	3.15	
		Group IV		125.00	125.00	128.75	3.75	
		Group V		190.00	190.00	195.70	5.70	
		Theater Technician Hourly Fee - for all groups requesting use of sound system and/or light boards that do not have an approved technician.		Actual Cost	Actual Cost		-	
		<a href="#">New</a>						
		<a href="#">Rigging Technician for Theater</a>				Actual Cost		
		<a href="#">Sound &amp; Lighting Technician for Theater</a>				Actual Cost		
		12-hr rental includes 1 staff. Additional staffing needed will be charged at actual cost.						
		City Hall South Lawn						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III- V		25.00	25.00		-	
		Group II & IIY		250.00	250.00	257.50	7.50	
		Group III		250.00	250.00	257.70	7.50	
		Group IV		270.00	270.00	278.10	8.10	
		Group V		350.00	350.00	360.50	10.50	



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
	LARS-011	Additional per hour rental fee						
	(continued)	Group II-III		-	20.00	20.60	0.60	
		Group IV		-	25.00	25.75	0.75	
		Group V		-	30.00	30.90	0.90	
		City Hall Front Lawn	12-hr rental includes 1 staff. Additional staffing needed will be charged at actual cost.					
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III- V		25.00	25.00		-	
		Group II & IIY		250.00	250.00	257.50	7.50	
		Group III		250.00	250.00	257.50	7.50	
		Group IV		270.00	270.00	278.10	8.10	
		Group V		350.00	350.00	360.50	10.50	
		Additional per hour rental fee						
		Group II-III		-	20.00	20.60	0.60	
		Group IV		-	25.00	25.75	0.75	
		Group V		-	30.00	30.90	0.90	
		Civic Center Gymnasium - used during non-operations hours	Per Hour					
		Three (3) hour minimum rental required						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		35.00	35.00	36.05	1.05	
		Group III		40.00	40.00	41.20	1.20	
		Group IV		50.00	50.00	51.50	1.50	
		Group V		75.00	75.00	77.25	2.25	
		Open Gym - daily drop in fee to play						
		18 and over - Resident		2.00	2.00		-	
		18 and over - Non Resident		3.00	3.00		-	
		Open Membership Gym Card (15 visits)						
		Adaptive Participant		15.00	15.00		-	
		Resident		20.00	20.00		-	
		Non-Resident		30.00	30.00		-	
		Civic Center Gymnasium - Non Gym Use (capacity 400)	Per Hour					
		Three (3) hour minimum rental required during non-operational hours						
		Plus Reservation Application Processing Fee - Non Refundable						



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
LARS-011 (continued)		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		125.00	125.00	128.75	3.75	
		Group III		175.00	175.00	180.25	5.25	
		Group IV		210.00	210.00	216.30	6.30	
		Group V		315.00	315.00	324.45	9.45	
		Large Rooms (capacity 99-122)	Per Hour					
		Senior Center Main Room	(formerly Flat Rate)					
		Historic City Hall Community Room						
		Three (3) hour minimum rental required						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		40.00	40.00	41.20	1.20	
		Group III		55.00	55.00	56.65	1.65	
		Group IV		65.00	65.00	66.95	1.95	
		Group V		95.00	95.00	97.85	2.85	
		Medium Size Room (capacity 50-122)	Per Hour					
		Auburndale South, Victoria Main & South, Senior Center R & R Room, HCC Gym Fitness	(formerly Flat Rate)					
		Three (3) hour minimum rental required						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		35.00	35.00	36.05	1.05	
		Group III		45.00	45.00	46.35	1.35	
		Group IV		55.00	55.00	56.65	1.65	
		Group V		80.00	80.00	82.40	2.40	
		Small Room (capacity 28-40)	Per Hour					
		Auburndale North, Vicentia Activity Center, Brentwood, Victoria North, Senior Center Sunshine, HCC Gym Teen Room	(formerly Flat Rate)					
		Three (3) hour minimum rental required						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		25.00	25.00	25.75	0.75	
		Group III		35.00	35.00	36.05	1.05	
		Group IV		45.00	45.00	46.35	1.35	





## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	7/7/2021		Recovery Level
						PROPOSED FEE	Dollar Change	
		Group V		70.00	70.00	72.10	2.10	
	LARS-011 (continued)	Extra Small Room (capacity 20) HCC Gym Meeting Room	Per Hour					
		Three (3) hour minimum rental required Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		15.00	15.00	15.45	0.45	
		Group III		25.00	25.00	25.75	0.75	
		Group IV		30.00	30.00	30.90	0.90	
		Group V		45.00	45.00	46.35	1.35	
		Pool Rentals	Per Hour					
		Auburndale Pool - 3 hour minimum Reservation includes three lifeguards for up to 75 people. > 75, additional lifeguards will be needed						
		Lifeguard Fee		Actual Cost	Actual Cost		-	
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Additional Lifeguards (for every 25 people over 75)		Actual Cost	Actual Cost		-	
		Group II & IIY		60.00	60.00	62.00	2.00	
		Group III		70.00	70.00	72.00	2.00	
		Group IV		90.00	90.00	93.00	3.00	
		Group V		135.00	135.00	139.00	4.00	
		City Park Pool - 3 hour minimum Reservation includes lifeguards for up to 75 people. > 75, additional lifeguards will be needed	Per Hour					
		Lifeguard		Actual Cost	Actual Cost		-	
		Plus Reservation Application Processing Fee - Non Refundable					-	
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		120.00	120.00	150.60	3.60	
		Group III		130.00	130.00	133.90	3.90	
		Group IV		130.00	135.00	139.05	4.05	
		Group V		195.00	195.00	200.85	5.85	
		Splash Pads (Ridgeline & Citrus) - Rental only from after Labor Day through early May. Must be rented with picnic shelter.	Per Hour					
		Group II & IIY		30.00	30.00	30.90	0.90	



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	7/7/2021		Recovery Level
						PROPOSED FEE	Dollar Change	
		Group III		40.00	40.00	41.20	1.20	
	LARS-011	Group IV		48.00	48.00	49.45	1.45	
	(continued)	Group V		72.00	72.00	74.20	2.20	
		Sport Fields	Per Hour					
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Day Use:						
		Group II		10.00	10.00	10.30	0.30	
		Group IIY						
		Baseball/Softball		3.00	3.00	3.10	0.10	
		Soccer/Football		4.00	4.00	4.15	0.15	
		General Use		3.00	3.00	3.10	0.10	
		Group III		18.00	18.00	18.55	0.55	
		Group IV		30.00	30.00	30.90	0.90	
		Group V		40.00	40.00	41.20	1.20	
		Dragging and Lining of Fields - All Groups	Actual Costs	Actual Costs			-	
		Lights - 100% of actual electrical costs - Includes						
		Tennis Courts	Actual Costs	Actual Costs			-	
		Peg Bases - Rental Fee	25.00	25.00			-	
		Plus deposit per set of Peg Bases	200.00	200.00			-	
		Tournaments	Per Reservation					
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Per hour charge to light each field	Actual Costs	Actual Costs			-	
		Dragging & Lining per field	Actual Costs	Actual Costs			-	
		Groups I - V: Actual event costs including staff time, materials, and equipment (per day and per amenity)	Actual Costs	Actual Costs			-	
		Refundable Deposit per park for all Groups	350.00	350.00			-	
		Tennis Courts & Pickleball Courts (4)	Per Hour					
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II-IIY		5.00	5.00	5.15	0.15	
		Group III		7.00	7.00	7.20	0.20	
		Group IV		10.00	10.00	10.30	0.30	
		Group V		15.00	15.00	15.45	0.45	
		City Park Fiesta Band Shell	Per Hour					



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	Recovery Level
		Three (3) hour minimum rental required	(formerly Flat Rate)					
	LARS-011	Plus Reservation Application Processing Fee - Non Refundable		5.00	10.00			
	(continued)	Group II & IIY		20.00	20.00	25.00	5.00	
		Group III		25.00	25.00	25.75	0.75	
		Group IV		40.00	40.00	41.20	1.20	
		Group V		60.00	60.00	61.80	1.80	
		Picnic Shelter Reservation	5-Hour Rental					
		Five (5) Hour Rental						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		40.00	40.00	41.20	1.20	
		Group III		50.00	50.00	51.50	1.50	
		Group IV		60.00	60.00	61.80	1.80	
		Group V		90.00	90.00	92.70	2.70	
		Additional per hour rental fee						
		Group II		-	8.00	8.25	0.25	
		Group III		-	10.00	10.30	0.30	
		Group IV		-	12.00	12.35	0.35	
		Group V		-	18.00	18.55	0.55	
		El Cerrito Park Large Picnic Rental	5-Hour Rental					
		Five (5) Hour Rental						
		Plus Reservation Application Processing Fee - Non Refundable						
		Group II & IIY		10.00	10.00		-	
		Groups III - V		25.00	25.00		-	
		Group II & IIY		120.00	120.00	123.60	3.60	
		Group III		140.00	140.00	144.20	4.20	
		Group IV		170.00	170.00	175.10	5.10	
		Group V		250.00	250.00	257.50	7.50	
		El Cerrito Park Large Barbeque Rental	5-Hour Rental					
		Must be rented with Picnic Shelter						
		Group II & IIY		100.00	100.00		-	
		Group III		100.00	100.00		-	
		Group IV		100.00	100.00		-	
		Group V		100.00	100.00		-	
		CONCESSION/SNACK BAR - GROUP IIY ONLY	Reservation Semi-Annual	300.00	300.00		-	
		Plus Reservation Application Processing Fee - Non Refundable		10.00	10.00		-	
		Plus deposit for each season		300.00	300.00		-	
		Key Deposit		100.00	100.00		-	



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021			
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	Recovery Level	
		Annual Health Dept. Inspection		Actual Cost	Actual Cost		-		
	LARS-011 (continued)	Special Events	Per Reservation						
		Plus Reservation Application Processing Fee - Non Refundable							
		Group II & IYY		10.00	10.00		-		
		Groups III - V		25.00	25.00		-		
		Group I - Actual event costs including staff time, materials, and equipment		Actual Costs	Actual Costs		-		
		Group II & IYY - Full costs plus materials and equipment		Actual Costs	Actual Costs		-		
		Group III - Full costs plus materials and equipment		Actual Costs	Actual Costs		-		
		Group IV - Full costs plus materials and equipment		Actual Costs	Actual Costs		-		
		Group V - Full costs plus materials and equipment		Actual Costs	Actual Costs		-		
		Recreation Staff Assistance	Per Hour	Actual Cost	Actual Cost				
		Staffing costs for events and activities							
	<u>NEW</u>	Use of Parking Lots for drive-thru and pick-up events only							
		City Hall, Circle City Center, and Santana Park							
		Groups I & II to pay actual cost for staffing, traffic control, and other costs associated to the event.				Actual Cost			
		Deposit Fee				200.00			
		Equipment Fee per Easy-Up				25.00			
	<u>NEW</u>	Rental of Council Chambers-Internal Only				Actual Cost			
2	LARS-012 (previously PR-012)	Contract Recreation Classes / Activities	Per Participant	Various	Various		-	100%	
		Variable fees to recover 100% of costs.							
		Nonresident fees are an additional \$10 over resident fees for contract classes and contracted youth sports.							
2	LARS-013 (previously PR-013)	Aquatic Programs						30%	
		Lap Swim Pass	Per Participant						
		One Time		2	2		-		
		Season - Resident		40	40	42	2.00		
		Season - Non-Resident		60	60	62	2.00		
		Recreational Swimming	Per Participant						
		17 and under		1	1		-		
		Summer Pass Youth - Resident		30	30	31	1.00		
		Summer Pass Youth - Non-Resident		45	45	47	2.00		
		18 and over - Resident		2	2		-		
		18 and over - Non-Resident		3	3		-		
		Summer Pass Adult - Resident		40	40	42	2.00		
		Summer Pass Adult - Non-Resident		60	60	62	2.00		
		Swim Lessons	Per Session						
		Resident		40	50	52	2.00		



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	7/7/2021		Recovery Level
						PROPOSED FEE	Dollar Change	
		Non Resident		60	75	78	3.00	
		Swim Team	Per Session					
		Resident		50	50	52	2.00	
		Non Resident		75	75	78	3.00	
		Private/Semi-Private Lessons	Per Session					
		Private - Resident		100	100	103	3.00	
		Private - Non Resident		150	150	155	5.00	
		Semi-Private Resident		80	80	83	3.00	
		Semi-Private Non Resident		120	120	125	5.00	
		Junior Lifeguard Program	Per Participant					
		Resident		85	100	103	3.00	
		Non Resident		95	150	155	5.00	
2	LARS-014 (previously PR-014)	Senior Programming	Per Participant	Per Contract	Per Contract		-	100%
		Resident and nonresident variable fees to recover 100% of ticket costs. A minimum of \$10 for all trips will be charged. Nonresident fees per trip are \$10 more than resident fees						
2	LARS-015 (previously PR-015)	City Youth Sports Program Supervision (Ages 4-14 yrs. old)	Per Participant					50%
		Resident - Early Registration		70	70	72	2.00	
		Resident Registration		80	80	83	3.00	
		Non-Resident Early Registration		110	110	114	4.00	
		Non-Resident Registration		120	120	124	4.00	
		Volunteer Coach Discount - 50% discount for one child's participation fee						
2	LARS-016 (previously PR-016)	After School Recreation	Per Participant					50%
		A variety of programs, youth and teen activities						
		Providing after school recreation activities at various sites						
		Kids Club - Per Week		50	50	52	2.00	
		Additional \$10 fee per week for Non-Resident attending CNUSD schools outside of City boundaries.						
		Kids Club - Late Pick-Up Fee		8	8	9	1.00	
		Per every 15 minutes or portion thereof						
		Kids Club Late Registration Fee		5	5	-		
2	LARS-017	Special Events	Per Participant	Various	Various		-	0 - 100%
2	LARS-018 (previously PR-018)	Refund Processing Fee	Per Refund	5	10			76%
2	LARS-019	Service Provider Permit Fee	Per Permit	25	20			100%



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES

						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
(previously PR-019)								
2	LARS-020 (previously PR-016)	Adventure Day Camp - per participant, per week	Per Participant					50%
		Auburndale - Resident		110	110	114	4.00	
		Auburndale - Non-Resident		165	165	170	5.00	
		Vicentia Activity Center - Resident		110	110	114	4.00	
		Vicentia Activity Center - Non-Resident		165	165	170	5.00	
		Adventure Day Camp - Late Pick-Up Fee		8	8	9	1.00	
		Per every 15 minutes or portion thereof						
2	LARS-045 (previously LB-045)	Visitor Library Card	Per Card	10	10		-	100%
2	LARS-050 (previously LB-050)	Replace Lost / Damaged Library Materials	Per Item					
		Barcodes-missing / damaged		2.50	2.50		-	0 - 100%
		Lost/Missing Library Materials (Books, DVD, CD, Laptops, Board games, etc.)		Price of item or actual cost to replace	Price of item or actual cost to replace		-	
		Plus processing fee		10	10		-	
		Case for Audio Books/CDs		8 - 20	8 - 20		-	
		CD Jewel Case / Video Case		1.25	1.25		-	
		Plastic Book Jacket		3	3		-	
		DVD Case		1.50	1.50		-	
		Missing Audiobook / CD Disc		9.50	9.50		-	
		Damaged / Scribbled / Lost / Destroyed book pages or Pamphlet - per page		2.50	2.50		-	
		Lost paperback books		Actual Book Cost	Actual Book Cost		-	
		Minimum		10	10		-	
		Lost magazine		10	10		-	
		A/C Adapter		60	60		-	
		Battery		180	180		-	
		Hard Drive		70	70		-	
		Mouse		19	19		-	
		Skin		35	35		-	
		Bakeware Cleaning Fee		5	5		-	
		RFID tag missing / damaged		0.25	0.25		-	
		AV RFID Tag		2	2		-	
4	LARS-055	Library Gallery Display	Flat Fee	-	25 - 100		-	100%
2	LARS-075 (previously LB-075)	Passport Photograph Processing	Per Photo Set	12	12		-	100%+
2	LARS-090 (previously LB-090)	Library Fax Service	Per Page	1	1		-	50%



## CITYWIDE MASTER FEE RECOVERY SCHEDULE


### MARKET BASED FEES

						7/7/2021		Recovery Level
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change	
5	LARS-095 (previously LB-1000)	Overdue Library Materials	Per Item					0 - 100%
		Books/Magazines/Pamphlets		0.25	0.25	-		
		Per Day		10	10	-		
		Maximum						
		Audio Visual Materials/Tablets		1	1	-		
		Per Day		10	10	-		
		Maximum						
		Kits (Book Club/Oral History)		1	1	-		
	LARS-095 (continued)	Per Day		10	10	-		
		Maximum						
		Library of Things (Board games, Bakeware, etc.)		1	1	-		
		Per Day		10	10	-		
		Maximum						
		Laptops/Chromebooks		5	5	-		
		Per 2 hour period		10	10	-		
		Maximum						
		Equipment (Headphones, Microfilm Lens, Power Cable, etc.)		1	1	-		
		Per 2 hour period		10	10	-		
		Maximum						
2	LARS-1000 (previously PR-1000)	<del>Recreation Special Activities</del>	<del>Per Activity</del>					100%
		<del>Party packages (for standard 24 person activity—each additional eight (8) people will be \$50 more)</del>						
		<del>Community Center Game Room</del>						
		<del>Two (2) hour rental package</del>						
		<del>Resident</del>		280.00	280.00			
		<del>Non-Resident</del>		420.00	420.00			
		<del>Three (3) hour rental package</del>						
		<del>Resident</del>		380.00	380.00			
		<del>Non-Resident</del>		570.00	570.00			
		<del>Auburndale Pool (seasonal rentals only)</del>						
		<del>Two (2) hour rental package</del>						
		<del>Resident</del>		360.00	360.00			
		<del>Non-Resident</del>		540.00	540.00			
		<del>Three (3) hour rental package</del>						
		<del>Resident</del>		500.00	500.00			
		<del>Non-Resident</del>		750.00	750.00			
2	LARS-1001 (previously PR-1001)	Registration and Reservation Fees	Per Transaction	Pass-through	Pass-through			100%
		Third party provider transaction and merchant fees for registration and facility reservation						



## CITYWIDE MASTER FEE RECOVERY SCHEDULE

### MARKET BASED FEES



						7/7/2021		Recovery Level	
Prop 26 Exemption	Reference Number	Service Name	Fee Description	Prior Fee	Current Fee	PROPOSED FEE	Dollar Change		
Group I -		Nonprofit, Co-Sponsored Groups, School District, and City of Corona Functions / Programs							
Group II -		Resident Groups, Including Nonprofit, Civic, Religious, and Athletic Groups							
Group IIV -		"Everybody plays" Nonprofit Youth Sports Groups as defined in the Athletic Field Use and Allocation Policy							
Group III -		Resident Special Groups or skill-based nonprofit youth sports leagues as defined in the Athletic Field Use and Allocation Policy.							
Group IV -		Resident Private Groups, Profit Making Groups							
Group V -		Non-Resident							

1. The definitions for the above user groups, as well as applicable rules and regulations for the use of city facilities, are established and updated pursuant to City Administrative Policy No. 500.01 approved by the City Manager.
2. Lighting fees are based on actual hourly electrical rates. Hourly light rates are subject to change.
3. Group IIV, Aquatic groups or organizations, fees for the use of CNUSD swimming pools, according to the City's joint use agreements, will be \$40 per day for High School Pools as schedule permits.
4. A reservation application fee is due per "Application for Facility Use", \$10 for Groups II, IIV and \$25 for Groups III-V.
5. A refundable deposit will be required for some facility rentals as well as tournaments and special events using sports fields, turf areas and pools. This deposit is to ensure the facility is returned in its original condition (i.e., clean, with nothing broken or damaged) and the rental agreement guidelines are adhered to (i.e., group arrives/departs on time). The refundable deposit amount will be \$200 unless otherwise noted in the Fee Recovery Schedule. An increase in the deposit amount may be required given the nature of the event and at the Department's discretion.
6. For rentals at City parks, fields and facilities, any needed repairs, extra cleaning, or damages to the facilities will be charged the actual cost to bring the facility back to the condition prior to rental.





Staff Report

---

**File #:** 21-0612

---

**REQUEST FOR CITY COUNCIL AND  
CORONA PUBLIC FINANCING AUTHORITY ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council members  
Corona Public Financing Authority

**FROM:** Finance Department

**SUBJECT:**

Resolution approving the City of Corona's Investment Policy; Resolutions updating the City's authorized officers' contact information for the Local Agency Investment Fund.

**EXECUTIVE SUMMARY:**

The City's Investment Policy requires annual review and adoption by Resolution. The Treasurer manages the City's portfolio consisting of short and long-term investments to ensure compliance with the City's Investment Policy. The Investment Policy is evaluated annually on substantive issues such as authorized investments, guidelines for managing the portfolio, applicable benchmarks, and performance standards. The City Treasurer, together with the City's investment advisor, Chandler Asset Management, recommended two changes (shown in Attachment A "Allowable Investments") in Fiscal Year 2022's Investment Policy to incorporate the passing of SB 998 on Jan 1, 2021. Both provisions have a sunset date of January 1, 2026:

1. Commercial Paper - increasing the allowable amount the portfolio can be invested in Commercial Paper to 40% from 25%.
2. Zero-Coupon Bond - permitting the investment in zero or negative interest securities backed by the United States Government.

The Treasury Committee concurs with the above recommendations. In addition, the Committee recommends updating the City's authorized officers' contact information for the Local Agency Investment Fund.

**RECOMMENDED ACTION:**

**That the:**

- a. City Council adopt Resolution No. 2021-056, approving the City of Corona's Investment Policy.
- b. City Council adopt Resolution No. 2021-057, updating the City's authorized officers' contact information for the Local Agency Investment Fund.
- c. Corona Public Financing Authority adopt Resolution No. 2021-058, updating the City's authorized officers' contact information for the Local Agency Investment Fund.

**BACKGROUND & HISTORY:**

***Investment Policy***

California Government Code Sections 53600 through 53659 defines the types of investments that municipal governments can include in their portfolio, limits on the level of these investments, and the oversight required for the portfolio. The City's Investment Policy establishes strategies, practices, and procedures which are used in the administration of the City's portfolio to ensure compliance with the laws and regulations governing the City's investments.

The City of Corona's Investment Policy is intended to provide guidelines for the prudent investment of the City's temporary inactive cash and outlines the policies for maximizing the efficiency of the City's cash management system. The goal of the City's Investment Policy is to meet the short- and long-term cash flow demands in a manner that will provide for the safety of principal and sufficient liquidity while providing a suitable investment return.

The City of Corona's Investment Policy has been assigned an Administrative Policy Number, which is No. 01200-602 and is evaluated and adopted annually. The Policy was last updated and adopted on June 17<sup>th</sup>, 2020.

***Local Agency Investment Fund***

The Local Agency Investment Fund (LAIF) was enacted by statute in 1977 as an investment alternative for California's local governments and special districts. The program acts as a local government investment pool. It offers agencies the opportunity to participate in a major investment portfolio, which invests \$153.4 billion as of May 31, 2021, using the expertise of the State Treasurer's Office professional investment staff at no additional cost to the taxpayer. The City utilizes LAIF for shorter-term investments to maintain the liquidity of the City's portfolio.

LAIF requires a resolution approved by the governing body of participating jurisdictions to establish authorized officers to execute documents related to investment transactions. The Finance Department staff monitors the daily LAIF activity and initiates transfers between LAIF, bank accounts, and investment accounts as appropriate. Establishing Finance Department staff with access to the LAIF system requires the approval of two authorizing officers. The resolutions will update the City's current contact information and add the City Manager as an authorized officer.

**ANALYSIS:**

The City of Corona, as with all local governments in California, maintains an investment portfolio to hold its inactive cash. The City's investments allow funds to earn a return while they are in a queue to be expended on City's projects and services, pursuant to the City's adopted budget. The current balance of the City's investment portfolio is approximately \$349.2 million. Through the City's contracted investment advisor, Chandler Asset Management, the City invests in a variety of instruments that provide a reliable yield over a duration of maturity between 3 months to 5 years to ensure that cash is available to meet the City's needs. Chandler Asset Management makes these investments according to the City's Investment Policy, with the oversight of the Treasury Committee, which is comprised of the City Manager, City Treasurer, Assistant City Manager, and Finance Director. The Investment Policy is a formal statement of objectives and constraints for the City's investment approach.

The City of Corona's Investment Policy is reviewed annually by the City Treasurer, Finance Department, and Chandler Asset Management, and adopted by the City Council pursuant to State law. Chandler Asset Management suggested the following changes to the City's Investment Policy:

In Attachment A - Allowable Investments:

1. Commercial Paper: including language from the passing of SB 998 increasing the allowable amount the portfolio can be invested in Commercial Paper to 40% from 25%. This provision will sunset on January 1, 2026.
2. Zero-Coupon Bonds: including language from the passing of SB 998 permitting the investment in zero or negative interest securities back by the United States Government. This provision will sunset on January 1, 2026.

The Treasury Committee concurs with the above recommendations from Chandler Asset Management. The only other change to the policy was an administrative change updating the title of the position "Administrative Services Director" to "Finance Director", referenced throughout the policy. In addition, the Committee recommends updating the City's authorized officers' contact information for the Local Agency Investment Fund and add the City Manager as an authorized officer. The Treasury Committee recommends no additional modifications to the City's Investment Policy for this year's annual review.

California Government Code 53600 et. seq. sets legal parameters around the degree of risk any municipal treasury can take in its investments. These parameters ensure that public investments are sufficiently diversified, of high quality, and have terms of length that enable the treasury to maintain liquidity and protect against longer-term shifts in the market. Historically, the City of Corona's Investment Policy has been more conservative than the California Government Code in terms of the requirement of credit rating and limiting the percentage of funds that are invested into variable-rate assets. This approach has yielded returns that are higher than the industry benchmark yet remain safe and liquid enough to meet the City's financial needs. Investment strategies are utilized to adjust the balance between cash and investments continuously to improve the overall return on investment.

As of March 31, 2021, the average market yield of the City's portfolio was 0.45%, which was 0.12% above the benchmark Bank of America Merrill Lynch 1-5 year US Treasury/Agency Index. The

Treasury Committee believes that the current Investment Policy is prudent and will continue to meet or exceed this benchmark, thereby, ensuring that funds remain available to support the City's cash flow needs to deliver City services expected by the public.

Monthly investment reports are filed with the City Council and posted on the City's website for the public, to provide a clear picture of the status and performance of the current investments.

**FINANCIAL IMPACT:**

The Investment Policy is presented for review and approval. There is no fiscal impact from the approval of the recommended actions.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely adopts the resolutions approving the City's Investment Policy for Fiscal Year 2022, and there is no possibility that adopting the resolutions approving the Policy will have a significant effect on the environment.

**PREPARED BY:** CHRISTINE THOMPSON, ACCOUNTING MANAGER

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Resolution No. 2021-056 Approving Investment Policy
2. Resolution No. 2021-057 Investment in LAIF
3. Resolution No. 2021-058 CPFA Investment in LAIF
4. Administrative Policy 01200.602- Investment Policy
5. Investment Policy - Redline

**RESOLUTION NO. 2021-056**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, APPROVING THE CITY OF  
CORONA'S INVESTMENT POLICY**

**WHEREAS**, the City Council of the City of Corona has considered a document entitled "City of Corona's Investment Policy" which outlines the policy enacted to provide guidelines for the prudent investment of inactive cash for all funds in the investment portfolio as well as guidelines for maximizing the efficiency of the cash management system for the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority; and

**WHEREAS**, the "City of Corona's Investment Policy" has also been administratively assigned City Administrative Policy No. 01200-602; and

**WHEREAS**, the "City of Corona's Investment Policy" provides for a creation of a Treasury Committee comprised of the City Treasurer, City Manager, Assistant City Manager and Finance Director; and

**WHEREAS**, at the direction of the City Treasurer, the City of Corona's Investment Policy shall be reviewed annually to reflect changes in the California state codes, general market conditions or to provide further clarification of the City's policy; and

**WHEREAS**, the Finance Director has recommended to the City Council that the "City of Corona's Investment Policy" be approved and established as the policy of the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority and such other entities as may be established for cash management; and

**WHEREAS**, the City Council has determined that the "City of Corona's Investment Policy" be approved and established as recommended by the Finance Director.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA** that the "City of Corona's Investment Policy," as presented to the City Council at the meeting in which this Resolution is adopted, is hereby approved and established as the policy of the City with respect to investments.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote of the Council:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

(SEAL)

**RESOLUTION NO. 2021-057**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
CORONA, CALIFORNIA, AUTHORIZING INVESTMENT  
OF MONIES IN THE LOCAL AGENCY INVESTMENT  
FUND AND REPEALING RESOLUTION NO. 2003-75.**

**WHEREAS**, the Local Agency Investment Fund is established in the State Treasury under Government Code section 16429.1 et. seq. for the deposit of money of a local agency for purposes of investment by the State Treasurer; and

**WHEREAS**, the City Council [of](#) the City of Corona (“City Council”) hereby finds that the deposit and withdrawal of money in the Local Agency Investment Fund in accordance with Government Code section 16429.1 et. seq. for the purpose of investment as provided therein is in the best interests of the City of Corona.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1.** The City Council hereby authorizes the deposit and withdrawal of City of Corona monies in the Local Agency Investment Fund in the State Treasury in accordance with Government Code section 16429.1 et. seq. for the purpose of investment as provided therein.

**SECTION 2.** The following City of Corona officers holding the title(s) specified herein below or their successors in office are each hereby authorized to order the deposit or withdrawal of monies in the Local Agency Investment Fund and may execute and deliver any and all documents necessary or advisable in order to effectuate the purposes of this Resolution and the transactions contemplated hereby:

Jacob Ellis

\_\_\_\_\_  
Name

Roger Bradley

\_\_\_\_\_  
Name

City Manager

\_\_\_\_\_  
Title

Assistant City Manager

\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature



Kim Sitton

\_\_\_\_\_  
Name

Finance Director

\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature

Chad Willardson

\_\_\_\_\_  
Name

City Treasurer

\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature

**SECTION 3.** This Resolution shall remain in full force and effect until rescinded by the City of Corona by resolution and a copy of the resolution rescinding this resolution is filed with the State Treasurer's Office.

**PASSED, APPROVED, AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote of the Council:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

\_\_\_\_\_  
City Clerk of the City of Corona, California

(SEAL)

**RESOLUTION NO. 2021-058**

**RESOLUTION OF THE CORONA PUBLIC FINANCING  
AUTHORITY OF THE CITY OF CORONA, CALIFORNIA,  
AUTHORIZING INVESTMENT OF MONIES IN THE  
LOCAL AGENCY INVESTMENT FUND AND REPEALING  
CPFA RESOLUTION NO. 2003-02.**

**WHEREAS**, the Local Agency Investment Fund is established in the State Treasury under Government Code section 16429.1 et. seq. for the deposit of money of a local agency for purposes of investment by the State Treasurer; and

**WHEREAS**, the City of Corona Public Financing Authority hereby finds that the deposit and withdrawal of money in the Local Agency Investment Fund in accordance with Government Code section 16429.1 et. seq. for the purpose of investment as provided therein is in the best interests of the City of Corona.

**NOW, THEREFORE, BE IT RESOLVED** by the City of Corona Public Financing Authority as follows:

**SECTION 1.** The Corona Public Financing Authority hereby authorizes the deposit and withdrawal of Corona Public Financing Authority monies in the Local Agency Investment Fund in the State Treasury in accordance with Government Code section 16429.1 et. seq. for the purpose of investment as provided therein.

**SECTION 2.** The following City of Corona officers holding the title(s) specified herein below or their successors in office are each hereby authorized to order the deposit or withdrawal of monies in the Local Agency Investment Fund and may execute and deliver any and all documents necessary or advisable in order to effectuate the purposes of this Resolution and the transactions contemplated hereby:

Jacob Ellis

---

Name

Roger Bradley

---

Name \_\_\_\_\_

City Manager

Title

Assistant City Manager

Title

Signature

Signature

Kim Sitton

\_\_\_\_\_  
Name

Finance Director

\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature

Chad Willardson

\_\_\_\_\_  
Name

City Treasurer

\_\_\_\_\_  
Title

\_\_\_\_\_  
Signature

**SECTION 3.** This Resolution shall remain in full force and effect until rescinded by the City of Corona Public Financing Authority by resolution and a copy of the resolution rescinding this resolution is filed with the State Treasurer's Office.

**PASSED, APPROVED, AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Chairperson of the Corona Public Financing  
Authority of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
Secretary of the Corona Public Financing  
Authority of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, Secretary of the Corona Public Financing Authority of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the Corona Public Financing Authority of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote of the Authority:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the Corona Public Financing Authority of the City of Corona, California, this 7th day of July, 2021.

\_\_\_\_\_  
Secretary of the Corona Public Financing Authority  
of the City of Corona, California

(SEAL)



## Administrative Policy

Title: Investment Policy (Reso 2021-056)					
Administered By: Finance Department					
Policy No.	Numbered Date	Revision Date	Department Head Approved	City Manager Approved	Mayor Approved
01200.602	01-03-17	07-07-21			

The document titled as follows and adopted pursuant to City Council Resolution 2021-056 is hereby adopted as an Administrative Policy with the Policy Number noted above:

City of Corona  
Investment Policy  
(07-07-21)

The City's Investment Policy has been annually adopted by the City Council pursuant to a duly adopted resolution. Beginning on January 3, 2017, the Investment Policy has also been administratively assigned Policy No. 01200-602.

The latest version of this Policy document is attached hereto and incorporated herein by reference.

# CITY OF CORONA

---

## INVESTMENT POLICY



Jacque Casillas, Mayor  
Wes Speake, Vice Mayor  
Tony Daddario, Council Member  
Tom Richins, Council Member  
Jim Steiner, Council Member

Chad Willardson, City Treasurer

## TABLE OF CONTENTS

<b>I.</b>	<b>PURPOSE</b>	<b>2</b>
<b>II.</b>	<b>SCOPE</b>	<b>2</b>
<b>III.</b>	<b>PRUDENCE</b>	<b>2</b>
<b>IV.</b>	<b>ETHICS AND CONFLICT OF INTEREST</b>	<b>3</b>
<b>V.</b>	<b>INVESTMENT SELECTION CRITERIA</b>	<b>3</b>
<b>VI.</b>	<b>TREASURY COMMITTEE</b>	<b>4</b>
<b>VII.</b>	<b>INVESTMENT RESPONSIBILITY</b>	<b>4</b>
<b>VIII.</b>	<b>ALLOWABLE INVESTMENTS</b>	<b>5</b>
<b>IX.</b>	<b>INVESTMENT POOLS / MUTUAL FUNDS</b>	<b>6</b>
<b>X.</b>	<b>SELECTION OF FINANCIAL INSTITUTIONS</b>	<b>6</b>
<b>XI.</b>	<b>SAFEKEEPING AND CUSTODY</b>	<b>7</b>
<b>XII.</b>	<b>COLLATERALIZATION</b>	<b>7</b>
<b>XIII.</b>	<b>MATURITY</b>	<b>7</b>
<b>XIV.</b>	<b>LIQUIDITY</b>	<b>8</b>
<b>XV.</b>	<b>DIVERSIFICATION</b>	<b>8</b>
<b>XVI.</b>	<b>REPORTING</b>	<b>9</b>
<b>XVII.</b>	<b>INTERNAL CONTROLS</b>	<b>9</b>
<b>XVIII.</b>	<b>PERFORMANCE STANDARDS</b>	<b>10</b>
<b>XIX.</b>	<b>INVESTMENT POLICY ADOPTION</b>	<b>10</b>
	<b>GLOSSARY OF TERMS</b>	<b>11</b>
	<b>Attachment A – Allowable Investments</b>	<b>14</b>
	<b>Attachment B – Sample Resolution Approving the Investment Policy</b>	<b>17</b>



## **INVESTMENT POLICY**

### **I. PURPOSE**

This document is intended to provide guidelines for the prudent investment of the City's temporary inactive cash and outline the policies for maximizing the efficiency of the City's cash management system. The goal of the City's Investment Policy (the "Policy") is to meet the short and long-term cash flow demands in a manner which will provide for the safety of principal and sufficient liquidity, while providing a suitable investment return.

The Policy shall be adopted annually by resolution of the City Council. The Policy shall be reviewed annually by both the Treasury Committee and the City Council and any modifications made thereto must be approved.

The Policy is in conformance with the California Government Code Sections 53600 et seq. However, to meet the City's needs, the investment parameters set forth in the Policy are more conservative than those allowed by state law.

### **II. SCOPE**

The Policy shall direct the investment of the City's temporarily inactive cash for all funds in the investment portfolio. These funds are accounted for in the City of Corona Comprehensive Annual Financial Report under the following fund types:

- Governmental Funds
- Proprietary Funds
- Fiduciary Funds

The Policy shall also direct all investments related to the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority. The Policy will not direct the investment of funds held for employees in deferred compensation plans. Additionally, the Policy will not direct the investment of bond proceeds, which are specifically governed by the individual bond documents and trust indentures.

### **III. PRUDENCE**

The standard of prudence to be used by the investment official shall be the "prudent investor standard" as set forth in California Government Code Section 53600.3 and shall be applied in the context of managing the overall portfolio.

The City Treasurer will be responsible for maintaining and updating investment policies and procedures. The intent of the procedures will be to ensure that the

investment objectives and safeguards stated in this Policy are effectively communicated to all officials involved in the investment of public funds and that they properly reflect the intent of the “Prudent Investor” rule. The procedures will be maintained on file with the City Treasurer and the Finance Director.

#### IV. ETHICS AND CONFLICT OF INTEREST

Officers and employees involved in the investment process shall refrain from personal business activity that could conflict with the proper execution of the investment program, or which could impair their ability to make impartial investment decisions. Employees and investment officials shall comply with the disclosure and disqualification requirements required by state law and any applicable regulations, including those adopted by the Fair Political Practices Commission, or FPPC. In addition, the FPPC’s Statement of Economic Interests (Form 700) shall be completed annually and submitted to the City Clerk for all individuals involved in the investment of public funds.

#### V. INVESTMENT SELECTION CRITERIA

Criteria for selecting investments and the order of priority are:

1. **Safety.** The safety and risk associated with an investment refers to the potential loss of principal, interest or a combination of these amounts. Safety of principal is the foremost objective of the investment program. City investments shall be undertaken in a manner that seeks to ensure the preservation of capital in the overall portfolio. The City shall select only those investments that are considered very safe. The City shall not engage in speculation. The City shall diversify its investments by investing funds among a variety of securities and financial institutions offering independent returns.
2. **Liquidity.** Liquidity is the ability to change an investment into its cash equivalent on short notice at its prevailing market value. The funds in the City’s portfolio shall remain sufficiently liquid to meet all operating requirements that may be reasonably anticipated. This is accomplished by structuring the portfolio so that securities mature concurrently with cash needs to meet anticipated demands. Furthermore, since all possible cash demands cannot be anticipated, the portfolio will maintain a liquidity buffer and invest primarily in securities with active secondary and resale markets.
3. **Yield.** Yield is the potential dollar earnings that an investment can provide; it is also referred to as the rate of return. The City’s portfolio shall be designed to attain a return on investments through economic cycles, taking into account investment risk constraints and liquidity needs. Return on

investment is of least importance compared to the safety and liquidity objectives.

## **VI. TREASURY COMMITTEE**

The Policy provides for the creation of a Treasury Committee (Committee). The Committee is composed of the City Treasurer, City Manager, Assistant City Manager and Finance Director.

The Committee shall be responsible for the following:

1. Review of financial institutions.
2. Review of investment strategy.
3. Review of investment operations guidelines and procedures.
4. Review of controls to assure compliance with the State law and the City's Policy.
5. Recommendation and approval of investment brokers, dealers, advisors and managers.
6. Review of investment reports and other related issues with the City Council on an as-needed basis.
7. Recommending modifications to the list of permitted investments.

## **VII. INVESTMENT RESPONSIBILITY**

In accordance with the State of California Government Code section 53607, the City Council delegates investment authority to the City Treasurer for a period of one year and such investment authority must be renewed annually. Adoption of this Policy constitutes delegation of investment authority to the City Treasurer for the fiscal year unless revoked in writing.

Within the constraints set forth in the Policy, the City Treasurer has the authority to direct investment strategy and approve investment transactions for the City's investment portfolio.

The City Treasurer appoints the Finance Director as Deputy City Treasurer and authorizes the Finance Director to act on his/her behalf in performing the powers and duties of the office as needed, and to specifically take responsibility for the implementation and supervision of investment controls and operations.

The Finance Director, or his/her designee, is responsible for the following:

1. Approving daily investment transactions.
2. Developing projections of the City's cash requirements for operating needs.
3. Reviewing the liquidity position of the investment portfolio.

4. Ensuring that the City's cash position is consistent with operating requirements.
5. Preparing appropriate investment reports.
6. Developing, implementing and monitoring controls over investments.
7. Record keeping for investment transactions.

### ***Delegation of Authority***

The City may engage the services of one or more external investment management advisors to assist in the management of the City's investment portfolio in a manner consistent with the City's objectives. Such advisors may be granted discretion to purchase and sell investment securities in accordance with the Policy. Such managers must be registered under the Investment Advisers Act of 1940. All broker/dealers selected by an external advisor must comply with the requirements of California Government Code Section 53601.5.

## **VIII. ALLOWABLE INVESTMENTS**

Allowable investments for the City are listed in the matrix provided herein as Attachment A. The list is intended to ensure that the investment portfolio is properly diversified so that no single category of investment is over weighted or poses a disproportionate credit risk to the City. It should be noted that any newly developed derivative of an allowable investment that is not specifically mentioned in the Policy must be recommended by the City Treasurer for inclusion in the Policy. Any amendments to the list of allowable investments must be submitted to the City Council, via the Treasury Committee, for review and approval.

Any prior investment currently held by the City that does not meet the guidelines of this policy shall be exempt from the requirements of the Policy. At maturity or liquidation, such funds shall be reinvested as provided by the Policy.

Should an investment's percentage exceeded the Policy limitation due to an incident such as fluctuation in portfolio size, the affected securities may be held to maturity to avoid losses. When no loss is indicated, the Treasurer shall consider reconstructing the portfolio within the Policy established percentage limits.

All purchases and sales of securities will require a minimum of three quotes when practical. The three-quote rule will be waived for the following transactions:

1. Purchase and sale of new issues of federal agency securities that are still in syndicate.
2. Purchase and sale of US treasury bills or notes in amounts of \$5 million or less.

3. Purchase and sale of short-term money market securities (i.e. commercial paper, banker's acceptances, repurchase agreements, discount notes, treasury bills) that have a final maturity of less than 30 days from settlement date.
4. Proprietary reasons, where only one broker is authorized to make or accept offers.

Repurchase agreements may be used as short-term investment vehicles when economic conditions and alternative short-term investments make it favorable to invest in repurchase agreements. Prior to the investment of any public funds in a repurchase agreement, a Master Repurchase Agreement must be properly executed and countersigned by the financial institution that is a party to the agreement. The Master Repurchase Agreement will be the format prescribed by the Bond Market Association.

Investment of bond proceeds held by fiscal agents will be made in accordance with California Government Code Section 53601 (m), which states that money from bond proceeds should be invested as specified by bond documents. In most cases, these investments will be made under the same guidelines as other City investments.

## **IX. INVESTMENT POOLS / MUTUAL FUNDS**

A thorough investigation of the pool/fund is required prior to investing public funds in any local agency investment pool or mutual fund. The investment of any public funds must comply with the rules set forth in the California Government Code Section 53601.

## **X. SELECTION OF FINANCIAL INSTITUTIONS**

Only institutions that demonstrate financial strength may be selected to provide fiscal agent and/or external investment management or advisory services. They shall be selected using the following criteria: financial strength, reputation, technical investment expertise, security controls and ability to conform to the City and State mandated investment parameters.

Purchases and sales of investments shall, whenever practical, be made directly from the issuer, from a member of a federally regulated securities exchange, from a national or state-chartered bank, or from a qualified broker/dealer.

Primary dealers registered with the Federal Reserve Bank of New York should be used for broker/dealer securities transactions. Exceptions to the primary dealer rule may be made with approval of the Treasury Committee provided they are consistent with the California Government Code Section 53601.5.

A copy of the Policy shall be submitted to all broker/dealers, investment management advisors, fiscal agents and financial institutions with which the City places investments.

The City shall obtain a certification evidencing that they:

1. Have reviewed the City's investment policies and objectives.
2. Are familiar with the City's investment constraints.
3. Have complied with the provisions contained in the Policy.

## **XI. SAFEKEEPING AND CUSTODY**

To protect against fraud, embezzlement, or losses caused by insolvency of individual securities dealers, all securities owned by the City shall be held in safekeeping by the City's custodial bank, a third party bank trust account, acting as agent for the City under the terms of a custody agreement.

Except for federally insured Certificates of Deposit, money market funds or the Local Agency Investment Fund (LAIF), all investments evidenced by physical or book-entry securities shall be secured through third-party custody and the following safekeeping procedures:

1. All transactions described above shall be executed on a delivery versus payment basis.
2. The custodian shall hold assets until the investments mature or the custodial bank receives a request from the City to sell or transfer the securities.
3. Bearer instruments shall be held only through third-party institutions.

## **XII. COLLATERALIZATION**

**Certificates of Deposit** - The City shall require any commercial bank or savings and loan association to deposit eligible securities with an agency of a depository approved by the State Banking Department to secure any uninsured portion of a non-negotiable Certificate of Deposit. The value of eligible securities as defined pursuant to Government Code Section 53651, pledged against a Certificate of Deposit shall be equal to 150% of the face value of the CD if the securities are classified as mortgages and 110% of the face value of the CD for all other classes of security.

**Repurchase Agreements** - The City requires that repurchase agreements be collateralized only by securities authorized in this Policy:

1. The securities which collateralize the repurchase agreement shall be priced at market value, including any accrued interest plus a margin. The market value of the securities that underlie a repurchase agreement shall be valued at 102% or greater of the funds borrowed against those securities.
2. Financial institutions shall mark the value of the collateral to market at least monthly and increase or decrease the collateral to satisfy the ratio requirement described above.
3. The City shall receive monthly statements of collateral.

### **XIII. MATURITY**

The City shall not make any investments in instruments with a stated remaining maturity that exceeds five years at the time of purchase.

The maturity of investment instruments in the portfolio shall be consistent with projected cash requirements.

It is the City's intent, at the time of purchase, to hold the majority of investments until maturity to ensure the return of all invested principal dollars. However, it is realized that market prices of securities will vary depending on economic and interest rate conditions at any point in time. As a result, the City may choose to sell a security short of final maturity to realize a capital gain if it is to the City's economic advantage to do so. It is further recognized, that in a well-diversified portfolio, occasional measured losses are inevitable due to economic, bond market or individual security credit analysis. These occasional losses must be considered within the context of the overall investment program objectives and the resultant long-term rate of return.

### **XIV. LIQUIDITY**

In maintaining sufficient liquidity in the City's portfolio, maturities shall be selected to mature prior to or match the timing of the City's projected cash flow needs. It is intended that a liquidity base equal to forecasted cash flow needs for six months should be maintained. Additionally, the marketability of a security shall be important criteria in selecting an investment.

### **XV. DIVERSIFICATION**

The City will diversify its investments by security type, institution, and maturity date.

### **Mitigating Credit Risk in the Portfolio**

Credit Risk is the risk that a security or a portfolio will lose some or all of its value due to a real or perceived change in the ability of the issuer to repay its debt. The City shall mitigate credit risk by adopting the following strategies:

1. The diversification requirements included in this section are designed to mitigate credit risk in the portfolio.
2. No more than 5% of the total portfolio may be invested in securities of any single issuer, other than the US government, its agencies and instrumentalities, money market mutual funds and LAIF.
3. The City may elect to sell a security prior to its maturity and record a capital gain or loss in order to improve the quality, liquidity or yield of the portfolio in response to market conditions or the City's risk preferences.
4. If securities owned by the City are downgraded by a Nationally Recognized Statistical Rating Organization (NRSRO) to a level below the quality required by this Policy, it shall be the City's policy to review the credit situation and make a determination as to whether to sell or retain such securities in the portfolio. Moody's, Standard and Poor's, and Fitch are currently used as the NRSRO.
  - a. If a security is downgraded below the level required by the Policy, the City Treasurer will use discretion in determining whether to sell or hold the security based on its current maturity, the loss in value, the economic outlook for the issuer, and other relevant factors.
  - b. If a decision is made to retain a downgraded security in the portfolio, its presence in the portfolio will be monitored and reported monthly to the City Council.

## **XVI. REPORTING**

The City Treasurer shall file a monthly investment report with the City Council which provides a clear picture of the status of current investments. The investment report may include comments on the fixed income markets and economic conditions, discussions regarding restrictions on percentages of investments by category, possible changes in the portfolio structure and significant changes to investment strategies. The monthly investment report filed with the City Council will contain the following:

1. Percentages of the portfolio represented by each investment category.
2. An investment inventory including types and amounts of investments, issuing financial institutions and maturities.
3. A list of all investment transactions that occurred during the reporting month.
4. Investments or programs under the management of contracted parties.
5. Average maturity of the portfolio.



6. Average total yield to maturity of the portfolio relative to the prescribed benchmarks.
7. Current market value of investments with maturities of more than 12 months.
8. A statement denoting that the investment portfolio has sufficient liquidity to meet the City's anticipated expenditure requirements for the upcoming six months.
9. Percent of portfolio invested by type of instrument.
10. Written explanations for any variances to the Policy.

## **XVII. INTERNAL CONTROLS**

Internal controls shall be established and maintained to prevent losses of public funds arising from fraud, employee error, and misrepresentation by third parties, or imprudent actions by employees and officers of the City.

Controls deemed most important include: segregation of duties, separation of transaction authority from accounting and record keeping, custodial safekeeping, clear delegation of authority, specific limitations regarding securities losses and remedial action, control over wire transfers, minimizing the number of authorized investment officials and documentation of transactions and strategies.

The City Treasurer shall establish an annual process of independent review by an external auditor. This review will provide internal control by assuring compliance with the policies and procedures set forth in this document.

## **XVIII. PERFORMANCE STANDARDS**

The investment portfolio shall be designed with the objective of obtaining a rate of return throughout budgetary and economic cycles, commensurate with the investment risk constraints and the cash flow needs.

The investment performance objective for the portfolio shall be to earn a total rate of return over a market cycle which is approximately equal to the return on a benchmark index of one to five- year government securities.

## **XIX. INVESTMENT POLICY ADOPTION**

At the direction of the City Treasurer, the City's Investment Policy shall be reviewed annually, to reflect changes in the California state codes, general market conditions or to provide further clarification of the City's policy. The Policy shall be formally presented to the City Council for approval at a public meeting. Any change in the Policy shall also be approved at a public meeting by the City Council.

## GLOSSARY OF TERMS

**Accrued Interest** - Interest earned but not yet received.

**Asset Backed Securities** – Securities supported by pools of installment loans or leases or by pools of revolving lines of credit.

**Banker's Acceptance (BA)** - A draft or bill or exchange accepted by a bank or trust company. The accepting institution guarantees payment of the bill, as well as the issuer.

**Bond** - A financial obligation for which an issuer promises to pay the bondholder a specified stream of future cash flows, including periodic interest payments and a principal repayment.

**Broker** - A broker brings buyers and sellers together for a commission. The broker does not take a position.

**Certificate of Deposit** - A deposit insured up to \$100,000 by the FDIC at a set rate for a specified period of time.

**Collateral** - Securities, evidence of deposit or pledges to secure repayment of a loan. Also refers to securities pledged by a bank to secure deposit of public funds.

**Collateralized Mortgage Obligation (CMO)** – classes of bonds that redistribute the cash flow of mortgage securities (and whole loans) to create securities that have different levels of prepayment risk, as compared to the underlying mortgage securities.

**Commercial Paper** – A short-term, unsecured promissory note issued by a large corporation.

**Coupon** - a) The annual rate of interest that a bond's issuer promises to pay the bond holder on the bond's face value. b) A certificate attached to a Bond evidencing interest due on the payment date.

**Dealer** - A dealer, as opposed to a broker, acts as a principal in all transactions, buying and selling for his own account.

**Delivery Versus Payment** - There are two methods of delivery of securities: delivery versus payment and delivery versus receipt. Delivery versus payment is the delivery of securities with an exchange of money for the securities. Delivery versus receipt is the delivery of securities with an exchange of a signed receipt for the securities.

**Discount** - The difference between the cost price of a security and its maturity when quoted at a lower than face value. A security selling below original offering price shortly after sale also is considered to be at a discount.

**Discount Notes** - Non-interest bearing money market instruments that are issued at a Discount and redeemed at maturity for full face value (e.g., U.S. treasury bills).

**Diversified Management Companies** – Mutual funds or money market mutual funds registered with the Securities and Exchange Commission pursuant California Government Code Section 53601(k).

**Federal Reserve System** - The central bank of the United States created by Congress and consisting of a seven member-board of governors in Washington, D.C., 12 regional banks and about 5,700 commercial banks are members of the system.

**IADB** – Inter-American Development Bank, one of the three Washington, D.C. based Supranational issuers.

**IBRD** – International Bank for Reconstruction and Development, one of the three Washington, D.C. based Supranational issuers.

**IFC** – International Finance Corporation, one of the three Washington, D.C. based Supranational issuers.

**Liquidity** - A liquid asset is one that can be converted easily and rapidly to cash without a substantial loss of value.

**Local Government Investment Pool** - The aggregate of all funds from political subdivisions that are placed in the custody of the State Treasurer for investment and reinvestment. (i.e. Local Agency Investment Fund or LAIF).

**Market Value** - The price at which a security is trading and could presumably be purchased or sold.

**Maturity** - The date upon which the principal or stated value of an investment becomes due and payable.

**Medium Term Notes** – All corporate and depository institution debt securities with a maximum remaining maturity of five years or less, issued by corporations organized and operating within the United States or by depository institutions licensed by the United States.

**Mortgage-Backed Pass-Through Securities** - A securitized participation in the interest and principal cash flows from a specified pool of mortgages. Principal and interest payments made on the mortgages are passed through to the holder of the security.

**New Issue** - Term used when a security is originally "brought" to the market.

**Offering Price** - The price asked by a seller of securities. (When you are buying securities, you ask for an offer.) See "Asked" and "Bid".

**Portfolio** - Collection of securities held by an investor.

**Primary Dealer** - A group of government securities dealers who submit daily reports of market activity and positions and monthly financial statements to the Federal Reserve Bank of New York and are subject to its informal oversight. Primary dealers include SEC-registered securities broker/dealers, banks and a few unregulated firms.

**Rate of Return** - The yield obtainable on a security based on its purchase price or its current market price. This may be the amortized yield to maturity on a bond or the current income return.

**Repurchase Agreement (REPO)** - A transaction where the seller (bank) agrees to buy back from the buyer (City) the securities at an agreed upon price after a stated period of time. The buyer in effect lends the seller money for the period of the agreement, and the terms of the agreement are structured to compensate the buyer for this.

**Reverse Repurchase Agreement** – An agreement to sell securities in return for cash with an agreement to repurchase the securities at an agreed upon price.

**Risk** - Degree of uncertainty of return on an asset.

**Safekeeping** - A service to customers rendered by banks, for a fee, whereby securities and valuables of all types and descriptions are held in the bank vaults for protection.

**Securities and Exchange Commission (SEC)** – An agency created by Congress to protect investors in securities transactions by administering securities legislation.

**Supranational** – A Supranational is a multi-national organization whereby member states transcend national boundaries or interests to share in the decision making to promote economic development in the member countries.

**Treasury Bills** - U.S. treasury bills are short-term, direct obligations of the U.S. government issued with original maturities of 13 weeks and 52 weeks in book form only.

**Treasury Notes** - Intermediate-term Coupon bearing U.S. securities having maturities from one year to ten years.

**Yield** - The rate of annual income return on an investment, expressed as a percentage. It is obtained by dividing the current dollar income by the current market price of the security.

**Yield to Maturity** - The rate of income return on an investment, minus any premium above par or plus any discount from par in purchase price, with the adjustment spread over the period from the date of the purchase to the date of maturity of the bond.

**Zero Coupon Bond** – A bond on which interest is not payable until maturity (or earlier redemption), but compounds periodically to accumulate to a stated maturity amount.

## Attachment A – Allowable Investments

<b>ALLOWABLE INVESTMENTS*</b>						
<b>Instrument</b>	<b>CITY OF CORONA LIMITS</b>			<b>STATE CODE LIMITS</b>		
	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>
Bankers Acceptances	Not to exceed 25% in any one institution;  Not to exceed 20% of portfolio	Not to exceed 180 days	Eligible for purchase by the Federal Reserve System	Not to exceed 30% in any one institution;  May not exceed 40% of portfolio	Not to exceed 180 days	Eligible for purchase by the Federal Reserve System
Bonds issued by the City, including Bonds payable solely out of revenue from a revenue producing property owned, controlled or operated by the City	Not to exceed 25% of the portfolio for combined municipal debt		“A” or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Bonds, Notes or other evidence of indebtedness of any local agency within California, or state warrants, or Treasury Notes or Bonds of California	Not to exceed 25% of the portfolio for combined municipal debt		“A” or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Bonds, Notes or other evidence of indebtedness in any of the other 49 states, in addition to California	Not to exceed 25% of the portfolio for combined municipal debt		“A” or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Commercial Paper	Not to exceed 25% of Portfolio; Under a provision sunseting on January 1, 2026, no more than 40% of the portfolio may be invested in Commercial Paper if the Agency’s investment assets under management	Not to exceed 270 days	“A1/P1” rating for issuer’s Commercial Paper; “A2/A” or higher rating on long-term debt;  US domiciled corporations with assets greater than \$500 million	Not to exceed 25% of Portfolio; Under a provision sunseting on January 1, 2026, no more than 40% of the portfolio may be invested in Commercial Paper if the Agency’s investment assets under management are greater	Not to exceed 270 days	Prime quality with the highest letter/number rating and “A” or higher rating on the issuer’s long-term debt;  US domiciled corporations with assets greater than \$500 million

ALLOWABLE INVESTMENTS*						
Instrument	CITY OF CORONA LIMITS			STATE CODE LIMITS		
	Diversification	Term	Quality	Diversification	Term	Quality
	are greater than \$100,000,000.  May not represent more than 10% of issuer's outstanding paper			than \$100,000,000.  May not represent more than 10% of issuer's outstanding paper		
Diversified Management Companies, as defined by Section 53601(l) of the Government Code**	Not to exceed 10% of Portfolio	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million	Not to exceed 20% of Portfolio**;  Not more than 10% of Portfolio in one fund	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million
Money Market Mutual Funds registered with the Securities and Exchange Commission under the Investment Company Act of 1940**	Not to exceed 20% of Portfolio	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million	Not to exceed 20% of Portfolio**;  Not more than 20% of Portfolio in one fund	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million

ALLOWABLE INVESTMENTS*						
Instrument	CITY OF CORONA LIMITS			STATE CODE LIMITS		
	Diversification	Term	Quality	Diversification	Term	Quality
Federal agency or United States government-sponsored enterprise obligations, participations, or other instruments, including those issued by or fully guaranteed as to principal and interest by federal agencies or United States government-sponsored enterprises.	May not exceed 75% of Portfolio	Not to exceed 5 years		No limit	Not to exceed 5 years	
Financial Futures and Financial Option Contracts	Not authorized			Pursuant to Section 53601	Not to exceed 5 years	Pursuant to Section 53601
Medium-Term Notes issued by Corporations	Not to exceed 30% of Portfolio	Not to exceed 5 years	Rated in a rating category of "A" or its equivalent or better by at least one nationally recognized rating service  US domiciled corporations or US licensed depository	Not to exceed 30% of Portfolio	Not to exceed 5 years	"A" or better ranking by a nationally recognized rating service  US domiciled corporations or US licensed depository
Negotiable Certificates of Deposit issued by a Nationally or State Chartered Bank, a Federal Association, or a State Licensed Branch of a Foreign Owned Bank (Insured by Federal Government)	Not to exceed 20% of Portfolio  May not exceed shareholder's equity of issuing bank or net worth of issuing S & L or Federal Association	Not to exceed 3 years	Bank or Savings & Loans with "A1/P1" or better short term debt rating and "A2/A" or better long-term debt rating	Not to exceed 30% of Portfolio  May not exceed shareholder's equity of issuing bank or net worth of issuing S & L or Federal Association	Not to exceed 5 years	Not specified
Non-Government issued Mortgage-Backed Pass-Through	Total not to exceed 15% of investing	Not to exceed 5 years	Securities are rated in a rating category of "AA" or its equivalent	Not to exceed 20% of investing	Not to exceed 5 years	Securities are rated in a rating category of "AA" or its

<b>ALLOWABLE INVESTMENTS*</b>						
<b>Instrument</b>	<b>CITY OF CORONA LIMITS</b>			<b>STATE CODE LIMITS</b>		
	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>
Securities Collateralized Mortgage Obligations and Asset-Backed Securities	agency's surplus		or better by a NRSRO	agency's surplus		equivalent or better by a NRSRO
Repurchase Agreements	Not to exceed 10% of Portfolio	Not to exceed 14 days	Collateral of 102% or greater with securities permitted in the Policy	None	Not to exceed 1 year	Authorized Collateral of 102% or greater
Reverse Repurchase Agreements	Not authorized			None	Not to exceed 1 year	Extensive conditions listed in Section 53601 (i)
State of California Local Agency Investment Fund (LAIF) or other Local Government Investment Pools established by public entities	Limit set by LAIF	N/A	Instruments consistent with State Code	No requirement	N/A	
Supranationals	Not to exceed 10% per issuer	Not to exceed 5 years	"AA" or better ranking by a nationally recognized rating service  Washington, D.C. based issuers: IADB, IBRD, and IFC	Not to exceed 30% per issuer	Not to exceed 5 years	"AA" or better ranking by a nationally recognized rating service  Washington, D.C. based issuers: IADB, IBRD, and IFC
United States Treasury Notes, Bonds, Bills, or other certificates of indebtedness backed by the US Government	No limit	Not to exceed 5 years		No limit	Not to exceed 5 years	
Zero Coupon Bonds***	Not authorized			Not specified		



- \* Unless otherwise specified in this policy, no more than 5% of the total portfolio may be invested in securities of any single issuer, other than the US government, its agencies and instrumentalities, money market mutual funds and LAIF.*
- \*\* Total amount invested in Mutual funds and Money Market Mutual Funds may be no more than 20% of the total portfolio*
  - \*\*\*Under a provision sunseting on January 1, 2026, securities backed by the U.S. Government that could result in a zero- or negative-interest accrual if held to maturity are permitted.*

**Attachment B – Sample Resolution Approving the Investment Policy**

**RESOLUTION NO. 2021-056**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, APPROVING THE CITY OF  
CORONA’S INVESTMENT POLICY**

**WHEREAS**, the City Council of the City of Corona has considered a document entitled “City of Corona’s Investment Policy” which outlines the policy enacted to provide guidelines for the prudent investment of inactive cash for all funds in the investment portfolio as well as guidelines for maximizing the efficiency of the cash management system for the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority; and

**WHEREAS**, the “City of Corona’s Investment Policy” has also been administratively assigned City Administrative Policy No. 01200-602; and

**WHEREAS**, the “City of Corona’s Investment Policy” provides for a creation of a Treasury Committee comprised of the City Treasurer, City Manager, Assistant City Manager and Finance Director; and

**WHEREAS**, at the direction of the City Treasurer, the City of Corona’s Investment Policy shall be reviewed annually to reflect changes in the California state codes, general market conditions or to provide further clarification of the City’s policy; and

**WHEREAS**, the Finance Director has recommended to the City Council that the “City of Corona’s Investment Policy” be approved and established as the policy of the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority and such other entities as may be established for cash management; and

**WHEREAS**, the City Council has determined that the “City of Corona’s Investment Policy” be approved and established as recommended by the Finance Director.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA** that the “City of Corona’s Investment Policy,” as presented to the City Council at the meeting in which this Resolution is adopted, is hereby approved and established as the policy of the City with respect to investments.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote of the Council:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

(SEAL)

# CITY OF CORONA

---

## INVESTMENT POLICY



Jacque Casillas~~Jim Steiner~~, Mayor  
Wes Speake~~Jacque Casillas~~, Vice Mayor  
~~Yolanda Carrillo~~Tony Daddario, Council Member  
~~Jason Scott~~Tom Richins, Council Member  
Jim Steiner~~Wes Speake~~, Council Member

Chad Willardson, City Treasurer

Adopted by the City Council July 17, 2020

## TABLE OF CONTENTS

I.	PURPOSE.....	22
II.	SCOPE.....	22
III.	PRUDENCE.....	22
IV.	ETHICS AND CONFLICT OF INTEREST .....	33
V.	INVESTMENT SELECTION CRITERIA.....	33
VI.	TREASURY COMMITTEE .....	44
VII.	INVESTMENT RESPONSIBILITY .....	44
VIII.	ALLOWABLE INVESTMENTS.....	55
IX.	INVESTMENT POOLS / MUTUAL FUNDS .....	66
X.	SELECTION OF FINANCIAL INSTITUTIONS .....	66
XI.	SAFEKEEPING AND CUSTODY .....	77
XII.	COLLATERALIZATION .....	77
XIII.	MATURITY.....	7
XIV.	LIQUIDITY .....	88
XV.	DIVERSIFICATION.....	88
XVI.	REPORTING.....	99
XVII.	INTERNAL CONTROLS .....	9
XVIII.	PERFORMANCE STANDARDS .....	1010
XIX.	INVESTMENT POLICY ADOPTION.....	1010
	GLOSSARY OF TERMS .....	11
	Attachment A – Allowable Investments .....	14
	Attachment B – Sample Resolution Approving the Investment Policy .....	17

## **INVESTMENT POLICY**

### **I. PURPOSE**

This document is intended to provide guidelines for the prudent investment of the City's temporary inactive cash and outline the policies for maximizing the efficiency of the City's cash management system. The goal of the City's Investment Policy (the "Policy") is to meet the short and long-term cash flow demands in a manner which will provide for the safety of principal and sufficient liquidity, while providing a suitable investment return.

The Policy shall be adopted annually by resolution of the City Council. The Policy shall be reviewed annually by both the Treasury Committee and the City Council and any modifications made thereto must be approved.

The Policy is in conformance with the California Government Code Sections 53600 et seq. However, to meet the City's needs, the investment parameters set forth in the Policy are more conservative than those allowed by state law.

### **II. SCOPE**

The Policy shall direct the investment of the City's temporarily inactive cash for all funds in the investment portfolio. These funds are accounted for in the City of Corona Comprehensive Annual Financial Report under the following fund types:

- Governmental Funds
- Proprietary Funds
- Fiduciary Funds

The Policy shall also direct all investments related to the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority. The Policy will not direct the investment of funds held for employees in deferred compensation plans. Additionally, the Policy will not direct the investment of bond proceeds, which are specifically governed by the individual bond documents and trust indentures.

### **III. PRUDENCE**

The standard of prudence to be used by the investment official shall be the "prudent investor standard" as set forth in California Government Code Section 53600.3 and shall be applied in the context of managing the overall portfolio.

The City Treasurer will be responsible for maintaining and updating investment policies and procedures. The intent of the procedures will be to ensure that the investment objectives and safeguards stated in this Policy are effectively communicated to all officials involved in the investment of public funds and that they properly reflect the intent of the "Prudent Investor" rule. The procedures will be maintained on file with the City Treasurer and the ~~Administrative Services~~ Finance Director.

#### IV. ETHICS AND CONFLICT OF INTEREST

Officers and employees involved in the investment process shall refrain from personal business activity that could conflict with the proper execution of the investment program, or which could impair their ability to make impartial investment decisions. Employees and investment officials shall comply with the disclosure and disqualification requirements required by state law and any applicable regulations, including those adopted by the Fair Political Practices Commission, or FPPC. In addition, the FPPC's Statement of Economic Interests (Form 700) shall be completed annually and submitted to the City Clerk for all individuals involved in the investment of public funds.

#### V. INVESTMENT SELECTION CRITERIA

Criteria for selecting investments and the order of priority are:

1. **Safety.** The safety and risk associated with an investment refers to the potential loss of principal, interest or a combination of these amounts. Safety of principal is the foremost objective of the investment program. City investments shall be undertaken in a manner that seeks to ensure the preservation of capital in the overall portfolio. The City shall select only those investments that are considered very safe. The City shall not engage in speculation. The City shall diversify its investments by investing funds among a variety of securities and financial institutions offering independent returns.
2. **Liquidity.** Liquidity is the ability to change an investment into its cash equivalent on short notice at its prevailing market value. The funds in the City's portfolio shall remain sufficiently liquid to meet all operating requirements that may be reasonably anticipated. This is accomplished by structuring the portfolio so that securities mature concurrently with cash needs to meet anticipated demands. Furthermore, since all possible cash demands cannot be anticipated, the portfolio will maintain a liquidity buffer and invest primarily in securities with active secondary and resale markets.



3. **Yield.** Yield is the potential dollar earnings that an investment can provide; it is also referred to as the rate of return. The City's portfolio shall be designed to attain a return on investments through economic cycles, taking into account investment risk constraints and liquidity needs. Return on investment is of least importance compared to the safety and liquidity objectives.

## VI. TREASURY COMMITTEE

The Policy provides for the creation of a Treasury Committee (Committee). The Committee is composed of the City Treasurer, City Manager, Assistant City Manager and ~~Finance Administrative Services~~ Director.

The Committee shall be responsible for the following:

1. Review of financial institutions.
2. Review of investment strategy.
3. Review of investment operations guidelines and procedures.
4. Review of controls to assure compliance with the State law and the City's Policy.
5. Recommendation and approval of investment brokers, dealers, advisors and managers.
6. Review of investment reports and other related issues with the City Council on an as-needed basis.
7. Recommending modifications to the list of permitted investments.

## VII. INVESTMENT RESPONSIBILITY

In accordance with the State of California Government Code section 53607, the City Council delegates investment authority to the City Treasurer for a period of one year and such investment authority must be renewed annually. Adoption of this Policy constitutes delegation of investment authority to the City Treasurer for the fiscal year unless revoked in writing.

Within the constraints set forth in the Policy, the City Treasurer has the authority to direct investment strategy and approve investment transactions for the City's investment portfolio.

The City Treasurer appoints the ~~Finance Administrative Services~~ Director as Deputy City Treasurer and authorizes the ~~Finance Administrative Services~~ Director to act on his/her behalf in performing the powers and duties of the office as needed, and to specifically take responsibility for the implementation and supervision of investment controls and operations.

The ~~Finance~~~~Administrative Services~~ Director, or his/her designee, is responsible for the following:

1. Approving daily investment transactions.
2. Developing projections of the City's cash requirements for operating needs.
3. Reviewing the liquidity position of the investment portfolio.
4. Ensuring that the City's cash position is consistent with operating requirements.
5. Preparing appropriate investment reports.
6. Developing, implementing and monitoring controls over investments.
7. Record keeping for investment transactions.

#### ***Delegation of Authority***

The City may engage the services of one or more external investment management advisors to assist in the management of the City's investment portfolio in a manner consistent with the City's objectives. Such advisors may be granted discretion to purchase and sell investment securities in accordance with the Policy. Such managers must be registered under the Investment Advisers Act of 1940. All broker/dealers selected by an external advisor must comply with the requirements of California Government Code Section 53601.5.

### **VIII. ALLOWABLE INVESTMENTS**

Allowable investments for the City are listed in the matrix provided herein as Attachment A. The list is intended to ensure that the investment portfolio is properly diversified so that no single category of investment is over weighted or poses a disproportionate credit risk to the City. It should be noted that any newly developed derivative of an allowable investment that is not specifically mentioned in the Policy must be recommended by the City Treasurer for inclusion in the Policy. Any amendments to the list of allowable investments must be submitted to the City Council, via the Treasury Committee, for review and approval.

Any prior investment currently held by the City that does not meet the guidelines of this policy shall be exempt from the requirements of the Policy. At maturity or liquidation, such funds shall be reinvested as provided by the Policy.

Should an investment's percentage exceeded the Policy limitation due to an incident such as fluctuation in portfolio size, the affected securities may be held to maturity to avoid losses. When no loss is indicated, the Treasurer shall consider reconstructing the portfolio within the Policy established percentage limits.

All purchases and sales of securities will require a minimum of three quotes when practical. The three-quote rule will be waived for the following transactions:

1. Purchase and sale of new issues of federal agency securities that are still in syndicate.
2. Purchase and sale of US treasury bills or notes in amounts of \$5 million or less.
3. Purchase and sale of short-term money market securities (i.e. commercial paper, banker's acceptances, repurchase agreements, discount notes, treasury bills) that have a final maturity of less than 30 days from settlement date.
4. Proprietary reasons, where only one broker is authorized to make or accept offers.

Repurchase agreements may be used as short-term investment vehicles when economic conditions and alternative short-term investments make it favorable to invest in repurchase agreements. Prior to the investment of any public funds in a repurchase agreement, a Master Repurchase Agreement must be properly executed and countersigned by the financial institution that is a party to the agreement. The Master Repurchase Agreement will be the format prescribed by the Bond Market Association.

Investment of bond proceeds held by fiscal agents will be made in accordance with California Government Code Section 53601 (m), which states that money from bond proceeds should be invested as specified by bond documents. In most cases, these investments will be made under the same guidelines as other City investments.

#### **IX. INVESTMENT POOLS / MUTUAL FUNDS**

A thorough investigation of the pool/fund is required prior to investing public funds in any local agency investment pool or mutual fund. The investment of any public funds must comply with the rules set forth in the California Government Code Section 53601.

#### **X. SELECTION OF FINANCIAL INSTITUTIONS**

Only institutions that demonstrate financial strength may be selected to provide fiscal agent and/or external investment management or advisory services. They shall be selected using the following criteria: financial strength, reputation, technical investment expertise, security controls and ability to conform to the City and State mandated investment parameters.

Purchases and sales of investments shall, whenever practical, be made directly from the issuer, from a member of a federally regulated securities exchange, from a national or state-chartered bank, or from a qualified broker/dealer.

Primary dealers registered with the Federal Reserve Bank of New York should be used for broker/dealer securities transactions. Exceptions to the primary dealer rule may be made with approval of the Treasury Committee provided they are consistent with the California Government Code Section 53601.5.

A copy of the Policy shall be submitted to all broker/dealers, investment management advisors, fiscal agents and financial institutions with which the City places investments.

The City shall obtain a certification evidencing that they:

1. Have reviewed the City's investment policies and objectives.
2. Are familiar with the City's investment constraints.
3. Have complied with the provisions contained in the Policy.

#### **XI. SAFEKEEPING AND CUSTODY**

To protect against fraud, embezzlement, or losses caused by insolvency of individual securities dealers, all securities owned by the City shall be held in safekeeping by the City's custodial bank, a third party bank trust account, acting as agent for the City under the terms of a custody agreement.

Except for federally insured Certificates of Deposit, money market funds or the Local Agency Investment Fund (LAIF), all investments evidenced by physical or book-entry securities shall be secured through third-party custody and the following safekeeping procedures:

1. All transactions described above shall be executed on a delivery versus payment basis.
2. The custodian shall hold assets until the investments mature or the custodial bank receives a request from the City to sell or transfer the securities.
3. Bearer instruments shall be held only through third-party institutions.

#### **XII. COLLATERALIZATION**

Certificates of Deposit - The City shall require any commercial bank or savings and loan association to deposit eligible securities with an agency of a depository approved by the State Banking Department to secure any uninsured portion of a non-negotiable Certificate of Deposit. The value of eligible securities as defined pursuant to Government Code Section 53651, pledged against a Certificate of Deposit shall be equal to 150% of the face value of the CD if the securities are

classified as mortgages and 110% of the face value of the CD for all other classes of security.

Repurchase Agreements - The City requires that repurchase agreements be collateralized only by securities authorized in this Policy:

1. The securities which collateralize the repurchase agreement shall be priced at market value, including any accrued interest plus a margin. The market value of the securities that underlie a repurchase agreement shall be valued at 102% or greater of the funds borrowed against those securities.
2. Financial institutions shall mark the value of the collateral to market at least monthly and increase or decrease the collateral to satisfy the ratio requirement described above.
3. The City shall receive monthly statements of collateral.

### **XIII. MATURITY**

The City shall not make any investments in instruments with a stated remaining maturity that exceeds five years at the time of purchase.

The maturity of investment instruments in the portfolio shall be consistent with projected cash requirements.

It is the City's intent, at the time of purchase, to hold the majority of investments until maturity to ensure the return of all invested principal dollars. However, it is realized that market prices of securities will vary depending on economic and interest rate conditions at any point in time. As a result, the City may choose to sell a security short of final maturity to realize a capital gain if it is to the City's economic advantage to do so. It is further recognized, that in a well-diversified portfolio, occasional measured losses are inevitable due to economic, bond market or individual security credit analysis. These occasional losses must be considered within the context of the overall investment program objectives and the resultant long-term rate of return.

### **XIV. LIQUIDITY**

In maintaining sufficient liquidity in the City's portfolio, maturities shall be selected to mature prior to or match the timing of the City's projected cash flow needs. It is intended that a liquidity base equal to forecasted cash flow needs for six months should be maintained. Additionally, the marketability of a security shall be important criteria in selecting an investment.

### **XV. DIVERSIFICATION**

The City will diversify its investments by security type, institution, and maturity date.

#### ***Mitigating Credit Risk in the Portfolio***

Credit Risk is the risk that a security or a portfolio will lose some or all of its value due to a real or perceived change in the ability of the issuer to repay its debt. The City shall mitigate credit risk by adopting the following strategies:

1. The diversification requirements included in this section are designed to mitigate credit risk in the portfolio.
2. No more than 5% of the total portfolio may be invested in securities of any single issuer, other than the US government, its agencies and instrumentalities, money market mutual funds and LAIF.
3. The City may elect to sell a security prior to its maturity and record a capital gain or loss in order to improve the quality, liquidity or yield of the portfolio in response to market conditions or the City's risk preferences.
4. If securities owned by the City are downgraded by a Nationally Recognized Statistical Rating Organization (NRSRO) to a level below the quality required by this Policy, it shall be the City's policy to review the credit situation and make a determination as to whether to sell or retain such securities in the portfolio. Moody's, Standard and Poor's, and Fitch are currently used as the NRSRO.
  - a. If a security is downgraded below the level required by the Policy, the City Treasurer will use discretion in determining whether to sell or hold the security based on its current maturity, the loss in value, the economic outlook for the issuer, and other relevant factors.
  - b. If a decision is made to retain a downgraded security in the portfolio, its presence in the portfolio will be monitored and reported monthly to the City Council.

#### **XVI. REPORTING**

The City Treasurer shall file a monthly investment report with the City Council which provides a clear picture of the status of current investments. The investment report may include comments on the fixed income markets and economic conditions, discussions regarding restrictions on percentages of investments by category, possible changes in the portfolio structure and significant changes to investment strategies. The monthly investment report filed with the City Council will contain the following:

1. Percentages of the portfolio represented by each investment category.
2. An investment inventory including types and amounts of investments, issuing financial institutions and maturities.
3. A list of all investment transactions that occurred during the reporting month.

4. Investments or programs under the management of contracted parties.
5. Average maturity of the portfolio.
6. Average total yield to maturity of the portfolio relative to the prescribed benchmarks.
7. Current market value of investments with maturities of more than 12 months.
8. A statement denoting that the investment portfolio has sufficient liquidity to meet the City's anticipated expenditure requirements for the upcoming six months.
9. Percent of portfolio invested by type of instrument.
10. Written explanations for any variances to the Policy.

#### **XVII. INTERNAL CONTROLS**

Internal controls shall be established and maintained to prevent losses of public funds arising from fraud, employee error, and misrepresentation by third parties, or imprudent actions by employees and officers of the City.

Controls deemed most important include: segregation of duties, separation of transaction authority from accounting and record keeping, custodial safekeeping, clear delegation of authority, specific limitations regarding securities losses and remedial action, control over wire transfers, minimizing the number of authorized investment officials and documentation of transactions and strategies.

The City Treasurer shall establish an annual process of independent review by an external auditor. This review will provide internal control by assuring compliance with the policies and procedures set forth in this document.

#### **XVIII. PERFORMANCE STANDARDS**

The investment portfolio shall be designed with the objective of obtaining a rate of return throughout budgetary and economic cycles, commensurate with the investment risk constraints and the cash flow needs.

The investment performance objective for the portfolio shall be to earn a total rate of return over a market cycle which is approximately equal to the return on a benchmark index of one to five- year government securities.

#### **XIX. INVESTMENT POLICY ADOPTION**

At the direction of the City Treasurer, the City's Investment Policy shall be reviewed annually, to reflect changes in the California state codes, general market conditions or to provide further clarification of the City's policy. The Policy shall be

formally presented to the City Council for approval at a public meeting. Any change in the Policy shall also be approved at a public meeting by the City Council.



## GLOSSARY OF TERMS

**Accrued Interest** - Interest earned but not yet received.

**Asset Backed Securities** – Securities supported by pools of installment loans or leases or by pools of revolving lines of credit.

**Banker's Acceptance (BA)** - A draft or bill of exchange accepted by a bank or trust company. The accepting institution guarantees payment of the bill, as well as the issuer.

**Bond** - A financial obligation for which an issuer promises to pay the bondholder a specified stream of future cash flows, including periodic interest payments and a principal repayment.

**Broker** - A broker brings buyers and sellers together for a commission. The broker does not take a position.

**Certificate of Deposit** - A deposit insured up to \$100,000 by the FDIC at a set rate for a specified period of time.

**Collateral** - Securities, evidence of deposit or pledges to secure repayment of a loan. Also refers to securities pledged by a bank to secure deposit of public funds.

**Collateralized Mortgage Obligation (CMO)** – classes of bonds that redistribute the cash flow of mortgage securities (and whole loans) to create securities that have different levels of prepayment risk, as compared to the underlying mortgage securities.

**Commercial Paper** – A short-term, unsecured promissory note issued by a large corporation.

**Coupon** - a) The annual rate of interest that a bond's issuer promises to pay the bondholder on the bond's face value. b) A certificate attached to a Bond evidencing interest due on the payment date.

**Dealer** - A dealer, as opposed to a broker, acts as a principal in all transactions, buying and selling for his own account.

**Delivery Versus Payment** - There are two methods of delivery of securities: delivery versus payment and delivery versus receipt. Delivery versus payment is the delivery of securities with an exchange of money for the securities. Delivery versus receipt is the delivery of securities with an exchange of a signed receipt for the securities.

**Discount** - The difference between the cost price of a security and its maturity when quoted at a lower than face value. A security selling below original offering price shortly after sale also is considered to be at a discount.

**Discount Notes** - Non-interest bearing money market instruments that are issued at a Discount and redeemed at maturity for full face value (e.g., U.S. treasury bills).

**Diversified Management Companies** – Mutual funds or money market mutual funds registered with the Securities and Exchange Commission pursuant California Government Code Section 53601(k).

**Federal Reserve System** - The central bank of the United States created by Congress and consisting of a seven member-board of governors in Washington, D.C., 12 regional banks and about 5,700 commercial banks are members of the system.

**IADB** – Inter-American Development Bank, one of the three Washington, D.C. based Supranational issuers.

**IBRD** – International Bank for Reconstruction and Development, one of the three Washington, D.C. based Supranational issuers.

**IFC** – International Finance Corporation, one of the three Washington, D.C. based Supranational issuers.

**Liquidity** - A liquid asset is one that can be converted easily and rapidly to cash without a substantial loss of value.

**Local Government Investment Pool** - The aggregate of all funds from political subdivisions that are placed in the custody of the State Treasurer for investment and reinvestment. (i.e. Local Agency Investment Fund or LAIF).

**Market Value** - The price at which a security is trading and could presumably be purchased or sold.

**Maturity** - The date upon which the principal or stated value of an investment becomes due and payable.

**Medium Term Notes** – All corporate and depository institution debt securities with a maximum remaining maturity of five years or less, issued by corporations organized and operating within the United States or by depository institutions licensed by the United States.

**Mortgage-Backed Pass-Through Securities** - A securitized participation in the interest and principal cash flows from a specified pool of mortgages. Principal and interest payments made on the mortgages are passed through to the holder of the security.

**New Issue** - Term used when a security is originally "brought" to the market.

**Offering Price** - The price asked by a seller of securities. (When you are buying securities, you ask for an offer.) See "Asked" and "Bid".

**Portfolio** - Collection of securities held by an investor.

**Primary Dealer** - A group of government securities dealers who submit daily reports of market activity and positions and monthly financial statements to the Federal Reserve Bank of New York and are subject to its informal oversight. Primary dealers include SEC-registered securities broker/dealers, banks and a few unregulated firms.

**Rate of Return** - The yield obtainable on a security based on its purchase price or its current market price. This may be the amortized yield to maturity on a bond or the current income return.

**Repurchase Agreement (REPO)** - A transaction where the seller (bank) agrees to buy back from the buyer (City) the securities at an agreed upon price after a stated period of time. The buyer in effect lends the seller money for the period of the agreement, and the terms of the agreement are structured to compensate the buyer for this.

**Reverse Repurchase Agreement** – An agreement to sell securities in return for cash with an agreement to repurchase the securities at an agreed upon price.

**Risk** - Degree of uncertainty of return on an asset.

**Safekeeping** - A service to customers rendered by banks, for a fee, whereby securities and valuables of all types and descriptions are held in the bank vaults for protection.

**Securities and Exchange Commission (SEC)** – An agency created by Congress to protect investors in securities transactions by administering securities legislation.

**Supranational** – A Supranational is a multi-national organization whereby member states transcend national boundaries or interests to share in the decision making to promote economic development in the member countries.

**Treasury Bills** - U.S. treasury bills are short-term, direct obligations of the U.S. government issued with original maturities of 13 weeks and 52 weeks in book form only.

**Treasury Notes** - Intermediate-term Coupon bearing U.S. securities having maturities from one year to ten years.

**Yield** - The rate of annual income return on an investment, expressed as a percentage. It is obtained by dividing the current dollar income by the current market price of the security.

**Yield to Maturity** - The rate of income return on an investment, minus any premium above par or plus any discount from par in purchase price, with the adjustment spread over the period from the date of the purchase to the date of maturity of the bond.

**Zero Coupon Bond** – A bond on which interest is not payable until maturity (or earlier redemption), but compounds periodically to accumulate to a stated maturity amount.



**Attachment A – Allowable Investments**

<b>ALLOWABLE INVESTMENTS*</b>						
<b>Instrument</b>	<b>CITY OF CORONA LIMITS</b>			<b>STATE CODE LIMITS</b>		
	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>	<b>Diversification</b>	<b>Term</b>	<b>Quality</b>
Bankers Acceptances	Not to exceed 25% in any one institution;  Not to exceed 20% of portfolio	Not to exceed 180 days	Eligible for purchase by the Federal Reserve System	Not to exceed 30% in any one institution;  May not exceed 40% of portfolio	Not to exceed 180 days	Eligible for purchase by the Federal Reserve System
Bonds issued by the City, including Bonds payable solely out of revenue from a revenue producing property owned, controlled or operated by the City	Not to exceed 25% of the portfolio for combined municipal debt		"A" or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Bonds, Notes or other evidence of indebtedness of any local agency within California, or state warrants, or Treasury Notes or Bonds of California	Not to exceed 25% of the portfolio for combined municipal debt		"A" or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Bonds, Notes or other evidence of indebtedness in any of the other 49 states, in addition to California	Not to exceed 25% of the portfolio for combined municipal debt		"A" or better ranking by nationally recognized rating services	No limit	Not to exceed 5 years	
Commercial Paper	Not to exceed 25% of Portfolio; <u>Under a provision sunseting on January 1, 2026, no more than 40% of the portfolio may be invested in Commercial Paper if the Agency's investment assets under management</u>	Not to exceed 270 days	"A1/P1" rating for issuer's Commercial Paper; "A2/A" or higher rating on long-term debt;  US domiciled corporations with assets greater than \$500 million	Not to exceed 25% of Portfolio; <u>Under a provision sunseting on January 1, 2026, no more than 40% of the portfolio may be invested in Commercial Paper if the Agency's investment assets under management are greater</u>	Not to exceed 270 days	Prime quality with the highest letter/number rating and "A" or higher rating on the issuer's long-term debt;  US domiciled corporations with assets greater than \$500 million

**Commented [CM1]:** Updated CP limit to 40% to be in line with SB 998

ALLOWABLE INVESTMENTS*						
Instrument	CITY OF CORONA LIMITS			STATE CODE LIMITS		
	Diversification	Term	Quality	Diversification	Term	Quality
	are greater than \$100,000,000.  May not represent more than 10% of issuer's outstanding paper			than \$100,000,000.  May not represent more than 10% of issuer's outstanding paper		
Diversified Management Companies, as defined by Section 53601(l) of the Government Code**	Not to exceed 10% of Portfolio	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million	Not to exceed 20% of Portfolio**;  Not more than 10% of Portfolio in one fund	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million
Money Market Mutual Funds registered with the Securities and Exchange Commission under the Investment Company Act of 1940**	Not to exceed 20% of Portfolio	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million	Not to exceed 20% of Portfolio**;  Not more than 20% of Portfolio in one fund	N/A	Highest ranking by not less than 2 of the 3 largest rating services;  Have an SEC registered investment advisor with more than 5 years of experience and assets under management greater than \$500 million

ALLOWABLE INVESTMENTS*						
Instrument	CITY OF CORONA LIMITS			STATE CODE LIMITS		
	Diversification	Term	Quality	Diversification	Term	Quality
Federal agency or United States government-sponsored enterprise obligations, participations, or other instruments, including those issued by or fully guaranteed as to principal and interest by federal agencies or United States government-sponsored enterprises.	May not exceed 75% of Portfolio	Not to exceed 5 years		No limit	Not to exceed 5 years	
Financial Futures and Financial Option Contracts	Not authorized			Pursuant to Section 53601	Not to exceed 5 years	Pursuant to Section 53601
Medium-Term Notes issued by Corporations	Not to exceed 30% of Portfolio	Not to exceed 5 years	Rated in a rating category of "A" or its equivalent or better by at least one nationally recognized rating service  US domiciled corporations or US licensed depository	Not to exceed 30% of Portfolio	Not to exceed 5 years	"A" or better ranking by a nationally recognized rating service  US domiciled corporations or US licensed depository
Negotiable Certificates of Deposit issued by a Nationally or State Chartered Bank, a Federal Association, or a State Licensed Branch of a Foreign Owned Bank (Insured by Federal Government)	Not to exceed 20% of Portfolio  May not exceed shareholder's equity of issuing bank or net worth of issuing S & L or Federal Association	Not to exceed 3 years	Bank or Savings & Loans with "A1/P1" or better short term debt rating and "A2/A" or better long-term debt rating	Not to exceed 30% of Portfolio  May not exceed shareholder's equity of issuing bank or net worth of issuing S & L or Federal Association	Not to exceed 5 years	Not specified
Non-Government issued Mortgage-Backed Pass-Through	Total not to exceed 15% of investing	Not to exceed 5 years	Securities are rated in a rating category of "AA" or its equivalent	Not to exceed 20% of investing	Not to exceed 5 years	Securities are rated in a rating category of "AA" or its

ALLOWABLE INVESTMENTS*						
Instrument	CITY OF CORONA LIMITS			STATE CODE LIMITS		
	Diversification	Term	Quality	Diversification	Term	Quality
Securities Collateralized Mortgage Obligations and Asset-Backed Securities	agency's surplus		or better by a NRSRO	agency's surplus		equivalent or better by a NRSRO
Repurchase Agreements	Not to exceed 10% of Portfolio	Not to exceed 14 days	Collateral of 102% or greater with securities permitted in the Policy	None	Not to exceed 1 year	Authorized Collateral of 102% or greater
Reverse Repurchase Agreements	Not authorized			None	Not to exceed 1 year	Extensive conditions listed in Section 53601 (i)
State of California Local Agency Investment Fund (LAIF) or other Local Government Investment Pools established by public entities	Limit set by LAIF	N/A	Instruments consistent with State Code	No requirement	N/A	
Supranationals	Not to exceed 10% per issuer	Not to exceed 5 years	"AA" or better ranking by a nationally recognized rating service  Washington, D.C. based issuers: IADB, IBRD, and IFC	Not to exceed 30% per issuer	Not to exceed 5 years	"AA" or better ranking by a nationally recognized rating service  Washington, D.C. based issuers: IADB, IBRD, and IFC
United States Treasury Notes, Bonds, Bills, or other certificates of indebtedness backed by the US Government	No limit	Not to exceed 5 years		No limit	Not to exceed 5 years	
Zero Coupon Bonds***	Not authorized			Not specified		



\* Unless otherwise specified in this policy, no more than 5% of the total portfolio may be invested in securities of any single issuer, other than the US government, its agencies and instrumentalities, money market mutual funds and LAIF.

\*\* Total amount invested in Mutual funds and Money Market Mutual Funds may be no more than 20% of the total portfolio

\*\*\*Under a provision sunseting on January 1, 2026, securities backed by the U.S. Government that could result in a zero- or negative-interest accrual if held to maturity are permitted.

**Commented [CM2]:** Recommend adding language related to zero or negative interest bonds added to code from the passing of SB 998

**Attachment B – Sample Resolution Approving the Investment Policy**

**RESOLUTION NO. 2021-056**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, APPROVING THE CITY OF  
CORONA'S INVESTMENT POLICY**

WHEREAS, the City Council of the City of Corona has considered a document entitled "City of Corona's Investment Policy" which outlines the policy enacted to provide guidelines for the prudent investment of inactive cash for all funds in the investment portfolio as well as guidelines for maximizing the efficiency of the cash management system for the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority; and

WHEREAS, the "City of Corona's Investment Policy" has also been administratively assigned City Administrative Policy No. 01200-602; and

WHEREAS, the "City of Corona's Investment Policy" provides for a creation of a Treasury Committee comprised of the City Treasurer, City Manager, Assistant City Manager and Finance Director; and

WHEREAS, at the direction of the City Treasurer, the City of Corona's Investment Policy shall be reviewed annually to reflect changes in the California state codes, general market conditions or to provide further clarification of the City's policy; and

WHEREAS, the Finance Director has recommended to the City Council that the "City of Corona's Investment Policy" be approved and established as the policy of the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority and such other entities as may be established for cash management; and

WHEREAS, the City Council has determined that the "City of Corona's Investment Policy" be approved and established as recommended by the Finance Director.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA that the "City of Corona's Investment Policy," as presented to the City Council at the meeting in which this Resolution is adopted, is hereby approved and established as the policy of the City with respect to investments.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

Mayor of the City of Corona, California

**ATTEST:**

City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote of the Council:

AYES:

NOES:

ABSENT:

ABSTAINED:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Corona, California this 7th day of July, 2021.

\_\_\_\_\_  
City Clerk of the City of Corona, California  
\_\_\_\_\_

(SEAL)

**RESOLUTION NO. ~~2020-051~~**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
CORONA, CALIFORNIA, APPROVING THE CITY OF  
CORONA'S INVESTMENT POLICY**

~~WHEREAS, the City Council of the City of Corona has considered a document entitled "City of Corona's Investment Policy" which outlines the policy enacted to provide guidelines for the prudent investment of inactive cash for all funds in the investment portfolio as well as guidelines for maximizing the efficiency of the cash management system for the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority; and~~

~~WHEREAS, the "City of Corona's Investment Policy" has also been administratively assigned City Administrative Policy No. 01200-602; and~~

~~WHEREAS, the "City of Corona's Investment Policy" provides for a creation of a Treasury Committee comprised of the City Treasurer, City Manager, Assistant City Manager and Administrative Services Director; and~~

~~WHEREAS, at the direction of the City Treasurer, the City of Corona's Investment Policy shall be reviewed annually to reflect changes in the California state codes, general market conditions or to provide further clarification of the City's policy; and~~

~~WHEREAS, the Administrative Services Director has recommended to the City Council that the "City of Corona's Investment Policy" be approved and established as the policy of the City, the Corona Utility Authority, the Corona Housing Authority, and the Corona Public Financing Authority and such other entities as may be established for cash management; and~~

~~WHEREAS, the City Council has determined that the "City of Corona's Investment Policy" be approved and established as recommended by the Administrative Services Director.~~

~~NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Corona, California that the "City of Corona's Investment Policy," as presented to the City Council at the meeting in which this Resolution is adopted, is hereby approved and established as the policy of the City with respect to investments.~~

~~PASSED, APPROVED AND ADOPTED this 17th day of June, 2020.~~

\_\_\_\_\_  
Mayor of the City of Corona, California

City of Corona Investment Policy  
Adopted by City Council June 17, 2019

---

ATTEST: \_\_\_\_\_

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 17th day of June, 2020, by the following vote of the Council:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AYES:**  
**NOES:**  
**ABSENT:**  
**ABSTAINED:**

**~~IN WITNESS WHEREOF~~**, I have hereunto set my hand and affixed the official seal of the City of Corona, California this 17th day of June, 2020.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ City Clerk of the City of  
Corona, California

(SEAL)



Staff Report

---

**File #:** 21-0613

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Resolution levying special taxes to be collected during Fiscal Year 2022 for Community Facilities District No. 2016-1 (Public Services).

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution will allow the City to levy and collect Fiscal Year 2022 special taxes.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-064, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of public services within Community Facilities District No. 2016-1 (Public Services).

**BACKGROUND & HISTORY:**

The Community Facilities District No. 2016-1 (Public Services) was formed to finance the annual costs of police protection services, (including but not limited to criminal justice services), fire protection and suppression services, and paramedic services.

**ANALYSIS:**

It is necessary that the City Council levy special taxes for the payment of annual costs associated with police protection services, (including but not limited to criminal justice services), fire protection and suppression services, and paramedic services, in the area of Community Facilities District No. 2016-1 (the "District"), pursuant to Section 53340 of the Government Code. Special taxes within the District are levied in an amount necessary to satisfy the Special Tax Requirement, as defined in the District's Rate and Method of Apportionment (the "RMA"). The special taxes levied will not exceed the authorized amounts as provided in the RMA.



**FINANCIAL IMPACT:**

The following is a summary of the Fiscal Year 2022 budgeted revenues and expenditures for the District:

Estimated Operating Costs	Estimated Assessments	Estimated Excess/(Deficit)	Percentage of Maximum Tax	YOY % Change in Levy Rate
\$ 576,512	\$ 576,512	\$ -	96.15%	0%

The proposed Fiscal Year 2022 special tax rates for developed single family residential and developed multi-family residential are \$603.65 and \$418.81 per residential unit, respectively, which are the same rates as in Fiscal Year 2021. The recommended cost is necessary to provide police protection services, including but not limited to criminal justice services, fire protection and suppression services, and paramedic services within the District throughout Fiscal Year 2022.

**ENVIRONMENTAL ANALYSIS:**

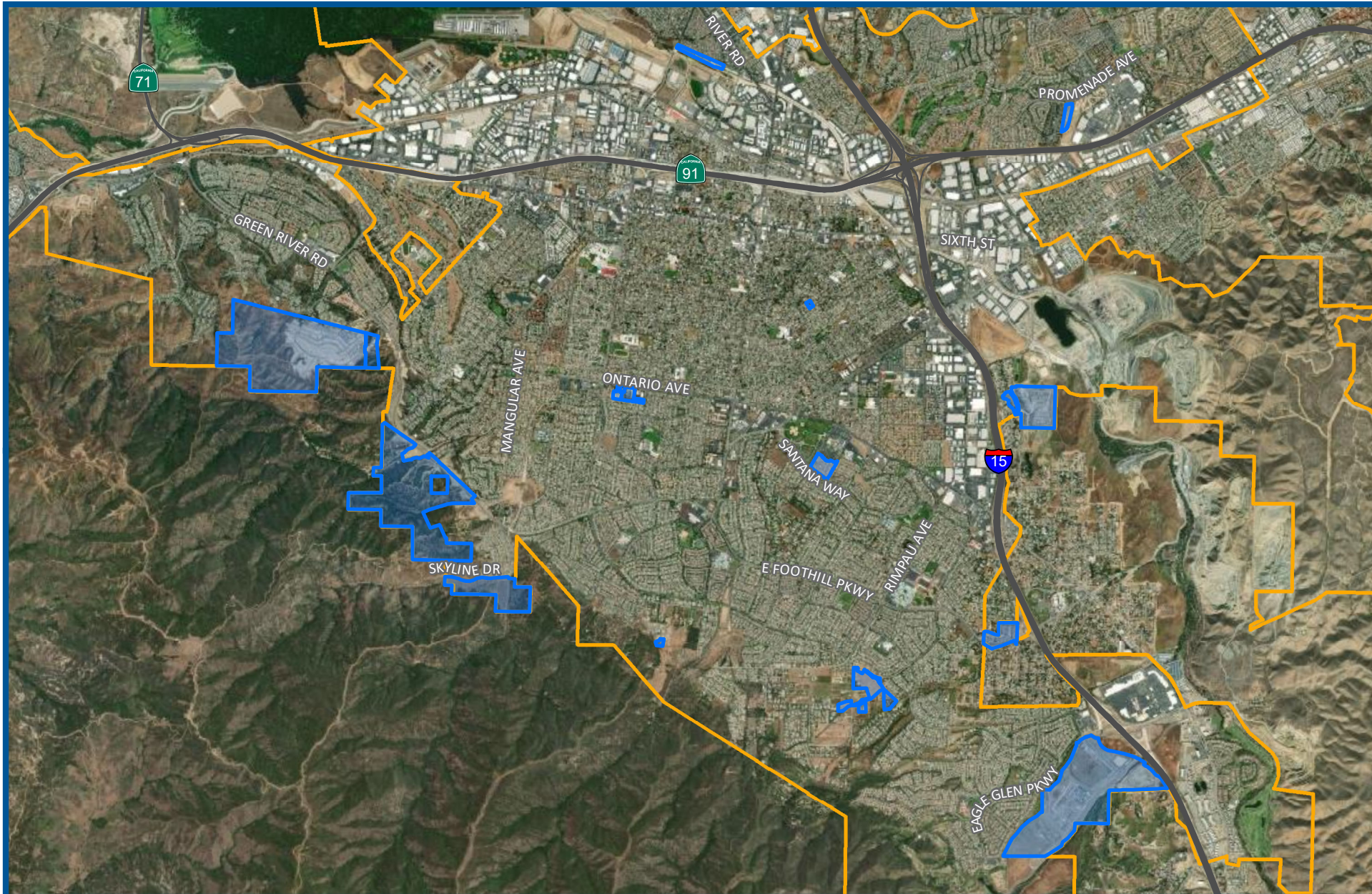
This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely sets the special taxes to be levied and collected within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Boundary Map for Resolution No. 2021-064
2. Exhibit 2 - Resolution No. 2021-064



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-1



## **RESOLUTION NO. 2021-064**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF PUBLIC SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2016-1 (PUBLIC SERVICES)**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2016-1 (Public Services) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of the annual cost of police protection services, (including but not limited to criminal justice services), fire protection and suppression services, and paramedic services (collectively “Public Services”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-080 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay the annual costs of the Public Services within the District and in the surrounding area; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all developed parcels of real property within the District that are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101470002	\$603.64
101470003	\$603.64
101470004	\$603.64
101470005	\$603.64
101470018	\$603.64
101470021	\$603.64
101470022	\$603.64
101480005	\$603.64
101480006	\$603.64
101480007	\$603.64
101480010	\$603.64
101480011	\$603.64
101480012	\$603.64
101480013	\$603.64
101480014	\$603.64
101480015	\$603.64
101480016	\$603.64
101480017	\$603.64
101480018	\$603.64
101480019	\$603.64
101480020	\$603.64
101480021	\$603.64
101480022	\$603.64
101480023	\$603.64
101480024	\$603.64
101480025	\$603.64
101480026	\$603.64
101480027	\$603.64
101490001	\$603.64
101490002	\$603.64
101490003	\$603.64
101490004	\$603.64
101490005	\$603.64
101490006	\$603.64
101490007	\$603.64
101490008	\$603.64
101490009	\$603.64
101490010	\$603.64
101490011	\$603.64
101490012	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101490013	\$603.64
101490014	\$603.64
101490015	\$603.64
101490016	\$603.64
101490017	\$603.64
101490018	\$603.64
101490019	\$603.64
101490020	\$603.64
101490021	\$603.64
101490022	\$603.64
101490023	\$603.64
101490024	\$603.64
101490025	\$603.64
101500001	\$603.64
101500002	\$603.64
101500003	\$603.64
101500004	\$603.64
101500005	\$603.64
101500006	\$603.64
101500007	\$603.64
101500008	\$603.64
101500009	\$603.64
101500010	\$603.64
101500011	\$603.64
101500012	\$603.64
101500013	\$603.64
101500014	\$603.64
101500015	\$603.64
101500016	\$603.64
101500017	\$603.64
101500018	\$603.64
101500019	\$603.64
101500020	\$603.64
101520017	\$603.64
101520018	\$603.64
101520019	\$603.64
101520020	\$603.64
101520021	\$603.64
101520022	\$603.64
101530002	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101530003	\$603.64
101530004	\$603.64
101530005	\$603.64
101530006	\$603.64
101530007	\$603.64
101530008	\$603.64
101530009	\$603.64
101530010	\$603.64
101530011	\$603.64
101530012	\$603.64
101530013	\$603.64
101530014	\$603.64
101530015	\$603.64
101530016	\$603.64
101530017	\$603.64
101530018	\$603.64
101530019	\$603.64
101530020	\$603.64
101530021	\$603.64
101530022	\$603.64
101530023	\$603.64
101530025	\$603.64
113140027	\$603.64
113140028	\$603.64
113140029	\$603.64
113140030	\$603.64
113420012	\$603.64
115180054	\$62,402.58
116340001	\$603.64
116340002	\$603.64
116340003	\$603.64
116340004	\$603.64
116340005	\$603.64
116340006	\$603.64
116340007	\$603.64
116340008	\$603.64
116340009	\$603.64
116340010	\$603.64
116340011	\$603.64
116340012	\$603.64



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116340013	\$603.64
116340014	\$603.64
116350001	\$603.64
116350002	\$603.64
116350003	\$603.64
116350004	\$603.64
116350005	\$603.64
116350006	\$603.64
116350007	\$603.64
116350008	\$603.64
116350009	\$603.64
116350010	\$603.64
116350011	\$603.64
119191001	\$418.80
119191002	\$418.80
119191003	\$418.80
119191004	\$418.80
119191005	\$418.80
119191006	\$418.80
119191007	\$418.80
119191008	\$418.80
119191009	\$418.80
119191010	\$418.80
119191011	\$418.80
119191012	\$418.80
119191013	\$418.80
119191014	\$418.80
119191017	\$418.80
119191018	\$418.80
119191019	\$418.80
119191020	\$418.80
119191021	\$418.80
119191022	\$418.80
119191023	\$418.80
119191024	\$418.80
119191025	\$418.80
119191026	\$418.80
119191028	\$418.80
119191029	\$418.80
119191030	\$418.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119191031	\$418.80
119191032	\$418.80
119191033	\$418.80
119191034	\$418.80
119191035	\$418.80
119191036	\$418.80
119191038	\$418.80
119191039	\$418.80
119191040	\$418.80
119191041	\$418.80
119191042	\$418.80
119191043	\$418.80
119191044	\$418.80
119191045	\$418.80
119191046	\$418.80
119191047	\$418.80
119191048	\$418.80
119191053	\$418.80
119191054	\$418.80
119191055	\$418.80
119191056	\$418.80
119191057	\$418.80
119191058	\$418.80
119191059	\$418.80
119191060	\$418.80
119191061	\$418.80
119191062	\$418.80
119191063	\$418.80
119192001	\$418.80
119192002	\$418.80
119192003	\$418.80
119192004	\$418.80
119192005	\$418.80
119192006	\$418.80
119192007	\$418.80
119192008	\$418.80
119192010	\$418.80
119192011	\$418.80
119192012	\$418.80
119192013	\$418.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119192014	\$418.80
119192015	\$418.80
119192016	\$418.80
119192017	\$418.80
119192018	\$418.80
119192019	\$418.80
119192020	\$418.80
119192022	\$418.80
119192023	\$418.80
119192024	\$418.80
119192025	\$418.80
119192026	\$418.80
119192027	\$418.80
119192028	\$418.80
119192029	\$418.80
119192030	\$418.80
119192031	\$418.80
119192032	\$418.80
119192033	\$418.80
119192035	\$418.80
119192036	\$418.80
119192037	\$418.80
119192038	\$418.80
119192039	\$418.80
119192040	\$418.80
119192041	\$418.80
119192042	\$418.80
119192043	\$418.80
119192044	\$418.80
119192045	\$418.80
119192046	\$418.80
119192047	\$418.80
119192049	\$418.80
119192050	\$418.80
119192051	\$418.80
119192052	\$418.80
119192053	\$418.80
119192054	\$418.80
119192055	\$418.80
119192056	\$418.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119192057	\$418.80
119192058	\$418.80
119192059	\$418.80
119192060	\$418.80
119192061	\$418.80
119192063	\$418.80
119192064	\$418.80
119192065	\$418.80
119192066	\$418.80
119192067	\$418.80
119192068	\$418.80
119192069	\$418.80
119192070	\$418.80
119193001	\$418.80
119193002	\$418.80
119193003	\$418.80
119193004	\$418.80
119193005	\$418.80
119193006	\$418.80
119193007	\$418.80
119193008	\$418.80
119193009	\$418.80
119193010	\$418.80
119193011	\$418.80
119193012	\$418.80
119193013	\$418.80
119193014	\$418.80
119193015	\$418.80
119193017	\$418.80
119193018	\$418.80
119193019	\$418.80
119193020	\$418.80
119193021	\$418.80
119193022	\$418.80
119193023	\$418.80
119193024	\$418.80
119193025	\$418.80
119193026	\$418.80
119193027	\$418.80
119193028	\$418.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119193029	\$418.80
120041001	\$603.64
120041002	\$603.64
120041003	\$603.64
120041004	\$603.64
120041005	\$603.64
120041006	\$603.64
120041007	\$603.64
120041008	\$603.64
120041009	\$603.64
120041010	\$603.64
120041011	\$603.64
120041012	\$603.64
120041013	\$603.64
120041014	\$603.64
120041015	\$603.64
120041016	\$603.64
120041017	\$603.64
120041018	\$603.64
120041019	\$603.64
120041020	\$603.64
120041021	\$603.64
120041022	\$603.64
120041023	\$603.64
120041024	\$603.64
120041025	\$603.64
120041026	\$603.64
120041027	\$603.64
120041028	\$603.64
120041029	\$603.64
120041030	\$603.64
120041031	\$603.64
120041032	\$603.64
120041033	\$603.64
120041034	\$603.64
120041035	\$603.64
120041036	\$603.64
120041037	\$603.64
120041038	\$603.64
120041039	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041040	\$603.64
120041041	\$603.64
120041042	\$603.64
120041043	\$603.64
120041044	\$603.64
120041045	\$603.64
120041046	\$603.64
120041047	\$603.64
120041048	\$603.64
120041049	\$603.64
120041050	\$603.64
120041051	\$603.64
120041052	\$603.64
120041053	\$603.64
120041054	\$603.64
120041055	\$603.64
120041056	\$603.64
120041057	\$603.64
120041058	\$603.64
120041059	\$603.64
120041060	\$603.64
120041061	\$603.64
120041062	\$603.64
120041063	\$603.64
120041064	\$603.64
120041065	\$603.64
120041066	\$603.64
120041067	\$603.64
120041068	\$603.64
120041069	\$603.64
120041070	\$603.64
120041071	\$603.64
120041072	\$603.64
120041073	\$603.64
120041074	\$603.64
120041075	\$603.64
120041076	\$603.64
120041077	\$603.64
120041078	\$603.64
120041079	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041080	\$603.64
120041081	\$603.64
120041082	\$603.64
120041083	\$603.64
120041084	\$603.64
120041085	\$603.64
120041086	\$603.64
120041087	\$603.64
120041088	\$603.64
120041089	\$603.64
120041090	\$603.64
120041091	\$603.64
120041092	\$603.64
277361001	\$603.64
277361002	\$603.64
277361003	\$603.64
277361004	\$603.64
277361005	\$603.64
277361006	\$603.64
277361007	\$603.64
277361008	\$603.64
277361010	\$603.64
277361011	\$603.64
277361012	\$603.64
277361013	\$603.64
277361014	\$603.64
277361016	\$603.64
277361017	\$603.64
277361018	\$603.64
277361020	\$603.64
277361021	\$603.64
277361022	\$603.64
277361023	\$603.64
277361024	\$603.64
277361025	\$603.64
277361026	\$603.64
277361027	\$603.64
277361028	\$603.64
277361029	\$603.64
277361030	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361031	\$603.64
277361032	\$603.64
277361033	\$603.64
277361034	\$603.64
277361036	\$603.64
277361037	\$603.64
277361038	\$603.64
277361039	\$603.64
277361040	\$603.64
277361041	\$603.64
277361043	\$603.64
277361044	\$603.64
277361045	\$603.64
277361046	\$603.64
277361047	\$603.64
277361048	\$603.64
277361049	\$603.64
277361051	\$603.64
277361052	\$603.64
277361053	\$603.64
277361054	\$603.64
277361055	\$603.64
277361057	\$603.64
277361058	\$603.64
277361060	\$603.64
277361061	\$603.64
277361062	\$603.64
277361063	\$603.64
277361065	\$603.64
277361066	\$603.64
277361067	\$603.64
277361068	\$603.64
277361069	\$603.64
277361071	\$603.64
277361072	\$603.64
277361073	\$603.64
277361074	\$603.64
277361075	\$603.64
277361076	\$603.64
277361077	\$603.64



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361078	\$603.64
277361080	\$603.64
277361081	\$603.64
277361082	\$603.64
277361083	\$603.64
277361084	\$603.64
277361085	\$603.64
277361086	\$603.64
277362001	\$603.64
277362002	\$603.64
277362003	\$603.64
277362004	\$603.64
277362005	\$603.64
277362006	\$603.64
277362007	\$603.64
277362008	\$603.64
277362009	\$603.64
277362010	\$603.64
277362011	\$603.64
277362012	\$603.64
277362016	\$603.64
277362017	\$603.64
277362018	\$603.64
277362019	\$603.64
277362020	\$603.64
277362021	\$603.64
277362022	\$603.64
277362023	\$603.64
277362025	\$603.64
277362026	\$603.64
277362027	\$603.64
277362028	\$603.64
277362029	\$603.64
277362030	\$603.64
277362031	\$603.64
277362032	\$603.64
277362034	\$603.64
277362035	\$603.64
277362036	\$603.64
277362037	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277362038	\$603.64
277362039	\$603.64
277362040	\$603.64
277362041	\$603.64
277362044	\$603.64
277362045	\$603.64
277362046	\$603.64
277362047	\$603.64
277362048	\$603.64
277362049	\$603.64
277362050	\$603.64
277362051	\$603.64
277362053	\$603.64
277362054	\$603.64
277362055	\$603.64
277362056	\$603.64
277362057	\$603.64
277362058	\$603.64
277362059	\$603.64
277362060	\$603.64
277362061	\$603.64
277362062	\$603.64
277362063	\$603.64
277362065	\$603.64
277362066	\$603.64
277362067	\$603.64
277362068	\$603.64
277362069	\$603.64
277362070	\$603.64
277362071	\$603.64
277362072	\$603.64
277362074	\$603.64
277362075	\$603.64
277362076	\$603.64
277362077	\$603.64
277362078	\$603.64
277362079	\$603.64
277362080	\$603.64
277362081	\$603.64
282790013	\$2,414.58

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282790014	\$4,829.16
282790016	\$1,810.94
282790017	\$1,207.28
282790023	\$3,621.88
282790024	\$3,621.88
282790025	\$3,621.88
282791001	\$603.64
282791002	\$603.64
282791003	\$603.64
282791005	\$603.64
282791006	\$603.64
282791007	\$603.64
282791009	\$603.64
282791010	\$603.64
282791011	\$603.64
282791012	\$603.64
282791013	\$603.64
282791014	\$603.64
282791016	\$603.64
282791017	\$603.64
282791018	\$603.64
282791019	\$603.64
282791020	\$603.64
282791021	\$603.64
282791023	\$603.64
282791024	\$603.64
282791025	\$603.64
282791026	\$603.64
282791027	\$603.64
282791028	\$603.64
282791030	\$603.64
282791031	\$603.64
282791032	\$603.64
282791033	\$603.64
282791034	\$603.64
282791035	\$603.64
282791037	\$603.64
282791038	\$603.64
282791039	\$603.64
282791041	\$603.64

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2016-1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282791042	\$603.64
282791043	\$603.64
282791046	\$603.64
282791047	\$603.64
282791048	\$603.64
282791050	\$603.64
282791051	\$603.64
282791052	\$603.64
282791055	\$603.64
282791056	\$603.64
282791057	\$603.64
282791058	\$603.64
282791059	\$603.64
282791062	\$603.64
282791063	\$603.64
282791064	\$603.64
282791065	\$603.64
282791070	\$603.64
282791071	\$603.64
282791072	\$603.64
282791073	\$603.64
282791074	\$603.64
282791076	\$603.64
282791077	\$603.64
282791078	\$603.64
282791079	\$603.64
282791080	\$603.64
282791086	\$603.64
282791087	\$603.64
282791088	\$603.64
282791089	\$603.64
282792001	\$603.64
282792002	\$603.64
282792003	\$603.64
282792004	\$603.64
282792005	\$603.64
282792006	\$603.64
282792007	\$603.64
282792009	\$603.64
282792010	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792011	\$603.64
282792012	\$603.64
282792014	\$603.64
282792015	\$603.64
282792016	\$603.64
282792017	\$603.64
282792019	\$603.64
282792020	\$603.64
282792021	\$603.64
282792022	\$603.64
282792023	\$603.64
282792024	\$603.64
282792025	\$603.64
282792026	\$603.64
282792028	\$603.64
282792029	\$603.64
282792030	\$603.64
282792031	\$603.64
282792032	\$603.64
282792033	\$603.64
282792034	\$603.64
282792035	\$603.64
282792036	\$603.64
282792037	\$603.64
282792038	\$603.64
282792039	\$603.64
282792040	\$603.64
282792041	\$603.64
282792042	\$603.64
282792044	\$603.64
282792045	\$603.64
282792046	\$603.64
282792047	\$603.64
282792048	\$603.64
282792049	\$603.64
282792051	\$603.64
282792052	\$603.64
282792053	\$603.64
282792054	\$603.64
282792055	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792056	\$603.64
282792058	\$603.64
282792059	\$603.64
282792060	\$603.64
282792061	\$603.64
282792062	\$603.64
282792063	\$603.64
282792064	\$603.64
282792065	\$603.64
282792066	\$603.64
282792067	\$603.64
282792068	\$603.64
282792069	\$603.64
282792070	\$603.64
282792071	\$603.64
282792073	\$603.64
282792074	\$603.64
282792075	\$603.64
282792076	\$603.64
282792077	\$603.64
282792080	\$603.64
282792081	\$603.64
282792082	\$603.64
282792083	\$603.64
282792084	\$603.64
282792087	\$603.64
282792088	\$603.64
282792089	\$603.64
282792090	\$603.64
282792091	\$603.64
282793001	\$603.64
282793002	\$603.64
282793003	\$603.64
282793004	\$603.64
282793005	\$603.64
282793006	\$603.64
282793007	\$603.64
282793008	\$603.64
282793010	\$603.64
282793011	\$603.64

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2016-1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282793012	\$603.64
282793013	\$603.64
282793014	\$603.64
282793015	\$603.64
282793016	\$603.64
282793017	\$603.64
282793019	\$603.64
282793020	\$603.64
282793021	\$603.64
282793022	\$603.64
282793023	\$603.64
282793024	\$603.64
282793025	\$603.64
282793026	\$603.64
282793028	\$603.64
282793029	\$603.64
282793030	\$603.64
282793031	\$603.64
282793032	\$603.64
282793033	\$603.64
282793034	\$603.64
282793035	\$603.64
282793037	\$603.64
282793038	\$603.64
282793039	\$603.64
282793040	\$603.64
282793041	\$603.64
282793042	\$603.64
282793043	\$603.64
282793044	\$603.64
282793046	\$603.64
282793047	\$603.64
282793048	\$603.64
282793049	\$603.64
282793050	\$603.64
282793051	\$603.64
282793052	\$603.64
282793053	\$603.64
282793055	\$603.64
282793056	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282793057	\$603.64
282793058	\$603.64
282793059	\$603.64
282793060	\$603.64
282793061	\$603.64
282793062	\$603.64
282793064	\$603.64
282793065	\$603.64
282793066	\$603.64
282793067	\$603.64
282793068	\$603.64
282793069	\$603.64
282793070	\$603.64
282793071	\$603.64
282793073	\$603.64
282793074	\$603.64
282793075	\$603.64
282793076	\$603.64
282793077	\$603.64
282793078	\$603.64
282793079	\$603.64
282793080	\$603.64
282793082	\$603.64
282793083	\$603.64
282793084	\$603.64
282793085	\$603.64
282793086	\$603.64
282793087	\$603.64
282793088	\$603.64
282793089	\$603.64
282794001	\$603.64
282794002	\$603.64
282794003	\$603.64
282794004	\$603.64
282794005	\$603.64
282794006	\$603.64
282794008	\$603.64
282794009	\$603.64
282794010	\$603.64
282794011	\$603.64



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282794012	\$603.64
282794013	\$603.64
282794015	\$603.64
282794016	\$603.64
282794017	\$603.64
282794018	\$603.64
282794019	\$603.64
282794020	\$603.64
282794022	\$603.64
282794023	\$603.64
282794024	\$603.64
282794025	\$603.64
282794026	\$603.64
282794027	\$603.64
282794029	\$603.64
282794030	\$603.64
282794031	\$603.64
282794032	\$603.64
282794033	\$603.64
282794034	\$603.64
282794036	\$603.64
282794037	\$603.64
282794038	\$603.64
282794039	\$603.64
282794040	\$603.64
282794041	\$603.64
282795001	\$603.64
282795004	\$603.64
282795005	\$603.64
282795006	\$603.64
282795007	\$603.64
282795008	\$603.64
282795010	\$603.64
282795011	\$603.64
282795013	\$603.64
282795014	\$603.64
282795016	\$603.64
282795017	\$603.64
282795018	\$603.64
282795020	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282795021	\$603.64
282795022	\$603.64
282795023	\$603.64
282795024	\$603.64
282795027	\$603.64
282795028	\$603.64
282795029	\$603.64
282795030	\$603.64
282795031	\$603.64
282795034	\$603.64
282795035	\$603.64
282795036	\$603.64
282795037	\$603.64
282795038	\$603.64
282795039	\$603.64
282795041	\$603.64
282795042	\$603.64
282795043	\$603.64
282795044	\$603.64
282795046	\$603.64
282795047	\$603.64
282795048	\$603.64
282795049	\$603.64
282795052	\$603.64
282795053	\$603.64
282795054	\$603.64
282795056	\$603.64
282795057	\$603.64
282795059	\$603.64
282795060	\$603.64
282795061	\$603.64
282795062	\$603.64
282795066	\$603.64
282795067	\$603.64
282795068	\$603.64
282795069	\$603.64
282795071	\$603.64
282795072	\$603.64
282795073	\$603.64
282795074	\$603.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282796001	\$603.64
282796002	\$603.64
282796003	\$603.64
282796004	\$603.64
282796005	\$603.64
282796006	\$603.64
282796007	\$603.64
282796008	\$603.64
282796010	\$603.64
282796011	\$603.64
282796012	\$603.64
282796013	\$603.64
282796014	\$603.64
282796015	\$603.64
282796017	\$603.64
282796018	\$603.64
282796019	\$603.64
282796020	\$603.64
282796021	\$603.64
282796022	\$603.64
282811001	\$603.64
282811002	\$603.64
282811003	\$603.64
282811004	\$603.64
282811006	\$603.64
282811007	\$603.64
282811008	\$603.64
282811009	\$603.64
282811010	\$603.64
282811011	\$603.64
<b>Total</b>	<b>\$576,511.54</b>



Staff Report

---

**File #:** 21-0653

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Resolutions levying special taxes to be collected during Fiscal Year 2022 for several bonded Community Facilities Districts.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolutions will allow the City to levy and collect Fiscal Year 2022 special taxes.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Adopt Resolution No. 2021-066, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2000-1 (Eagle Glen II), 2020 Special Tax Refunding Bond, and the administrative expenses with respect to the bond.
- b. Adopt Resolution No. 2021-067, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 (Cresta-Grande), 2020 Special Tax Refunding Bond (Improvement Area No. 1), and the administrative expenses with respect to the bond.
- c. Adopt Resolution No. 2021-068, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 (Cresta-Grande), 2020 Special Tax Refunding Bond (Improvement Area No. 2), and the administrative expenses with respect to the bond.
- d. Adopt Resolution No. 2021-069, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities

District No. 2002-1 (Dos Lagos), 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.

- e. Adopt Resolution No. 2021-070, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-1 (Dos Lagos), Improvement Area 1, 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.
- f. Adopt Resolution No. 2021-071, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-4 (Corona Crossings), 2017 Special Tax Refunding Bonds, and the administrative expenses with respect to the bonds.
- g. Adopt Resolution No. 2021-072, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2003-2 (Highlands Collection) 2020 Special Tax Refunding Bond, and the administrative expenses with respect to the bond.
- h. Adopt Resolution No. 2021-073, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2004-1 (Buchanan Street) 2020 Special Tax Refunding Bond, and the administrative expenses with respect to the bond.
- i. Adopt Resolution No. 2021-074, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2016-2 (Terrassa), 2018 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- j. Adopt Resolution No. 2021-075, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2017-2 (Valencia/Seville), 2018 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- k. Adopt Resolution No. 2021-076, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2018-1 (Bedford) Improvement Area No 1, 2018 Special Tax Bonds and 2020 Special Tax Bonds, Special Tax A, and the administrative expenses with respect to the bonds.
- l. Adopt Resolution No. 2021-077, levying special taxes to be collected during Fiscal Year 2022 for the payment of administrative expenses incurred in connection with the levy and collection of special taxes, the establishment of the reserve fund, and the collection and accumulation of funds for the acquisition or construction of certain public facilities within Community Facilities

**District No. 2018-2 (Sierra Bella), Special Tax A.****BACKGROUND & HISTORY:**

Pursuant to the Mello-Roos Community Facilities Act of 1982, the Community Facilities Districts (the "Districts") listed under the Recommended Action section were formed to finance the construction and acquisition of public improvements and facilities within the Districts.

**ANALYSIS:**

The City has covenanted for the benefit of the owners of the bonds to fix and levy the amount of special taxes within the Districts required for the payment of the principal and interest on the bonds becoming due and payable during the ensuing year. Any necessary replenishment or expenditure of the Reserve Funds and any amount estimated to be sufficient to pay administrative expenses during the year are also included in the levy. The special taxes levied will not exceed the authorized amounts as provided in the Rate and Method of Apportionments (the "RMA") for the Districts.

A summary of the special tax levy for the Districts is shown below:

CFD No.	Resolution No.	Final Bond Year	No. of Parcels	FY 2022 Levy	% of Assigned Tax	YOY % Change in Levy Rate
CFD No. 2000-1	2021-066	2031	359	\$ 423,772	61.56%	-3.87%
CFD No. 2001-2 IA1	2021-067	2032	72	\$ 154,766	66.38%	0.00%
CFD No. 2001-2 IA2	2021-068	2032	41	\$ 76,150	69.58%	-2.61%
CFD No. 2002-1	2021-069	2034	470	\$ 1,175,145	45.12%	0.01%
CFD No. 2002-1 IA1	2021-070	2037	10	\$ 535,061	65.07%	-0.19%
CFD No. 2002-4	2021-071	2034	26	\$ 598,325	78.19%	-1.07%
CFD No. 2003-2	2021-072	2034	317	\$ 449,540	42.09%	-2.09%
CFD No. 2004-1	2021-073	2036	64	\$ 202,455	66.65%	0.44%
CFD No. 2016-2 Tax A	2021-074	2048	146	\$ 357,222	92.54%	-0.70%
CFD No. 2017-2 Tax A	2021-075	2048	92	\$ 276,850	100.00%	0.00%
CFD No. 2018-1 IA1 Tax A	2021-076	2048	353	\$ 1,099,450	100.00%	2.00%
CFD No. 2018-2 Tax A	2021-077	N/A	101	\$ 504,896	100.00%	0.00%

As shown in "YOY % Change in Levy Rate" column, the proposed levy rates in Fiscal Year 2022 for the Districts either decrease or are the same as Fiscal Year 2021, except CFD No. 2018-1 IA 1 will have a 2% increase as defined in the bond covenant.

The Assigned Tax rates in the RMA, which were set at the District's formation, are the maximum allowable assessment rates for each property category in the Districts. Each District's number represents the year and order it was established. Through the years, the City has been able to find refinancing opportunities for almost all of the Districts, which has allowed for the tax rates to be reduced and the savings passed on to the property owners. Therefore, most of these Districts are being levied at much less than 100% of the Assigned Tax Rates. The newer Districts will continue to be levied at the full Assigned Tax rate until they are fully developed and there are sufficient reserves available to cover any potential delinquencies.

**FINANCIAL IMPACT:**

The special tax revenues and related debt service and administration expenditures are included in the Districts' Fiscal Year 2022 budgets. Expenditures in FY 2022 are being recovered in full.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely sets the special taxes to be levied and collected within the Districts for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

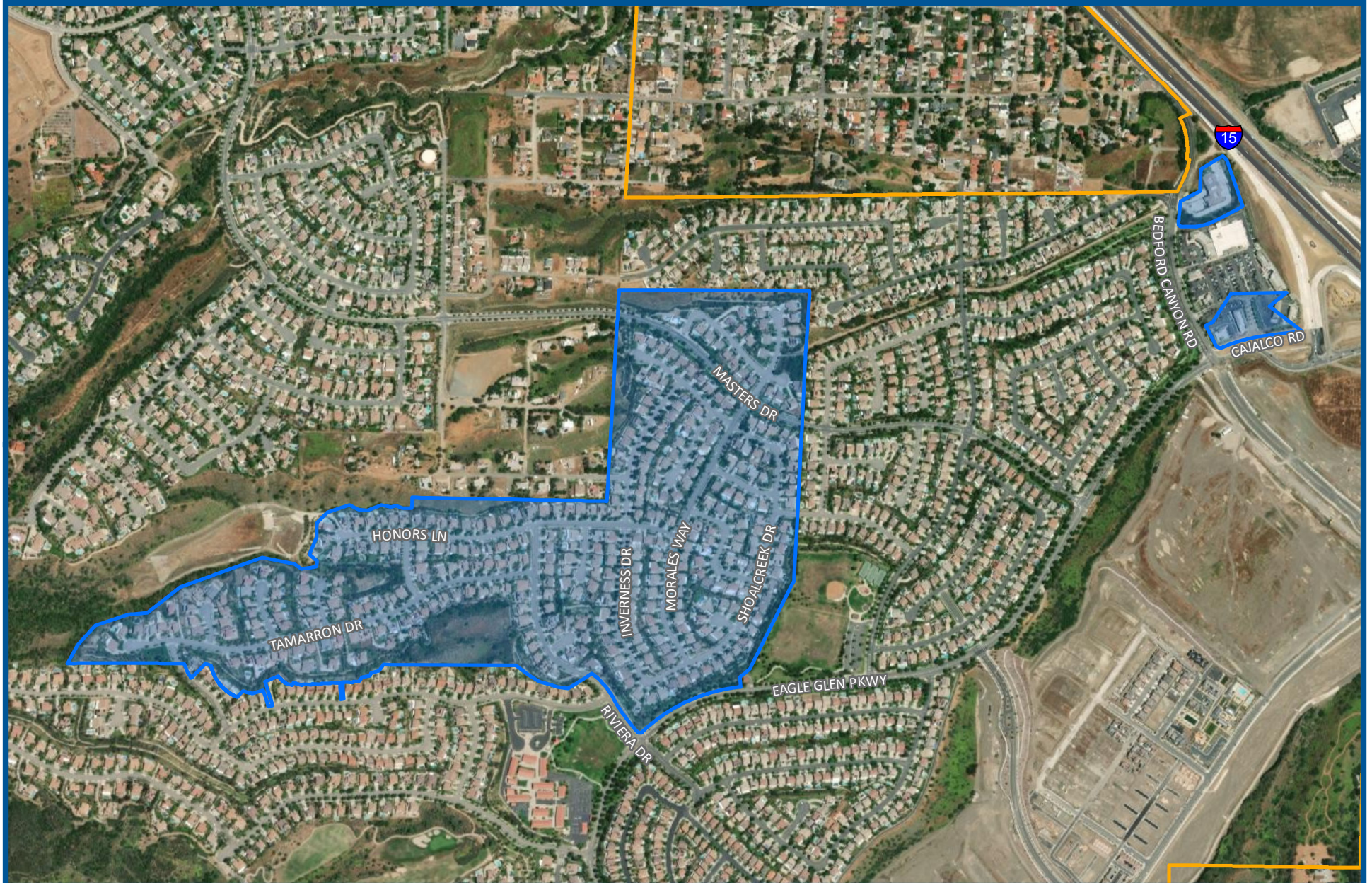
**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Boundary Map for Resolution No. 2021-066
2. Exhibit 2 - Resolution No. 2021-066
3. Exhibit 3 - Boundary Map for Resolution No. 2021-067
4. Exhibit 4 - Resolution No. 2021-067
5. Exhibit 5 - Boundary Map for Resolution No. 2021-068
6. Exhibit 6 - Resolution No. 2021-068
7. Exhibit 7 - Boundary Map for Resolution No. 2021-069
8. Exhibit 8 - Resolution No. 2021-069
9. Exhibit 9 - Boundary Map for Resolution No. 2021-070
10. Exhibit 10 - Resolution No. 2021-070
11. Exhibit 11 - Boundary Map for Resolution No. 2021-071
12. Exhibit 12 - Resolution No. 2021-071
13. Exhibit 13 - Boundary Map for Resolution No. 2021-072
14. Exhibit 14 - Resolution No. 2021-072
15. Exhibit 15 - Boundary Map for Resolution No. 2021-073
16. Exhibit 16 - Resolution No. 2021-073
17. Exhibit 17 - Boundary Map for Resolution No. 2021-074
18. Exhibit 18 - Resolution No. 2021-074
19. Exhibit 19 - Boundary Map for Resolution No. 2021-075
20. Exhibit 20 - Resolution No. 2021-075
21. Exhibit 21 - Boundary Map for Resolution No. 2021-076
22. Exhibit 22 - Resolution No. 2021-076
23. Exhibit 23 - Boundary Map for Resolution No. 2021-077
24. Exhibit 24 - Resolution No. 2021-077





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2000-1



**RESOLUTION NO. 2021-066**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 2000-1 (EAGLE GLEN II) 2020 SPECIAL TAX REFUNDING BOND, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2000-1 (Eagle Glen II) 2020 Special Tax Refunding Bond (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-057 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279180019	\$2,038.20
279180030	\$10,426.26
279180032	\$8,544.82
279180033	\$4,625.18
279371002	\$1,004.68
279371003	\$1,004.68
279371004	\$1,004.68
279371005	\$1,004.68
279371006	\$1,004.68
279371007	\$1,004.68
279371008	\$1,004.68
279371009	\$1,004.68
279371010	\$1,004.68
279371011	\$1,004.68
279371012	\$1,004.68
279371013	\$1,004.68
279371014	\$1,004.68
279371015	\$1,004.68
279371016	\$1,004.68
279371017	\$1,004.68
279371018	\$1,004.68
279371019	\$1,004.68
279371020	\$1,004.68
279371021	\$1,004.68
279371022	\$1,004.68
279371023	\$1,004.68
279371024	\$1,004.68
279371025	\$1,004.68
279371026	\$1,004.68
279371027	\$1,004.68
279371028	\$1,004.68
279371029	\$1,004.68
279371030	\$1,004.68
279371031	\$1,004.68
279371032	\$1,004.68
279371033	\$1,004.68
279371034	\$1,004.68
279371035	\$1,004.68
279371036	\$1,004.68
279371037	\$1,004.68
279371038	\$1,004.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279371039	\$1,004.68
279371040	\$1,004.68
279371041	\$1,004.68
279371042	\$1,004.68
279371043	\$1,004.68
279371047	\$1,004.68
279372001	\$1,004.68
279372002	\$1,004.68
279372003	\$1,004.68
279372004	\$1,004.68
279372005	\$1,004.68
279372006	\$1,004.68
279372007	\$1,004.68
279372008	\$1,004.68
279372009	\$1,004.68
279372010	\$1,004.68
279372011	\$1,004.68
279372012	\$1,004.68
279372013	\$1,004.68
279372014	\$1,004.68
279372015	\$1,004.68
279372016	\$1,004.68
279372017	\$1,004.68
279372018	\$1,004.68
279372019	\$1,004.68
279372020	\$1,004.68
279372021	\$1,004.68
279372022	\$1,004.68
279372023	\$1,004.68
279372024	\$1,004.68
279381001	\$1,004.68
279381002	\$1,004.68
279381003	\$1,004.68
279381004	\$1,004.68
279381005	\$1,004.68
279381006	\$1,004.68
279381007	\$1,004.68
279381008	\$1,004.68
279381009	\$1,004.68
279381010	\$1,004.68
279381011	\$1,004.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279381012	\$1,004.68
279381013	\$1,004.68
279381014	\$1,004.68
279381015	\$1,004.68
279381016	\$1,004.68
279381017	\$1,004.68
279382001	\$1,004.68
279382002	\$1,004.68
279382003	\$1,004.68
279382004	\$1,004.68
279382005	\$1,004.68
279382006	\$1,004.68
279382007	\$1,004.68
279382008	\$1,004.68
279382009	\$1,004.68
279382010	\$1,004.68
279382011	\$1,004.68
279382012	\$1,004.68
279382013	\$1,004.68
279383001	\$1,004.68
279383002	\$1,004.68
279383003	\$1,004.68
279383004	\$1,004.68
279383005	\$1,004.68
279383006	\$1,004.68
279383007	\$1,004.68
279383008	\$1,004.68
279383009	\$1,004.68
279383010	\$1,004.68
279383011	\$1,004.68
279383012	\$1,004.68
279383013	\$1,004.68
279383014	\$1,004.68
279383015	\$1,004.68
279383016	\$1,004.68
279383017	\$1,004.68
279383018	\$1,004.68
279383019	\$1,004.68
279383020	\$1,004.68
279383021	\$1,004.68
279383022	\$1,004.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279383023	\$1,004.68
279383024	\$1,004.68
279383025	\$1,004.68
279383026	\$1,004.68
279383027	\$1,004.68
279391001	\$1,004.68
279391002	\$1,004.68
279391003	\$1,004.68
279391004	\$1,004.68
279391005	\$1,004.68
279392001	\$1,004.68
279392002	\$1,004.68
279392003	\$1,004.68
279392004	\$1,004.68
279392005	\$1,004.68
279392006	\$1,004.68
279392007	\$1,004.68
279392008	\$1,004.68
279393001	\$1,004.68
279393002	\$1,004.68
279393003	\$1,004.68
279393004	\$1,004.68
279393005	\$1,004.68
279393006	\$1,004.68
279393007	\$1,004.68
279393008	\$1,004.68
279393009	\$1,004.68
279393010	\$1,004.68
279401001	\$1,428.22
279401002	\$1,428.22
279401003	\$1,428.22
279401004	\$1,428.22
279401005	\$1,428.22
279401006	\$1,428.22
279401007	\$1,428.22
279401008	\$1,428.22
279401009	\$1,428.22
279401010	\$1,428.22
279401011	\$1,428.22
279401012	\$1,428.22
279401013	\$1,428.22

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279401014	\$1,428.22
279401015	\$1,428.22
279401016	\$1,428.22
279401017	\$1,428.22
279402001	\$1,428.22
279402002	\$1,428.22
279402003	\$1,428.22
279402004	\$1,428.22
279402005	\$1,428.22
279402006	\$1,428.22
279402007	\$1,428.22
279411001	\$1,004.68
279411002	\$1,004.68
279411003	\$1,004.68
279411004	\$1,004.68
279411005	\$1,004.68
279411006	\$1,004.68
279411007	\$1,004.68
279411008	\$1,004.68
279411009	\$1,004.68
279411010	\$1,004.68
279411011	\$1,004.68
279411012	\$1,004.68
279411013	\$1,004.68
279411014	\$1,004.68
279411015	\$1,004.68
279411016	\$1,004.68
279411017	\$1,004.68
279411018	\$1,004.68
279411019	\$1,004.68
279411020	\$1,004.68
279411021	\$1,004.68
279411022	\$1,004.68
279411023	\$1,004.68
279411024	\$1,004.68
279411025	\$1,004.68
279411026	\$1,004.68
279411027	\$1,004.68
279411028	\$1,004.68
279411029	\$1,004.68
279411030	\$1,004.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279412001	\$1,004.68
279412002	\$1,004.68
279412003	\$1,004.68
279412004	\$1,004.68
279412005	\$1,004.68
279412006	\$1,004.68
279412007	\$1,004.68
279412008	\$1,004.68
279412009	\$1,004.68
279412010	\$1,004.68
279412011	\$1,004.68
279412012	\$1,004.68
279412013	\$1,004.68
279412014	\$1,004.68
279412015	\$1,004.68
279412016	\$1,004.68
279412017	\$1,004.68
279412018	\$1,004.68
279412019	\$1,004.68
279412020	\$1,004.68
279412021	\$1,004.68
279413001	\$1,004.68
279413002	\$1,004.68
279413003	\$1,004.68
279413004	\$1,004.68
279413005	\$1,004.68
279421001	\$1,004.68
279421002	\$1,004.68
279421003	\$1,004.68
279421004	\$1,004.68
279421005	\$1,004.68
279421006	\$1,004.68
279421007	\$1,004.68
279421008	\$1,004.68
279421009	\$1,004.68
279421010	\$1,004.68
279421011	\$1,004.68
279421012	\$1,004.68
279421013	\$1,004.68
279421014	\$1,004.68
279422001	\$1,004.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279422002	\$1,004.68
279422003	\$1,004.68
279422004	\$1,004.68
279422005	\$1,004.68
279422006	\$1,004.68
279422007	\$1,004.68
279422008	\$1,004.68
279422009	\$1,004.68
279422010	\$1,004.68
279422011	\$1,004.68
279422012	\$1,004.68
279422013	\$1,004.68
279431001	\$1,004.68
279431002	\$1,004.68
279431003	\$1,004.68
279431004	\$1,004.68
279431005	\$1,004.68
279431006	\$1,004.68
279431007	\$1,004.68
279431008	\$1,004.68
279431009	\$1,004.68
279431010	\$1,004.68
279431011	\$1,004.68
279431012	\$1,004.68
279431013	\$1,004.68
279431014	\$1,004.68
279431016	\$1,004.68
279431017	\$1,004.68
279432001	\$1,004.68
279432003	\$1,004.68
279432004	\$1,004.68
279432005	\$1,004.68
279432006	\$1,004.68
279432007	\$1,004.68
279432008	\$1,004.68
279440001	\$1,004.68
279440002	\$1,004.68
279440003	\$1,004.68
279440004	\$1,004.68
279440005	\$1,004.68
279440006	\$1,004.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

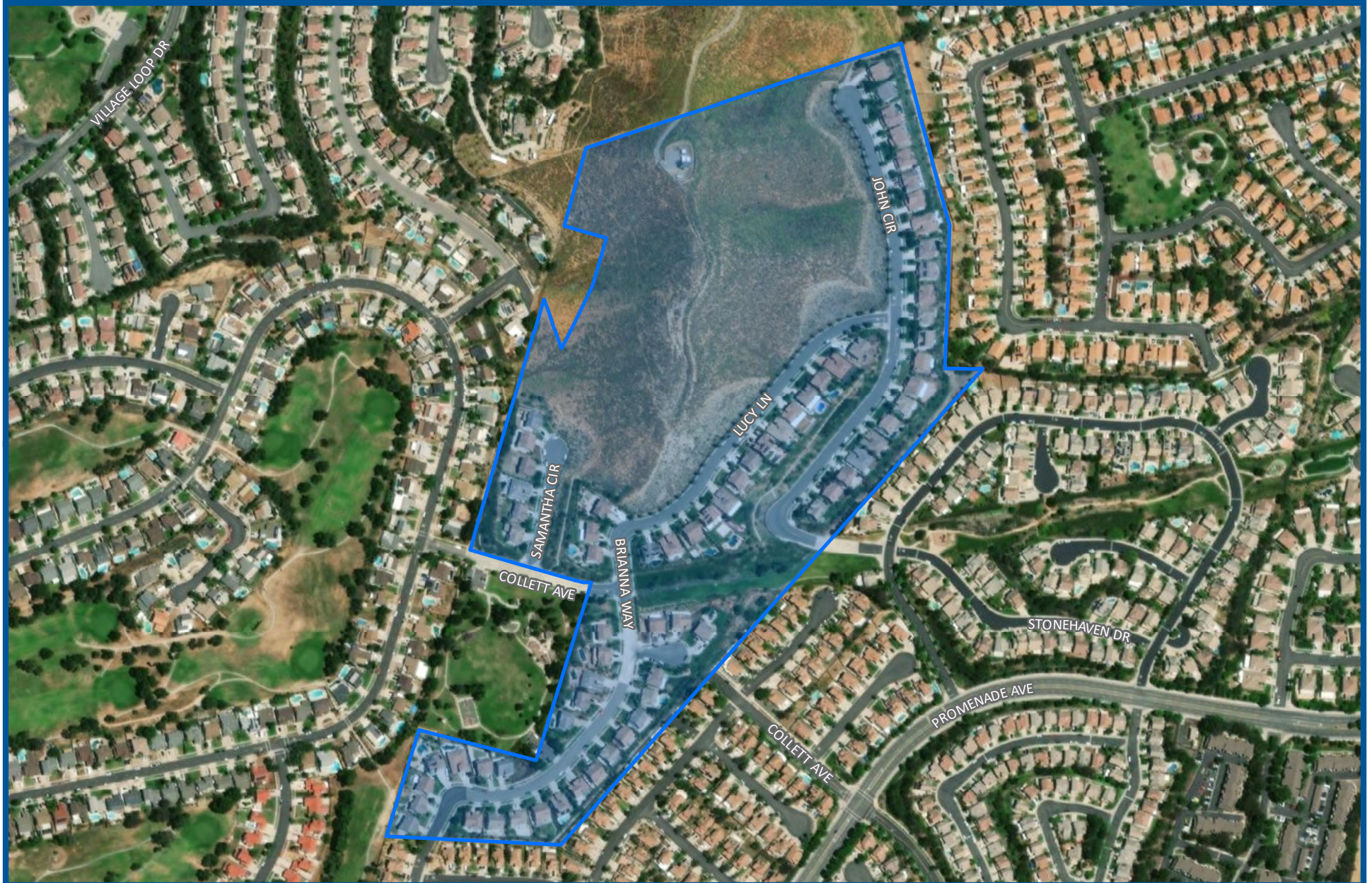
<b>APN</b>	<b>PRELIMINARY LEVY</b>
279440007	\$1,004.68
279440008	\$1,004.68
279440009	\$1,004.68
279440010	\$1,004.68
279440011	\$1,004.68
279440012	\$1,004.68
279440013	\$1,004.68
279440014	\$1,004.68
279440015	\$1,004.68
279440016	\$1,004.68
279440017	\$1,004.68
279440018	\$1,004.68
279440025	\$1,004.68
279440026	\$1,004.68
282591001	\$1,537.72
282591002	\$1,537.72
282591003	\$1,537.72
282591004	\$1,537.72
282591005	\$1,537.72
282591006	\$1,537.72
282591007	\$1,537.72
282591008	\$1,537.72
282591009	\$1,537.72
282591010	\$1,537.72
282591011	\$1,537.72
282591012	\$1,537.72
282591013	\$1,537.72
282591014	\$1,537.72
282591015	\$1,537.72
282591016	\$1,537.72
282591017	\$1,537.72
282591018	\$1,537.72
282591019	\$1,537.72
282591020	\$1,537.72
282591021	\$1,537.72
282591022	\$1,537.72
282591023	\$1,537.72
282591024	\$1,537.72
282592001	\$1,537.72
282592002	\$1,537.72
282592003	\$1,537.72

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 EAGLE GLEN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282592004	\$1,537.72
282592005	\$1,537.72
282592007	\$1,537.72
282592008	\$1,537.72
282592009	\$1,537.72
282592010	\$1,537.72
282592011	\$1,537.72
282592012	\$1,537.72
282592013	\$1,537.72
282592014	\$1,537.72
282592015	\$1,537.72
282592016	\$1,537.72
282592017	\$1,537.72
282592018	\$1,537.72
282601001	\$1,537.72
282601002	\$1,537.72
282601003	\$1,537.72
282601004	\$1,537.72
282601005	\$1,537.72
282601006	\$1,537.72
282601007	\$1,537.72
282601008	\$1,537.72
282601009	\$1,537.72
282601010	\$1,537.72
282601011	\$1,537.72
282601012	\$1,537.72
282601013	\$1,537.72
282601015	\$1,537.72
282601016	\$1,537.72
282601017	\$1,537.72
282602002	\$1,932.72
<b>Total</b>	<b>\$423,772.14</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2001-2  
IMPROVEMENT AREA 1



**RESOLUTION NO. 2021-067**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 2001-2 IMPROVEMENT AREA NO. 1 (CRESTA-GRANDE) 2020 SPECIAL TAX REFUNDING BOND, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 Improvement Area No. 1 (Cresta-Grande) 2020 Special Tax Refunding Bond (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-058 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A"**

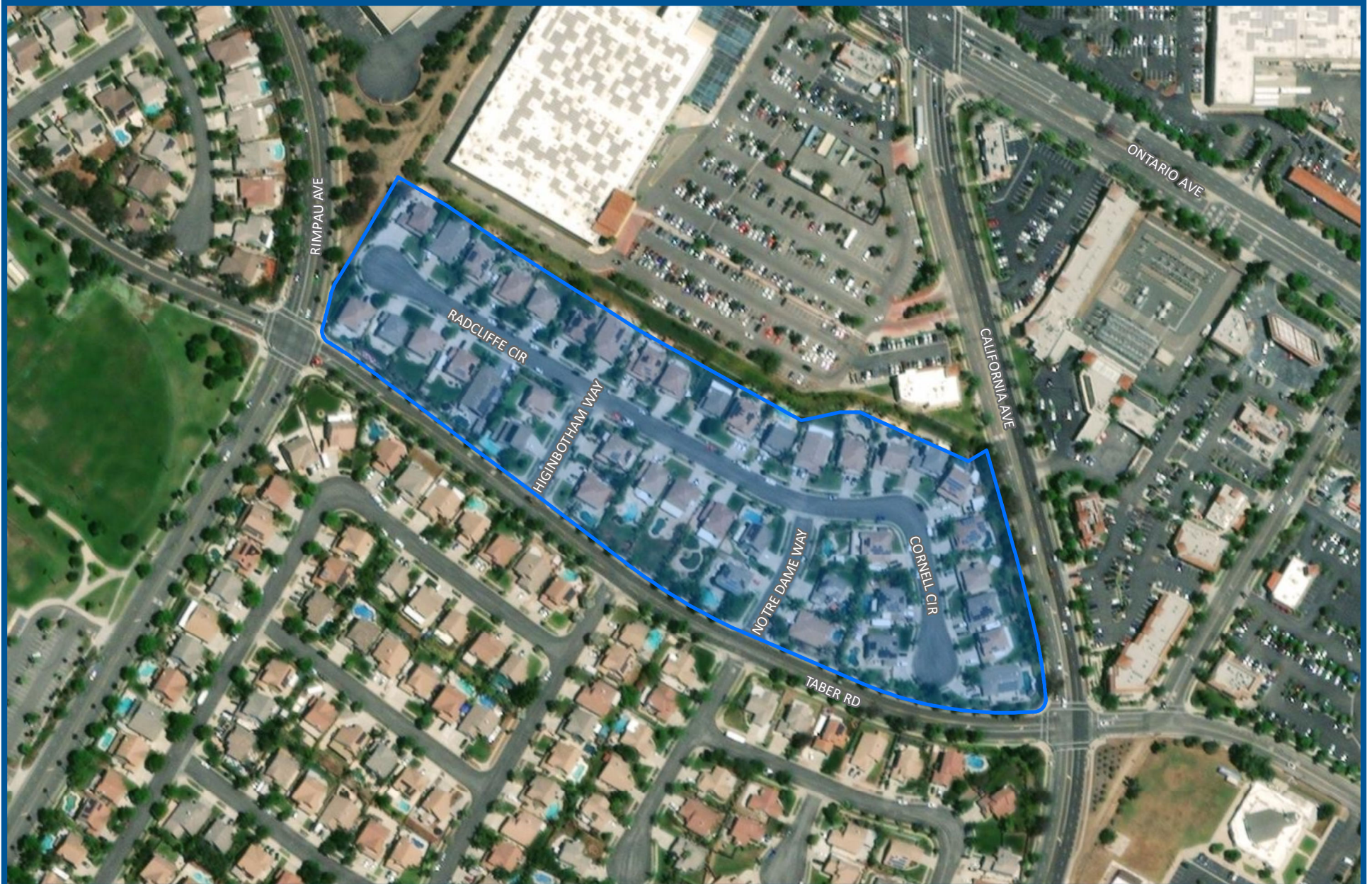
**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-2 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
115630001	\$2,222.40
115630002	\$2,222.40
115630003	\$2,222.40
115630004	\$2,181.24
115630005	\$2,222.40
115630006	\$2,222.40
115630007	\$2,060.44
115630008	\$1,934.32
115630009	\$2,222.40
115630010	\$2,222.40
115630011	\$2,222.40
115630012	\$2,222.40
115630013	\$2,222.40
115630014	\$2,222.40
115630015	\$2,181.24
115630016	\$2,222.40
115630017	\$2,222.40
115630018	\$1,934.32
115630019	\$1,934.32
115630020	\$2,181.24
115630021	\$2,181.24
115630022	\$2,222.40
115640001	\$2,222.40
115640002	\$1,934.32
115640003	\$1,934.32
115640004	\$2,222.40
115640005	\$2,222.40
115640006	\$1,934.32
115640007	\$2,222.40
115640008	\$2,222.40
115640009	\$2,222.40
115640010	\$1,934.32
115640011	\$2,222.40
115640012	\$2,222.40
115640013	\$1,934.32
115640014	\$2,060.44
115641001	\$2,060.44
115641002	\$2,222.40
115641003	\$2,181.24
115641004	\$1,934.32
115641005	\$2,181.24

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-2 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
115641006	\$2,222.40
115642001	\$2,222.40
115642002	\$2,222.40
115642003	\$2,222.40
115650001	\$2,222.40
115650002	\$2,181.24
115650003	\$2,181.24
115650004	\$2,222.40
115650005	\$1,934.32
115650006	\$2,060.44
115650007	\$2,060.44
115650008	\$2,222.40
115650009	\$2,181.24
115650010	\$1,934.32
115650011	\$2,222.40
115650012	\$2,181.24
115651001	\$2,060.44
115651002	\$2,222.40
115651003	\$2,222.40
115651004	\$2,222.40
115651005	\$2,060.44
115651006	\$2,181.24
115651007	\$2,222.40
115651008	\$2,181.24
115651009	\$2,222.40
115651010	\$2,222.40
115651011	\$1,934.32
115651012	\$2,222.40
115651013	\$2,222.40
115651014	\$2,222.40
115651015	\$2,060.44
<b>Total</b>	<b>\$154,766.24</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2001-2  
IMPROVEMENT AREA 2



**RESOLUTION NO. 2021-068**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 2001-2 IMPROVEMENT AREA NO. 2 (CRESTA-GRANDE) 2020 SPECIAL TAX REFUNDING BOND, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2001-2 Improvement Area No. 1 (Cresta-Grande) 2020 Special Tax Refunding Bonds (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-059 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-2 IA 2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120491001	\$1,700.40
120491002	\$1,587.70
120491003	\$2,017.68
120491004	\$2,017.68
120491005	\$1,915.40
120491006	\$2,017.68
120491007	\$1,587.70
120491008	\$2,017.68
120491009	\$1,915.40
120491010	\$1,700.40
120491011	\$2,017.68
120491012	\$1,763.02
120491013	\$1,587.70
120491014	\$2,017.68
120491015	\$1,763.02
120491016	\$1,700.40
120491017	\$1,763.02
120491018	\$2,017.68
120491019	\$1,700.40
120491020	\$2,017.68
120491021	\$1,915.40
120491022	\$1,587.70
120491023	\$2,017.68
120491024	\$1,915.40
120491025	\$2,017.68
120491026	\$1,700.40
120491027	\$1,587.70
120491028	\$1,700.40
120491029	\$1,763.02
120491030	\$1,587.70
120491031	\$1,915.40
120491032	\$1,915.40
120491033	\$1,915.40
120491034	\$2,017.68
120492001	\$2,017.68
120492002	\$1,763.02
120492003	\$2,017.68
120492004	\$1,915.40
120492005	\$2,017.68
120492006	\$2,017.68
120492007	\$2,017.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-2 IA 2  
FISCAL YEAR 2021-22**

	<b>APN</b>	<b>PRELIMINARY LEVY</b>
<b>Total</b>		<b>\$76,149.78</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2002-1

**RESOLUTION NO. 2021-069**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2002-1 (DOS LAGOS) 2017 SPECIAL TAX REFUNDING BONDS, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-1 (Dos Lagos) 2017 Special Tax Refunding Bonds (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-060 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are

collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279450023	\$3,914.10
279450034	\$151,154.08
279460064	\$50,752.78
279460076	\$56,864.92
279470028	\$179,219.56
279481001	\$1,655.14
279481002	\$1,509.84
279481003	\$1,459.30
279481004	\$1,509.84
279481005	\$1,655.14
279481006	\$1,509.84
279481007	\$1,459.30
279481008	\$1,509.84
279481010	\$1,459.30
279481011	\$1,509.84
279481012	\$1,459.30
279481013	\$1,509.84
279481014	\$1,655.14
279481015	\$1,509.84
279481017	\$1,655.14
279481018	\$1,509.84
279481019	\$1,459.30
279481020	\$1,509.84
279481021	\$1,655.14
279481022	\$1,509.84
279481023	\$1,459.30
279481024	\$1,509.84
279481025	\$1,509.84
279481026	\$1,459.30
279481027	\$1,655.14
279481028	\$1,509.84
279481030	\$1,509.84
279481031	\$1,655.14
279481032	\$1,509.84
279481033	\$1,459.30
279481034	\$1,509.84
279481035	\$1,655.14
279481036	\$1,509.84
279481037	\$1,459.30
279481039	\$1,509.84
279481040	\$1,655.14

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279481041	\$1,509.84
279481042	\$1,459.30
279481043	\$1,509.84
279481044	\$1,655.14
279481045	\$1,509.84
279481046	\$1,459.30
279481048	\$1,509.84
279481049	\$1,655.14
279481050	\$1,509.84
279481051	\$1,459.30
279481052	\$1,509.84
279481053	\$1,655.14
279481054	\$1,509.84
279481055	\$1,459.30
279481057	\$1,459.30
279481058	\$1,509.84
279481059	\$1,655.14
279481060	\$1,509.84
279481061	\$1,509.84
279481062	\$1,655.14
279481063	\$1,509.84
279481064	\$1,459.30
279481066	\$1,459.30
279481067	\$1,509.84
279481068	\$1,655.14
279481069	\$1,509.84
279481070	\$1,459.30
279481071	\$1,509.84
279481072	\$1,655.14
279481073	\$1,509.84
279481074	\$1,459.30
279481075	\$1,509.84
279481076	\$1,655.14
279481077	\$1,509.84
279481078	\$1,459.30
279481079	\$1,509.84
279481080	\$1,655.14
279481081	\$1,459.30
279482001	\$2,261.60
279482002	\$2,015.24
279482003	\$2,261.60



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279482004	\$2,261.60
279482005	\$2,015.24
279482006	\$2,261.60
279482007	\$2,261.60
279482008	\$2,015.24
279482009	\$2,261.60
279482011	\$2,261.60
279482012	\$2,015.24
279482013	\$2,261.60
279482014	\$2,261.60
279482015	\$2,015.24
279482016	\$2,261.60
279482017	\$2,261.60
279482018	\$2,015.24
279482019	\$2,261.60
279482021	\$2,261.60
279482022	\$2,015.24
279482023	\$2,261.60
279482024	\$2,261.60
279482025	\$2,015.24
279482026	\$2,261.60
279482028	\$2,015.24
279482029	\$2,261.60
279482030	\$2,015.24
279482031	\$2,261.60
279482032	\$2,261.60
279482033	\$2,015.24
279482034	\$2,261.60
279482036	\$1,459.30
279482037	\$1,509.84
279482038	\$1,655.14
279482039	\$1,509.84
279482040	\$1,459.30
279482041	\$1,509.84
279482042	\$1,655.14
279482043	\$1,509.84
279482044	\$1,459.30
279482045	\$1,509.84
279482046	\$1,655.14
279482047	\$1,509.84
279482048	\$1,459.30

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279482049	\$1,509.84
279482050	\$1,655.14
279482052	\$2,261.60
279482053	\$2,015.24
279482054	\$2,261.60
279482055	\$2,261.60
279482056	\$2,015.24
279482057	\$2,261.60
279482058	\$2,015.24
279482059	\$2,261.60
279482061	\$2,261.60
279482062	\$2,015.24
279482063	\$2,261.60
279482065	\$2,261.60
279482066	\$2,015.24
279482067	\$2,261.60
279482069	\$2,015.24
279482070	\$2,261.60
279482071	\$2,261.60
279482073	\$1,655.14
279482074	\$1,459.30
279482075	\$1,459.30
279482076	\$1,509.84
279482077	\$1,509.84
279482078	\$1,509.84
279482079	\$1,655.14
279482080	\$1,509.84
279482081	\$1,459.30
279482082	\$1,509.84
279483001	\$682.26
279483002	\$555.92
279483003	\$682.26
279483004	\$625.40
279483005	\$625.40
279483006	\$555.92
279483007	\$682.26
279483008	\$701.22
279483010	\$682.26
279483011	\$555.92
279483012	\$682.26
279483013	\$625.40



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279483014	\$625.40
279483015	\$555.92
279483016	\$682.26
279483017	\$701.22
279483019	\$682.26
279483020	\$555.92
279483021	\$682.26
279483022	\$625.40
279483023	\$625.40
279483024	\$555.92
279483025	\$682.26
279483026	\$701.22
279483028	\$682.26
279483029	\$555.92
279483030	\$682.26
279483031	\$625.40
279483032	\$625.40
279483033	\$555.92
279483034	\$682.26
279483035	\$701.22
279483037	\$682.26
279483038	\$555.92
279483039	\$682.26
279483040	\$625.40
279483041	\$625.40
279483042	\$555.92
279483043	\$682.26
279483044	\$701.22
279483046	\$1,484.58
279483047	\$1,389.82
279483048	\$1,389.82
279483049	\$1,389.82
279483050	\$1,389.82
279483051	\$1,484.58
279483052	\$1,484.58
279483053	\$1,389.82
279483054	\$1,389.82
279483055	\$1,389.82
279483056	\$1,389.82
279483057	\$1,484.58
279483059	\$1,484.58

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279483060	\$1,389.82
279483061	\$1,389.82
279483062	\$1,389.82
279483063	\$1,389.82
279483064	\$1,484.58
279483065	\$1,484.58
279483066	\$1,389.82
279483067	\$1,389.82
279483068	\$1,389.82
279483069	\$1,389.82
279483070	\$1,484.58
279483072	\$682.26
279483073	\$555.92
279483075	\$625.40
279483076	\$625.40
279483079	\$701.22
279483081	\$682.26
279483082	\$555.92
279483083	\$682.26
279483084	\$625.40
279483085	\$625.40
279483088	\$701.22
279484001	\$1,484.58
279484002	\$1,389.82
279484003	\$1,389.82
279484004	\$1,484.58
279484005	\$1,484.58
279484006	\$1,389.82
279484007	\$1,389.82
279484009	\$1,484.58
279484010	\$1,389.82
279484011	\$1,389.82
279484012	\$1,389.82
279484013	\$1,389.82
279484014	\$1,484.58
279484015	\$1,484.58
279484016	\$1,389.82
279484017	\$1,389.82
279484018	\$1,389.82
279484019	\$1,389.82
279484020	\$1,484.58

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279484022	\$1,484.58
279484023	\$1,389.82
279484024	\$1,389.82
279484025	\$1,389.82
279484026	\$1,389.82
279484027	\$1,484.58
279484028	\$1,484.58
279484029	\$1,389.82
279484030	\$1,389.82
279484031	\$1,389.82
279484032	\$1,484.58
279484034	\$1,484.58
279484035	\$1,389.82
279484036	\$1,389.82
279484037	\$1,389.82
279484038	\$1,389.82
279484039	\$1,484.58
279484040	\$1,484.58
279484041	\$1,389.82
279484042	\$1,389.82
279484043	\$1,389.82
279484044	\$1,389.82
279484045	\$1,484.58
279484047	\$1,484.58
279484048	\$1,389.82
279484049	\$1,389.82
279484050	\$1,389.82
279484051	\$1,484.58
279484052	\$1,484.58
279484053	\$1,389.82
279484054	\$1,389.82
279484055	\$1,389.82
279484056	\$1,389.82
279484057	\$1,484.58
279484059	\$1,484.58
279484060	\$1,389.82
279484061	\$1,389.82
279484062	\$1,389.82
279484063	\$1,389.82
279484064	\$1,484.58
279484065	\$1,484.58

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279484066	\$1,389.82
279484067	\$1,389.82
279484068	\$1,389.82
279484069	\$1,389.82
279484070	\$1,484.58
279484072	\$1,484.58
279484073	\$1,389.82
279484074	\$1,389.82
279484075	\$1,389.82
279484076	\$1,389.82
279484077	\$1,484.58
279484078	\$1,484.58
279484079	\$1,389.82
279484080	\$1,389.82
279484081	\$1,389.82
279484082	\$1,484.58
279484084	\$1,484.58
279484085	\$1,389.82
279484086	\$1,389.82
279484087	\$1,389.82
279484088	\$1,389.82
279484089	\$1,484.58
279484090	\$1,484.58
279484091	\$1,389.82
279484092	\$1,389.82
279484093	\$1,389.82
279484094	\$1,389.82
279484095	\$1,484.58
279485001	\$682.26
279485002	\$555.92
279485003	\$682.26
279485004	\$625.40
279485005	\$625.40
279485006	\$555.92
279485007	\$682.26
279485008	\$701.22
279485009	\$682.26
279485010	\$555.92
279485011	\$682.26
279485012	\$625.40
279485013	\$625.40

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279485014	\$555.92
279485015	\$682.26
279485016	\$701.22
279485018	\$682.26
279485019	\$555.92
279485020	\$682.26
279485021	\$625.40
279485022	\$625.40
279485023	\$555.92
279485024	\$682.26
279485025	\$701.22
279485027	\$682.26
279485029	\$682.26
279485030	\$625.40
279485031	\$625.40
279485034	\$701.22
279485036	\$682.26
279485039	\$625.40
279485040	\$625.40
279485043	\$701.22
279485045	\$682.26
279485048	\$625.40
279485049	\$625.40
279485052	\$701.22
279485054	\$682.26
279485057	\$625.40
279485058	\$625.40
279485061	\$701.22
279486001	\$1,484.58
279486002	\$1,389.82
279486003	\$1,389.82
279486004	\$1,389.82
279486005	\$1,389.82
279486006	\$1,484.58
279486007	\$1,484.58
279486008	\$1,389.82
279486009	\$1,389.82
279486010	\$1,389.82
279486011	\$1,389.82
279486012	\$1,484.58
279500001	\$2,609.06

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279500002	\$2,609.06
279500003	\$2,609.06
279500004	\$2,609.06
279500005	\$2,609.06
279500006	\$2,609.06
279500007	\$2,609.06
279500008	\$2,609.06
279500009	\$2,015.24
279500010	\$2,609.06
279500011	\$2,609.06
279500012	\$2,015.24
279500013	\$2,609.06
279500014	\$2,609.06
279510001	\$2,609.06
279510002	\$2,609.06
279510003	\$2,261.60
279510004	\$2,609.06
279510005	\$2,261.60
279510006	\$2,261.60
279510007	\$2,609.06
279510008	\$2,609.06
279510009	\$2,609.06
279510010	\$2,609.06
279510011	\$2,609.06
279510012	\$2,609.06
279510013	\$2,609.06
279510014	\$2,609.06
279510015	\$2,609.06
279510016	\$2,609.06
279510017	\$2,609.06
279510018	\$2,609.06
279510019	\$2,609.06
279510020	\$2,609.06
279510021	\$2,609.06
279510022	\$2,609.06
279510023	\$2,609.06
279510024	\$2,609.06
279510025	\$2,609.06
279511001	\$2,015.24
279511002	\$2,261.60
279511003	\$2,015.24

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279511004	\$2,261.60
279511005	\$2,015.24
279511006	\$2,261.60
279511008	\$2,261.60
279511009	\$2,015.24
279511010	\$2,261.60
279511011	\$2,261.60
279511012	\$2,015.24
279511013	\$2,261.60
279511014	\$2,261.60
279511015	\$2,015.24
279511016	\$2,261.60
279511018	\$2,261.60
279511019	\$2,015.24
279511020	\$2,261.60
279511021	\$2,261.60
279511022	\$2,015.24
279511023	\$2,015.24
279511024	\$2,261.60
279511025	\$2,261.60
279511026	\$2,015.24
279511027	\$2,261.60
279511028	\$2,261.60
279511029	\$2,015.24
279511030	\$2,261.60
279511032	\$2,261.60
279511033	\$2,015.24
279511034	\$2,261.60
279511035	\$2,261.60
279511036	\$2,015.24
279511037	\$2,261.60
279511039	\$2,261.60
279511040	\$2,015.24
279511041	\$2,261.60
279511042	\$2,261.60
279511043	\$2,015.24
279511044	\$2,261.60
279520001	\$2,609.06
279520002	\$2,015.24
279520003	\$2,015.24
279520004	\$2,609.06

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279520005	\$2,015.24
279520006	\$2,609.06
279520007	\$2,609.06
279520008	\$2,261.60
279520009	\$2,609.06
279520010	\$2,261.60
279520011	\$2,609.06
279520012	\$2,015.24
279520013	\$2,609.06
279520014	\$2,609.06
279520015	\$2,609.06
279520016	\$2,015.24
279520017	\$2,609.06
279520018	\$2,015.24
279520019	\$2,609.06
279520020	\$2,609.06
279520021	\$2,261.60
279520022	\$2,609.06
279520023	\$2,609.06
<b>Total</b>	<b>\$1,175,145.42</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2002-1  
IMPROVEMENT AREA A

**RESOLUTION NO. 2021-070**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2002-1 (DOS LAGOS) IMPROVEMENT AREA 1 2017 SPECIAL TAX REFUNDING BONDS, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-1 (Dos Lagos) Improvement Area 1 2017 Special Tax Refunding Bonds (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-061 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are



collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279450012	\$93,858.68
279450028	\$308,250.76
279450039	\$6,507.00
279460026	\$8,636.74
279460027	\$7,774.62
279460031	\$8,752.24
279460047	\$17,059.14
279460051	\$6,767.28
279460054	\$38,964.60
279460055	\$38,490.30
<b>Total</b>	<b>\$535,061.36</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2002-4

**RESOLUTION NO. 2021-071**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2002-4 (CORONA CROSSINGS) 2017 SPECIAL TAX REFUNDING BONDS, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2002-4 (Corona Crossings) 2017 Special Tax Refunding Bonds (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-062 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are



collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

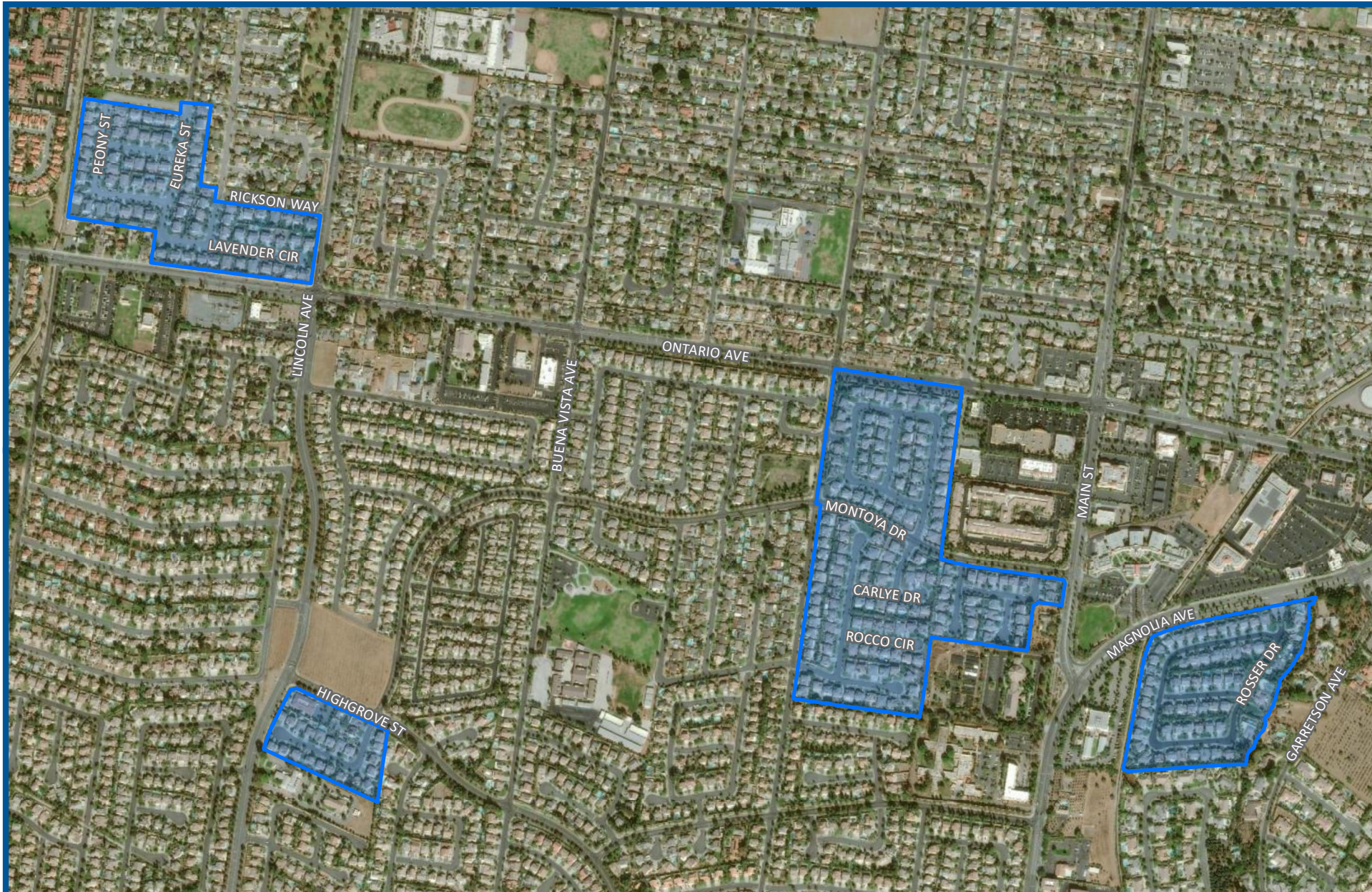
[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-4  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279140011	\$39,986.32
279140012	\$7,286.94
279530001	\$10,899.78
279530002	\$70,052.62
279530003	\$65,521.24
279530004	\$43,415.48
279530005	\$9,123.98
279530006	\$12,614.36
279530007	\$10,042.50
279530008	\$8,634.10
279530009	\$5,878.54
279530010	\$6,245.94
279530011	\$6,674.58
279530012	\$6,919.52
279530013	\$9,736.32
279530014	\$15,124.98
279530015	\$7,654.34
279530016	\$7,286.94
279530017	\$10,532.38
279530018	\$10,164.96
279530019	\$29,147.76
279530020	\$34,291.48
279530022	\$39,802.62
279530023	\$5,633.60
279530024	\$47,089.56
279530026	\$78,564.26
<b>Total</b>	<b>\$598,325.10</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2003-2



## **RESOLUTION NO. 2021-072**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 2003-2 (HIGHLANDS COLLECTION) 2020 SPECIAL TAX REFUNDING BOND, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2003-2 (Highlands Collection) 2020 Special Tax Refunding Bond (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-063 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
110510001	\$1,295.16
110510002	\$1,496.36
110510003	\$1,394.06
110510004	\$1,295.16
110510005	\$1,496.36
110510006	\$1,394.06
110510007	\$1,451.74
110510008	\$1,394.06
110510009	\$1,496.36
110510010	\$1,451.74
110511001	\$1,451.74
110511002	\$1,496.36
110511003	\$1,295.16
110511004	\$1,496.36
110511005	\$1,295.16
110511006	\$1,451.74
110511007	\$1,394.06
110511008	\$1,295.16
110511009	\$1,451.74
110511010	\$1,394.06
110511011	\$1,496.36
110512001	\$1,394.06
110512002	\$1,394.06
110512003	\$1,295.16
110512004	\$1,394.06
110512005	\$1,496.36
110512006	\$1,451.74
110512007	\$1,496.36
110512008	\$1,496.36
110512009	\$1,451.74
110512010	\$1,394.06
110512011	\$1,295.16
110513007	\$1,451.74
110513008	\$1,496.36
110513009	\$1,295.16
110513010	\$1,496.36
110513011	\$1,394.06
110513012	\$1,496.36
110513013	\$1,451.74
110513014	\$1,496.36
110513015	\$1,295.16

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
110513016	\$1,295.16
110513017	\$1,295.16
110513018	\$1,496.36
110513019	\$1,295.16
110513020	\$1,496.36
110513021	\$1,496.36
110513022	\$1,451.74
110520001	\$1,496.36
110520002	\$1,394.06
110520003	\$1,451.74
110520004	\$1,295.16
110521001	\$1,496.36
110521002	\$1,451.74
110521003	\$1,432.80
110521004	\$1,295.16
110521005	\$1,451.74
110521006	\$1,496.36
110521007	\$1,295.16
110521008	\$1,451.74
110521009	\$1,432.80
110521010	\$1,496.36
110521011	\$1,451.74
110521012	\$1,496.36
110521013	\$1,394.06
110521014	\$1,451.74
110521015	\$1,496.36
110521016	\$1,496.36
110521017	\$1,451.74
110521018	\$1,394.06
110521019	\$1,496.36
110521020	\$1,295.16
110521021	\$1,451.74
110521022	\$1,295.16
110521023	\$1,394.06
110521024	\$1,496.36
110521025	\$1,451.74
113350048	\$1,295.16
113350049	\$1,295.16
113350050	\$1,295.16
113350051	\$1,295.16
113520001	\$1,496.36



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113520002	\$1,394.06
113520003	\$1,496.36
113520004	\$1,496.36
113520005	\$1,496.36
113520006	\$1,367.12
113520007	\$1,394.06
113520008	\$1,496.36
113520009	\$1,496.36
113520010	\$1,394.06
113520011	\$1,496.36
113520012	\$1,496.36
113520013	\$1,496.36
113520014	\$1,496.36
113520015	\$1,496.36
113520016	\$1,295.16
113520017	\$1,496.36
113520018	\$1,295.16
113520019	\$1,394.06
113520020	\$1,295.16
113520021	\$1,496.36
113520022	\$1,496.36
113520023	\$1,295.16
113530001	\$1,496.36
113530002	\$1,496.36
113530003	\$1,496.36
113530004	\$1,295.16
113530005	\$1,367.12
113530006	\$1,432.80
113530007	\$1,496.36
113530008	\$1,496.36
113530009	\$1,295.16
113530010	\$1,394.06
113530011	\$1,496.36
113530012	\$1,295.16
113530013	\$1,496.36
113530014	\$1,367.12
113530015	\$1,432.80
113530016	\$1,496.36
113530017	\$1,496.36
113530018	\$1,394.06
113530019	\$1,496.36

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113530020	\$1,496.36
113531001	\$1,394.06
113531002	\$1,496.36
113531003	\$1,496.36
113531004	\$1,394.06
113531005	\$1,496.36
113531006	\$1,496.36
113540001	\$1,295.16
113540002	\$1,451.74
113540003	\$1,394.06
113540004	\$1,367.12
113540005	\$1,394.06
113540006	\$1,394.06
113540007	\$1,367.12
113540008	\$1,451.74
113540009	\$1,394.06
113540010	\$1,451.74
113540011	\$1,394.06
113541001	\$1,295.16
113541002	\$1,496.36
113541003	\$1,367.12
113541004	\$1,451.74
113541005	\$1,451.74
113541006	\$1,451.74
113541007	\$1,451.74
113541008	\$1,451.74
113541009	\$1,295.16
113541010	\$1,496.36
113541011	\$1,394.06
113541012	\$1,496.36
113541013	\$1,451.74
113541014	\$1,367.12
113541015	\$1,295.16
113541016	\$1,394.06
113541017	\$1,394.06
113541018	\$1,295.16
113541019	\$1,496.36
113541020	\$1,295.16
113541021	\$1,295.16
113541022	\$1,496.36
113541023	\$1,295.16

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113542001	\$1,394.06
113542002	\$1,496.36
113542003	\$1,451.74
113542004	\$1,496.36
113542005	\$1,496.36
113542006	\$1,295.16
113542007	\$1,451.74
113542008	\$1,451.74
113542009	\$1,394.06
113542010	\$1,451.74
113542011	\$1,451.74
113543001	\$1,451.74
113543002	\$1,394.06
113543003	\$1,451.74
113543004	\$1,367.12
113543005	\$1,451.74
113543006	\$1,295.16
113543007	\$1,394.06
113543008	\$1,394.06
113543009	\$1,451.74
113543010	\$1,394.06
113550001	\$1,496.36
113550002	\$1,496.36
113550003	\$1,295.16
113550004	\$1,432.80
113550005	\$1,295.16
113550006	\$1,496.36
113550007	\$1,496.36
113550008	\$1,295.16
113550009	\$1,394.06
113550010	\$1,496.36
113550011	\$1,432.80
113550012	\$1,394.06
113550013	\$1,496.36
113550014	\$1,496.36
113550015	\$1,496.36
113550016	\$1,394.06
113550017	\$1,496.36
113550018	\$1,496.36
113550019	\$1,496.36
113550020	\$1,496.36

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113550021	\$1,394.06
113550022	\$1,496.36
113550023	\$1,496.36
113550024	\$1,394.06
113550025	\$1,496.36
113550026	\$1,496.36
113550027	\$1,496.36
113550028	\$1,295.16
113550029	\$1,496.36
113550030	\$1,394.06
113550031	\$1,295.16
113550032	\$1,496.36
113550033	\$1,394.06
113550034	\$1,496.36
113550035	\$1,496.36
113550036	\$1,394.06
113550037	\$1,496.36
113550038	\$1,496.36
113550039	\$1,394.06
113550040	\$1,496.36
113550041	\$1,496.36
113550042	\$1,394.06
113550043	\$1,496.36
113550044	\$1,496.36
113550045	\$1,496.36
113550046	\$1,394.06
113550047	\$1,496.36
113550048	\$1,496.36
113550049	\$1,496.36
113550050	\$1,496.36
113550051	\$1,394.06
113550052	\$1,496.36
113550053	\$1,394.06
113550054	\$1,496.36
113550055	\$1,496.36
113560001	\$1,496.36
113560002	\$1,394.06
113560003	\$1,394.06
113560004	\$1,367.12
113560005	\$1,451.74
113560006	\$1,394.06

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113560007	\$1,367.12
113560008	\$1,394.06
113560009	\$1,295.16
113560010	\$1,367.12
113560011	\$1,451.74
113560012	\$1,394.06
113560013	\$1,451.74
113560014	\$1,367.12
113560015	\$1,394.06
113560016	\$1,295.16
113560017	\$1,451.74
113560018	\$1,394.06
113560019	\$1,295.16
113560020	\$1,394.06
113560021	\$1,451.74
113560022	\$1,367.12
113560023	\$1,451.74
113560024	\$1,394.06
113560025	\$1,367.12
113560040	\$1,394.06
113560041	\$1,367.12
113560042	\$1,295.16
113560043	\$1,394.06
113560044	\$1,367.12
113560045	\$1,451.74
113560046	\$1,367.12
113560047	\$1,451.74
113560048	\$1,394.06
113560049	\$1,295.16
113560050	\$1,394.06
113560051	\$1,367.12
113560052	\$1,451.74
113560053	\$1,394.06
113560054	\$1,367.12
113560055	\$1,295.16
113560056	\$1,451.74
113560057	\$1,394.06
113561001	\$1,394.06
113561002	\$1,295.16
113561003	\$1,367.12
113561004	\$1,295.16

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2003-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113561005	\$1,394.06
113561006	\$1,451.74
113561007	\$1,295.16
113561008	\$1,451.74
113561009	\$1,295.16
113561010	\$1,451.74
113561011	\$1,367.12
113561012	\$1,451.74
113561013	\$1,295.16
113561014	\$1,451.74
113561015	\$1,367.12
113561016	\$1,451.74
113561017	\$1,394.06
113561018	\$1,295.16
113561019	\$1,367.12
113561020	\$1,451.74
113561021	\$1,394.06
113561022	\$1,451.74
113561023	\$1,394.06
113561024	\$1,451.74
113561025	\$1,394.06
113561026	\$1,496.36
113561027	\$1,367.12
113561028	\$1,451.74
113561029	\$1,394.06
113561030	\$1,367.12
113561031	\$1,451.74
113561032	\$1,367.12
113561033	\$1,394.06
113561034	\$1,451.74
<b>Total</b>	<b>\$449,540.34</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2004-1

## **RESOLUTION NO. 2021-073**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 2004-1 (BUCHANAN) 2020 SPECIAL TAX REFUNDING BOND, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 2004-1 (Buchanan) 2020 Special Tax Refunding Bonds (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-064 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.



**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2004-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
168360001	\$3,249.28
168360002	\$3,095.98
168360003	\$3,249.28
168360004	\$3,095.98
168360005	\$3,249.28
168360006	\$3,115.98
168360007	\$3,249.28
168360008	\$3,115.98
168360012	\$3,249.28
168360013	\$3,115.98
168360014	\$3,249.28
168360015	\$3,095.98
168360016	\$3,115.98
168360017	\$3,095.98
168360018	\$3,095.98
168360019	\$3,115.98
168360020	\$3,095.98
168360021	\$3,115.98
168360022	\$3,249.28
168360023	\$3,115.98
168360024	\$3,249.28
168360025	\$3,249.28
168360026	\$3,095.98
168361001	\$3,115.98
168361002	\$3,249.28
168361003	\$3,115.98
168361004	\$3,249.28
168361005	\$3,249.28
168361006	\$3,115.98
168361007	\$3,115.98
168361008	\$3,095.98
168361009	\$3,249.28
168361010	\$3,115.98
168361011	\$3,095.98
168361012	\$3,115.98
168361013	\$3,249.28
168361014	\$3,115.98
168361015	\$3,249.28
168361016	\$3,115.98
168361017	\$3,249.28
168361018	\$3,249.28

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2004-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
168361019	\$3,115.98
168361020	\$3,095.98
168361021	\$3,115.98
168361022	\$3,095.98
168361023	\$3,115.98
168361024	\$3,249.28
168361025	\$3,115.98
168361026	\$3,249.28
168361027	\$3,095.98
168361028	\$3,249.28
168361029	\$3,115.98
168361030	\$3,115.98
168361031	\$3,115.98
168361032	\$3,249.28
168361033	\$3,095.98
168361034	\$3,249.28
168361035	\$3,115.98
168361036	\$3,249.28
168361037	\$3,249.28
168361038	\$3,095.98
168361039	\$3,115.98
168361040	\$3,249.28
168361041	\$3,095.98
<b>Total</b>	<b>\$202,455.22</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-2

## **RESOLUTION NO. 2021-074**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2016-2 (TERRASSA) 2018 SPECIAL TAX BONDS, SPECIAL TAX A, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2016-2 (Terrassa) 2018 Special Tax Bonds, Special Tax A (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-065 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax A in Resolution No. 2016-025, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall



be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361001	\$2,290.46
277361002	\$2,290.46
277361003	\$2,595.86
277361004	\$2,290.46
277361005	\$2,290.46
277361006	\$2,595.86
277361007	\$2,290.46
277361008	\$2,290.46
277361010	\$2,389.48
277361011	\$2,595.86
277361012	\$2,780.96
277361013	\$2,389.48
277361014	\$2,780.96
277361016	\$2,595.86
277361017	\$2,780.96
277361018	\$2,389.48
277361020	\$2,290.46
277361021	\$2,290.46
277361022	\$2,595.86
277361023	\$2,290.46
277361024	\$2,290.46
277361025	\$2,595.86
277361026	\$2,290.46
277361027	\$2,290.46
277361028	\$2,290.46
277361029	\$2,290.46
277361030	\$2,595.86
277361031	\$2,290.46
277361032	\$2,595.86
277361033	\$2,290.46
277361034	\$2,290.46
277361036	\$2,780.96
277361037	\$2,595.86
277361038	\$2,780.96
277361039	\$2,595.86
277361040	\$2,389.48
277361041	\$2,389.48
277361043	\$2,595.86
277361044	\$2,389.48
277361045	\$2,780.96
277361046	\$2,595.86

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361047	\$2,389.48
277361048	\$2,389.48
277361049	\$2,780.96
277361051	\$2,780.96
277361052	\$2,595.86
277361053	\$2,389.48
277361054	\$2,780.96
277361055	\$2,595.86
277361057	\$2,389.48
277361058	\$2,780.96
277361060	\$2,780.96
277361061	\$2,389.48
277361062	\$2,595.86
277361063	\$2,389.48
277361065	\$2,780.96
277361066	\$2,595.86
277361067	\$2,389.48
277361068	\$2,780.96
277361069	\$2,595.86
277361071	\$2,595.86
277361072	\$2,780.96
277361073	\$2,595.86
277361074	\$2,780.96
277361075	\$2,389.48
277361076	\$2,780.96
277361077	\$2,595.86
277361078	\$2,780.96
277361080	\$2,595.86
277361081	\$2,780.96
277361082	\$2,595.86
277361083	\$2,389.48
277361084	\$2,389.48
277361085	\$2,780.96
277361086	\$2,595.86
277362001	\$2,290.46
277362002	\$2,290.46
277362003	\$2,595.86
277362004	\$2,290.46
277362005	\$2,290.46
277362006	\$2,595.86
277362007	\$2,290.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277362008	\$2,290.46
277362009	\$2,290.46
277362010	\$2,290.46
277362011	\$2,290.46
277362012	\$2,290.46
277362016	\$2,290.46
277362017	\$2,290.46
277362018	\$2,595.86
277362019	\$2,290.46
277362020	\$2,290.46
277362021	\$2,595.86
277362022	\$2,290.46
277362023	\$2,290.46
277362025	\$2,595.86
277362026	\$2,290.46
277362027	\$2,595.86
277362028	\$2,290.46
277362029	\$2,290.46
277362030	\$2,595.86
277362031	\$2,290.46
277362032	\$2,290.46
277362034	\$2,290.46
277362035	\$2,290.46
277362036	\$2,595.86
277362037	\$2,290.46
277362038	\$2,290.46
277362039	\$2,595.86
277362040	\$2,290.46
277362041	\$2,290.46
277362044	\$2,290.46
277362045	\$2,290.46
277362046	\$2,595.86
277362047	\$2,290.46
277362048	\$2,290.46
277362049	\$2,595.86
277362050	\$2,290.46
277362051	\$2,290.46
277362053	\$2,290.46
277362054	\$2,290.46
277362055	\$2,290.46
277362056	\$2,290.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277362057	\$2,290.46
277362058	\$2,290.46
277362059	\$2,290.46
277362060	\$2,290.46
277362061	\$2,595.86
277362062	\$2,290.46
277362063	\$2,290.46
277362065	\$2,290.46
277362066	\$2,290.46
277362067	\$2,595.86
277362068	\$2,290.46
277362069	\$2,290.46
277362070	\$2,595.86
277362071	\$2,290.46
277362072	\$2,290.46
277362074	\$2,290.46
277362075	\$2,290.46
277362076	\$2,595.86
277362077	\$2,290.46
277362078	\$2,290.46
277362079	\$2,595.86
277362080	\$2,290.46
277362081	\$2,290.46
<b>Total</b>	<b>\$357,221.58</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2017-2

**RESOLUTION NO. 2021-075**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2017-2 (VALENCIA/SEVILLE) 2018 SPECIAL TAX BONDS, SPECIAL TAX A AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2017-2 (Valencia/Seville) 2018 Special Tax Bonds, Special Tax A (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-066 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax A in Resolution No. 2017-058, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall



be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041001	\$2,744.00
120041002	\$2,744.00
120041003	\$2,942.00
120041004	\$2,942.00
120041005	\$2,744.00
120041006	\$2,744.00
120041007	\$2,744.00
120041008	\$2,744.00
120041009	\$2,942.00
120041010	\$2,942.00
120041011	\$2,744.00
120041012	\$2,744.00
120041013	\$2,744.00
120041014	\$2,942.00
120041015	\$3,294.00
120041016	\$3,089.00
120041017	\$2,744.00
120041018	\$2,744.00
120041019	\$3,089.00
120041020	\$3,294.00
120041021	\$3,089.00
120041022	\$3,089.00
120041023	\$3,294.00
120041024	\$3,089.00
120041025	\$3,294.00
120041026	\$3,089.00
120041027	\$3,089.00
120041028	\$3,089.00
120041029	\$3,294.00
120041030	\$3,089.00
120041031	\$3,294.00
120041032	\$3,089.00
120041033	\$3,089.00
120041034	\$3,294.00
120041035	\$3,089.00
120041036	\$2,942.00
120041037	\$2,744.00
120041038	\$3,089.00
120041039	\$3,089.00
120041040	\$3,089.00
120041041	\$3,294.00

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041042	\$3,089.00
120041043	\$3,089.00
120041044	\$3,294.00
120041045	\$3,089.00
120041046	\$3,294.00
120041047	\$3,089.00
120041048	\$3,294.00
120041049	\$3,089.00
120041050	\$3,089.00
120041051	\$3,294.00
120041052	\$2,942.00
120041053	\$2,744.00
120041054	\$2,744.00
120041055	\$3,089.00
120041056	\$3,294.00
120041057	\$3,089.00
120041058	\$3,089.00
120041059	\$3,294.00
120041060	\$3,089.00
120041061	\$3,089.00
120041062	\$2,744.00
120041063	\$2,744.00
120041064	\$2,942.00
120041065	\$2,942.00
120041066	\$2,744.00
120041067	\$2,942.00
120041068	\$2,744.00
120041069	\$2,942.00
120041070	\$2,744.00
120041071	\$2,744.00
120041072	\$2,942.00
120041073	\$2,744.00
120041074	\$2,942.00
120041075	\$2,744.00
120041076	\$3,294.00
120041077	\$3,089.00
120041078	\$3,089.00
120041079	\$3,089.00
120041080	\$3,294.00
120041081	\$3,089.00
120041082	\$3,089.00

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041083	\$3,089.00
120041084	\$3,294.00
120041085	\$3,089.00
120041086	\$3,294.00
120041087	\$3,089.00
120041088	\$2,744.00
120041089	\$2,744.00
120041090	\$2,744.00
120041091	\$2,744.00
120041092	\$2,942.00
<b>Total</b>	<b>\$276,850.00</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2018-1  
IMPROVEMENT AREA 1

## **RESOLUTION NO. 2021-076**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BONDS OF COMMUNITY FACILITIES DISTRICT NO. 2018-1 (BEDFORD) IMPROVEMENT AREA NO. 1, 2018 SPECIAL TAX BONDS AND 2020 SPECIAL TAX BONDS, SPECIAL TAX A, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BONDS**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bonds of Community Facilities District No. 2018-1 (Bedford) Improvement Area No. 1, 2018 Special Tax Bonds and 2020 Special Tax Bonds, Special Tax A (the “District”) of the City of Corona, County of Riverside, State of California (the “Bonds”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bonds; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-067 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bonds of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax A in Resolution No. 2018-035, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall

be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282790013	\$18,531.86
282790014	\$20,054.70
282790016	\$9,403.36
282790017	\$6,150.76
282790021	\$18,531.86
282790022	\$18,257.02
282790023	\$18,531.86
282790024	\$18,531.86
282790025	\$18,257.02
282791001	\$4,300.00
282791002	\$3,991.20
282791003	\$3,991.20
282791005	\$3,991.20
282791006	\$4,300.00
282791007	\$3,991.20
282791009	\$3,252.60
282791010	\$2,623.30
282791011	\$3,252.60
282791012	\$3,252.60
282791013	\$2,623.30
282791014	\$3,252.60
282791016	\$3,252.60
282791017	\$2,623.30
282791018	\$3,252.60
282791019	\$3,252.60
282791020	\$2,623.30
282791021	\$3,252.60
282791023	\$3,252.60
282791024	\$2,623.30
282791025	\$3,252.60
282791026	\$3,252.60
282791027	\$2,898.14
282791028	\$3,252.60
282791030	\$3,252.60
282791031	\$2,623.30
282791032	\$3,252.60
282791033	\$3,252.60
282791034	\$2,623.30
282791035	\$3,252.60
282791037	\$4,300.00
282791038	\$3,991.20



# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282791039	\$4,300.00
282791041	\$3,991.20
282791042	\$4,300.00
282791043	\$3,991.20
282791046	\$4,300.00
282791047	\$3,991.20
282791048	\$3,991.20
282791050	\$3,991.20
282791051	\$4,300.00
282791052	\$3,991.20
282791055	\$3,991.20
282791056	\$4,300.00
282791057	\$3,991.20
282791058	\$3,991.20
282791059	\$3,991.20
282791062	\$4,300.00
282791063	\$3,991.20
282791064	\$3,991.20
282791065	\$3,991.20
282791070	\$3,991.20
282791071	\$3,991.20
282791072	\$3,991.20
282791073	\$3,991.20
282791074	\$3,991.20
282791076	\$4,300.00
282791077	\$3,991.20
282791078	\$3,991.20
282791079	\$4,300.00
282791080	\$3,991.20
282791086	\$4,300.00
282791087	\$3,991.20
282791088	\$3,991.20
282791089	\$4,613.06
282792001	\$2,239.14
282792002	\$1,991.88
282792003	\$1,991.88
282792004	\$1,991.88
282792005	\$1,991.88
282792006	\$1,991.88
282792007	\$2,239.14
282792009	\$2,239.14

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792010	\$1,991.88
282792011	\$1,991.88
282792012	\$2,239.14
282792014	\$2,239.14
282792015	\$1,991.88
282792016	\$1,991.88
282792017	\$2,239.14
282792019	\$2,239.14
282792020	\$1,991.88
282792021	\$1,991.88
282792022	\$2,239.14
282792023	\$2,239.14
282792024	\$1,991.88
282792025	\$1,991.88
282792026	\$2,239.14
282792028	\$2,239.14
282792029	\$1,991.88
282792030	\$1,991.88
282792031	\$2,239.14
282792032	\$2,239.14
282792033	\$1,991.88
282792034	\$1,991.88
282792035	\$2,239.14
282792036	\$2,239.14
282792037	\$1,991.88
282792038	\$1,991.88
282792039	\$1,991.88
282792040	\$1,991.88
282792041	\$1,991.88
282792042	\$2,239.14
282792044	\$2,239.14
282792045	\$1,991.88
282792046	\$1,991.88
282792047	\$1,991.88
282792048	\$1,991.88
282792049	\$2,239.14
282792051	\$2,239.14
282792052	\$1,991.88
282792053	\$1,991.88
282792054	\$1,991.88
282792055	\$1,991.88

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792056	\$2,239.14
282792058	\$2,239.14
282792059	\$1,991.88
282792060	\$1,991.88
282792061	\$1,991.88
282792062	\$1,991.88
282792063	\$1,991.88
282792064	\$2,239.14
282792065	\$2,239.14
282792066	\$1,991.88
282792067	\$1,991.88
282792068	\$1,991.88
282792069	\$1,991.88
282792070	\$1,991.88
282792071	\$2,239.14
282792073	\$2,239.14
282792074	\$1,991.88
282792075	\$1,991.88
282792076	\$1,991.88
282792077	\$2,239.14
282792080	\$2,239.14
282792081	\$1,991.88
282792082	\$1,991.88
282792083	\$1,991.88
282792084	\$2,239.14
282792087	\$2,239.14
282792088	\$1,991.88
282792089	\$1,991.88
282792090	\$1,991.88
282792091	\$2,239.14
282793001	\$2,436.52
282793002	\$2,436.52
282793003	\$2,436.52
282793004	\$2,717.74
282793005	\$2,717.74
282793006	\$2,436.52
282793007	\$2,436.52
282793008	\$2,436.52
282793010	\$2,436.52
282793011	\$2,436.52
282793012	\$2,436.52

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282793013	\$2,717.74
282793014	\$2,717.74
282793015	\$2,436.52
282793016	\$2,436.52
282793017	\$2,436.52
282793019	\$2,436.52
282793020	\$2,436.52
282793021	\$2,436.52
282793022	\$2,717.74
282793023	\$2,717.74
282793024	\$2,436.52
282793025	\$2,436.52
282793026	\$2,436.52
282793028	\$2,436.52
282793029	\$2,436.52
282793030	\$2,436.52
282793031	\$2,717.74
282793032	\$2,717.74
282793033	\$2,436.52
282793034	\$2,436.52
282793035	\$2,436.52
282793037	\$2,436.52
282793038	\$2,436.52
282793039	\$2,436.52
282793040	\$2,717.74
282793041	\$2,717.74
282793042	\$2,436.52
282793043	\$2,436.52
282793044	\$2,436.52
282793046	\$2,436.52
282793047	\$2,436.52
282793048	\$2,436.52
282793049	\$2,717.74
282793050	\$2,717.74
282793051	\$2,436.52
282793052	\$2,436.52
282793053	\$2,436.52
282793055	\$2,436.52
282793056	\$2,436.52
282793057	\$2,436.52
282793058	\$2,717.74

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282793059	\$2,717.74
282793060	\$2,436.52
282793061	\$2,436.52
282793062	\$2,436.52
282793064	\$2,436.52
282793065	\$2,436.52
282793066	\$2,436.52
282793067	\$2,717.74
282793068	\$2,717.74
282793069	\$2,436.52
282793070	\$2,436.52
282793071	\$2,436.52
282793073	\$2,436.52
282793074	\$2,436.52
282793075	\$2,436.52
282793076	\$2,717.74
282793077	\$2,717.74
282793078	\$2,436.52
282793079	\$2,436.52
282793080	\$2,436.52
282793082	\$2,436.52
282793083	\$2,436.52
282793084	\$2,436.52
282793085	\$2,717.74
282793086	\$2,717.74
282793087	\$2,436.52
282793088	\$2,436.52
282793089	\$2,436.52
282794001	\$3,252.60
282794002	\$2,898.14
282794003	\$3,252.60
282794004	\$3,252.60
282794005	\$2,623.30
282794006	\$3,252.60
282794008	\$3,252.60
282794009	\$2,623.30
282794010	\$3,252.60
282794011	\$3,252.60
282794012	\$2,623.30
282794013	\$3,252.60
282794015	\$3,252.60

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
282794016	\$2,623.30
282794017	\$3,252.60
282794018	\$3,252.60
282794019	\$2,623.30
282794020	\$3,252.60
282794022	\$3,252.60
282794023	\$2,623.30
282794024	\$3,252.60
282794025	\$3,252.60
282794026	\$2,623.30
282794027	\$3,252.60
282794029	\$3,252.60
282794030	\$2,623.30
282794031	\$3,252.60
282794032	\$3,252.60
282794033	\$2,623.30
282794034	\$3,252.60
282794036	\$3,252.60
282794037	\$2,623.30
282794038	\$3,252.60
282794039	\$3,252.60
282794040	\$2,898.14
282794041	\$3,252.60
282795001	\$3,252.60
282795004	\$2,898.14
282795005	\$3,252.60
282795006	\$2,898.14
282795007	\$3,252.60
282795008	\$2,898.14
282795010	\$2,898.14
282795011	\$3,252.60
282795013	\$3,252.60
282795014	\$3,252.60
282795016	\$2,898.14
282795017	\$3,252.60
282795018	\$2,898.14
282795020	\$2,898.14
282795021	\$3,252.60
282795022	\$3,252.60
282795023	\$2,898.14
282795024	\$3,252.60

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282795027	\$3,252.60
282795028	\$2,898.14
282795029	\$3,252.60
282795030	\$2,898.14
282795031	\$3,252.60
282795034	\$3,252.60
282795035	\$3,252.60
282795036	\$3,252.60
282795037	\$3,252.60
282795038	\$2,898.14
282795039	\$3,252.60
282795041	\$3,252.60
282795042	\$2,898.14
282795043	\$3,252.60
282795044	\$3,252.60
282795046	\$3,252.60
282795047	\$2,898.14
282795048	\$3,252.60
282795049	\$3,252.60
282795052	\$3,252.60
282795053	\$2,898.14
282795054	\$3,252.60
282795056	\$3,252.60
282795057	\$2,898.14
282795059	\$4,300.00
282795060	\$2,898.14
282795061	\$3,252.60
282795062	\$3,252.60
282795066	\$3,252.60
282795067	\$3,252.60
282795068	\$3,252.60
282795069	\$3,252.60
282795071	\$3,252.60
282795072	\$3,252.60
282795073	\$3,252.60
282795074	\$2,898.14
282796001	\$2,436.52
282796002	\$2,436.52
282796003	\$2,436.52
282796004	\$2,717.74
282796005	\$2,717.74

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282796006	\$2,436.52
282796007	\$2,436.52
282796008	\$2,436.52
282796010	\$2,239.14
282796011	\$1,991.88
282796012	\$1,991.88
282796013	\$1,991.88
282796014	\$1,991.88
282796015	\$2,239.14
282796017	\$2,239.14
282796018	\$1,991.88
282796019	\$1,991.88
282796020	\$1,991.88
282796021	\$1,991.88
282796022	\$2,239.14
282811001	\$2,239.14
282811002	\$1,991.88
282811003	\$1,991.88
282811004	\$2,239.14
282811006	\$2,239.14
282811007	\$1,991.88
282811008	\$1,991.88
282811009	\$1,991.88
282811010	\$1,991.88
282811011	\$2,239.14
<b>Total</b>	<b>\$1,099,449.82</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2018-2

**RESOLUTION NO. 2021-077**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR COMMUNITY FACILITIES DISTRICT NO. 2018-2 (SIERRA BELLA), SPECIAL TAX A**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2018-2 (Sierra Bella) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 to issue bonds and incur bonded indebtedness (“Bonds”) for the purpose of financing certain public facilities (“Facilities”) within the District and for the payment of administrative expenses incurred in connection with the Bonds; and

**WHEREAS**, it is necessary that the City Council levy special taxes identified as Special Tax A in Resolution No. 2018-095, the resolution establishing the District, pursuant to Sections 53340 and 53358 of the Government Code for: (i) the payment of administrative expenses incurred in connection with the levy and collection of special taxes and requirements pertaining to the Bonds; (ii) the establishment of reserve funds for the Bonds; and (iii) the collection and accumulation of funds for the acquisition or construction of the Facilities; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-068 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to: (i) pay administrative expenses incurred in connection with the levy and collection of said special taxes and requirements pertaining to the Bonds; (ii) establish reserve funds for the Bonds; and (iii) collect and accumulate funds for the acquisition or construction of the Facilities; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax A in Resolution No. 2018-095, the resolution establishing the District, shall be and are hereby levied

for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101470002	\$5,383.00
101470003	\$5,383.00
101470004	\$4,568.00
101470005	\$4,762.00
101470018	\$4,957.00
101470021	\$5,158.00
101470022	\$5,383.00
101480005	\$5,383.00
101480006	\$5,158.00
101480007	\$4,957.00
101480010	\$4,762.00
101480011	\$4,374.00
101480012	\$5,158.00
101480013	\$5,383.00
101480014	\$4,762.00
101480015	\$5,158.00
101480016	\$4,374.00
101480017	\$4,762.00
101480018	\$4,374.00
101480019	\$4,957.00
101480020	\$5,158.00
101480021	\$5,383.00
101480022	\$5,158.00
101480023	\$4,762.00
101480024	\$5,158.00
101480025	\$4,762.00
101480026	\$4,762.00
101480027	\$5,158.00
101490001	\$5,158.00
101490002	\$4,762.00
101490003	\$5,158.00
101490004	\$4,762.00
101490005	\$4,762.00
101490006	\$5,158.00
101490007	\$4,762.00
101490008	\$4,762.00
101490009	\$4,374.00
101490010	\$4,762.00
101490011	\$4,374.00
101490012	\$4,762.00
101490013	\$4,374.00



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101490014	\$4,762.00
101490015	\$4,762.00
101490016	\$4,762.00
101490017	\$4,762.00
101490018	\$4,762.00
101490019	\$4,762.00
101490020	\$4,762.00
101490021	\$5,158.00
101490022	\$4,762.00
101490023	\$4,374.00
101490024	\$5,158.00
101490025	\$4,762.00
101500001	\$5,158.00
101500002	\$4,762.00
101500003	\$4,374.00
101500004	\$4,762.00
101500005	\$5,158.00
101500006	\$4,762.00
101500007	\$4,957.00
101500008	\$5,158.00
101500009	\$5,383.00
101500010	\$4,957.00
101500011	\$5,158.00
101500012	\$4,568.00
101500013	\$5,383.00
101500014	\$5,158.00
101500015	\$4,374.00
101500016	\$4,762.00
101500017	\$5,158.00
101500018	\$4,762.00
101500019	\$5,158.00
101500020	\$4,762.00
101520017	\$5,158.00
101520018	\$5,383.00
101520019	\$4,568.00
101520020	\$5,158.00
101520021	\$4,957.00
101520022	\$5,383.00
101530002	\$4,957.00
101530003	\$4,568.00
101530004	\$5,158.00

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX A  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101530005	\$5,383.00
101530006	\$4,568.00
101530007	\$5,383.00
101530008	\$4,568.00
101530009	\$4,957.00
101530010	\$5,158.00
101530011	\$5,383.00
101530012	\$4,957.00
101530013	\$4,568.00
101530014	\$5,383.00
101530015	\$5,158.00
101530016	\$4,568.00
101530017	\$5,383.00
101530018	\$5,158.00
101530019	\$4,957.00
101530020	\$5,158.00
101530021	\$5,383.00
101530022	\$5,158.00
101530023	\$5,383.00
101530025	\$5,383.00
<b>Total</b>	<b>\$504,896.00</b>



Staff Report

---

**File #:** 21-0654

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Resolution levying special taxes to be collected during Fiscal Year 2022 for Community Facilities District No. 97-2 (Eagle Glen), Special Tax Refunding Bond 2014 Series A.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution will allow the City to levy and collect Fiscal Year 2022 special taxes for the District.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-065, levying special taxes to be collected during Fiscal Year 2022 for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 97-2 (Eagle Glen), Special Tax Refunding Bond 2014 Series A and the administrative expenses with respect to the bond.

**BACKGROUND & HISTORY:**

Pursuant to the Mello-Roos Community Facilities Act of 1982, Community Facilities District No. 97-2 ("District") was formed to finance the construction and acquisition of public improvements and facilities within the District.

**ANALYSIS:**

The City has covenanted for the benefit of the owners of the bonds to fix and levy the amount of the special taxes within the District required for the payment of the principal and interest on the bond becoming due and payable during the ensuing year. Any necessary replenishment or expenditure of the Reserve Fund and any amount estimated to be sufficient to pay administrative expenses during the year are also included in the levy. The special taxes levied will not exceed the authorized amounts as provided in the Rate and Method of Apportionments (the "RMA") for the District.



A summary of the special tax levy for the District is shown below:

CFD Issue	Final Bond Year	No. of Parcels	FY 2022 Total Levy	Percentage of Assigned Tax	YOY % Change in Levy Rate
CFD No. 97-2	2023	1,091	\$ 1,185,765	69.27%	-2.86%

As shown in the "YOY % Change in Levy Rate" column, the proposed levy rate in Fiscal Year 2022 for the District will decrease by 2.86% compared to Fiscal Year 2021.

The Assigned Tax rates in the RMA, which were set at the District's formation, are the maximum allowable assessment rates for each property category in the District. This District's bonds were refunded in Fiscal Year 2014 as a result of interest rate savings and the special tax rates levied were able to be reduced, passing the savings to the property owners in the District. In anticipation of the District's maturing in Fiscal Year 2024, an additional credit was applied to the FY 2022 budget from available surplus funds further reducing the special taxes levied on properties within the District.

**FINANCIAL IMPACT:**

The special tax revenues and related debt service and administration expenditures are included in the District's Fiscal Year 2022 budgets. Expenditures in FY 2022 are being recovered in full.

**ENVIRONMENTAL ANALYSIS:**

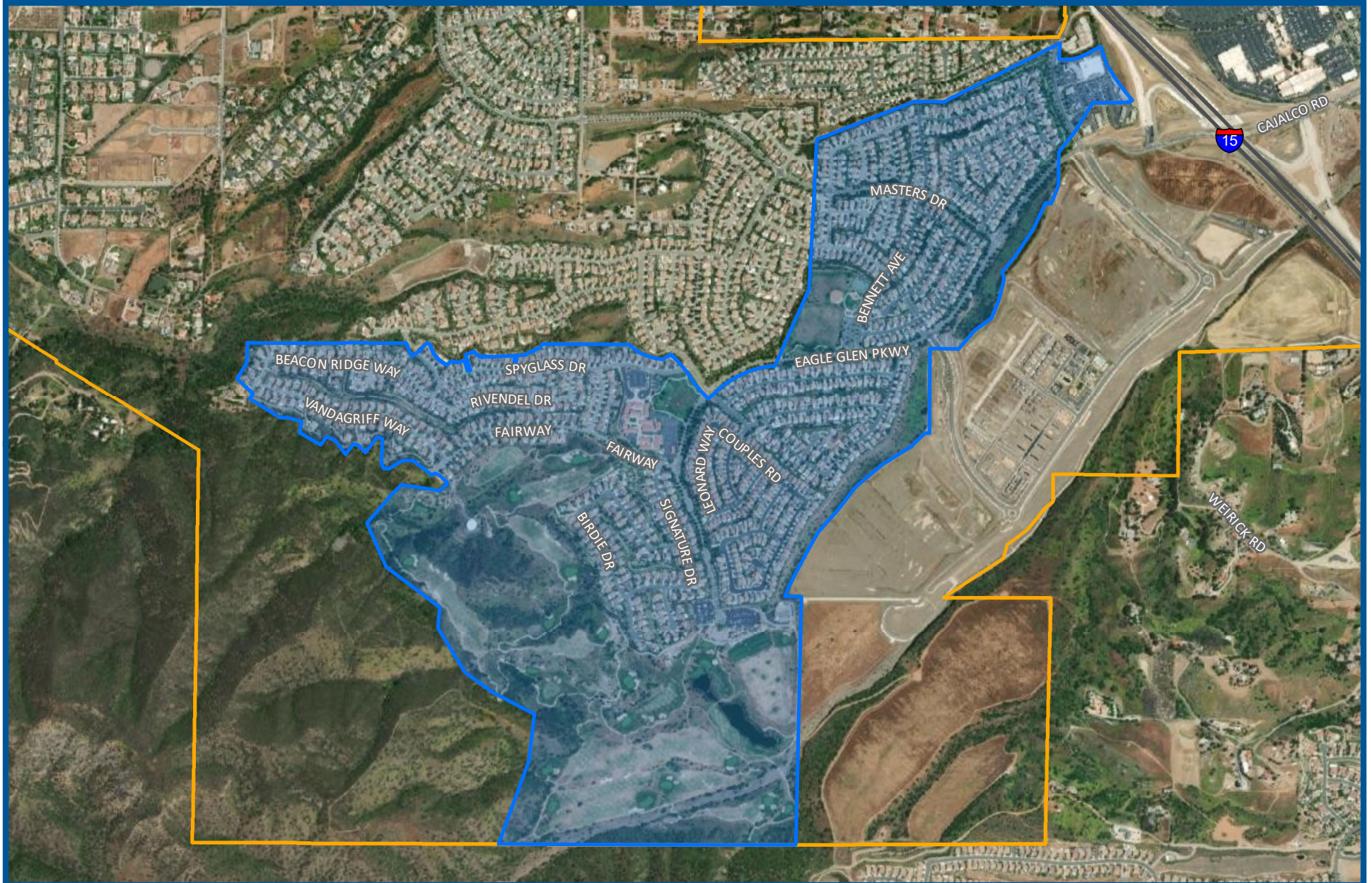
This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely sets the special taxes to be levied and collected within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Boundary Map for Resolution No. 2021-065
2. Exhibit 2 - Resolution No. 2021-065



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 97-2



## **RESOLUTION NO. 2021-065**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST ON THE OUTSTANDING BOND OF COMMUNITY FACILITIES DISTRICT NO. 97-2 (EAGLE GLEN) SPECIAL TAX REFUNDING BOND 2014 SERIES A, AND THE ADMINISTRATIVE EXPENSES WITH RESPECT TO THE BOND**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the principal and interest on the outstanding bond of Community Facilities District No. 97-2 (Eagle Glen) Special Tax Refunding Bond 2014 Series A (the “District”) of the City of Corona, County of Riverside, State of California (the “Bond”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes and the payment of such Bond; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-056 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay principal of and interest on the outstanding bond of the District and to pay such administrative expenses; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279180013	\$39,620.52
279180014	\$10,265.30
279180015	\$2,611.34
279180016	\$6,303.26
279180018	\$8,644.46
279180025	\$1,981.02
279301001	\$900.46
279301002	\$900.46
279301003	\$900.46
279301004	\$900.46
279301005	\$900.46
279301006	\$900.46
279301007	\$900.46
279301008	\$900.46
279301009	\$900.46
279301010	\$900.46
279301011	\$900.46
279301012	\$900.46
279301013	\$900.46
279301014	\$900.46
279301015	\$900.46
279302001	\$900.46
279302002	\$900.46
279302003	\$900.46
279302004	\$900.46
279302005	\$900.46
279302006	\$900.46
279302007	\$900.46
279302008	\$900.46
279302009	\$900.46
279302010	\$900.46
279302011	\$900.46
279302012	\$900.46
279302013	\$900.46
279303001	\$900.46
279303002	\$900.46
279303003	\$900.46
279303004	\$900.46
279303005	\$900.46
279303006	\$900.46
279303007	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279303008	\$900.46
279303009	\$900.46
279303010	\$900.46
279303011	\$900.46
279303012	\$900.46
279303013	\$900.46
279303014	\$900.46
279303015	\$900.46
279303016	\$900.46
279303017	\$900.46
279303018	\$900.46
279303019	\$900.46
279303020	\$900.46
279311001	\$900.46
279311002	\$900.46
279311003	\$900.46
279311004	\$900.46
279311005	\$900.46
279311006	\$900.46
279311007	\$900.46
279311008	\$900.46
279311009	\$900.46
279311010	\$900.46
279311011	\$900.46
279311012	\$900.46
279311013	\$900.46
279311014	\$900.46
279311015	\$900.46
279311016	\$900.46
279311017	\$900.46
279311018	\$900.46
279311019	\$900.46
279311020	\$900.46
279311021	\$900.46
279311022	\$900.46
279311023	\$900.46
279311024	\$900.46
279312001	\$900.46
279312002	\$900.46
279312003	\$900.46
279312004	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279312005	\$900.46
279312006	\$900.46
279312007	\$900.46
279312008	\$900.46
279312009	\$900.46
279313001	\$900.46
279313002	\$900.46
279313003	\$900.46
279313004	\$900.46
279313005	\$900.46
279313006	\$900.46
279313007	\$900.46
279321001	\$900.46
279321002	\$900.46
279321003	\$900.46
279321004	\$900.46
279321005	\$900.46
279321006	\$900.46
279321007	\$900.46
279321008	\$900.46
279321009	\$900.46
279321010	\$900.46
279321011	\$900.46
279321012	\$900.46
279321013	\$900.46
279321014	\$900.46
279321015	\$900.46
279321016	\$900.46
279322001	\$900.46
279322002	\$900.46
279322003	\$900.46
279322004	\$900.46
279322005	\$900.46
279322006	\$900.46
279322007	\$900.46
279322008	\$900.46
279322009	\$900.46
279322010	\$900.46
279322011	\$900.46
279322012	\$900.46
279322013	\$900.46



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279322014	\$900.46
279322015	\$900.46
279322016	\$900.46
279322017	\$900.46
279322018	\$900.46
279322019	\$900.46
279322020	\$900.46
279322021	\$900.46
279322022	\$900.46
279322023	\$900.46
279322024	\$900.46
279322025	\$900.46
279322026	\$900.46
279322027	\$900.46
279322028	\$900.46
279322029	\$900.46
279322030	\$900.46
279322031	\$900.46
279322032	\$900.46
279322033	\$900.46
279323001	\$900.46
279323002	\$900.46
279323003	\$900.46
279323004	\$900.46
279323005	\$900.46
279331001	\$900.46
279331002	\$900.46
279331003	\$900.46
279331004	\$900.46
279331005	\$900.46
279331006	\$900.46
279331007	\$900.46
279331008	\$900.46
279331009	\$900.46
279331010	\$900.46
279331011	\$900.46
279331012	\$900.46
279331013	\$900.46
279331014	\$900.46
279331015	\$900.46
279331016	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279332001	\$900.46
279332002	\$900.46
279332003	\$900.46
279332004	\$900.46
279332005	\$900.46
279332006	\$900.46
279332007	\$900.46
279332008	\$900.46
279332009	\$900.46
279332010	\$900.46
279332011	\$900.46
279332012	\$900.46
279333001	\$900.46
279333002	\$900.46
279333003	\$900.46
279333004	\$900.46
279333005	\$900.46
279333006	\$900.46
279333007	\$900.46
279333008	\$900.46
279333009	\$900.46
279333010	\$900.46
279333011	\$900.46
279333012	\$900.46
279333013	\$900.46
279333014	\$900.46
279333015	\$900.46
279333016	\$900.46
279333017	\$900.46
279333018	\$900.46
279341001	\$900.46
279341002	\$900.46
279341003	\$900.46
279341004	\$900.46
279341005	\$900.46
279341006	\$900.46
279341007	\$900.46
279341008	\$900.46
279341009	\$900.46
279341010	\$900.46
279341011	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279341012	\$900.46
279341013	\$900.46
279341014	\$900.46
279341015	\$900.46
279341016	\$900.46
279341017	\$900.46
279341018	\$900.46
279341019	\$900.46
279342001	\$900.46
279342002	\$900.46
279342003	\$900.46
279342004	\$900.46
279342005	\$900.46
279342006	\$900.46
279342007	\$900.46
279342008	\$900.46
279342009	\$900.46
279342010	\$900.46
279342011	\$900.46
279342012	\$900.46
279342013	\$900.46
279342014	\$900.46
279342015	\$900.46
279342016	\$900.46
279342017	\$900.46
279342018	\$900.46
279342019	\$900.46
279342020	\$900.46
279342021	\$900.46
279343001	\$900.46
279343002	\$900.46
279343003	\$900.46
279343004	\$900.46
279343005	\$900.46
279343006	\$900.46
279343007	\$900.46
279343008	\$900.46
279343009	\$900.46
279343010	\$900.46
279343011	\$900.46
279351001	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279351002	\$900.46
279351003	\$900.46
279351004	\$900.46
279351005	\$900.46
279351006	\$900.46
279351007	\$900.46
279351008	\$900.46
279351009	\$900.46
279351010	\$900.46
279351011	\$900.46
279351012	\$900.46
279351013	\$900.46
279351014	\$900.46
279351015	\$900.46
279351016	\$900.46
279351017	\$900.46
279351018	\$900.46
279351019	\$900.46
279351020	\$900.46
279351021	\$900.46
279352001	\$900.46
279352002	\$900.46
279352003	\$900.46
279352004	\$900.46
279352005	\$900.46
279352006	\$900.46
279352007	\$900.46
279352008	\$900.46
279352009	\$900.46
279352010	\$900.46
279352011	\$900.46
279352012	\$900.46
279352013	\$900.46
279352014	\$900.46
279352015	\$900.46
279352016	\$900.46
279352017	\$900.46
279352018	\$900.46
279352019	\$900.46
279352020	\$900.46
279352021	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279352022	\$900.46
279352023	\$900.46
279352024	\$900.46
279352025	\$900.46
279352026	\$900.46
279352027	\$900.46
279352028	\$900.46
279352029	\$900.46
279352030	\$900.46
279352031	\$900.46
279352032	\$900.46
279352033	\$900.46
279352034	\$900.46
279352035	\$900.46
279352036	\$900.46
279352037	\$900.46
279352038	\$900.46
279352039	\$900.46
279352040	\$900.46
279352041	\$900.46
279361001	\$900.46
279361002	\$900.46
279361003	\$900.46
279361004	\$900.46
279361005	\$900.46
279361006	\$900.46
279361007	\$900.46
279361008	\$900.46
279361009	\$900.46
279361010	\$900.46
279361011	\$900.46
279362001	\$900.46
279362002	\$900.46
279362003	\$900.46
279362004	\$900.46
279362005	\$900.46
279362006	\$900.46
279362007	\$900.46
279362008	\$900.46
279363001	\$900.46
279363002	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279363003	\$900.46
279363004	\$900.46
279363005	\$900.46
279363006	\$900.46
279363007	\$900.46
279363008	\$900.46
279363009	\$900.46
279363010	\$900.46
279363011	\$900.46
279363012	\$900.46
279363013	\$900.46
279363014	\$900.46
279363015	\$900.46
279363016	\$900.46
279363017	\$900.46
279363018	\$900.46
279363019	\$900.46
279363020	\$900.46
279363021	\$900.46
279363022	\$900.46
279363023	\$900.46
279363024	\$900.46
279363025	\$900.46
279363026	\$900.46
279363027	\$900.46
279363028	\$900.46
279363029	\$900.46
279363030	\$900.46
279363031	\$900.46
279363032	\$900.46
279363033	\$900.46
279363034	\$900.46
279363035	\$900.46
279363036	\$900.46
279363037	\$900.46
279363038	\$900.46
279363039	\$900.46
279363040	\$900.46
279363041	\$900.46
279363042	\$900.46
279363043	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279363044	\$900.46
279363045	\$900.46
279363046	\$900.46
279363047	\$900.46
279363048	\$900.46
279363049	\$900.46
282020012	\$16,765.98
282040020	\$24,485.76
282361001	\$1,385.32
282361002	\$1,385.32
282361003	\$1,385.32
282361004	\$1,385.32
282361005	\$1,385.32
282361006	\$1,385.32
282361007	\$1,385.32
282361008	\$1,385.32
282361009	\$1,385.32
282361010	\$1,385.32
282361011	\$1,385.32
282362001	\$1,385.32
282362002	\$1,385.32
282362003	\$1,385.32
282362004	\$1,385.32
282362005	\$1,385.32
282362006	\$1,385.32
282362007	\$1,385.32
282362008	\$1,385.32
282362009	\$1,385.32
282362010	\$1,385.32
282362011	\$1,385.32
282362012	\$1,385.32
282362013	\$1,385.32
282362014	\$1,385.32
282362015	\$1,385.32
282362016	\$1,385.32
282362017	\$1,385.32
282362018	\$1,385.32
282362019	\$1,385.32
282363001	\$1,385.32
282363002	\$1,385.32
282363003	\$1,385.32

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282363004	\$1,385.32
282363005	\$1,385.32
282363006	\$1,385.32
282363007	\$1,385.32
282363008	\$1,385.32
282363009	\$1,385.32
282363010	\$1,385.32
282363011	\$1,385.32
282363012	\$1,385.32
282363013	\$1,385.32
282371001	\$1,385.32
282371002	\$1,385.32
282371003	\$1,385.32
282371004	\$1,385.32
282371005	\$1,385.32
282371006	\$1,385.32
282371007	\$1,385.32
282371014	\$1,385.32
282371015	\$1,385.32
282371016	\$1,385.32
282371017	\$1,385.32
282371018	\$1,385.32
282371019	\$1,385.32
282371020	\$1,385.32
282371021	\$1,385.32
282371022	\$1,385.32
282371023	\$1,385.32
282371024	\$1,385.32
282371025	\$1,385.32
282371026	\$1,385.32
282371027	\$1,385.32
282371028	\$1,385.32
282371034	\$1,385.32
282371035	\$1,385.32
282371036	\$1,385.32
282371037	\$1,385.32
282371038	\$1,385.32
282371039	\$1,385.32
282372001	\$1,385.32
282372002	\$1,385.32
282372003	\$1,385.32



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282372004	\$1,385.32
282372005	\$1,385.32
282372006	\$1,385.32
282372007	\$1,385.32
282381001	\$1,385.32
282381002	\$1,385.32
282381003	\$1,385.32
282381004	\$1,385.32
282381005	\$1,385.32
282381006	\$1,385.32
282381007	\$1,385.32
282381008	\$1,385.32
282381009	\$1,385.32
282381010	\$1,385.32
282382001	\$1,385.32
282382002	\$1,385.32
282382003	\$1,385.32
282382004	\$1,385.32
282382005	\$1,385.32
282382006	\$1,385.32
282382007	\$1,385.32
282382008	\$1,385.32
282382009	\$1,385.32
282382010	\$1,385.32
282382011	\$1,385.32
282382012	\$1,385.32
282382013	\$1,385.32
282382014	\$1,385.32
282382015	\$1,385.32
282382016	\$1,385.32
282382017	\$1,385.32
282391001	\$900.46
282391004	\$900.46
282391005	\$900.46
282391006	\$900.46
282391007	\$900.46
282391008	\$900.46
282391009	\$900.46
282391010	\$900.46
282391011	\$900.46
282391013	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282391014	\$900.46
282392001	\$900.46
282392002	\$900.46
282392003	\$900.46
282392004	\$900.46
282392005	\$900.46
282392006	\$900.46
282392007	\$900.46
282392008	\$900.46
282392009	\$900.46
282392010	\$900.46
282393001	\$900.46
282393002	\$900.46
282393003	\$900.46
282393004	\$900.46
282393005	\$900.46
282393006	\$900.46
282393007	\$900.46
282393008	\$900.46
282393009	\$900.46
282393010	\$900.46
282393011	\$900.46
282393012	\$900.46
282393013	\$900.46
282393014	\$900.46
282393015	\$900.46
282393016	\$900.46
282393017	\$900.46
282393018	\$900.46
282393019	\$900.46
282393020	\$900.46
282393021	\$900.46
282393022	\$900.46
282393023	\$900.46
282393024	\$900.46
282393025	\$900.46
282394001	\$900.46
282394002	\$900.46
282394003	\$900.46
282394004	\$900.46
282394005	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282394006	\$900.46
282394007	\$900.46
282394008	\$900.46
282394009	\$900.46
282394010	\$900.46
282394011	\$900.46
282394012	\$900.46
282394013	\$900.46
282394014	\$900.46
282401001	\$900.46
282401002	\$900.46
282401003	\$900.46
282401004	\$900.46
282401005	\$900.46
282401006	\$900.46
282401007	\$900.46
282401008	\$900.46
282401009	\$900.46
282401010	\$900.46
282401011	\$900.46
282401012	\$900.46
282401013	\$900.46
282401014	\$900.46
282401015	\$900.46
282401016	\$900.46
282401017	\$900.46
282401018	\$900.46
282401019	\$900.46
282401020	\$900.46
282401021	\$900.46
282401022	\$900.46
282401023	\$900.46
282401024	\$900.46
282401025	\$900.46
282402001	\$900.46
282402002	\$900.46
282402003	\$900.46
282402004	\$900.46
282402005	\$900.46
282402006	\$900.46
282402007	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282402008	\$900.46
282402009	\$900.46
282402010	\$900.46
282402011	\$900.46
282402012	\$900.46
282402013	\$900.46
282402014	\$900.46
282402015	\$900.46
282402016	\$900.46
282402017	\$900.46
282402018	\$900.46
282402019	\$900.46
282402020	\$900.46
282402021	\$900.46
282411001	\$900.46
282411002	\$900.46
282412001	\$900.46
282412002	\$900.46
282412003	\$900.46
282412004	\$900.46
282412005	\$900.46
282412006	\$900.46
282412007	\$900.46
282413001	\$900.46
282413002	\$900.46
282413003	\$900.46
282413004	\$900.46
282413005	\$900.46
282413006	\$900.46
282413007	\$900.46
282413008	\$900.46
282413009	\$900.46
282413010	\$900.46
282413011	\$900.46
282413012	\$900.46
282413013	\$900.46
282413014	\$900.46
282413015	\$900.46
282413016	\$900.46
282413017	\$900.46
282413018	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282413019	\$900.46
282413020	\$900.46
282413021	\$900.46
282413022	\$900.46
282413023	\$900.46
282413024	\$900.46
282413025	\$900.46
282414001	\$900.46
282414002	\$900.46
282414003	\$900.46
282414004	\$900.46
282414005	\$900.46
282414006	\$900.46
282414007	\$900.46
282414008	\$900.46
282414009	\$900.46
282414010	\$900.46
282414011	\$900.46
282414012	\$900.46
282414013	\$900.46
282414014	\$900.46
282414015	\$900.46
282414016	\$900.46
282421001	\$900.46
282421002	\$900.46
282421003	\$900.46
282421005	\$900.46
282421007	\$900.46
282421008	\$900.46
282421009	\$900.46
282421010	\$900.46
282421011	\$900.46
282421012	\$900.46
282421013	\$900.46
282421014	\$900.46
282421015	\$900.46
282421016	\$900.46
282421017	\$900.46
282421019	\$900.46
282421020	\$900.46
282421021	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282421022	\$900.46
282421024	\$900.46
282421025	\$900.46
282421026	\$900.46
282421027	\$900.46
282421028	\$900.46
282421029	\$900.46
282421031	\$900.46
282421032	\$900.46
282421033	\$900.46
282421034	\$900.46
282421036	\$900.46
282421037	\$900.46
282421038	\$900.46
282421039	\$900.46
282421040	\$900.46
282421041	\$900.46
282421042	\$900.46
282421044	\$900.46
282421045	\$900.46
282421046	\$900.46
282421047	\$900.46
282421048	\$900.46
282421050	\$900.46
282421051	\$900.46
282421053	\$900.46
282421054	\$900.46
282421055	\$900.46
282421056	\$900.46
282421057	\$900.46
282421059	\$900.46
282421060	\$900.46
282421061	\$900.46
282421062	\$900.46
282421063	\$900.46
282421065	\$900.46
282421066	\$900.46
282421067	\$900.46
282421068	\$900.46
282421069	\$900.46
282421070	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282421071	\$900.46
282421073	\$900.46
282421074	\$900.46
282421075	\$900.46
282421076	\$900.46
282421077	\$900.46
282421078	\$900.46
282431001	\$900.46
282431002	\$900.46
282431003	\$900.46
282431005	\$900.46
282431006	\$900.46
282431007	\$900.46
282431008	\$900.46
282431009	\$900.46
282431010	\$900.46
282431011	\$900.46
282431012	\$900.46
282431013	\$900.46
282431015	\$900.46
282431016	\$900.46
282431017	\$900.46
282431018	\$900.46
282431019	\$900.46
282431020	\$900.46
282431021	\$900.46
282431022	\$900.46
282431023	\$900.46
282431024	\$900.46
282431026	\$900.46
282431027	\$900.46
282431029	\$900.46
282431030	\$900.46
282431031	\$900.46
282431032	\$900.46
282431033	\$900.46
282431035	\$900.46
282431036	\$900.46
282431037	\$900.46
282431038	\$900.46
282431039	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282431041	\$900.46
282431042	\$900.46
282431043	\$900.46
282431045	\$900.46
282431046	\$900.46
282431047	\$900.46
282431048	\$900.46
282431049	\$900.46
282431050	\$900.46
282431051	\$900.46
282431052	\$900.46
282431053	\$900.46
282431054	\$900.46
282431055	\$900.46
282431056	\$900.46
282431058	\$900.46
282431059	\$900.46
282431060	\$900.46
282431061	\$900.46
282431062	\$900.46
282431063	\$900.46
282431065	\$900.46
282431067	\$900.46
282431068	\$900.46
282431070	\$900.46
282431071	\$900.46
282431072	\$900.46
282441001	\$900.46
282441002	\$900.46
282441003	\$900.46
282441004	\$900.46
282441005	\$900.46
282441006	\$900.46
282441007	\$900.46
282441008	\$900.46
282441010	\$900.46
282441011	\$900.46
282441012	\$900.46
282441013	\$900.46
282441014	\$900.46
282441015	\$900.46



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282441016	\$900.46
282441017	\$900.46
282441019	\$900.46
282441020	\$900.46
282441022	\$900.46
282441023	\$900.46
282441024	\$900.46
282441025	\$900.46
282441026	\$900.46
282441027	\$900.46
282441028	\$900.46
282441029	\$900.46
282441031	\$900.46
282441032	\$900.46
282441033	\$900.46
282441034	\$900.46
282441035	\$900.46
282441036	\$900.46
282441037	\$900.46
282441038	\$900.46
282441040	\$900.46
282441041	\$900.46
282441042	\$900.46
282441043	\$900.46
282441044	\$900.46
282441045	\$900.46
282441046	\$900.46
282441047	\$900.46
282441049	\$900.46
282441050	\$900.46
282441051	\$900.46
282441052	\$900.46
282441053	\$900.46
282441055	\$900.46
282441056	\$900.46
282441057	\$900.46
282441058	\$900.46
282441059	\$900.46
282441060	\$900.46
282441061	\$900.46
282441063	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282441064	\$900.46
282441065	\$900.46
282441066	\$900.46
282441067	\$900.46
282441068	\$900.46
282441069	\$900.46
282441070	\$900.46
282441071	\$900.46
282441073	\$900.46
282441074	\$900.46
282441075	\$900.46
282441076	\$900.46
282441078	\$900.46
282441079	\$900.46
282441080	\$900.46
282441081	\$900.46
282441083	\$900.46
282441084	\$900.46
282441085	\$900.46
282441086	\$900.46
282461001	\$900.46
282461002	\$900.46
282461003	\$900.46
282461004	\$900.46
282461005	\$900.46
282462001	\$900.46
282462002	\$900.46
282462003	\$900.46
282462004	\$900.46
282462005	\$900.46
282462006	\$900.46
282462007	\$900.46
282462008	\$900.46
282463001	\$900.46
282463002	\$900.46
282463003	\$900.46
282463004	\$900.46
282464001	\$900.46
282464002	\$900.46
282464003	\$900.46
282464004	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282464005	\$900.46
282464006	\$900.46
282464007	\$900.46
282464009	\$900.46
282464010	\$900.46
282464011	\$900.46
282464012	\$900.46
282464013	\$900.46
282464014	\$900.46
282464015	\$900.46
282464016	\$900.46
282464017	\$900.46
282464018	\$900.46
282464019	\$900.46
282464025	\$900.46
282471001	\$900.46
282471002	\$900.46
282471003	\$900.46
282471004	\$900.46
282471005	\$900.46
282472001	\$900.46
282472002	\$900.46
282472003	\$900.46
282472004	\$900.46
282472005	\$900.46
282472006	\$900.46
282472007	\$900.46
282472008	\$900.46
282472009	\$900.46
282472010	\$900.46
282472011	\$900.46
282472012	\$900.46
282472013	\$900.46
282472014	\$900.46
282472015	\$900.46
282472016	\$900.46
282472017	\$900.46
282472018	\$900.46
282472019	\$900.46
282472020	\$900.46
282472021	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282472022	\$900.46
282472024	\$1,385.32
282472025	\$1,385.32
282472026	\$1,385.32
282472027	\$1,385.32
282472028	\$1,385.32
282472029	\$1,385.32
282472030	\$1,385.32
282472031	\$1,385.32
282472032	\$1,385.32
282472033	\$1,385.32
282473001	\$1,385.32
282473002	\$1,385.32
282473003	\$1,385.32
282473004	\$1,385.32
282473005	\$1,385.32
282473006	\$1,385.32
282473007	\$1,385.32
282473008	\$1,385.32
282480001	\$900.46
282480002	\$900.46
282480003	\$900.46
282480004	\$900.46
282480005	\$900.46
282480006	\$900.46
282480007	\$900.46
282480008	\$900.46
282480009	\$900.46
282480010	\$900.46
282480011	\$900.46
282480012	\$900.46
282480013	\$900.46
282480014	\$900.46
282480015	\$900.46
282480016	\$900.46
282480017	\$900.46
282480018	\$900.46
282480019	\$900.46
282480020	\$900.46
282480021	\$900.46
282480022	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282480023	\$900.46
282491002	\$900.46
282491003	\$900.46
282491004	\$900.46
282491005	\$900.46
282491006	\$900.46
282491007	\$900.46
282491009	\$1,385.32
282491010	\$1,385.32
282491011	\$1,385.32
282491013	\$1,385.32
282491023	\$1,385.32
282491024	\$1,385.32
282491025	\$900.46
282492002	\$900.46
282492003	\$900.46
282492004	\$900.46
282492005	\$900.46
282492006	\$900.46
282492007	\$900.46
282492010	\$900.46
282501001	\$900.46
282501002	\$900.46
282501003	\$900.46
282501004	\$900.46
282501005	\$900.46
282501006	\$900.46
282501007	\$900.46
282501008	\$900.46
282501009	\$900.46
282501010	\$900.46
282501011	\$900.46
282501012	\$900.46
282501013	\$900.46
282501014	\$900.46
282501015	\$900.46
282501016	\$900.46
282501017	\$900.46
282501018	\$900.46
282501019	\$900.46
282501020	\$900.46

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282501021	\$900.46
282501022	\$900.46
282501023	\$900.46
282501024	\$900.46
282501025	\$900.46
282501026	\$900.46
282501027	\$900.46
282501028	\$900.46
282501029	\$900.46
282501030	\$900.46
282501031	\$900.46
282501032	\$900.46
282501033	\$900.46
282501034	\$900.46
282501035	\$900.46
282502001	\$900.46
282502002	\$900.46
282502003	\$900.46
282502004	\$900.46
282502005	\$900.46
282502006	\$900.46
282502007	\$900.46
282502008	\$900.46
282502009	\$900.46
282502010	\$900.46
282502011	\$900.46
282502014	\$900.46
282502015	\$900.46
282502017	\$900.46
282502018	\$900.46
282511001	\$1,385.32
282511002	\$1,385.32
282511003	\$1,385.32
282511004	\$1,385.32
282511005	\$1,385.32
282511006	\$1,385.32
282512001	\$1,385.32
282512002	\$1,385.32
282512003	\$1,385.32
282512004	\$1,385.32
282512005	\$1,385.32

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282512006	\$1,385.32
282512007	\$1,385.32
282512008	\$1,385.32
282512009	\$1,385.32
282512010	\$1,385.32
282512011	\$1,385.32
282513001	\$1,385.32
282513002	\$1,385.32
282513003	\$1,385.32
282513004	\$1,385.32
282513005	\$1,385.32
282513006	\$1,385.32
282513007	\$1,385.32
282513008	\$1,385.32
282513009	\$1,385.32
282513010	\$1,385.32
282513011	\$1,385.32
282513012	\$1,385.32
282513013	\$1,385.32
282513014	\$1,385.32
282513015	\$1,385.32
282513016	\$1,385.32
282520001	\$1,385.32
282520002	\$1,385.32
282520003	\$1,385.32
282520004	\$1,385.32
282520005	\$1,385.32
282520008	\$1,385.32
282520009	\$1,385.32
282520010	\$1,385.32
282520011	\$1,385.32
282520013	\$1,385.32
282520014	\$1,385.32
282520016	\$1,385.32
282520017	\$1,385.32
282521001	\$1,385.32
282521002	\$1,385.32
282531001	\$1,385.32
282531002	\$1,385.32
282531003	\$1,385.32
282531004	\$1,385.32

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282531005	\$1,385.32
282531006	\$1,385.32
282531007	\$1,385.32
282531008	\$1,385.32
282531009	\$1,385.32
282531010	\$1,385.32
282531011	\$1,385.32
282531012	\$1,385.32
282532001	\$1,385.32
282532002	\$1,385.32
282532003	\$1,385.32
282532004	\$1,385.32
282532005	\$1,385.32
282532006	\$1,385.32
282532007	\$1,385.32
282532008	\$1,385.32
282532009	\$1,385.32
282532010	\$1,385.32
282532016	\$1,385.32
282532017	\$1,385.32
282532018	\$1,385.32
282532019	\$1,385.32
282532020	\$1,385.32
282532021	\$1,385.32
282532022	\$1,385.32
<b>Total</b>	<b>\$1,185,756.98</b>





Staff Report

---

**File #:** 21-0655

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Resolutions levying special taxes to be collected during Fiscal Year 2022 for the City's maintenance and services Community Facilities Districts.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolutions will allow the City to levy and collect Fiscal Year 2022 special taxes.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Adopt Resolution No. 2021-079, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2016-2 (Terrassa), Special Tax B.
- b. Adopt Resolution No. 2021-080, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2017-2 (Valencia/Seville), Special Tax B.
- c. Adopt Resolution No. 2021-081, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2018-1 (Bedford), Special Tax B.
- d. Adopt Resolution No. 2021-082, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2018-2 (Sierra Bella), Special Tax B.

- e. Adopt Resolution No. 2021-083, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 97-1 (South Corona Landscape).
- f. Adopt Resolution No. 2021-084, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of storm drainage facilities within Community Facilities District No. 2000-1 (Eagle Glen II).
- g. Adopt Resolution No. 2021-085, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 2002-2.
- h. Adopt Resolution No. 2021-086, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 2002-3.
- i. Adopt Resolution No. 2021-087, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of the operation, maintenance and lighting of parkways, streets, road and open space within Community Facilities District No. 2011-1.
- j. Adopt Resolution No. 2021-088, levying special taxes to be collected during Fiscal Year 2022 for the payment of the annual cost of maintenance services within Community Facilities District No. 2016-3 (Maintenance Services).

**BACKGROUND & HISTORY:**

Pursuant to the Mello-Roos Community Facilities Act of 1982, Community Facilities Districts (the "Districts") listed under the Recommended Action section were formed to levy special taxes for the payment of the annual cost of, but not limited to, maintenance and lighting of parks, parkways, streets, roads, and open space, maintenance and operation of water quality improvements, maintenance and operation of traffic signals, public street sweeping, and reserve funds for replacement of improvements within the Districts and the surrounding areas, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes.

**ANALYSIS:**

It is necessary that the City Council levy special taxes for the payment of the annual costs of the operation and maintenance of parkways and open space within the Districts, pursuant to Section 53340 of the Government Code. Special taxes within the Districts are levied in an amount necessary to satisfy the Operation and Maintenance Special Tax Requirement, as defined in the Districts' Rate and Method of Apportionment (the "RMA"). Any necessary replenishment or expenditure of the reserve funds and an amount estimated for administrative expenses during the year are included in the levy. The special taxes levied will not exceed the authorized amounts as provided in the RMA.

**FINANCIAL IMPACT:**

Every fiscal year, each Districts budgeted operating costs and estimated revenues are reviewed by staff. The budgeted operating costs are determined by the prior year actual costs for service and projected costs for the same services and any capital improvement projects needed for the next fiscal year. Additionally, the projected revenues are estimated based on the RMA allowable special tax rates and the properties within the District boundaries including anticipated development for the newer Districts. A summary of Fiscal Year 2022 estimated levies and operating costs for the Districts are presented in Exhibit 1.

Column "YOY % Change in Levy Rate" in Exhibit 1 shows the changes to the proposed levy rates in Fiscal Year 2022 compared to Fiscal Year 2021. The majority of the Districts are changing from 0%-10% as stated in the Exhibit. Six (6) zones in CFD 2016-3 were newly established during Fiscal Year 2021 and not levied in Fiscal Year 2021. Therefore, the comparison between the two years is not applicable.

Each District fully covers its operating and administration costs except the following:

- i. CFD No. 2016-2 Tax B where budgeted operating costs exceed the allowable special taxes. This is being reviewed by the Community Services Department to determine whether there are any cost reduction opportunities. There are sufficient reserve funds to cover the anticipated Fiscal Year 2022 deficit.
- ii. CFD No. 2002-3: it is recommended to maintain the levy at approximately 30% of the maximum allowable tax due to excess capital reserve funds.
- iii. CFD No. 2011-1: it is recommended to increase the levy by 10% this fiscal year in order to account for an 80% increase in costs from increased services for landscaping and lighting and to build up the capital reserve funds for future improvements.

Pursuant to the Mello-Roos Community Facilities Act of 1982 (the "Act"), an adequate amount is retained in the reserve fund to maintain the financial stability of the Districts.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely sets the special taxes to be levied and collected within the Districts for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environment analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Summary of Estimated Levies & Operating Costs for the Districts
2. Exhibit 2 - Boundary Map for Resolution No. 2021-079
3. Exhibit 3 - Resolution No. 2021-079
4. Exhibit 4 - Boundary Map for Resolution No. 2021-080
5. Exhibit 5 - Resolution No. 2021-080
6. Exhibit 6 - Boundary Map for Resolution No. 2021-081
7. Exhibit 7 - Resolution No. 2021-081
8. Exhibit 8 - Boundary Map for Resolution No. 2021-082
9. Exhibit 9 - Resolution No. 2021-082
10. Exhibit 10 - Boundary Map for Resolution No. 2021-083
11. Exhibit 11 - Resolution No. 2021-083
12. Exhibit 12 - Boundary Map for Resolution No. 2021-084
13. Exhibit 13 - Resolution No. 2021-084
14. Exhibit 14 - Boundary Map for Resolution No. 2021-085
15. Exhibit 15 - Resolution No. 2021-085
16. Exhibit 16 - Boundary Map for Resolution No. 2021-086
17. Exhibit 17 - Resolution No. 2021-086
18. Exhibit 18 - Boundary Map for Resolution No. 2021-087
19. Exhibit 19 - Resolution No. 2021-087
20. Exhibit 20 - Boundary Map for Resolution No. 2021-088
21. Exhibit 21 - Resolution No. 2021-088

Exhibit 1 - Summary of Estimated Levies & Operating Costs for the Districts

CFD No.	Resolution No.	Estimated Operating Costs	Estimated Levy	Estimated Excess/ (Deficit)	% of Max Tax	YOY % Change in Levy Rate	Notes
CFD No. 2016-2 Tax B	2021-079	\$ 52,821	\$ 33,586	\$ (19,235)	100.00%	3.56%	(1) & (2)
CFD No. 2017-2 Tax B	2021-080	\$ 34,840	\$ 44,123	\$ 9,283	100.00%	3.56%	(1)
CFD No. 2018-1 Tax B	2021-081	\$ 112,929	\$ 147,611	\$ 34,682	100.00%	3.56%	(1)
CFD No. 2018-2 Tax B	2021-082	\$ 51,872	\$ 84,901	\$ 33,029	100.00%	3.56%	(1)
CFD No. 97-1	2021-083	\$ 351,740	\$ 422,619	\$ 70,879	92.25%	0.00%	
CFD No. 2000-1 O&M	2021-084	\$ 4,950	\$ 21,991	\$ 17,041	38.01%	0.00%	
CFD No. 2002-2	2021-085	\$ 57,053	\$ 71,779	\$ 14,726	51.57%	0.00%	
CFD No. 2002-3	2021-086	\$ 27,750	\$ 17,219	\$ (10,531)	29.70%	0.00%	(3)
CFD No. 2011-1	2021-087	\$ 106,871	\$ 85,249	\$ (21,622)	45.66%	10.00%	(3) & (4)
CFD No. 2016-3 Zone 2		\$ 49,377	\$ 61,316	\$ 11,939	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 3		\$ 1,607	\$ 2,672	\$ 1,065	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 4		\$ 3,937	\$ 10,981	\$ 7,044	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 6		\$ 32,131	\$ 41,462	\$ 9,331	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 8		\$ 2,010	\$ 3,776	\$ 1,766	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 12		\$ -	\$ 1,912	\$ 1,912	100.00%	N/A	(5)
CFD No. 2016-3 Zone 13	2021-088	\$ 20,013	\$ 20,130	\$ 117	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 15		\$ 854	\$ 1,141	\$ 287	100.00%	3.56%	(1)
CFD No. 2016-3 Zone 17		\$ -	\$ 17,532	\$ 17,532	100.00%	N/A	(5)
CFD No. 2016-3 Zone 18		\$ -	\$ 5,606	\$ 5,606	100.00%	N/A	(5)
CFD No. 2016-3 Zone 20		\$ -	\$ 18,016	\$ 18,016	100.00%	N/A	(5)
CFD No. 2016-3 Zone 21		\$ -	\$ 4,690	\$ 4,690	100.00%	N/A	(5)
CFD No. 2016-3 Zone 22		\$ -	\$ 5,694	\$ 5,694	100.00%	N/A	(5)

**Notes:**

<sup>(1)</sup> Proposed levy increased by Consumer Price Index of 3.56% for March 2021 as defined in the RMA.

<sup>(2)</sup> Estimated operating costs for CFD No. 2016-2 Tax B is being reviewed by Community Services department for possible budget reduction.

<sup>(3)</sup> Estimated operating deficit will be covered by a one-time contribution from the capital reserve.

<sup>(4)</sup> Proposed levy increased by 10% is necessary to build up capital reserve for CFD No. 2011-1 for future improvements.

<sup>(5)</sup> First year of levy





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-2

**RESOLUTION NO. 2021-079**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF MAINTENANCE SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2016-2 (TERRASSA), SPECIAL TAX B**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2016-2 (Terrassa) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes identified as Special Tax B in Resolution No. 2016-025 for the payment of the annual costs of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas in public street right-of-ways, public landscaping, public open spaces and other similar landscape areas officially assigned for public use, including landscape maintenance, street sweeping and maintenance of operation of water quality improvements (collectively, “Improvements”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-069 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of maintaining, servicing, cleaning, repairing and/or replacing the Improvements within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax B in Resolution No. 2016-025, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each

such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361001	\$230.04
277361002	\$230.04
277361003	\$230.04
277361004	\$230.04
277361005	\$230.04
277361006	\$230.04
277361007	\$230.04
277361008	\$230.04
277361010	\$230.04
277361011	\$230.04
277361012	\$230.04
277361013	\$230.04
277361014	\$230.04
277361016	\$230.04
277361017	\$230.04
277361018	\$230.04
277361020	\$230.04
277361021	\$230.04
277361022	\$230.04
277361023	\$230.04
277361024	\$230.04
277361025	\$230.04
277361026	\$230.04
277361027	\$230.04
277361028	\$230.04
277361029	\$230.04
277361030	\$230.04
277361031	\$230.04
277361032	\$230.04
277361033	\$230.04
277361034	\$230.04
277361036	\$230.04
277361037	\$230.04
277361038	\$230.04
277361039	\$230.04
277361040	\$230.04
277361041	\$230.04
277361043	\$230.04
277361044	\$230.04
277361045	\$230.04
277361046	\$230.04

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277361047	\$230.04
277361048	\$230.04
277361049	\$230.04
277361051	\$230.04
277361052	\$230.04
277361053	\$230.04
277361054	\$230.04
277361055	\$230.04
277361057	\$230.04
277361058	\$230.04
277361060	\$230.04
277361061	\$230.04
277361062	\$230.04
277361063	\$230.04
277361065	\$230.04
277361066	\$230.04
277361067	\$230.04
277361068	\$230.04
277361069	\$230.04
277361071	\$230.04
277361072	\$230.04
277361073	\$230.04
277361074	\$230.04
277361075	\$230.04
277361076	\$230.04
277361077	\$230.04
277361078	\$230.04
277361080	\$230.04
277361081	\$230.04
277361082	\$230.04
277361083	\$230.04
277361084	\$230.04
277361085	\$230.04
277361086	\$230.04
277362001	\$230.04
277362002	\$230.04
277362003	\$230.04
277362004	\$230.04
277362005	\$230.04
277362006	\$230.04
277362007	\$230.04

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277362008	\$230.04
277362009	\$230.04
277362010	\$230.04
277362011	\$230.04
277362012	\$230.04
277362016	\$230.04
277362017	\$230.04
277362018	\$230.04
277362019	\$230.04
277362020	\$230.04
277362021	\$230.04
277362022	\$230.04
277362023	\$230.04
277362025	\$230.04
277362026	\$230.04
277362027	\$230.04
277362028	\$230.04
277362029	\$230.04
277362030	\$230.04
277362031	\$230.04
277362032	\$230.04
277362034	\$230.04
277362035	\$230.04
277362036	\$230.04
277362037	\$230.04
277362038	\$230.04
277362039	\$230.04
277362040	\$230.04
277362041	\$230.04
277362044	\$230.04
277362045	\$230.04
277362046	\$230.04
277362047	\$230.04
277362048	\$230.04
277362049	\$230.04
277362050	\$230.04
277362051	\$230.04
277362053	\$230.04
277362054	\$230.04
277362055	\$230.04
277362056	\$230.04

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
277362057	\$230.04
277362058	\$230.04
277362059	\$230.04
277362060	\$230.04
277362061	\$230.04
277362062	\$230.04
277362063	\$230.04
277362065	\$230.04
277362066	\$230.04
277362067	\$230.04
277362068	\$230.04
277362069	\$230.04
277362070	\$230.04
277362071	\$230.04
277362072	\$230.04
277362074	\$230.04
277362075	\$230.04
277362076	\$230.04
277362077	\$230.04
277362078	\$230.04
277362079	\$230.04
277362080	\$230.04
277362081	\$230.04
<b>Total</b>	<b>\$33,585.84</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2017-2

**RESOLUTION NO. 2021-080**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF MAINTENANCE SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2017-2 (VALENCIA/SEVILLE), SPECIAL TAX B**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2017-2 (Valencia/Seville) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes identified as Special Tax B in Resolution No. 2017-058 for the payment of the annual cost of maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements, public street sweeping and reserve fund for replacement (collectively, “Improvements”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-070 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of maintaining, servicing, cleaning, repairing and/or replacing the Improvements within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax B in Resolution No. 2017-058, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall



be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041001	\$479.60
120041002	\$479.60
120041003	\$479.60
120041004	\$479.60
120041005	\$479.60
120041006	\$479.60
120041007	\$479.60
120041008	\$479.60
120041009	\$479.60
120041010	\$479.60
120041011	\$479.60
120041012	\$479.60
120041013	\$479.60
120041014	\$479.60
120041015	\$479.60
120041016	\$479.60
120041017	\$479.60
120041018	\$479.60
120041019	\$479.60
120041020	\$479.60
120041021	\$479.60
120041022	\$479.60
120041023	\$479.60
120041024	\$479.60
120041025	\$479.60
120041026	\$479.60
120041027	\$479.60
120041028	\$479.60
120041029	\$479.60
120041030	\$479.60
120041031	\$479.60
120041032	\$479.60
120041033	\$479.60
120041034	\$479.60
120041035	\$479.60
120041036	\$479.60
120041037	\$479.60
120041038	\$479.60
120041039	\$479.60
120041040	\$479.60
120041041	\$479.60

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041042	\$479.60
120041043	\$479.60
120041044	\$479.60
120041045	\$479.60
120041046	\$479.60
120041047	\$479.60
120041048	\$479.60
120041049	\$479.60
120041050	\$479.60
120041051	\$479.60
120041052	\$479.60
120041053	\$479.60
120041054	\$479.60
120041055	\$479.60
120041056	\$479.60
120041057	\$479.60
120041058	\$479.60
120041059	\$479.60
120041060	\$479.60
120041061	\$479.60
120041062	\$479.60
120041063	\$479.60
120041064	\$479.60
120041065	\$479.60
120041066	\$479.60
120041067	\$479.60
120041068	\$479.60
120041069	\$479.60
120041070	\$479.60
120041071	\$479.60
120041072	\$479.60
120041073	\$479.60
120041074	\$479.60
120041075	\$479.60
120041076	\$479.60
120041077	\$479.60
120041078	\$479.60
120041079	\$479.60
120041080	\$479.60
120041081	\$479.60
120041082	\$479.60

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2017-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120041083	\$479.60
120041084	\$479.60
120041085	\$479.60
120041086	\$479.60
120041087	\$479.60
120041088	\$479.60
120041089	\$479.60
120041090	\$479.60
120041091	\$479.60
120041092	\$479.60
<b>Total</b>	<b>\$44,123.20</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2018-1  
IMPROVEMENT AREA 1 TAX B





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2018-1  
IMPROVEMENT AREA 5 TAX B

## **RESOLUTION NO. 2021-081**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF MAINTENANCE SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2018-1 (BEDFORD), SPECIAL TAX B**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2018-1 (Bedford) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes identified as Special Tax B in Resolution No. 2018-035 for the payment of the annual cost of maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements, maintenance and operation of traffic signals, public street sweeping and reserve fund for replacement (collectively, “Improvements”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-071 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of maintaining, servicing, cleaning, repairing and/or replacing the Improvements within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax B in Resolution No. 2018-035, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes

shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282790013	\$1,360.38
282790014	\$1,813.84
282790016	\$680.19
282790017	\$453.46
282790021	\$1,360.38
282790022	\$1,360.38
282790023	\$1,360.38
282790024	\$1,360.38
282790025	\$1,360.38
282791001	\$226.73
282791002	\$226.73
282791003	\$226.73
282791005	\$226.73
282791006	\$226.73
282791007	\$226.73
282791009	\$226.73
282791010	\$226.73
282791011	\$226.73
282791012	\$226.73
282791013	\$226.73
282791014	\$226.73
282791016	\$226.73
282791017	\$226.73
282791018	\$226.73
282791019	\$226.73
282791020	\$226.73
282791021	\$226.73
282791023	\$226.73
282791024	\$226.73
282791025	\$226.73
282791026	\$226.73
282791027	\$226.73
282791028	\$226.73
282791030	\$226.73
282791031	\$226.73
282791032	\$226.73
282791033	\$226.73
282791034	\$226.73
282791035	\$226.73
282791037	\$226.73
282791038	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282791039	\$226.73
282791041	\$226.73
282791042	\$226.73
282791043	\$226.73
282791046	\$226.73
282791047	\$226.73
282791048	\$226.73
282791050	\$226.73
282791051	\$226.73
282791052	\$226.73
282791055	\$226.73
282791056	\$226.73
282791057	\$226.73
282791058	\$226.73
282791059	\$226.73
282791062	\$226.73
282791063	\$226.73
282791064	\$226.73
282791065	\$226.73
282791070	\$226.73
282791071	\$226.73
282791072	\$226.73
282791073	\$226.73
282791074	\$226.73
282791076	\$226.73
282791077	\$226.73
282791078	\$226.73
282791079	\$226.73
282791080	\$226.73
282791086	\$226.73
282791087	\$226.73
282791088	\$226.73
282791089	\$226.73
282792001	\$226.73
282792002	\$226.73
282792003	\$226.73
282792004	\$226.73
282792005	\$226.73
282792006	\$226.73
282792007	\$226.73
282792009	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792010	\$226.73
282792011	\$226.73
282792012	\$226.73
282792014	\$226.73
282792015	\$226.73
282792016	\$226.73
282792017	\$226.73
282792019	\$226.73
282792020	\$226.73
282792021	\$226.73
282792022	\$226.73
282792023	\$226.73
282792024	\$226.73
282792025	\$226.73
282792026	\$226.73
282792028	\$226.73
282792029	\$226.73
282792030	\$226.73
282792031	\$226.73
282792032	\$226.73
282792033	\$226.73
282792034	\$226.73
282792035	\$226.73
282792036	\$226.73
282792037	\$226.73
282792038	\$226.73
282792039	\$226.73
282792040	\$226.73
282792041	\$226.73
282792042	\$226.73
282792044	\$226.73
282792045	\$226.73
282792046	\$226.73
282792047	\$226.73
282792048	\$226.73
282792049	\$226.73
282792051	\$226.73
282792052	\$226.73
282792053	\$226.73
282792054	\$226.73
282792055	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282792056	\$226.73
282792058	\$226.73
282792059	\$226.73
282792060	\$226.73
282792061	\$226.73
282792062	\$226.73
282792063	\$226.73
282792064	\$226.73
282792065	\$226.73
282792066	\$226.73
282792067	\$226.73
282792068	\$226.73
282792069	\$226.73
282792070	\$226.73
282792071	\$226.73
282792073	\$226.73
282792074	\$226.73
282792075	\$226.73
282792076	\$226.73
282792077	\$226.73
282792080	\$226.73
282792081	\$226.73
282792082	\$226.73
282792083	\$226.73
282792084	\$226.73
282792087	\$226.73
282792088	\$226.73
282792089	\$226.73
282792090	\$226.73
282792091	\$226.73
282793001	\$226.73
282793002	\$226.73
282793003	\$226.73
282793004	\$226.73
282793005	\$226.73
282793006	\$226.73
282793007	\$226.73
282793008	\$226.73
282793010	\$226.73
282793011	\$226.73
282793012	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282793013	\$226.73
282793014	\$226.73
282793015	\$226.73
282793016	\$226.73
282793017	\$226.73
282793019	\$226.73
282793020	\$226.73
282793021	\$226.73
282793022	\$226.73
282793023	\$226.73
282793024	\$226.73
282793025	\$226.73
282793026	\$226.73
282793028	\$226.73
282793029	\$226.73
282793030	\$226.73
282793031	\$226.73
282793032	\$226.73
282793033	\$226.73
282793034	\$226.73
282793035	\$226.73
282793037	\$226.73
282793038	\$226.73
282793039	\$226.73
282793040	\$226.73
282793041	\$226.73
282793042	\$226.73
282793043	\$226.73
282793044	\$226.73
282793046	\$226.73
282793047	\$226.73
282793048	\$226.73
282793049	\$226.73
282793050	\$226.73
282793051	\$226.73
282793052	\$226.73
282793053	\$226.73
282793055	\$226.73
282793056	\$226.73
282793057	\$226.73
282793058	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282793059	\$226.73
282793060	\$226.73
282793061	\$226.73
282793062	\$226.73
282793064	\$226.73
282793065	\$226.73
282793066	\$226.73
282793067	\$226.73
282793068	\$226.73
282793069	\$226.73
282793070	\$226.73
282793071	\$226.73
282793073	\$226.73
282793074	\$226.73
282793075	\$226.73
282793076	\$226.73
282793077	\$226.73
282793078	\$226.73
282793079	\$226.73
282793080	\$226.73
282793082	\$226.73
282793083	\$226.73
282793084	\$226.73
282793085	\$226.73
282793086	\$226.73
282793087	\$226.73
282793088	\$226.73
282793089	\$226.73
282794001	\$226.73
282794002	\$226.73
282794003	\$226.73
282794004	\$226.73
282794005	\$226.73
282794006	\$226.73
282794008	\$226.73
282794009	\$226.73
282794010	\$226.73
282794011	\$226.73
282794012	\$226.73
282794013	\$226.73
282794015	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282794016	\$226.73
282794017	\$226.73
282794018	\$226.73
282794019	\$226.73
282794020	\$226.73
282794022	\$226.73
282794023	\$226.73
282794024	\$226.73
282794025	\$226.73
282794026	\$226.73
282794027	\$226.73
282794029	\$226.73
282794030	\$226.73
282794031	\$226.73
282794032	\$226.73
282794033	\$226.73
282794034	\$226.73
282794036	\$226.73
282794037	\$226.73
282794038	\$226.73
282794039	\$226.73
282794040	\$226.73
282794041	\$226.73
282795001	\$226.73
282795004	\$226.73
282795005	\$226.73
282795006	\$226.73
282795007	\$226.73
282795008	\$226.73
282795010	\$226.73
282795011	\$226.73
282795013	\$226.73
282795014	\$226.73
282795016	\$226.73
282795017	\$226.73
282795018	\$226.73
282795020	\$226.73
282795021	\$226.73
282795022	\$226.73
282795023	\$226.73
282795024	\$226.73



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282795027	\$226.73
282795028	\$226.73
282795029	\$226.73
282795030	\$226.73
282795031	\$226.73
282795034	\$226.73
282795035	\$226.73
282795036	\$226.73
282795037	\$226.73
282795038	\$226.73
282795039	\$226.73
282795041	\$226.73
282795042	\$226.73
282795043	\$226.73
282795044	\$226.73
282795046	\$226.73
282795047	\$226.73
282795048	\$226.73
282795049	\$226.73
282795052	\$226.73
282795053	\$226.73
282795054	\$226.73
282795056	\$226.73
282795057	\$226.73
282795059	\$226.73
282795060	\$226.73
282795061	\$226.73
282795062	\$226.73
282795066	\$226.73
282795067	\$226.73
282795068	\$226.73
282795069	\$226.73
282795071	\$226.73
282795072	\$226.73
282795073	\$226.73
282795074	\$226.73
282796001	\$226.73
282796002	\$226.73
282796003	\$226.73
282796004	\$226.73
282796005	\$226.73

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 1 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282796006	\$226.73
282796007	\$226.73
282796008	\$226.73
282796010	\$226.73
282796011	\$226.73
282796012	\$226.73
282796013	\$226.73
282796014	\$226.73
282796015	\$226.73
282796017	\$226.73
282796018	\$226.73
282796019	\$226.73
282796020	\$226.73
282796021	\$226.73
282796022	\$226.73
282811001	\$226.73
282811002	\$226.73
282811003	\$226.73
282811004	\$226.73
282811006	\$226.73
282811007	\$226.73
282811008	\$226.73
282811009	\$226.73
282811010	\$226.73
282811011	\$226.73
<b>Total</b>	<b>\$89,104.88</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-1 IA 5 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279240021	\$58,506.42
<b>Total</b>	<b>\$58,506.42</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2018-2

**RESOLUTION NO. 2021-082**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF MAINTENANCE SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2018-2 (SIERRA BELLA), SPECIAL TAX B**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2018-2 (Sierra Bella) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes identified as Special Tax B in Resolution No. 2018-095 for the payment of the annual cost of maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of traffic signals, maintenance and operation of water quality improvements, public street sweeping and reserve fund for replacement (collectively, “Improvements”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-072 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of maintaining, servicing, cleaning, repairing and/or replacing the Improvements within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes identified as Special Tax B in Resolution No. 2018-095, the resolution establishing the District, shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes



shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101470002	\$832.36
101470003	\$832.36
101470004	\$832.36
101470005	\$832.36
101470018	\$832.36
101470021	\$832.36
101470022	\$832.36
101480005	\$832.36
101480006	\$832.36
101480007	\$832.36
101480010	\$832.36
101480011	\$832.36
101480012	\$832.36
101480013	\$832.36
101480014	\$832.36
101480015	\$832.36
101480016	\$832.36
101480017	\$832.36
101480018	\$832.36
101480019	\$832.36
101480020	\$832.36
101480021	\$832.36
101480022	\$832.36
101480023	\$832.36
101480024	\$832.36
101480025	\$832.36
101480026	\$832.36
101480027	\$832.36
101490001	\$832.36
101490002	\$832.36
101490003	\$832.36
101490004	\$832.36
101490005	\$832.36
101490006	\$832.36
101490007	\$832.36
101490008	\$832.36
101490009	\$832.36
101490010	\$832.36
101490011	\$832.36
101490012	\$832.36
101490013	\$832.36



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX B  
FISCAL YEAR 2021-22**

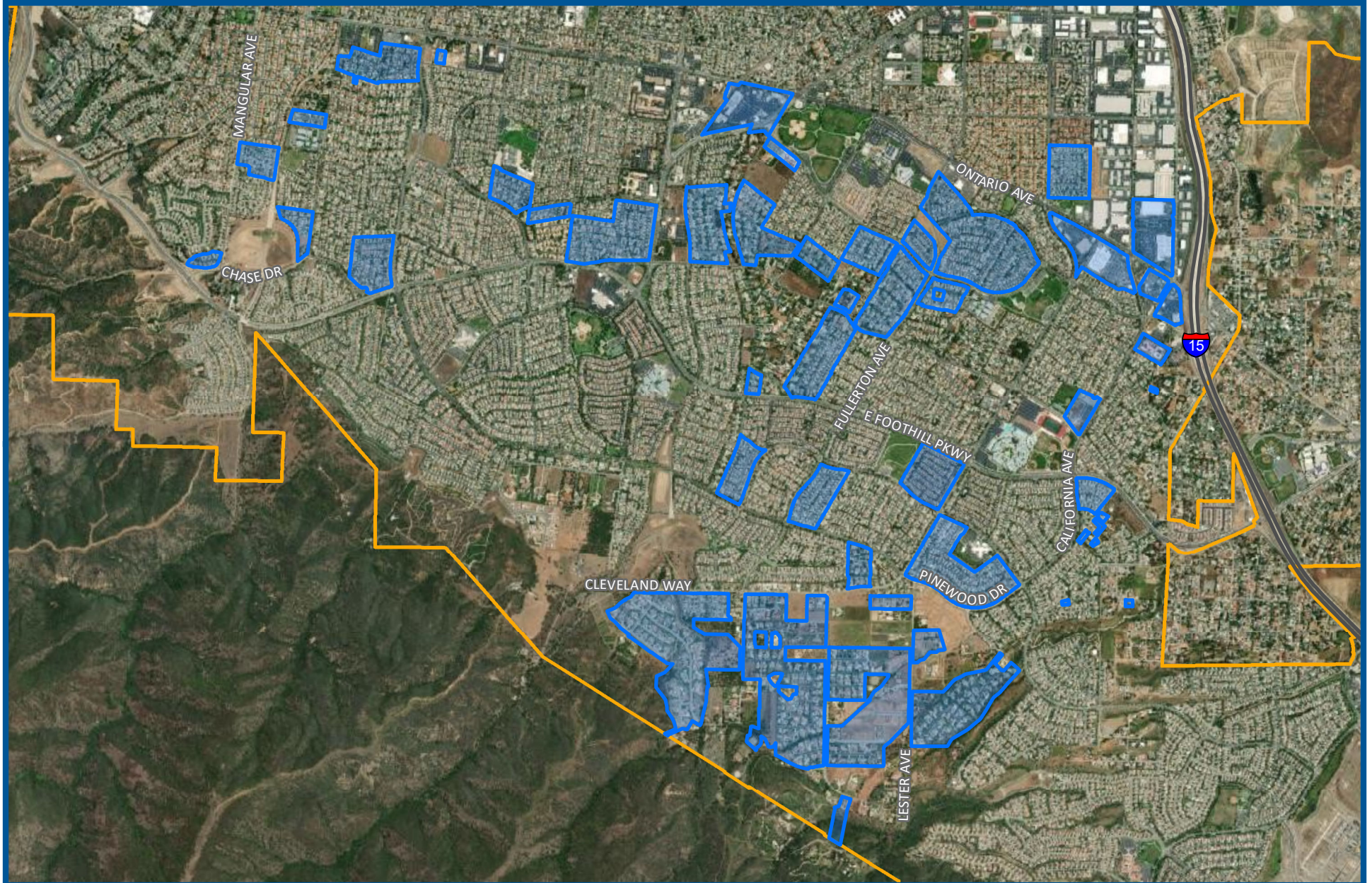
<b>APN</b>	<b>PRELIMINARY LEVY</b>
101490014	\$832.36
101490015	\$832.36
101490016	\$832.36
101490017	\$832.36
101490018	\$832.36
101490019	\$832.36
101490020	\$832.36
101490021	\$832.36
101490022	\$832.36
101490023	\$832.36
101490024	\$832.36
101490025	\$832.36
101500001	\$832.36
101500002	\$832.36
101500003	\$832.36
101500004	\$832.36
101500005	\$832.36
101500006	\$832.36
101500007	\$832.36
101500008	\$832.36
101500009	\$832.36
101500010	\$832.36
101500011	\$832.36
101500012	\$832.36
101500013	\$832.36
101500014	\$832.36
101500015	\$832.36
101500016	\$832.36
101500017	\$832.36
101500018	\$832.36
101500019	\$832.36
101500020	\$832.36
101520017	\$832.36
101520018	\$832.36
101520019	\$832.36
101520020	\$832.36
101520021	\$832.36
101520022	\$832.36
101530002	\$832.36
101530003	\$832.36
101530004	\$832.36

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2018-2 TAX B  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
101530005	\$832.36
101530006	\$832.36
101530007	\$832.36
101530008	\$832.36
101530009	\$832.36
101530010	\$832.36
101530011	\$832.36
101530012	\$832.36
101530013	\$832.36
101530014	\$832.36
101530015	\$832.36
101530016	\$832.36
101530017	\$832.36
101530018	\$832.36
101530019	\$832.36
101530020	\$832.36
101530021	\$832.36
101530022	\$832.36
101530023	\$832.36
101530025	\$832.36
<b>Total</b>	<b>\$84,900.72</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 97-1



**RESOLUTION NO. 2021-083**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES  
TO BE COLLECTED DURING FISCAL YEAR 2022 FOR  
THE PAYMENT OF ANNUAL COST OF THE OPERATION  
AND MAINTENANCE OF PARKWAYS AND OPEN SPACE  
WITHIN COMMUNITY FACILITIES DISTRICT NO. 97-1  
(SOUTH CORONA LANDSCAPE)**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 97-1 (South Corona Landscape) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-073 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of parkways and open space within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF  
THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
107330015	\$11,056.32
107330016	\$10,231.54
107330017	\$607.34
107341001	\$179.68
107341002	\$179.68
107341003	\$179.68
107341004	\$179.68
107341005	\$179.68
107341006	\$179.68
107341007	\$179.68
107341008	\$179.68
107341009	\$179.68
107341010	\$179.68
107341011	\$179.68
107341012	\$179.68
107341013	\$179.68
107341014	\$179.68
107341015	\$179.68
107341016	\$179.68
107341017	\$179.68
107341018	\$179.68
107341019	\$179.68
107341020	\$179.68
107341021	\$179.68
107341022	\$179.68
107341023	\$179.68
107341024	\$179.68
107341025	\$179.68
107341026	\$179.68
107341027	\$179.68
107341028	\$179.68
107341029	\$179.68
107341030	\$179.68
107341031	\$179.68
107341032	\$179.68
107341033	\$179.68
107341034	\$179.68
107341035	\$179.68
107341036	\$179.68
107342001	\$179.68
107342002	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
107342003	\$179.68
107342004	\$179.68
107342005	\$179.68
107342006	\$179.68
107342007	\$179.68
107342008	\$179.68
107342009	\$179.68
107342010	\$179.68
107342011	\$179.68
107342012	\$179.68
107342013	\$179.68
107342014	\$179.68
107342015	\$179.68
107342016	\$179.68
107342017	\$179.68
107342018	\$179.68
107342019	\$179.68
107342020	\$179.68
107342021	\$179.68
107342022	\$179.68
107342023	\$179.68
107342024	\$179.68
107342025	\$179.68
107342026	\$179.68
107342027	\$179.68
107342028	\$179.68
107342029	\$179.68
107342030	\$179.68
107342031	\$179.68
107342032	\$179.68
107342033	\$179.68
107342034	\$179.68
107342035	\$179.68
107342036	\$179.68
107342037	\$179.68
107342038	\$179.68
107342039	\$179.68
107342040	\$179.68
107342041	\$179.68
107342042	\$179.68
107342043	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
107342044	\$179.68
107342045	\$179.68
108042014	\$179.68
108042016	\$179.68
108042017	\$179.68
108171011	\$179.68
108171012	\$179.68
108171013	\$179.68
108171014	\$179.68
108171015	\$179.68
108171016	\$179.68
108171017	\$179.68
108171018	\$179.68
108173001	\$179.68
108173002	\$179.68
108173003	\$179.68
108173004	\$179.68
108173005	\$179.68
108173006	\$179.68
108173007	\$179.68
108173008	\$179.68
108173009	\$179.68
108173010	\$179.68
108173011	\$179.68
108173012	\$179.68
108173013	\$179.68
108173014	\$179.68
108174001	\$179.68
108174002	\$179.68
108174003	\$179.68
108174004	\$179.68
108174005	\$179.68
108174006	\$179.68
108174007	\$179.68
108174008	\$179.68
108174009	\$179.68
108174010	\$179.68
108181020	\$179.68
108181021	\$179.68
108181022	\$179.68
108181023	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108181024	\$179.68
108181025	\$179.68
108181026	\$179.68
108181027	\$179.68
108181028	\$179.68
108181029	\$179.68
108181030	\$179.68
108181031	\$179.68
108181032	\$179.68
108181033	\$179.68
108181034	\$179.68
108181035	\$179.68
108181036	\$179.68
108181037	\$179.68
108181038	\$179.68
108181039	\$179.68
108183001	\$179.68
108183002	\$179.68
108183003	\$179.68
108183004	\$179.68
108183005	\$179.68
108183006	\$179.68
108183007	\$179.68
108183008	\$179.68
108183009	\$179.68
108183010	\$179.68
108183011	\$179.68
108183012	\$179.68
108183013	\$179.68
108183014	\$179.68
108183015	\$179.68
108320035	\$179.68
108431001	\$179.68
108431002	\$179.68
108431003	\$179.68
108431004	\$179.68
108431005	\$179.68
108431006	\$179.68
108431007	\$179.68
108432001	\$179.68
108432002	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108432003	\$179.68
108432004	\$179.68
108432005	\$179.68
108432006	\$179.68
108432007	\$179.68
108432008	\$179.68
108432009	\$179.68
108432010	\$179.68
108432011	\$179.68
108432012	\$179.68
108432013	\$179.68
108432014	\$179.68
108432015	\$179.68
108432016	\$179.68
108432017	\$179.68
108432018	\$179.68
108432019	\$179.68
108432020	\$179.68
108432021	\$179.68
108432022	\$179.68
108432023	\$179.68
108432024	\$179.68
108432025	\$179.68
108432026	\$179.68
108432027	\$179.68
108432028	\$179.68
108432029	\$179.68
108432030	\$179.68
108432031	\$179.68
108432032	\$179.68
108432033	\$179.68
108433001	\$179.68
108433002	\$179.68
108433003	\$179.68
108433004	\$179.68
108451001	\$179.68
108451004	\$179.68
108451005	\$179.68
108451006	\$179.68
108451007	\$179.68
108451008	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108451009	\$179.68
108451011	\$179.68
108451012	\$179.68
108451013	\$179.68
108451017	\$179.68
108451018	\$179.68
108451019	\$179.68
108451020	\$179.68
108451021	\$179.68
108452001	\$179.68
108452002	\$179.68
108452003	\$179.68
108452004	\$179.68
108452005	\$179.68
108452006	\$179.68
108452007	\$179.68
108452008	\$179.68
108452009	\$179.68
108452010	\$179.68
108452011	\$179.68
108452012	\$179.68
108452013	\$179.68
108452014	\$179.68
108452015	\$179.68
108452016	\$179.68
108453001	\$179.68
108453002	\$179.68
108453003	\$179.68
108453004	\$179.68
108453005	\$179.68
108453006	\$179.68
108453007	\$179.68
108453008	\$179.68
108453009	\$179.68
108453010	\$179.68
108471001	\$179.68
108471002	\$179.68
108471003	\$179.68
108471004	\$179.68
108471005	\$179.68
108471006	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108471007	\$179.68
108471008	\$179.68
108471009	\$179.68
108471010	\$179.68
108471011	\$179.68
108471013	\$179.68
108471014	\$179.68
108471015	\$179.68
108471016	\$179.68
108471017	\$179.68
108471018	\$179.68
108471019	\$179.68
108471020	\$179.68
108471021	\$179.68
108471022	\$179.68
108471023	\$179.68
108471024	\$179.68
108471026	\$179.68
108471027	\$179.68
108471028	\$179.68
108471029	\$179.68
108471030	\$179.68
108471032	\$179.68
108471033	\$179.68
108471034	\$179.68
108471035	\$179.68
108471036	\$179.68
108471037	\$179.68
108471038	\$179.68
108471039	\$179.68
108471040	\$179.68
108471041	\$179.68
108471042	\$179.68
108471043	\$179.68
108471044	\$179.68
108471045	\$179.68
108471046	\$179.68
108471047	\$179.68
108471049	\$179.68
108471050	\$179.68
108471051	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108471052	\$179.68
108471053	\$179.68
108471054	\$179.68
108471055	\$179.68
108471056	\$179.68
108471058	\$179.68
108471059	\$179.68
108471060	\$179.68
108471061	\$179.68
108471062	\$179.68
108471063	\$179.68
108471064	\$179.68
108471065	\$179.68
108471066	\$179.68
108471067	\$179.68
108471068	\$179.68
108471069	\$179.68
108471071	\$179.68
108471072	\$179.68
108471073	\$179.68
108471074	\$179.68
108471075	\$179.68
108471076	\$179.68
108471077	\$179.68
108471078	\$179.68
108471079	\$179.68
108471080	\$179.68
108471081	\$179.68
108471082	\$179.68
108481001	\$179.68
108481002	\$179.68
108481003	\$179.68
108481004	\$179.68
108481005	\$179.68
108481006	\$179.68
108481007	\$179.68
108481008	\$179.68
108481009	\$179.68
108481010	\$179.68
108481011	\$179.68
108481012	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108481013	\$179.68
108481014	\$179.68
108481015	\$179.68
108481016	\$179.68
108481017	\$179.68
108481018	\$179.68
108481019	\$179.68
108481020	\$179.68
108481021	\$179.68
108481022	\$179.68
108481023	\$179.68
108481024	\$179.68
108482002	\$179.68
108482003	\$179.68
108482004	\$179.68
108482005	\$179.68
108482006	\$179.68
108482007	\$179.68
108483001	\$179.68
108483002	\$179.68
108483003	\$179.68
108483004	\$179.68
108483005	\$179.68
108483006	\$179.68
108483007	\$179.68
108483008	\$179.68
108483009	\$179.68
108483010	\$179.68
108483011	\$179.68
108483012	\$179.68
108483013	\$179.68
108483014	\$179.68
108483015	\$179.68
108483016	\$179.68
108483017	\$179.68
108483018	\$179.68
108483019	\$179.68
108483020	\$179.68
108483021	\$179.68
108483022	\$179.68
108483023	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108483024	\$179.68
108483025	\$179.68
108483026	\$179.68
108483027	\$179.68
108483028	\$179.68
108483029	\$179.68
108483030	\$179.68
108483031	\$179.68
108484001	\$179.68
108484002	\$179.68
108484003	\$179.68
108484004	\$179.68
108484005	\$179.68
108484006	\$179.68
108484007	\$179.68
108484008	\$179.68
108484009	\$179.68
108484010	\$179.68
108484011	\$179.68
108484012	\$179.68
108484013	\$179.68
108484014	\$179.68
108484015	\$179.68
108484016	\$179.68
108484017	\$179.68
108491001	\$179.68
108491002	\$179.68
108491003	\$179.68
108491004	\$179.68
108491005	\$179.68
108491006	\$179.68
108491007	\$179.68
108491008	\$179.68
108491009	\$179.68
108491010	\$179.68
108491011	\$179.68
108491012	\$179.68
108491013	\$179.68
108491014	\$179.68
108491015	\$179.68
108491016	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108491017	\$179.68
108491018	\$179.68
108492001	\$179.68
108492002	\$179.68
108492003	\$179.68
108492004	\$179.68
108492005	\$179.68
108492006	\$179.68
108492007	\$179.68
108492008	\$179.68
108492009	\$179.68
108492010	\$179.68
108492011	\$179.68
108492012	\$179.68
108492013	\$179.68
108492014	\$179.68
108492015	\$179.68
108492016	\$179.68
108492017	\$179.68
108492018	\$179.68
108492019	\$179.68
108492020	\$179.68
108492021	\$179.68
108492022	\$179.68
108492023	\$179.68
108492024	\$179.68
108493001	\$179.68
108493002	\$179.68
108493003	\$179.68
108493004	\$179.68
108493005	\$179.68
108493006	\$179.68
108493007	\$179.68
108493008	\$179.68
108493009	\$179.68
108493010	\$179.68
108493011	\$179.68
108493012	\$179.68
108493013	\$179.68
108493014	\$179.68
108493015	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108493016	\$179.68
108493017	\$179.68
108493018	\$179.68
108493019	\$179.68
108493020	\$179.68
108493021	\$179.68
108493022	\$179.68
108493023	\$179.68
108501002	\$179.68
108501003	\$179.68
108501004	\$179.68
108501005	\$179.68
108501006	\$179.68
108501007	\$179.68
108501008	\$179.68
108501009	\$179.68
108501010	\$179.68
108501011	\$179.68
108501012	\$179.68
108502001	\$179.68
108502002	\$179.68
108502003	\$179.68
108502004	\$179.68
108502005	\$179.68
108502006	\$179.68
108502007	\$179.68
108502008	\$179.68
108502009	\$179.68
108503001	\$179.68
108503002	\$179.68
108503008	\$179.68
108511001	\$179.68
108511002	\$179.68
108511003	\$179.68
108511004	\$179.68
108511005	\$179.68
108511006	\$179.68
108511007	\$179.68
108511008	\$179.68
108511009	\$179.68
108511010	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108511012	\$179.68
108511013	\$179.68
108511014	\$179.68
108511015	\$179.68
108511016	\$179.68
108511017	\$179.68
108511018	\$179.68
108511019	\$179.68
108511020	\$179.68
108511021	\$179.68
108511022	\$179.68
108511023	\$179.68
108511024	\$179.68
108511025	\$179.68
108511026	\$179.68
108511027	\$179.68
108511028	\$179.68
108511029	\$179.68
108511031	\$179.68
108511032	\$179.68
108511033	\$179.68
108511034	\$179.68
108511035	\$179.68
108511036	\$179.68
108511037	\$179.68
108511038	\$179.68
108511039	\$179.68
108511040	\$179.68
108511041	\$179.68
108511042	\$179.68
108511043	\$179.68
108511044	\$179.68
108511045	\$179.68
108511046	\$179.68
108511047	\$179.68
108511048	\$179.68
108511050	\$179.68
108511051	\$179.68
108511052	\$179.68
108511053	\$179.68
108511054	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108511055	\$179.68
108511056	\$179.68
108511057	\$179.68
108511058	\$179.68
108511059	\$179.68
108511060	\$179.68
108511061	\$179.68
108511063	\$179.68
108511064	\$179.68
108511065	\$179.68
108511066	\$179.68
108511067	\$179.68
108511068	\$179.68
108511069	\$179.68
108511070	\$179.68
108511071	\$179.68
108511072	\$179.68
108511073	\$179.68
108511074	\$179.68
108511075	\$179.68
108511076	\$179.68
108521001	\$179.68
108521002	\$179.68
108521003	\$179.68
108521004	\$179.68
108521005	\$179.68
108521007	\$179.68
108521008	\$179.68
108521009	\$179.68
108521010	\$179.68
108521011	\$179.68
108521012	\$179.68
108521013	\$179.68
108521014	\$179.68
108521018	\$179.68
108521019	\$179.68
108521020	\$179.68
108521021	\$179.68
108521022	\$179.68
108521023	\$179.68
108521026	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108521027	\$179.68
108521028	\$179.68
108521029	\$179.68
108521030	\$179.68
108521031	\$179.68
108521032	\$179.68
108521035	\$179.68
108522001	\$179.68
108522002	\$179.68
108522003	\$179.68
108522004	\$179.68
108522005	\$179.68
108522006	\$179.68
108522007	\$179.68
108522008	\$179.68
108522009	\$179.68
108522015	\$179.68
108522016	\$179.68
108522017	\$179.68
108522018	\$179.68
108522019	\$179.68
108522020	\$179.68
108522021	\$179.68
108522022	\$179.68
108522023	\$179.68
108522024	\$179.68
108522025	\$179.68
108522026	\$179.68
108522027	\$179.68
108522028	\$179.68
108522029	\$179.68
108522030	\$179.68
108522031	\$179.68
108522032	\$179.68
108531001	\$179.68
108531002	\$179.68
108531003	\$179.68
108531004	\$179.68
108531005	\$179.68
108531006	\$179.68
108531007	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108531008	\$179.68
108531009	\$179.68
108531010	\$179.68
108531011	\$179.68
108531012	\$179.68
108531013	\$179.68
108531014	\$179.68
108531015	\$179.68
108531016	\$179.68
108531017	\$179.68
108531018	\$179.68
108531019	\$179.68
108531020	\$179.68
108531021	\$179.68
108531022	\$179.68
108531023	\$179.68
108531024	\$179.68
108531025	\$179.68
108531026	\$179.68
108531027	\$179.68
108532001	\$179.68
108532002	\$179.68
108532003	\$179.68
108532004	\$179.68
108532005	\$179.68
108581012	\$179.68
108590017	\$179.68
112220020	\$179.68
112220021	\$179.68
112220022	\$179.68
112220023	\$179.68
112220024	\$179.68
112220025	\$179.68
112220026	\$179.68
112220027	\$179.68
112220028	\$179.68
112220029	\$179.68
112220030	\$179.68
112280013	\$179.68
112280014	\$179.68
112280015	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
112280016	\$179.68
112280017	\$179.68
112280018	\$179.68
112280019	\$179.68
112280020	\$179.68
112280021	\$179.68
112280022	\$179.68
112310011	\$179.68
112331001	\$179.68
112331002	\$179.68
112331003	\$179.68
112331004	\$179.68
112331005	\$179.68
112331006	\$179.68
112331007	\$179.68
112331008	\$179.68
112331009	\$179.68
112331010	\$179.68
112331011	\$179.68
112331012	\$179.68
112331013	\$179.68
112331014	\$179.68
112332001	\$179.68
112332002	\$179.68
112332003	\$179.68
112332004	\$179.68
112332005	\$179.68
112332006	\$179.68
112332007	\$179.68
112332008	\$179.68
112371001	\$179.68
112371002	\$179.68
112371003	\$179.68
112371004	\$179.68
112371005	\$179.68
112371006	\$179.68
112371007	\$179.68
112371008	\$179.68
112371009	\$179.68
112371010	\$179.68
112371011	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
112371012	\$179.68
112371014	\$179.68
112371015	\$179.68
112371016	\$179.68
112371017	\$179.68
112371018	\$179.68
112371019	\$179.68
112371020	\$179.68
112371021	\$179.68
112371022	\$179.68
112371025	\$179.68
112372001	\$179.68
112372002	\$179.68
112372003	\$179.68
112372004	\$179.68
112372005	\$179.68
112372006	\$179.68
112372007	\$179.68
112372008	\$179.68
112372009	\$179.68
112372010	\$179.68
112372011	\$179.68
112372012	\$179.68
112372013	\$179.68
112372014	\$179.68
113031005	\$179.68
113111019	\$179.68
113111020	\$179.68
113111021	\$179.68
113111022	\$179.68
113111023	\$179.68
113111024	\$179.68
113111025	\$179.68
113111026	\$179.68
113111027	\$179.68
113111028	\$179.68
113111029	\$179.68
113111030	\$179.68
113111031	\$179.68
113111032	\$179.68
113111033	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113111034	\$179.68
113111035	\$179.68
113111036	\$179.68
113111037	\$179.68
113140022	\$179.68
113140023	\$179.68
113251003	\$179.68
113251004	\$179.68
113251005	\$179.68
113251006	\$179.68
113251007	\$179.68
113251008	\$179.68
113251009	\$179.68
113251010	\$179.68
113251011	\$179.68
113251012	\$179.68
113251013	\$179.68
113251014	\$179.68
113251015	\$179.68
113251016	\$179.68
113251017	\$179.68
113251018	\$179.68
113251019	\$179.68
113251020	\$179.68
113252001	\$179.68
113252002	\$179.68
113252003	\$179.68
113252004	\$179.68
113252005	\$179.68
113252006	\$179.68
113252007	\$179.68
113252008	\$179.68
113252009	\$179.68
113252010	\$179.68
113252011	\$179.68
113252012	\$179.68
113252013	\$179.68
113252014	\$179.68
113252015	\$179.68
113252016	\$179.68
113252017	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113252018	\$179.68
113252019	\$179.68
113252020	\$179.68
113252021	\$179.68
113252022	\$179.68
113252023	\$179.68
113252024	\$179.68
113252025	\$179.68
113252026	\$179.68
113252027	\$179.68
113252028	\$179.68
113252029	\$179.68
113340024	\$179.68
113340031	\$179.68
113340032	\$179.68
113340033	\$179.68
113340034	\$179.68
113340035	\$179.68
113340036	\$179.68
113340037	\$179.68
113340038	\$179.68
113340039	\$179.68
113340040	\$179.68
113340041	\$179.68
113340042	\$179.68
113340043	\$179.68
113340044	\$179.68
113340045	\$179.68
113340046	\$179.68
113340047	\$179.68
113340048	\$179.68
113340049	\$179.68
113340050	\$179.68
113340051	\$179.68
113340052	\$179.68
113340061	\$179.68
113340062	\$179.68
113340063	\$179.68
113340064	\$179.68
113340065	\$179.68
113340066	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113340067	\$179.68
113340068	\$179.68
113340069	\$179.68
113340070	\$179.68
113340071	\$179.68
113340072	\$179.68
113340073	\$179.68
113340074	\$179.68
113340075	\$179.68
113340076	\$179.68
113340077	\$179.68
113360013	\$539.06
113360031	\$1,554.30
113360032	\$5,056.46
113360033	\$884.06
113360034	\$968.52
113360035	\$691.80
113360037	\$884.06
113360041	\$1,171.56
113360047	\$1,536.34
113360048	\$3,261.36
113361001	\$371.94
113361002	\$371.94
113361003	\$371.94
113361004	\$371.94
113361005	\$371.94
113361006	\$371.94
113361007	\$371.94
113361008	\$371.94
113361009	\$371.94
113361010	\$371.94
113431001	\$179.68
113431002	\$179.68
113431003	\$179.68
113431004	\$179.68
113431005	\$179.68
113431006	\$179.68
113431007	\$179.68
113431008	\$179.68
113431009	\$179.68
113431010	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113431011	\$179.68
113431012	\$179.68
113432001	\$179.68
113432002	\$179.68
113432003	\$179.68
113432004	\$179.68
113432005	\$179.68
113432006	\$179.68
113432007	\$179.68
113432008	\$179.68
113432009	\$179.68
113432010	\$179.68
113432011	\$179.68
113432012	\$179.68
113432013	\$179.68
113432014	\$179.68
113432015	\$179.68
113432016	\$179.68
113432017	\$179.68
113432018	\$179.68
113432019	\$179.68
113432020	\$179.68
113432021	\$179.68
113432022	\$179.68
113432023	\$179.68
113432024	\$179.68
113432025	\$179.68
113432026	\$179.68
113432027	\$179.68
113432028	\$179.68
113432029	\$179.68
113432030	\$179.68
113432031	\$179.68
113432032	\$179.68
113432033	\$179.68
113432034	\$179.68
113432035	\$179.68
113441001	\$179.68
113441002	\$179.68
113441003	\$179.68
113441004	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113441005	\$179.68
113441006	\$179.68
113441007	\$179.68
113441008	\$179.68
113441009	\$179.68
113441010	\$179.68
113441011	\$179.68
113442001	\$179.68
113442002	\$179.68
113442003	\$179.68
113442004	\$179.68
113442005	\$179.68
113442006	\$179.68
113442007	\$179.68
113442008	\$179.68
113442009	\$179.68
113442010	\$179.68
113442011	\$179.68
113442012	\$179.68
113442013	\$179.68
113442014	\$179.68
113442015	\$179.68
113442016	\$179.68
113442017	\$179.68
113442018	\$179.68
113442019	\$179.68
113442020	\$179.68
113442021	\$179.68
113442022	\$179.68
113442023	\$179.68
113442024	\$179.68
113442025	\$179.68
113442026	\$179.68
113442027	\$179.68
113450001	\$179.68
113450002	\$179.68
113450003	\$179.68
113450004	\$179.68
113450005	\$179.68
113450006	\$179.68
113450007	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113450008	\$179.68
113450009	\$179.68
113450010	\$179.68
113450011	\$179.68
113450012	\$179.68
113450014	\$179.68
113450015	\$179.68
113450016	\$179.68
113450017	\$179.68
113461001	\$179.68
113461004	\$179.68
113461005	\$179.68
113461006	\$179.68
113461007	\$179.68
113461008	\$179.68
113461009	\$179.68
113461010	\$179.68
113461011	\$179.68
113461014	\$179.68
113461015	\$179.68
113461016	\$179.68
113461017	\$179.68
113461020	\$179.68
113461021	\$179.68
113461022	\$179.68
113461023	\$179.68
113461024	\$179.68
113461025	\$179.68
113461026	\$179.68
113461031	\$179.68
113461032	\$179.68
113461033	\$179.68
113461034	\$179.68
113461035	\$179.68
113461036	\$179.68
113462001	\$179.68
113462002	\$179.68
113462003	\$179.68
113462004	\$179.68
113462005	\$179.68
113462006	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113462007	\$179.68
113462008	\$179.68
113462009	\$179.68
113462010	\$179.68
113462011	\$179.68
113462012	\$179.68
113462013	\$179.68
113462014	\$179.68
113462015	\$179.68
113462016	\$179.68
113462017	\$179.68
113462018	\$179.68
113462019	\$179.68
113462020	\$179.68
113462021	\$179.68
113462022	\$179.68
113462023	\$179.68
113462024	\$179.68
113471001	\$179.68
113471002	\$179.68
113471003	\$179.68
113471004	\$179.68
113471005	\$179.68
113471006	\$179.68
113471007	\$179.68
113471008	\$179.68
113471009	\$179.68
113471010	\$179.68
113471011	\$179.68
113471012	\$179.68
113471013	\$179.68
113471014	\$179.68
113471015	\$179.68
113471016	\$179.68
113471017	\$179.68
113471018	\$179.68
113471019	\$179.68
113471020	\$179.68
113471021	\$179.68
113471022	\$179.68
113471023	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113471024	\$179.68
113471025	\$179.68
113471026	\$179.68
113471027	\$179.68
113471028	\$179.68
113471029	\$179.68
113471030	\$179.68
113471031	\$179.68
113472001	\$179.68
113472002	\$179.68
113472003	\$179.68
113472004	\$179.68
113472005	\$179.68
113472006	\$179.68
113472007	\$179.68
113472008	\$179.68
113472009	\$179.68
113472010	\$179.68
113472011	\$179.68
113472012	\$179.68
113472013	\$179.68
113472014	\$179.68
113472015	\$179.68
113472016	\$179.68
113472017	\$179.68
113472018	\$179.68
113472019	\$179.68
113472020	\$179.68
113472021	\$179.68
113472022	\$179.68
113472023	\$179.68
113472024	\$179.68
113472025	\$179.68
113472026	\$179.68
113472027	\$179.68
113472028	\$179.68
113472029	\$179.68
113472030	\$179.68
113472031	\$179.68
113472032	\$179.68
113472033	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113472034	\$179.68
113481001	\$179.68
113481002	\$179.68
113481003	\$179.68
113481004	\$179.68
113481005	\$179.68
113481006	\$179.68
113481007	\$179.68
113481008	\$179.68
113481009	\$179.68
113482001	\$179.68
113482002	\$179.68
113482003	\$179.68
113482004	\$179.68
113482005	\$179.68
113482006	\$179.68
113482007	\$179.68
113482008	\$179.68
113482009	\$179.68
113482010	\$179.68
113482011	\$179.68
113482012	\$179.68
113482013	\$179.68
113482014	\$179.68
113482015	\$179.68
113482016	\$179.68
113482017	\$179.68
113482018	\$179.68
113482019	\$179.68
113482020	\$179.68
113482021	\$179.68
113482022	\$179.68
113482023	\$179.68
113482024	\$179.68
113482025	\$179.68
113482026	\$179.68
113482027	\$179.68
113482028	\$179.68
113482029	\$179.68
113482030	\$179.68
113482031	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113482032	\$179.68
113482033	\$179.68
113482034	\$179.68
113482035	\$179.68
113482036	\$179.68
113482037	\$179.68
113482038	\$179.68
113482039	\$179.68
113482040	\$179.68
113482041	\$179.68
113482042	\$179.68
113482043	\$179.68
113482044	\$179.68
113482045	\$179.68
113482046	\$179.68
113482047	\$179.68
113483001	\$179.68
113483002	\$179.68
113483003	\$179.68
113483004	\$179.68
113483005	\$179.68
113483006	\$179.68
113483007	\$179.68
113483008	\$179.68
113483009	\$179.68
113483010	\$179.68
113483011	\$179.68
113483012	\$179.68
113483013	\$179.68
113483014	\$179.68
113484001	\$179.68
113484002	\$179.68
113484003	\$179.68
113484004	\$179.68
113484005	\$179.68
113484006	\$179.68
113484007	\$179.68
113484008	\$179.68
113484009	\$179.68
114190009	\$179.68
114190010	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114190011	\$179.68
114190012	\$179.68
114190013	\$179.68
114190014	\$179.68
114190015	\$179.68
114190016	\$179.68
114190017	\$179.68
114190018	\$179.68
114190019	\$179.68
114190020	\$179.68
114190021	\$179.68
114190022	\$179.68
114190023	\$179.68
114190025	\$179.68
114190026	\$179.68
114190027	\$179.68
114190028	\$179.68
114190031	\$179.68
114620001	\$179.68
114620002	\$179.68
114620003	\$179.68
114620004	\$179.68
114620005	\$179.68
114620006	\$179.68
114620007	\$179.68
114620009	\$179.68
114620010	\$179.68
114620011	\$179.68
114620012	\$179.68
114620013	\$179.68
114620014	\$179.68
114620015	\$179.68
114620021	\$179.68
114620023	\$179.68
114620024	\$179.68
114621001	\$179.68
114621002	\$179.68
114621003	\$179.68
114621004	\$179.68
114621005	\$179.68
114621006	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114621007	\$179.68
114621008	\$179.68
114630001	\$179.68
114630002	\$179.68
114630003	\$179.68
114630004	\$179.68
114630005	\$179.68
114630006	\$179.68
114630007	\$179.68
114630008	\$179.68
114630009	\$179.68
114630010	\$179.68
114630011	\$179.68
114630012	\$179.68
114630013	\$179.68
114630014	\$179.68
114630015	\$179.68
114630016	\$179.68
114630017	\$179.68
114630018	\$179.68
116061005	\$179.68
116061006	\$179.68
116061007	\$179.68
116061008	\$179.68
116061009	\$179.68
116061010	\$179.68
116061011	\$179.68
116061012	\$179.68
116061013	\$179.68
116061014	\$179.68
116061015	\$179.68
116062007	\$179.68
116120045	\$179.68
116181017	\$179.68
116181018	\$179.68
116181019	\$179.68
116181020	\$179.68
116181022	\$179.68
116181023	\$179.68
116181024	\$179.68
116181025	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116181028	\$179.68
116202017	\$179.68
116202018	\$179.68
116202019	\$179.68
116202020	\$179.68
116270001	\$179.68
116270002	\$179.68
116270003	\$179.68
116270004	\$179.68
116270005	\$179.68
116270006	\$179.68
116270007	\$179.68
116270008	\$179.68
116270009	\$179.68
116270010	\$179.68
116270011	\$179.68
116270012	\$179.68
116270014	\$179.68
116270015	\$179.68
116270016	\$179.68
116270017	\$179.68
116270018	\$179.68
116270019	\$179.68
116270020	\$179.68
116270021	\$179.68
116270022	\$179.68
116270023	\$179.68
116270024	\$179.68
116270025	\$179.68
116270026	\$179.68
116270027	\$179.68
116270028	\$179.68
116270029	\$179.68
116270030	\$179.68
116270031	\$179.68
116270032	\$179.68
116270033	\$179.68
116270034	\$179.68
116270035	\$179.68
116270036	\$179.68
116270037	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116270038	\$179.68
116270041	\$179.68
116282011	\$179.68
116282013	\$179.68
116282014	\$179.68
116282016	\$179.68
116290001	\$179.68
116290002	\$179.68
116290003	\$179.68
116290004	\$179.68
116290005	\$179.68
116290006	\$179.68
116290007	\$179.68
116290008	\$179.68
116290009	\$179.68
116290010	\$179.68
116290011	\$179.68
116290012	\$179.68
116290013	\$179.68
116290014	\$179.68
116290015	\$179.68
116290016	\$179.68
116290017	\$179.68
116290018	\$179.68
116290019	\$179.68
116290020	\$179.68
116290021	\$179.68
116290022	\$179.68
116290023	\$179.68
116290024	\$179.68
116290025	\$179.68
116290026	\$179.68
116290027	\$179.68
116290028	\$179.68
116290029	\$179.68
116290030	\$179.68
116290031	\$179.68
116290032	\$179.68
116290033	\$179.68
116290034	\$179.68
116290035	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116290036	\$179.68
116290037	\$179.68
116290038	\$179.68
116290039	\$179.68
116290040	\$179.68
116290041	\$179.68
116290042	\$179.68
116290043	\$179.68
116290044	\$179.68
116290045	\$179.68
116290046	\$179.68
116290047	\$179.68
116290048	\$179.68
116290049	\$179.68
116290050	\$179.68
116290051	\$179.68
116290052	\$179.68
116290053	\$179.68
116290054	\$179.68
116290072	\$179.68
116290073	\$179.68
116290074	\$179.68
116290075	\$179.68
116290076	\$179.68
116290077	\$179.68
116290078	\$179.68
116290079	\$179.68
116290080	\$179.68
116290081	\$179.68
116290091	\$179.68
116300005	\$179.68
116300006	\$179.68
116300007	\$179.68
116300008	\$179.68
116300010	\$179.68
116300011	\$179.68
116300012	\$179.68
116300013	\$179.68
116300015	\$179.68
116300017	\$179.68
116300019	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116300020	\$179.68
116300024	\$179.68
116310020	\$179.68
116310021	\$179.68
116310022	\$179.68
116310023	\$179.68
116310024	\$179.68
116310025	\$179.68
116310026	\$179.68
116310027	\$179.68
116310028	\$179.68
116310033	\$179.68
116310039	\$179.68
116310046	\$179.68
116310047	\$179.68
116310048	\$179.68
116310049	\$179.68
116310050	\$179.68
116310051	\$179.68
116310052	\$179.68
116310053	\$179.68
116310054	\$179.68
116310055	\$179.68
116310060	\$179.68
116310077	\$179.68
116310080	\$179.68
116310081	\$179.68
116310089	\$179.68
116320004	\$179.68
116320022	\$179.68
116320023	\$179.68
116320024	\$179.68
116320025	\$179.68
116320026	\$179.68
116330002	\$179.68
116330004	\$179.68
116330016	\$179.68
116330018	\$179.68
116330019	\$179.68
120020004	\$3,647.70
120071001	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120071002	\$179.68
120071003	\$179.68
120071004	\$179.68
120071005	\$179.68
120072001	\$179.68
120072002	\$179.68
120072003	\$179.68
120072004	\$179.68
120072005	\$179.68
120080011	\$179.68
120080019	\$179.68
120080020	\$179.68
120130038	\$4,851.62
120130040	\$1,850.80
120190005	\$1,096.10
120190007	\$727.74
120190008	\$943.36
120190009	\$215.62
120190010	\$2,470.72
120190011	\$224.60
120200002	\$4,384.42
120331001	\$179.68
120331002	\$179.68
120331003	\$179.68
120331004	\$179.68
120331005	\$179.68
120331012	\$179.68
120331013	\$179.68
120331014	\$179.68
120331015	\$179.68
120331016	\$179.68
120332001	\$179.68
120332002	\$179.68
120332003	\$179.68
120332004	\$179.68
120332005	\$179.68
120332006	\$179.68
120333001	\$179.68
120333002	\$179.68
120333003	\$179.68
120333004	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120333005	\$179.68
120333006	\$179.68
120333008	\$179.68
120333009	\$179.68
120333010	\$179.68
120333011	\$179.68
120333012	\$179.68
120333013	\$179.68
120341001	\$179.68
120341002	\$179.68
120341004	\$179.68
120341005	\$179.68
120341006	\$179.68
120341007	\$179.68
120341008	\$179.68
120341009	\$179.68
120341010	\$179.68
120341011	\$179.68
120341012	\$179.68
120341014	\$179.68
120341015	\$179.68
120341016	\$179.68
120341017	\$179.68
120341018	\$179.68
120341019	\$179.68
120341020	\$179.68
120341021	\$179.68
120341023	\$179.68
120341024	\$179.68
120341025	\$179.68
120341026	\$179.68
120341027	\$179.68
120341028	\$179.68
120341029	\$179.68
120341030	\$179.68
120341032	\$179.68
120341033	\$179.68
120341034	\$179.68
120341035	\$179.68
120341036	\$179.68
120341037	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120341038	\$179.68
120341039	\$179.68
120341040	\$179.68
120341041	\$179.68
120341042	\$179.68
120341044	\$179.68
120341045	\$179.68
120341046	\$179.68
120341047	\$179.68
120341048	\$179.68
120341049	\$179.68
120341050	\$179.68
120341051	\$179.68
120341052	\$179.68
120341053	\$179.68
120341054	\$179.68
120341055	\$179.68
120341056	\$179.68
120341057	\$179.68
120341058	\$179.68
120341060	\$179.68
120360007	\$179.68
120360008	\$179.68
120360009	\$179.68
120360010	\$179.68
120360011	\$179.68
120360012	\$179.68
120360013	\$179.68
120360014	\$179.68
120360015	\$179.68
120360016	\$179.68
120360017	\$179.68
120360018	\$179.68
120360019	\$179.68
120360021	\$179.68
120360022	\$179.68
120360023	\$179.68
120370001	\$898.44
120370002	\$4,950.44
120370004	\$898.44
120370005	\$539.06

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120370006	\$718.76
120370007	\$988.28
120401002	\$179.68
120401005	\$179.68
120401006	\$179.68
120401007	\$179.68
120401010	\$179.68
120401011	\$179.68
120401013	\$179.68
120402001	\$179.68
120402004	\$179.68
120402005	\$179.68
120402006	\$179.68
120402007	\$179.68
120402009	\$179.68
120402010	\$179.68
120402011	\$179.68
120411001	\$179.68
120411002	\$179.68
120411003	\$179.68
120411004	\$179.68
120411005	\$179.68
120411006	\$179.68
120411007	\$179.68
120411008	\$179.68
120411010	\$179.68
120411011	\$179.68
120411012	\$179.68
120411013	\$179.68
120411015	\$179.68
120411016	\$179.68
120411017	\$179.68
120411018	\$179.68
120412001	\$179.68
120412002	\$179.68
120412003	\$179.68
120412004	\$179.68
120412005	\$179.68
120412007	\$179.68
120412008	\$179.68
120412009	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120412010	\$179.68
120412011	\$179.68
120412012	\$179.68
120412013	\$179.68
120412014	\$179.68
120412020	\$179.68
120412021	\$179.68
120421001	\$179.68
120421002	\$179.68
120421003	\$179.68
120421004	\$179.68
120421005	\$179.68
120421006	\$179.68
120421007	\$179.68
120421008	\$179.68
120421009	\$179.68
120421010	\$179.68
120421011	\$179.68
120421012	\$179.68
120421013	\$179.68
120421014	\$179.68
120421015	\$179.68
120421016	\$179.68
120421017	\$179.68
120421018	\$179.68
120421019	\$179.68
120421020	\$179.68
120421021	\$179.68
120421022	\$179.68
120421023	\$179.68
120421024	\$179.68
120421025	\$179.68
120421026	\$179.68
120421027	\$179.68
120421028	\$179.68
120421029	\$179.68
120421030	\$179.68
120421031	\$179.68
120422001	\$179.68
120422002	\$179.68
120422003	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120422004	\$179.68
120422005	\$179.68
120422006	\$179.68
120422007	\$179.68
120422008	\$179.68
120422009	\$179.68
120422010	\$179.68
120422011	\$179.68
120431001	\$179.68
120431002	\$179.68
120431003	\$179.68
120431004	\$179.68
120431005	\$179.68
120431006	\$179.68
120431007	\$179.68
120431008	\$179.68
120431009	\$179.68
120431010	\$179.68
120431011	\$179.68
120431012	\$179.68
120431013	\$179.68
120431014	\$179.68
120432001	\$179.68
120432002	\$179.68
120432003	\$179.68
120432004	\$179.68
120432005	\$179.68
120432006	\$179.68
120432007	\$179.68
120432008	\$179.68
120432009	\$179.68
120432010	\$179.68
120432011	\$179.68
120432012	\$179.68
120432013	\$179.68
120432014	\$179.68
120432015	\$179.68
120432016	\$179.68
120432017	\$179.68
120432018	\$179.68
120432019	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120432020	\$179.68
120432021	\$179.68
120432022	\$179.68
120432023	\$179.68
120432024	\$179.68
120432025	\$179.68
120432026	\$179.68
120432027	\$179.68
120432028	\$179.68
120432029	\$179.68
120432030	\$179.68
120432031	\$179.68
120432032	\$179.68
120432033	\$179.68
120432034	\$179.68
120432035	\$179.68
120441001	\$179.68
120441002	\$179.68
120441003	\$179.68
120441004	\$179.68
120441005	\$179.68
120441006	\$179.68
120441007	\$179.68
120441008	\$179.68
120441009	\$179.68
120441010	\$179.68
120441011	\$179.68
120441012	\$179.68
120441013	\$179.68
120441014	\$179.68
120441015	\$179.68
120441016	\$179.68
120442001	\$179.68
120442002	\$179.68
120442003	\$179.68
120442004	\$179.68
120442005	\$179.68
120442006	\$179.68
120442007	\$179.68
120442008	\$179.68
120442009	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120442010	\$179.68
120442011	\$179.68
120442012	\$179.68
120442013	\$179.68
120442014	\$179.68
120442015	\$179.68
120442016	\$179.68
120442017	\$179.68
120442018	\$179.68
120442019	\$179.68
120442020	\$179.68
120442021	\$179.68
120442022	\$179.68
120442023	\$179.68
120443001	\$179.68
120451001	\$179.68
120451002	\$179.68
120451003	\$179.68
120451004	\$179.68
120451005	\$179.68
120451006	\$179.68
120451007	\$179.68
120451008	\$179.68
120451009	\$179.68
120451010	\$179.68
120451011	\$179.68
120451012	\$179.68
120451013	\$179.68
120451014	\$179.68
120451015	\$179.68
120451016	\$179.68
120451017	\$179.68
120451018	\$179.68
120451019	\$179.68
120451020	\$179.68
120451021	\$179.68
120451022	\$179.68
120451023	\$179.68
120451024	\$179.68
120451025	\$179.68
120451026	\$179.68



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120451027	\$179.68
120451028	\$179.68
120451029	\$179.68
120451033	\$179.68
120451034	\$179.68
120451035	\$179.68
120451036	\$179.68
120451037	\$179.68
120451038	\$179.68
120451039	\$179.68
120452001	\$179.68
120452002	\$179.68
120452003	\$179.68
120452004	\$179.68
120452005	\$179.68
120452006	\$179.68
120452007	\$179.68
120452008	\$179.68
120452009	\$179.68
120452010	\$179.68
120452011	\$179.68
120452012	\$179.68
120452013	\$179.68
120452014	\$179.68
120452015	\$179.68
120452016	\$179.68
120452017	\$179.68
120452018	\$179.68
120452019	\$179.68
120452020	\$179.68
120452021	\$179.68
120452022	\$179.68
120452023	\$179.68
120452024	\$179.68
120452025	\$179.68
120452026	\$179.68
120452027	\$179.68
120452028	\$179.68
120452029	\$179.68
120452030	\$179.68
120452031	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120452032	\$179.68
120452033	\$179.68
120452034	\$179.68
120452035	\$179.68
120452036	\$179.68
120452037	\$179.68
120452038	\$179.68
120452039	\$179.68
120452040	\$179.68
120452041	\$179.68
120452042	\$179.68
120452044	\$179.68
120452045	\$179.68
120452046	\$179.68
120461001	\$179.68
120461002	\$179.68
120461003	\$179.68
120461004	\$179.68
120461005	\$179.68
120461006	\$179.68
120461007	\$179.68
120461008	\$179.68
120461009	\$179.68
120461010	\$179.68
120461011	\$179.68
120461012	\$179.68
120461013	\$179.68
120461014	\$179.68
120461015	\$179.68
120461016	\$179.68
120461017	\$179.68
120461018	\$179.68
120461019	\$179.68
120461020	\$179.68
120462001	\$179.68
120462002	\$179.68
120462003	\$179.68
120462004	\$179.68
120462005	\$179.68
120462006	\$179.68
120462007	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120462008	\$179.68
120462009	\$179.68
120462010	\$179.68
120462011	\$179.68
120462012	\$179.68
120462013	\$179.68
120462014	\$179.68
120462043	\$179.68
120462044	\$179.68
120462045	\$179.68
120463001	\$179.68
120463002	\$179.68
120463003	\$179.68
120463004	\$179.68
120463005	\$179.68
120463006	\$179.68
120463007	\$179.68
120463008	\$179.68
120463009	\$179.68
120463010	\$179.68
120463011	\$179.68
120463012	\$179.68
120470007	\$179.68
120470008	\$179.68
120470014	\$179.68
120470016	\$179.68
120470017	\$179.68
120470018	\$179.68
120470019	\$179.68
120470020	\$179.68
120470021	\$179.68
120470025	\$179.68
120470026	\$179.68
120470027	\$179.68
120470028	\$179.68
120470029	\$179.68
120480001	\$179.68
120480002	\$179.68
120480003	\$179.68
120480004	\$179.68
120480005	\$179.68

**EXHIBIT "A"****CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

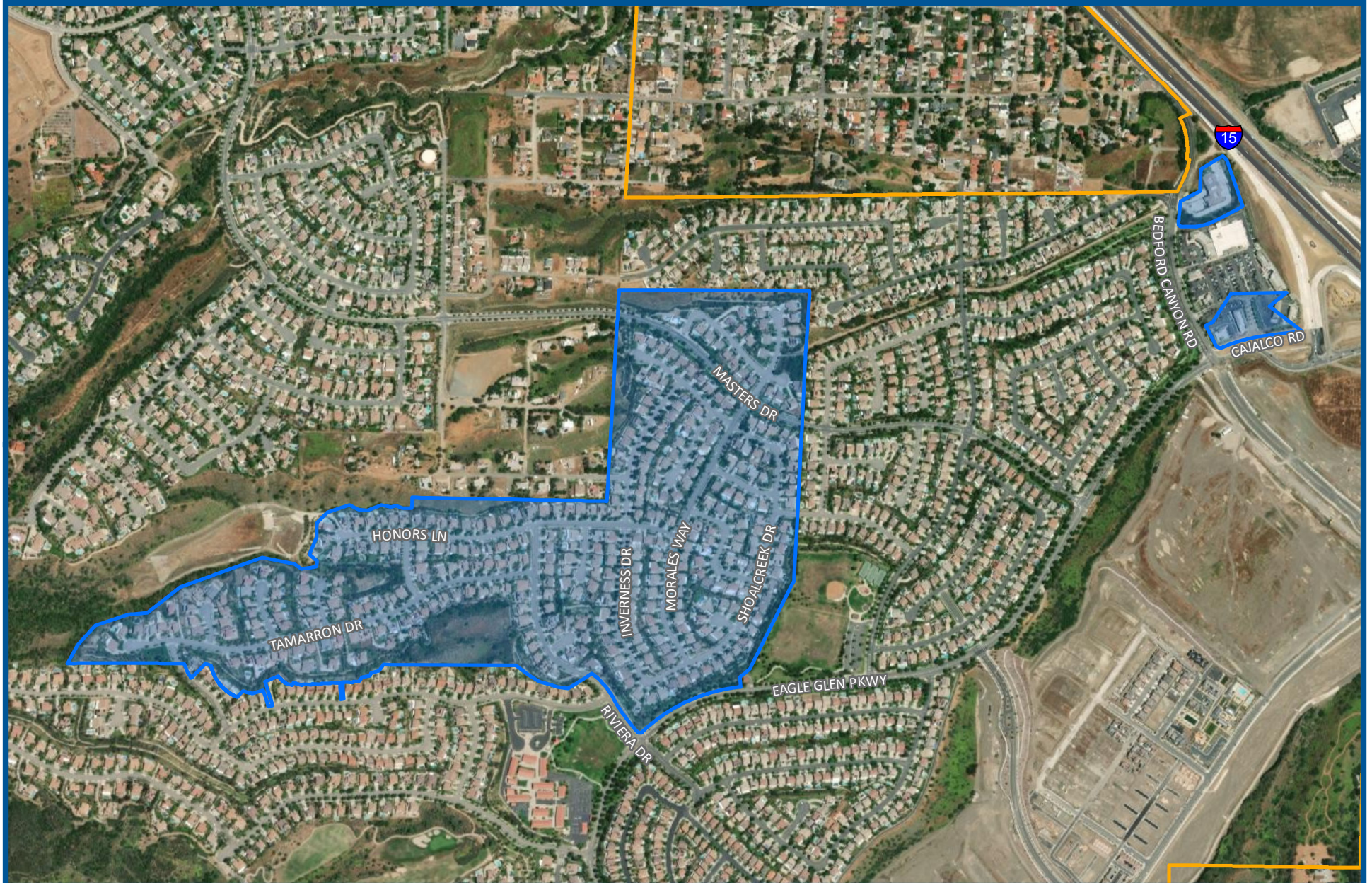
<b>APN</b>	<b>PRELIMINARY LEVY</b>
120480006	\$179.68
120480007	\$179.68
120480008	\$179.68
120480009	\$179.68
120480010	\$179.68
120480011	\$179.68
120480012	\$179.68
120480013	\$179.68
120480014	\$179.68
120480015	\$179.68
120480016	\$179.68
120480017	\$179.68
120480018	\$179.68
120480019	\$179.68
120480020	\$179.68
120480021	\$179.68
120480022	\$179.68
120480023	\$179.68
120480024	\$179.68
120480025	\$179.68
120480026	\$179.68
120480027	\$179.68
120480028	\$179.68
120480029	\$179.68
120480030	\$179.68
120510001	\$966.72
120510002	\$11,237.80
120510003	\$553.44
120510006	\$1,493.22
120510008	\$551.64
120510009	\$497.74
120510016	\$952.34
120510018	\$1,311.72
120530001	\$179.68
120530002	\$179.68
120530003	\$179.68
120530004	\$179.68
120530005	\$179.68
120530006	\$179.68
120530007	\$179.68
120530008	\$179.68

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 97-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120530009	\$179.68
120530010	\$179.68
120530011	\$179.68
120530012	\$179.68
120530013	\$179.68
120530014	\$179.68
120530015	\$179.68
120540001	\$179.68
120540002	\$179.68
120540003	\$179.68
120540004	\$179.68
120540005	\$179.68
120540006	\$179.68
120540007	\$179.68
120540008	\$179.68
120540009	\$179.68
120540010	\$179.68
<b>Total</b>	<b>\$422,618.92</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2000-1



**RESOLUTION NO. 2021-084**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES  
TO BE COLLECTED DURING FISCAL YEAR 2022 FOR  
THE PAYMENT OF THE ANNUAL COST OF THE  
OPERATION AND MAINTENANCE OF STORM  
DRAINAGE FACILITIES WITHIN COMMUNITY  
FACILITIES DISTRICT NO. 2000-1 (EAGLE GLEN II)**

**WHEREAS**, is necessary that the City Council of the City of Corona (the “City Council”) levy special taxes pursuant to Sections 53340 and 53358 of the Government Code for the payment of the annual cost of the operation and maintenance of storm drainage facilities within Community Facilities District No. 2000-1 (Eagle Glen II) of the City of Corona, County of Riverside, State of California (the “District”), and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-074 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of storm drainage facilities within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Corona, California, as follows:

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the

County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

---

Mayor of the City of Corona, California

**ATTEST:**

---

City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at a regular meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279180019	\$57.60
279180030	\$294.70
279180032	\$241.52
279180033	\$130.72
279371002	\$56.64
279371003	\$56.64
279371004	\$56.64
279371005	\$56.64
279371006	\$56.64
279371007	\$56.64
279371008	\$56.64
279371009	\$56.64
279371010	\$56.64
279371011	\$56.64
279371012	\$56.64
279371013	\$56.64
279371014	\$56.64
279371015	\$56.64
279371016	\$56.64
279371017	\$56.64
279371018	\$56.64
279371019	\$56.64
279371020	\$56.64
279371021	\$56.64
279371022	\$56.64
279371023	\$56.64
279371024	\$56.64
279371025	\$56.64
279371026	\$56.64
279371027	\$56.64
279371028	\$56.64
279371029	\$56.64
279371030	\$56.64
279371031	\$56.64
279371032	\$56.64
279371033	\$56.64
279371034	\$56.64
279371035	\$56.64
279371036	\$56.64
279371037	\$56.64
279371038	\$56.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279371039	\$56.64
279371040	\$56.64
279371041	\$56.64
279371042	\$56.64
279371043	\$56.64
279371047	\$56.64
279372001	\$56.64
279372002	\$56.64
279372003	\$56.64
279372004	\$56.64
279372005	\$56.64
279372006	\$56.64
279372007	\$56.64
279372008	\$56.64
279372009	\$56.64
279372010	\$56.64
279372011	\$56.64
279372012	\$56.64
279372013	\$56.64
279372014	\$56.64
279372015	\$56.64
279372016	\$56.64
279372017	\$56.64
279372018	\$56.64
279372019	\$56.64
279372020	\$56.64
279372021	\$56.64
279372022	\$56.64
279372023	\$56.64
279372024	\$56.64
279381001	\$56.64
279381002	\$56.64
279381003	\$56.64
279381004	\$56.64
279381005	\$56.64
279381006	\$56.64
279381007	\$56.64
279381008	\$56.64
279381009	\$56.64
279381010	\$56.64
279381011	\$56.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279381012	\$56.64
279381013	\$56.64
279381014	\$56.64
279381015	\$56.64
279381016	\$56.64
279381017	\$56.64
279382001	\$56.64
279382002	\$56.64
279382003	\$56.64
279382004	\$56.64
279382005	\$56.64
279382006	\$56.64
279382007	\$56.64
279382008	\$56.64
279382009	\$56.64
279382010	\$56.64
279382011	\$56.64
279382012	\$56.64
279382013	\$56.64
279383001	\$56.64
279383002	\$56.64
279383003	\$56.64
279383004	\$56.64
279383005	\$56.64
279383006	\$56.64
279383007	\$56.64
279383008	\$56.64
279383009	\$56.64
279383010	\$56.64
279383011	\$56.64
279383012	\$56.64
279383013	\$56.64
279383014	\$56.64
279383015	\$56.64
279383016	\$56.64
279383017	\$56.64
279383018	\$56.64
279383019	\$56.64
279383020	\$56.64
279383021	\$56.64
279383022	\$56.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279383023	\$56.64
279383024	\$56.64
279383025	\$56.64
279383026	\$56.64
279383027	\$56.64
279391001	\$56.64
279391002	\$56.64
279391003	\$56.64
279391004	\$56.64
279391005	\$56.64
279392001	\$56.64
279392002	\$56.64
279392003	\$56.64
279392004	\$56.64
279392005	\$56.64
279392006	\$56.64
279392007	\$56.64
279392008	\$56.64
279393001	\$56.64
279393002	\$56.64
279393003	\$56.64
279393004	\$56.64
279393005	\$56.64
279393006	\$56.64
279393007	\$56.64
279393008	\$56.64
279393009	\$56.64
279393010	\$56.64
279401001	\$66.64
279401002	\$66.64
279401003	\$66.64
279401004	\$66.64
279401005	\$66.64
279401006	\$66.64
279401007	\$66.64
279401008	\$66.64
279401009	\$66.64
279401010	\$66.64
279401011	\$66.64
279401012	\$66.64
279401013	\$66.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279401014	\$66.64
279401015	\$66.64
279401016	\$66.64
279401017	\$66.64
279402001	\$66.64
279402002	\$66.64
279402003	\$66.64
279402004	\$66.64
279402005	\$66.64
279402006	\$66.64
279402007	\$66.64
279411001	\$56.64
279411002	\$56.64
279411003	\$56.64
279411004	\$56.64
279411005	\$56.64
279411006	\$56.64
279411007	\$56.64
279411008	\$56.64
279411009	\$56.64
279411010	\$56.64
279411011	\$56.64
279411012	\$56.64
279411013	\$56.64
279411014	\$56.64
279411015	\$56.64
279411016	\$56.64
279411017	\$56.64
279411018	\$56.64
279411019	\$56.64
279411020	\$56.64
279411021	\$56.64
279411022	\$56.64
279411023	\$56.64
279411024	\$56.64
279411025	\$56.64
279411026	\$56.64
279411027	\$56.64
279411028	\$56.64
279411029	\$56.64
279411030	\$56.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279412001	\$56.64
279412002	\$56.64
279412003	\$56.64
279412004	\$56.64
279412005	\$56.64
279412006	\$56.64
279412007	\$56.64
279412008	\$56.64
279412009	\$56.64
279412010	\$56.64
279412011	\$56.64
279412012	\$56.64
279412013	\$56.64
279412014	\$56.64
279412015	\$56.64
279412016	\$56.64
279412017	\$56.64
279412018	\$56.64
279412019	\$56.64
279412020	\$56.64
279412021	\$56.64
279413001	\$56.64
279413002	\$56.64
279413003	\$56.64
279413004	\$56.64
279413005	\$56.64
279421001	\$56.64
279421002	\$56.64
279421003	\$56.64
279421004	\$56.64
279421005	\$56.64
279421006	\$56.64
279421007	\$56.64
279421008	\$56.64
279421009	\$56.64
279421010	\$56.64
279421011	\$56.64
279421012	\$56.64
279421013	\$56.64
279421014	\$56.64
279422001	\$56.64

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279422002	\$56.64
279422003	\$56.64
279422004	\$56.64
279422005	\$56.64
279422006	\$56.64
279422007	\$56.64
279422008	\$56.64
279422009	\$56.64
279422010	\$56.64
279422011	\$56.64
279422012	\$56.64
279422013	\$56.64
279431001	\$56.64
279431002	\$56.64
279431003	\$56.64
279431004	\$56.64
279431005	\$56.64
279431006	\$56.64
279431007	\$56.64
279431008	\$56.64
279431009	\$56.64
279431010	\$56.64
279431011	\$56.64
279431012	\$56.64
279431013	\$56.64
279431014	\$56.64
279431016	\$56.64
279431017	\$56.64
279432001	\$56.64
279432003	\$56.64
279432004	\$56.64
279432005	\$56.64
279432006	\$56.64
279432007	\$56.64
279432008	\$56.64
279440001	\$56.64
279440002	\$56.64
279440003	\$56.64
279440004	\$56.64
279440005	\$56.64
279440006	\$56.64



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279440007	\$56.64
279440008	\$56.64
279440009	\$56.64
279440010	\$56.64
279440011	\$56.64
279440012	\$56.64
279440013	\$56.64
279440014	\$56.64
279440015	\$56.64
279440016	\$56.64
279440017	\$56.64
279440018	\$56.64
279440025	\$56.64
279440026	\$56.64
282591001	\$71.88
282591002	\$71.88
282591003	\$71.88
282591004	\$71.88
282591005	\$71.88
282591006	\$71.88
282591007	\$71.88
282591008	\$71.88
282591009	\$71.88
282591010	\$71.88
282591011	\$71.88
282591012	\$71.88
282591013	\$71.88
282591014	\$71.88
282591015	\$71.88
282591016	\$71.88
282591017	\$71.88
282591018	\$71.88
282591019	\$71.88
282591020	\$71.88
282591021	\$71.88
282591022	\$71.88
282591023	\$71.88
282591024	\$71.88
282592001	\$71.88
282592002	\$71.88
282592003	\$71.88

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2000-1 DEBRIS BASIN  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
282592004	\$71.88
282592005	\$71.88
282592007	\$71.88
282592008	\$71.88
282592009	\$71.88
282592010	\$71.88
282592011	\$71.88
282592012	\$71.88
282592013	\$71.88
282592014	\$71.88
282592015	\$71.88
282592016	\$71.88
282592017	\$71.88
282592018	\$71.88
282601001	\$71.88
282601002	\$71.88
282601003	\$71.88
282601004	\$71.88
282601005	\$71.88
282601006	\$71.88
282601007	\$71.88
282601008	\$71.88
282601009	\$71.88
282601010	\$71.88
282601011	\$71.88
282601012	\$71.88
282601013	\$71.88
282601015	\$71.88
282601016	\$71.88
282601017	\$71.88
282602002	\$107.62
<b>Total</b>	<b>\$21,991.40</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2002-2



**RESOLUTION NO. 2021-085**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY  
OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES  
TO BE COLLECTED DURING FISCAL YEAR 2022 FOR  
THE PAYMENT OF ANNUAL COST OF THE OPERATION  
AND MAINTENANCE OF PARKWAYS AND OPEN SPACE  
WITHIN COMMUNITY FACILITIES DISTRICT NO. 2002-2**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2002-2 of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-076 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of parkways and open space within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
107030003	\$1,751.18
107030029	\$2,262.08
107030030	\$847.02
107030031	\$480.64
107030032	\$359.64
107030033	\$2,107.46
107030034	\$1,146.16
107060003	\$954.56
107060025	\$954.56
107060026	\$539.46
107060027	\$1,225.14
107060028	\$3,411.60
107070068	\$1,680.58
107070069	\$1,438.58
107070070	\$1,213.38
107070071	\$1,633.54
107070072	\$954.56
107070073	\$1,199.94
107070074	\$1,952.84
107070075	\$4,463.66
111290054	\$672.22
111290059	\$863.82
111290060	\$1,408.34
111290061	\$1,031.88
111290064	\$2,043.60
111290065	\$712.56
111290066	\$309.22
111290067	\$213.42
111290068	\$213.42
111290069	\$213.42
111290070	\$213.42
111290071	\$213.42
111290072	\$213.42
111290073	\$213.42
111290074	\$213.42
111290075	\$213.42
111290076	\$213.42
111290078	\$497.44
111290080	\$652.06
111300030	\$494.08

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
111300031	\$685.68
111300038	\$4,591.38
111300049	\$352.92
111300050	\$860.46
111300052	\$369.72
111300053	\$184.86
111300054	\$393.24
115090021	\$406.70
115090023	\$1,379.76
115090024	\$914.24
115200002	\$1,260.44
115200040	\$537.78
115200041	\$376.44
115200042	\$331.06
115200043	\$117.64
115200044	\$159.64
115200045	\$152.92
115200046	\$319.30
115200047	\$398.30
115200048	\$226.88
115200049	\$236.96
115200050	\$236.96
115200051	\$337.80
115200052	\$564.68
115200053	\$379.80
115200054	\$307.54
115200055	\$448.70
115200056	\$431.90
115200057	\$262.16
115200058	\$334.42
115200060	\$4,134.26
115200061	\$1,210.02
115200062	\$1,129.36
115210031	\$275.60
115580032	\$517.62
115690001	\$2,873.82
115690003	\$1,018.44
115690017	\$991.54
135260026	\$672.22
<b>Total</b>	<b>\$71,779.16</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2002-3

**RESOLUTION NO. 2021-086**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF THE OPERATION AND MAINTENANCE OF PARKWAYS AND OPEN SPACE WITHIN COMMUNITY FACILITIES DISTRICT NO. 2002-3**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2002-3 of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-077 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of parkways and open space within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2002-3  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279140011	\$884.28
279530001	\$292.30
279530002	\$1,877.32
279530003	\$1,755.80
279530004	\$1,148.14
279530005	\$244.66
279530006	\$335.80
279530007	\$269.28
279530008	\$231.54
279530009	\$157.66
279530010	\$167.58
279530011	\$178.76
279530012	\$185.48
279530013	\$260.96
279530014	\$402.96
279530015	\$205.32
279530016	\$195.40
279530017	\$282.38
279530018	\$272.48
279530019	\$761.16
279530020	\$911.48
279530022	\$1,061.78
279530023	\$143.90
279530024	\$1,253.68
279530025	\$1,634.26
279530026	\$2,104.40
<b>Total</b>	<b>\$17,218.76</b>





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2011-1



**RESOLUTION NO. 2021-087**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF THE OPERATION, MAINTENANCE AND LIGHTING OF PARKWAYS, STREETS, ROADS, AND OPEN SPACE WITHIN COMMUNITY FACILITIES DISTRICT NO. 2011-1**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2011-1 of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of annual cost of the operation, maintenance and lighting of parkways, streets, roads, and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-078 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of parkways and open space within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

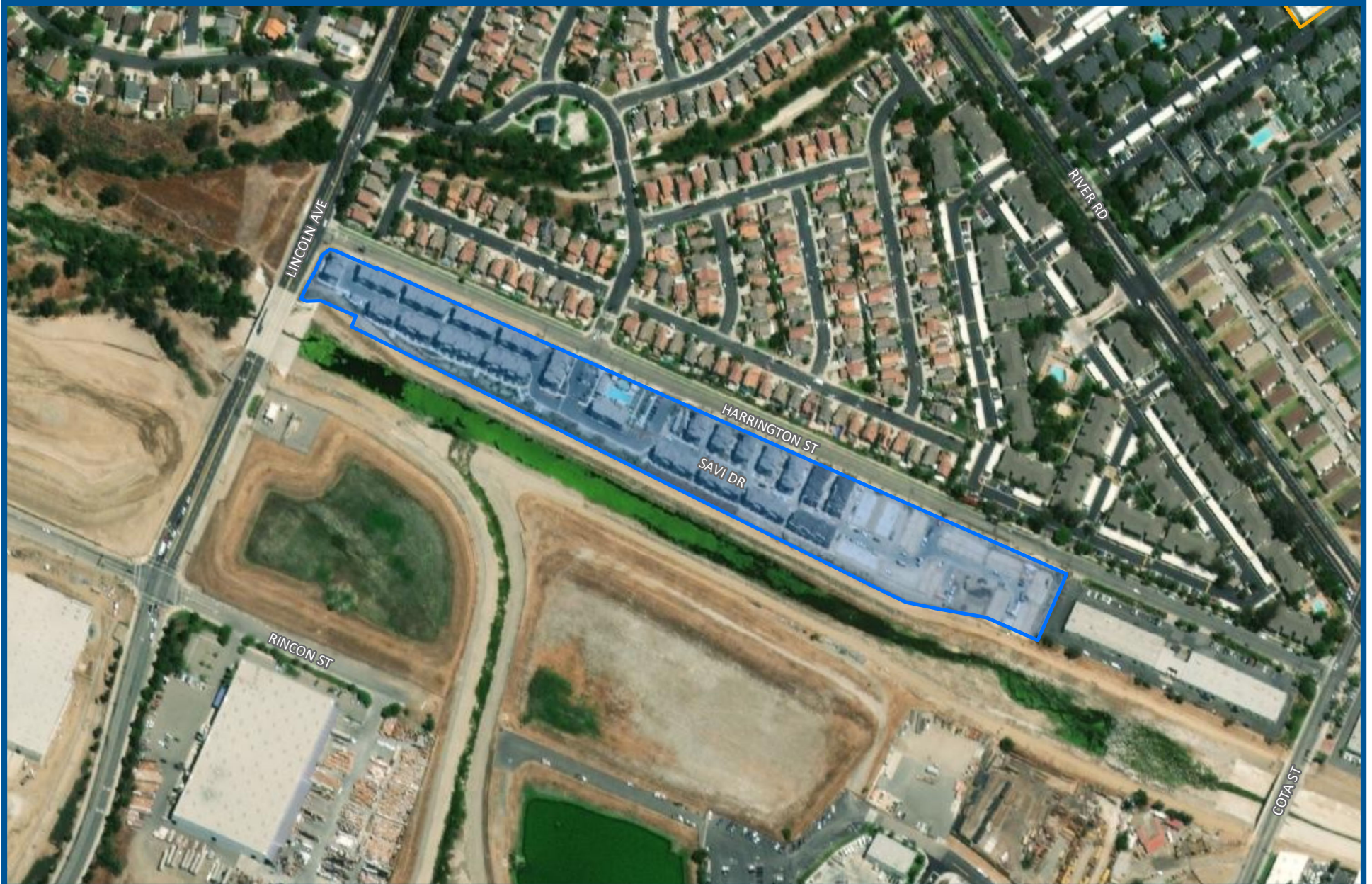
City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2011-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119250006	\$546.16
119250007	\$663.80
119261013	\$47,525.42
119270013	\$5,377.68
119270014	\$560.16
119560001	\$20,939.42
119560002	\$666.60
119560003	\$715.62
119560007	\$6,577.88
119560008	\$529.36
119560009	\$490.14
119560011	\$656.80
<b>Total</b>	<b>\$85,249.04</b>



## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 2





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 3





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 4

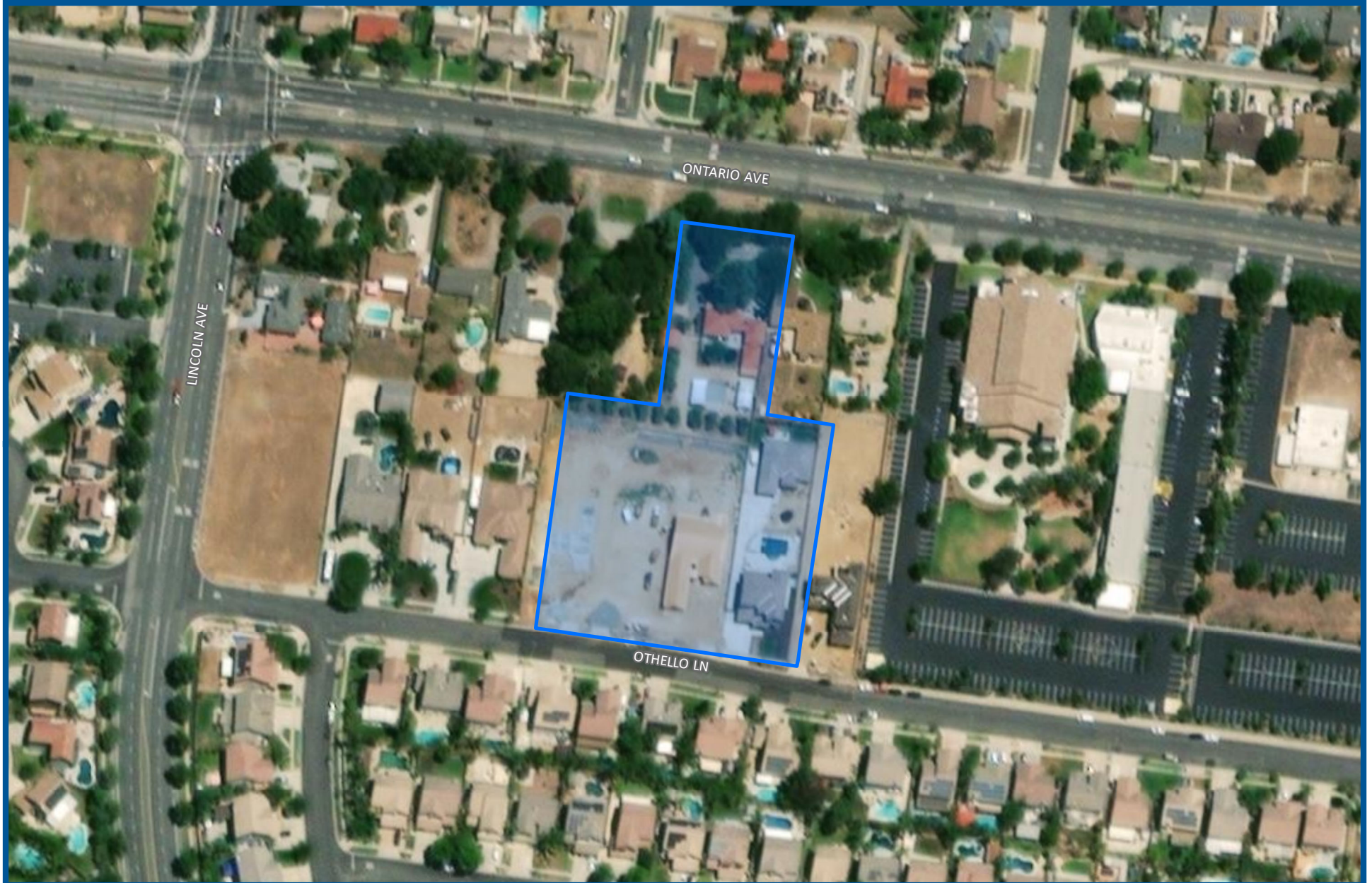




## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 6





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 8





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 12

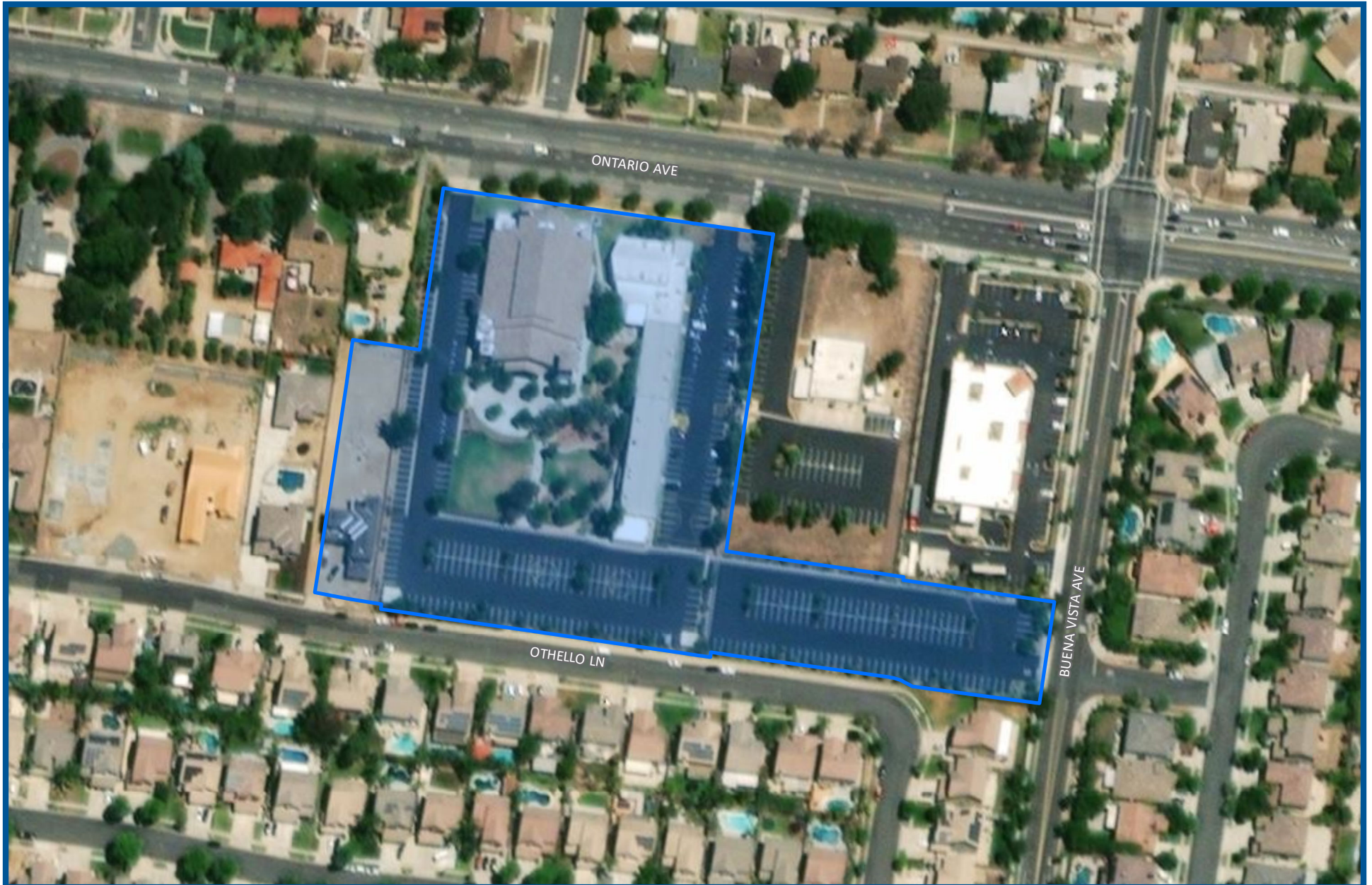




## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 13

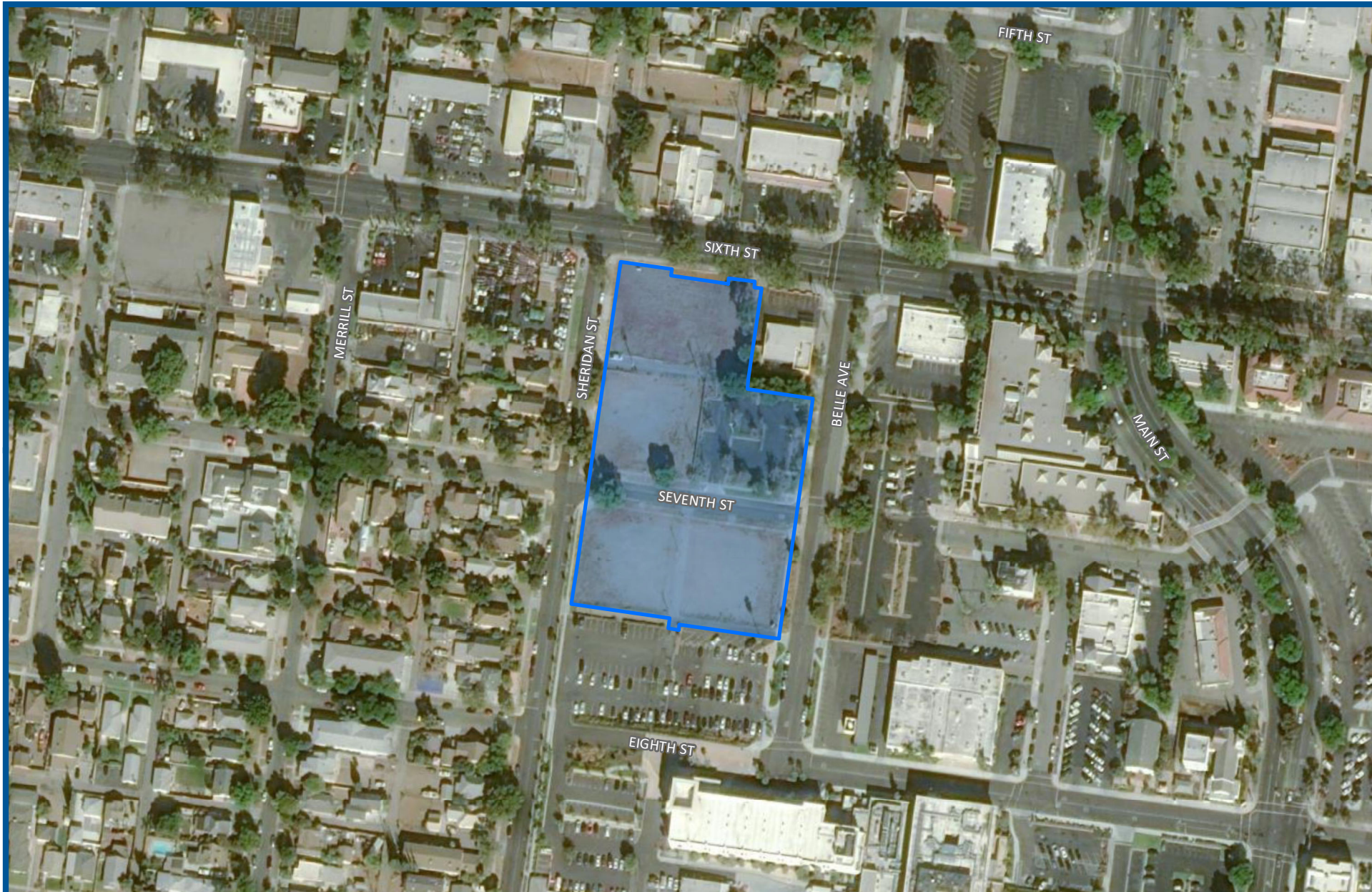




## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 15





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 17

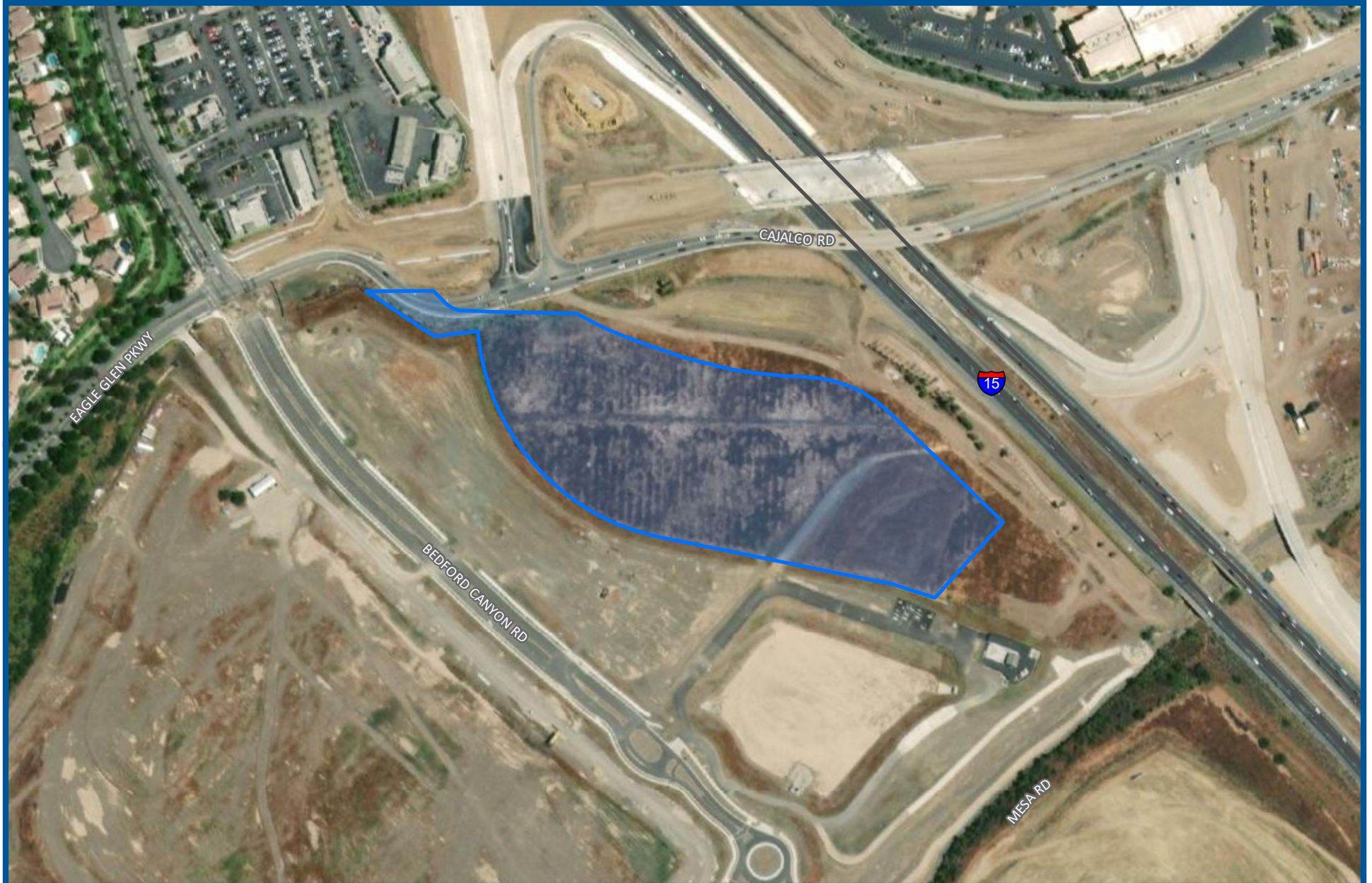




## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 18





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 20





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 21





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2016-3  
ZONE 22

**RESOLUTION NO. 2021-088**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF MAINTENANCE SERVICES WITHIN COMMUNITY FACILITIES DISTRICT NO. 2016-3 (MAINTENANCE SERVICES)**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2016-3 (Maintenance Services) of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of the annual cost of maintaining, servicing, cleaning, repairing and/or replacing landscaped areas (may include reserves for replacement) in public street right-of-way, public landscaping, public open spaces and other similar landscaped areas officially dedicated for public use, including, but not limited to, maintenance and lighting of parks, parkways, streets, roads and open space, maintenance and operation of water quality improvements and storm drain systems, and public street sweeping (collectively, “Improvements”), within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-079 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of maintaining, servicing, cleaning, repairing and/or replacing the Improvements within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each



such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119191001	\$414.30
119191002	\$414.30
119191003	\$414.30
119191004	\$414.30
119191005	\$414.30
119191006	\$414.30
119191007	\$414.30
119191008	\$414.30
119191009	\$414.30
119191010	\$414.30
119191011	\$414.30
119191012	\$414.30
119191013	\$414.30
119191014	\$414.30
119191017	\$414.30
119191018	\$414.30
119191019	\$414.30
119191020	\$414.30
119191021	\$414.30
119191022	\$414.30
119191023	\$414.30
119191024	\$414.30
119191025	\$414.30
119191026	\$414.30
119191028	\$414.30
119191029	\$414.30
119191030	\$414.30
119191031	\$414.30
119191032	\$414.30
119191033	\$414.30
119191034	\$414.30
119191035	\$414.30
119191036	\$414.30
119191038	\$414.30
119191039	\$414.30
119191040	\$414.30
119191041	\$414.30
119191042	\$414.30
119191043	\$414.30
119191044	\$414.30

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119191045	\$414.30
119191046	\$414.30
119191047	\$414.30
119191048	\$414.30
119191053	\$414.30
119191054	\$414.30
119191055	\$414.30
119191056	\$414.30
119191057	\$414.30
119191058	\$414.30
119191059	\$414.30
119191060	\$414.30
119191061	\$414.30
119191062	\$414.30
119191063	\$414.30
119192001	\$414.30
119192002	\$414.30
119192003	\$414.30
119192004	\$414.30
119192005	\$414.30
119192006	\$414.30
119192007	\$414.30
119192008	\$414.30
119192010	\$414.30
119192011	\$414.30
119192012	\$414.30
119192013	\$414.30
119192014	\$414.30
119192015	\$414.30
119192016	\$414.30
119192017	\$414.30
119192018	\$414.30
119192019	\$414.30
119192020	\$414.30
119192022	\$414.30
119192023	\$414.30
119192024	\$414.30
119192025	\$414.30
119192026	\$414.30
119192027	\$414.30

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119192028	\$414.30
119192029	\$414.30
119192030	\$414.30
119192031	\$414.30
119192032	\$414.30
119192033	\$414.30
119192035	\$414.30
119192036	\$414.30
119192037	\$414.30
119192038	\$414.30
119192039	\$414.30
119192040	\$414.30
119192041	\$414.30
119192042	\$414.30
119192043	\$414.30
119192044	\$414.30
119192045	\$414.30
119192046	\$414.30
119192047	\$414.30
119192049	\$414.30
119192050	\$414.30
119192051	\$414.30
119192052	\$414.30
119192053	\$414.30
119192054	\$414.30
119192055	\$414.30
119192056	\$414.30
119192057	\$414.30
119192058	\$414.30
119192059	\$414.30
119192060	\$414.30
119192061	\$414.30
119192063	\$414.30
119192064	\$414.30
119192065	\$414.30
119192066	\$414.30
119192067	\$414.30
119192068	\$414.30
119192069	\$414.30
119192070	\$414.30

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 2  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119193001	\$414.30
119193002	\$414.30
119193003	\$414.30
119193004	\$414.30
119193005	\$414.30
119193006	\$414.30
119193007	\$414.30
119193008	\$414.30
119193009	\$414.30
119193010	\$414.30
119193011	\$414.30
119193012	\$414.30
119193013	\$414.30
119193014	\$414.30
119193015	\$414.30
119193017	\$414.30
119193018	\$414.30
119193019	\$414.30
119193020	\$414.30
119193021	\$414.30
119193022	\$414.30
119193023	\$414.30
119193024	\$414.30
119193025	\$414.30
119193026	\$414.30
119193027	\$414.30
119193028	\$414.30
119193029	\$414.30
<b>Total</b>	<b>\$61,316.40</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 3  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
115060059	\$2,671.58
<b>Total</b>	<b>\$2,671.58</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 4  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
115210034	\$10,981.34
<b>Total</b>	<b>\$10,981.34</b>



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 6  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116340001	\$1,594.70
116340002	\$1,594.70
116340003	\$1,594.70
116340004	\$1,594.70
116340005	\$1,594.70
116340006	\$1,594.70
116340007	\$1,594.70
116340008	\$1,594.70
116340009	\$1,594.70
116340010	\$1,594.70
116340011	\$1,594.70
116340012	\$1,594.70
116340013	\$1,594.70
116340014	\$1,594.70
116340015	\$1,594.70
116350001	\$1,594.70
116350002	\$1,594.70
116350003	\$1,594.70
116350004	\$1,594.70
116350005	\$1,594.70
116350006	\$1,594.70
116350007	\$1,594.70
116350008	\$1,594.70
116350009	\$1,594.70
116350010	\$1,594.70
116350011	\$1,594.70
<b>Total</b>	<b>\$41,462.20</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 8  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113140026	\$755.26
113140027	\$755.26
113140028	\$755.26
113140029	\$755.26
113140030	\$755.26
<b>Total</b>	<b>\$3,776.30</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 12  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116320035	\$955.96
116320036	\$955.96
<b>Total</b>	<b>\$1,911.92</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 13  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
119210043	\$6,233.68
119210046	\$8,175.24
119210050	\$5,720.82
<b>Total</b>	<b>\$20,129.74</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 15  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113420012	\$1,140.82
<b>Total</b>	<b>\$1,140.82</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 17  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
117186020	\$1,646.73
117186022	\$7,803.98
117186023	\$8,081.05
<b>Total</b>	<b>\$17,531.76</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 18  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
117270046	\$5,606.26
<b>Total</b>	<b>\$5,606.26</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 20  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279240019	\$11,486.94
279240033	\$6,529.20
<b>Total</b>	<b>\$18,016.14</b>



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 21  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
115090008	\$4,690.49
<b>Total</b>	<b>\$4,690.49</b>

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2016-3 ZONE 22  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
122061006	\$5,694.35
<b>Total</b>	<b>\$5,694.35</b>



Staff Report

---

**File #:** 21-0656

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Resolution levying special taxes to be collected during Fiscal Year 2022 for the maintenance and services Community Facilities District No. 2001-1.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution will allow the City to levy and collect Fiscal Year 2022 special taxes.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-078, levying special taxes to be collected during Fiscal Year 2022 for the payment of annual cost of the operation and maintenance of parkways and open space within Community Facilities District No. 2001-1.

**BACKGROUND & HISTORY:**

Pursuant to the Mello-Roos Community Facilities Act of 1982, Community Facilities District No. 2001-1 (the "District") was formed to levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes.

**ANALYSIS:**

It is necessary that the City Council levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District, pursuant to Section 53340 of the Government Code. Special taxes within the District are levied in an amount necessary to satisfy the Operation and Maintenance Special Tax Requirement, as defined in the District's Rate and Method of Apportionment (the "RMA"). Any necessary replenishment or expenditure of the

reserve funds and an amount estimated for administrative expenses during the year are included in the levy. The special taxes levied will not exceed the authorized amounts as provided in the RMA.

**FINANCIAL IMPACT:**

The following is a summary of the Fiscal Year 2022 budgeted revenues and expenditures for the District:

<u>CFD Issue</u>	<u>Estimated Operating Costs</u>	<u>Estimated Assessments</u>	<u>Estimated Deficit</u>	<u>Percentage of Maximum Tax</u>	<u>YOY % Change in Levy Rate</u>
CFD No. 2001-1	\$ 670,197	\$ 644,103	\$ (26,094)	31.49%	0%

The proposed levy rate for Fiscal Year 2022 is the same as the levy in Fiscal Year 2021. The estimated operating deficit will be covered by a one-time contribution from the excess capital reserve fund.

Pursuant to the Mello-Roos Community Facilities Act of 1982 (the "Act"), an adequate amount is retained in the reserve fund to maintain the financial stability of the District.

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely sets the special taxes to be levied and collected within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environment analysis is required.

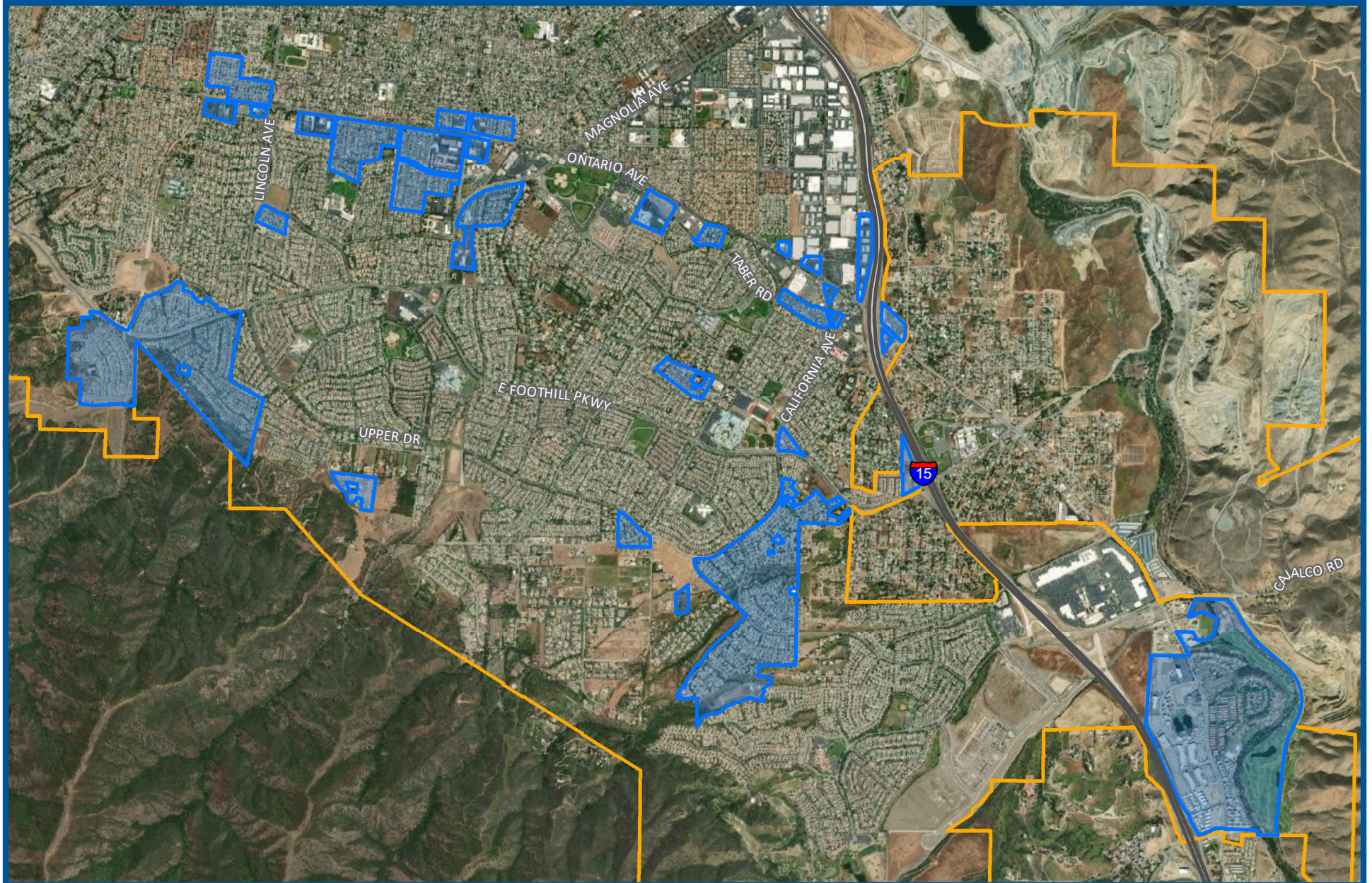
**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - Boundary Map for Resolution No. 2021-078
2. Exhibit 2 - Resolution No. 2021-078





## BOUNDARY MAP

COMMUNITY FACILITIES DISTRICT NO. 2001-1



## **RESOLUTION NO. 2021-078**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, LEVYING SPECIAL TAXES TO BE COLLECTED DURING FISCAL YEAR 2022 FOR THE PAYMENT OF ANNUAL COST OF THE OPERATION AND MAINTENANCE OF PARKWAYS AND OPEN SPACE WITHIN COMMUNITY FACILITIES DISTRICT NO. 2001-1**

**WHEREAS**, the City Council of the City of Corona (“City Council”) previously established Community Facilities District No. 2001-1 of the City of Corona, County of Riverside, State of California (the “District”) pursuant to the terms and provisions of the Mello-Roos Community Facilities Act of 1982, as amended, commencing with Government Code Section 53311 (“Act”) to levy special taxes for the payment of annual cost of the operation and maintenance of parkways and open space within the District and the surrounding area, and for the payment of administrative expenses incurred in connection with the levy and collection of said special taxes; and

**WHEREAS**, pursuant to Section 53340 of the Government Code, the City Council may by resolution provide for the levy of special taxes on taxable properties in the District at a rate provided by ordinance or at a lower rate; and

**WHEREAS**, the City Council has previously levied special taxes on taxable properties in the District by resolution, including Resolution No. 2020-075 adopted on July 1, 2020 that levied special taxes on such parcels for Fiscal Year 2021; and

**WHEREAS**, the special taxes will be levied for Fiscal Year 2022 on all taxable properties in the District pursuant to the Rate and Method of Apportionment to pay annual cost of the operation and maintenance of parkways and open space within the District; and

**WHEREAS**, the rates of the special taxes that will be levied on such parcels for Fiscal Year 2022 will not exceed the rates previously approved by the qualified electors of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Levy of Special Taxes.** Special taxes shall be and are hereby levied for the Fiscal Year 2022 on all parcels of real property within the District which are subject to taxation, which are identified in Exhibit “A” attached hereto, and in the amount set forth for each such parcel in said Exhibit “A”. Pursuant to said Sections 53340 and 53358, such special taxes shall be collected in the same manner as ordinary ad valorem property taxes are collected and shall be subject to the same penalties and the same procedure, sale, and lien priority in case of delinquency as is provided for ad valorem taxes.

**SECTION 2. Transmittal to County.** The City Clerk shall immediately following adoption of this resolution transmit a copy hereof to the Board of Supervisors and the County Auditor of the County of Riverside together with a request that the special taxes as levied hereby be collected on the tax bills for the parcels identified in Exhibit “A” hereto, along with the ordinary ad valorem property taxes to be levied on and collected from the owners of said parcels.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at an adjourned meeting thereof held on the 7th day of July, 2021 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
107180048	\$3,206.90
107180052	\$1,122.80
107180053	\$546.02
108250024	\$259.88
108250025	\$259.88
108250026	\$259.88
108250027	\$259.88
108250028	\$259.88
108250029	\$259.88
108250030	\$259.88
108250031	\$259.88
108250032	\$259.88
108250033	\$259.88
108250034	\$259.88
108250035	\$259.88
108250036	\$259.88
108250037	\$259.88
108320086	\$153.80
108320087	\$153.80
108541001	\$365.96
108541002	\$365.96
108541003	\$365.96
108541004	\$365.96
108541005	\$365.96
108541006	\$365.96
108541007	\$365.96
108541008	\$365.96
108541009	\$365.96
108541010	\$365.96
108541011	\$365.96
108541012	\$365.96
108542001	\$365.96
108542002	\$365.96
108542003	\$365.96
108542004	\$365.96
108542005	\$365.96
108542006	\$365.96
108542007	\$365.96
108542008	\$365.96
108542009	\$365.96
108551001	\$365.96

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108551002	\$365.96
108551003	\$365.96
108551004	\$365.96
108551005	\$365.96
108551006	\$365.96
108551007	\$365.96
108552001	\$365.96
108552002	\$365.96
108552003	\$365.96
108552004	\$365.96
108552005	\$365.96
108552006	\$365.96
108553001	\$365.96
108553002	\$365.96
108553003	\$365.96
108553004	\$365.96
108553005	\$365.96
108553006	\$365.96
108554001	\$365.96
108554002	\$365.96
108554003	\$365.96
108554004	\$365.96
108554005	\$365.96
108554006	\$365.96
108554007	\$365.96
108554008	\$365.96
108554009	\$365.96
108555001	\$365.96
108555002	\$365.96
108560001	\$365.96
108560002	\$365.96
108560003	\$365.96
108560004	\$365.96
108560005	\$365.96
108560006	\$365.96
108560008	\$365.96
108560009	\$365.96
108560010	\$365.96
108560011	\$365.96
108560012	\$365.96
108560013	\$365.96

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108560014	\$365.96
108560015	\$365.96
108560016	\$365.96
108560017	\$365.96
108560018	\$365.96
108560019	\$365.96
108560020	\$365.96
108560021	\$365.96
108560022	\$365.96
108560023	\$365.96
108560024	\$365.96
108560025	\$365.96
108560026	\$365.96
108560027	\$365.96
108560028	\$365.96
108560029	\$365.96
108560030	\$365.96
108560031	\$365.96
108560032	\$365.96
108571002	\$206.84
108571003	\$206.84
108571004	\$206.84
108571005	\$206.84
108571006	\$206.84
108571007	\$206.84
108571008	\$206.84
108571009	\$206.84
108571010	\$206.84
108571011	\$206.84
108571012	\$206.84
108571013	\$206.84
108571014	\$206.84
108571015	\$206.84
108572001	\$206.84
108572002	\$206.84
108572003	\$206.84
108572005	\$206.84
108572006	\$206.84
108572007	\$206.84
108572008	\$206.84
108573001	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108573002	\$206.84
108573003	\$206.84
108581002	\$206.84
108581003	\$206.84
108581004	\$206.84
108581005	\$206.84
108581006	\$206.84
108581007	\$206.84
108581008	\$206.84
108581009	\$206.84
108581013	\$206.84
108581014	\$206.84
108581015	\$206.84
108581016	\$206.84
108581017	\$206.84
108581018	\$206.84
108581019	\$206.84
108582001	\$206.84
108582002	\$206.84
108590001	\$206.84
108590002	\$206.84
108590003	\$206.84
108590004	\$206.84
108590005	\$206.84
108590006	\$206.84
108590007	\$206.84
108590008	\$206.84
108590009	\$206.84
108590010	\$206.84
108590011	\$206.84
108590012	\$206.84
108590013	\$206.84
108590014	\$206.84
108590015	\$206.84
108590016	\$206.84
108600001	\$206.84
108600002	\$206.84
108600003	\$206.84
108600004	\$206.84
108600005	\$206.84
108600006	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
108600007	\$206.84
108600008	\$206.84
108601001	\$206.84
108601002	\$206.84
108601003	\$206.84
108601004	\$206.84
108601005	\$206.84
108601006	\$206.84
108601007	\$206.84
108601008	\$206.84
108601009	\$206.84
108601010	\$206.84
108601011	\$206.84
108601012	\$206.84
108601013	\$206.84
108601014	\$206.84
108601015	\$206.84
108601016	\$206.84
108601017	\$206.84
108601018	\$206.84
108601019	\$206.84
108601020	\$206.84
108610001	\$206.84
108610002	\$206.84
108610003	\$206.84
108610004	\$206.84
108610005	\$206.84
108610006	\$206.84
108610007	\$206.84
108610008	\$206.84
108610009	\$206.84
108610010	\$206.84
108610011	\$206.84
108610012	\$206.84
108610013	\$206.84
108610014	\$206.84
108610015	\$206.84
108610016	\$206.84
108610017	\$206.84
108610018	\$206.84
108610019	\$206.84

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2001-1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
108610020	\$206.84
108610021	\$206.84
108610022	\$206.84
108610023	\$206.84
108610024	\$206.84
108610025	\$206.84
108610026	\$206.84
108611001	\$206.84
108611002	\$206.84
108611003	\$206.84
108611004	\$206.84
108611005	\$206.84
108611006	\$206.84
108611007	\$206.84
108611008	\$206.84
108611009	\$206.84
108611010	\$206.84
108611011	\$206.84
109430001	\$153.80
109430002	\$153.80
109430003	\$153.80
109430004	\$153.80
109430005	\$153.80
109430006	\$153.80
109430007	\$153.80
109430008	\$153.80
109430009	\$153.80
109430010	\$153.80
109430011	\$153.80
109430012	\$153.80
109430013	\$153.80
109430014	\$153.80
109430015	\$153.80
109430016	\$153.80
109430017	\$153.80
109430018	\$707.52
109430019	\$476.80
109430020	\$599.84
109440001	\$153.80
109440002	\$153.80
109440003	\$153.80

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2001-1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
109440004	\$153.80
109440005	\$153.80
109440006	\$153.80
109440007	\$153.80
109440008	\$153.80
109440009	\$153.80
109440010	\$153.80
109440011	\$153.80
109440012	\$153.80
109440013	\$153.80
109440014	\$153.80
109440015	\$153.80
109440016	\$153.80
109440017	\$153.80
109440018	\$153.80
109440019	\$153.80
109440020	\$153.80
109440021	\$153.80
109440022	\$153.80
109440023	\$153.80
109440024	\$153.80
109440025	\$153.80
109440026	\$153.80
109440027	\$153.80
109440028	\$153.80
109440029	\$153.80
109440030	\$153.80
109440031	\$153.80
109440032	\$153.80
109440033	\$446.04
109440034	\$430.66
109440035	\$1,092.04
110510001	\$153.80
110510002	\$153.80
110510003	\$153.80
110510004	\$153.80
110510005	\$153.80
110510006	\$153.80
110510007	\$153.80
110510008	\$153.80
110510009	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
110510010	\$153.80
110511001	\$153.80
110511002	\$153.80
110511003	\$153.80
110511004	\$153.80
110511005	\$153.80
110511006	\$153.80
110511007	\$153.80
110511008	\$153.80
110511009	\$153.80
110511010	\$153.80
110511011	\$153.80
110512001	\$153.80
110512002	\$153.80
110512003	\$153.80
110512004	\$153.80
110512005	\$153.80
110512006	\$153.80
110512007	\$153.80
110512008	\$153.80
110512009	\$153.80
110512010	\$153.80
110512011	\$153.80
110513007	\$153.80
110513008	\$153.80
110513009	\$153.80
110513010	\$153.80
110513011	\$153.80
110513012	\$153.80
110513013	\$153.80
110513014	\$153.80
110513015	\$153.80
110513016	\$153.80
110513017	\$153.80
110513018	\$153.80
110513019	\$153.80
110513020	\$153.80
110513021	\$153.80
110513022	\$153.80
110520001	\$153.80
110520002	\$153.80



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
110520003	\$153.80
110520004	\$153.80
110521001	\$153.80
110521002	\$153.80
110521003	\$153.80
110521004	\$153.80
110521005	\$153.80
110521006	\$153.80
110521007	\$153.80
110521008	\$153.80
110521009	\$153.80
110521010	\$153.80
110521011	\$153.80
110521012	\$153.80
110521013	\$153.80
110521014	\$153.80
110521015	\$153.80
110521016	\$153.80
110521017	\$153.80
110521018	\$153.80
110521019	\$153.80
110521020	\$153.80
110521021	\$153.80
110521022	\$153.80
110521023	\$153.80
110521024	\$153.80
110521025	\$153.80
112390001	\$365.96
112390002	\$365.96
112390003	\$365.96
112390004	\$365.96
112390005	\$365.96
112390006	\$365.96
112390007	\$365.96
112390008	\$365.96
112390009	\$365.96
112390010	\$365.96
112390011	\$365.96
112390012	\$365.96
112390013	\$365.96
112390014	\$365.96

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
112390015	\$365.96
112390016	\$365.96
112390017	\$365.96
112390018	\$365.96
112390019	\$365.96
112390020	\$365.96
112390021	\$365.96
112390022	\$365.96
112390023	\$365.96
112390024	\$365.96
112390025	\$365.96
112390026	\$365.96
112390027	\$365.96
112390028	\$365.96
112390029	\$365.96
112390030	\$365.96
112390031	\$365.96
112390032	\$365.96
112391001	\$365.96
112391002	\$365.96
112391003	\$365.96
112391004	\$365.96
112391005	\$365.96
112391006	\$365.96
112391007	\$365.96
112391008	\$365.96
112391009	\$365.96
112391010	\$365.96
112391011	\$365.96
112391012	\$365.96
112391013	\$365.96
112391014	\$365.96
112391015	\$365.96
112391016	\$365.96
112392001	\$365.96
112392002	\$365.96
112393001	\$365.96
112393002	\$365.96
112393003	\$365.96
112393004	\$365.96
112393005	\$365.96

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
112393006	\$365.96
112400001	\$365.96
112400002	\$365.96
112400003	\$365.96
112400004	\$365.96
112400005	\$365.96
112400006	\$365.96
112400007	\$365.96
112401001	\$365.96
112401002	\$365.96
112401003	\$365.96
112401004	\$365.96
112401005	\$365.96
112402001	\$365.96
112402002	\$365.96
112402003	\$365.96
112402004	\$365.96
112402005	\$365.96
112402006	\$365.96
112402007	\$365.96
112402008	\$365.96
112402009	\$365.96
112402010	\$365.96
112402011	\$365.96
112402012	\$365.96
112402018	\$365.96
112402019	\$365.96
112403001	\$365.96
112403002	\$365.96
112403003	\$365.96
112403004	\$365.96
112403005	\$365.96
112403006	\$365.96
112403007	\$365.96
112403008	\$365.96
112403009	\$365.96
112403010	\$365.96
112403011	\$365.96
112403012	\$365.96
112403013	\$365.96
112403014	\$365.96

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
112410001	\$365.96
112410002	\$365.96
112410003	\$365.96
112410004	\$365.96
112410005	\$365.96
112411001	\$365.96
112411002	\$365.96
112411003	\$365.96
112411004	\$365.96
112411005	\$365.96
112411006	\$365.96
112411007	\$365.96
112411008	\$365.96
112411009	\$365.96
112411010	\$365.96
112411011	\$365.96
112411012	\$365.96
112411013	\$365.96
112411014	\$365.96
112411016	\$365.96
112411017	\$365.96
112411020	\$365.96
113020015	\$1,495.02
113020016	\$735.20
113020018	\$1,076.66
113160046	\$922.84
113290005	\$259.88
113290006	\$259.88
113290007	\$259.88
113290008	\$259.88
113290009	\$259.88
113290013	\$365.96
113290014	\$365.96
113290015	\$365.96
113290016	\$365.96
113290017	\$365.96
113290018	\$365.96
113290019	\$365.96
113290020	\$365.96
113291001	\$259.88
113291002	\$259.88

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113291003	\$259.88
113291004	\$259.88
113291005	\$259.88
113291006	\$259.88
113291007	\$259.88
113291008	\$259.88
113292001	\$365.96
113292002	\$365.96
113292003	\$365.96
113292004	\$365.96
113292005	\$365.96
113292006	\$365.96
113292007	\$365.96
113292008	\$259.88
113292009	\$259.88
113292010	\$259.88
113300015	\$1,230.46
113300016	\$2,730.10
113300017	\$1,138.18
113300018	\$546.02
113301001	\$1,476.56
113301002	\$576.78
113310013	\$6,829.10
113340002	\$1,510.40
113340003	\$15.38
113340078	\$2,514.76
113340079	\$1,022.82
113350007	\$86.12
113350048	\$206.84
113350049	\$206.84
113350050	\$206.84
113350051	\$206.84
113350053	\$1,858.00
113360001	\$407.58
113360002	\$907.46
113360040	\$1,953.36
113362001	\$676.74
113362002	\$153.80
113362003	\$153.80
113362004	\$153.80
113362005	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113362006	\$153.80
113362007	\$153.80
113362008	\$153.80
113420003	\$827.42
113420010	\$1,820.34
113491001	\$153.80
113491002	\$153.80
113491003	\$153.80
113491004	\$153.80
113491005	\$153.80
113491006	\$153.80
113491007	\$153.80
113491008	\$153.80
113491009	\$153.80
113491010	\$153.80
113491011	\$153.80
113491012	\$153.80
113491013	\$153.80
113491014	\$153.80
113491015	\$153.80
113491016	\$153.80
113492001	\$153.80
113492002	\$153.80
113492003	\$153.80
113492004	\$153.80
113492005	\$153.80
113492006	\$153.80
113492007	\$153.80
113492008	\$153.80
113492009	\$153.80
113492010	\$153.80
113492011	\$153.80
113492012	\$153.80
113492013	\$153.80
113492014	\$153.80
113492015	\$153.80
113492016	\$153.80
113492017	\$153.80
113492018	\$153.80
113492019	\$153.80
113492020	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113492021	\$153.80
113492022	\$153.80
113492023	\$153.80
113492024	\$153.80
113492025	\$153.80
113492026	\$153.80
113492027	\$153.80
113492028	\$153.80
113492029	\$153.80
113492030	\$153.80
113493001	\$153.80
113493002	\$153.80
113493003	\$153.80
113493004	\$153.80
113493005	\$153.80
113493006	\$153.80
113493007	\$153.80
113493008	\$153.80
113493009	\$153.80
113493010	\$153.80
113493011	\$153.80
113493012	\$153.80
113493013	\$153.80
113493014	\$153.80
113493015	\$153.80
113501001	\$153.80
113501002	\$153.80
113501003	\$153.80
113501004	\$153.80
113501005	\$153.80
113502001	\$153.80
113502002	\$153.80
113502003	\$153.80
113502004	\$153.80
113502005	\$153.80
113502006	\$153.80
113502007	\$153.80
113502008	\$153.80
113502009	\$153.80
113502010	\$153.80
113502011	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113502012	\$153.80
113502013	\$153.80
113502014	\$153.80
113502015	\$153.80
113502016	\$153.80
113502017	\$153.80
113502018	\$153.80
113502019	\$153.80
113503001	\$153.80
113503002	\$153.80
113503003	\$153.80
113503004	\$153.80
113503005	\$153.80
113503006	\$153.80
113510001	\$153.80
113510002	\$153.80
113510003	\$153.80
113510004	\$153.80
113510005	\$153.80
113510006	\$153.80
113510007	\$153.80
113510008	\$153.80
113510009	\$153.80
113510010	\$153.80
113510011	\$153.80
113510012	\$153.80
113510013	\$153.80
113510014	\$153.80
113510015	\$153.80
113510016	\$153.80
113510017	\$153.80
113510018	\$153.80
113510019	\$153.80
113510020	\$153.80
113510021	\$153.80
113510022	\$153.80
113510023	\$153.80
113510024	\$153.80
113510025	\$153.80
113510026	\$153.80
113510027	\$153.80



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113520001	\$153.80
113520002	\$153.80
113520003	\$153.80
113520004	\$153.80
113520005	\$153.80
113520006	\$153.80
113520007	\$153.80
113520008	\$153.80
113520009	\$153.80
113520010	\$153.80
113520011	\$153.80
113520012	\$153.80
113520013	\$153.80
113520014	\$153.80
113520015	\$153.80
113520016	\$153.80
113520017	\$153.80
113520018	\$153.80
113520019	\$153.80
113520020	\$153.80
113520021	\$153.80
113520022	\$153.80
113520023	\$153.80
113530001	\$259.88
113530002	\$259.88
113530003	\$259.88
113530004	\$259.88
113530005	\$259.88
113530006	\$259.88
113530007	\$259.88
113530008	\$259.88
113530009	\$259.88
113530010	\$259.88
113530011	\$259.88
113530012	\$259.88
113530013	\$259.88
113530014	\$259.88
113530015	\$259.88
113530016	\$259.88
113530017	\$259.88
113530018	\$259.88

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113530019	\$259.88
113530020	\$259.88
113531001	\$259.88
113531002	\$259.88
113531003	\$259.88
113531004	\$259.88
113531005	\$259.88
113531006	\$259.88
113540001	\$312.92
113540002	\$312.92
113540003	\$312.92
113540004	\$312.92
113540005	\$312.92
113540006	\$312.92
113540007	\$312.92
113540008	\$312.92
113540009	\$312.92
113540010	\$312.92
113540011	\$312.92
113541001	\$312.92
113541002	\$312.92
113541003	\$312.92
113541004	\$312.92
113541005	\$312.92
113541006	\$312.92
113541007	\$312.92
113541008	\$312.92
113541009	\$312.92
113541010	\$312.92
113541011	\$312.92
113541012	\$312.92
113541013	\$312.92
113541014	\$312.92
113541015	\$312.92
113541016	\$312.92
113541017	\$312.92
113541018	\$312.92
113541019	\$312.92
113541020	\$312.92
113541021	\$312.92
113541022	\$312.92

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113541023	\$312.92
113542001	\$312.92
113542002	\$312.92
113542003	\$312.92
113542004	\$312.92
113542005	\$312.92
113542006	\$312.92
113542007	\$312.92
113542008	\$312.92
113542009	\$312.92
113542010	\$312.92
113542011	\$312.92
113543001	\$312.92
113543002	\$312.92
113543003	\$312.92
113543004	\$312.92
113543005	\$312.92
113543006	\$312.92
113543007	\$312.92
113543008	\$312.92
113543009	\$312.92
113543010	\$312.92
113550001	\$206.84
113550002	\$206.84
113550003	\$206.84
113550004	\$206.84
113550005	\$206.84
113550006	\$206.84
113550007	\$206.84
113550008	\$206.84
113550009	\$206.84
113550010	\$206.84
113550011	\$206.84
113550012	\$206.84
113550013	\$206.84
113550014	\$206.84
113550015	\$206.84
113550016	\$206.84
113550017	\$206.84
113550018	\$206.84
113550019	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113550020	\$206.84
113550021	\$206.84
113550022	\$206.84
113550023	\$206.84
113550024	\$206.84
113550025	\$206.84
113550026	\$206.84
113550027	\$206.84
113550028	\$206.84
113550029	\$206.84
113550030	\$206.84
113550031	\$206.84
113550032	\$206.84
113550033	\$206.84
113550034	\$206.84
113550035	\$206.84
113550036	\$206.84
113550037	\$206.84
113550038	\$206.84
113550039	\$206.84
113550040	\$206.84
113550041	\$206.84
113550042	\$206.84
113550043	\$206.84
113550044	\$206.84
113550045	\$206.84
113550046	\$206.84
113550047	\$206.84
113550048	\$206.84
113550049	\$206.84
113550050	\$206.84
113550051	\$206.84
113550052	\$206.84
113550053	\$206.84
113550054	\$206.84
113550055	\$206.84
113560001	\$153.80
113560002	\$153.80
113560003	\$153.80
113560004	\$153.80
113560005	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113560006	\$153.80
113560007	\$153.80
113560008	\$153.80
113560009	\$153.80
113560010	\$153.80
113560011	\$153.80
113560012	\$153.80
113560013	\$153.80
113560014	\$153.80
113560015	\$153.80
113560016	\$153.80
113560017	\$153.80
113560018	\$153.80
113560019	\$153.80
113560020	\$153.80
113560021	\$153.80
113560022	\$153.80
113560023	\$153.80
113560024	\$153.80
113560025	\$153.80
113560040	\$153.80
113560041	\$153.80
113560042	\$153.80
113560043	\$153.80
113560044	\$153.80
113560045	\$153.80
113560046	\$153.80
113560047	\$153.80
113560048	\$153.80
113560049	\$153.80
113560050	\$153.80
113560051	\$153.80
113560052	\$153.80
113560053	\$153.80
113560054	\$153.80
113560055	\$153.80
113560056	\$153.80
113560057	\$153.80
113561001	\$153.80
113561002	\$153.80
113561003	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
113561004	\$153.80
113561005	\$153.80
113561006	\$153.80
113561007	\$153.80
113561008	\$153.80
113561009	\$153.80
113561010	\$153.80
113561011	\$153.80
113561012	\$153.80
113561013	\$153.80
113561014	\$153.80
113561015	\$153.80
113561016	\$153.80
113561017	\$153.80
113561018	\$153.80
113561019	\$153.80
113561020	\$153.80
113561021	\$153.80
113561022	\$153.80
113561023	\$153.80
113561024	\$153.80
113561025	\$153.80
113561026	\$153.80
113561027	\$153.80
113561028	\$153.80
113561029	\$153.80
113561030	\$153.80
113561031	\$153.80
113561032	\$153.80
113561033	\$153.80
113561034	\$153.80
114030030	\$206.84
114640001	\$206.84
114640002	\$206.84
114640003	\$206.84
114640004	\$206.84
114640005	\$206.84
114640006	\$206.84
114640007	\$206.84
114640008	\$206.84
114640009	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114640010	\$206.84
114640011	\$206.84
114640012	\$206.84
114640013	\$206.84
114640014	\$206.84
114640015	\$206.84
114640016	\$206.84
114640017	\$206.84
114640018	\$206.84
114640019	\$206.84
114640020	\$206.84
114640021	\$206.84
114640022	\$206.84
114640023	\$206.84
114640024	\$206.84
114640025	\$206.84
114640026	\$206.84
114640027	\$206.84
114640028	\$206.84
114641001	\$206.84
114641002	\$206.84
114641003	\$206.84
114641004	\$206.84
114641005	\$206.84
114641006	\$206.84
114641007	\$206.84
114641008	\$206.84
114641009	\$206.84
114641010	\$206.84
114641011	\$206.84
114641012	\$206.84
114641013	\$206.84
114641014	\$206.84
114650001	\$206.84
114650002	\$206.84
114650003	\$206.84
114650004	\$206.84
114650005	\$206.84
114650006	\$206.84
114650007	\$206.84
114650008	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114650009	\$206.84
114650010	\$206.84
114650011	\$206.84
114650012	\$206.84
114650013	\$206.84
114650014	\$206.84
114650015	\$206.84
114650016	\$206.84
114650017	\$206.84
114650018	\$206.84
114650019	\$206.84
114650020	\$206.84
114651001	\$206.84
114651002	\$206.84
114651003	\$206.84
114651004	\$206.84
114651005	\$206.84
114651006	\$206.84
114651007	\$206.84
114651008	\$206.84
114651009	\$206.84
114651010	\$206.84
114651011	\$206.84
114651012	\$206.84
114651013	\$206.84
114651014	\$206.84
114651015	\$206.84
114651016	\$206.84
114651017	\$206.84
114651018	\$206.84
114651019	\$206.84
114651020	\$206.84
114660001	\$206.84
114660002	\$206.84
114660003	\$206.84
114661001	\$206.84
114661002	\$206.84
114661003	\$206.84
114661004	\$206.84
114661005	\$206.84
114661006	\$206.84



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114661007	\$206.84
114661008	\$206.84
114661009	\$206.84
114661010	\$206.84
114661011	\$206.84
114661012	\$206.84
114661013	\$206.84
114661014	\$206.84
114661015	\$206.84
114661016	\$206.84
114661017	\$206.84
114661018	\$206.84
114661019	\$206.84
114661020	\$206.84
114661021	\$206.84
114661022	\$206.84
114661023	\$206.84
114661024	\$206.84
114661025	\$206.84
114661026	\$206.84
114661027	\$206.84
114661028	\$206.84
114661029	\$206.84
114661030	\$206.84
114662001	\$206.84
114662002	\$206.84
114662003	\$206.84
114662004	\$206.84
114663001	\$206.84
114663002	\$206.84
114663003	\$206.84
114663004	\$206.84
114663005	\$206.84
114663006	\$206.84
114670001	\$206.84
114670002	\$206.84
114670003	\$206.84
114670004	\$206.84
114670005	\$206.84
114671001	\$206.84
114671002	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114671003	\$206.84
114671004	\$206.84
114671005	\$206.84
114671006	\$206.84
114671007	\$206.84
114671008	\$206.84
114671009	\$206.84
114671010	\$206.84
114671011	\$206.84
114672001	\$206.84
114672002	\$206.84
114672003	\$206.84
114672004	\$206.84
114672005	\$206.84
114672006	\$206.84
114672007	\$206.84
114672008	\$206.84
114672009	\$206.84
114673001	\$206.84
114673002	\$206.84
114673003	\$206.84
114673004	\$206.84
114673005	\$206.84
114673006	\$206.84
114673007	\$206.84
114673008	\$206.84
114673009	\$206.84
114673010	\$206.84
114673011	\$206.84
114673012	\$206.84
114673013	\$206.84
114673014	\$206.84
114673015	\$206.84
114674001	\$206.84
114674002	\$206.84
114674003	\$206.84
114674004	\$206.84
114674005	\$206.84
114674006	\$206.84
114674007	\$206.84
114674008	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
114674009	\$206.84
114674010	\$206.84
114680001	\$206.84
114680002	\$206.84
114680003	\$206.84
114680004	\$206.84
114680005	\$206.84
114680006	\$206.84
114680007	\$206.84
114680008	\$206.84
114681001	\$206.84
114681002	\$206.84
114681003	\$206.84
114681004	\$206.84
114681005	\$206.84
114681006	\$206.84
114681007	\$206.84
114681008	\$206.84
114681009	\$206.84
114681010	\$206.84
114681011	\$206.84
114681012	\$206.84
114681013	\$206.84
114681014	\$206.84
114681015	\$206.84
114681016	\$206.84
114682001	\$206.84
114682002	\$206.84
114682003	\$206.84
114682004	\$206.84
114682005	\$206.84
114682006	\$206.84
114683001	\$206.84
114683002	\$206.84
114683003	\$206.84
114683004	\$206.84
114683005	\$206.84
114683006	\$206.84
114683007	\$206.84
114683008	\$206.84
114683009	\$206.84

# EXHIBIT "A"

## CITY OF CORONA COMMUNITY FACILITIES DISTRICT NO. 2001-1 FISCAL YEAR 2021-22

APN	PRELIMINARY LEVY
114683010	\$206.84
114683011	\$206.84
114683012	\$206.84
114683013	\$206.84
114683014	\$206.84
114683015	\$206.84
114683016	\$206.84
114683017	\$206.84
114683018	\$206.84
114683019	\$206.84
114683020	\$206.84
114683021	\$206.84
114683022	\$206.84
114683023	\$206.84
114683024	\$206.84
114683025	\$206.84
114683026	\$206.84
114683027	\$206.84
114683028	\$206.84
114683029	\$206.84
114683030	\$206.84
114683031	\$206.84
114690001	\$153.80
114690002	\$153.80
114690003	\$153.80
114690004	\$153.80
114690005	\$153.80
114690006	\$153.80
114690007	\$153.80
114690008	\$153.80
114690009	\$153.80
114691001	\$153.80
114691002	\$153.80
114691003	\$153.80
114691004	\$153.80
114691005	\$153.80
116210001	\$153.80
116210002	\$153.80
116210003	\$153.80
116210004	\$153.80
116210005	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116210006	\$153.80
116210007	\$153.80
116210008	\$153.80
116210009	\$153.80
116211001	\$153.80
116211002	\$153.80
116211003	\$153.80
116211004	\$153.80
116212001	\$153.80
116212002	\$153.80
116212003	\$153.80
116212004	\$153.80
116212005	\$153.80
116212006	\$153.80
116212007	\$153.80
116212008	\$153.80
116212009	\$153.80
116212010	\$153.80
116212011	\$153.80
116212012	\$153.80
116212013	\$153.80
116212014	\$153.80
116212015	\$153.80
116212016	\$153.80
116213001	\$153.80
116213002	\$153.80
116213003	\$153.80
116213004	\$153.80
116213005	\$153.80
116213006	\$153.80
116213007	\$153.80
116213008	\$153.80
116213009	\$153.80
116213010	\$153.80
116213011	\$153.80
116213012	\$153.80
116220001	\$153.80
116220002	\$153.80
116220003	\$153.80
116220004	\$153.80
116220005	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116220006	\$153.80
116220007	\$153.80
116220008	\$153.80
116220009	\$153.80
116220010	\$153.80
116220011	\$153.80
116220012	\$153.80
116220013	\$153.80
116220014	\$153.80
116220015	\$153.80
116220016	\$153.80
116220017	\$153.80
116220019	\$153.80
116220020	\$153.80
116220021	\$153.80
116220026	\$153.80
116220027	\$153.80
116221001	\$153.80
116221002	\$153.80
116221003	\$153.80
116221004	\$153.80
116221005	\$153.80
116222001	\$153.80
116222002	\$153.80
116222003	\$153.80
116222004	\$153.80
116222005	\$153.80
116222006	\$153.80
116222009	\$153.80
116222010	\$153.80
116222011	\$153.80
116222012	\$153.80
116222013	\$153.80
116222014	\$153.80
116222015	\$153.80
116222017	\$153.80
116223001	\$153.80
116223002	\$153.80
116223003	\$153.80
116223004	\$153.80
116223005	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116223006	\$153.80
116223007	\$153.80
116223008	\$153.80
116223009	\$153.80
116223010	\$153.80
116223011	\$153.80
116223012	\$153.80
116230001	\$153.80
116230002	\$153.80
116230003	\$153.80
116230004	\$153.80
116230005	\$153.80
116230006	\$153.80
116230007	\$153.80
116230008	\$153.80
116230009	\$153.80
116230010	\$153.80
116230011	\$153.80
116230012	\$153.80
116230013	\$153.80
116230014	\$153.80
116230015	\$153.80
116231001	\$153.80
116231002	\$153.80
116231003	\$153.80
116231004	\$153.80
116231005	\$153.80
116231006	\$153.80
116231007	\$153.80
116231008	\$153.80
116231009	\$153.80
116231010	\$153.80
116231011	\$153.80
116231012	\$153.80
116232001	\$153.80
116232002	\$153.80
116232003	\$153.80
116232004	\$153.80
116232005	\$153.80
116232006	\$153.80
116232007	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116232008	\$153.80
116232009	\$153.80
116240001	\$153.80
116240002	\$153.80
116240003	\$153.80
116240004	\$153.80
116240005	\$153.80
116240006	\$153.80
116240007	\$153.80
116240008	\$153.80
116240009	\$153.80
116240010	\$153.80
116240011	\$153.80
116240012	\$153.80
116240013	\$153.80
116240014	\$153.80
116240015	\$153.80
116240016	\$153.80
116240017	\$153.80
116240018	\$153.80
116240019	\$153.80
116240020	\$153.80
116240021	\$153.80
116240022	\$153.80
116241001	\$153.80
116241002	\$153.80
116241003	\$153.80
116241004	\$153.80
116241005	\$153.80
116241006	\$153.80
116241007	\$153.80
116241008	\$153.80
116241009	\$153.80
116241010	\$153.80
116241011	\$153.80
116241012	\$153.80
116241013	\$153.80
116241014	\$153.80
116241015	\$153.80
116241016	\$153.80
116241017	\$153.80



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116241018	\$153.80
116250001	\$153.80
116250002	\$153.80
116250003	\$153.80
116250004	\$153.80
116250005	\$153.80
116250006	\$153.80
116250007	\$153.80
116251001	\$153.80
116251002	\$153.80
116251003	\$153.80
116251004	\$153.80
116251005	\$153.80
116251006	\$153.80
116251007	\$153.80
116251008	\$153.80
116251009	\$153.80
116251010	\$153.80
116251011	\$153.80
116252001	\$153.80
116252002	\$153.80
116252003	\$153.80
116252004	\$153.80
116252005	\$153.80
116252006	\$153.80
116252007	\$153.80
116253001	\$153.80
116253002	\$153.80
116253003	\$153.80
116253004	\$153.80
116260001	\$153.80
116260002	\$153.80
116260003	\$153.80
116260004	\$153.80
116260005	\$153.80
116260006	\$153.80
116260007	\$153.80
116260008	\$153.80
116260009	\$153.80
116260010	\$153.80
116260011	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
116260012	\$153.80
116260013	\$153.80
116260014	\$153.80
116260016	\$153.80
116260017	\$153.80
116260026	\$153.80
116260027	\$153.80
116260028	\$153.80
116281002	\$365.96
116281003	\$365.96
116281004	\$365.96
116281005	\$365.96
116281006	\$365.96
116281007	\$365.96
116281008	\$365.96
116281009	\$365.96
116281010	\$365.96
116282001	\$365.96
116282002	\$365.96
116282003	\$365.96
116282004	\$365.96
116282005	\$365.96
116282006	\$365.96
120040010	\$5,130.16
120040050	\$3,555.24
120280014	\$722.90
120280016	\$992.06
120491001	\$153.80
120491002	\$153.80
120491003	\$153.80
120491004	\$153.80
120491005	\$153.80
120491006	\$153.80
120491007	\$153.80
120491008	\$153.80
120491009	\$153.80
120491010	\$153.80
120491011	\$153.80
120491012	\$153.80
120491013	\$153.80
120491014	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120491015	\$153.80
120491016	\$153.80
120491017	\$153.80
120491018	\$153.80
120491019	\$153.80
120491020	\$153.80
120491021	\$153.80
120491022	\$153.80
120491023	\$153.80
120491024	\$153.80
120491025	\$153.80
120491026	\$153.80
120491027	\$153.80
120491028	\$153.80
120491029	\$153.80
120491030	\$153.80
120491031	\$153.80
120491032	\$153.80
120491033	\$153.80
120491034	\$153.80
120492001	\$153.80
120492002	\$153.80
120492003	\$153.80
120492004	\$153.80
120492005	\$153.80
120492006	\$153.80
120492007	\$153.80
120510004	\$19.98
120510012	\$1,571.92
120510013	\$769.04
120510014	\$407.58
120510015	\$230.70
120520001	\$206.84
120520002	\$206.84
120520003	\$206.84
120520004	\$206.84
120520005	\$206.84
120520006	\$206.84
120520007	\$206.84
120520008	\$206.84
120520009	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
120520010	\$206.84
120520011	\$206.84
120520012	\$206.84
120520013	\$206.84
120520014	\$206.84
120520015	\$206.84
120520016	\$206.84
120520017	\$206.84
120520018	\$206.84
120520019	\$206.84
120520020	\$206.84
120520021	\$206.84
120520022	\$206.84
120520023	\$206.84
120520025	\$753.66
120520026	\$630.60
120520027	\$922.84
120520028	\$1,922.60
275160001	\$153.80
275160002	\$153.80
275160003	\$153.80
275160004	\$153.80
275160005	\$153.80
275160006	\$153.80
275160007	\$153.80
275160008	\$153.80
275160009	\$153.80
275161001	\$153.80
275161002	\$153.80
275161003	\$153.80
275161004	\$153.80
275161005	\$153.80
275161006	\$153.80
275161007	\$153.80
275161008	\$153.80
275161009	\$153.80
275161010	\$153.80
275162001	\$153.80
275162002	\$153.80
275162003	\$153.80
275162004	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
275163001	\$153.80
275163002	\$153.80
275163003	\$153.80
275163004	\$153.80
275163005	\$153.80
275163006	\$153.80
275163007	\$153.80
275163008	\$153.80
275163009	\$153.80
275163010	\$153.80
275163011	\$153.80
275163012	\$153.80
275163013	\$153.80
275163014	\$153.80
275164001	\$153.80
275164002	\$153.80
275164003	\$153.80
275164004	\$153.80
275164005	\$153.80
275164006	\$153.80
275164007	\$153.80
275164008	\$153.80
275164009	\$153.80
275164010	\$153.80
275164011	\$153.80
275164012	\$153.80
275164013	\$153.80
275164014	\$153.80
275164015	\$153.80
275164016	\$153.80
275164017	\$153.80
275164018	\$153.80
275164019	\$153.80
275165001	\$153.80
275165002	\$153.80
275165003	\$153.80
275165004	\$153.80
275165005	\$153.80
275165006	\$153.80
275165007	\$153.80
275165008	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
275165009	\$153.80
275165010	\$153.80
275165011	\$153.80
275165012	\$153.80
275165013	\$153.80
275165014	\$153.80
275165015	\$153.80
275165016	\$153.80
275165017	\$153.80
275165018	\$153.80
275165019	\$153.80
275165020	\$153.80
275170001	\$153.80
275170002	\$153.80
275170003	\$153.80
275170004	\$153.80
275170005	\$153.80
275170006	\$153.80
275170007	\$153.80
275171001	\$153.80
275171002	\$153.80
275171003	\$153.80
275171004	\$153.80
275171005	\$153.80
275171006	\$153.80
275171007	\$153.80
275171008	\$153.80
275171009	\$153.80
275171010	\$153.80
275171011	\$153.80
275171012	\$153.80
275171013	\$153.80
275171014	\$153.80
275171015	\$153.80
275171016	\$153.80
275172001	\$153.80
275172002	\$153.80
275172003	\$153.80
275172004	\$153.80
275172005	\$153.80
275172006	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
275172007	\$153.80
275172008	\$153.80
275172009	\$153.80
275172010	\$153.80
275172011	\$153.80
275172012	\$153.80
275172013	\$153.80
275172014	\$153.80
275172015	\$153.80
275172016	\$153.80
275172017	\$153.80
275172018	\$153.80
275172019	\$153.80
275172020	\$153.80
275172021	\$153.80
275172022	\$153.80
275172023	\$153.80
275173001	\$153.80
275173002	\$153.80
275173003	\$153.80
275173004	\$153.80
275173005	\$153.80
275173006	\$153.80
275173007	\$153.80
275173008	\$153.80
275173009	\$153.80
275173010	\$153.80
275173011	\$153.80
275173012	\$153.80
275173013	\$153.80
275173014	\$153.80
275173015	\$153.80
275173016	\$153.80
275173017	\$153.80
275173018	\$153.80
275180001	\$153.80
275180002	\$153.80
275181001	\$153.80
275181002	\$153.80
275181003	\$153.80
275181004	\$153.80

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
275181005	\$153.80
275181006	\$153.80
275181007	\$153.80
275181008	\$153.80
275181009	\$153.80
275181010	\$153.80
275181011	\$153.80
275181012	\$153.80
275181013	\$153.80
275181014	\$153.80
275181015	\$153.80
275190001	\$153.80
275190002	\$153.80
275190003	\$153.80
275190004	\$153.80
277020019	\$30.76
277020020	\$1,461.18
277020021	\$15.38
277020022	\$976.68
277020023	\$984.36
277020024	\$546.02
277020025	\$761.34
277020026	\$715.20
277221010	\$211.60
277221011	\$140.52
277221012	\$488.06
277221013	\$104.06
277221014	\$165.00
277221015	\$651.42
277221018	\$326.68
278060033	\$645.98
278060034	\$353.76
278060035	\$2,076.42
278230071	\$1,991.82
278231001	\$123.04
278231002	\$123.04
278231006	\$123.04
278231007	\$123.04
278231008	\$123.04
278231009	\$123.04
278231010	\$123.04



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
278231011	\$123.04
278231012	\$123.04
278231013	\$123.04
278231014	\$123.04
278231015	\$123.04
278231016	\$123.04
278231017	\$123.04
278231018	\$123.04
278231019	\$123.04
278231020	\$123.04
278231021	\$123.04
278231022	\$123.04
278231023	\$123.04
278231024	\$123.04
278231025	\$123.04
278231026	\$123.04
278231027	\$123.04
278231028	\$123.04
278231029	\$123.04
278231030	\$123.04
278231031	\$123.04
278231032	\$123.04
278231033	\$123.04
278231034	\$123.04
278231035	\$123.04
278231036	\$123.04
278231037	\$123.04
278231038	\$123.04
278231039	\$123.04
278231040	\$123.04
278231041	\$123.04
278231042	\$123.04
278231043	\$123.04
278231044	\$123.04
278231045	\$123.04
278231046	\$123.04
278231047	\$123.04
278231048	\$123.04
278231049	\$123.04
278231050	\$123.04
278231051	\$123.04

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
278231054	\$123.04
278231055	\$123.04
279450012	\$2,771.88
279450023	\$413.70
279450024	\$72.38
279450025	\$2,502.96
279450028	\$26,984.48
279450029	\$186.16
279450033	\$4,457.76
279450034	\$13,580.16
279450035	\$1,644.50
279450036	\$1,541.08
279450038	\$1,479.02
279460024	\$413.70
279460025	\$2,895.98
279460026	\$424.04
279460027	\$413.70
279460031	\$506.78
279460033	\$2,895.98
279460041	\$382.68
279460047	\$599.88
279460048	\$1,541.08
279460051	\$3,071.82
279460055	\$713.64
279460058	\$18,327.52
279460064	\$5,471.36
279460074	\$2,140.96
279460076	\$5,409.30
279470025	\$3,847.54
279470026	\$2,109.94
279470027	\$330.96
279470028	\$31,111.28
279481001	\$206.84
279481002	\$206.84
279481003	\$206.84
279481004	\$206.84
279481005	\$206.84
279481006	\$206.84
279481007	\$206.84
279481008	\$206.84
279481010	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279481011	\$206.84
279481012	\$206.84
279481013	\$206.84
279481014	\$206.84
279481015	\$206.84
279481017	\$206.84
279481018	\$206.84
279481019	\$206.84
279481020	\$206.84
279481021	\$206.84
279481022	\$206.84
279481023	\$206.84
279481024	\$206.84
279481025	\$206.84
279481026	\$206.84
279481027	\$206.84
279481028	\$206.84
279481030	\$206.84
279481031	\$206.84
279481032	\$206.84
279481033	\$206.84
279481034	\$206.84
279481035	\$206.84
279481036	\$206.84
279481037	\$206.84
279481039	\$206.84
279481040	\$206.84
279481041	\$206.84
279481042	\$206.84
279481043	\$206.84
279481044	\$206.84
279481045	\$206.84
279481046	\$206.84
279481048	\$206.84
279481049	\$206.84
279481050	\$206.84
279481051	\$206.84
279481052	\$206.84
279481053	\$206.84
279481054	\$206.84
279481055	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279481057	\$206.84
279481058	\$206.84
279481059	\$206.84
279481060	\$206.84
279481061	\$206.84
279481062	\$206.84
279481063	\$206.84
279481064	\$206.84
279481066	\$206.84
279481067	\$206.84
279481068	\$206.84
279481069	\$206.84
279481070	\$206.84
279481071	\$206.84
279481072	\$206.84
279481073	\$206.84
279481074	\$206.84
279481075	\$206.84
279481076	\$206.84
279481077	\$206.84
279481078	\$206.84
279481079	\$206.84
279481080	\$206.84
279481081	\$206.84
279482001	\$206.84
279482002	\$206.84
279482003	\$206.84
279482004	\$206.84
279482005	\$206.84
279482006	\$206.84
279482007	\$206.84
279482008	\$206.84
279482009	\$206.84
279482011	\$206.84
279482012	\$206.84
279482013	\$206.84
279482014	\$206.84
279482015	\$206.84
279482016	\$206.84
279482017	\$206.84
279482018	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279482019	\$206.84
279482021	\$206.84
279482022	\$206.84
279482023	\$206.84
279482024	\$206.84
279482025	\$206.84
279482026	\$206.84
279482028	\$206.84
279482029	\$206.84
279482030	\$206.84
279482031	\$206.84
279482032	\$206.84
279482033	\$206.84
279482034	\$206.84
279482036	\$206.84
279482037	\$206.84
279482038	\$206.84
279482039	\$206.84
279482040	\$206.84
279482041	\$206.84
279482042	\$206.84
279482043	\$206.84
279482044	\$206.84
279482045	\$206.84
279482046	\$206.84
279482047	\$206.84
279482048	\$206.84
279482049	\$206.84
279482050	\$206.84
279482052	\$206.84
279482053	\$206.84
279482054	\$206.84
279482055	\$206.84
279482056	\$206.84
279482057	\$206.84
279482058	\$206.84
279482059	\$206.84
279482061	\$206.84
279482062	\$206.84
279482063	\$206.84
279482065	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279482066	\$206.84
279482067	\$206.84
279482069	\$206.84
279482070	\$206.84
279482071	\$206.84
279482073	\$206.84
279482074	\$206.84
279482075	\$206.84
279482076	\$206.84
279482077	\$206.84
279482078	\$206.84
279482079	\$206.84
279482080	\$206.84
279482081	\$206.84
279482082	\$206.84
279483001	\$206.84
279483002	\$206.84
279483003	\$206.84
279483004	\$206.84
279483005	\$206.84
279483006	\$206.84
279483007	\$206.84
279483008	\$206.84
279483010	\$206.84
279483011	\$206.84
279483012	\$206.84
279483013	\$206.84
279483014	\$206.84
279483015	\$206.84
279483016	\$206.84
279483017	\$206.84
279483019	\$206.84
279483020	\$206.84
279483021	\$206.84
279483022	\$206.84
279483023	\$206.84
279483024	\$206.84
279483025	\$206.84
279483026	\$206.84
279483028	\$206.84
279483029	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279483030	\$206.84
279483031	\$206.84
279483032	\$206.84
279483033	\$206.84
279483034	\$206.84
279483035	\$206.84
279483037	\$206.84
279483038	\$206.84
279483039	\$206.84
279483040	\$206.84
279483041	\$206.84
279483042	\$206.84
279483043	\$206.84
279483044	\$206.84
279483046	\$206.84
279483047	\$206.84
279483048	\$206.84
279483049	\$206.84
279483050	\$206.84
279483051	\$206.84
279483052	\$206.84
279483053	\$206.84
279483054	\$206.84
279483055	\$206.84
279483056	\$206.84
279483057	\$206.84
279483059	\$206.84
279483060	\$206.84
279483061	\$206.84
279483062	\$206.84
279483063	\$206.84
279483064	\$206.84
279483065	\$206.84
279483066	\$206.84
279483067	\$206.84
279483068	\$206.84
279483069	\$206.84
279483070	\$206.84
279483072	\$206.84
279483073	\$206.84
279483074	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279483075	\$206.84
279483076	\$206.84
279483077	\$206.84
279483078	\$206.84
279483079	\$206.84
279483081	\$206.84
279483082	\$206.84
279483083	\$206.84
279483084	\$206.84
279483085	\$206.84
279483086	\$206.84
279483087	\$206.84
279483088	\$206.84
279484001	\$206.84
279484002	\$206.84
279484003	\$206.84
279484004	\$206.84
279484005	\$206.84
279484006	\$206.84
279484007	\$206.84
279484009	\$206.84
279484010	\$206.84
279484011	\$206.84
279484012	\$206.84
279484013	\$206.84
279484014	\$206.84
279484015	\$206.84
279484016	\$206.84
279484017	\$206.84
279484018	\$206.84
279484019	\$206.84
279484020	\$206.84
279484022	\$206.84
279484023	\$206.84
279484024	\$206.84
279484025	\$206.84
279484026	\$206.84
279484027	\$206.84
279484028	\$206.84
279484029	\$206.84
279484030	\$206.84



**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279484031	\$206.84
279484032	\$206.84
279484034	\$206.84
279484035	\$206.84
279484036	\$206.84
279484037	\$206.84
279484038	\$206.84
279484039	\$206.84
279484040	\$206.84
279484041	\$206.84
279484042	\$206.84
279484043	\$206.84
279484044	\$206.84
279484045	\$206.84
279484047	\$206.84
279484048	\$206.84
279484049	\$206.84
279484050	\$206.84
279484051	\$206.84
279484052	\$206.84
279484053	\$206.84
279484054	\$206.84
279484055	\$206.84
279484056	\$206.84
279484057	\$206.84
279484059	\$206.84
279484060	\$206.84
279484061	\$206.84
279484062	\$206.84
279484063	\$206.84
279484064	\$206.84
279484065	\$206.84
279484066	\$206.84
279484067	\$206.84
279484068	\$206.84
279484069	\$206.84
279484070	\$206.84
279484072	\$206.84
279484073	\$206.84
279484074	\$206.84
279484075	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279484076	\$206.84
279484077	\$206.84
279484078	\$206.84
279484079	\$206.84
279484080	\$206.84
279484081	\$206.84
279484082	\$206.84
279484084	\$206.84
279484085	\$206.84
279484086	\$206.84
279484087	\$206.84
279484088	\$206.84
279484089	\$206.84
279484090	\$206.84
279484091	\$206.84
279484092	\$206.84
279484093	\$206.84
279484094	\$206.84
279484095	\$206.84
279485001	\$206.84
279485002	\$206.84
279485003	\$206.84
279485004	\$206.84
279485005	\$206.84
279485006	\$206.84
279485007	\$206.84
279485008	\$206.84
279485009	\$206.84
279485010	\$206.84
279485011	\$206.84
279485012	\$206.84
279485013	\$206.84
279485014	\$206.84
279485015	\$206.84
279485016	\$206.84
279485019	\$206.84
279485020	\$206.84
279485021	\$206.84
279485022	\$206.84
279485023	\$206.84
279485024	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279485025	\$206.84
279485027	\$206.84
279485028	\$206.84
279485029	\$206.84
279485030	\$206.84
279485031	\$206.84
279485032	\$206.84
279485033	\$206.84
279485034	\$206.84
279485036	\$206.84
279485037	\$206.84
279485038	\$206.84
279485039	\$206.84
279485040	\$206.84
279485041	\$206.84
279485042	\$206.84
279485043	\$206.84
279485045	\$206.84
279485046	\$206.84
279485047	\$206.84
279485048	\$206.84
279485049	\$206.84
279485050	\$206.84
279485051	\$206.84
279485052	\$206.84
279485054	\$206.84
279485055	\$206.84
279485056	\$206.84
279485057	\$206.84
279485058	\$206.84
279485059	\$206.84
279485060	\$206.84
279485061	\$206.84
279486001	\$206.84
279486002	\$206.84
279486003	\$206.84
279486004	\$206.84
279486005	\$206.84
279486006	\$206.84
279486007	\$206.84
279486008	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279486009	\$206.84
279486010	\$206.84
279486011	\$206.84
279486012	\$206.84
279500001	\$206.84
279500002	\$206.84
279500003	\$206.84
279500004	\$206.84
279500005	\$206.84
279500006	\$206.84
279500007	\$206.84
279500008	\$206.84
279500009	\$206.84
279500010	\$206.84
279500011	\$206.84
279500012	\$206.84
279500013	\$206.84
279500014	\$206.84
279510001	\$206.84
279510002	\$206.84
279510003	\$206.84
279510004	\$206.84
279510005	\$206.84
279510006	\$206.84
279510007	\$206.84
279510008	\$206.84
279510009	\$206.84
279510010	\$206.84
279510011	\$206.84
279510012	\$206.84
279510013	\$206.84
279510014	\$206.84
279510015	\$206.84
279510016	\$206.84
279510017	\$206.84
279510018	\$206.84
279510019	\$206.84
279510020	\$206.84
279510021	\$206.84
279510022	\$206.84
279510023	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279510024	\$206.84
279510025	\$206.84
279511001	\$206.84
279511002	\$206.84
279511003	\$206.84
279511004	\$206.84
279511005	\$206.84
279511006	\$206.84
279511008	\$206.84
279511009	\$206.84
279511010	\$206.84
279511011	\$206.84
279511012	\$206.84
279511013	\$206.84
279511014	\$206.84
279511015	\$206.84
279511016	\$206.84
279511018	\$206.84
279511019	\$206.84
279511020	\$206.84
279511021	\$206.84
279511022	\$206.84
279511023	\$206.84
279511024	\$206.84
279511025	\$206.84
279511026	\$206.84
279511027	\$206.84
279511028	\$206.84
279511029	\$206.84
279511030	\$206.84
279511032	\$206.84
279511033	\$206.84
279511034	\$206.84
279511036	\$206.84
279511037	\$206.84
279511039	\$206.84
279511040	\$206.84
279511041	\$206.84
279511042	\$206.84
279511043	\$206.84
279511044	\$206.84

**EXHIBIT "A"**

**CITY OF CORONA  
COMMUNITY FACILITIES DISTRICT NO. 2001-1  
FISCAL YEAR 2021-22**

<b>APN</b>	<b>PRELIMINARY LEVY</b>
279520001	\$206.84
279520002	\$206.84
279520003	\$206.84
279520004	\$206.84
279520005	\$206.84
279520006	\$206.84
279520007	\$206.84
279520008	\$206.84
279520009	\$206.84
279520010	\$206.84
279520011	\$206.84
279520012	\$206.84
279520013	\$206.84
279520014	\$206.84
279520015	\$206.84
279520016	\$206.84
279520017	\$206.84
279520018	\$206.84
279520019	\$206.84
279520020	\$206.84
279520021	\$206.84
279520022	\$206.84
279520023	\$206.84
282112008	\$351.64
<b>Total</b>	<b>\$644,102.74</b>



Staff Report

---

**File #:** 21-0637

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Public Hearing confirming the diagram and assessment for Lighting Maintenance District No. 84-1 for Fiscal Year 2022 and to detach certain territory from the District.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution is the last step of the annual proceedings for the levy and collection of the special assessment for Lighting Maintenance District No. 84-1 for Fiscal Year 2022 and to detach certain territory from the District. The City Council will conduct a public hearing to afford all interested parties an opportunity to make verbal or written comments on the proposed annual assessment.

At the conclusion of the hearing, it is recommended that the City Council adopt the said resolution confirming the diagram and assessments for the District for Fiscal Year 2022, which will constitute the levy of the assessment for the maintenance and servicing of public lighting facilities within the District, in accordance with the Streets and Highways Code.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-059, confirming the diagram and assessment for Lighting Maintenance District No. 84-1 for Fiscal Year 2022 and to detach certain territory from the District.

**BACKGROUND & HISTORY:**

Lighting Maintenance District No. 84-1 ("LMD 84-1" or "District") was established in accordance with the provisions of the Landscaping and Lighting Act of 1972 (the "1972 Act") in 1984. The purpose of the District is to provide lighting, maintenance and operating services for the streetlights, traffic signals, and related appurtenances within the District's boundaries.

**ANALYSIS:**

The State of California Street and Highways Code Section 22500 requires an annual review of the assessments levied by the assessment districts formed under the 1972 Act. In order to levy and collect special assessments within such districts, Engineer's Reports must be prepared, which provide details on the improvements that are maintained and the estimated budgets for each district.

On May 5, 2021, the City Council adopted Resolution No. 2021-023, to initiate the proceedings to levy and collect assessments for the District for Fiscal Year 2022, appointed Spicer Consulting Group, LLC as the engineer of record, and ordered the preparation of an Engineer's Report for the District.

On June 2, 2021, the City Council adopted Resolution No. 2021-038, to declare the City's intention to levy and collect assessments within the District for Fiscal Year 2022 and to detach certain territory from the District, to approve the preliminary Engineer's Report (the "Preliminary Report"), and to provide a notice of public hearing to consider the proposed assessments. A notice of public hearing was published in the local newspaper on June 9, 2021.

Attached is the final Engineer's Report (the "Report") for the District, which is consistent with the Preliminary Report. The Report includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the boundaries of the District. The Report also provides an analysis of the District's financial status.

#### **FINANCIAL IMPACT:**

The cost of construction, installation, operation, servicing, and maintenance of the District will be funded by the assessments levied and collected within the District. For Fiscal Year 2022, it is projected that the current year assessment revenue will be insufficient to cover the operating costs during the same fiscal period, resulting in an operating deficit of \$385,386, which will be covered by a one-time contribution from the District's operating reserves.

The proposed levy for Fiscal Year 2022 is the same as the Fiscal Year 2021 levy, which will result in no increase to the parcels in the District. The District was formed with no escalator included in the method of apportionment. Per Proposition 218, which was adopted in 1996, an increase in the assessment rates would require a vote of the property owners. The District is a citywide lighting district and has approximately 36,800 property owners. For Fiscal Year 2022, an estimated deficit will be covered by a one-time contribution from the District's reserves. Based on the current fiscal year's estimated operating expenditures and reserve contribution, reserves would be exhausted within a 2-3 year period. Staff will continue to analyze the District's financials annually to determine future funding options to maintain operations.

Below is an overview of the District's estimated assessment revenues and proposed expenditures for Fiscal Year 2022. Detailed information can be found in the attached Report.



District	Estimated Costs	Estimated Assessment Revenue	General Benefi Contribution <sup>(1)</sup>	Estimated Excess/(Deficit)	Actual Assessment YOY % Change
LMD 84-1	\$ 2,519,555	\$ 2,024,515	\$ 109,654	\$ (385,386)	0.00%

*1) Benefit received by non-residents of the District for the major/arterial streetlights, traffic signals, traffic control devices and landscape improvements. This amount is contributed by the City's General Fund.*

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely declares the City's intent to levy and collect assessments within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - FY 2022 LMD 84-1 Engineer's Report
2. Exhibit 2 - Resolution No. 2021-059

# CITY OF CORONA

Lighting Maintenance District No. 84-1



FISCAL YEAR 2022

FINAL ENGINEERS REPORT



SPICER CONSULTING  
G R O U P

# Table of Contents

---

## **Sections**

i. Introduction	i
1. Plans and Specifications	1
2. Cost Estimate	3
3. Method of Apportionment of Assessment	4
4. Engineer's Signature	9
5. Assessment Roll	10
6. Assessment Diagram	11

## **Tables**

Table 2-1 Fiscal Year 2022 Cost Estimate	3
Table 3-1 Assessment by Zone	8

## **Appendices**

Appendix A – Assessment Roll
Appendix B – Assessment Diagram
Appendix C – Capital Improvement Projects
Appendix D – Detached Parcels

AGENCY: CITY OF CORONA  
PROJECT: LIGHTING MAINTENANCE DISTRICT NO. 84-1  
TO: CITY COUNCIL  
CITY OF CORONA  
STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Corona (the "City"), State of California, submitted herewith is the Engineer's Report for Lighting Maintenance District No. 84-1 (the "Report"), consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972", as amended, commencing with Section 22500, and which is in accordance with Resolution No. 2021-023 adopted by the City of Corona City Council, Riverside County, California ordering preparation of the Report for Lighting Maintenance District No. 84-1 ("LMD No. 84-1" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2021 to June 30, 2022.

- Section 1** PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing improvements, and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2** The COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3** A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4** An ENGINEER'S SIGNATURE certifying the filing of the Engineer's Report, together with the Assessment Roll and Assessment Diagram.
- Section 5** An ASSESSMENT ROLL showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram.
- Section 6** An ASSESSMENT DIAGRAM of the District. Said Diagram shall show the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

## Description of Improvements

Generally, the work to be performed consists of the energy and maintenance costs of the 10,915 streetlights, 616 safety lights, and 201 traffic signals and traffic control devices. The City owns and maintains 135 traffic signals; six are jointly-owned with the City of Norco, six are jointly-owned with Riverside County, and 16 are California Department of Transportation (Caltrans) owned and jointly maintained. Riverside County provides a maintenance reimbursement to the District to cover the costs for the county owned signals. The District pays the City's share of expenses for signals that are co-owned or maintained with these other agencies. The City owns and maintains 38 traffic control devices.

The existing streetlight improvements within the District, as shown in the City's Streetlight Atlas, are owned by the Southern California Edison Company and the City. The Streetlight Atlas is on file in the office of the City Engineer and is made part of this Report to the same extent as if attached hereto.

The existing traffic signals and traffic control devices within the District are owned by the City of Corona, Riverside County, City of Norco, and Caltrans. The locations of the traffic signals are shown on the Atlas Map on file in the Traffic Division of the office of the City Engineer and are made a part of this Report to the same extent as if attached hereto.

Annual costs this year provide for:

- ◆ Energy costs for street lighting, traffic signals and traffic control devices.
- ◆ Maintenance costs for street lighting, traffic signals and traffic control devices, including staff, inventory, utility markings, maintenance, servicing, and repair of all equipment, tools, vehicles, and personnel training.
- ◆ Reconstruction and repair contract expenses, including defective service pedestals, vandalism, and circuitry repair.
- ◆ Engineering and administration, including engineering, noticing, legal expenses, finance department expenses for the processing of revenues and electrical payments, and expenses for the maintenance of atlas maps, monitoring of facilities, and the investigation/implementation of cost savings programs.

The class, type, and number of streetlights and traffic lights by Benefit Zone are as follows:

Benefit Zone 1	7,886 Local Lighting
Benefit Zone 2	3,029 Major or Arterial Streetlights
Benefit Zone 3	201 Traffic Signals and Traffic Control Devices, and 616 Safety Lights

## Cost History

As shown on the Cost Estimate in Section 2, the total costs exceed the total amount proposed to be assessed, thus requiring the use of funds from the Operating Reserve account.

Over the last fifteen years, the following conservation measures have been implemented:

### 1. *Traffic Signals*

The signal lights were replaced with LED lights designed to improve energy usage efficiency and therefore reduce energy costs. In addition, a change in energy provider from SCE to the City's Direct Access program resulted in a decrease in electricity costs. These measures have offset the increased cost in electrical charges for the traffic signals.

### 2. *Streetlights*

Installation of photocells for streetlights has resulted in a reduction of electricity costs. In addition, a change in energy provider resulted in additional reduction in electric charges.

### Citywide Street Light Replacement

In Fiscal Year 2011, the City received an Energy Efficiency and Conservation Block Grant (EECBG) from the Department of Energy (DOE) in the amount of \$727,100 to retrofit existing High-Pressure Sodium (HPS) street light fixtures with energy efficient Induction Lighting (IL) technology. The City started construction in May 2011 and completed the installation of 2,518 IL street lights in August 2011.

The new IL technology is saving the City approximately 572,000 kilowatts of power per year, which equates to a 50% reduction in electrical usage at the installation sites while still providing the same illumination of the public streets. The first phase of the project replaced the highest wattage consuming lights which provide the maximum electrical reduction to the system.

In 2016, the City began studying a project to replace older HPS street lights with LED lights, as well as installing a lighting control system for further energy savings and the ability to proactively respond to service issues. The City subsequently received notification from SCE that the rebate for installing LEDs was expected to end by December 2017. In order to take advantage of existing rebates, the City issued Notice Inviting Bid 17-068CA to replace HPS lights with LEDs and install lighting control nodes on both new LEDs and existing induction and LED lights within LMD 84-1. The project was completed in April 2018, and is estimated to have a return on investment of less than 9 years and provide for \$280,000 in savings each year in both energy and staffing. The total project cost was \$3,172,597 for LMD No. 84-1. Additionally, the City received rebates from SCE in the amount of \$868,575, bringing the net project cost to LMD No. 84-1 down to \$2,304,022. The City utilized a low-interest loan from the City's Electricity Fund to pay for the project, since the District's reserves have been depleted over the years. The District will pay the loan back with savings from the project. As of June 30, 2021, the principal amount of the inter-fund loan is \$1,857,611. For Fiscal Year 2022, the projected debt service principal payment on the loan will be \$267,393.

### Detached Properties

From time to time, it is necessary to detach certain territories from LMD No. 84-1 which are described in Appendix D because the services provided by LMD No. 84-1 to those properties will now be provided by newly formed Community Facilities Districts. These properties will not be included in the Fiscal Year 2022 assessments for LMD No. 84-1.

Table 2-1  
Fiscal Year 2022 Cost Estimate

	Estimated Through June 30			
	Zone 1 Local-Lighting	Zone 2 Major/Arterial Lighting	Zone 3 Traffic Signals/Traffic Control Devices	Total
<b>Direct Costs</b>				
Streetlight and Energy Maintenance <sup>1</sup>	\$1,190,377	\$97,431	\$0	\$1,287,808
Traffic Light and Energy Maintenance	\$0	\$0	\$1,072,464	\$1,072,464
<b>Total Direct Costs</b>	<b>\$1,190,377</b>	<b>\$97,431</b>	<b>\$1,072,464</b>	<b>\$2,360,272</b>
<b>Indirect Costs</b>				
City Personnel/Overhead	\$36,705	\$3,004	\$81,874	\$121,583
County of Riverside Administrative Fees	\$6,101	\$499	\$6,600	\$13,200
Engineering Costs	\$11,323	\$927	\$12,250	\$24,500
<b>Total Indirect Costs</b>	<b>\$54,129</b>	<b>\$4,430</b>	<b>\$100,724</b>	<b>\$159,283</b>
<b>Total Costs</b>	<b>\$1,244,506</b>	<b>\$101,861</b>	<b>\$1,173,188</b>	<b>\$2,519,555</b>
<b>Collections //(Contributions)</b>				
Operating Reserve	(\$197,474)	(\$18,430)	(\$169,482)	(\$385,386)
Capital Replacement	\$0	\$0	\$0	\$0
General Benefit	\$0	(\$8,760)	(\$100,894)	(\$109,654)
City Contribution	\$0	\$0	\$0	\$0
<b>Total Adjustments</b>	<b>(\$197,474)</b>	<b>(\$27,190)</b>	<b>(\$270,376)</b>	<b>(\$495,040)</b>
<b>Total Assessment</b>	<b>\$1,047,032</b>	<b>\$74,671</b>	<b>\$902,812</b>	<b>\$2,024,515</b>
<b>Reserve Fund Balance</b>				
Beginning Operating Reserve	\$447,291	\$31,883	\$385,648	\$864,822
Reserve Collection	\$0	(\$18,430)	\$0	(\$18,430)
Reserve Contribution	(\$197,474)	\$0	(\$169,482)	(\$366,956)
<b>Estimated Ending Operating Reserve<sup>2</sup></b>	<b>\$249,817</b>	<b>\$13,453</b>	<b>\$216,166</b>	<b>\$479,436</b>
Beginning Capital Replacement Reserve	\$0	\$0	\$0	\$0
Reserve Collection	\$0	\$0	\$0	\$0
Reserve Contribution	\$0	\$0	\$0	\$0
<b>Estimated Ending Capital Replacement Reserve<sup>3</sup></b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

<sup>1</sup> Amount includes projected debt service for inter-fund loan.

<sup>2</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>3</sup> The Capital Replacement Reserve Fund is used for capital improvement projects. See Appendix C for all current projects.



California law, including Article XIII D of the Constitution of the State of California and the Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following) (the "Omnibus Act"), provide that special assessments, as levied pursuant to the "Landscaping and Lighting Act of 1972," must be based solely on the special benefit properties receive from the work of improvement. The Act does not specify the method or formula that should be used to apportion the assessment in any special assessment district proceedings. The Corona City Council has retained the firm of Spicer Consulting Group, LLC. for the purpose of assisting them in making an analysis of the facts in the District and recommending to the Corona City Council the correct apportionment of the assessment obligation.

In performing the analysis, it was necessary to identify the benefits that the improvements being financed by the District have or will render to the properties within the boundaries of the District and to determine the extent to which such properties receive a direct and special benefit as distinguished from benefits received by the general public.

### Proposition 218 Compliance

On November 5, 1996 California voters approved Proposition 218 entitled "Right to Vote on Taxes Act" which added Article XIII D to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new procedural requirements for the formation and administration of assessment districts. Proposition 218 also requires that all assessment districts existing on the effective date of Proposition 218 (i.e., November 5, 1996) must be ratified by the property owners within the District using the new procedures set forth in Proposition 218 unless the assessments are considered exempt pursuant to California Constitution, Article XIII D, Section 5.

California Constitution, Article XIII D, Section 5 provides that the following assessments existing on the effective date of Proposition 218 are exempt from the new procedures:

1. Any assessment imposed exclusively to finance the capital cost or maintenance and operation expenses for streets.
2. Any assessment levied pursuant to a petition signed by the persons owning all the parcels subject to the assessment at the time the assessment was initially imposed.

Proposition 218 does not define the term "streets"; however, based upon the Omnibus Act and California court decisions (*See Howard Jarvis Taxpayers Association v. City of Riverside*, 73 Cal.App.4th 679 (1999)), it has been determined that assessments levied to finance improvements that are necessary for the operation of streets and sidewalks, including, without limitation, traffic signals, safety lighting and street lighting, are exempt from Proposition 218. LMD No. 84-1, which was formed prior to the effective date of Proposition 218, finances; street lighting, traffic signals and traffic control devices, and thus, is exempt from Proposition 218.

LMD No. 84-1 is an assessment imposed exclusively to finance the capital costs, maintenance and operation expenses for streets as determined by the Omnibus Act and California court decisions (*See Howard Jarvis Taxpayers Association v. City of Riverside*, 73 Cal.App.4th 679 (1999)). It is therefore exempt from Proposition 218. However, the City is trying to make the District as compliant with Proposition 218 as much as possible without changing the methodology used at the time the District was formed.

Even if assessments are initially exempt from Proposition 218, if the assessments are increased in the future or property is annexed to the District, the District will need to comply with the provisions of Proposition 218 for that portion of the increased assessment formula (e.g., CPI increase).

Proposition 218 defines "assessment" as "any levy or charge upon real property by an agency for a special benefit conferred upon the real property," California Constitution, Article XIII D, §2(b). A special assessment, sometimes called a "benefit assessment," is a charge generally levied upon parcels of real property to pay for benefits the parcels receive from local improvements. Special assessments are levied according to statutory authority granted by the Legislature or, in some instances, local charters. Distinguishing among taxes, fees and assessments can be difficult and often depends on the context in which the distinction is made. For example, taxes, assessments and property-related fees all may be imposed on property. The key feature that distinguishes an assessment from a tax, fee or charge is the existence of a special benefit to real property. Without identifying a special benefit, there can be no assessment.



### Distinguishing General and Special Benefit

Proposition 218 added a set of procedures and requirements which a local government must follow to levy an assessment. In addition to notice, hearing and assessment ballot proceedings, Proposition 218 provides that "only special benefits are assessable" and requires a local government to "separate the general benefits from the special benefits conferred on a parcel."

By its nature, most every public improvement financed through an assessment district contains an element of public benefit. The test is: does there exist, with relation to the improvement, a special benefit to the property assessed? The law requires that the portion of the cost of the improvement which benefits the public generally to be separated from that portion of the cost of the improvement which specially benefits assessed properties. Proposition 218 provides the following definition of "special benefit":

"Special benefit" means a particular and distinct benefit over and above general benefits conferred on real property located in the district or to the public at large. General enhancement of property value does not constitute "special benefit."

### General Benefit

Street lighting, traffic signals, and traffic control devices provide a direct and special benefit to the residents of the City. However, these same facilities also provide benefits to non-residents as well. These non-residents would include visitors, commercial vendors, shoppers, travelers, and other pass-through traffic. Non-residents would benefit from the major/arterial streetlights, traffic signals, and traffic control devices.

The benefits received by these non-residents are considered general benefits. Proposition 218 requires that the special benefit be separated from the general benefit derived from the improvement and that the costs of the general benefit cannot be imposed as part of the assessment.

Based on the cost estimate shown in Section 2 of this Report, the estimated total cost for providing major/arterial street lights, traffic signals, and traffic control devices is \$1,275,049.64 for Fiscal Year 2022. The total assessment for the major/arterial street lights, traffic signals, and traffic control devices for the same time period is \$977,484.33, with the City contributing a General Benefit contribution totaling \$109,654.27. This amount represents 8.6% of the total cost of maintaining these improvements. Studies prepared by the City's Traffic Division indicate that pass-through traffic represents approximately 8.6% of the total daily traffic within the City, resulting in a general benefit contribution not to exceed 8.6% of the total cost for providing major/arterial street lights, and 8.6% of the total cost for providing traffic signals.

### Direct and Special Benefit

Three benefit zones have been established for LMD No. 84-1. The methods of apportionment, by benefit zone, are as follows:

**Benefit Zone 1** consists of all parcels that have street lighting on the street fronting their lots or parcels. These streets include not only local streets, but also include collectors and major arterials. In some cases, the same light provides a dual benefit to the property owner, both as a collector and arterial street light. This local lighting is of benefit to abutting parcels as it provides increased property protection, personal safety, visibility, traffic safety, and generally enhances those areas fronting upon the illuminated street. City standards require street lights to be spaced at intervals, based on lumen intensity, so all properties receive similar coverage. This results in a special benefit received by each parcel in Benefit Zone 1.

Units were assigned to parcels with local lighting upon property frontage along the illuminated streets as follows:

#### Benefit Zone 1

Parcel Frontage	Benefit Unit
0-75'	1
76-150'	2
151-225'	3
226-300'	4
Over 300'	1 per 75'

Since a vast majority of the residential lots in the District have frontage of less than 75 feet, this dimension was selected as typical of a normal residential lot and was assigned one (1) benefit unit of assessment. Larger parcels and lots were assigned additional benefit units in 75-foot increments. There are condominiums and mobile home lots within the District which are individually owned. The frontage along the perimeter of these developments was divided by the number of units or lots within the respective developments and assessed accordingly to each unit or lot. Isolated parcels within Benefit Zone 1 which do not have streetlights upon their frontage were not assigned Benefit Zone 1 benefit units.

**Benefit Zone 2** consists of the entire District, including the area encompassed by Benefit Zone 1. Improvements that benefit the District as a whole are the high intensity lighting of collector and arterial streets. These lights are much brighter than the local streetlights described in Benefit Zone 1 and provide for both traffic and pedestrian safety on those major streets and intersections that carry City-wide traffic engaged in commerce, shopping and recreational trips. The brighter lights create an image of a progressive, well-lit city to outsiders and direct enhancement of property values. An equitable measure of benefit common to the large tracts of South Corona and the residential/commercial areas is parcel size. The relationship between residential parcels and acreage has been established at five residential lots to one acre based on the general density of the District.

Using this measure, a normal residential lot was assigned one (1) benefit unit with larger parcels being assigned five (5) benefit units per acre as follows:

#### **Benefit Zone 2**

Parcel Area	Benefit Unit
0-12,000 SF	1
12,001-20,000 SF	2
20,001-28,000 SF	3
28,001-36,000 SF	4
36,001 SF – 1 Acre	5
Over 1 Acre	5 per acre

Benefit Zone 2 facilities include, but are not limited to, streetlights located on all or portions of Ontario Avenue, Sixth Street, Avenida Del Vista, Via Del Rio, Smith Street, River Road, Lincoln Avenue, Railroad Avenue, Main Street, Parkridge, Magnolia Avenue, Serfas Club Drive, Auto Center Drive, Hidden Valley Parkway (formerly Yuma Drive), Foothill Parkway, Promenade Avenue, McKinley Street, Green River Drive, Ridgeline Drive, California Avenue, Rimpau Avenue, Highgrove Street, and Fullerton Avenue.

Vehicular trip generation rates for the Riverside County region identify trip generations for varying land use types which includes agriculture and open space property, which generate significantly less trips per day than that produced by urbanized properties. Therefore, it has been determined that agricultural lands receive one-half of the benefit of Benefit Zone 2 lighting that is received by urbanized lands within the District. Therefore, one-half of the Benefit Zone 2 costs were transferred to Benefit Zone 1 and assessed according to the frontage criteria established for Benefit Zone 1 costs.

**Benefit Zone 3** consists of the entire District. Traffic signals and traffic control devices benefit the entire District by allocating time among conflicting movement seeking use of the same physical space. These signals provide for both traffic and pedestrian safety on the major intersections that carry City-wide traffic. They provide an orderly traffic flow that assures safety and movement throughout the District and benefits the District as a whole.

Traffic generation values can be established based on a parcel's land use and area. Benefit Zone 3 benefit units are determined by multiplying a parcel's Benefit Zone 2 benefit units by a traffic generation factor for a certain land use as follows; excepting any developed single family residential parcel regardless of size which will be assessed a traffic generation factor of one.

*Benefit Zone 3*

Land Use	Traffic Factor
Developed Single-Family Residential Parcel	1
Developed Multi-Family Parcel	2
Developed Commercial Parcel	3

Vacant land, other than agricultural vacant land, was assessed half the traffic factor according to the respective projected land use.

In general, with traffic signals and traffic control devices not being located in agricultural areas, a traffic generation factor was not assigned to agricultural land.

**Whereas**, on May 5th, 2021, the City Council, under the Act, adopted its Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report for LMD No. 84-1;

**Whereas**, the Resolution of Initiation directed Spicer Consulting Group, LLC. to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of improvements to be maintained; an estimate of the costs of the maintenance, operations, and servicing of the improvements for LMD No. 84-1 for the referenced Fiscal Year; a diagram for LMD No. 84-1 showing the area and properties to be assessed; and an assessment of the estimated costs of the maintenance, operations, and servicing of the improvements, assessing the net amount upon all assessable lots and/or parcels within LMD No.84-1 in proportion to the special benefit received;

**Now Therefore**, the assessments are made to cover the portion of the estimated costs of maintenance, operation and servicing of said improvements to be paid by the assessable real property within LMD No. 84-1 in proportion to the special benefit received.

*Table 3-1*  
*Assessments by Zone*

Benefit Zone	Actual Assessment <sup>4</sup>	Benefit Units	Per Benefit Unit (BU)		
			Max Assessment	Actual Assessment	% of Max
1	\$1,047,032	36,737.94	\$28.50	\$28.50	100%
2	\$74,671	67,883.65	\$1.10	\$1.10	100%
3	\$902,812	97,495.93	\$9.26	\$9.26	100%

For the specific assessment on each parcel, reference is made to the Assessment Roll on file with the City Clerk which is made a part of this report to the same extent as if attached hereto.

<sup>4</sup> Actual levy may differ due to rounding.

Executed this 7th day of July 2021.



FRANCISCO MARTINEZ JR  
PROFESSIONAL CIVIL ENGINEER NO. 84640  
ENGINEER OF WORK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, by adoption of Resolution No. 2021-\_\_\_\_ by City Council.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagrams there to attached, was approved and confirmed by the City Council of the City of Corona, California on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are referenced in Appendix A of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the City Council.

The District boundary coincides with the boundary of the parcels included within the District as of the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

Reference is made to the County Assessor's Roll and Maps for a detailed description of the lines and dimensions of any lot or parcel. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

An Assessment Diagram is attached hereto in Appendix B, showing the boundaries of LMD No. 84-1 and boundaries of any Benefit Zones established within the District as the same existed at the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

# APPENDIX A

## Assessment Roll



SPIKER CONSULTING  
G R O U P



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101110018	\$4,239.28	101230042	\$10.36	101240021	\$10.36
101140010	\$1.10	101230043	\$10.36	101240022	\$10.36
101140029	\$1,019.32	101230044	\$10.36	101240023	\$10.36
101140031	\$1,732.80	101230045	\$10.36	101240025	\$10.36
101170044	\$85.44	101230046	\$10.36	101240026	\$10.36
101170045	\$956.62	101230047	\$10.36	101240027	\$10.36
101180014	\$48.70	101230048	\$10.36	101240028	\$10.36
101180015	\$126.34	101230049	\$10.36	101240029	\$10.36
101180017	\$245.08	101230050	\$10.36	101240030	\$10.36
101180018	\$5.98	101230051	\$10.36	101240031	\$10.36
101180035	\$160.38	101230052	\$10.36	101240032	\$10.36
101180037	\$369.00	101230058	\$10.36	101240033	\$10.36
101180038	\$316.28	101230059	\$10.36	101240034	\$10.36
101220011	\$405.90	101230060	\$10.36	101240035	\$10.36
101230001	\$10.36	101230061	\$10.36	101240036	\$10.36
101230002	\$10.36	101230062	\$10.36	101240038	\$10.36
101230003	\$10.36	101230063	\$10.36	101240039	\$10.36
101230004	\$10.36	101230064	\$10.36	101240040	\$10.36
101230005	\$10.36	101230065	\$10.36	101240041	\$10.36
101230006	\$10.36	101230066	\$10.36	101240042	\$10.36
101230007	\$10.36	101230067	\$10.36	101240043	\$10.36
101230008	\$10.36	101230068	\$10.36	101240044	\$10.36
101230009	\$10.36	101230069	\$10.36	101240045	\$10.36
101230010	\$10.36	101240001	\$10.36	101240046	\$10.36
101230011	\$10.36	101240002	\$10.36	101240047	\$10.36
101230012	\$10.36	101240003	\$10.36	101240048	\$10.36
101230015	\$10.36	101240004	\$10.36	101240049	\$10.36
101230016	\$10.36	101240005	\$10.36	101240050	\$10.36
101230017	\$10.36	101240006	\$10.36	101240051	\$10.36
101230020	\$10.36	101240007	\$10.36	101240052	\$10.36
101230021	\$10.36	101240008	\$10.36	101240053	\$10.36
101230022	\$10.36	101240009	\$10.36	101240054	\$10.36
101230023	\$10.36	101240010	\$10.36	101240055	\$10.36
101230024	\$10.36	101240011	\$10.36	101240056	\$10.36
101230027	\$10.36	101240012	\$10.36	101240057	\$10.36
101230028	\$10.36	101240013	\$10.36	101240058	\$10.36
101230029	\$10.36	101240014	\$10.36	101240059	\$10.36
101230030	\$10.36	101240015	\$10.36	101240060	\$10.36
101230031	\$20.72	101240016	\$10.36	101240061	\$10.36
101230032	\$10.36	101240017	\$10.36	101240062	\$10.36
101230033	\$10.36	101240018	\$10.36	101241001	\$10.36
101230034	\$10.36	101240019	\$10.36	101241004	\$10.36
101230041	\$10.36	101240020	\$10.36	101241005	\$10.36
101241006	\$10.36	101242010	\$10.36	101250005	\$10.36
101241007	\$10.36	101242011	\$10.36	101250006	\$10.36
101241008	\$10.36	101242012	\$10.36	101250007	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101241009	\$10.36	101242013	\$10.36	101250008	\$10.36
101241010	\$10.36	101242014	\$10.36	101250009	\$10.36
101241011	\$10.36	101242015	\$10.36	101250010	\$10.36
101241012	\$10.36	101242016	\$10.36	101250011	\$10.36
101241013	\$10.36	101242017	\$10.36	101250012	\$10.36
101241014	\$10.36	101242018	\$10.36	101250013	\$10.36
101241015	\$10.36	101242019	\$10.36	101250014	\$10.36
101241016	\$10.36	101242021	\$10.36	101250015	\$10.36
101241017	\$10.36	101242022	\$10.36	101250016	\$10.36
101241018	\$10.36	101242023	\$10.36	101250017	\$10.36
101241019	\$10.36	101242024	\$10.36	101250018	\$10.36
101241020	\$10.36	101242025	\$10.36	101250019	\$10.36
101241021	\$10.36	101242026	\$10.36	101250020	\$10.36
101241022	\$10.36	101242027	\$10.36	101250021	\$10.36
101241023	\$10.36	101242028	\$10.36	101250022	\$10.36
101241024	\$10.36	101242029	\$10.36	101250023	\$10.36
101241025	\$10.36	101242030	\$10.36	101250026	\$10.36
101241026	\$10.36	101242031	\$10.36	101250027	\$10.36
101241027	\$10.36	101242032	\$10.36	101250028	\$10.36
101241028	\$10.36	101242033	\$10.36	101250029	\$10.36
101241029	\$10.36	101242034	\$10.36	101250030	\$10.36
101241030	\$10.36	101242035	\$10.36	101250031	\$10.36
101241031	\$10.36	101242036	\$10.36	101250032	\$10.36
101241032	\$10.36	101242037	\$10.36	101250033	\$10.36
101241033	\$10.36	101242038	\$10.36	101250034	\$10.36
101241034	\$10.36	101242039	\$10.36	101250035	\$10.36
101241035	\$10.36	101242040	\$10.36	101250036	\$10.36
101241036	\$10.36	101242041	\$10.36	101250037	\$10.36
101241037	\$10.36	101242042	\$10.36	101250038	\$10.36
101241041	\$10.36	101242043	\$10.36	101250039	\$10.36
101241042	\$10.36	101242044	\$10.36	101250040	\$10.36
101242001	\$10.36	101242045	\$10.36	101250041	\$10.36
101242002	\$10.36	101242046	\$10.36	101250042	\$10.36
101242003	\$10.36	101242047	\$10.36	101250043	\$10.36
101242004	\$10.36	101242048	\$10.36	101250044	\$10.36
101242005	\$10.36	101242049	\$10.36	101250045	\$10.36
101242006	\$10.36	101250001	\$10.36	101250046	\$10.36
101242007	\$10.36	101250002	\$10.36	101250047	\$10.36
101242008	\$10.36	101250003	\$10.36	101250048	\$10.36
101242009	\$10.36	101250004	\$10.36	101250049	\$10.36
101250050	\$10.36	101260027	\$10.36	101271039	\$10.36
101250051	\$10.36	101260028	\$10.36	101271040	\$10.36
101250052	\$10.36	101260029	\$10.36	101271041	\$10.36
101250053	\$10.36	101260030	\$10.36	101271042	\$10.36
101250054	\$10.36	101260031	\$10.36	101271043	\$10.36
101250055	\$10.36	101260032	\$10.36	101271044	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101250056	\$10.36	101260033	\$10.36	101271045	\$10.36
101250057	\$10.36	101260034	\$10.36	101271046	\$10.36
101250058	\$10.36	101260035	\$10.36	101271047	\$10.36
101250059	\$10.36	101260036	\$10.36	101274001	\$10.36
101250060	\$10.36	101260037	\$10.36	101274002	\$10.36
101250061	\$10.36	101260038	\$10.36	101274003	\$10.36
101250062	\$10.36	101260039	\$10.36	101274004	\$10.36
101250063	\$10.36	101260040	\$10.36	101274005	\$10.36
101250064	\$10.36	101260041	\$10.36	101274006	\$10.36
101250071	\$10.36	101260042	\$10.36	101274007	\$10.36
101250072	\$10.36	101260043	\$10.36	101274008	\$10.36
101260001	\$10.36	101260044	\$10.36	101274009	\$10.36
101260002	\$10.36	101260045	\$10.36	101274010	\$10.36
101260003	\$10.36	101260046	\$10.36	101274011	\$10.36
101260004	\$10.36	101260047	\$10.36	101274012	\$10.36
101260005	\$10.36	101260048	\$10.36	101274013	\$10.36
101260006	\$10.36	101260049	\$10.36	101274014	\$10.36
101260007	\$10.36	101260050	\$10.36	101274015	\$10.36
101260008	\$10.36	101271001	\$10.36	101274016	\$10.36
101260009	\$10.36	101271002	\$10.36	101274017	\$10.36
101260010	\$10.36	101271003	\$10.36	101274018	\$10.36
101260011	\$10.36	101271004	\$10.36	101274019	\$10.36
101260012	\$10.36	101271005	\$10.36	101274020	\$10.36
101260013	\$10.36	101271006	\$10.36	101274021	\$10.36
101260014	\$10.36	101271007	\$10.36	101274022	\$10.36
101260015	\$10.36	101271008	\$10.36	101274023	\$10.36
101260016	\$10.36	101271009	\$10.36	101274028	\$10.36
101260017	\$10.36	101271010	\$10.36	101274029	\$10.36
101260018	\$10.36	101271030	\$10.36	101274030	\$10.36
101260019	\$10.36	101271031	\$10.36	101274031	\$10.36
101260020	\$10.36	101271032	\$10.36	101274032	\$10.36
101260021	\$10.36	101271033	\$10.36	101274033	\$10.36
101260022	\$10.36	101271034	\$10.36	101274034	\$10.36
101260023	\$10.36	101271035	\$10.36	101274035	\$10.36
101260024	\$10.36	101271036	\$10.36	101274036	\$10.36
101260025	\$10.36	101271037	\$10.36	101274037	\$10.36
101260026	\$10.36	101271038	\$10.36	101274038	\$10.36
101274039	\$10.36	101281031	\$10.36	101281078	\$10.36
101274040	\$10.36	101281032	\$10.36	101281079	\$10.36
101274041	\$10.36	101281033	\$10.36	101281080	\$10.36
101274042	\$10.36	101281034	\$10.36	101281081	\$10.36
101274043	\$10.36	101281035	\$10.36	101281082	\$10.36
101274044	\$10.36	101281036	\$10.36	101281083	\$10.36
101274045	\$10.36	101281037	\$10.36	101281084	\$10.36
101274046	\$10.36	101281038	\$10.36	101281085	\$10.36
101274047	\$10.36	101281039	\$10.36	101281086	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101274048	\$10.36	101281040	\$10.36	101281087	\$10.36
101274049	\$10.36	101281041	\$10.36	101281088	\$10.36
101274050	\$10.36	101281042	\$10.36	101281091	\$10.36
101274051	\$10.36	101281043	\$10.36	101281092	\$10.36
101281001	\$10.36	101281044	\$10.36	101282001	\$10.36
101281002	\$10.36	101281045	\$10.36	101282002	\$10.36
101281003	\$10.36	101281046	\$10.36	101282003	\$10.36
101281004	\$10.36	101281047	\$10.36	101282004	\$10.36
101281005	\$10.36	101281048	\$10.36	101282005	\$10.36
101281006	\$10.36	101281049	\$10.36	101282006	\$10.36
101281007	\$10.36	101281050	\$10.36	101282007	\$10.36
101281008	\$10.36	101281051	\$10.36	101282008	\$10.36
101281009	\$10.36	101281052	\$10.36	101282009	\$10.36
101281010	\$10.36	101281053	\$10.36	101282010	\$10.36
101281011	\$10.36	101281054	\$10.36	101282011	\$10.36
101281012	\$10.36	101281055	\$10.36	101282012	\$10.36
101281013	\$10.36	101281056	\$10.36	101282013	\$10.36
101281014	\$10.36	101281057	\$10.36	101282014	\$10.36
101281015	\$10.36	101281058	\$10.36	101282015	\$10.36
101281016	\$10.36	101281061	\$10.36	101282016	\$10.36
101281017	\$10.36	101281062	\$10.36	101282017	\$10.36
101281018	\$10.36	101281065	\$10.36	101282018	\$10.36
101281019	\$10.36	101281066	\$10.36	101282019	\$10.36
101281020	\$10.36	101281067	\$10.36	101282020	\$10.36
101281021	\$10.36	101281068	\$10.36	101282021	\$10.36
101281022	\$10.36	101281069	\$10.36	101282022	\$10.36
101281023	\$10.36	101281070	\$10.36	101282023	\$10.36
101281024	\$10.36	101281071	\$10.36	101282024	\$10.36
101281025	\$10.36	101281072	\$10.36	101282025	\$10.36
101281026	\$10.36	101281073	\$10.36	101282026	\$10.36
101281027	\$10.36	101281074	\$10.36	101282027	\$10.36
101281028	\$10.36	101281075	\$10.36	101282028	\$10.36
101281029	\$10.36	101281076	\$10.36	101282029	\$10.36
101281030	\$10.36	101281077	\$10.36	101282030	\$10.36
101282034	\$10.36	101305002	\$38.86	101310014	\$38.86
101282041	\$10.36	101305003	\$38.86	101310015	\$38.86
101282042	\$10.36	101306001	\$38.86	101310016	\$38.86
101282043	\$10.36	101306002	\$38.86	101310017	\$38.86
101290002	\$115.52	101306003	\$38.86	101310018	\$38.86
101290009	\$19.62	101306004	\$38.86	101310019	\$38.86
101290012	\$103.60	101306005	\$38.86	101310020	\$38.86
101290014	\$115.52	101306006	\$38.86	101310021	\$38.86
101290015	\$86.64	101306007	\$38.86	101312001	\$38.86
101290016	\$144.40	101306008	\$38.86	101312002	\$38.86
101290025	\$316.54	101306009	\$38.86	101312003	\$38.86
101290026	\$77.72	101306010	\$38.86	101312004	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101290027	\$689.70	101306011	\$38.86	101312005	\$38.86
101301001	\$38.86	101306012	\$38.86	101312006	\$38.86
101301002	\$38.86	101306013	\$38.86	101312007	\$38.86
101301003	\$38.86	101306014	\$38.86	101312008	\$38.86
101301004	\$38.86	101306015	\$38.86	101312009	\$38.86
101301005	\$38.86	101306016	\$38.86	101312010	\$38.86
101301006	\$67.36	101306017	\$38.86	101312011	\$38.86
101301007	\$38.86	101306018	\$38.86	101312012	\$38.86
101302001	\$38.86	101306019	\$38.86	101312013	\$38.86
101302002	\$38.86	101306020	\$38.86	101312014	\$38.86
101302003	\$38.86	101306021	\$38.86	101312015	\$38.86
101302004	\$38.86	101306022	\$38.86	101312016	\$38.86
101302005	\$38.86	101307001	\$38.86	101313001	\$38.86
101302006	\$38.86	101307002	\$38.86	101313002	\$38.86
101302007	\$38.86	101307003	\$38.86	101313003	\$38.86
101303001	\$38.86	101307004	\$38.86	101313004	\$38.86
101303002	\$38.86	101307005	\$38.86	101313005	\$38.86
101303003	\$38.86	101307006	\$38.86	101313006	\$38.86
101303004	\$38.86	101310001	\$67.36	101313007	\$38.86
101303005	\$38.86	101310002	\$38.86	101313008	\$38.86
101303006	\$38.86	101310003	\$38.86	101313009	\$38.86
101303007	\$38.86	101310004	\$38.86	101313010	\$38.86
101303008	\$38.86	101310005	\$49.22	101313011	\$38.86
101304001	\$38.86	101310006	\$67.36	101313012	\$38.86
101304002	\$38.86	101310007	\$38.86	101313013	\$38.86
101304003	\$38.86	101310008	\$38.86	101313014	\$38.86
101304004	\$38.86	101310009	\$38.86	101313015	\$38.86
101304005	\$38.86	101310010	\$38.86	101313016	\$38.86
101304006	\$38.86	101310011	\$38.86	101313017	\$67.36
101304007	\$38.86	101310012	\$38.86	101313018	\$67.36
101305001	\$38.86	101310013	\$38.86	101320001	\$38.86
101320002	\$38.86	101332010	\$38.86	101342004	\$38.86
101320003	\$38.86	101332011	\$38.86	101342005	\$38.86
101320004	\$38.86	101332012	\$38.86	101342006	\$38.86
101320005	\$38.86	101332013	\$38.86	101342007	\$38.86
101320006	\$38.86	101332014	\$38.86	101342008	\$38.86
101320007	\$38.86	101332015	\$38.86	101342009	\$67.36
101320008	\$38.86	101332016	\$38.86	101342010	\$67.36
101320009	\$38.86	101332017	\$38.86	101342011	\$67.36
101320010	\$38.86	101332018	\$38.86	101342012	\$67.36
101320011	\$38.86	101332019	\$38.86	101342013	\$67.36
101320012	\$38.86	101332020	\$38.86	101342014	\$38.86
101320013	\$38.86	101332021	\$38.86	101342015	\$38.86
101320014	\$38.86	101332022	\$38.86	101342016	\$38.86
101320015	\$38.86	101332023	\$38.86	101342017	\$38.86
101320016	\$38.86	101333001	\$38.86	101342018	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101320017	\$38.86	101333002	\$38.86	101343001	\$38.86
101320018	\$38.86	101333003	\$38.86	101343002	\$38.86
101331001	\$38.86	101333004	\$38.86	101343003	\$38.86
101331002	\$38.86	101333005	\$38.86	101343004	\$38.86
101331003	\$38.86	101333006	\$38.86	101343005	\$38.86
101331004	\$38.86	101333007	\$38.86	101343006	\$38.86
101331005	\$38.86	101333008	\$38.86	101343007	\$38.86
101331006	\$38.86	101333009	\$38.86	101343008	\$38.86
101331007	\$38.86	101334001	\$38.86	101343009	\$67.36
101331008	\$38.86	101334002	\$67.36	101344001	\$38.86
101331009	\$38.86	101334003	\$67.36	101344002	\$38.86
101331010	\$38.86	101341001	\$38.86	101344003	\$38.86
101331011	\$38.86	101341002	\$38.86	101344004	\$38.86
101331012	\$38.86	101341003	\$38.86	101344005	\$38.86
101331013	\$38.86	101341004	\$38.86	101344006	\$38.86
101331014	\$38.86	101341005	\$38.86	101344007	\$38.86
101331015	\$38.86	101341006	\$38.86	101344008	\$67.36
101331016	\$38.86	101341007	\$38.86	101344009	\$38.86
101331017	\$67.36	101341008	\$38.86	101344010	\$38.86
101332001	\$67.36	101341009	\$38.86	101344011	\$38.86
101332002	\$38.86	101341010	\$38.86	101344012	\$38.86
101332003	\$38.86	101341011	\$38.86	101344013	\$38.86
101332004	\$38.86	101341012	\$38.86	101344014	\$38.86
101332005	\$38.86	101341013	\$38.86	101344015	\$67.36
101332006	\$38.86	101341014	\$38.86	101344016	\$67.36
101332007	\$38.86	101342001	\$38.86	101344017	\$38.86
101332008	\$38.86	101342002	\$67.36	101344018	\$38.86
101332009	\$38.86	101342003	\$38.86	101350004	\$373.92
101350005	\$287.66	101370046	\$172.52	101400030	\$10.36
101350006	\$258.78	101370047	\$315.40	101400031	\$20.72
101350007	\$316.54	101370048	\$201.02	101400032	\$20.72
101350011	\$229.90	101370049	\$143.64	101400033	\$20.72
101350012	\$1,068.18	101380001	\$38.86	101400034	\$20.72
101350013	\$836.76	101380002	\$38.86	101400035	\$20.72
101350014	\$749.74	101380003	\$38.86	101400036	\$20.72
101350015	\$661.58	101380004	\$38.86	101400037	\$20.72
101350016	\$317.30	101380005	\$38.86	101400038	\$20.72
101350017	\$894.90	101380006	\$38.86	101410035	\$20.72
101350018	\$1,643.12	101380007	\$38.86	101410036	\$10.36
101360002	\$143.64	101380008	\$38.86	101410037	\$10.36
101360003	\$171.76	101380013	\$20.72	101410038	\$20.72
101360004	\$114.76	101380014	\$20.72	101410039	\$20.72
101360005	\$115.14	101380015	\$20.72	101410040	\$20.72
101360006	\$114.76	101380016	\$20.72	101410041	\$20.72
101360007	\$114.76	101380017	\$20.72	101410042	\$31.08
101360008	\$171.76	101391001	\$38.86	101410043	\$31.08



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101360010	\$200.64	101391002	\$38.86	101410044	\$20.72
101370005	\$288.04	101391003	\$38.86	101410045	\$10.36
101370006	\$345.80	101391004	\$38.86	101410046	\$10.36
101370007	\$317.30	101391005	\$38.86	101410047	\$20.72
101370008	\$201.40	101391006	\$38.86	101410048	\$10.36
101370009	\$288.04	101391007	\$38.86	101410049	\$10.36
101370010	\$172.52	101391008	\$38.86	101410050	\$10.36
101370011	\$172.52	101391009	\$38.86	101410051	\$10.36
101370016	\$287.66	101391010	\$67.36	101410052	\$20.72
101370018	\$258.78	101391011	\$67.36	101410053	\$20.72
101370022	\$172.52	101392001	\$38.86	101410054	\$20.72
101370023	\$136.58	101392002	\$38.86	101410055	\$10.36
101370025	\$172.52	101392003	\$67.36	101410056	\$10.36
101370026	\$163.60	101392004	\$38.86	101410057	\$10.36
101370027	\$287.28	101392005	\$67.36	101410058	\$10.36
101370028	\$374.30	101400020	\$10.36	101410059	\$10.36
101370029	\$287.66	101400021	\$20.72	101410060	\$10.36
101370034	\$374.68	101400022	\$20.72	101410061	\$10.36
101370035	\$316.92	101400023	\$10.36	101410062	\$10.36
101370036	\$258.40	101400024	\$20.72	101410063	\$10.36
101370037	\$229.90	101400025	\$10.36	101410064	\$20.72
101370038	\$229.90	101400026	\$10.36	101410065	\$20.72
101370039	\$345.04	101400027	\$10.36	101410066	\$20.72
101370043	\$143.64	101400028	\$20.72	101410067	\$20.72
101370045	\$172.52	101400029	\$10.36	101420034	\$10.36
101420035	\$10.36	101440004	\$86.26	102140012	\$13.66
101420036	\$10.36	101440005	\$86.26	102140014	\$18.06
101420037	\$10.36	101440006	\$86.26	102150002	\$41.44
101420038	\$10.36	101440007	\$86.26	102150003	\$20.72
101420039	\$10.36	101440008	\$57.38	102150004	\$20.72
101420040	\$10.36	101440009	\$86.26	102150005	\$20.72
101420041	\$10.36	101440010	\$86.26	102150006	\$20.72
101420042	\$10.36	101440011	\$86.26	102150007	\$20.72
101420043	\$20.72	101440013	\$145.46	102150008	\$41.44
101420044	\$20.72	101440014	\$229.90	102150013	\$134.68
101420045	\$10.36	101440016	\$22.92	102160002	\$11.46
101420046	\$10.36	101440018	\$28.88	102250049	\$201.40
101420047	\$10.36	101440019	\$28.88	102250050	\$171.76
101420048	\$10.36	101440020	\$1,035.50	102250051	\$57.38
101420049	\$10.36	102020009	\$576.84	102250053	\$517.94
101420050	\$10.36	102020016	\$517.18	102250054	\$287.66
101420051	\$10.36	102020017	\$921.12	102250055	\$344.66
101420052	\$20.72	102020046	\$745.94	102261001	\$200.64
101420053	\$20.72	102020047	\$719.72	102261002	\$1,149.50
101420054	\$20.72	102020048	\$1,525.70	102261011	\$575.32
101420055	\$10.36	102020050	\$48.12	102262001	\$544.92

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101420056	\$10.36	102020051	\$518.54	102262002	\$38.86
101420057	\$10.36	102020052	\$317.30	102262003	\$38.86
101420058	\$10.36	102020053	\$375.06	102262004	\$38.86
101420059	\$10.36	102020055	\$692.36	102262005	\$38.86
101420060	\$10.36	102020056	\$1,064.00	102262006	\$38.86
101420061	\$10.36	102040020	\$718.20	102262007	\$38.86
101420062	\$10.36	102040021	\$67.36	102262008	\$38.86
101420063	\$10.36	102040023	\$5,480.36	102262009	\$38.86
101420064	\$10.36	102040026	\$576.46	102270012	\$229.52
101420065	\$10.36	102040027	\$691.98	102270014	\$115.52
101420066	\$10.36	102040028	\$634.60	102270015	\$144.40
101430001	\$86.64	102040029	\$864.88	102270016	\$172.14
101430002	\$172.14	102040030	\$807.88	102280015	\$172.52
101430003	\$86.64	102040031	\$459.42	102280016	\$258.40
101430004	\$200.64	102040034	\$1,205.36	102280017	\$200.64
101430005	\$144.02	102040035	\$3,345.14	102280018	\$200.64
101430006	\$316.54	102040039	\$144.40	102280020	\$172.52
101430007	\$287.66	102140007	\$12.56	102280021	\$288.04
101430009	\$172.52	102140008	\$12.56	102280022	\$143.64
101440001	\$57.38	102140009	\$13.66	102280023	\$229.14
101440002	\$86.26	102140010	\$12.56	102280024	\$229.14
101440003	\$86.26	102140011	\$14.76	102280025	\$143.64
102280034	\$373.92	102361031	\$10.36	102361075	\$10.36
102280035	\$316.92	102361032	\$10.36	102361076	\$10.36
102280036	\$29.98	102361033	\$10.36	102361077	\$10.36
102290004	\$258.78	102361034	\$10.36	102361078	\$10.36
102290008	\$19.62	102361035	\$10.36	102361079	\$10.36
102290010	\$48.12	102361036	\$10.36	102361080	\$10.36
102290014	\$229.90	102361038	\$10.36	102361081	\$10.36
102290017	\$315.78	102361039	\$10.36	102361083	\$10.36
102290018	\$200.64	102361040	\$10.36	102361084	\$10.36
102290020	\$1,007.00	102361041	\$10.36	102361085	\$10.36
102290021	\$172.90	102361042	\$10.36	102361086	\$10.36
102290022	\$547.20	102361043	\$10.36	102361087	\$10.36
102360043	\$886.92	102361044	\$10.36	102361088	\$10.36
102361001	\$10.36	102361045	\$10.36	102361089	\$10.36
102361002	\$10.36	102361046	\$10.36	102361090	\$10.36
102361003	\$10.36	102361047	\$10.36	102362001	\$10.36
102361004	\$10.36	102361048	\$10.36	102362002	\$10.36
102361005	\$10.36	102361049	\$10.36	102362003	\$10.36
102361006	\$10.36	102361050	\$10.36	102362004	\$10.36
102361007	\$10.36	102361051	\$10.36	102362005	\$10.36
102361008	\$10.36	102361052	\$10.36	102362006	\$10.36
102361009	\$10.36	102361053	\$10.36	102362007	\$10.36
102361010	\$10.36	102361054	\$10.36	102362008	\$10.36
102361011	\$10.36	102361055	\$10.36	102362009	\$10.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102361012	\$10.36	102361056	\$10.36	102362010	\$10.36
102361013	\$10.36	102361057	\$10.36	102362011	\$10.36
102361014	\$10.36	102361058	\$10.36	102362012	\$10.36
102361015	\$10.36	102361059	\$10.36	102362013	\$10.36
102361016	\$10.36	102361060	\$10.36	102362014	\$10.36
102361017	\$10.36	102361061	\$10.36	102362015	\$10.36
102361018	\$10.36	102361062	\$10.36	102362016	\$10.36
102361019	\$10.36	102361063	\$10.36	102362017	\$10.36
102361020	\$10.36	102361064	\$10.36	102362018	\$10.36
102361021	\$10.36	102361065	\$10.36	102362019	\$10.36
102361022	\$10.36	102361066	\$10.36	102362020	\$10.36
102361023	\$10.36	102361067	\$10.36	102362021	\$10.36
102361024	\$10.36	102361068	\$10.36	102362022	\$10.36
102361025	\$10.36	102361069	\$10.36	102362023	\$10.36
102361026	\$10.36	102361070	\$10.36	102362024	\$10.36
102361027	\$10.36	102361071	\$10.36	102362026	\$10.36
102361028	\$10.36	102361072	\$10.36	102362027	\$10.36
102361029	\$10.36	102361073	\$10.36	102362028	\$10.36
102361030	\$10.36	102361074	\$10.36	102362029	\$10.36
102362030	\$10.36	102391018	\$12.06	102391061	\$12.06
102362031	\$10.36	102391019	\$12.06	102391062	\$12.06
102362032	\$10.36	102391020	\$12.06	102391063	\$12.06
102362033	\$10.36	102391021	\$12.06	102391064	\$12.06
102370009	\$220.00	102391022	\$12.06	102391065	\$12.06
102380020	\$1,711.68	102391023	\$12.06	102391066	\$12.06
102380051	\$2,329.40	102391024	\$12.06	102391067	\$12.06
102381001	\$10.36	102391025	\$12.06	102391068	\$12.06
102381002	\$10.36	102391026	\$12.06	102391069	\$12.06
102381003	\$10.36	102391027	\$12.06	102391070	\$12.06
102381004	\$10.36	102391028	\$12.06	102391071	\$12.06
102381005	\$10.36	102391029	\$12.06	102391072	\$12.06
102381006	\$10.36	102391030	\$12.06	102392001	\$12.06
102381007	\$10.36	102391031	\$12.06	102392002	\$12.06
102381008	\$10.36	102391032	\$12.06	102392003	\$12.06
102381009	\$10.36	102391033	\$12.06	102392004	\$12.06
102381010	\$10.36	102391034	\$12.06	102392005	\$12.06
102381011	\$10.36	102391035	\$12.06	102392006	\$12.06
102381012	\$10.36	102391036	\$12.06	102392007	\$12.06
102381013	\$10.36	102391037	\$12.06	102392008	\$12.06
102381014	\$10.36	102391038	\$12.06	102392009	\$12.06
102381015	\$10.36	102391039	\$12.06	102392010	\$12.06
102381016	\$10.36	102391040	\$12.06	102392011	\$12.06
102381017	\$10.36	102391041	\$12.06	102392012	\$12.06
102381018	\$10.36	102391042	\$12.06	102392013	\$12.06
102381019	\$10.36	102391043	\$12.06	102392014	\$12.06
102391001	\$12.06	102391044	\$12.06	102392015	\$12.06

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102391002	\$12.06	102391045	\$12.06	102392016	\$12.06
102391003	\$12.06	102391046	\$12.06	102392017	\$12.06
102391004	\$12.06	102391047	\$12.06	102392018	\$12.06
102391005	\$12.06	102391048	\$12.06	102392019	\$12.06
102391006	\$12.06	102391049	\$12.06	102392020	\$12.06
102391007	\$12.06	102391050	\$12.06	102392021	\$12.06
102391008	\$12.06	102391051	\$12.06	102392022	\$12.06
102391009	\$12.06	102391052	\$12.06	102392023	\$12.06
102391010	\$12.06	102391053	\$12.06	102392024	\$12.06
102391011	\$12.06	102391054	\$12.06	102392025	\$12.06
102391012	\$12.06	102391055	\$12.06	102392026	\$12.06
102391013	\$12.06	102391056	\$12.06	102392027	\$12.06
102391014	\$12.06	102391057	\$12.06	102392028	\$12.06
102391015	\$12.06	102391058	\$12.06	102392029	\$12.06
102391016	\$12.06	102391059	\$12.06	102392030	\$12.06
102391017	\$12.06	102391060	\$12.06	102392031	\$12.06
102392032	\$12.06	102393011	\$12.06	102393054	\$12.06
102392033	\$12.06	102393012	\$12.06	102393055	\$12.06
102392034	\$12.06	102393013	\$12.06	102393057	\$12.06
102392035	\$12.06	102393014	\$12.06	102393058	\$12.06
102392036	\$12.06	102393015	\$12.06	102393059	\$12.06
102392037	\$12.06	102393016	\$12.06	102393060	\$12.06
102392038	\$12.06	102393017	\$12.06	102393061	\$12.06
102392039	\$12.06	102393018	\$12.06	102393062	\$12.06
102392040	\$12.06	102393019	\$12.06	102393063	\$12.06
102392041	\$12.06	102393020	\$12.06	102393064	\$12.06
102392042	\$12.06	102393021	\$12.06	102394001	\$12.06
102392043	\$12.06	102393022	\$12.06	102394002	\$12.06
102392044	\$12.06	102393023	\$12.06	102394003	\$12.06
102392045	\$12.06	102393024	\$12.06	102394004	\$12.06
102392046	\$12.06	102393025	\$12.06	102394005	\$12.06
102392047	\$12.06	102393026	\$12.06	102394007	\$12.06
102392048	\$12.06	102393027	\$12.06	102394008	\$12.06
102392049	\$12.06	102393028	\$12.06	102394009	\$12.06
102392050	\$12.06	102393029	\$12.06	102394010	\$12.06
102392051	\$12.06	102393030	\$12.06	102394011	\$12.06
102392052	\$12.06	102393031	\$12.06	102394012	\$12.06
102392053	\$12.06	102393032	\$12.06	102394013	\$12.06
102392054	\$12.06	102393033	\$12.06	102394014	\$12.06
102392055	\$12.06	102393034	\$12.06	102394015	\$12.06
102392056	\$12.06	102393035	\$12.06	102394016	\$12.06
102392057	\$12.06	102393036	\$12.06	102394017	\$12.06
102392058	\$12.06	102393037	\$12.06	102394018	\$12.06
102392059	\$12.06	102393038	\$12.06	102394019	\$12.06
102392060	\$12.06	102393039	\$12.06	102394020	\$12.06
102392061	\$12.06	102393040	\$12.06	102394021	\$12.06

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102392062	\$12.06	102393041	\$12.06	102394022	\$12.06
102392063	\$10.36	102393042	\$12.06	102394023	\$12.06
102392064	\$10.36	102393043	\$12.06	102394024	\$12.06
102393001	\$12.06	102393044	\$12.06	102394025	\$12.06
102393002	\$12.06	102393045	\$12.06	102394026	\$12.06
102393003	\$12.06	102393046	\$12.06	102394027	\$12.06
102393004	\$12.06	102393047	\$12.06	102394028	\$12.06
102393005	\$12.06	102393048	\$12.06	102394029	\$12.06
102393006	\$12.06	102393049	\$12.06	102394030	\$12.06
102393007	\$12.06	102393050	\$12.06	102394031	\$12.06
102393008	\$12.06	102393051	\$12.06	102394032	\$12.06
102393009	\$12.06	102393052	\$12.06	102394033	\$12.06
102393010	\$12.06	102393053	\$12.06	102394034	\$12.06
102394035	\$12.06	102394078	\$12.06	102400092	\$317.30
102394036	\$12.06	102394079	\$12.06	102400094	\$288.80
102394037	\$12.06	102394080	\$12.06	102410005	\$574.18
102394038	\$12.06	102394081	\$12.06	102410007	\$1,035.12
102394039	\$12.06	102394082	\$12.06	102410010	\$258.78
102394040	\$12.06	102394083	\$12.06	102410011	\$230.28
102394041	\$12.06	102394084	\$12.06	102410012	\$890.72
102394042	\$12.06	102394085	\$12.06	102420034	\$201.02
102394043	\$12.06	102394086	\$12.06	102420040	\$1,293.52
102394044	\$12.06	102394087	\$12.06	102420041	\$1,378.26
102394045	\$12.06	102394088	\$12.06	102420045	\$1,293.14
102394046	\$12.06	102394089	\$12.06	102420052	\$1,093.64
102394047	\$12.06	102394090	\$12.06	102420059	\$2,441.50
102394048	\$12.06	102394091	\$12.06	102420060	\$201.02
102394049	\$12.06	102394092	\$12.06	102420061	\$1,150.26
102394050	\$12.06	102394093	\$12.06	102420062	\$315.78
102394051	\$12.06	102394094	\$12.06	102420063	\$920.36
102394052	\$12.06	102394095	\$12.06	102420064	\$433.20
102394053	\$12.06	102394096	\$12.06	102431001	\$67.36
102394054	\$12.06	102400004	\$489.82	102431002	\$38.86
102394055	\$12.06	102400006	\$603.06	102431003	\$38.86
102394056	\$12.06	102400023	\$631.18	102431004	\$38.86
102394057	\$12.06	102400026	\$48.12	102431005	\$38.86
102394058	\$12.06	102400029	\$201.40	102431006	\$38.86
102394059	\$12.06	102400030	\$258.78	102431007	\$38.86
102394060	\$12.06	102400031	\$258.78	102431008	\$38.86
102394061	\$12.06	102400032	\$258.78	102431009	\$38.86
102394062	\$12.06	102400033	\$288.42	102431010	\$38.86
102394063	\$12.06	102400034	\$259.54	102431011	\$38.86
102394064	\$12.06	102400037	\$401.66	102431012	\$38.86
102394065	\$12.06	102400038	\$487.92	102432001	\$38.86
102394066	\$12.06	102400039	\$490.20	102432002	\$38.86
102394067	\$12.06	102400040	\$374.68	102432003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102394068	\$12.06	102400078	\$345.04	102432004	\$38.86
102394069	\$12.06	102400080	\$516.80	102432005	\$38.86
102394070	\$12.06	102400081	\$1,382.44	102432006	\$38.86
102394071	\$12.06	102400082	\$546.82	102432007	\$38.86
102394072	\$12.06	102400083	\$316.54	102432009	\$38.86
102394073	\$12.06	102400084	\$690.84	102432010	\$38.86
102394074	\$12.06	102400086	\$894.14	102432016	\$38.86
102394075	\$12.06	102400087	\$172.52	102433001	\$38.86
102394076	\$12.06	102400088	\$172.52	102433002	\$38.86
102394077	\$12.06	102400089	\$1,673.52	102433003	\$38.86
102433004	\$38.86	102442016	\$38.86	102443020	\$38.86
102433005	\$38.86	102442017	\$38.86	102443021	\$38.86
102433006	\$38.86	102442018	\$38.86	102443022	\$38.86
102433007	\$38.86	102442019	\$38.86	102443023	\$38.86
102433008	\$38.86	102442020	\$67.36	102443024	\$38.86
102433009	\$38.86	102442021	\$38.86	102443025	\$38.86
102433010	\$38.86	102442022	\$38.86	102443026	\$38.86
102433011	\$38.86	102442023	\$38.86	102443027	\$38.86
102433012	\$38.86	102442024	\$38.86	102443028	\$38.86
102433013	\$38.86	102442025	\$38.86	102443029	\$38.86
102433014	\$38.86	102442026	\$38.86	102443030	\$38.86
102441001	\$38.86	102442027	\$38.86	102443031	\$38.86
102441002	\$38.86	102442028	\$38.86	102443032	\$38.86
102441003	\$38.86	102442029	\$38.86	102443033	\$38.86
102441004	\$38.86	102442030	\$38.86	102443034	\$38.86
102441005	\$38.86	102442031	\$38.86	102443035	\$38.86
102441006	\$38.86	102442032	\$38.86	102443036	\$38.86
102441007	\$38.86	102442033	\$38.86	102443037	\$38.86
102441008	\$38.86	102442034	\$38.86	102443038	\$38.86
102441009	\$38.86	102442035	\$38.86	102443039	\$38.86
102441010	\$38.86	102442036	\$38.86	102443040	\$38.86
102441011	\$38.86	102442037	\$38.86	102451001	\$38.86
102441012	\$38.86	102442038	\$77.72	102451002	\$38.86
102441013	\$38.86	102442039	\$67.36	102451003	\$38.86
102441014	\$38.86	102443001	\$38.86	102451004	\$38.86
102441015	\$38.86	102443002	\$38.86	102451005	\$38.86
102441016	\$38.86	102443003	\$38.86	102452001	\$38.86
102441017	\$38.86	102443004	\$38.86	102452002	\$38.86
102442001	\$38.86	102443005	\$38.86	102452003	\$38.86
102442002	\$38.86	102443006	\$38.86	102452004	\$38.86
102442003	\$38.86	102443007	\$38.86	102452005	\$38.86
102442004	\$38.86	102443008	\$38.86	102452006	\$38.86
102442005	\$38.86	102443009	\$38.86	102452007	\$38.86
102442006	\$38.86	102443010	\$38.86	102452008	\$49.22
102442007	\$38.86	102443011	\$38.86	102452009	\$49.22
102442008	\$38.86	102443012	\$38.86	102452010	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102442009	\$38.86	102443013	\$38.86	102452011	\$38.86
102442010	\$38.86	102443014	\$38.86	102461001	\$38.86
102442011	\$38.86	102443015	\$38.86	102461002	\$38.86
102442012	\$38.86	102443016	\$38.86	102461003	\$38.86
102442013	\$38.86	102443017	\$38.86	102461004	\$38.86
102442014	\$38.86	102443018	\$38.86	102461005	\$38.86
102442015	\$38.86	102443019	\$38.86	102461006	\$38.86
102461007	\$67.36	102472011	\$38.86	102475003	\$38.86
102461008	\$38.86	102472012	\$38.86	102475004	\$38.86
102461009	\$38.86	102473001	\$38.86	102475005	\$67.36
102461010	\$38.86	102473002	\$38.86	102476001	\$67.36
102461011	\$38.86	102473003	\$38.86	102476002	\$38.86
102461012	\$38.86	102473004	\$38.86	102481001	\$38.86
102461013	\$38.86	102473005	\$38.86	102481002	\$38.86
102461014	\$38.86	102473006	\$49.22	102481003	\$38.86
102461015	\$38.86	102473007	\$38.86	102481004	\$38.86
102461016	\$38.86	102473008	\$38.86	102481005	\$38.86
102461017	\$38.86	102473009	\$38.86	102481006	\$38.86
102461018	\$38.86	102473010	\$49.22	102481007	\$38.86
102461019	\$38.86	102473011	\$38.86	102481008	\$38.86
102461020	\$38.86	102473012	\$67.36	102482001	\$67.36
102461021	\$38.86	102473013	\$67.36	102482002	\$67.36
102461022	\$38.86	102473014	\$38.86	102482003	\$38.86
102461023	\$38.86	102473015	\$38.86	102482004	\$38.86
102461024	\$38.86	102473016	\$38.86	102482005	\$38.86
102461025	\$38.86	102473017	\$38.86	102482006	\$38.86
102461026	\$38.86	102473018	\$38.86	102482007	\$38.86
102461027	\$38.86	102473019	\$38.86	102482008	\$38.86
102461028	\$38.86	102473020	\$38.86	102482009	\$38.86
102461029	\$38.86	102473021	\$38.86	102482010	\$38.86
102461030	\$38.86	102473022	\$38.86	102482011	\$38.86
102461031	\$38.86	102474001	\$38.86	102482012	\$38.86
102462001	\$38.86	102474002	\$38.86	102482013	\$67.36
102462002	\$38.86	102474003	\$38.86	102482014	\$38.86
102462003	\$38.86	102474004	\$38.86	102482015	\$38.86
102462004	\$38.86	102474005	\$38.86	102482016	\$38.86
102462005	\$38.86	102474006	\$38.86	102482017	\$38.86
102462006	\$38.86	102474007	\$38.86	102482018	\$38.86
102462007	\$38.86	102474008	\$38.86	102482019	\$38.86
102471001	\$67.36	102474009	\$38.86	102482020	\$38.86
102472001	\$38.86	102474010	\$38.86	102482021	\$38.86
102472002	\$38.86	102474011	\$38.86	102482022	\$38.86
102472003	\$38.86	102474012	\$38.86	102482023	\$38.86
102472004	\$38.86	102474013	\$38.86	102482024	\$38.86
102472005	\$38.86	102474014	\$38.86	102482025	\$38.86
102472006	\$38.86	102474015	\$38.86	102483001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102472007	\$38.86	102474016	\$38.86	102483002	\$38.86
102472008	\$38.86	102474017	\$38.86	102483003	\$38.86
102472009	\$38.86	102475001	\$77.72	102483004	\$38.86
102472010	\$38.86	102475002	\$38.86	102483005	\$38.86
102483006	\$38.86	102511016	\$38.86	102512031	\$38.86
102483007	\$38.86	102511017	\$38.86	102512032	\$38.86
102483008	\$38.86	102511018	\$38.86	102521001	\$38.86
102483009	\$38.86	102511019	\$38.86	102521002	\$38.86
102483010	\$67.36	102511020	\$38.86	102521003	\$38.86
102484001	\$38.86	102511021	\$38.86	102521004	\$38.86
102484002	\$38.86	102511022	\$38.86	102521005	\$38.86
102484003	\$38.86	102511023	\$38.86	102521008	\$38.86
102484004	\$38.86	102511024	\$38.86	102521009	\$38.86
102484005	\$38.86	102511025	\$38.86	102521010	\$38.86
102484006	\$38.86	102511026	\$38.86	102521011	\$38.86
102484007	\$38.86	102511027	\$38.86	102521012	\$38.86
102484008	\$38.86	102511028	\$38.86	102521013	\$38.86
102484009	\$38.86	102512001	\$38.86	102521014	\$38.86
102484010	\$38.86	102512002	\$38.86	102521015	\$38.86
102484011	\$38.86	102512003	\$38.86	102521016	\$38.86
102484012	\$38.86	102512004	\$38.86	102521021	\$38.86
102484013	\$38.86	102512005	\$38.86	102521022	\$38.86
102484014	\$38.86	102512006	\$38.86	102521023	\$38.86
102484015	\$38.86	102512007	\$38.86	102521024	\$38.86
102484016	\$38.86	102512008	\$38.86	102521025	\$38.86
102484017	\$38.86	102512009	\$38.86	102521027	\$38.86
102484018	\$38.86	102512010	\$38.86	102521028	\$38.86
102484019	\$38.86	102512011	\$38.86	102521029	\$38.86
102484020	\$38.86	102512012	\$38.86	102521030	\$38.86
102484021	\$38.86	102512013	\$38.86	102521031	\$38.86
102484022	\$38.86	102512014	\$38.86	102521032	\$38.86
102484023	\$38.86	102512015	\$38.86	102521033	\$38.86
102511001	\$38.86	102512016	\$38.86	102521036	\$38.86
102511002	\$38.86	102512017	\$67.36	102521037	\$38.86
102511003	\$38.86	102512018	\$67.36	102521038	\$38.86
102511004	\$38.86	102512019	\$38.86	102521039	\$38.86
102511005	\$38.86	102512020	\$38.86	102521040	\$38.86
102511006	\$38.86	102512021	\$38.86	102521041	\$38.86
102511007	\$38.86	102512022	\$38.86	102521042	\$38.86
102511008	\$38.86	102512023	\$38.86	102521043	\$38.86
102511009	\$38.86	102512024	\$38.86	102521044	\$38.86
102511010	\$38.86	102512025	\$38.86	102521045	\$38.86
102511011	\$38.86	102512026	\$38.86	102521046	\$38.86
102511012	\$38.86	102512027	\$38.86	102521047	\$38.86
102511013	\$38.86	102512028	\$38.86	102521048	\$38.86
102511014	\$38.86	102512029	\$38.86	102521050	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102511015	\$38.86	102512030	\$38.86	102521051	\$38.86
102521052	\$38.86	102531023	\$38.86	102532021	\$38.86
102521053	\$38.86	102531024	\$38.86	102532022	\$38.86
102521054	\$38.86	102531025	\$38.86	102532023	\$38.86
102521055	\$38.86	102531026	\$38.86	102532024	\$38.86
102521056	\$38.86	102531027	\$38.86	102532025	\$38.86
102521057	\$38.86	102531028	\$38.86	102532026	\$38.86
102521058	\$38.86	102531029	\$38.86	102532027	\$67.36
102522001	\$38.86	102531030	\$38.86	102532028	\$38.86
102522002	\$38.86	102531031	\$38.86	102532029	\$38.86
102522003	\$38.86	102531032	\$38.86	102532030	\$38.86
102522004	\$38.86	102531033	\$38.86	102532031	\$38.86
102522005	\$38.86	102531034	\$38.86	102532032	\$38.86
102522006	\$38.86	102531035	\$38.86	102532033	\$38.86
102522007	\$38.86	102531036	\$38.86	102532034	\$38.86
102522008	\$38.86	102531037	\$38.86	102532035	\$38.86
102522009	\$38.86	102531039	\$38.86	102532036	\$38.86
102522010	\$38.86	102531041	\$38.86	102532037	\$38.86
102522011	\$38.86	102531043	\$38.86	102532038	\$38.86
102522012	\$38.86	102531045	\$38.86	102532039	\$67.36
102522013	\$38.86	102531047	\$38.86	102532044	\$38.86
102522014	\$38.86	102531049	\$38.86	102532045	\$38.86
102522015	\$38.86	102531054	\$38.86	102532046	\$38.86
102522016	\$38.86	102531055	\$38.86	102532047	\$38.86
102522017	\$38.86	102532001	\$38.86	102541001	\$38.86
102522018	\$67.36	102532002	\$38.86	102541002	\$38.86
102522019	\$38.86	102532003	\$38.86	102541003	\$38.86
102522020	\$38.86	102532004	\$38.86	102541009	\$38.86
102522021	\$38.86	102532005	\$38.86	102541010	\$38.86
102531008	\$38.86	102532006	\$38.86	102541011	\$38.86
102531009	\$38.86	102532007	\$38.86	102541012	\$38.86
102531010	\$38.86	102532008	\$38.86	102541013	\$38.86
102531011	\$38.86	102532009	\$38.86	102541014	\$38.86
102531012	\$38.86	102532010	\$38.86	102541015	\$38.86
102531013	\$38.86	102532011	\$38.86	102541016	\$38.86
102531014	\$38.86	102532012	\$38.86	102541017	\$38.86
102531015	\$38.86	102532013	\$38.86	102541018	\$38.86
102531016	\$38.86	102532014	\$38.86	102541019	\$38.86
102531017	\$38.86	102532015	\$67.36	102541020	\$38.86
102531018	\$38.86	102532016	\$38.86	102541021	\$38.86
102531019	\$38.86	102532017	\$38.86	102541022	\$38.86
102531020	\$38.86	102532018	\$38.86	102541023	\$38.86
102531021	\$38.86	102532019	\$38.86	102541024	\$38.86
102531022	\$38.86	102532020	\$38.86	102541025	\$38.86
102541026	\$38.86	102542017	\$38.86	102551006	\$10.36
102541027	\$38.86	102542018	\$38.86	102551007	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102541028	\$38.86	102542019	\$38.86	102551008	\$10.36
102541029	\$38.86	102542020	\$38.86	102551009	\$10.36
102541030	\$38.86	102542021	\$38.86	102551010	\$10.36
102541031	\$38.86	102542022	\$38.86	102551011	\$10.36
102541032	\$38.86	102542023	\$38.86	102551012	\$10.36
102541033	\$38.86	102542024	\$38.86	102551013	\$10.36
102541034	\$38.86	102542025	\$38.86	102551014	\$10.36
102541035	\$38.86	102542026	\$38.86	102551015	\$10.36
102541036	\$38.86	102542027	\$38.86	102551016	\$10.36
102541037	\$38.86	102542028	\$38.86	102551017	\$10.36
102541038	\$38.86	102542029	\$38.86	102551018	\$10.36
102541039	\$38.86	102542030	\$38.86	102551019	\$10.36
102541040	\$38.86	102542031	\$38.86	102551020	\$10.36
102541041	\$38.86	102542032	\$38.86	102551021	\$10.36
102541042	\$38.86	102542033	\$38.86	102551022	\$10.36
102541043	\$38.86	102542034	\$38.86	102551023	\$10.36
102541044	\$38.86	102542035	\$38.86	102551024	\$10.36
102541045	\$38.86	102542036	\$38.86	102551025	\$10.36
102541046	\$38.86	102542037	\$38.86	102551026	\$10.36
102541047	\$38.86	102542038	\$38.86	102551027	\$10.36
102541048	\$38.86	102542039	\$38.86	102551028	\$10.36
102541049	\$38.86	102542040	\$38.86	102551029	\$10.36
102541050	\$38.86	102543001	\$38.86	102551030	\$10.36
102541051	\$38.86	102543002	\$38.86	102551031	\$10.36
102541052	\$38.86	102543003	\$38.86	102551032	\$10.36
102542001	\$38.86	102543004	\$38.86	102551033	\$10.36
102542002	\$38.86	102543005	\$38.86	102551034	\$10.36
102542003	\$38.86	102543006	\$38.86	102552003	\$10.36
102542004	\$38.86	102543007	\$38.86	102552004	\$10.36
102542005	\$38.86	102543008	\$38.86	102552005	\$10.36
102542006	\$38.86	102543009	\$38.86	102552006	\$10.36
102542007	\$38.86	102543010	\$38.86	102552007	\$10.36
102542008	\$38.86	102543011	\$38.86	102552008	\$10.36
102542009	\$38.86	102543012	\$38.86	102552009	\$10.36
102542010	\$38.86	102543013	\$38.86	102552010	\$10.36
102542011	\$38.86	102543014	\$38.86	102552011	\$10.36
102542012	\$38.86	102551001	\$10.36	102552012	\$10.36
102542013	\$38.86	102551002	\$10.36	102552013	\$10.36
102542014	\$38.86	102551003	\$10.36	102552014	\$10.36
102542015	\$38.86	102551004	\$10.36	102552015	\$10.36
102542016	\$38.86	102551005	\$10.36	102552016	\$10.36
102552017	\$10.36	102561026	\$38.86	102571002	\$38.86
102552018	\$10.36	102561027	\$38.86	102571003	\$38.86
102552019	\$10.36	102561028	\$38.86	102571004	\$38.86
102552020	\$10.36	102561029	\$38.86	102571005	\$38.86
102552021	\$10.36	102561030	\$38.86	102571006	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102552022	\$10.36	102561031	\$38.86	102571007	\$38.86
102552023	\$10.36	102561032	\$38.86	102571008	\$38.86
102552024	\$10.36	102561033	\$38.86	102571009	\$38.86
102552025	\$10.36	102561034	\$38.86	102571010	\$38.86
102552026	\$10.36	102561035	\$38.86	102571011	\$38.86
102552027	\$10.36	102561036	\$38.86	102571012	\$38.86
102552028	\$10.36	102561037	\$38.86	102572001	\$38.86
102552029	\$10.36	102561038	\$38.86	102572002	\$38.86
102552030	\$10.36	102561039	\$38.86	102572003	\$38.86
102552031	\$10.36	102561040	\$38.86	102572004	\$38.86
102552032	\$10.36	102561041	\$38.86	102572005	\$38.86
102552036	\$10.36	102562001	\$38.86	102572006	\$38.86
102552037	\$10.36	102562002	\$38.86	102572007	\$38.86
102561001	\$38.86	102562003	\$38.86	102572008	\$38.86
102561002	\$38.86	102562004	\$38.86	102572009	\$38.86
102561003	\$38.86	102562005	\$38.86	102572010	\$38.86
102561004	\$38.86	102562006	\$38.86	102572011	\$38.86
102561005	\$38.86	102562007	\$38.86	102572012	\$38.86
102561006	\$38.86	102562008	\$38.86	102572013	\$38.86
102561007	\$38.86	102562009	\$38.86	102572014	\$38.86
102561008	\$38.86	102562010	\$38.86	102572015	\$38.86
102561009	\$38.86	102562011	\$38.86	102572016	\$38.86
102561010	\$38.86	102562012	\$38.86	102572017	\$38.86
102561011	\$38.86	102562013	\$38.86	102572018	\$38.86
102561012	\$38.86	102562014	\$38.86	102572019	\$38.86
102561013	\$38.86	102562015	\$38.86	102572020	\$38.86
102561014	\$38.86	102562016	\$38.86	102572021	\$38.86
102561015	\$38.86	102562017	\$38.86	102572022	\$38.86
102561016	\$38.86	102562018	\$38.86	102572023	\$67.36
102561017	\$38.86	102562019	\$38.86	102572024	\$67.36
102561018	\$38.86	102562020	\$38.86	102572025	\$38.86
102561019	\$38.86	102562021	\$38.86	102572026	\$38.86
102561020	\$38.86	102562022	\$38.86	102572027	\$38.86
102561021	\$38.86	102562023	\$38.86	102572028	\$38.86
102561022	\$38.86	102562024	\$38.86	102572029	\$38.86
102561023	\$38.86	102562025	\$38.86	102572030	\$38.86
102561024	\$38.86	102562026	\$38.86	102572031	\$38.86
102561025	\$38.86	102571001	\$38.86	102572032	\$38.86
102572033	\$38.86	102580019	\$10.36	102580062	\$10.36
102572034	\$38.86	102580020	\$10.36	102580063	\$10.36
102572035	\$38.86	102580021	\$10.36	102580064	\$10.36
102572036	\$38.86	102580022	\$10.36	102580065	\$10.36
102573001	\$38.86	102580023	\$10.36	102580066	\$10.36
102573002	\$38.86	102580024	\$10.36	102580070	\$10.36
102573003	\$38.86	102580025	\$10.36	102580071	\$10.36
102573004	\$38.86	102580026	\$10.36	102580072	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102573005	\$38.86	102580027	\$10.36	102580073	\$10.36
102573006	\$38.86	102580028	\$10.36	102591001	\$38.86
102573007	\$38.86	102580029	\$10.36	102591002	\$38.86
102573008	\$38.86	102580030	\$10.36	102591003	\$38.86
102573009	\$38.86	102580031	\$10.36	102591004	\$38.86
102573010	\$38.86	102580032	\$10.36	102591005	\$38.86
102573011	\$38.86	102580033	\$10.36	102591006	\$38.86
102573012	\$38.86	102580034	\$10.36	102591007	\$38.86
102573013	\$38.86	102580035	\$10.36	102591008	\$38.86
102573014	\$38.86	102580036	\$10.36	102591009	\$38.86
102573015	\$67.36	102580037	\$10.36	102591010	\$38.86
102573016	\$38.86	102580038	\$10.36	102591011	\$38.86
102573017	\$38.86	102580039	\$10.36	102591012	\$38.86
102573018	\$38.86	102580040	\$10.36	102591013	\$38.86
102573019	\$38.86	102580041	\$10.36	102591014	\$38.86
102573020	\$38.86	102580042	\$10.36	102591015	\$38.86
102573021	\$38.86	102580043	\$10.36	102591016	\$38.86
102573022	\$38.86	102580044	\$10.36	102592001	\$38.86
102573023	\$38.86	102580045	\$10.36	102592002	\$38.86
102573024	\$38.86	102580046	\$10.36	102592003	\$38.86
102573025	\$38.86	102580047	\$10.36	102592004	\$38.86
102580001	\$10.36	102580048	\$10.36	102592005	\$38.86
102580002	\$10.36	102580049	\$10.36	102592006	\$38.86
102580003	\$10.36	102580050	\$10.36	102592007	\$38.86
102580004	\$10.36	102580051	\$10.36	102592008	\$38.86
102580005	\$10.36	102580052	\$10.36	102593001	\$38.86
102580006	\$10.36	102580053	\$10.36	102593002	\$38.86
102580011	\$10.36	102580054	\$10.36	102593003	\$38.86
102580012	\$10.36	102580055	\$10.36	102593004	\$38.86
102580013	\$10.36	102580056	\$10.36	102593005	\$38.86
102580014	\$10.36	102580057	\$10.36	102593006	\$38.86
102580015	\$10.36	102580058	\$10.36	102593007	\$38.86
102580016	\$10.36	102580059	\$10.36	102593008	\$38.86
102580017	\$10.36	102580060	\$10.36	102593009	\$38.86
102580018	\$10.36	102580061	\$10.36	102593010	\$38.86
102593011	\$38.86	102601010	\$38.86	102602023	\$38.86
102593012	\$38.86	102601011	\$38.86	102602024	\$38.86
102593013	\$38.86	102601012	\$38.86	102602025	\$38.86
102593014	\$38.86	102601013	\$38.86	102602026	\$38.86
102593015	\$38.86	102601014	\$38.86	102602027	\$38.86
102593016	\$38.86	102601015	\$38.86	102602028	\$38.86
102593017	\$38.86	102601016	\$38.86	102602029	\$38.86
102593018	\$38.86	102601017	\$38.86	102602030	\$38.86
102593019	\$38.86	102601018	\$38.86	102602031	\$38.86
102593020	\$38.86	102601019	\$38.86	102602033	\$38.86
102593021	\$38.86	102601020	\$38.86	102611001	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102593022	\$38.86	102601021	\$38.86	102611002	\$77.72
102593023	\$38.86	102601022	\$38.86	102611003	\$67.36
102593024	\$67.36	102601023	\$38.86	102611004	\$38.86
102593025	\$67.36	102601024	\$38.86	102611005	\$38.86
102593026	\$38.86	102601025	\$38.86	102611006	\$38.86
102593027	\$38.86	102601026	\$38.86	102611007	\$38.86
102593028	\$38.86	102601027	\$38.86	102611008	\$38.86
102593029	\$38.86	102601028	\$38.86	102611009	\$38.86
102593030	\$38.86	102601029	\$38.86	102611010	\$38.86
102594001	\$38.86	102601030	\$38.86	102611011	\$38.86
102594002	\$38.86	102601031	\$38.86	102611012	\$38.86
102594003	\$38.86	102602001	\$38.86	102611013	\$38.86
102594004	\$38.86	102602002	\$38.86	102611014	\$38.86
102594005	\$38.86	102602003	\$38.86	102611015	\$38.86
102594006	\$38.86	102602004	\$38.86	102611016	\$38.86
102594007	\$38.86	102602005	\$38.86	102611017	\$38.86
102594008	\$38.86	102602006	\$38.86	102611019	\$38.86
102594009	\$38.86	102602007	\$38.86	102611020	\$38.86
102594010	\$38.86	102602008	\$38.86	102611024	\$38.86
102594011	\$38.86	102602009	\$38.86	102611026	\$38.86
102595001	\$67.36	102602010	\$38.86	102611027	\$38.86
102595002	\$38.86	102602011	\$38.86	102611028	\$38.86
102595003	\$38.86	102602012	\$38.86	102611029	\$38.86
102601001	\$38.86	102602013	\$38.86	102612001	\$67.36
102601002	\$38.86	102602014	\$38.86	102612002	\$67.36
102601003	\$38.86	102602016	\$38.86	102612003	\$67.36
102601004	\$38.86	102602017	\$38.86	102612004	\$67.36
102601005	\$38.86	102602018	\$38.86	102612005	\$38.86
102601006	\$38.86	102602019	\$38.86	102612006	\$38.86
102601007	\$38.86	102602020	\$38.86	102612007	\$38.86
102601008	\$38.86	102602021	\$38.86	102612008	\$67.36
102601009	\$38.86	102602022	\$38.86	102612009	\$67.36
102612010	\$38.86	102621012	\$38.86	102623001	\$38.86
102612011	\$38.86	102621013	\$38.86	102623002	\$38.86
102612012	\$38.86	102621014	\$38.86	102623003	\$38.86
102612013	\$38.86	102621015	\$38.86	102623004	\$38.86
102612014	\$38.86	102621016	\$38.86	102623007	\$67.36
102612015	\$38.86	102621017	\$38.86	102623008	\$38.86
102612016	\$38.86	102621018	\$38.86	102623009	\$38.86
102612017	\$38.86	102621019	\$38.86	102623012	\$67.36
102612018	\$95.86	102621020	\$38.86	102623013	\$67.36
102613001	\$38.86	102621021	\$38.86	102623014	\$38.86
102613002	\$38.86	102621022	\$38.86	102623015	\$10.36
102613003	\$38.86	102621023	\$38.86	102630002	\$38.86
102613004	\$38.86	102621024	\$67.36	102630003	\$38.86
102613005	\$38.86	102621025	\$38.86	102630004	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102613006	\$38.86	102621026	\$38.86	102630005	\$38.86
102613007	\$38.86	102621027	\$38.86	102630006	\$38.86
102613008	\$38.86	102621028	\$38.86	102630007	\$49.22
102613009	\$38.86	102621029	\$38.86	102630008	\$38.86
102613010	\$38.86	102621030	\$38.86	102630009	\$77.72
102613011	\$67.36	102621031	\$38.86	102630010	\$77.72
102613012	\$38.86	102621032	\$38.86	102630011	\$67.36
102613013	\$38.86	102621033	\$38.86	102630012	\$38.86
102613014	\$67.36	102621034	\$38.86	102630013	\$38.86
102613015	\$67.36	102621035	\$38.86	102630014	\$38.86
102613016	\$38.86	102621036	\$38.86	102630015	\$67.36
102613017	\$38.86	102621037	\$38.86	102630016	\$67.36
102613018	\$38.86	102621038	\$38.86	102630017	\$67.36
102613019	\$38.86	102621039	\$38.86	102630018	\$38.86
102613020	\$38.86	102621040	\$67.36	102630019	\$38.86
102613021	\$38.86	102621041	\$77.72	102630020	\$38.86
102613022	\$38.86	102621042	\$77.72	102630022	\$38.86
102613023	\$38.86	102621043	\$77.72	102630023	\$38.86
102621001	\$38.86	102621044	\$49.22	102630024	\$38.86
102621002	\$38.86	102622001	\$67.36	102630026	\$38.86
102621003	\$38.86	102622002	\$38.86	102630027	\$38.86
102621004	\$38.86	102622003	\$38.86	102630028	\$38.86
102621005	\$38.86	102622004	\$38.86	102630031	\$38.86
102621006	\$38.86	102622005	\$38.86	102630032	\$67.36
102621007	\$38.86	102622006	\$38.86	102630034	\$38.86
102621008	\$38.86	102622007	\$38.86	102641001	\$67.36
102621009	\$38.86	102622008	\$38.86	102641002	\$38.86
102621010	\$38.86	102622009	\$38.86	102641003	\$38.86
102621011	\$38.86	102622010	\$67.36	102641004	\$38.86
102641005	\$95.86	102651017	\$38.86	102662010	\$38.86
102641006	\$67.36	102651018	\$38.86	102662011	\$38.86
102641009	\$38.86	102651027	\$38.86	102662012	\$67.36
102641010	\$38.86	102651029	\$38.86	102662013	\$38.86
102641011	\$38.86	102651030	\$38.86	102662014	\$38.86
102641012	\$38.86	102651031	\$38.86	102662015	\$38.86
102641013	\$38.86	102652001	\$67.36	102662016	\$38.86
102641014	\$38.86	102652004	\$38.86	102662017	\$38.86
102641015	\$38.86	102652005	\$38.86	102662018	\$38.86
102641016	\$67.36	102652006	\$38.86	102662019	\$38.86
102641017	\$67.36	102652007	\$67.36	102662020	\$38.86
102641018	\$38.86	102652008	\$67.36	102662021	\$38.86
102641020	\$38.86	102652009	\$38.86	102662022	\$38.86
102642004	\$38.86	102652010	\$38.86	102662023	\$38.86
102642008	\$38.86	102652011	\$38.86	102663001	\$38.86
102643001	\$124.36	102652012	\$38.86	102663002	\$38.86
102643002	\$38.86	102652013	\$38.86	102663003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102643003	\$38.86	102652017	\$10.36	102663004	\$38.86
102643004	\$67.36	102652019	\$10.36	102663005	\$38.86
102643005	\$67.36	102661016	\$38.86	102663006	\$38.86
102643006	\$67.36	102661017	\$38.86	102663007	\$38.86
102643007	\$67.36	102661018	\$38.86	102663008	\$38.86
102643008	\$67.36	102661019	\$38.86	102663009	\$38.86
102643009	\$67.36	102661020	\$38.86	102663010	\$38.86
102643010	\$38.86	102661021	\$38.86	102663011	\$38.86
102643011	\$38.86	102661022	\$38.86	102663012	\$38.86
102643012	\$38.86	102661023	\$38.86	102664001	\$38.86
102643013	\$38.86	102661024	\$38.86	102664002	\$38.86
102643014	\$38.86	102661025	\$38.86	102664003	\$38.86
102643015	\$38.86	102661026	\$38.86	102664004	\$38.86
102643016	\$38.86	102661027	\$38.86	102664005	\$38.86
102651003	\$38.86	102661028	\$38.86	102664006	\$38.86
102651005	\$38.86	102661029	\$38.86	102664007	\$38.86
102651006	\$38.86	102661030	\$67.36	102664008	\$38.86
102651008	\$38.86	102662001	\$38.86	102664009	\$38.86
102651009	\$38.86	102662002	\$38.86	102664010	\$38.86
102651010	\$106.22	102662003	\$38.86	102664011	\$38.86
102651011	\$95.86	102662004	\$38.86	102664012	\$38.86
102651012	\$77.72	102662005	\$38.86	102664013	\$38.86
102651013	\$67.36	102662006	\$38.86	102664014	\$38.86
102651014	\$38.86	102662007	\$38.86	102664015	\$38.86
102651015	\$38.86	102662008	\$38.86	102664016	\$38.86
102651016	\$38.86	102662009	\$38.86	102664017	\$38.86
102664018	\$38.86	102672015	\$38.86	102674011	\$67.36
102664019	\$38.86	102672016	\$38.86	102674012	\$38.86
102664020	\$38.86	102672017	\$38.86	102674013	\$38.86
102664021	\$38.86	102672018	\$38.86	102674014	\$38.86
102664022	\$38.86	102672019	\$38.86	102674015	\$38.86
102664023	\$38.86	102672020	\$38.86	102674016	\$38.86
102671002	\$38.86	102672021	\$38.86	102674017	\$38.86
102671003	\$38.86	102672022	\$38.86	102674019	\$38.86
102671004	\$38.86	102672023	\$38.86	102674020	\$38.86
102671005	\$38.86	102672024	\$38.86	102675001	\$38.86
102671010	\$38.86	102672025	\$38.86	102675002	\$38.86
102671011	\$38.86	102672026	\$38.86	102675003	\$38.86
102671012	\$67.36	102672027	\$38.86	102675004	\$38.86
102671013	\$38.86	102672028	\$38.86	102675005	\$38.86
102671014	\$38.86	102672029	\$38.86	102675006	\$38.86
102671019	\$38.86	102672030	\$38.86	102675007	\$38.86
102671020	\$38.86	102672031	\$38.86	102675008	\$38.86
102671021	\$38.86	102672032	\$67.36	102675009	\$38.86
102671022	\$38.86	102673001	\$38.86	102675010	\$38.86
102671023	\$38.86	102673002	\$38.86	102675011	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102671024	\$38.86	102673003	\$38.86	102681001	\$38.86
102671025	\$38.86	102673004	\$38.86	102681002	\$38.86
102671026	\$38.86	102673005	\$38.86	102681003	\$38.86
102671027	\$38.86	102673006	\$38.86	102681004	\$38.86
102671028	\$38.86	102673007	\$38.86	102681005	\$38.86
102671029	\$38.86	102673008	\$38.86	102681006	\$38.86
102671030	\$38.86	102673009	\$38.86	102681007	\$38.86
102671031	\$38.86	102673010	\$38.86	102681008	\$38.86
102671032	\$38.86	102673011	\$38.86	102681009	\$38.86
102672001	\$38.86	102673012	\$38.86	102681010	\$38.86
102672002	\$38.86	102673013	\$38.86	102681011	\$38.86
102672003	\$38.86	102673014	\$38.86	102681012	\$38.86
102672004	\$38.86	102673015	\$38.86	102682001	\$38.86
102672005	\$38.86	102674001	\$38.86	102682002	\$38.86
102672006	\$38.86	102674002	\$38.86	102682003	\$38.86
102672007	\$38.86	102674003	\$38.86	102682004	\$38.86
102672008	\$38.86	102674004	\$38.86	102682005	\$38.86
102672009	\$38.86	102674005	\$38.86	102682006	\$38.86
102672010	\$38.86	102674006	\$38.86	102682007	\$38.86
102672011	\$38.86	102674007	\$38.86	102682008	\$38.86
102672012	\$38.86	102674008	\$38.86	102682009	\$38.86
102672013	\$38.86	102674009	\$38.86	102682010	\$38.86
102672014	\$38.86	102674010	\$38.86	102682011	\$38.86
102682015	\$38.86	102684009	\$67.36	102691012	\$38.86
102682016	\$38.86	102684010	\$95.86	102691013	\$38.86
102682017	\$38.86	102684011	\$38.86	102691014	\$38.86
102682018	\$38.86	102684012	\$38.86	102691015	\$38.86
102682019	\$38.86	102684013	\$38.86	102691016	\$38.86
102682020	\$38.86	102684014	\$38.86	102691017	\$38.86
102682021	\$38.86	102685001	\$38.86	102691018	\$38.86
102682022	\$38.86	102685002	\$38.86	102691019	\$38.86
102682023	\$38.86	102685003	\$38.86	102691020	\$67.36
102682024	\$38.86	102685004	\$38.86	102692001	\$38.86
102682025	\$38.86	102685005	\$38.86	102692002	\$38.86
102682026	\$38.86	102685006	\$38.86	102692003	\$38.86
102682027	\$38.86	102685007	\$38.86	102692004	\$38.86
102683001	\$38.86	102685008	\$38.86	102692005	\$38.86
102683002	\$38.86	102685009	\$49.22	102692006	\$38.86
102683003	\$38.86	102685010	\$49.22	102692007	\$38.86
102683004	\$38.86	102685011	\$38.86	102692008	\$38.86
102683005	\$38.86	102685012	\$38.86	102692009	\$38.86
102683006	\$38.86	102685013	\$38.86	102692010	\$38.86
102683007	\$38.86	102685014	\$38.86	102692011	\$38.86
102683008	\$38.86	102685015	\$38.86	102692012	\$38.86
102683009	\$38.86	102685016	\$38.86	102692013	\$38.86
102683010	\$38.86	102685017	\$38.86	102692014	\$38.86



## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102683011	\$67.36	102685018	\$38.86	102692015	\$38.86
102683012	\$38.86	102685019	\$38.86	102692016	\$38.86
102683013	\$38.86	102685020	\$38.86	102692017	\$67.36
102683014	\$38.86	102685021	\$38.86	102692018	\$38.86
102683015	\$38.86	102685022	\$38.86	102692019	\$38.86
102683016	\$38.86	102685023	\$38.86	102692020	\$38.86
102683017	\$38.86	102685024	\$38.86	102692021	\$38.86
102683018	\$38.86	102685025	\$38.86	102692022	\$38.86
102683019	\$38.86	102685026	\$38.86	102692023	\$38.86
102683020	\$38.86	102685027	\$38.86	102692024	\$38.86
102683021	\$38.86	102691001	\$38.86	102692025	\$38.86
102683022	\$38.86	102691002	\$38.86	102692026	\$38.86
102684001	\$38.86	102691003	\$38.86	102692027	\$38.86
102684002	\$38.86	102691005	\$67.36	102692028	\$38.86
102684003	\$38.86	102691006	\$38.86	102692029	\$38.86
102684004	\$38.86	102691007	\$38.86	102692030	\$38.86
102684005	\$38.86	102691008	\$38.86	102692031	\$38.86
102684006	\$38.86	102691009	\$38.86	102692032	\$38.86
102684007	\$38.86	102691010	\$38.86	102692033	\$38.86
102684008	\$38.86	102691011	\$38.86	102692034	\$67.36
102692035	\$38.86	102696003	\$38.86	102704001	\$38.86
102692036	\$38.86	102696004	\$38.86	102704002	\$38.86
102692037	\$38.86	102701001	\$38.86	102704003	\$38.86
102692038	\$38.86	102701002	\$38.86	102704004	\$38.86
102692039	\$38.86	102701003	\$38.86	102704005	\$38.86
102692040	\$38.86	102701004	\$38.86	102704006	\$38.86
102693001	\$38.86	102701006	\$38.86	102704007	\$38.86
102693002	\$38.86	102701007	\$38.86	102704008	\$38.86
102693003	\$38.86	102701008	\$67.36	102704009	\$38.86
102693004	\$38.86	102702001	\$67.36	102704010	\$38.86
102693005	\$38.86	102702002	\$38.86	102704011	\$38.86
102693006	\$38.86	102702003	\$38.86	102704012	\$38.86
102693007	\$38.86	102702004	\$38.86	102704013	\$38.86
102693008	\$38.86	102702005	\$38.86	102704014	\$38.86
102693009	\$38.86	102702006	\$38.86	102704015	\$38.86
102693010	\$38.86	102702007	\$38.86	102704016	\$38.86
102693011	\$38.86	102702008	\$38.86	102704017	\$38.86
102693012	\$38.86	102702009	\$38.86	102704018	\$38.86
102693013	\$38.86	102702010	\$38.86	102704019	\$38.86
102693014	\$38.86	102702011	\$38.86	102704020	\$38.86
102693015	\$38.86	102703001	\$38.86	102711001	\$38.86
102694001	\$38.86	102703002	\$38.86	102711002	\$38.86
102694002	\$38.86	102703003	\$38.86	102711003	\$38.86
102694003	\$38.86	102703004	\$38.86	102711004	\$38.86
102694004	\$38.86	102703005	\$38.86	102711005	\$38.86
102694005	\$38.86	102703006	\$38.86	102711006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102694006	\$38.86	102703007	\$38.86	102711007	\$38.86
102694007	\$38.86	102703008	\$38.86	102711008	\$38.86
102694008	\$38.86	102703009	\$38.86	102711009	\$38.86
102694009	\$38.86	102703010	\$38.86	102711010	\$38.86
102694010	\$38.86	102703011	\$38.86	102711011	\$38.86
102694011	\$38.86	102703012	\$38.86	102711012	\$38.86
102694012	\$38.86	102703013	\$38.86	102711013	\$38.86
102695001	\$38.86	102703014	\$38.86	102711014	\$67.36
102695002	\$38.86	102703015	\$38.86	102711015	\$67.36
102695003	\$38.86	102703016	\$38.86	102711016	\$38.86
102695004	\$38.86	102703017	\$38.86	102711017	\$38.86
102695005	\$38.86	102703018	\$38.86	102711018	\$38.86
102695006	\$38.86	102703019	\$38.86	102711019	\$38.86
102695007	\$38.86	102703020	\$38.86	102711020	\$38.86
102695008	\$38.86	102703021	\$38.86	102711021	\$38.86
102696001	\$67.36	102703022	\$38.86	102711022	\$38.86
102696002	\$38.86	102703023	\$38.86	102711023	\$38.86
102711024	\$38.86	102714006	\$38.86	102721017	\$38.86
102711025	\$38.86	102714007	\$38.86	102721018	\$38.86
102711026	\$38.86	102714008	\$38.86	102721019	\$38.86
102711027	\$38.86	102714009	\$38.86	102721020	\$38.86
102711028	\$38.86	102714010	\$67.36	102721021	\$38.86
102711029	\$38.86	102714011	\$38.86	102721022	\$38.86
102711030	\$38.86	102714012	\$38.86	102721023	\$38.86
102711031	\$38.86	102714013	\$38.86	102721024	\$38.86
102712001	\$38.86	102714014	\$38.86	102721025	\$38.86
102712002	\$38.86	102714015	\$38.86	102721026	\$38.86
102712003	\$38.86	102714016	\$38.86	102721027	\$67.36
102712004	\$38.86	102714017	\$38.86	102721028	\$38.86
102712005	\$38.86	102714018	\$38.86	102721029	\$38.86
102712006	\$38.86	102714019	\$38.86	102721030	\$67.36
102712007	\$38.86	102714020	\$38.86	102721031	\$67.36
102712008	\$38.86	102714021	\$38.86	102721032	\$38.86
102712009	\$38.86	102714022	\$38.86	102721033	\$38.86
102712010	\$38.86	102714023	\$38.86	102721034	\$38.86
102712011	\$38.86	102714024	\$38.86	102721035	\$38.86
102712012	\$38.86	102714025	\$38.86	102721036	\$38.86
102712013	\$38.86	102714026	\$38.86	102721037	\$38.86
102712014	\$38.86	102714027	\$38.86	102721038	\$38.86
102713001	\$38.86	102714028	\$38.86	102722001	\$38.86
102713002	\$38.86	102714029	\$38.86	102722002	\$67.36
102713003	\$38.86	102714030	\$38.86	102722003	\$38.86
102713004	\$38.86	102714031	\$38.86	102722004	\$38.86
102713005	\$38.86	102714032	\$38.86	102722005	\$38.86
102713006	\$38.86	102721001	\$38.86	102723001	\$38.86
102713007	\$38.86	102721002	\$38.86	102723002	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102713008	\$38.86	102721003	\$38.86	102723003	\$38.86
102713009	\$38.86	102721004	\$38.86	102723004	\$38.86
102713010	\$38.86	102721005	\$38.86	102723005	\$67.36
102713011	\$38.86	102721006	\$38.86	102723006	\$38.86
102713012	\$38.86	102721007	\$38.86	102723007	\$38.86
102713013	\$38.86	102721008	\$38.86	102730001	\$10.36
102713014	\$38.86	102721009	\$38.86	102730002	\$10.36
102713015	\$38.86	102721010	\$38.86	102730003	\$10.36
102713016	\$38.86	102721011	\$38.86	102730004	\$10.36
102714001	\$38.86	102721012	\$38.86	102730005	\$10.36
102714002	\$38.86	102721013	\$38.86	102730006	\$10.36
102714003	\$38.86	102721014	\$38.86	102730007	\$10.36
102714004	\$38.86	102721015	\$38.86	102730008	\$10.36
102714005	\$38.86	102721016	\$38.86	102730009	\$10.36
102730010	\$10.36	102730053	\$10.36	102742047	\$38.86
102730011	\$10.36	102730054	\$10.36	102742048	\$38.86
102730012	\$10.36	102730055	\$10.36	102742049	\$38.86
102730013	\$10.36	102730056	\$10.36	102742050	\$38.86
102730014	\$10.36	102730057	\$10.36	102742051	\$38.86
102730015	\$10.36	102730058	\$10.36	102742057	\$38.86
102730016	\$10.36	102730059	\$10.36	102742059	\$38.86
102730017	\$10.36	102730060	\$10.36	102750001	\$38.86
102730018	\$10.36	102730061	\$10.36	102750002	\$38.86
102730019	\$10.36	102730062	\$10.36	102750003	\$38.86
102730020	\$10.36	102730063	\$10.36	102750004	\$67.36
102730021	\$10.36	102730064	\$10.36	102750005	\$67.36
102730022	\$10.36	102730065	\$10.36	102750006	\$38.86
102730023	\$10.36	102730066	\$10.36	102750007	\$38.86
102730024	\$10.36	102730067	\$10.36	102750008	\$38.86
102730025	\$10.36	102730068	\$10.36	102750009	\$38.86
102730026	\$10.36	102730069	\$10.36	102750010	\$67.36
102730027	\$10.36	102730070	\$10.36	102750011	\$38.86
102730028	\$10.36	102730071	\$10.36	102750012	\$38.86
102730029	\$10.36	102730072	\$10.36	102750013	\$38.86
102730030	\$10.36	102742021	\$67.36	102750014	\$38.86
102730031	\$10.36	102742022	\$67.36	102750015	\$38.86
102730032	\$10.36	102742023	\$67.36	102750016	\$67.36
102730033	\$10.36	102742025	\$38.86	102750017	\$67.36
102730034	\$10.36	102742026	\$38.86	102750018	\$38.86
102730035	\$10.36	102742027	\$67.36	102750019	\$38.86
102730036	\$10.36	102742028	\$95.86	102750020	\$38.86
102730037	\$10.36	102742029	\$38.86	102750021	\$38.86
102730038	\$10.36	102742030	\$38.86	102750022	\$38.86
102730039	\$10.36	102742031	\$38.86	102750023	\$38.86
102730040	\$10.36	102742034	\$38.86	102750024	\$38.86
102730041	\$10.36	102742035	\$38.86	102750025	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102730042	\$10.36	102742036	\$38.86	102750026	\$67.36
102730043	\$10.36	102742037	\$38.86	102750027	\$38.86
102730044	\$10.36	102742038	\$38.86	102750028	\$38.86
102730045	\$10.36	102742039	\$38.86	102750029	\$38.86
102730046	\$10.36	102742040	\$38.86	102750030	\$38.86
102730047	\$10.36	102742041	\$38.86	102750031	\$38.86
102730048	\$10.36	102742042	\$38.86	102750032	\$67.36
102730049	\$10.36	102742043	\$38.86	102750033	\$67.36
102730050	\$10.36	102742044	\$38.86	102750034	\$59.58
102730051	\$10.36	102742045	\$38.86	102750035	\$38.86
102730052	\$10.36	102742046	\$38.86	102750036	\$38.86
102760003	\$14.06	102771036	\$11.50	102773007	\$11.50
102760018	\$14.06	102771037	\$11.50	102773008	\$11.50
102760019	\$10.36	102771038	\$11.50	102773009	\$11.50
102760020	\$14.06	102771039	\$11.50	102773010	\$11.50
102760021	\$14.06	102771040	\$11.50	102773011	\$11.50
102760023	\$10.36	102771041	\$11.50	102773012	\$11.50
102760024	\$38.86	102771042	\$11.50	102773013	\$11.50
102760025	\$38.86	102771043	\$11.50	102773014	\$11.50
102771001	\$11.50	102771044	\$11.50	102773015	\$11.50
102771002	\$11.50	102771045	\$11.50	102773016	\$11.50
102771003	\$11.50	102771046	\$11.50	102773017	\$11.50
102771004	\$11.50	102771047	\$11.50	102773018	\$11.50
102771005	\$11.50	102771048	\$11.50	102773019	\$11.50
102771006	\$11.50	102771049	\$11.50	102773020	\$11.50
102771007	\$11.50	102771050	\$11.50	102773021	\$11.50
102771008	\$11.50	102771051	\$11.50	102773022	\$11.50
102771009	\$11.50	102771052	\$11.50	102773023	\$11.50
102771010	\$11.50	102771053	\$11.50	102773024	\$11.50
102771011	\$11.50	102771054	\$11.50	102773025	\$11.50
102771012	\$11.50	102771055	\$11.50	102773026	\$11.50
102771013	\$11.50	102771056	\$11.50	102773027	\$11.50
102771014	\$11.50	102772001	\$11.50	102773028	\$11.50
102771015	\$11.50	102772002	\$11.50	102773029	\$11.50
102771016	\$11.50	102772003	\$11.50	102773030	\$11.50
102771017	\$11.50	102772004	\$11.50	102773031	\$11.50
102771018	\$11.50	102772005	\$11.50	102773032	\$11.50
102771019	\$11.50	102772006	\$11.50	102773033	\$11.50
102771020	\$11.50	102772007	\$11.50	102773034	\$11.50
102771021	\$11.50	102772008	\$11.50	102774001	\$11.50
102771022	\$11.50	102772009	\$11.50	102774002	\$11.50
102771023	\$11.50	102772010	\$11.50	102774003	\$11.50
102771024	\$11.50	102772011	\$11.50	102774004	\$11.50
102771025	\$11.50	102772012	\$11.50	102774005	\$11.50
102771026	\$11.50	102772013	\$11.50	102774006	\$11.50
102771027	\$11.50	102772014	\$11.50	102774007	\$11.50

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102771028	\$11.50	102772015	\$11.50	102774008	\$11.50
102771029	\$11.50	102772016	\$11.50	102774009	\$11.50
102771030	\$11.50	102773001	\$11.50	102774010	\$11.50
102771031	\$11.50	102773002	\$11.50	102774013	\$11.50
102771032	\$11.50	102773003	\$11.50	102774014	\$11.50
102771033	\$11.50	102773004	\$11.50	102774015	\$11.50
102771034	\$11.50	102773005	\$11.50	102774017	\$11.50
102771035	\$11.50	102773006	\$11.50	102774018	\$11.50
102774019	\$11.50	102792013	\$67.36	102811015	\$38.86
102774020	\$11.50	102792014	\$38.86	102811016	\$38.86
102774021	\$11.50	102792015	\$67.36	102811017	\$38.86
102774022	\$11.50	102792016	\$67.36	102811018	\$38.86
102774023	\$11.50	102792017	\$95.86	102811019	\$38.86
102774024	\$11.50	102792018	\$67.36	102811020	\$38.86
102774025	\$11.50	102801005	\$67.36	102811021	\$38.86
102774026	\$11.50	102801008	\$95.86	102811022	\$38.86
102774027	\$11.50	102801009	\$38.86	102811023	\$38.86
102774028	\$11.50	102801010	\$67.36	102811024	\$38.86
102774031	\$11.50	102801011	\$77.72	102811025	\$38.86
102774032	\$11.50	102802001	\$38.86	102812001	\$95.86
102774033	\$11.50	102802002	\$38.86	102820003	\$287.28
102780001	\$85.88	102802003	\$38.86	102820004	\$374.30
102780002	\$57.38	102802004	\$38.86	102820005	\$460.94
102780003	\$57.38	102802005	\$38.86	102820006	\$432.06
102780004	\$85.88	102802006	\$38.86	102820007	\$489.82
102780005	\$57.38	102802007	\$38.86	102820008	\$690.84
102780006	\$85.88	102802008	\$38.86	102820009	\$288.04
102780007	\$28.88	102802009	\$38.86	102820011	\$603.82
102780008	\$28.88	102802010	\$38.86	102830002	\$1,777.56
102780009	\$28.88	102802011	\$38.86	102830006	\$230.66
102780010	\$28.88	102802012	\$38.86	102830007	\$575.70
102791001	\$38.86	102802013	\$38.86	102830008	\$662.34
102791002	\$38.86	102802014	\$38.86	102830009	\$145.46
102791003	\$38.86	102802015	\$38.86	102830010	\$130.46
102791004	\$38.86	102802016	\$38.86	102830011	\$143.98
102791005	\$38.86	102802017	\$38.86	102830012	\$235.40
102791006	\$38.86	102802018	\$38.86	103020007	\$1,819.44
102791007	\$38.86	102802019	\$38.86	103020008	\$86.64
102791008	\$67.36	102802020	\$38.86	103020009	\$115.52
102792001	\$95.86	102802021	\$38.86	103020010	\$1,530.64
102792002	\$67.36	102811001	\$38.86	103020011	\$86.64
102792003	\$38.86	102811002	\$38.86	103021001	\$10.36
102792004	\$38.86	102811004	\$38.86	103021002	\$10.36
102792005	\$38.86	102811005	\$38.86	103021003	\$10.36
102792006	\$38.86	102811006	\$38.86	103021004	\$10.36
102792007	\$38.86	102811007	\$38.86	103021005	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102792008	\$38.86	102811008	\$38.86	103021006	\$10.36
102792009	\$38.86	102811009	\$38.86	103021007	\$10.36
102792010	\$38.86	102811010	\$38.86	103021008	\$10.36
102792011	\$38.86	102811011	\$38.86	103021009	\$10.36
102792012	\$38.86	102811013	\$38.86	103021010	\$10.36
103021011	\$10.36	103021054	\$10.36	103022001	\$10.36
103021012	\$10.36	103021055	\$10.36	103022002	\$10.36
103021013	\$10.36	103021056	\$10.36	103022003	\$10.36
103021014	\$10.36	103021057	\$10.36	103022004	\$10.36
103021015	\$10.36	103021058	\$10.36	103022005	\$10.36
103021016	\$10.36	103021059	\$10.36	103022006	\$10.36
103021017	\$10.36	103021060	\$10.36	103022007	\$10.36
103021018	\$10.36	103021061	\$10.36	103022008	\$10.36
103021019	\$10.36	103021062	\$10.36	103022009	\$10.36
103021020	\$10.36	103021063	\$10.36	103022010	\$10.36
103021021	\$10.36	103021064	\$10.36	103022011	\$10.36
103021022	\$10.36	103021065	\$10.36	103022012	\$10.36
103021023	\$10.36	103021066	\$10.36	103022013	\$10.36
103021024	\$10.36	103021067	\$10.36	103022014	\$10.36
103021025	\$10.36	103021068	\$10.36	103022015	\$10.36
103021026	\$10.36	103021069	\$10.36	103022016	\$10.36
103021027	\$10.36	103021070	\$10.36	103022017	\$10.36
103021028	\$10.36	103021071	\$10.36	103022018	\$10.36
103021029	\$10.36	103021072	\$10.36	103022019	\$10.36
103021030	\$10.36	103021073	\$10.36	103022020	\$10.36
103021031	\$10.36	103021074	\$10.36	103022021	\$10.36
103021032	\$10.36	103021075	\$10.36	103022022	\$10.36
103021033	\$10.36	103021076	\$10.36	103022023	\$10.36
103021034	\$10.36	103021077	\$10.36	103022024	\$10.36
103021035	\$10.36	103021078	\$10.36	103022025	\$10.36
103021036	\$10.36	103021079	\$10.36	103022026	\$10.36
103021037	\$10.36	103021080	\$10.36	103022027	\$10.36
103021038	\$10.36	103021081	\$10.36	103022028	\$10.36
103021039	\$10.36	103021082	\$10.36	103022029	\$10.36
103021040	\$10.36	103021083	\$10.36	103022030	\$10.36
103021041	\$10.36	103021084	\$10.36	103022031	\$10.36
103021042	\$10.36	103021085	\$10.36	103022032	\$10.36
103021043	\$10.36	103021086	\$10.36	103022033	\$10.36
103021044	\$10.36	103021087	\$10.36	103022034	\$10.36
103021045	\$10.36	103021088	\$10.36	103022035	\$10.36
103021046	\$10.36	103021089	\$10.36	103022036	\$10.36
103021047	\$10.36	103021090	\$10.36	103022037	\$10.36
103021048	\$10.36	103021091	\$10.36	103022038	\$10.36
103021049	\$10.36	103021092	\$10.36	103022039	\$10.36
103021050	\$10.36	103021093	\$10.36	103022040	\$10.36
103021051	\$10.36	103021094	\$10.36	103022041	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103021052	\$10.36	103021095	\$10.36	103022042	\$10.36
103021053	\$10.36	103021096	\$10.36	103022043	\$10.36
103022044	\$10.36	103034005	\$38.86	103051011	\$38.86
103022045	\$10.36	103034008	\$38.86	103051012	\$38.86
103022046	\$10.36	103035001	\$38.86	103051013	\$38.86
103022047	\$10.36	103035002	\$38.86	103051014	\$38.86
103022048	\$10.36	103035003	\$38.86	103051015	\$38.86
103032001	\$38.86	103035004	\$38.86	103051016	\$38.86
103032002	\$38.86	103035005	\$38.86	103051017	\$38.86
103032003	\$38.86	103035006	\$38.86	103051018	\$38.86
103032004	\$38.86	103035007	\$38.86	103051034	\$38.86
103032005	\$38.86	103035011	\$38.86	103051036	\$38.86
103032006	\$38.86	103035012	\$38.86	103052001	\$38.86
103032007	\$38.86	103035013	\$38.86	103052002	\$38.86
103032008	\$38.86	103035014	\$38.86	103052003	\$38.86
103032009	\$38.86	103035015	\$38.86	103052004	\$38.86
103032010	\$38.86	103035016	\$38.86	103052005	\$38.86
103032011	\$38.86	103035017	\$38.86	103052006	\$38.86
103032012	\$38.86	103035018	\$38.86	103053001	\$38.86
103032013	\$38.86	103035023	\$49.22	103053002	\$38.86
103032014	\$38.86	103035024	\$38.86	103053003	\$38.86
103032015	\$38.86	103035025	\$38.86	103053004	\$38.86
103032016	\$38.86	103035026	\$38.86	103053005	\$38.86
103032017	\$38.86	103040002	\$38.86	103053006	\$38.86
103032018	\$38.86	103040003	\$38.86	103053007	\$38.86
103032019	\$38.86	103040004	\$38.86	103053008	\$38.86
103032020	\$38.86	103040005	\$38.86	103053009	\$38.86
103032021	\$38.86	103040006	\$38.86	103053010	\$38.86
103032022	\$38.86	103040007	\$38.86	103053011	\$38.86
103032023	\$38.86	103040008	\$38.86	103053012	\$38.86
103032024	\$38.86	103040009	\$38.86	103053013	\$38.86
103032025	\$38.86	103040010	\$38.86	103053014	\$38.86
103032026	\$38.86	103040011	\$38.86	103053015	\$38.86
103032027	\$38.86	103040013	\$38.86	103053016	\$38.86
103032028	\$38.86	103040014	\$38.86	103053017	\$38.86
103032029	\$38.86	103051001	\$38.86	103053018	\$38.86
103033001	\$38.86	103051002	\$38.86	103053019	\$38.86
103033002	\$38.86	103051003	\$38.86	103053020	\$38.86
103033003	\$38.86	103051004	\$38.86	103053021	\$38.86
103033004	\$38.86	103051005	\$38.86	103053022	\$38.86
103033005	\$38.86	103051006	\$38.86	103053023	\$38.86
103034001	\$38.86	103051007	\$38.86	103053024	\$38.86
103034002	\$38.86	103051008	\$38.86	103053025	\$38.86
103034003	\$38.86	103051009	\$38.86	103053026	\$38.86
103034004	\$38.86	103051010	\$38.86	103053027	\$38.86
103054001	\$38.86	103062022	\$38.86	103063027	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103054002	\$38.86	103062023	\$38.86	103071001	\$38.86
103054003	\$38.86	103062024	\$38.86	103071002	\$38.86
103054004	\$38.86	103062025	\$38.86	103071003	\$38.86
103054005	\$38.86	103062026	\$38.86	103071004	\$38.86
103054006	\$38.86	103062027	\$38.86	103071005	\$38.86
103054007	\$38.86	103062028	\$38.86	103071006	\$38.86
103054008	\$38.86	103062029	\$38.86	103071007	\$38.86
103061001	\$38.86	103062030	\$38.86	103071008	\$38.86
103061002	\$38.86	103062031	\$38.86	103071009	\$38.86
103061003	\$38.86	103062032	\$38.86	103071010	\$38.86
103061004	\$38.86	103062033	\$38.86	103071011	\$38.86
103061005	\$38.86	103062034	\$38.86	103072001	\$38.86
103061006	\$38.86	103062035	\$38.86	103072002	\$38.86
103061007	\$38.86	103062036	\$38.86	103072003	\$38.86
103061008	\$38.86	103062037	\$38.86	103072004	\$38.86
103061009	\$38.86	103062038	\$38.86	103072005	\$38.86
103061010	\$38.86	103062039	\$38.86	103072006	\$38.86
103061011	\$38.86	103063001	\$38.86	103072007	\$38.86
103061012	\$38.86	103063002	\$38.86	103072008	\$38.86
103061013	\$38.86	103063003	\$38.86	103072009	\$38.86
103061014	\$38.86	103063004	\$38.86	103072010	\$38.86
103062001	\$38.86	103063005	\$38.86	103072011	\$38.86
103062002	\$38.86	103063006	\$38.86	103072012	\$38.86
103062003	\$38.86	103063007	\$38.86	103072013	\$38.86
103062004	\$38.86	103063008	\$38.86	103072014	\$38.86
103062005	\$38.86	103063009	\$38.86	103072015	\$38.86
103062006	\$38.86	103063010	\$38.86	103072016	\$38.86
103062007	\$38.86	103063011	\$38.86	103072017	\$38.86
103062008	\$38.86	103063012	\$38.86	103072018	\$38.86
103062009	\$38.86	103063014	\$38.86	103072019	\$38.86
103062010	\$38.86	103063015	\$38.86	103072020	\$38.86
103062011	\$38.86	103063016	\$38.86	103072021	\$38.86
103062012	\$38.86	103063017	\$38.86	103072022	\$38.86
103062013	\$38.86	103063018	\$38.86	103072023	\$38.86
103062014	\$38.86	103063019	\$38.86	103072024	\$38.86
103062015	\$38.86	103063020	\$38.86	103072025	\$38.86
103062016	\$38.86	103063021	\$38.86	103072026	\$38.86
103062017	\$38.86	103063022	\$38.86	103072027	\$38.86
103062018	\$38.86	103063023	\$38.86	103072028	\$38.86
103062019	\$38.86	103063024	\$38.86	103072029	\$38.86
103062020	\$38.86	103063025	\$38.86	103072030	\$38.86
103062021	\$38.86	103063026	\$38.86	103072031	\$38.86
103072032	\$38.86	103082007	\$38.86	103083030	\$38.86
103072033	\$38.86	103082008	\$38.86	103083031	\$38.86
103072034	\$38.86	103082009	\$38.86	103083032	\$38.86
103072035	\$38.86	103082010	\$38.86	103083033	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103072036	\$38.86	103082011	\$38.86	103083034	\$38.86
103072037	\$38.86	103082012	\$38.86	103083035	\$38.86
103072038	\$38.86	103082013	\$38.86	103084001	\$38.86
103072039	\$38.86	103082014	\$38.86	103084002	\$38.86
103072040	\$38.86	103082015	\$38.86	103084003	\$38.86
103072041	\$38.86	103082016	\$38.86	103084004	\$38.86
103072042	\$38.86	103082017	\$38.86	103084005	\$38.86
103072043	\$38.86	103082018	\$38.86	103084006	\$38.86
103072044	\$38.86	103082019	\$38.86	103084007	\$38.86
103072045	\$38.86	103082020	\$38.86	103084008	\$38.86
103072046	\$38.86	103083001	\$38.86	103084009	\$38.86
103073001	\$38.86	103083002	\$38.86	103084010	\$38.86
103073002	\$38.86	103083003	\$38.86	103084011	\$38.86
103073003	\$38.86	103083004	\$38.86	103084012	\$38.86
103073004	\$38.86	103083005	\$38.86	103084013	\$38.86
103073005	\$38.86	103083006	\$38.86	103084014	\$38.86
103073006	\$38.86	103083007	\$38.86	103084015	\$38.86
103073007	\$38.86	103083008	\$38.86	103084016	\$38.86
103073008	\$38.86	103083009	\$38.86	103084017	\$38.86
103073009	\$38.86	103083010	\$38.86	103084018	\$38.86
103073010	\$38.86	103083011	\$38.86	103084019	\$38.86
103073011	\$38.86	103083012	\$38.86	103084020	\$38.86
103081001	\$38.86	103083013	\$38.86	103084021	\$38.86
103081002	\$38.86	103083014	\$38.86	103084022	\$38.86
103081003	\$38.86	103083015	\$38.86	103084023	\$38.86
103081004	\$38.86	103083016	\$38.86	103084024	\$38.86
103081005	\$38.86	103083017	\$38.86	103084025	\$38.86
103081006	\$38.86	103083018	\$38.86	103084026	\$38.86
103081007	\$38.86	103083019	\$38.86	103085001	\$38.86
103081008	\$38.86	103083020	\$38.86	103085002	\$38.86
103081009	\$38.86	103083021	\$38.86	103085003	\$38.86
103081010	\$38.86	103083022	\$38.86	103085004	\$38.86
103081011	\$38.86	103083023	\$38.86	103085005	\$38.86
103082001	\$38.86	103083024	\$38.86	103091001	\$38.86
103082002	\$38.86	103083025	\$38.86	103091002	\$38.86
103082003	\$38.86	103083026	\$38.86	103091003	\$38.86
103082004	\$38.86	103083027	\$38.86	103091004	\$38.86
103082005	\$38.86	103083028	\$38.86	103091005	\$38.86
103082006	\$38.86	103083029	\$38.86	103091006	\$38.86
103091007	\$38.86	103094004	\$38.86	103101007	\$38.86
103091008	\$38.86	103094005	\$38.86	103101008	\$38.86
103091009	\$38.86	103094006	\$38.86	103101009	\$38.86
103091010	\$38.86	103094007	\$38.86	103101010	\$38.86
103091011	\$38.86	103094008	\$38.86	103101011	\$38.86
103092001	\$38.86	103094009	\$38.86	103101012	\$38.86
103092002	\$38.86	103095001	\$38.86	103101013	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103092003	\$38.86	103095002	\$38.86	103101014	\$38.86
103092004	\$38.86	103095003	\$38.86	103101017	\$38.86
103093001	\$38.86	103095004	\$38.86	103101018	\$38.86
103093002	\$38.86	103095005	\$38.86	103101019	\$38.86
103093003	\$38.86	103095006	\$38.86	103101020	\$38.86
103093004	\$38.86	103095007	\$38.86	103102001	\$38.86
103093005	\$38.86	103095008	\$38.86	103102002	\$38.86
103093006	\$38.86	103095009	\$38.86	103102003	\$38.86
103093007	\$38.86	103095010	\$38.86	103102004	\$38.86
103093008	\$38.86	103095011	\$38.86	103102005	\$38.86
103093009	\$38.86	103095012	\$38.86	103103001	\$38.86
103093010	\$38.86	103095013	\$38.86	103103002	\$38.86
103093011	\$38.86	103095014	\$38.86	103103003	\$38.86
103093012	\$38.86	103095015	\$38.86	103103004	\$38.86
103093013	\$38.86	103095016	\$38.86	103103005	\$38.86
103093014	\$38.86	103095017	\$38.86	103103006	\$38.86
103093015	\$38.86	103095018	\$38.86	103103007	\$38.86
103093016	\$38.86	103095019	\$38.86	103103008	\$38.86
103093017	\$38.86	103095020	\$38.86	103103009	\$38.86
103093018	\$38.86	103095021	\$38.86	103103010	\$38.86
103093019	\$38.86	103095022	\$38.86	103103011	\$38.86
103093020	\$38.86	103095023	\$38.86	103103012	\$38.86
103093021	\$38.86	103095024	\$38.86	103103013	\$38.86
103093022	\$38.86	103095025	\$38.86	103103014	\$38.86
103093023	\$38.86	103095026	\$38.86	103103015	\$38.86
103093024	\$38.86	103095027	\$38.86	103103016	\$38.86
103093025	\$38.86	103095028	\$38.86	103103017	\$38.86
103093026	\$38.86	103095029	\$38.86	103103018	\$38.86
103093027	\$38.86	103095030	\$38.86	103103019	\$38.86
103093028	\$38.86	103095031	\$38.86	103103020	\$38.86
103093029	\$38.86	103101001	\$38.86	103103021	\$38.86
103093030	\$38.86	103101002	\$38.86	103103022	\$38.86
103093031	\$38.86	103101003	\$38.86	103103023	\$38.86
103093032	\$38.86	103101004	\$38.86	103103024	\$38.86
103094001	\$38.86	103101005	\$38.86	103103025	\$38.86
103094002	\$38.86	103101006	\$38.86	103103026	\$38.86
103103027	\$38.86	103112007	\$38.86	103115001	\$38.86
103103028	\$38.86	103112008	\$38.86	103115002	\$38.86
103103029	\$38.86	103112009	\$38.86	103115003	\$38.86
103103030	\$38.86	103112010	\$38.86	103115004	\$38.86
103103031	\$38.86	103112011	\$38.86	103115005	\$38.86
103104001	\$38.86	103113001	\$38.86	103115006	\$38.86
103104002	\$38.86	103113002	\$38.86	103115007	\$38.86
103104003	\$38.86	103113003	\$38.86	103116001	\$38.86
103104004	\$38.86	103113004	\$38.86	103116002	\$38.86
103104005	\$38.86	103113005	\$38.86	103116003	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103111001	\$38.86	103113006	\$38.86	103116004	\$38.86
103111002	\$38.86	103113007	\$38.86	103116005	\$38.86
103111003	\$38.86	103113008	\$38.86	103116006	\$38.86
103111004	\$38.86	103113009	\$38.86	103121001	\$38.86
103111005	\$38.86	103113010	\$38.86	103121002	\$38.86
103111006	\$38.86	103113011	\$38.86	103121003	\$38.86
103111007	\$38.86	103113012	\$38.86	103121004	\$38.86
103111008	\$38.86	103114001	\$38.86	103121005	\$38.86
103111009	\$38.86	103114002	\$38.86	103122001	\$38.86
103111010	\$38.86	103114003	\$38.86	103122002	\$38.86
103111011	\$38.86	103114004	\$38.86	103122003	\$38.86
103111012	\$38.86	103114005	\$38.86	103122004	\$38.86
103111013	\$38.86	103114006	\$38.86	103122005	\$38.86
103111014	\$38.86	103114007	\$38.86	103122006	\$38.86
103111015	\$38.86	103114008	\$38.86	103122007	\$38.86
103111016	\$38.86	103114009	\$38.86	103122008	\$38.86
103111017	\$38.86	103114010	\$38.86	103122009	\$38.86
103111018	\$38.86	103114011	\$38.86	103122010	\$38.86
103111019	\$38.86	103114012	\$38.86	103122011	\$38.86
103111020	\$38.86	103114013	\$38.86	103122012	\$38.86
103111021	\$38.86	103114014	\$38.86	103122013	\$38.86
103111022	\$38.86	103114015	\$38.86	103122014	\$38.86
103111023	\$38.86	103114016	\$38.86	103122015	\$38.86
103111024	\$38.86	103114017	\$38.86	103122016	\$38.86
103111025	\$38.86	103114018	\$38.86	103122017	\$38.86
103111026	\$38.86	103114019	\$38.86	103122018	\$38.86
103111027	\$38.86	103114020	\$38.86	103122019	\$38.86
103112001	\$38.86	103114021	\$38.86	103122020	\$38.86
103112002	\$38.86	103114022	\$38.86	103122021	\$38.86
103112003	\$38.86	103114023	\$38.86	103122022	\$38.86
103112004	\$38.86	103114024	\$38.86	103123001	\$38.86
103112005	\$38.86	103114025	\$38.86	103123002	\$38.86
103112006	\$38.86	103114026	\$38.86	103123003	\$38.86
103123004	\$38.86	103124015	\$38.86	103141037	\$38.86
103123005	\$38.86	103124016	\$38.86	103141038	\$38.86
103123006	\$38.86	103124017	\$38.86	103141039	\$38.86
103123007	\$38.86	103124018	\$38.86	103141040	\$38.86
103123008	\$38.86	103124019	\$38.86	103141041	\$38.86
103123009	\$38.86	103124020	\$38.86	103141042	\$38.86
103123010	\$38.86	103124021	\$38.86	103141043	\$38.86
103123011	\$38.86	103124022	\$38.86	103141044	\$38.86
103123012	\$38.86	103124023	\$38.86	103141045	\$38.86
103123013	\$38.86	103141001	\$20.62	103141046	\$38.86
103123014	\$38.86	103141002	\$20.62	103141047	\$38.86
103123015	\$38.86	103141003	\$20.62	103141048	\$38.86
103123016	\$38.86	103141004	\$20.62	103141050	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103123017	\$38.86	103141005	\$20.62	103141051	\$38.86
103123018	\$38.86	103141006	\$20.62	103141052	\$38.86
103123019	\$38.86	103141007	\$20.62	103141053	\$38.86
103123020	\$38.86	103141008	\$20.62	103141054	\$38.86
103123021	\$38.86	103141010	\$20.62	103141055	\$38.86
103123022	\$38.86	103141011	\$20.62	103141056	\$38.86
103123023	\$38.86	103141012	\$20.62	103141057	\$38.86
103123024	\$38.86	103141013	\$20.62	103141058	\$38.86
103123025	\$38.86	103141014	\$20.62	103141059	\$38.86
103123026	\$38.86	103141015	\$20.62	103141060	\$38.86
103123027	\$38.86	103141016	\$20.62	103141061	\$38.86
103123028	\$38.86	103141017	\$20.62	103142001	\$38.86
103123029	\$38.86	103141018	\$20.62	103142002	\$38.86
103123030	\$38.86	103141019	\$20.62	103142003	\$38.86
103123031	\$38.86	103141020	\$20.62	103142004	\$38.86
103123032	\$38.86	103141021	\$20.62	103142005	\$38.86
103124001	\$38.86	103141022	\$20.62	103142006	\$38.86
103124002	\$38.86	103141023	\$20.62	103142007	\$38.86
103124003	\$38.86	103141024	\$20.62	103142008	\$38.86
103124004	\$38.86	103141025	\$20.62	103142009	\$38.86
103124005	\$38.86	103141026	\$20.62	103142010	\$38.86
103124006	\$38.86	103141027	\$20.62	103142011	\$38.86
103124007	\$38.86	103141029	\$38.86	103142012	\$38.86
103124008	\$38.86	103141030	\$38.86	103142013	\$38.86
103124009	\$38.86	103141031	\$38.86	103142014	\$38.86
103124010	\$38.86	103141032	\$38.86	103142015	\$38.86
103124011	\$38.86	103141033	\$38.86	103142016	\$38.86
103124012	\$38.86	103141034	\$38.86	103142017	\$38.86
103124013	\$38.86	103141035	\$38.86	103142018	\$38.86
103124014	\$38.86	103141036	\$38.86	103142019	\$38.86
103142020	\$38.86	103151036	\$14.62	103152039	\$14.62
103142021	\$38.86	103151037	\$14.62	103152040	\$14.62
103142022	\$38.86	103151038	\$14.62	103152041	\$14.62
103142023	\$38.86	103151039	\$14.62	103152042	\$14.62
103142024	\$38.86	103151040	\$14.62	103152043	\$14.62
103142025	\$38.86	103152001	\$14.62	103152044	\$14.62
103142026	\$38.86	103152002	\$14.62	103152045	\$14.62
103142027	\$38.86	103152003	\$14.62	103152046	\$14.62
103151001	\$14.62	103152004	\$14.62	103152047	\$14.62
103151002	\$14.62	103152005	\$14.62	103152048	\$14.62
103151003	\$14.62	103152006	\$14.62	103152049	\$14.62
103151004	\$14.62	103152007	\$14.62	103152050	\$14.62
103151005	\$14.62	103152008	\$14.62	103152051	\$14.62
103151006	\$14.62	103152009	\$14.62	103152052	\$14.62
103151007	\$14.62	103152010	\$14.62	103152053	\$14.62
103151008	\$14.62	103152011	\$14.62	103152054	\$14.62

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103151009	\$14.62	103152012	\$14.62	103152055	\$14.62
103151010	\$14.62	103152013	\$14.62	103152056	\$14.62
103151011	\$14.62	103152014	\$14.62	103152057	\$14.62
103151012	\$14.62	103152015	\$14.62	103152058	\$14.62
103151013	\$14.62	103152016	\$14.62	103152059	\$14.62
103151014	\$14.62	103152017	\$14.62	103152060	\$14.62
103151015	\$14.62	103152018	\$14.62	103152061	\$14.62
103151016	\$14.62	103152019	\$14.62	103152062	\$14.62
103151017	\$14.62	103152020	\$14.62	103152063	\$14.62
103151018	\$14.62	103152021	\$14.62	103152064	\$14.62
103151019	\$14.62	103152022	\$14.62	103160001	\$38.86
103151020	\$14.62	103152023	\$14.62	103160002	\$38.86
103151021	\$14.62	103152024	\$14.62	103160003	\$38.86
103151022	\$14.62	103152025	\$14.62	103160004	\$38.86
103151023	\$14.62	103152026	\$14.62	103160005	\$38.86
103151024	\$14.62	103152027	\$14.62	103160006	\$38.86
103151025	\$14.62	103152028	\$14.62	103160007	\$38.86
103151026	\$14.62	103152029	\$14.62	103160008	\$38.86
103151027	\$14.62	103152030	\$14.62	103160009	\$38.86
103151028	\$14.62	103152031	\$14.62	103160010	\$38.86
103151029	\$14.62	103152032	\$14.62	103160011	\$38.86
103151030	\$14.62	103152033	\$14.62	103160012	\$38.86
103151031	\$14.62	103152034	\$14.62	103160013	\$38.86
103151032	\$14.62	103152035	\$14.62	103160014	\$38.86
103151033	\$14.62	103152036	\$14.62	103160015	\$38.86
103151034	\$14.62	103152037	\$14.62	103160016	\$38.86
103151035	\$14.62	103152038	\$14.62	103160017	\$38.86
103160018	\$38.86	103171044	\$22.60	103171089	\$26.88
103160019	\$38.86	103171045	\$22.60	103171090	\$26.88
103160020	\$38.86	103171046	\$22.60	103172001	\$21.46
103171001	\$20.62	103171047	\$22.60	103172002	\$21.46
103171002	\$20.62	103171048	\$22.60	103172003	\$21.46
103171003	\$20.62	103171049	\$22.60	103172004	\$21.46
103171004	\$20.62	103171050	\$22.60	103172005	\$21.46
103171005	\$20.62	103171051	\$22.60	103172006	\$21.46
103171006	\$20.62	103171052	\$22.60	103172007	\$21.46
103171007	\$20.62	103171054	\$20.62	103172008	\$21.46
103171008	\$20.62	103171055	\$20.62	103172009	\$21.46
103171009	\$20.62	103171056	\$20.62	103172010	\$21.46
103171010	\$20.62	103171057	\$20.62	103172012	\$17.76
103171011	\$20.62	103171058	\$20.62	103172013	\$17.76
103171012	\$20.62	103171059	\$20.62	103172014	\$17.76
103171013	\$20.62	103171060	\$20.62	103172015	\$17.76
103171014	\$20.62	103171061	\$20.62	103172016	\$17.76
103171015	\$20.62	103171062	\$20.62	103172017	\$17.76
103171016	\$20.62	103171063	\$20.62	103172018	\$17.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103171018	\$25.18	103171064	\$20.62	103172019	\$17.76
103171019	\$25.18	103171065	\$20.62	103172020	\$17.76
103171020	\$25.18	103171066	\$20.62	103172021	\$17.76
103171021	\$25.18	103171067	\$20.62	103172022	\$17.76
103171022	\$25.18	103171068	\$20.62	103172023	\$17.76
103171023	\$25.18	103171069	\$20.62	103172024	\$17.76
103171024	\$25.18	103171070	\$20.62	103172025	\$17.76
103171025	\$25.18	103171071	\$20.62	103172026	\$17.76
103171026	\$25.18	103171073	\$26.88	103172027	\$17.76
103171027	\$25.18	103171074	\$26.88	103172028	\$17.76
103171028	\$25.18	103171075	\$26.88	103172029	\$17.76
103171029	\$25.18	103171076	\$26.88	103172030	\$17.76
103171030	\$25.18	103171077	\$26.88	103172032	\$14.92
103171031	\$25.18	103171078	\$26.88	103172033	\$14.92
103171032	\$25.18	103171079	\$26.88	103172034	\$14.92
103171033	\$25.18	103171080	\$26.88	103172035	\$14.92
103171036	\$22.60	103171081	\$26.88	103172036	\$14.92
103171037	\$22.60	103171082	\$26.88	103172037	\$14.92
103171038	\$22.60	103171083	\$26.88	103172038	\$14.92
103171039	\$22.60	103171084	\$26.88	103172039	\$14.92
103171040	\$22.60	103171085	\$26.88	103172040	\$14.92
103171041	\$22.60	103171086	\$26.88	103172041	\$14.92
103171042	\$22.60	103171087	\$26.88	103172044	\$21.76
103171043	\$22.60	103171088	\$26.88	103172045	\$21.76
103172046	\$21.76	103182010	\$38.86	103192005	\$38.86
103172047	\$21.76	103182011	\$38.86	103192006	\$38.86
103172048	\$21.76	103182012	\$38.86	103192007	\$38.86
103172049	\$21.76	103182013	\$38.86	103192008	\$38.86
103172050	\$21.76	103182014	\$38.86	103192009	\$38.86
103172051	\$21.76	103182015	\$38.86	103192010	\$38.86
103172052	\$21.76	103183001	\$38.86	103192011	\$38.86
103172053	\$21.76	103183002	\$38.86	103192012	\$38.86
103172054	\$21.76	103183003	\$38.86	103192013	\$38.86
103172055	\$21.76	103183004	\$38.86	103192014	\$38.86
103172056	\$21.76	103183005	\$38.86	103192015	\$38.86
103172057	\$21.76	103184001	\$38.86	103192016	\$38.86
103172058	\$21.76	103184002	\$38.86	103193001	\$38.86
103172059	\$21.76	103184003	\$38.86	103193002	\$38.86
103172060	\$21.76	103184004	\$38.86	103193003	\$38.86
103172061	\$21.76	103184005	\$38.86	103193004	\$38.86
103172062	\$21.76	103184006	\$38.86	103193005	\$38.86
103172063	\$21.76	103184007	\$38.86	103193006	\$38.86
103181001	\$38.86	103184008	\$38.86	103193007	\$38.86
103181002	\$38.86	103184009	\$38.86	103193008	\$38.86
103181003	\$38.86	103184010	\$38.86	103193009	\$38.86
103181004	\$38.86	103184011	\$38.86	103193010	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103181005	\$38.86	103184012	\$38.86	103193011	\$38.86
103181006	\$38.86	103184013	\$38.86	103193012	\$38.86
103181007	\$38.86	103184014	\$38.86	103193013	\$38.86
103181008	\$38.86	103184015	\$38.86	103193014	\$38.86
103181009	\$38.86	103184016	\$38.86	103193015	\$38.86
103181010	\$38.86	103184017	\$38.86	103193016	\$38.86
103181011	\$38.86	103184018	\$38.86	103194001	\$38.86
103181012	\$38.86	103184019	\$38.86	103194002	\$38.86
103181013	\$38.86	103184020	\$38.86	103194003	\$38.86
103181014	\$38.86	103191001	\$38.86	103194004	\$38.86
103181015	\$38.86	103191002	\$38.86	103194005	\$38.86
103181016	\$38.86	103191003	\$38.86	103194006	\$38.86
103182001	\$38.86	103191004	\$38.86	103194007	\$38.86
103182002	\$38.86	103191005	\$38.86	103194008	\$38.86
103182003	\$38.86	103191006	\$38.86	103194009	\$38.86
103182004	\$38.86	103191007	\$38.86	103194010	\$38.86
103182005	\$38.86	103191008	\$38.86	103194011	\$38.86
103182006	\$38.86	103192001	\$38.86	103195001	\$38.86
103182007	\$38.86	103192002	\$38.86	103195002	\$38.86
103182008	\$38.86	103192003	\$38.86	103195003	\$38.86
103182009	\$38.86	103192004	\$38.86	103195004	\$38.86
103195005	\$38.86	103212022	\$38.86	103214013	\$38.86
103195006	\$38.86	103212023	\$38.86	103214014	\$38.86
103195007	\$38.86	103212024	\$38.86	103214015	\$38.86
103195008	\$38.86	103212025	\$38.86	103214016	\$38.86
103195009	\$38.86	103212026	\$38.86	103214017	\$38.86
103195010	\$38.86	103213001	\$38.86	103214018	\$38.86
103195011	\$38.86	103213002	\$38.86	103214019	\$38.86
103200003	\$1,371.12	103213003	\$38.86	103214020	\$38.86
103200013	\$2,556.78	103213004	\$38.86	103214021	\$38.86
103211001	\$38.86	103213005	\$38.86	103214022	\$38.86
103211002	\$38.86	103213006	\$38.86	103214023	\$38.86
103211003	\$38.86	103213007	\$38.86	103214024	\$38.86
103211004	\$38.86	103213008	\$38.86	103214025	\$38.86
103211005	\$38.86	103213009	\$38.86	103214026	\$38.86
103211006	\$38.86	103213010	\$38.86	103214027	\$38.86
103211007	\$38.86	103213011	\$38.86	103214028	\$38.86
103211008	\$38.86	103213012	\$38.86	103214029	\$38.86
103211009	\$38.86	103213013	\$38.86	103221001	\$38.86
103211010	\$38.86	103213014	\$38.86	103221002	\$38.86
103211011	\$38.86	103213015	\$38.86	103221003	\$38.86
103211012	\$38.86	103213016	\$38.86	103221004	\$38.86
103211013	\$38.86	103213017	\$38.86	103221005	\$38.86
103212001	\$38.86	103213018	\$38.86	103221006	\$38.86
103212002	\$38.86	103213019	\$38.86	103221007	\$38.86
103212003	\$38.86	103213020	\$38.86	103221008	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103212004	\$38.86	103213021	\$38.86	103221009	\$38.86
103212005	\$38.86	103213022	\$38.86	103221010	\$38.86
103212006	\$38.86	103213023	\$38.86	103221011	\$38.86
103212007	\$38.86	103213024	\$38.86	103222001	\$38.86
103212008	\$38.86	103213025	\$38.86	103222002	\$38.86
103212009	\$38.86	103213026	\$38.86	103222003	\$38.86
103212010	\$38.86	103214001	\$38.86	103222004	\$38.86
103212011	\$38.86	103214002	\$38.86	103222005	\$38.86
103212012	\$38.86	103214003	\$38.86	103222006	\$38.86
103212013	\$38.86	103214004	\$38.86	103222007	\$38.86
103212014	\$38.86	103214005	\$38.86	103222008	\$38.86
103212015	\$38.86	103214006	\$38.86	103222009	\$38.86
103212016	\$38.86	103214007	\$38.86	103222010	\$38.86
103212017	\$38.86	103214008	\$38.86	103222011	\$38.86
103212018	\$38.86	103214009	\$38.86	103222012	\$38.86
103212019	\$38.86	103214010	\$38.86	103222013	\$38.86
103212020	\$38.86	103214011	\$38.86	103222014	\$38.86
103212021	\$38.86	103214012	\$38.86	103222015	\$38.86
103222016	\$38.86	103224023	\$38.86	103231031	\$38.86
103222017	\$38.86	103224024	\$38.86	103231032	\$38.86
103222018	\$38.86	103224025	\$38.86	103231033	\$38.86
103223001	\$38.86	103224026	\$38.86	103231034	\$38.86
103223002	\$38.86	103224027	\$38.86	103231035	\$38.86
103223003	\$38.86	103224028	\$38.86	103231036	\$38.86
103223004	\$38.86	103224029	\$38.86	103231037	\$38.86
103223005	\$38.86	103224030	\$38.86	103231038	\$38.86
103223006	\$38.86	103224031	\$38.86	103231039	\$38.86
103223007	\$38.86	103224032	\$38.86	103231040	\$38.86
103223008	\$38.86	103224033	\$38.86	103231041	\$38.86
103223009	\$38.86	103224034	\$38.86	103231042	\$38.86
103223010	\$38.86	103224035	\$38.86	103231043	\$38.86
103223011	\$38.86	103224036	\$38.86	103231044	\$38.86
103223012	\$38.86	103231001	\$38.86	103231045	\$38.86
103223013	\$38.86	103231002	\$38.86	103231046	\$38.86
103223014	\$38.86	103231003	\$38.86	103231047	\$38.86
103223015	\$38.86	103231004	\$38.86	103231048	\$38.86
103223016	\$38.86	103231005	\$38.86	103231049	\$38.86
103223017	\$38.86	103231006	\$38.86	103231050	\$38.86
103223018	\$38.86	103231007	\$38.86	103231051	\$38.86
103224001	\$38.86	103231008	\$38.86	103231052	\$38.86
103224002	\$38.86	103231009	\$38.86	103231053	\$38.86
103224003	\$38.86	103231010	\$38.86	103231054	\$38.86
103224004	\$38.86	103231011	\$38.86	103231055	\$38.86
103224005	\$38.86	103231013	\$38.86	103231056	\$38.86
103224006	\$38.86	103231014	\$38.86	103231057	\$38.86
103224007	\$38.86	103231015	\$38.86	103231058	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103224008	\$38.86	103231016	\$38.86	103231059	\$38.86
103224009	\$38.86	103231017	\$38.86	103231060	\$38.86
103224010	\$38.86	103231018	\$38.86	103231061	\$38.86
103224011	\$38.86	103231019	\$38.86	103231062	\$38.86
103224012	\$38.86	103231020	\$38.86	103231063	\$38.86
103224013	\$38.86	103231021	\$38.86	103231064	\$38.86
103224014	\$38.86	103231022	\$38.86	103231065	\$38.86
103224015	\$38.86	103231023	\$38.86	103231066	\$38.86
103224016	\$38.86	103231024	\$38.86	103231067	\$38.86
103224017	\$38.86	103231025	\$38.86	103231068	\$38.86
103224018	\$38.86	103231026	\$38.86	103231069	\$38.86
103224019	\$38.86	103231027	\$38.86	103231070	\$38.86
103224020	\$38.86	103231028	\$38.86	103231071	\$38.86
103224021	\$38.86	103231029	\$38.86	103231072	\$38.86
103224022	\$38.86	103231030	\$38.86	103231073	\$38.86
103231074	\$38.86	103241038	\$16.34	103241081	\$16.34
103231075	\$38.86	103241039	\$16.34	103241082	\$16.34
103232001	\$38.86	103241040	\$16.34	103241083	\$16.34
103232002	\$38.86	103241041	\$16.34	103241084	\$16.34
103232003	\$38.86	103241042	\$16.34	103241085	\$16.34
103232004	\$38.86	103241043	\$16.34	103241086	\$16.34
103232005	\$38.86	103241044	\$16.34	103241087	\$16.34
103232006	\$38.86	103241045	\$16.34	103241088	\$16.34
103232007	\$38.86	103241046	\$16.34	103242006	\$35.14
103232008	\$38.86	103241047	\$16.34	103242007	\$35.14
103232009	\$38.86	103241048	\$16.34	103242008	\$35.14
103232010	\$38.86	103241049	\$16.34	103242009	\$35.14
103232011	\$38.86	103241050	\$16.34	103242010	\$35.14
103232012	\$38.86	103241051	\$16.34	103242011	\$35.14
103232013	\$38.86	103241052	\$16.34	103243013	\$114.38
103232014	\$38.86	103241053	\$16.34	103243015	\$201.02
103232015	\$38.86	103241054	\$16.34	103243016	\$345.42
103232016	\$38.86	103241055	\$16.34	103243023	\$143.64
103232017	\$38.86	103241056	\$16.34	103243024	\$230.28
103232018	\$38.86	103241057	\$16.34	103244001	\$14.34
103232019	\$38.86	103241058	\$16.34	103244002	\$14.34
103232020	\$38.86	103241059	\$16.34	103244003	\$14.34
103232022	\$38.86	103241060	\$16.34	103244004	\$14.34
103232023	\$38.86	103241061	\$16.34	103244006	\$14.34
103232024	\$38.86	103241062	\$16.34	103244007	\$14.34
103232025	\$38.86	103241063	\$16.34	103244008	\$14.34
103232026	\$38.86	103241064	\$16.34	103244009	\$14.34
103232027	\$38.86	103241065	\$16.34	103244011	\$14.34
103241001	\$14.34	103241066	\$16.34	103244012	\$14.34
103241007	\$14.34	103241067	\$16.34	103244013	\$14.34
103241008	\$14.34	103241068	\$16.34	103244014	\$14.34

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103241009	\$14.34	103241069	\$16.34	103244016	\$14.34
103241010	\$14.34	103241070	\$16.34	103244017	\$14.34
103241011	\$14.34	103241071	\$16.34	103244018	\$14.34
103241029	\$16.34	103241072	\$16.34	103244019	\$14.34
103241030	\$16.34	103241073	\$16.34	103244021	\$14.34
103241031	\$16.34	103241074	\$16.34	103244022	\$14.34
103241032	\$16.34	103241075	\$16.34	103244023	\$14.34
103241033	\$16.34	103241076	\$16.34	103244024	\$14.34
103241034	\$16.34	103241077	\$16.34	103244026	\$14.34
103241035	\$16.34	103241078	\$16.34	103244027	\$14.34
103241036	\$16.34	103241079	\$16.34	103244028	\$14.34
103241037	\$16.34	103241080	\$16.34	103244029	\$14.34
103244031	\$14.34	103253001	\$14.34	103254004	\$14.34
103244032	\$14.34	103253002	\$14.34	103254005	\$14.34
103244033	\$14.34	103253003	\$14.34	103254006	\$14.34
103244034	\$14.34	103253004	\$14.34	103254007	\$14.34
103244038	\$17.48	103253005	\$14.34	103254008	\$14.34
103244039	\$17.48	103253006	\$14.34	103254009	\$14.34
103244040	\$17.48	103253007	\$14.34	103254010	\$14.34
103244041	\$17.48	103253008	\$14.34	103254011	\$14.34
103245001	\$18.90	103253009	\$14.34	103254012	\$14.34
103245002	\$18.90	103253011	\$14.34	103255001	\$14.34
103245003	\$18.90	103253012	\$14.34	103255002	\$14.34
103245004	\$18.90	103253013	\$14.34	103255003	\$14.34
103245005	\$18.90	103253014	\$14.34	103255004	\$14.34
103245006	\$18.90	103253015	\$14.34	103256001	\$14.34
103245007	\$18.90	103253016	\$14.34	103256002	\$14.34
103245008	\$18.90	103253017	\$14.34	103256003	\$14.34
103245009	\$18.90	103253019	\$14.34	103256004	\$14.34
103245010	\$18.90	103253020	\$14.34	103256005	\$14.34
103245011	\$18.90	103253021	\$14.34	103256006	\$14.34
103245012	\$18.90	103253022	\$14.34	103256007	\$14.34
103245013	\$18.90	103253024	\$14.34	103256008	\$14.34
103245014	\$18.90	103253025	\$14.34	103256009	\$14.34
103245015	\$18.90	103253026	\$14.34	103256010	\$14.34
103245016	\$18.90	103253027	\$14.34	103256011	\$14.34
103245017	\$18.90	103253028	\$14.34	103256012	\$14.34
103245018	\$18.90	103253029	\$14.34	103256013	\$14.34
103245019	\$18.90	103253030	\$14.34	103256014	\$14.34
103245020	\$18.90	103253031	\$14.34	103256015	\$14.34
103251001	\$14.34	103253032	\$14.34	103257001	\$14.34
103251002	\$14.34	103253033	\$14.34	103257002	\$14.34
103251003	\$14.34	103253034	\$14.34	103257003	\$14.34
103251004	\$14.34	103253036	\$14.34	103257004	\$14.34
103251005	\$14.34	103253037	\$14.34	103261002	\$14.34
103251006	\$14.34	103253038	\$14.34	103261003	\$14.34



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103252001	\$14.34	103253039	\$14.34	103261004	\$14.34
103252002	\$14.34	103253040	\$14.34	103261005	\$14.34
103252003	\$14.34	103253041	\$14.34	103261007	\$14.34
103252004	\$14.34	103253042	\$14.34	103261008	\$14.34
103252006	\$14.34	103253045	\$14.34	103261009	\$14.34
103252007	\$14.34	103253049	\$14.34	103261010	\$14.34
103252008	\$14.34	103254001	\$14.34	103261011	\$14.34
103252009	\$14.34	103254002	\$14.34	103261014	\$14.34
103252010	\$14.34	103254003	\$14.34	103261015	\$14.34
103261016	\$14.34	103261075	\$14.34	103271005	\$14.34
103261017	\$14.34	103261076	\$14.34	103271007	\$14.34
103261018	\$14.34	103262009	\$67.74	103271008	\$14.34
103261019	\$14.34	103262021	\$14.34	103271009	\$14.34
103261020	\$14.34	103262022	\$14.34	103271010	\$14.34
103261021	\$14.34	103262023	\$14.34	103271011	\$14.34
103261022	\$14.34	103262024	\$14.34	103271012	\$14.34
103261023	\$14.34	103262025	\$14.34	103271013	\$14.34
103261025	\$14.34	103262026	\$14.34	103271014	\$14.34
103261026	\$14.34	103262027	\$14.34	103271015	\$14.34
103261027	\$14.34	103262028	\$14.34	103271016	\$14.34
103261028	\$14.34	103262029	\$14.34	103271017	\$14.34
103261029	\$14.34	103262030	\$14.34	103271018	\$14.34
103261030	\$14.34	103262031	\$14.34	103271019	\$14.34
103261032	\$14.34	103262032	\$14.34	103271020	\$14.34
103261033	\$14.34	103262033	\$14.34	103271021	\$14.34
103261034	\$14.34	103262034	\$14.34	103271022	\$14.34
103261035	\$14.34	103262035	\$14.34	103271023	\$14.34
103261036	\$14.34	103262036	\$14.34	103271024	\$14.34
103261037	\$14.34	103262037	\$14.34	103271025	\$14.34
103261038	\$14.34	103262038	\$14.34	103271026	\$14.34
103261053	\$14.34	103262041	\$14.34	103271030	\$14.34
103261054	\$14.34	103262042	\$14.34	103271031	\$14.34
103261055	\$14.34	103262043	\$14.34	103271032	\$14.34
103261056	\$14.34	103262044	\$14.34	103271035	\$14.34
103261057	\$14.34	103262045	\$14.34	103271036	\$14.34
103261058	\$14.34	103262046	\$14.34	103272001	\$14.34
103261059	\$14.34	103262047	\$14.34	103272002	\$14.34
103261060	\$14.34	103262048	\$14.34	103272003	\$14.34
103261061	\$14.34	103262049	\$14.34	103272004	\$14.34
103261062	\$14.34	103262050	\$14.34	103272005	\$14.34
103261063	\$14.34	103262051	\$14.34	103272006	\$14.34
103261064	\$14.34	103262052	\$14.34	103272007	\$14.34
103261065	\$14.34	103262053	\$14.34	103272008	\$14.34
103261066	\$14.34	103262054	\$14.34	103272009	\$14.34
103261067	\$14.34	103262055	\$14.34	103273001	\$14.34
103261068	\$14.34	103262056	\$14.34	103273002	\$14.34

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103261069	\$14.34	103262057	\$14.34	103273003	\$14.34
103261070	\$14.34	103262058	\$14.34	103273004	\$14.34
103261071	\$14.34	103271001	\$14.34	103273005	\$14.34
103261072	\$14.34	103271002	\$14.34	103273006	\$14.34
103261073	\$14.34	103271003	\$14.34	103273008	\$14.34
103261074	\$14.34	103271004	\$14.34	103273009	\$14.34
103273010	\$14.34	103274043	\$14.34	103292001	\$38.86
103273011	\$14.34	103274044	\$14.34	103292002	\$38.86
103273012	\$14.34	103274045	\$14.34	103292003	\$38.86
103274002	\$14.34	103274046	\$14.34	103292004	\$38.86
103274003	\$14.34	103274047	\$14.34	103292005	\$38.86
103274004	\$14.34	103274048	\$14.34	103292006	\$38.86
103274005	\$14.34	103274049	\$14.34	103292007	\$38.86
103274006	\$14.34	103274050	\$14.34	103292008	\$38.86
103274007	\$14.34	103274051	\$14.34	103292009	\$38.86
103274008	\$14.34	103274052	\$14.34	103292010	\$38.86
103274009	\$14.34	103274053	\$14.34	103292011	\$38.86
103274010	\$14.34	103274054	\$14.34	103292012	\$38.86
103274011	\$14.34	103275001	\$14.34	103292013	\$38.86
103274012	\$14.34	103275002	\$14.34	103292014	\$38.86
103274013	\$14.34	103275003	\$14.34	103292015	\$38.86
103274014	\$14.34	103275004	\$14.34	103292016	\$38.86
103274015	\$14.34	103275005	\$14.34	103292017	\$38.86
103274016	\$14.34	103275006	\$14.34	103293001	\$38.86
103274017	\$14.34	103275007	\$14.34	103293002	\$38.86
103274018	\$14.34	103275008	\$14.34	103293003	\$38.86
103274019	\$14.34	103275009	\$14.34	103301001	\$38.86
103274020	\$14.34	103275010	\$14.34	103301002	\$38.86
103274021	\$14.34	103275011	\$14.34	103301003	\$38.86
103274022	\$14.34	103275012	\$14.34	103301004	\$38.86
103274023	\$14.34	103276001	\$14.34	103301005	\$38.86
103274024	\$14.34	103276002	\$14.34	103301006	\$38.86
103274025	\$14.34	103276003	\$14.34	103301007	\$38.86
103274026	\$14.34	103276004	\$14.34	103301008	\$38.86
103274027	\$14.34	103276005	\$14.34	103301009	\$38.86
103274029	\$14.34	103276006	\$14.34	103301011	\$38.86
103274030	\$14.34	103276007	\$14.34	103301012	\$38.86
103274031	\$14.34	103276008	\$14.34	103301013	\$38.86
103274032	\$14.34	103276009	\$14.34	103302001	\$38.86
103274033	\$14.34	103276010	\$14.34	103302002	\$38.86
103274034	\$14.34	103280001	\$258.40	103302003	\$38.86
103274035	\$14.34	103280002	\$143.64	103302004	\$38.86
103274036	\$14.34	103280003	\$143.64	103302005	\$38.86
103274037	\$14.34	103280004	\$432.06	103302006	\$38.86
103274038	\$14.34	103280007	\$201.02	103302007	\$38.86
103274039	\$14.34	103280008	\$114.76	103302008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103274040	\$14.34	103280017	\$375.06	103302009	\$38.86
103274041	\$14.34	103280018	\$114.76	103302010	\$38.86
103274042	\$14.34	103280020	\$375.06	103302011	\$38.86
103302012	\$38.86	103312005	\$38.86	103320006	\$38.86
103302013	\$38.86	103312006	\$38.86	103320007	\$38.86
103302014	\$38.86	103312007	\$38.86	103321001	\$38.86
103302015	\$38.86	103312008	\$38.86	103321002	\$38.86
103302016	\$38.86	103312009	\$38.86	103321003	\$38.86
103302017	\$38.86	103312010	\$38.86	103321004	\$38.86
103302018	\$38.86	103312011	\$38.86	103321005	\$38.86
103303001	\$38.86	103312012	\$38.86	103321006	\$38.86
103303002	\$38.86	103312013	\$38.86	103321007	\$38.86
103303003	\$38.86	103312014	\$38.86	103321008	\$38.86
103303004	\$38.86	103312015	\$38.86	103321009	\$38.86
103303005	\$38.86	103312016	\$38.86	103321010	\$38.86
103303006	\$38.86	103312017	\$38.86	103330001	\$38.86
103303007	\$38.86	103312018	\$38.86	103330002	\$38.86
103303008	\$38.86	103313001	\$38.86	103330003	\$38.86
103303009	\$38.86	103313002	\$38.86	103330004	\$38.86
103303010	\$38.86	103313003	\$38.86	103330005	\$38.86
103303011	\$38.86	103313004	\$38.86	103330006	\$38.86
103303012	\$38.86	103313005	\$38.86	103331001	\$38.86
103303013	\$38.86	103313006	\$38.86	103331002	\$38.86
103311001	\$38.86	103313007	\$38.86	103331003	\$38.86
103311002	\$38.86	103313008	\$38.86	103331004	\$38.86
103311003	\$38.86	103313009	\$38.86	103331005	\$38.86
103311004	\$38.86	103313010	\$38.86	103331006	\$38.86
103311005	\$38.86	103313011	\$38.86	103331007	\$38.86
103311006	\$38.86	103313012	\$38.86	103331008	\$38.86
103311007	\$38.86	103314001	\$38.86	103331009	\$38.86
103311008	\$38.86	103314002	\$38.86	103331010	\$38.86
103311009	\$38.86	103314003	\$38.86	103331011	\$38.86
103311010	\$38.86	103314004	\$38.86	103331012	\$38.86
103311011	\$38.86	103314005	\$38.86	103331013	\$38.86
103311012	\$38.86	103314006	\$38.86	103331014	\$38.86
103311013	\$38.86	103314007	\$38.86	103331015	\$38.86
103311014	\$38.86	103314008	\$38.86	103331016	\$38.86
103311015	\$38.86	103314009	\$38.86	103331017	\$38.86
103311016	\$38.86	103314010	\$38.86	103331018	\$38.86
103311017	\$38.86	103314011	\$38.86	103342001	\$15.76
103311018	\$38.86	103314012	\$38.86	103342002	\$15.76
103311019	\$38.86	103320001	\$38.86	103342003	\$15.76
103312001	\$38.86	103320002	\$38.86	103342004	\$15.76
103312002	\$38.86	103320003	\$38.86	103342005	\$15.76
103312003	\$38.86	103320004	\$38.86	103342006	\$15.76
103312004	\$38.86	103320005	\$38.86	103342007	\$15.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103342008	\$15.76	103342051	\$15.76	103345006	\$15.76
103342009	\$15.76	103342052	\$15.76	103345007	\$15.76
103342010	\$15.76	103342053	\$15.76	103345008	\$15.76
103342011	\$15.76	103342054	\$15.76	103345009	\$15.76
103342012	\$15.76	103342055	\$15.76	103345010	\$15.76
103342013	\$15.76	103342056	\$15.76	103345011	\$15.76
103342014	\$15.76	103342057	\$15.76	103345012	\$15.76
103342015	\$15.76	103343001	\$15.76	103345013	\$15.76
103342016	\$15.76	103343002	\$15.76	103345014	\$15.76
103342017	\$15.76	103343003	\$15.76	103345015	\$15.76
103342018	\$15.76	103343004	\$15.76	103345016	\$15.76
103342019	\$15.76	103343005	\$15.76	103345017	\$15.76
103342020	\$15.76	103343006	\$15.76	103345018	\$15.76
103342021	\$15.76	103343007	\$15.76	103345019	\$15.76
103342022	\$15.76	103343008	\$15.76	103345020	\$15.76
103342023	\$15.76	103343009	\$15.76	103345021	\$15.76
103342024	\$15.76	103343010	\$15.76	103345022	\$15.76
103342025	\$15.76	103343011	\$15.76	103346001	\$1,618.74
103342026	\$15.76	103343012	\$15.76	103350001	\$49.22
103342027	\$15.76	103343013	\$15.76	103350002	\$49.22
103342028	\$15.76	103343014	\$15.76	103350003	\$49.22
103342029	\$15.76	103343015	\$15.76	103350004	\$49.22
103342030	\$15.76	103343016	\$15.76	103350005	\$49.22
103342031	\$15.76	103343017	\$15.76	103350006	\$49.22
103342032	\$15.76	103343018	\$15.76	103350007	\$49.22
103342033	\$15.76	103343019	\$15.76	103350008	\$49.22
103342034	\$15.76	103343020	\$15.76	103351001	\$49.22
103342035	\$15.76	103343021	\$15.76	103351002	\$49.22
103342036	\$15.76	103344001	\$15.76	103351003	\$49.22
103342037	\$15.76	103344002	\$15.76	103351004	\$49.22
103342038	\$15.76	103344003	\$15.76	103351005	\$49.22
103342039	\$15.76	103344004	\$15.76	103351006	\$49.22
103342040	\$15.76	103344005	\$15.76	103351007	\$49.22
103342041	\$15.76	103344006	\$15.76	103351008	\$49.22
103342042	\$15.76	103344007	\$15.76	103351009	\$49.22
103342043	\$15.76	103344008	\$15.76	103351010	\$49.22
103342044	\$15.76	103344009	\$15.76	103352001	\$49.22
103342045	\$15.76	103344010	\$15.76	103352002	\$49.22
103342046	\$15.76	103345001	\$15.76	103352003	\$49.22
103342047	\$15.76	103345002	\$15.76	103352004	\$49.22
103342048	\$15.76	103345003	\$15.76	103352005	\$49.22
103342049	\$15.76	103345004	\$15.76	103352006	\$49.22
103342050	\$15.76	103345005	\$15.76	103353001	\$49.22
103353002	\$49.22	103362013	\$49.22	103371024	\$49.22
103353003	\$49.22	103362014	\$49.22	103371025	\$49.22
103353004	\$49.22	103362015	\$49.22	103371026	\$49.22

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103354001	\$49.22	103362016	\$49.22	103371027	\$49.22
103354002	\$49.22	103362017	\$49.22	103371028	\$49.22
103354003	\$49.22	103362018	\$49.22	103371029	\$49.22
103354004	\$49.22	103362019	\$49.22	103371030	\$49.22
103354005	\$49.22	103362020	\$49.22	103371031	\$49.22
103354006	\$49.22	103363001	\$67.74	103372002	\$49.22
103354007	\$49.22	103363002	\$49.22	103372003	\$49.22
103360001	\$49.22	103363003	\$49.22	103372004	\$49.22
103360002	\$49.22	103370001	\$49.22	103372005	\$49.22
103360003	\$49.22	103370002	\$49.22	103372006	\$49.22
103360004	\$49.22	103370003	\$49.22	103372007	\$49.22
103360005	\$49.22	103370004	\$49.22	103380001	\$12.06
103360006	\$49.22	103370005	\$49.22	103380002	\$12.06
103360007	\$49.22	103370006	\$59.58	103380003	\$12.06
103360008	\$49.22	103370007	\$69.94	103380004	\$12.06
103360009	\$49.22	103370011	\$69.94	103380005	\$12.06
103360010	\$49.22	103370013	\$59.58	103380006	\$12.06
103360011	\$49.22	103370014	\$49.22	103380007	\$12.06
103360012	\$49.22	103371002	\$49.22	103380008	\$12.06
103360013	\$49.22	103371003	\$49.22	103380009	\$12.06
103360014	\$49.22	103371004	\$49.22	103380010	\$12.06
103360015	\$49.22	103371005	\$49.22	103380011	\$12.06
103360016	\$49.22	103371006	\$49.22	103380012	\$12.06
103360017	\$49.22	103371007	\$49.22	103380013	\$12.06
103361001	\$49.22	103371008	\$49.22	103380014	\$12.06
103361002	\$49.22	103371009	\$49.22	103380015	\$12.06
103361003	\$49.22	103371010	\$49.22	103380016	\$12.06
103361004	\$49.22	103371011	\$49.22	103380017	\$12.06
103362001	\$49.22	103371012	\$49.22	103380018	\$12.06
103362002	\$49.22	103371013	\$49.22	103380019	\$12.06
103362003	\$49.22	103371014	\$49.22	103380020	\$12.06
103362004	\$49.22	103371015	\$49.22	103380021	\$12.06
103362005	\$49.22	103371016	\$67.74	103380022	\$12.06
103362006	\$49.22	103371017	\$49.22	103380023	\$12.06
103362007	\$49.22	103371018	\$49.22	103380024	\$12.06
103362008	\$49.22	103371019	\$49.22	103380025	\$12.06
103362009	\$49.22	103371020	\$49.22	103380026	\$12.06
103362010	\$49.22	103371021	\$49.22	103380027	\$12.06
103362011	\$49.22	103371022	\$49.22	103380028	\$12.06
103362012	\$49.22	103371023	\$49.22	103380029	\$12.06
103380030	\$12.06	103390006	\$12.06	107020002	\$577.60
103380031	\$12.06	103390007	\$12.06	107020012	\$1,357.36
103380032	\$12.06	103390008	\$12.06	107030002	\$693.12
103380033	\$12.06	103390009	\$12.06	107030003	\$750.88
103380034	\$12.06	103390010	\$12.06	107030022	\$2,454.80
103380035	\$12.06	103390011	\$12.06	107030029	\$1,494.92

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
103380036	\$12.06	103390012	\$12.06	107030030	\$432.44
103380037	\$12.06	103390013	\$12.06	107030031	\$288.04
103380038	\$12.06	103390014	\$12.06	107030032	\$287.28
103380039	\$12.06	103390015	\$12.06	107030033	\$1,066.66
103380040	\$12.06	103390016	\$12.06	107030034	\$604.96
103380041	\$12.06	103390017	\$12.06	107031001	\$59.96
103380042	\$12.06	103390018	\$12.06	107031002	\$79.58
103380043	\$12.06	103390020	\$12.06	107040005	\$173.28
103380044	\$12.06	103390021	\$12.06	107040006	\$231.04
103380045	\$12.06	103390022	\$12.06	107040008	\$29.98
103380046	\$12.06	103390023	\$12.06	107040009	\$115.52
103380047	\$12.06	103390024	\$12.06	107050009	\$807.50
103380048	\$12.06	103390025	\$12.06	107050028	\$1,037.40
103380049	\$12.06	103390026	\$12.06	107050031	\$493.18
103380050	\$12.06	103390027	\$12.06	107050032	\$972.86
103380051	\$12.06	103390028	\$12.06	107050034	\$3,342.14
103380052	\$12.06	103390029	\$12.06	107060003	\$404.32
103380053	\$12.06	103390031	\$12.06	107060013	\$259.92
103380054	\$12.06	103390032	\$12.06	107060025	\$718.20
103380055	\$12.06	103390033	\$12.06	107060026	\$316.54
103380056	\$12.06	103390034	\$12.06	107060027	\$634.22
103380057	\$12.06	103390035	\$12.06	107060028	\$1,729.38
103380058	\$12.06	103390036	\$12.06	107060029	\$1,718.02
103380059	\$12.06	103390037	\$12.06	107070001	\$28.88
103380060	\$12.06	103390038	\$12.06	107070002	\$1,010.80
103380061	\$12.06	103390039	\$12.06	107070003	\$144.40
103380062	\$12.06	103390040	\$12.06	107070004	\$750.88
103380063	\$12.06	103390041	\$12.06	107070005	\$202.16
103380064	\$12.06	103390042	\$12.06	107070016	\$14.76
103380065	\$12.06	103390043	\$12.06	107070019	\$25.76
103380066	\$12.06	103390044	\$12.06	107070032	\$169.52
103380067	\$12.06	103390045	\$12.06	107070034	\$319.42
103380068	\$12.06	103390046	\$12.06	107070037	\$4,707.44
103390002	\$12.06	103390047	\$12.06	107070045	\$1,646.16
103390003	\$12.06	103390048	\$12.06	107070046	\$5,544.96
103390004	\$12.06	103390049	\$12.06	107070047	\$2,338.44
103390005	\$12.06	103390053	\$12.06	107070048	\$2,118.22
107070068	\$864.50	107111005	\$57.38	107121013	\$38.86
107070069	\$806.36	107111006	\$57.38	107122001	\$38.86
107070070	\$691.22	107111007	\$57.38	107122002	\$38.86
107070071	\$1,149.50	107111008	\$57.38	107122003	\$38.86
107070072	\$547.20	107111009	\$57.38	107122004	\$38.86
107070073	\$633.84	107111010	\$57.38	107122005	\$38.86
107070074	\$1,065.90	107111011	\$57.38	107122006	\$38.86
107070075	\$2,219.96	107111012	\$28.88	107122007	\$38.86
107080013	\$599.60	107111013	\$57.38	107122008	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107080036	\$1,079.28	107112001	\$57.38	107122009	\$38.86
107080050	\$288.80	107112002	\$57.38	107122010	\$38.86
107080051	\$1,296.94	107112003	\$57.38	107122011	\$38.86
107080055	\$115.14	107112004	\$57.38	107122012	\$38.86
107090016	\$635.36	107112005	\$57.38	107122013	\$38.86
107090018	\$114.76	107112006	\$57.38	107122014	\$38.86
107090021	\$115.14	107112007	\$57.38	107122015	\$38.86
107090022	\$201.40	107112008	\$57.38	107122016	\$38.86
107090023	\$432.82	107112009	\$57.38	107122017	\$38.86
107090024	\$144.40	107112010	\$57.38	107122018	\$38.86
107090025	\$144.40	107112011	\$57.38	107122019	\$38.86
107090026	\$634.98	107112012	\$57.38	107122020	\$38.86
107090027	\$57.76	107112013	\$57.38	107122021	\$38.86
107090028	\$346.18	107112014	\$57.38	107122022	\$38.86
107090029	\$172.90	107112015	\$57.38	107122023	\$38.86
107090030	\$373.54	107112016	\$57.38	107122024	\$38.86
107090032	\$201.02	107112017	\$57.38	107122025	\$38.86
107100006	\$4,009.38	107112018	\$57.38	107122026	\$38.86
107110006	\$345.42	107112019	\$57.38	107122027	\$38.86
107110007	\$115.52	107112020	\$57.38	107122028	\$38.86
107110008	\$316.16	107112021	\$57.38	107122029	\$38.86
107110010	\$720.48	107112022	\$57.38	107122030	\$38.86
107110013	\$489.82	107121001	\$38.86	107122031	\$38.86
107110015	\$258.40	107121002	\$38.86	107122032	\$38.86
107110016	\$258.78	107121003	\$38.86	107122033	\$38.86
107110020	\$258.40	107121004	\$38.86	107122034	\$38.86
107110021	\$57.38	107121005	\$38.86	107122035	\$38.86
107110023	\$1,124.04	107121006	\$38.86	107123001	\$38.86
107110025	\$1,132.38	107121007	\$38.86	107123002	\$38.86
107110027	\$86.64	107121008	\$38.86	107123003	\$38.86
107111001	\$57.38	107121009	\$38.86	107123004	\$38.86
107111002	\$57.38	107121010	\$38.86	107123005	\$38.86
107111003	\$57.38	107121011	\$38.86	107123006	\$38.86
107111004	\$57.38	107121012	\$38.86	107123007	\$38.86
107123008	\$38.86	107160057	\$172.14	107180020	\$460.56
107123009	\$38.86	107160058	\$86.64	107180021	\$460.56
107123010	\$38.86	107160059	\$115.52	107180027	\$1,038.16
107123011	\$38.86	107160060	\$172.14	107180028	\$460.56
107123012	\$38.86	107160061	\$86.64	107180029	\$460.56
107123013	\$38.86	107160062	\$86.64	107180039	\$1,007.00
107123014	\$38.86	107160064	\$316.54	107180043	\$722.00
107123015	\$38.86	107160065	\$258.78	107180047	\$864.50
107123016	\$38.86	107160066	\$316.54	107180048	\$834.48
107123017	\$38.86	107160067	\$402.80	107180052	\$230.66
107123018	\$38.86	107160069	\$230.28	107180053	\$172.52
107123019	\$38.86	107160070	\$201.40	107181001	\$14.62

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107123020	\$38.86	107160071	\$201.40	107181002	\$14.62
107123021	\$38.86	107160072	\$258.78	107181003	\$14.62
107123022	\$38.86	107160074	\$633.08	107181004	\$14.62
107130001	\$38.86	107160076	\$921.12	107181005	\$14.62
107130002	\$38.86	107160077	\$316.54	107181006	\$14.62
107130003	\$38.86	107160078	\$374.68	107181007	\$14.62
107130004	\$38.86	107160079	\$661.58	107181008	\$14.62
107130005	\$38.86	107160081	\$259.16	107181009	\$14.62
107130006	\$38.86	107160086	\$115.52	107181010	\$14.62
107130007	\$38.86	107160087	\$375.44	107181011	\$14.62
107130008	\$38.86	107160088	\$233.92	107181012	\$14.62
107130009	\$38.86	107170002	\$1,529.50	107181013	\$14.62
107130010	\$38.86	107170006	\$1,643.50	107181014	\$14.62
107130017	\$10.36	107170042	\$1,700.88	107181015	\$14.62
107130019	\$10.36	107170044	\$143.64	107181016	\$14.62
107130020	\$10.36	107170045	\$114.76	107181017	\$14.62
107130021	\$10.36	107170046	\$229.90	107181018	\$14.62
107140033	\$1,615.00	107170047	\$229.90	107181019	\$14.62
107160019	\$689.32	107170048	\$143.64	107181020	\$14.62
107160023	\$804.46	107170049	\$143.64	107181021	\$14.62
107160033	\$431.68	107170050	\$1,670.86	107181022	\$14.62
107160035	\$516.80	107170054	\$230.28	107181023	\$14.62
107160039	\$315.40	107170055	\$259.16	107181024	\$14.62
107160041	\$29.98	107170056	\$201.40	107181025	\$14.62
107160043	\$863.74	107170057	\$143.64	107181026	\$14.62
107160045	\$431.68	107170058	\$143.64	107181027	\$14.62
107160047	\$288.42	107170059	\$172.52	107181028	\$14.62
107160050	\$259.16	107170061	\$1,535.10	107181029	\$14.62
107160054	\$489.44	107170062	\$1,062.78	107181030	\$14.62
107160055	\$345.42	107170063	\$1,152.00	107181031	\$14.62
107160056	\$1,123.28	107180018	\$346.56	107181032	\$14.62
107181033	\$14.62	107181076	\$14.62	107181119	\$14.62
107181034	\$14.62	107181077	\$14.62	107191001	\$38.86
107181035	\$14.62	107181078	\$14.62	107191002	\$38.86
107181036	\$14.62	107181079	\$14.62	107191003	\$38.86
107181037	\$14.62	107181080	\$14.62	107191004	\$38.86
107181038	\$14.62	107181081	\$14.62	107191005	\$38.86
107181039	\$14.62	107181082	\$14.62	107191006	\$38.86
107181040	\$14.62	107181083	\$14.62	107191007	\$38.86
107181041	\$14.62	107181084	\$14.62	107191008	\$38.86
107181042	\$14.62	107181085	\$14.62	107191009	\$38.86
107181043	\$14.62	107181086	\$14.62	107191010	\$38.86
107181044	\$14.62	107181087	\$14.62	107191011	\$38.86
107181045	\$14.62	107181088	\$14.62	107191012	\$38.86
107181046	\$14.62	107181089	\$14.62	107191013	\$38.86
107181047	\$14.62	107181090	\$14.62	107191014	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107181048	\$14.62	107181091	\$14.62	107191015	\$38.86
107181049	\$14.62	107181092	\$14.62	107192001	\$38.86
107181050	\$14.62	107181093	\$14.62	107192002	\$38.86
107181051	\$14.62	107181094	\$14.62	107192003	\$38.86
107181052	\$14.62	107181095	\$14.62	107192004	\$38.86
107181053	\$14.62	107181096	\$14.62	107192005	\$38.86
107181054	\$14.62	107181097	\$14.62	107192006	\$38.86
107181055	\$14.62	107181098	\$14.62	107192007	\$38.86
107181056	\$14.62	107181099	\$14.62	107192008	\$38.86
107181057	\$14.62	107181100	\$14.62	107192009	\$38.86
107181058	\$14.62	107181101	\$14.62	107192010	\$38.86
107181059	\$14.62	107181102	\$14.62	107192011	\$38.86
107181060	\$14.62	107181103	\$14.62	107192012	\$38.86
107181061	\$14.62	107181104	\$14.62	107192013	\$38.86
107181062	\$14.62	107181105	\$14.62	107192014	\$38.86
107181063	\$14.62	107181106	\$14.62	107192015	\$38.86
107181064	\$14.62	107181107	\$14.62	107192016	\$49.22
107181065	\$14.62	107181108	\$14.62	107192017	\$38.86
107181066	\$14.62	107181109	\$14.62	107192018	\$38.86
107181067	\$14.62	107181110	\$14.62	107192019	\$38.86
107181068	\$14.62	107181111	\$14.62	107192020	\$38.86
107181069	\$14.62	107181112	\$14.62	107192021	\$38.86
107181070	\$14.62	107181113	\$14.62	107192022	\$38.86
107181071	\$14.62	107181114	\$14.62	107192023	\$38.86
107181072	\$14.62	107181115	\$14.62	107201001	\$49.22
107181073	\$14.62	107181116	\$14.62	107201002	\$49.22
107181074	\$14.62	107181117	\$14.62	107201003	\$49.22
107181075	\$14.62	107181118	\$14.62	107201004	\$49.22
107201005	\$49.22	107211016	\$38.86	107221023	\$13.78
107201006	\$49.22	107212002	\$38.86	107221024	\$13.78
107201007	\$49.22	107212003	\$38.86	107221025	\$13.78
107201011	\$49.22	107212004	\$38.86	107221026	\$13.78
107201012	\$49.22	107212005	\$38.86	107221027	\$13.78
107201013	\$49.22	107212006	\$38.86	107221028	\$13.78
107201014	\$49.22	107212007	\$38.86	107221029	\$13.78
107201015	\$49.22	107212008	\$38.86	107221030	\$13.78
107201016	\$49.22	107212009	\$38.86	107221031	\$13.78
107201017	\$49.22	107212010	\$38.86	107221032	\$13.78
107201018	\$49.22	107212011	\$49.22	107221033	\$13.78
107201019	\$49.22	107213001	\$49.22	107221034	\$13.78
107201020	\$49.22	107213002	\$38.86	107221035	\$13.78
107201021	\$49.22	107213003	\$38.86	107221036	\$13.78
107201022	\$49.22	107213004	\$38.86	107221037	\$13.78
107201023	\$49.22	107213005	\$38.86	107221038	\$13.78
107201024	\$49.22	107213006	\$38.86	107221039	\$13.78
107201025	\$49.22	107213007	\$38.86	107221040	\$13.78

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107201026	\$49.22	107213008	\$38.86	107221041	\$13.78
107201027	\$49.22	107213009	\$38.86	107221042	\$13.78
107201028	\$49.22	107213010	\$38.86	107221043	\$13.78
107202002	\$49.22	107221001	\$13.78	107221044	\$13.78
107202003	\$49.22	107221002	\$13.78	107221045	\$13.78
107202004	\$49.22	107221003	\$13.78	107221046	\$13.78
107202005	\$49.22	107221004	\$13.78	107221047	\$13.78
107202006	\$24.60	107221005	\$13.78	107221048	\$13.78
107202008	\$49.22	107221006	\$13.78	107221049	\$13.78
107202010	\$49.22	107221007	\$13.78	107221050	\$13.78
107211001	\$38.86	107221008	\$13.78	107221051	\$13.78
107211002	\$38.86	107221009	\$13.78	107221052	\$13.78
107211003	\$38.86	107221010	\$13.78	107221053	\$13.78
107211004	\$38.86	107221011	\$13.78	107221054	\$13.78
107211005	\$38.86	107221012	\$13.78	107221055	\$13.78
107211006	\$38.86	107221013	\$13.78	107221056	\$13.78
107211007	\$38.86	107221014	\$13.78	107221057	\$13.78
107211008	\$38.86	107221015	\$13.78	107221058	\$13.78
107211009	\$38.86	107221016	\$13.78	107221059	\$13.78
107211010	\$38.86	107221017	\$13.78	107221060	\$13.78
107211011	\$38.86	107221018	\$13.78	107221061	\$13.78
107211012	\$38.86	107221019	\$13.78	107221062	\$13.78
107211013	\$38.86	107221020	\$13.78	107221063	\$13.78
107211014	\$38.86	107221021	\$13.78	107221064	\$13.78
107211015	\$38.86	107221022	\$13.78	107221065	\$13.78
107221066	\$13.78	107222029	\$13.78	107222072	\$13.78
107221067	\$13.78	107222030	\$13.78	107222073	\$13.78
107221068	\$13.78	107222031	\$13.78	107222074	\$13.78
107221069	\$13.78	107222032	\$13.78	107222075	\$13.78
107221070	\$13.78	107222033	\$13.78	107222076	\$13.78
107221071	\$13.78	107222034	\$13.78	107222077	\$13.78
107221072	\$13.78	107222035	\$13.78	107222078	\$13.78
107221073	\$13.78	107222036	\$13.78	107222079	\$13.78
107221074	\$13.78	107222037	\$13.78	107222080	\$13.78
107221075	\$13.78	107222038	\$13.78	107222081	\$13.78
107221076	\$13.78	107222039	\$13.78	107222082	\$13.78
107221077	\$13.78	107222040	\$13.78	107222083	\$13.78
107221078	\$13.78	107222041	\$13.78	107222084	\$13.78
107221079	\$13.78	107222042	\$13.78	107231001	\$38.86
107221080	\$13.78	107222043	\$13.78	107231002	\$38.86
107222001	\$13.78	107222044	\$13.78	107231003	\$38.86
107222002	\$13.78	107222045	\$13.78	107231004	\$38.86
107222003	\$13.78	107222046	\$13.78	107231005	\$38.86
107222004	\$13.78	107222047	\$13.78	107231006	\$38.86
107222005	\$13.78	107222048	\$13.78	107231007	\$38.86
107222006	\$13.78	107222049	\$13.78	107231008	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107222007	\$13.78	107222050	\$13.78	107231009	\$38.86
107222008	\$13.78	107222051	\$13.78	107231010	\$38.86
107222009	\$13.78	107222052	\$13.78	107231011	\$38.86
107222010	\$13.78	107222053	\$13.78	107231012	\$38.86
107222011	\$13.78	107222054	\$13.78	107231013	\$38.86
107222012	\$13.78	107222055	\$13.78	107231014	\$38.86
107222013	\$13.78	107222056	\$13.78	107231015	\$38.86
107222014	\$13.78	107222057	\$13.78	107231016	\$38.86
107222015	\$13.78	107222058	\$13.78	107231017	\$38.86
107222016	\$13.78	107222059	\$13.78	107231018	\$38.86
107222017	\$13.78	107222060	\$13.78	107231019	\$38.86
107222018	\$13.78	107222061	\$13.78	107231020	\$38.86
107222019	\$13.78	107222062	\$13.78	107231021	\$38.86
107222020	\$13.78	107222063	\$13.78	107231022	\$38.86
107222021	\$13.78	107222064	\$13.78	107231023	\$38.86
107222022	\$13.78	107222065	\$13.78	107231024	\$38.86
107222023	\$13.78	107222066	\$13.78	107232001	\$38.86
107222024	\$13.78	107222067	\$13.78	107232002	\$38.86
107222025	\$13.78	107222068	\$13.78	107232003	\$38.86
107222026	\$13.78	107222069	\$13.78	107232004	\$38.86
107222027	\$13.78	107222070	\$13.78	107232005	\$38.86
107222028	\$13.78	107222071	\$13.78	107232006	\$38.86
107232007	\$38.86	107240029	\$38.86	107252020	\$38.86
107232008	\$38.86	107240030	\$38.86	107252021	\$38.86
107232009	\$38.86	107240031	\$38.86	107252022	\$38.86
107233005	\$38.86	107240032	\$38.86	107252023	\$38.86
107233006	\$38.86	107240033	\$38.86	107252024	\$38.86
107233007	\$38.86	107240034	\$38.86	107252025	\$38.86
107233008	\$38.86	107240035	\$38.86	107252026	\$38.86
107233009	\$38.86	107240036	\$38.86	107252027	\$38.86
107233010	\$38.86	107240037	\$38.86	107252028	\$38.86
107234001	\$38.86	107240038	\$38.86	107253001	\$38.86
107234002	\$38.86	107240039	\$38.86	107253002	\$38.86
107234003	\$38.86	107251001	\$38.86	107253003	\$38.86
107234004	\$38.86	107251002	\$38.86	107253004	\$38.86
107234005	\$38.86	107251003	\$38.86	107253005	\$38.86
107234006	\$38.86	107251004	\$38.86	107253006	\$38.86
107240001	\$38.86	107251005	\$38.86	107253007	\$38.86
107240002	\$38.86	107251006	\$38.86	107253008	\$38.86
107240003	\$38.86	107251007	\$38.86	107253009	\$38.86
107240004	\$38.86	107251008	\$38.86	107253010	\$38.86
107240005	\$38.86	107251009	\$38.86	107253011	\$38.86
107240006	\$38.86	107251010	\$38.86	107253012	\$38.86
107240007	\$38.86	107251011	\$38.86	107253013	\$38.86
107240008	\$38.86	107251012	\$38.86	107253014	\$38.86
107240009	\$38.86	107251013	\$38.86	107253015	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107240010	\$38.86	107251014	\$38.86	107253016	\$38.86
107240011	\$38.86	107252002	\$38.86	107254001	\$38.86
107240012	\$38.86	107252003	\$38.86	107254002	\$38.86
107240013	\$38.86	107252004	\$38.86	107254003	\$38.86
107240014	\$38.86	107252005	\$38.86	107254004	\$38.86
107240015	\$38.86	107252006	\$38.86	107254005	\$38.86
107240016	\$38.86	107252007	\$38.86	107254006	\$38.86
107240017	\$38.86	107252008	\$38.86	107254007	\$38.86
107240018	\$38.86	107252009	\$38.86	107254008	\$38.86
107240019	\$38.86	107252010	\$38.86	107254009	\$38.86
107240020	\$38.86	107252011	\$38.86	107254010	\$38.86
107240021	\$38.86	107252012	\$38.86	107254011	\$38.86
107240022	\$38.86	107252013	\$38.86	107254012	\$38.86
107240023	\$49.22	107252014	\$38.86	107254013	\$38.86
107240024	\$38.86	107252015	\$38.86	107254014	\$38.86
107240025	\$49.22	107252016	\$38.86	107254015	\$38.86
107240026	\$49.22	107252017	\$38.86	107254016	\$38.86
107240027	\$38.86	107252018	\$38.86	107254017	\$38.86
107240028	\$38.86	107252019	\$38.86	107254018	\$38.86
107255001	\$38.86	107262006	\$38.86	107262051	\$38.86
107255002	\$38.86	107262007	\$38.86	107262052	\$38.86
107255003	\$38.86	107262008	\$38.86	107262053	\$38.86
107255004	\$38.86	107262009	\$38.86	107262054	\$38.86
107255005	\$38.86	107262010	\$38.86	107262055	\$38.86
107255006	\$38.86	107262011	\$38.86	107263001	\$38.86
107255007	\$38.86	107262012	\$38.86	107263002	\$38.86
107255008	\$38.86	107262013	\$38.86	107263003	\$38.86
107255009	\$38.86	107262014	\$38.86	107263004	\$38.86
107255010	\$38.86	107262015	\$38.86	107263005	\$38.86
107255011	\$38.86	107262016	\$38.86	107263006	\$38.86
107255012	\$38.86	107262017	\$38.86	107263007	\$38.86
107255013	\$38.86	107262018	\$38.86	107263008	\$38.86
107255014	\$38.86	107262019	\$38.86	107263009	\$38.86
107255015	\$38.86	107262020	\$38.86	107263010	\$38.86
107255016	\$38.86	107262021	\$38.86	107264001	\$38.86
107255017	\$38.86	107262022	\$38.86	107264002	\$38.86
107255018	\$38.86	107262023	\$38.86	107264003	\$38.86
107255019	\$38.86	107262024	\$38.86	107264004	\$38.86
107255020	\$38.86	107262025	\$38.86	107264005	\$38.86
107255021	\$38.86	107262026	\$38.86	107264006	\$38.86
107255022	\$38.86	107262027	\$38.86	107264007	\$38.86
107255023	\$38.86	107262028	\$38.86	107264008	\$38.86
107255024	\$38.86	107262029	\$38.86	107264009	\$38.86
107261001	\$38.86	107262030	\$38.86	107264010	\$38.86
107261002	\$38.86	107262031	\$38.86	107264011	\$38.86
107261003	\$38.86	107262032	\$38.86	107264012	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107261004	\$38.86	107262033	\$38.86	107264013	\$38.86
107261005	\$38.86	107262034	\$38.86	107264014	\$38.86
107261006	\$38.86	107262035	\$38.86	107264015	\$38.86
107261007	\$38.86	107262036	\$38.86	107271001	\$38.86
107261008	\$38.86	107262039	\$38.86	107271002	\$38.86
107261009	\$38.86	107262040	\$38.86	107271003	\$38.86
107261010	\$38.86	107262041	\$38.86	107271004	\$38.86
107261011	\$38.86	107262042	\$38.86	107272001	\$38.86
107261012	\$38.86	107262043	\$38.86	107272002	\$38.86
107261013	\$38.86	107262044	\$38.86	107272003	\$38.86
107261014	\$38.86	107262045	\$38.86	107272004	\$38.86
107262001	\$38.86	107262046	\$38.86	107272005	\$38.86
107262002	\$38.86	107262047	\$38.86	107272006	\$49.22
107262003	\$38.86	107262048	\$38.86	107272007	\$38.86
107262004	\$38.86	107262049	\$38.86	107272008	\$38.86
107262005	\$38.86	107262050	\$38.86	107272009	\$38.86
107272010	\$38.86	107282003	\$38.86	107283006	\$38.86
107272011	\$38.86	107282004	\$38.86	107283007	\$38.86
107272012	\$38.86	107282005	\$38.86	107283008	\$38.86
107272013	\$38.86	107282006	\$38.86	107283009	\$38.86
107272014	\$38.86	107282007	\$38.86	107283010	\$38.86
107272015	\$38.86	107282008	\$38.86	107283011	\$38.86
107272016	\$38.86	107282009	\$38.86	107283012	\$38.86
107272017	\$38.86	107282010	\$38.86	107283013	\$38.86
107272018	\$38.86	107282011	\$38.86	107284001	\$38.86
107273002	\$38.86	107282012	\$38.86	107284002	\$38.86
107273003	\$38.86	107282013	\$38.86	107284003	\$38.86
107273004	\$38.86	107282014	\$38.86	107284004	\$38.86
107273005	\$38.86	107282015	\$38.86	107284005	\$38.86
107273006	\$38.86	107282016	\$38.86	107284006	\$38.86
107273007	\$38.86	107282017	\$38.86	107284007	\$38.86
107273008	\$38.86	107282018	\$38.86	107284008	\$38.86
107273009	\$49.22	107282019	\$38.86	107284009	\$38.86
107273010	\$38.86	107282020	\$38.86	107284010	\$38.86
107273011	\$38.86	107282021	\$38.86	107284011	\$38.86
107273012	\$38.86	107282022	\$38.86	107291001	\$38.86
107273013	\$38.86	107282023	\$38.86	107291002	\$38.86
107273014	\$38.86	107282024	\$38.86	107291003	\$38.86
107273015	\$38.86	107282025	\$38.86	107291004	\$38.86
107273016	\$38.86	107282026	\$38.86	107291005	\$38.86
107273017	\$38.86	107282027	\$38.86	107292001	\$38.86
107273018	\$38.86	107282028	\$38.86	107292002	\$38.86
107273019	\$38.86	107282029	\$38.86	107292003	\$38.86
107273020	\$38.86	107282030	\$38.86	107292004	\$38.86
107273021	\$38.86	107282031	\$38.86	107292005	\$38.86
107273022	\$38.86	107282032	\$38.86	107292006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107274001	\$38.86	107282033	\$38.86	107292007	\$38.86
107274002	\$38.86	107282034	\$38.86	107292008	\$38.86
107274003	\$38.86	107282035	\$38.86	107292009	\$38.86
107274004	\$38.86	107282036	\$38.86	107292010	\$38.86
107274005	\$38.86	107282037	\$38.86	107292011	\$38.86
107281001	\$38.86	107282038	\$38.86	107292012	\$38.86
107281002	\$38.86	107282039	\$38.86	107292013	\$38.86
107281003	\$38.86	107282040	\$38.86	107292014	\$38.86
107281004	\$38.86	107283001	\$38.86	107292015	\$38.86
107281005	\$38.86	107283002	\$38.86	107292016	\$38.86
107281006	\$38.86	107283003	\$38.86	107292017	\$38.86
107282001	\$38.86	107283004	\$38.86	107292018	\$38.86
107282002	\$38.86	107283005	\$38.86	107292019	\$38.86
107292020	\$38.86	107301005	\$38.86	107302042	\$38.86
107292021	\$38.86	107301006	\$38.86	107302043	\$38.86
107292022	\$38.86	107302001	\$38.86	107302044	\$38.86
107292023	\$38.86	107302002	\$38.86	107302045	\$38.86
107292024	\$38.86	107302003	\$38.86	107302046	\$38.86
107292025	\$38.86	107302004	\$38.86	107302047	\$38.86
107292026	\$38.86	107302005	\$38.86	107302048	\$38.86
107292027	\$38.86	107302006	\$38.86	107302049	\$38.86
107292028	\$38.86	107302007	\$38.86	107302050	\$38.86
107292029	\$38.86	107302008	\$38.86	107302051	\$38.86
107292030	\$38.86	107302009	\$38.86	107302052	\$38.86
107292031	\$38.86	107302010	\$49.22	107310015	\$143.64
107292032	\$38.86	107302011	\$38.86	107310016	\$143.64
107292033	\$38.86	107302012	\$38.86	107310017	\$143.64
107292034	\$38.86	107302013	\$38.86	107310018	\$115.14
107292035	\$38.86	107302014	\$38.86	107310019	\$115.14
107292036	\$38.86	107302015	\$38.86	107310020	\$143.64
107292037	\$38.86	107302016	\$38.86	107310021	\$143.64
107292038	\$38.86	107302017	\$38.86	107310022	\$143.64
107292039	\$38.86	107302018	\$38.86	107310023	\$837.14
107292040	\$38.86	107302019	\$38.86	107320014	\$891.48
107292041	\$38.86	107302020	\$38.86	107320015	\$1,008.90
107292042	\$38.86	107302021	\$38.86	107330015	\$2,246.18
107292043	\$38.86	107302022	\$38.86	107330016	\$2,130.66
107292044	\$38.86	107302023	\$38.86	107330017	\$172.52
107292045	\$38.86	107302024	\$38.86	107341001	\$38.86
107292046	\$38.86	107302025	\$38.86	107341002	\$38.86
107292047	\$38.86	107302026	\$38.86	107341003	\$38.86
107292048	\$38.86	107302027	\$38.86	107341004	\$38.86
107292049	\$49.22	107302028	\$38.86	107341005	\$38.86
107292050	\$38.86	107302029	\$49.22	107341006	\$38.86
107292051	\$38.86	107302030	\$38.86	107341007	\$38.86
107292052	\$38.86	107302031	\$38.86	107341008	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107292053	\$38.86	107302032	\$38.86	107341009	\$38.86
107292054	\$38.86	107302033	\$38.86	107341010	\$38.86
107292055	\$38.86	107302034	\$38.86	107341011	\$38.86
107292056	\$38.86	107302035	\$38.86	107341012	\$38.86
107292057	\$38.86	107302036	\$38.86	107341013	\$38.86
107292058	\$38.86	107302037	\$38.86	107341014	\$38.86
107301001	\$38.86	107302038	\$38.86	107341015	\$38.86
107301002	\$38.86	107302039	\$38.86	107341016	\$38.86
107301003	\$38.86	107302040	\$38.86	107341017	\$38.86
107301004	\$38.86	107302041	\$38.86	107341018	\$38.86
107341019	\$38.86	107342026	\$38.86	108020001	\$46.56
107341020	\$38.86	107342027	\$38.86	108020002	\$43.26
107341021	\$38.86	107342028	\$38.86	108020003	\$43.26
107341022	\$38.86	107342029	\$38.86	108020004	\$43.26
107341023	\$38.86	107342030	\$38.86	108020005	\$43.26
107341024	\$38.86	107342031	\$38.86	108020006	\$43.26
107341025	\$38.86	107342032	\$38.86	108020007	\$43.26
107341026	\$38.86	107342033	\$38.86	108020008	\$14.76
107341027	\$38.86	107342034	\$38.86	108020009	\$43.26
107341028	\$38.86	107342035	\$38.86	108020010	\$14.76
107341029	\$38.86	107342036	\$38.86	108020011	\$14.76
107341030	\$38.86	107342037	\$38.86	108020012	\$14.76
107341031	\$38.86	107342038	\$38.86	108020013	\$15.86
107341032	\$38.86	107342039	\$38.86	108020014	\$14.76
107341033	\$38.86	107342040	\$38.86	108020015	\$14.76
107341034	\$38.86	107342041	\$38.86	108020016	\$18.06
107341035	\$38.86	107342042	\$38.86	108020018	\$43.26
107341036	\$38.86	107342043	\$38.86	108020019	\$46.56
107342001	\$38.86	107342044	\$38.86	108020020	\$43.26
107342002	\$38.86	107342045	\$38.86	108020021	\$43.26
107342003	\$38.86	107350002	\$229.90	108020022	\$44.36
107342004	\$38.86	107350003	\$287.66	108031001	\$13.66
107342005	\$38.86	107350008	\$229.90	108031002	\$14.76
107342006	\$38.86	107350009	\$172.52	108031003	\$14.76
107342007	\$38.86	107350010	\$229.90	108031004	\$14.76
107342008	\$38.86	107350011	\$172.52	108031005	\$14.76
107342009	\$38.86	107350013	\$287.66	108031006	\$14.76
107342010	\$38.86	107350014	\$431.68	108031007	\$14.76
107342011	\$38.86	107350015	\$136.58	108031008	\$14.76
107342012	\$38.86	107350016	\$315.40	108031009	\$14.76
107342013	\$38.86	107350017	\$229.90	108032003	\$14.76
107342014	\$38.86	107350018	\$312.02	108032004	\$14.76
107342015	\$38.86	107350019	\$203.94	108032006	\$14.76
107342016	\$38.86	107350020	\$165.08	108032007	\$14.76
107342017	\$38.86	107350021	\$166.56	108032008	\$14.76
107342018	\$38.86	107360001	\$86.26	108032009	\$14.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107342019	\$38.86	107360002	\$57.38	108032010	\$14.76
107342020	\$38.86	107360003	\$57.38	108032011	\$14.76
107342021	\$38.86	107360004	\$57.38	108032012	\$14.76
107342022	\$38.86	107360005	\$57.38	108041001	\$14.76
107342023	\$38.86	107360006	\$57.38	108041002	\$14.76
107342024	\$38.86	107360007	\$57.38	108041005	\$38.86
107342025	\$38.86	107360008	\$57.38	108041006	\$38.86
108042001	\$38.86	108080032	\$38.86	108090015	\$38.86
108042002	\$14.76	108080033	\$38.86	108090016	\$38.86
108042003	\$14.76	108080035	\$38.86	108090017	\$38.86
108042004	\$13.66	108080036	\$38.86	108090018	\$38.86
108042008	\$67.36	108080037	\$38.86	108090019	\$38.86
108042009	\$38.86	108080038	\$38.86	108090020	\$38.86
108042010	\$95.86	108080039	\$38.86	108090021	\$38.86
108042011	\$137.30	108080040	\$38.86	108090022	\$38.86
108042014	\$126.94	108080041	\$38.86	108090023	\$38.86
108042015	\$38.86	108080042	\$38.86	108090024	\$38.86
108042016	\$98.44	108080043	\$38.86	108090025	\$38.86
108042017	\$98.44	108080044	\$38.86	108090026	\$38.86
108050022	\$227.96	108080045	\$38.86	108090029	\$38.86
108080001	\$38.86	108080046	\$38.86	108090030	\$38.86
108080002	\$38.86	108080047	\$38.86	108090031	\$38.86
108080003	\$38.86	108080049	\$38.86	108090032	\$38.86
108080004	\$38.86	108080050	\$38.86	108090033	\$38.86
108080005	\$38.86	108080051	\$38.86	108090034	\$38.86
108080006	\$38.86	108080052	\$38.86	108090035	\$38.86
108080007	\$38.86	108080053	\$38.86	108090036	\$38.86
108080008	\$38.86	108080054	\$38.86	108090037	\$38.86
108080009	\$38.86	108080055	\$38.86	108090038	\$38.86
108080010	\$38.86	108080057	\$38.86	108090039	\$38.86
108080011	\$38.86	108080058	\$38.86	108090040	\$38.86
108080012	\$38.86	108080059	\$38.86	108090041	\$38.86
108080013	\$38.86	108080060	\$38.86	108090052	\$38.86
108080014	\$38.86	108080061	\$38.86	108090053	\$38.86
108080015	\$38.86	108080062	\$38.86	108090054	\$38.86
108080016	\$38.86	108080063	\$38.86	108090055	\$38.86
108080018	\$38.86	108090001	\$38.86	108090056	\$38.86
108080019	\$38.86	108090002	\$38.86	108090057	\$38.86
108080020	\$38.86	108090003	\$38.86	108090058	\$38.86
108080021	\$38.86	108090004	\$38.86	108090059	\$38.86
108080022	\$38.86	108090005	\$38.86	108090060	\$38.86
108080023	\$38.86	108090006	\$38.86	108090061	\$38.86
108080024	\$38.86	108090007	\$38.86	108090062	\$38.86
108080025	\$38.86	108090008	\$38.86	108090063	\$38.86
108080026	\$38.86	108090009	\$38.86	108090064	\$38.86
108080027	\$38.86	108090010	\$38.86	108090065	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108080028	\$38.86	108090011	\$38.86	108090066	\$38.86
108080029	\$38.86	108090012	\$38.86	108090067	\$38.86
108080030	\$38.86	108090013	\$38.86	108090068	\$38.86
108080031	\$38.86	108090014	\$38.86	108090069	\$38.86
108090070	\$38.86	108100043	\$38.86	108110030	\$38.86
108090071	\$38.86	108100044	\$38.86	108110031	\$67.36
108090072	\$38.86	108100047	\$38.86	108110032	\$38.86
108090073	\$38.86	108100048	\$38.86	108110033	\$67.36
108100001	\$38.86	108100049	\$38.86	108110034	\$67.36
108100002	\$38.86	108100050	\$38.86	108110035	\$38.86
108100003	\$38.86	108100051	\$38.86	108110036	\$38.86
108100004	\$38.86	108100052	\$38.86	108110037	\$38.86
108100005	\$38.86	108100053	\$38.86	108110038	\$67.36
108100006	\$38.86	108100054	\$38.86	108110039	\$38.86
108100007	\$38.86	108100055	\$38.86	108110040	\$38.86
108100009	\$38.86	108100056	\$38.86	108110041	\$38.86
108100010	\$38.86	108100057	\$38.86	108110042	\$38.86
108100011	\$38.86	108100058	\$38.86	108110043	\$77.72
108100012	\$38.86	108110001	\$67.36	108110044	\$67.36
108100013	\$38.86	108110002	\$67.36	108110045	\$38.86
108100014	\$38.86	108110003	\$67.36	108110046	\$67.36
108100016	\$38.86	108110004	\$38.86	108110047	\$38.86
108100017	\$38.86	108110005	\$38.86	108110048	\$38.86
108100018	\$38.86	108110006	\$38.86	108110049	\$67.36
108100019	\$38.86	108110007	\$38.86	108110050	\$38.86
108100020	\$38.86	108110008	\$38.86	108110051	\$38.86
108100021	\$38.86	108110009	\$38.86	108110052	\$38.86
108100022	\$38.86	108110010	\$38.86	108121001	\$38.86
108100023	\$38.86	108110011	\$67.36	108121002	\$38.86
108100024	\$38.86	108110012	\$67.36	108121003	\$67.36
108100025	\$38.86	108110013	\$38.86	108121004	\$38.86
108100026	\$38.86	108110014	\$67.36	108121005	\$67.36
108100027	\$38.86	108110015	\$38.86	108121006	\$67.36
108100028	\$38.86	108110016	\$67.36	108121007	\$67.36
108100029	\$38.86	108110017	\$38.86	108121008	\$67.36
108100030	\$38.86	108110018	\$38.86	108121009	\$67.36
108100031	\$38.86	108110019	\$38.86	108121010	\$38.86
108100032	\$38.86	108110020	\$38.86	108121011	\$67.36
108100034	\$38.86	108110021	\$67.36	108121012	\$38.86
108100035	\$38.86	108110022	\$38.86	108121013	\$38.86
108100036	\$38.86	108110023	\$38.86	108121014	\$67.36
108100037	\$38.86	108110024	\$106.22	108121015	\$38.86
108100038	\$38.86	108110025	\$67.36	108121016	\$38.86
108100039	\$38.86	108110026	\$67.36	108121017	\$38.86
108100040	\$38.86	108110027	\$38.86	108121018	\$38.86
108100041	\$38.86	108110028	\$38.86	108121019	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108100042	\$38.86	108110029	\$67.36	108121020	\$38.86
108121021	\$38.86	108141011	\$38.86	108153005	\$38.86
108121022	\$67.36	108141012	\$38.86	108153006	\$38.86
108121023	\$38.86	108141013	\$38.86	108153007	\$38.86
108121024	\$38.86	108141014	\$38.86	108153008	\$49.22
108121025	\$38.86	108141015	\$38.86	108153009	\$38.86
108121026	\$38.86	108141016	\$38.86	108153010	\$38.86
108121027	\$38.86	108141017	\$38.86	108153011	\$38.86
108121028	\$67.36	108141018	\$38.86	108153012	\$38.86
108121029	\$38.86	108141019	\$67.36	108153013	\$38.86
108121030	\$38.86	108141020	\$38.86	108153014	\$38.86
108121031	\$38.86	108141021	\$38.86	108153015	\$38.86
108121032	\$38.86	108142001	\$67.36	108153016	\$49.22
108121033	\$38.86	108142002	\$38.86	108153017	\$38.86
108121034	\$67.36	108142003	\$38.86	108153018	\$38.86
108121035	\$67.36	108143001	\$38.86	108153019	\$38.86
108121036	\$38.86	108143002	\$38.86	108153020	\$38.86
108121037	\$38.86	108143003	\$38.86	108153021	\$38.86
108121038	\$67.36	108143004	\$38.86	108153022	\$38.86
108121039	\$38.86	108143005	\$38.86	108153023	\$38.86
108121040	\$38.86	108143006	\$38.86	108153024	\$38.86
108121041	\$38.86	108143007	\$38.86	108153025	\$77.72
108121042	\$77.72	108143008	\$38.86	108161001	\$38.86
108122001	\$67.36	108143009	\$38.86	108161002	\$38.86
108122002	\$67.36	108143010	\$38.86	108161003	\$38.86
108122003	\$38.86	108143011	\$38.86	108161004	\$38.86
108122004	\$38.86	108143012	\$38.86	108161005	\$38.86
108122005	\$38.86	108143013	\$77.72	108161006	\$38.86
108122006	\$38.86	108143014	\$67.36	108161007	\$38.86
108122007	\$67.36	108151001	\$38.86	108161008	\$38.86
108122008	\$67.36	108151002	\$38.86	108161009	\$38.86
108122009	\$67.36	108151003	\$38.86	108161010	\$38.86
108122010	\$38.86	108151004	\$38.86	108161011	\$67.36
108122011	\$38.86	108151005	\$38.86	108161012	\$67.36
108141001	\$90.66	108151006	\$38.86	108161013	\$67.36
108141002	\$77.72	108151007	\$38.86	108161014	\$38.86
108141003	\$67.36	108151008	\$38.86	108161015	\$38.86
108141004	\$67.36	108152001	\$67.36	108161016	\$38.86
108141005	\$49.22	108152002	\$38.86	108161017	\$38.86
108141006	\$49.22	108152003	\$38.86	108162001	\$67.36
108141007	\$77.72	108153001	\$38.86	108162002	\$38.86
108141008	\$38.86	108153002	\$38.86	108162003	\$38.86
108141009	\$38.86	108153003	\$38.86	108162004	\$38.86
108141010	\$38.86	108153004	\$38.86	108162005	\$38.86
108162006	\$38.86	108172001	\$67.36	108174004	\$38.86
108162007	\$38.86	108172002	\$38.86	108174005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108162008	\$38.86	108172003	\$38.86	108174006	\$38.86
108163001	\$38.86	108172004	\$38.86	108174007	\$38.86
108163002	\$38.86	108172005	\$38.86	108174008	\$38.86
108163003	\$67.36	108172006	\$38.86	108174009	\$38.86
108163004	\$38.86	108172007	\$67.36	108174010	\$38.86
108163005	\$67.36	108172008	\$67.36	108181001	\$38.86
108163006	\$38.86	108172009	\$38.86	108181002	\$38.86
108164001	\$67.36	108172010	\$38.86	108181003	\$38.86
108164002	\$38.86	108172011	\$38.86	108181004	\$38.86
108164003	\$38.86	108172012	\$38.86	108181005	\$38.86
108164004	\$38.86	108172013	\$38.86	108181006	\$38.86
108164005	\$38.86	108172014	\$38.86	108181007	\$38.86
108164006	\$38.86	108172015	\$38.86	108181008	\$38.86
108164007	\$38.86	108172016	\$38.86	108181009	\$38.86
108164008	\$38.86	108172017	\$38.86	108181010	\$38.86
108164009	\$67.36	108172018	\$38.86	108181011	\$38.86
108164010	\$38.86	108172019	\$38.86	108181012	\$38.86
108164011	\$38.86	108172020	\$38.86	108181013	\$38.86
108164012	\$38.86	108172021	\$67.36	108181014	\$38.86
108164013	\$38.86	108172022	\$67.36	108181015	\$38.86
108164014	\$38.86	108172023	\$38.86	108181016	\$67.36
108164015	\$38.86	108172024	\$38.86	108181020	\$38.86
108164016	\$49.22	108172025	\$38.86	108181021	\$38.86
108164017	\$49.22	108172026	\$38.86	108181022	\$38.86
108164018	\$38.86	108173001	\$49.22	108181023	\$38.86
108171001	\$67.36	108173002	\$38.86	108181024	\$38.86
108171002	\$38.86	108173003	\$38.86	108181025	\$38.86
108171003	\$38.86	108173004	\$38.86	108181026	\$38.86
108171004	\$38.86	108173005	\$38.86	108181027	\$38.86
108171005	\$38.86	108173006	\$38.86	108181028	\$38.86
108171006	\$38.86	108173007	\$38.86	108181029	\$49.22
108171007	\$38.86	108173008	\$38.86	108181030	\$38.86
108171008	\$38.86	108173009	\$38.86	108181031	\$38.86
108171011	\$38.86	108173010	\$38.86	108181032	\$38.86
108171012	\$38.86	108173011	\$38.86	108181033	\$38.86
108171013	\$38.86	108173012	\$38.86	108181034	\$49.22
108171014	\$38.86	108173013	\$38.86	108181035	\$49.22
108171015	\$38.86	108173014	\$38.86	108181036	\$38.86
108171016	\$38.86	108174001	\$38.86	108181037	\$38.86
108171017	\$38.86	108174002	\$38.86	108181038	\$38.86
108171018	\$38.86	108174003	\$38.86	108181039	\$77.72
108182001	\$38.86	108191002	\$38.86	108201009	\$38.86
108182002	\$38.86	108191003	\$38.86	108201010	\$38.86
108182003	\$38.86	108191004	\$38.86	108201011	\$38.86
108182004	\$38.86	108191005	\$38.86	108201012	\$38.86
108182005	\$67.36	108191006	\$38.86	108201013	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108182006	\$67.36	108191007	\$67.36	108201014	\$38.86
108182007	\$38.86	108191008	\$67.36	108201015	\$38.86
108182008	\$38.86	108191009	\$38.86	108202002	\$38.86
108182009	\$38.86	108191010	\$38.86	108202003	\$38.86
108182010	\$38.86	108191011	\$38.86	108202004	\$38.86
108182011	\$38.86	108191012	\$38.86	108202005	\$38.86
108182012	\$38.86	108191013	\$38.86	108202006	\$38.86
108182013	\$38.86	108191014	\$38.86	108202007	\$38.86
108182014	\$38.86	108191015	\$38.86	108202008	\$38.86
108182015	\$38.86	108191016	\$38.86	108202009	\$38.86
108182016	\$38.86	108191017	\$38.86	108202010	\$38.86
108182017	\$38.86	108191018	\$38.86	108202011	\$49.22
108182018	\$38.86	108191019	\$38.86	108202012	\$77.72
108182019	\$67.36	108191020	\$49.22	108202013	\$38.86
108182020	\$67.36	108191021	\$38.86	108202014	\$38.86
108182021	\$67.36	108191022	\$38.86	108202015	\$38.86
108182022	\$38.86	108191023	\$38.86	108202016	\$38.86
108182023	\$38.86	108192001	\$38.86	108202017	\$38.86
108182024	\$38.86	108192002	\$38.86	108202018	\$67.36
108182025	\$38.86	108192003	\$38.86	108202019	\$38.86
108182026	\$38.86	108192004	\$38.86	108202020	\$38.86
108182027	\$67.36	108192005	\$38.86	108202021	\$38.86
108183001	\$38.86	108192006	\$38.86	108202022	\$38.86
108183002	\$38.86	108192007	\$38.86	108202023	\$38.86
108183003	\$67.36	108192008	\$38.86	108202024	\$38.86
108183004	\$38.86	108192009	\$38.86	108202025	\$38.86
108183005	\$38.86	108192010	\$38.86	108202026	\$38.86
108183006	\$67.36	108192011	\$38.86	108202027	\$77.72
108183007	\$38.86	108192012	\$38.86	108211001	\$67.36
108183008	\$38.86	108192013	\$38.86	108211002	\$38.86
108183009	\$38.86	108201001	\$38.86	108211003	\$67.36
108183010	\$77.72	108201002	\$38.86	108211004	\$38.86
108183011	\$38.86	108201003	\$38.86	108211005	\$38.86
108183012	\$38.86	108201004	\$38.86	108211006	\$38.86
108183013	\$38.86	108201005	\$38.86	108211007	\$38.86
108183014	\$38.86	108201006	\$38.86	108211008	\$38.86
108183015	\$38.86	108201007	\$38.86	108211009	\$38.86
108191001	\$38.86	108201008	\$38.86	108211010	\$38.86
108211011	\$67.36	108222010	\$38.86	108232011	\$67.36
108212001	\$67.36	108222011	\$38.86	108232012	\$38.86
108212002	\$38.86	108222012	\$67.36	108232013	\$38.86
108212003	\$38.86	108222013	\$38.86	108232014	\$38.86
108212004	\$38.86	108222014	\$38.86	108232015	\$38.86
108212005	\$67.36	108222015	\$49.22	108232016	\$38.86
108212006	\$67.36	108222016	\$38.86	108232017	\$38.86
108212007	\$67.36	108222017	\$38.86	108232018	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108212008	\$38.86	108222018	\$38.86	108232019	\$38.86
108212009	\$38.86	108222019	\$38.86	108232020	\$38.86
108212010	\$38.86	108222020	\$38.86	108233001	\$38.86
108212011	\$38.86	108222021	\$38.86	108233002	\$38.86
108212012	\$38.86	108222022	\$38.86	108233003	\$38.86
108212013	\$67.36	108222023	\$38.86	108233004	\$38.86
108212014	\$38.86	108231001	\$67.36	108233005	\$38.86
108212015	\$38.86	108231002	\$38.86	108233006	\$38.86
108212016	\$38.86	108231003	\$38.86	108233007	\$38.86
108212017	\$49.22	108231004	\$38.86	108234001	\$38.86
108212018	\$49.22	108231005	\$38.86	108234002	\$38.86
108212019	\$38.86	108231006	\$38.86	108234003	\$38.86
108212020	\$38.86	108231007	\$38.86	108234004	\$38.86
108221001	\$38.86	108231008	\$38.86	108234005	\$38.86
108221002	\$38.86	108231009	\$38.86	108234006	\$38.86
108221003	\$38.86	108231010	\$38.86	108234007	\$38.86
108221004	\$38.86	108231011	\$38.86	108234008	\$38.86
108221005	\$38.86	108231012	\$38.86	108234009	\$38.86
108221006	\$38.86	108231013	\$38.86	108234010	\$67.36
108221007	\$38.86	108231014	\$38.86	108240001	\$98.06
108221008	\$38.86	108231015	\$38.86	108240002	\$68.46
108221009	\$38.86	108231016	\$38.86	108240004	\$12.56
108221010	\$38.86	108231017	\$38.86	108240005	\$230.28
108221011	\$38.86	108231018	\$38.86	108240006	\$38.86
108221012	\$38.86	108231019	\$38.86	108240007	\$38.86
108221013	\$38.86	108232001	\$67.36	108240008	\$38.86
108222001	\$67.36	108232002	\$38.86	108240009	\$38.86
108222002	\$38.86	108232003	\$38.86	108240010	\$38.86
108222003	\$38.86	108232004	\$38.86	108240012	\$10.36
108222004	\$38.86	108232005	\$38.86	108240013	\$10.36
108222005	\$38.86	108232006	\$38.86	108250024	\$38.86
108222006	\$38.86	108232007	\$38.86	108250025	\$38.86
108222007	\$38.86	108232008	\$38.86	108250026	\$38.86
108222008	\$38.86	108232009	\$38.86	108250027	\$49.22
108222009	\$38.86	108232010	\$38.86	108250028	\$49.22
108250029	\$49.22	108261001	\$17.76	108291004	\$38.86
108250030	\$38.86	108261002	\$17.76	108291005	\$38.86
108250031	\$38.86	108261003	\$17.76	108291006	\$38.86
108250032	\$38.86	108261004	\$17.76	108291007	\$38.86
108250033	\$38.86	108261005	\$17.76	108291008	\$38.86
108250034	\$49.22	108261006	\$17.76	108291009	\$38.86
108250035	\$145.08	108261007	\$17.76	108291010	\$38.86
108250036	\$49.22	108261008	\$17.76	108291011	\$38.86
108250037	\$59.58	108261009	\$17.76	108291012	\$38.86
108260013	\$17.76	108261010	\$17.76	108291013	\$38.86
108260014	\$17.76	108261011	\$17.76	108291014	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108260015	\$17.76	108261012	\$17.76	108291015	\$38.86
108260016	\$17.76	108261013	\$17.76	108291016	\$38.86
108260017	\$17.76	108261014	\$17.76	108291017	\$38.86
108260018	\$17.76	108261015	\$17.76	108291018	\$38.86
108260019	\$17.76	108261017	\$17.76	108291019	\$38.86
108260020	\$17.76	108261018	\$17.76	108291020	\$38.86
108260021	\$17.76	108261019	\$17.76	108291021	\$38.86
108260022	\$17.76	108261020	\$17.76	108291022	\$38.86
108260023	\$17.76	108261021	\$17.76	108291023	\$38.86
108260024	\$17.76	108261022	\$17.76	108291024	\$38.86
108260025	\$17.76	108261023	\$17.76	108291025	\$38.86
108260026	\$17.76	108261024	\$17.76	108291026	\$38.86
108260027	\$17.76	108261025	\$17.76	108291027	\$38.86
108260028	\$17.76	108261026	\$17.76	108292001	\$38.86
108260029	\$17.76	108261027	\$17.76	108292002	\$38.86
108260030	\$17.76	108261029	\$17.76	108292003	\$38.86
108260031	\$17.76	108261030	\$17.76	108292004	\$38.86
108260032	\$17.76	108261031	\$17.76	108292005	\$38.86
108260033	\$17.76	108261032	\$17.76	108292006	\$38.86
108260034	\$17.76	108261033	\$17.76	108292007	\$38.86
108260035	\$17.76	108261034	\$17.76	108292008	\$38.86
108260036	\$17.76	108261035	\$17.76	108292009	\$38.86
108260037	\$17.76	108261036	\$17.76	108292010	\$38.86
108260038	\$17.76	108261037	\$17.76	108292011	\$38.86
108260039	\$17.76	108261039	\$17.76	108292012	\$38.86
108260040	\$17.76	108261040	\$17.76	108292013	\$38.86
108260041	\$17.76	108261041	\$17.76	108292014	\$38.86
108260042	\$17.76	108261042	\$17.76	108292015	\$38.86
108260043	\$17.76	108261043	\$17.76	108292016	\$38.86
108260044	\$17.76	108291001	\$38.86	108292017	\$38.86
108260045	\$17.76	108291002	\$38.86	108292018	\$38.86
108260046	\$17.76	108291003	\$38.86	108292019	\$38.86
108292020	\$38.86	108311001	\$38.86	108320086	\$77.72
108292021	\$38.86	108311002	\$38.86	108320087	\$77.72
108292022	\$38.86	108311003	\$38.86	108320088	\$91.38
108300001	\$38.86	108311004	\$38.86	108341002	\$77.72
108300002	\$38.86	108311005	\$38.86	108341006	\$38.86
108300003	\$38.86	108311006	\$38.86	108341007	\$38.86
108300004	\$38.86	108311007	\$38.86	108341008	\$38.86
108300005	\$38.86	108311008	\$38.86	108341009	\$38.86
108300006	\$38.86	108311009	\$38.86	108341010	\$38.86
108300007	\$38.86	108311010	\$38.86	108341011	\$38.86
108300008	\$38.86	108311011	\$67.36	108341012	\$38.86
108300009	\$38.86	108311012	\$38.86	108341013	\$38.86
108300010	\$49.22	108311013	\$38.86	108341014	\$38.86
108300011	\$38.86	108311014	\$38.86	108341015	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108300012	\$38.86	108311015	\$38.86	108341016	\$38.86
108300013	\$38.86	108311016	\$38.86	108341017	\$38.86
108300014	\$38.86	108311017	\$38.86	108341018	\$38.86
108300015	\$38.86	108311018	\$38.86	108341019	\$38.86
108300016	\$38.86	108312001	\$38.86	108341020	\$38.86
108300017	\$38.86	108312002	\$38.86	108341021	\$38.86
108300018	\$38.86	108312003	\$38.86	108341023	\$38.86
108300019	\$38.86	108312004	\$38.86	108341025	\$38.86
108300020	\$38.86	108312005	\$38.86	108341027	\$77.72
108300021	\$38.86	108312006	\$38.86	108342001	\$77.72
108300022	\$38.86	108312007	\$38.86	108342002	\$39.96
108300023	\$38.86	108312008	\$38.86	108342003	\$77.72
108300024	\$38.86	108312009	\$38.86	108342004	\$39.96
108300025	\$38.86	108312010	\$67.36	108342005	\$39.96
108300026	\$38.86	108312011	\$38.86	108342006	\$39.96
108300027	\$38.86	108312012	\$38.86	108342007	\$39.96
108300028	\$67.36	108312013	\$38.86	108342008	\$77.72
108300029	\$38.86	108312014	\$38.86	108342009	\$77.72
108300030	\$67.36	108312015	\$38.86	108342010	\$77.72
108300031	\$38.86	108312016	\$38.86	108342012	\$38.86
108300032	\$38.86	108312017	\$38.86	108342013	\$38.86
108300033	\$38.86	108312018	\$38.86	108342014	\$38.86
108300034	\$38.86	108320003	\$100.26	108342015	\$38.86
108300035	\$38.86	108320009	\$136.92	108342016	\$38.86
108300036	\$38.86	108320035	\$88.08	108342017	\$38.86
108300037	\$38.86	108320080	\$132.10	108342018	\$38.86
108300038	\$38.86	108320081	\$24.20	108342019	\$10.92
108300039	\$38.86	108320082	\$22.00	108342020	\$38.86
108300040	\$38.86	108320085	\$176.16	108342021	\$38.86
108342022	\$38.86	108353005	\$38.86	108362003	\$38.86
108342023	\$38.86	108353006	\$38.86	108362004	\$38.86
108342024	\$38.86	108353007	\$38.86	108362005	\$67.36
108342025	\$38.86	108353008	\$38.86	108362006	\$67.36
108342028	\$38.86	108353009	\$38.86	108362007	\$38.86
108342029	\$38.86	108353010	\$38.86	108362008	\$38.86
108342030	\$38.86	108353011	\$38.86	108362009	\$38.86
108342031	\$38.86	108353012	\$38.86	108362010	\$38.86
108342032	\$38.86	108353013	\$38.86	108362011	\$38.86
108342033	\$38.86	108353014	\$38.86	108362012	\$38.86
108342034	\$38.86	108353015	\$38.86	108362013	\$38.86
108351001	\$38.86	108353016	\$67.36	108362014	\$38.86
108351002	\$38.86	108353017	\$38.86	108363001	\$38.86
108351003	\$38.86	108353018	\$38.86	108363002	\$38.86
108351004	\$38.86	108353019	\$38.86	108363003	\$38.86
108351005	\$38.86	108353020	\$38.86	108363004	\$38.86
108351006	\$38.86	108353021	\$38.86	108363005	\$49.22

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108351007	\$38.86	108353022	\$38.86	108363006	\$38.86
108351008	\$38.86	108353023	\$38.86	108363007	\$38.86
108351009	\$38.86	108353024	\$38.86	108363008	\$49.22
108351010	\$38.86	108353025	\$38.86	108363009	\$49.22
108351011	\$38.86	108353026	\$38.86	108363010	\$38.86
108351012	\$38.86	108353027	\$38.86	108363011	\$38.86
108351013	\$38.86	108353028	\$38.86	108363012	\$38.86
108351014	\$38.86	108353029	\$38.86	108363013	\$38.86
108351015	\$38.86	108353030	\$38.86	108363014	\$38.86
108351016	\$38.86	108361001	\$67.36	108363015	\$38.86
108351017	\$38.86	108361002	\$38.86	108363016	\$67.36
108351018	\$67.36	108361003	\$38.86	108371001	\$38.86
108352001	\$67.36	108361004	\$38.86	108371002	\$38.86
108352002	\$38.86	108361005	\$38.86	108371003	\$38.86
108352003	\$38.86	108361006	\$38.86	108371004	\$38.86
108352004	\$38.86	108361007	\$38.86	108371005	\$38.86
108352005	\$38.86	108361008	\$38.86	108371006	\$38.86
108352006	\$38.86	108361009	\$38.86	108371007	\$38.86
108352007	\$38.86	108361010	\$38.86	108371008	\$38.86
108352008	\$38.86	108361011	\$38.86	108371009	\$38.86
108352009	\$38.86	108361012	\$38.86	108371010	\$38.86
108352010	\$67.36	108361013	\$38.86	108371011	\$38.86
108353001	\$38.86	108361014	\$38.86	108371012	\$38.86
108353002	\$38.86	108361015	\$38.86	108371013	\$38.86
108353003	\$38.86	108362001	\$38.86	108371014	\$38.86
108353004	\$38.86	108362002	\$38.86	108372001	\$38.86
108372002	\$38.86	108381004	\$38.86	108392008	\$38.86
108372003	\$38.86	108382001	\$38.86	108392009	\$38.86
108372004	\$38.86	108382002	\$38.86	108392010	\$38.86
108372005	\$38.86	108382003	\$38.86	108392011	\$38.86
108372006	\$38.86	108382004	\$38.86	108401001	\$17.76
108372007	\$38.86	108382005	\$38.86	108401002	\$17.76
108372008	\$38.86	108383001	\$38.86	108401003	\$17.76
108372009	\$38.86	108383002	\$38.86	108401004	\$17.76
108372010	\$38.86	108383003	\$38.86	108401005	\$17.76
108372011	\$38.86	108383004	\$38.86	108401006	\$17.76
108372012	\$38.86	108383005	\$38.86	108401007	\$17.76
108372013	\$38.86	108383006	\$38.86	108401008	\$17.76
108372014	\$38.86	108384001	\$38.86	108401009	\$17.76
108372015	\$38.86	108384002	\$38.86	108401010	\$17.76
108372016	\$38.86	108384003	\$67.36	108401011	\$17.76
108372017	\$67.36	108384004	\$67.36	108401012	\$17.76
108372018	\$38.86	108384005	\$67.36	108401013	\$17.76
108372019	\$38.86	108384006	\$67.36	108401014	\$17.76
108372020	\$38.86	108384007	\$38.86	108401015	\$17.76
108372021	\$38.86	108384008	\$38.86	108401017	\$17.76



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108372022	\$38.86	108384009	\$38.86	108401018	\$17.76
108372023	\$38.86	108384010	\$38.86	108401019	\$17.76
108372024	\$38.86	108391001	\$38.86	108401020	\$17.76
108372025	\$49.22	108391002	\$38.86	108401021	\$17.76
108372026	\$49.22	108391003	\$38.86	108401022	\$17.76
108372027	\$49.22	108391004	\$38.86	108401023	\$17.76
108372028	\$49.22	108391005	\$38.86	108401024	\$17.76
108372029	\$49.22	108391006	\$38.86	108401025	\$17.76
108372030	\$38.86	108391007	\$67.36	108401026	\$17.76
108372031	\$38.86	108391008	\$38.86	108401027	\$17.76
108372032	\$38.86	108391009	\$38.86	108401028	\$17.76
108372033	\$38.86	108391010	\$38.86	108401029	\$17.76
108372034	\$38.86	108391011	\$38.86	108401030	\$17.76
108372035	\$67.36	108391012	\$38.86	108401032	\$17.76
108372036	\$67.36	108391013	\$38.86	108401033	\$17.76
108372037	\$38.86	108391014	\$38.86	108401034	\$17.76
108372038	\$38.86	108392001	\$38.86	108401035	\$17.76
108372039	\$38.86	108392002	\$67.36	108401036	\$17.76
108372040	\$38.86	108392003	\$67.36	108401037	\$17.76
108372041	\$38.86	108392004	\$67.36	108401038	\$17.76
108381001	\$38.86	108392005	\$38.86	108401039	\$17.76
108381002	\$38.86	108392006	\$38.86	108401040	\$17.76
108381003	\$38.86	108392007	\$38.86	108401041	\$17.76
108401042	\$17.76	108410009	\$38.86	108411043	\$17.76
108401043	\$17.76	108410010	\$38.86	108411044	\$17.76
108401044	\$17.76	108410011	\$38.86	108411045	\$17.76
108401045	\$17.76	108411001	\$17.76	108411046	\$17.76
108401046	\$17.76	108411002	\$17.76	108411048	\$49.22
108401048	\$17.76	108411003	\$17.76	108411049	\$17.76
108401049	\$17.76	108411004	\$17.76	108411050	\$17.76
108401050	\$17.76	108411005	\$17.76	108411051	\$17.76
108401051	\$17.76	108411006	\$17.76	108421001	\$38.86
108401052	\$17.76	108411007	\$17.76	108421002	\$17.76
108401053	\$17.76	108411008	\$17.76	108421003	\$17.76
108401054	\$17.76	108411009	\$17.76	108421004	\$17.76
108401055	\$17.76	108411010	\$17.76	108421005	\$17.76
108401056	\$17.76	108411011	\$17.76	108421006	\$17.76
108401057	\$17.76	108411012	\$17.76	108421007	\$17.76
108401058	\$17.76	108411013	\$17.76	108421008	\$17.76
108401059	\$17.76	108411014	\$17.76	108421009	\$17.76
108401060	\$17.76	108411015	\$17.76	108421010	\$17.76
108401061	\$17.76	108411016	\$17.76	108421011	\$17.76
108401062	\$17.76	108411017	\$17.76	108421012	\$17.76
108401064	\$17.76	108411019	\$38.86	108421013	\$17.76
108401065	\$17.76	108411020	\$17.76	108421014	\$17.76
108401066	\$17.76	108411021	\$17.76	108421015	\$17.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108401067	\$17.76	108411022	\$17.76	108421016	\$17.76
108401068	\$17.76	108411023	\$17.76	108421017	\$17.76
108401069	\$17.76	108411024	\$17.76	108421018	\$17.76
108401070	\$17.76	108411025	\$17.76	108421019	\$17.76
108401071	\$17.76	108411026	\$17.76	108421020	\$17.76
108401072	\$17.76	108411027	\$17.76	108421021	\$17.76
108401073	\$17.76	108411028	\$17.76	108421023	\$17.76
108401074	\$17.76	108411029	\$17.76	108421024	\$17.76
108401075	\$17.76	108411030	\$17.76	108421025	\$17.76
108401076	\$17.76	108411031	\$17.76	108421026	\$17.76
108401077	\$17.76	108411032	\$17.76	108421027	\$17.76
108401078	\$17.76	108411033	\$17.76	108421028	\$17.76
108410001	\$38.86	108411034	\$17.76	108421029	\$17.76
108410002	\$38.86	108411035	\$17.76	108421030	\$17.76
108410003	\$38.86	108411036	\$17.76	108421031	\$17.76
108410004	\$38.86	108411038	\$38.86	108421032	\$17.76
108410005	\$38.86	108411039	\$17.76	108421033	\$17.76
108410006	\$38.86	108411040	\$17.76	108421034	\$17.76
108410007	\$38.86	108411041	\$17.76	108421035	\$17.76
108410008	\$38.86	108411042	\$17.76	108421036	\$17.76
108421037	\$17.76	108432033	\$38.86	108451009	\$38.86
108421038	\$17.76	108433001	\$38.86	108451011	\$137.30
108421039	\$17.76	108433002	\$38.86	108451012	\$137.30
108421040	\$17.76	108433003	\$38.86	108451013	\$137.30
108431001	\$38.86	108433004	\$38.86	108451017	\$119.16
108431002	\$38.86	108441001	\$17.76	108451018	\$119.16
108431003	\$38.86	108441002	\$17.76	108451019	\$119.16
108431004	\$38.86	108441003	\$17.76	108451020	\$108.80
108431005	\$38.86	108441004	\$17.76	108451021	\$137.30
108431006	\$38.86	108441005	\$17.76	108452001	\$67.36
108431007	\$38.86	108441006	\$17.76	108452002	\$67.36
108432001	\$38.86	108441007	\$17.76	108452003	\$67.36
108432002	\$38.86	108441008	\$17.76	108452004	\$67.36
108432003	\$38.86	108441009	\$17.76	108452005	\$67.36
108432004	\$38.86	108441010	\$17.76	108452006	\$67.36
108432005	\$38.86	108441011	\$17.76	108452007	\$67.36
108432006	\$67.36	108441012	\$17.76	108452008	\$67.36
108432007	\$67.36	108441013	\$17.76	108452009	\$77.72
108432008	\$38.86	108441014	\$17.76	108452010	\$77.72
108432009	\$38.86	108441015	\$17.76	108452011	\$77.72
108432010	\$38.86	108441017	\$17.76	108452012	\$77.72
108432011	\$38.86	108441018	\$17.76	108452013	\$77.72
108432012	\$38.86	108441019	\$17.76	108452014	\$67.36
108432013	\$38.86	108441020	\$17.76	108452015	\$67.36
108432014	\$38.86	108441021	\$17.76	108452016	\$77.72
108432015	\$38.86	108441022	\$17.76	108453001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108432016	\$38.86	108441023	\$17.76	108453002	\$38.86
108432017	\$38.86	108441024	\$17.76	108453003	\$38.86
108432018	\$38.86	108441025	\$17.76	108453004	\$38.86
108432019	\$38.86	108441026	\$17.76	108453005	\$38.86
108432020	\$38.86	108441027	\$17.76	108453006	\$38.86
108432021	\$38.86	108441028	\$17.76	108453007	\$38.86
108432022	\$38.86	108441029	\$17.76	108453008	\$38.86
108432023	\$38.86	108441030	\$17.76	108453009	\$38.86
108432024	\$38.86	108441031	\$17.76	108453010	\$38.86
108432025	\$38.86	108441032	\$17.76	108461001	\$16.90
108432026	\$38.86	108441033	\$17.76	108461002	\$16.90
108432027	\$38.86	108451001	\$137.30	108461003	\$16.90
108432028	\$38.86	108451004	\$77.72	108461004	\$16.90
108432029	\$38.86	108451005	\$38.86	108461005	\$16.90
108432030	\$38.86	108451006	\$38.86	108461006	\$16.90
108432031	\$38.86	108451007	\$38.86	108461007	\$16.90
108432032	\$38.86	108451008	\$38.86	108461008	\$16.90
108461009	\$16.90	108461054	\$16.90	108462029	\$16.90
108461010	\$16.90	108461056	\$16.90	108462030	\$16.90
108461011	\$16.90	108461057	\$16.90	108462031	\$16.90
108461012	\$16.90	108461058	\$16.90	108462032	\$16.90
108461013	\$16.90	108461059	\$16.90	108471001	\$17.48
108461014	\$16.90	108461060	\$16.90	108471002	\$17.48
108461015	\$16.90	108461061	\$16.90	108471003	\$17.48
108461016	\$16.90	108461062	\$16.90	108471004	\$17.48
108461017	\$16.90	108461063	\$16.90	108471005	\$17.48
108461018	\$16.90	108461064	\$16.90	108471006	\$17.48
108461019	\$16.90	108461065	\$16.90	108471007	\$17.48
108461021	\$16.90	108461066	\$16.90	108471008	\$17.48
108461022	\$16.90	108461067	\$16.90	108471009	\$17.48
108461023	\$16.90	108461068	\$16.90	108471010	\$17.48
108461024	\$16.90	108461069	\$16.90	108471011	\$17.48
108461025	\$16.90	108461070	\$16.90	108471013	\$17.48
108461026	\$16.90	108462001	\$16.90	108471014	\$17.48
108461027	\$16.90	108462002	\$16.90	108471015	\$17.48
108461028	\$16.90	108462003	\$16.90	108471016	\$17.48
108461029	\$16.90	108462004	\$16.90	108471017	\$17.48
108461030	\$16.90	108462005	\$16.90	108471018	\$17.48
108461031	\$16.90	108462006	\$16.90	108471019	\$17.48
108461032	\$16.90	108462007	\$16.90	108471020	\$17.48
108461033	\$16.90	108462008	\$16.90	108471021	\$17.48
108461034	\$16.90	108462009	\$16.90	108471022	\$17.48
108461035	\$16.90	108462010	\$16.90	108471023	\$17.48
108461037	\$16.90	108462011	\$16.90	108471024	\$17.48
108461038	\$16.90	108462012	\$16.90	108471026	\$17.48
108461039	\$16.90	108462013	\$16.90	108471027	\$17.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108461040	\$16.90	108462014	\$16.90	108471028	\$17.48
108461041	\$16.90	108462016	\$16.90	108471029	\$17.48
108461042	\$16.90	108462017	\$16.90	108471030	\$17.48
108461043	\$16.90	108462018	\$16.90	108471032	\$17.48
108461044	\$16.90	108462019	\$16.90	108471033	\$17.48
108461045	\$16.90	108462020	\$16.90	108471034	\$17.48
108461046	\$16.90	108462021	\$16.90	108471035	\$17.48
108461047	\$16.90	108462022	\$16.90	108471036	\$17.48
108461048	\$16.90	108462023	\$16.90	108471037	\$17.48
108461049	\$16.90	108462024	\$16.90	108471038	\$17.48
108461050	\$16.90	108462025	\$16.90	108471039	\$17.48
108461051	\$16.90	108462026	\$16.90	108471040	\$17.48
108461052	\$16.90	108462027	\$16.90	108471041	\$17.48
108461053	\$16.90	108462028	\$16.90	108471042	\$17.48
108471043	\$17.48	108481007	\$38.86	108483020	\$38.86
108471044	\$17.48	108481008	\$38.86	108483021	\$38.86
108471045	\$17.48	108481009	\$38.86	108483022	\$38.86
108471046	\$17.48	108481010	\$38.86	108483023	\$38.86
108471047	\$17.48	108481011	\$38.86	108483024	\$38.86
108471049	\$17.48	108481012	\$38.86	108483025	\$38.86
108471050	\$17.48	108481013	\$38.86	108483026	\$38.86
108471051	\$17.48	108481014	\$38.86	108483027	\$38.86
108471052	\$17.48	108481015	\$38.86	108483028	\$38.86
108471053	\$17.48	108481016	\$38.86	108483029	\$38.86
108471054	\$17.48	108481017	\$38.86	108483030	\$38.86
108471055	\$17.48	108481018	\$38.86	108483031	\$38.86
108471056	\$17.48	108481019	\$38.86	108484001	\$38.86
108471058	\$17.48	108481020	\$38.86	108484002	\$38.86
108471059	\$17.48	108481021	\$38.86	108484003	\$38.86
108471060	\$17.48	108481022	\$38.86	108484004	\$38.86
108471061	\$17.48	108481023	\$38.86	108484005	\$38.86
108471062	\$17.48	108481024	\$38.86	108484006	\$38.86
108471063	\$17.48	108482002	\$38.86	108484007	\$38.86
108471064	\$17.48	108482003	\$38.86	108484008	\$38.86
108471065	\$17.48	108482004	\$38.86	108484009	\$38.86
108471066	\$17.48	108482005	\$38.86	108484010	\$38.86
108471067	\$17.48	108482006	\$38.86	108484011	\$38.86
108471068	\$17.48	108482007	\$38.86	108484012	\$38.86
108471069	\$17.48	108483001	\$38.86	108484013	\$38.86
108471071	\$17.48	108483002	\$38.86	108484014	\$38.86
108471072	\$17.48	108483003	\$38.86	108484015	\$38.86
108471073	\$17.48	108483004	\$38.86	108484016	\$38.86
108471074	\$17.48	108483005	\$38.86	108484017	\$38.86
108471075	\$17.48	108483006	\$38.86	108491001	\$38.86
108471076	\$17.48	108483007	\$38.86	108491002	\$38.86
108471077	\$17.48	108483008	\$38.86	108491003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108471078	\$17.48	108483009	\$38.86	108491004	\$38.86
108471079	\$17.48	108483010	\$38.86	108491005	\$38.86
108471080	\$17.48	108483011	\$38.86	108491006	\$38.86
108471081	\$17.48	108483012	\$38.86	108491007	\$38.86
108471082	\$17.48	108483013	\$38.86	108491008	\$38.86
108481001	\$38.86	108483014	\$38.86	108491009	\$38.86
108481002	\$38.86	108483015	\$38.86	108491010	\$38.86
108481003	\$38.86	108483016	\$38.86	108491011	\$38.86
108481004	\$38.86	108483017	\$38.86	108491012	\$38.86
108481005	\$38.86	108483018	\$38.86	108491013	\$38.86
108481006	\$38.86	108483019	\$38.86	108491014	\$39.96
108491015	\$38.86	108493016	\$38.86	108504001	\$67.36
108491016	\$38.86	108493017	\$38.86	108504002	\$67.36
108491017	\$38.86	108493018	\$38.86	108504003	\$49.22
108491018	\$38.86	108493019	\$38.86	108504004	\$49.22
108492001	\$38.86	108493020	\$38.86	108504005	\$49.22
108492002	\$38.86	108493021	\$38.86	108504006	\$67.36
108492003	\$38.86	108493022	\$38.86	108504007	\$67.36
108492004	\$38.86	108493023	\$38.86	108504008	\$38.86
108492005	\$38.86	108501002	\$77.72	108504009	\$38.86
108492006	\$38.86	108501003	\$77.72	108504010	\$38.86
108492007	\$38.86	108501004	\$77.72	108504011	\$38.86
108492008	\$38.86	108501005	\$38.86	108504012	\$67.36
108492009	\$38.86	108501006	\$49.22	108511001	\$17.48
108492010	\$38.86	108501007	\$38.86	108511002	\$17.48
108492011	\$38.86	108501008	\$38.86	108511003	\$17.48
108492012	\$38.86	108501009	\$38.86	108511004	\$17.48
108492013	\$38.86	108501010	\$38.86	108511005	\$17.48
108492014	\$38.86	108501011	\$38.86	108511006	\$17.48
108492015	\$38.86	108501012	\$38.86	108511007	\$17.48
108492016	\$38.86	108501015	\$67.36	108511008	\$17.48
108492017	\$38.86	108501016	\$67.36	108511009	\$17.48
108492018	\$38.86	108501017	\$67.36	108511010	\$17.48
108492019	\$38.86	108501018	\$67.36	108511012	\$17.48
108492020	\$38.86	108501019	\$67.36	108511013	\$17.48
108492021	\$38.86	108501020	\$49.22	108511014	\$17.48
108492022	\$38.86	108501021	\$49.22	108511015	\$17.48
108492023	\$38.86	108501022	\$67.36	108511016	\$17.48
108492024	\$38.86	108501023	\$67.36	108511017	\$17.48
108493001	\$38.86	108501024	\$67.36	108511018	\$17.48
108493002	\$38.86	108501025	\$67.36	108511019	\$17.48
108493003	\$38.86	108501026	\$67.36	108511020	\$17.48
108493004	\$38.86	108502001	\$67.36	108511021	\$17.48
108493005	\$38.86	108502002	\$67.36	108511022	\$17.48
108493006	\$38.86	108502003	\$67.36	108511023	\$17.48
108493007	\$38.86	108502004	\$67.36	108511024	\$17.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108493008	\$38.86	108502005	\$67.36	108511025	\$17.48
108493009	\$38.86	108502006	\$67.36	108511026	\$17.48
108493010	\$38.86	108502007	\$67.36	108511027	\$17.48
108493011	\$38.86	108502008	\$67.36	108511028	\$17.48
108493012	\$38.86	108502009	\$67.36	108511029	\$17.48
108493013	\$38.86	108503001	\$137.30	108511031	\$17.48
108493014	\$38.86	108503002	\$137.30	108511032	\$17.48
108493015	\$38.86	108503008	\$165.80	108511033	\$17.48
108511034	\$17.48	108521003	\$38.86	108522024	\$38.86
108511035	\$17.48	108521004	\$38.86	108522025	\$38.86
108511036	\$17.48	108521005	\$38.86	108522026	\$67.36
108511037	\$17.48	108521007	\$49.22	108522027	\$67.36
108511038	\$17.48	108521008	\$38.86	108522028	\$38.86
108511039	\$17.48	108521009	\$38.86	108522029	\$38.86
108511040	\$17.48	108521010	\$38.86	108522030	\$38.86
108511041	\$17.48	108521011	\$38.86	108522031	\$38.86
108511042	\$17.48	108521012	\$38.86	108522032	\$38.86
108511043	\$17.48	108521013	\$38.86	108531001	\$49.22
108511044	\$17.48	108521014	\$38.86	108531002	\$38.86
108511045	\$17.48	108521018	\$38.86	108531003	\$38.86
108511046	\$17.48	108521019	\$38.86	108531004	\$38.86
108511047	\$17.48	108521020	\$38.86	108531005	\$38.86
108511048	\$17.48	108521021	\$38.86	108531006	\$38.86
108511050	\$17.48	108521022	\$38.86	108531007	\$38.86
108511051	\$17.48	108521023	\$49.22	108531008	\$38.86
108511052	\$17.48	108521026	\$49.22	108531009	\$38.86
108511053	\$17.48	108521027	\$38.86	108531010	\$38.86
108511054	\$17.48	108521028	\$38.86	108531011	\$49.22
108511055	\$17.48	108521029	\$38.86	108531012	\$77.72
108511056	\$17.48	108521030	\$38.86	108531013	\$38.86
108511057	\$17.48	108521031	\$38.86	108531014	\$38.86
108511058	\$17.48	108521032	\$67.36	108531015	\$38.86
108511059	\$17.48	108521035	\$49.22	108531016	\$67.36
108511060	\$17.48	108522001	\$38.86	108531017	\$38.86
108511061	\$17.48	108522002	\$38.86	108531018	\$38.86
108511063	\$17.48	108522003	\$38.86	108531019	\$67.36
108511064	\$17.48	108522004	\$142.46	108531020	\$38.86
108511065	\$17.48	108522005	\$38.86	108531021	\$38.86
108511066	\$17.48	108522006	\$67.36	108531022	\$38.86
108511067	\$17.48	108522007	\$67.36	108531023	\$38.86
108511068	\$17.48	108522008	\$38.86	108531024	\$38.86
108511069	\$17.48	108522009	\$38.86	108531025	\$38.86
108511070	\$17.48	108522015	\$38.86	108531026	\$38.86
108511071	\$17.48	108522016	\$67.36	108531027	\$38.86
108511072	\$17.48	108522017	\$38.86	108532001	\$67.36
108511073	\$17.48	108522018	\$38.86	108532002	\$67.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108511074	\$17.48	108522019	\$38.86	108532003	\$67.36
108511075	\$17.48	108522020	\$38.86	108532004	\$67.36
108511076	\$17.48	108522021	\$38.86	108532005	\$67.36
108521001	\$38.86	108522022	\$67.36	108541001	\$38.86
108521002	\$38.86	108522023	\$38.86	108541002	\$38.86
108541003	\$38.86	108554006	\$38.86	108571008	\$77.72
108541004	\$38.86	108554007	\$38.86	108571009	\$77.72
108541005	\$38.86	108554008	\$38.86	108571010	\$77.72
108541006	\$38.86	108554009	\$38.86	108571011	\$49.22
108541007	\$38.86	108555001	\$38.86	108571012	\$49.22
108541008	\$38.86	108555002	\$38.86	108571013	\$59.58
108541009	\$38.86	108560001	\$38.86	108571014	\$88.08
108541010	\$38.86	108560002	\$38.86	108571015	\$49.22
108541011	\$38.86	108560003	\$38.86	108572001	\$77.72
108541012	\$38.86	108560004	\$38.86	108572002	\$77.72
108542001	\$38.86	108560005	\$38.86	108572003	\$77.72
108542002	\$38.86	108560006	\$38.86	108572005	\$77.72
108542003	\$38.86	108560008	\$38.86	108572006	\$77.72
108542004	\$38.86	108560009	\$38.86	108572007	\$77.72
108542005	\$38.86	108560010	\$38.86	108572008	\$106.22
108542006	\$38.86	108560011	\$38.86	108573001	\$77.72
108542007	\$38.86	108560012	\$38.86	108573002	\$77.72
108542008	\$38.86	108560013	\$38.86	108573003	\$88.08
108542009	\$38.86	108560014	\$38.86	108581002	\$77.72
108551001	\$38.86	108560015	\$38.86	108581003	\$67.36
108551002	\$38.86	108560016	\$38.86	108581004	\$67.36
108551003	\$38.86	108560017	\$38.86	108581005	\$59.58
108551004	\$38.86	108560018	\$38.86	108581006	\$77.72
108551005	\$38.86	108560019	\$38.86	108581007	\$77.72
108551006	\$38.86	108560020	\$38.86	108581008	\$77.72
108551007	\$38.86	108560021	\$38.86	108581009	\$88.08
108552001	\$38.86	108560022	\$38.86	108581010	\$68.46
108552002	\$38.86	108560023	\$38.86	108581011	\$147.66
108552003	\$38.86	108560024	\$38.86	108581012	\$88.08
108552004	\$38.86	108560025	\$38.86	108581013	\$88.08
108552005	\$38.86	108560026	\$38.86	108581014	\$77.72
108552006	\$38.86	108560027	\$38.86	108581015	\$77.72
108553001	\$38.86	108560028	\$38.86	108581016	\$77.72
108553002	\$38.86	108560029	\$38.86	108581017	\$77.72
108553003	\$38.86	108560030	\$38.86	108581018	\$67.36
108553004	\$38.86	108560031	\$38.86	108581019	\$77.72
108553005	\$38.86	108560032	\$38.86	108582001	\$77.72
108553006	\$38.86	108571002	\$77.72	108582002	\$49.22
108554001	\$38.86	108571003	\$77.72	108582003	\$39.96
108554002	\$38.86	108571004	\$77.72	108582004	\$68.46
108554003	\$38.86	108571005	\$59.58	108582006	\$129.52

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108554004	\$38.86	108571006	\$49.22	108590001	\$77.72
108554005	\$38.86	108571007	\$59.58	108590002	\$77.72
108590003	\$77.72	108601020	\$77.72	109021006	\$38.86
108590004	\$77.72	108610001	\$77.72	109021007	\$38.86
108590005	\$88.08	108610002	\$77.72	109021008	\$48.12
108590006	\$77.72	108610003	\$77.72	109021009	\$48.12
108590007	\$77.72	108610004	\$77.72	109021010	\$38.86
108590008	\$77.72	108610005	\$77.72	109021011	\$38.86
108590009	\$49.22	108610006	\$67.36	109021012	\$38.86
108590010	\$49.22	108610007	\$38.86	109021013	\$38.86
108590011	\$49.22	108610008	\$38.86	109021014	\$38.86
108590012	\$49.22	108610009	\$49.22	109021015	\$38.86
108590013	\$77.72	108610010	\$77.72	109021016	\$38.86
108590014	\$77.72	108610011	\$67.36	109021017	\$38.86
108590015	\$77.72	108610012	\$67.36	109021018	\$38.86
108590016	\$77.72	108610013	\$67.36	109021019	\$38.86
108590017	\$77.72	108610014	\$67.36	109021020	\$38.86
108600001	\$49.22	108610015	\$67.36	109021021	\$38.86
108600002	\$49.22	108610016	\$67.36	109021022	\$38.86
108600003	\$49.22	108610017	\$67.36	109021023	\$38.86
108600004	\$77.72	108610018	\$49.22	109021024	\$38.86
108600005	\$77.72	108610019	\$77.72	109021025	\$48.12
108600006	\$77.72	108610020	\$38.86	109022002	\$38.86
108600007	\$77.72	108610021	\$49.22	109022003	\$158.02
108600008	\$77.72	108610022	\$67.36	109022004	\$38.86
108600009	\$137.30	108610023	\$67.36	109022005	\$38.86
108601001	\$88.08	108610024	\$67.36	109022006	\$38.86
108601002	\$98.44	108610025	\$67.36	109022007	\$38.86
108601003	\$88.08	108610026	\$77.72	109022008	\$38.86
108601004	\$77.72	108611001	\$67.36	109022009	\$38.86
108601005	\$77.72	108611002	\$67.36	109022010	\$38.86
108601006	\$77.72	108611003	\$67.36	109022011	\$38.86
108601007	\$77.72	108611004	\$67.36	109022012	\$38.86
108601008	\$108.80	108611005	\$67.36	109022013	\$38.86
108601009	\$88.08	108611006	\$20.72	109022014	\$38.86
108601010	\$77.72	108611007	\$77.72	109022015	\$38.86
108601011	\$77.72	108611008	\$77.72	109022016	\$38.86
108601012	\$77.72	108611009	\$77.72	109022017	\$38.86
108601013	\$77.72	108611010	\$67.36	109031002	\$38.86
108601014	\$49.22	108611011	\$67.36	109031003	\$67.36
108601015	\$49.22	109021001	\$114.76	109031004	\$67.36
108601016	\$49.22	109021002	\$57.38	109031005	\$38.86
108601017	\$77.72	109021003	\$38.86	109031006	\$38.86
108601018	\$77.72	109021004	\$67.74	109031008	\$77.72
108601019	\$77.72	109021005	\$48.12	109031009	\$38.86
109031010	\$38.86	109041014	\$38.86	109051019	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109031011	\$38.86	109041015	\$38.86	109051020	\$38.86
109031012	\$49.22	109041016	\$38.86	109051022	\$38.86
109031013	\$77.72	109041017	\$38.86	109051023	\$38.86
109031014	\$67.36	109041018	\$38.86	109051025	\$38.86
109031015	\$38.86	109041019	\$38.86	109051026	\$38.86
109031016	\$38.86	109041020	\$38.86	109051033	\$38.86
109031017	\$38.86	109041021	\$38.86	109051036	\$38.86
109031018	\$77.72	109041022	\$38.86	109051037	\$137.30
109031019	\$38.86	109041023	\$38.86	109051038	\$38.86
109031020	\$38.86	109042001	\$38.86	109051039	\$49.22
109031021	\$38.86	109042004	\$38.86	109052002	\$38.86
109031022	\$34.22	109042005	\$38.86	109052003	\$38.86
109032001	\$77.72	109042006	\$67.74	109052004	\$38.86
109032002	\$38.86	109042007	\$38.86	109052005	\$38.86
109032003	\$38.86	109043002	\$38.86	109052006	\$38.86
109032004	\$38.86	109043003	\$38.86	109052007	\$38.86
109032005	\$38.86	109043004	\$38.86	109052008	\$38.86
109032006	\$38.86	109043005	\$38.86	109052009	\$49.22
109033001	\$38.86	109043006	\$38.86	109052010	\$38.86
109033002	\$77.72	109043007	\$77.72	109052011	\$38.86
109033003	\$38.86	109043008	\$38.86	109052012	\$38.86
109033004	\$38.86	109043009	\$38.86	109052013	\$38.86
109033005	\$38.86	109043010	\$38.86	109052014	\$38.86
109033006	\$38.86	109043011	\$38.86	109061001	\$38.86
109033007	\$38.86	109043012	\$38.86	109061002	\$38.86
109033008	\$38.86	109043013	\$38.86	109061003	\$38.86
109033009	\$38.86	109043014	\$38.86	109061004	\$38.86
109033010	\$77.72	109043016	\$38.86	109061005	\$38.86
109033011	\$38.86	109043017	\$38.86	109061008	\$38.86
109033012	\$77.72	109043018	\$38.86	109061009	\$38.86
109041001	\$77.72	109043019	\$38.86	109061010	\$67.74
109041002	\$38.86	109051007	\$38.86	109061011	\$38.86
109041003	\$38.86	109051008	\$38.86	109061012	\$38.86
109041004	\$38.86	109051009	\$38.86	109061013	\$38.86
109041005	\$38.86	109051010	\$38.86	109061014	\$38.86
109041006	\$48.12	109051011	\$38.86	109062001	\$38.86
109041007	\$38.86	109051013	\$49.22	109062002	\$38.86
109041008	\$38.86	109051014	\$38.86	109062003	\$38.86
109041010	\$38.86	109051015	\$49.22	109062004	\$38.86
109041011	\$38.86	109051016	\$49.22	109062005	\$38.86
109041012	\$38.86	109051017	\$38.86	109062006	\$38.86
109041013	\$38.86	109051018	\$49.22	109063001	\$38.86
109063002	\$38.86	109071002	\$38.86	109075008	\$38.86
109063003	\$38.86	109071003	\$38.86	109075009	\$38.86
109063004	\$38.86	109071004	\$38.86	109075010	\$38.86
109063005	\$38.86	109071005	\$38.86	109081001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109063006	\$38.86	109071006	\$38.86	109081002	\$38.86
109063007	\$38.86	109072001	\$38.86	109081003	\$38.86
109063008	\$38.86	109072002	\$38.86	109081004	\$38.86
109063009	\$38.86	109072003	\$38.86	109081005	\$38.86
109063010	\$38.86	109072004	\$38.86	109081006	\$38.86
109063011	\$38.86	109072005	\$38.86	109081007	\$38.86
109063012	\$38.86	109072006	\$48.12	109081008	\$38.86
109064001	\$38.86	109072007	\$38.86	109081009	\$38.86
109064002	\$38.86	109072008	\$38.86	109081010	\$38.86
109064003	\$38.86	109072009	\$38.86	109081011	\$38.86
109064004	\$38.86	109072010	\$38.86	109081012	\$38.86
109064005	\$38.86	109072011	\$38.86	109081013	\$38.86
109064006	\$38.86	109072012	\$38.86	109081014	\$38.86
109064007	\$38.86	109072013	\$38.86	109081015	\$38.86
109064008	\$38.86	109073001	\$38.86	109081016	\$67.36
109064009	\$38.86	109073002	\$38.86	109082001	\$38.86
109064010	\$38.86	109073003	\$38.86	109082002	\$38.86
109064011	\$38.86	109073004	\$38.86	109082003	\$38.86
109064012	\$38.86	109073005	\$38.86	109082004	\$38.86
109064013	\$38.86	109073006	\$38.86	109082005	\$38.86
109064014	\$38.86	109073007	\$38.86	109082006	\$38.86
109064015	\$38.86	109073008	\$38.86	109082007	\$38.86
109064016	\$38.86	109074001	\$38.86	109082008	\$38.86
109064017	\$38.86	109074002	\$38.86	109082009	\$38.86
109064018	\$38.86	109074003	\$38.86	109082010	\$38.86
109064019	\$38.86	109074004	\$38.86	109083001	\$38.86
109064020	\$38.86	109074005	\$38.86	109083002	\$38.86
109065001	\$38.86	109074006	\$38.86	109083003	\$38.86
109065002	\$38.86	109074008	\$38.86	109083004	\$38.86
109065003	\$38.86	109074009	\$38.86	109083005	\$38.86
109065004	\$49.22	109074010	\$38.86	109083006	\$38.86
109065005	\$38.86	109074011	\$38.86	109083007	\$38.86
109065006	\$38.86	109075001	\$38.86	109083008	\$38.86
109065007	\$38.86	109075002	\$38.86	109083009	\$38.86
109065008	\$49.22	109075003	\$38.86	109083010	\$38.86
109065009	\$38.86	109075004	\$38.86	109083011	\$38.86
109065010	\$38.86	109075005	\$38.86	109083012	\$38.86
109065011	\$38.86	109075006	\$38.86	109083013	\$38.86
109071001	\$38.86	109075007	\$38.86	109083014	\$38.86
109083015	\$38.86	109092012	\$38.86	109094018	\$38.86
109083016	\$38.86	109092013	\$38.86	109094019	\$38.86
109083017	\$38.86	109092014	\$38.86	109094020	\$38.86
109083018	\$38.86	109092015	\$38.86	109094021	\$38.86
109083019	\$38.86	109092016	\$38.86	109094022	\$38.86
109083020	\$38.86	109093001	\$38.86	109094023	\$38.86
109083021	\$38.86	109093002	\$38.86	109101001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109083022	\$38.86	109093003	\$38.86	109101002	\$38.86
109083023	\$38.86	109093004	\$38.86	109101003	\$38.86
109083024	\$38.86	109093005	\$38.86	109101004	\$38.86
109083025	\$38.86	109093006	\$38.86	109101005	\$38.86
109083026	\$38.86	109093007	\$38.86	109101006	\$38.86
109084001	\$38.86	109093008	\$38.86	109101007	\$38.86
109084002	\$38.86	109093009	\$38.86	109101008	\$38.86
109084003	\$38.86	109093010	\$38.86	109101009	\$38.86
109084004	\$38.86	109093011	\$38.86	109101010	\$38.86
109084005	\$38.86	109093012	\$38.86	109101011	\$38.86
109084006	\$38.86	109093013	\$38.86	109101012	\$38.86
109084007	\$38.86	109093014	\$38.86	109101013	\$38.86
109084008	\$38.86	109093015	\$38.86	109101014	\$38.86
109084009	\$38.86	109093016	\$38.86	109101015	\$38.86
109084010	\$38.86	109093017	\$38.86	109101016	\$38.86
109084011	\$38.86	109093018	\$38.86	109101017	\$38.86
109084012	\$38.86	109093019	\$38.86	109101018	\$38.86
109084013	\$38.86	109093020	\$38.86	109101019	\$38.86
109091001	\$38.86	109093021	\$38.86	109101020	\$38.86
109091002	\$38.86	109094001	\$38.86	109101021	\$38.86
109091003	\$38.86	109094002	\$38.86	109101022	\$38.86
109091004	\$38.86	109094003	\$38.86	109101023	\$38.86
109091005	\$38.86	109094004	\$38.86	109102001	\$38.86
109091006	\$38.86	109094005	\$38.86	109102002	\$38.86
109091007	\$38.86	109094006	\$38.86	109102003	\$38.86
109092001	\$38.86	109094007	\$38.86	109102004	\$38.86
109092002	\$38.86	109094008	\$38.86	109102005	\$38.86
109092003	\$38.86	109094009	\$38.86	109102006	\$38.86
109092004	\$38.86	109094010	\$38.86	109102007	\$38.86
109092005	\$38.86	109094011	\$38.86	109102008	\$38.86
109092006	\$38.86	109094012	\$38.86	109102009	\$38.86
109092007	\$38.86	109094013	\$38.86	109103001	\$38.86
109092008	\$38.86	109094014	\$38.86	109103002	\$38.86
109092009	\$38.86	109094015	\$38.86	109103003	\$38.86
109092010	\$38.86	109094016	\$38.86	109103004	\$38.86
109092011	\$38.86	109094017	\$38.86	109103005	\$38.86
109103006	\$38.86	109122002	\$38.86	109125010	\$38.86
109103007	\$38.86	109122003	\$38.86	109125011	\$38.86
109103008	\$38.86	109122004	\$38.86	109125012	\$38.86
109103009	\$38.86	109122005	\$38.86	109131001	\$38.86
109103010	\$38.86	109122006	\$38.86	109131002	\$38.86
109104001	\$38.86	109122007	\$38.86	109131003	\$38.86
109104002	\$38.86	109122008	\$38.86	109131004	\$38.86
109104003	\$38.86	109123001	\$38.86	109131005	\$49.22
109104004	\$38.86	109123002	\$38.86	109132001	\$38.86
109104005	\$38.86	109123003	\$38.86	109132002	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109104006	\$38.86	109123004	\$38.86	109132003	\$38.86
109104007	\$38.86	109123005	\$38.86	109132004	\$38.86
109104008	\$38.86	109123006	\$38.86	109132005	\$49.22
109104009	\$38.86	109123007	\$38.86	109132006	\$49.22
109104010	\$38.86	109123008	\$38.86	109132007	\$38.86
109104011	\$38.86	109123009	\$38.86	109132008	\$38.86
109104012	\$38.86	109123010	\$38.86	109132009	\$38.86
109110001	\$38.86	109123011	\$38.86	109132010	\$38.86
109110002	\$38.86	109123012	\$38.86	109133001	\$38.86
109110003	\$38.86	109123013	\$38.86	109133002	\$38.86
109110004	\$38.86	109123014	\$38.86	109133003	\$38.86
109110005	\$38.86	109123015	\$38.86	109133005	\$38.86
109110006	\$38.86	109123016	\$38.86	109133006	\$38.86
109110007	\$38.86	109123017	\$38.86	109133007	\$38.86
109110008	\$38.86	109123018	\$38.86	109133008	\$38.86
109110009	\$38.86	109123019	\$38.86	109133009	\$38.86
109110010	\$38.86	109123020	\$38.86	109133010	\$38.86
109110011	\$38.86	109123021	\$38.86	109133011	\$38.86
109110012	\$38.86	109124001	\$38.86	109133012	\$38.86
109110013	\$38.86	109124002	\$38.86	109134001	\$38.86
109110014	\$38.86	109124003	\$38.86	109134002	\$38.86
109110015	\$38.86	109124004	\$38.86	109134003	\$38.86
109110016	\$38.86	109124005	\$38.86	109134004	\$38.86
109110017	\$38.86	109124006	\$38.86	109134005	\$38.86
109121001	\$38.86	109125001	\$38.86	109134006	\$38.86
109121002	\$38.86	109125002	\$38.86	109135002	\$38.86
109121003	\$38.86	109125003	\$38.86	109135003	\$38.86
109121004	\$38.86	109125004	\$38.86	109135004	\$38.86
109121005	\$38.86	109125005	\$38.86	109135005	\$38.86
109121006	\$38.86	109125006	\$38.86	109141001	\$38.86
109121007	\$38.86	109125007	\$38.86	109141002	\$38.86
109121008	\$38.86	109125008	\$38.86	109141003	\$38.86
109122001	\$38.86	109125009	\$38.86	109141004	\$38.86
109141005	\$38.86	109143002	\$38.86	109163005	\$38.86
109141006	\$38.86	109143003	\$38.86	109163006	\$38.86
109141007	\$38.86	109143004	\$38.86	109163007	\$38.86
109141008	\$38.86	109143005	\$38.86	109163008	\$38.86
109141009	\$38.86	109143006	\$38.86	109163009	\$38.86
109141010	\$38.86	109143007	\$38.86	109163010	\$38.86
109141011	\$38.86	109143008	\$38.86	109171001	\$77.72
109141012	\$38.86	109143009	\$38.86	109171002	\$77.72
109141013	\$38.86	109143010	\$38.86	109171003	\$77.72
109141014	\$38.86	109143011	\$38.86	109171004	\$77.72
109141015	\$38.86	109143012	\$38.86	109171005	\$77.72
109141016	\$38.86	109143013	\$38.86	109171006	\$77.72
109142001	\$38.86	109143014	\$67.36	109171007	\$77.72

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109142002	\$38.86	109143015	\$67.36	109171008	\$77.72
109142003	\$38.86	109161001	\$38.86	109171009	\$77.72
109142004	\$38.86	109161002	\$38.86	109171010	\$77.72
109142005	\$38.86	109161003	\$38.86	109171011	\$77.72
109142006	\$38.86	109161004	\$38.86	109171012	\$77.72
109142007	\$38.86	109161005	\$38.86	109171013	\$77.72
109142008	\$38.86	109161006	\$38.86	109171014	\$77.72
109142009	\$38.86	109161007	\$38.86	109171015	\$77.72
109142010	\$38.86	109161008	\$38.86	109171016	\$77.72
109142011	\$38.86	109161009	\$38.86	109171017	\$77.72
109142012	\$38.86	109161010	\$49.22	109171018	\$77.72
109142013	\$38.86	109161011	\$38.86	109172001	\$77.72
109142014	\$38.86	109161012	\$38.86	109172002	\$77.72
109142015	\$67.36	109161013	\$38.86	109172003	\$77.72
109142016	\$67.36	109161014	\$38.86	109172004	\$77.72
109142017	\$38.86	109161015	\$38.86	109172005	\$77.72
109142018	\$38.86	109162001	\$38.86	109172006	\$77.72
109142019	\$38.86	109162002	\$38.86	109172007	\$77.72
109142020	\$38.86	109162003	\$38.86	109172008	\$77.72
109142021	\$38.86	109162004	\$38.86	109172009	\$77.72
109142022	\$38.86	109162005	\$38.86	109173001	\$77.72
109142023	\$38.86	109162006	\$38.86	109173002	\$77.72
109142024	\$38.86	109162007	\$38.86	109173003	\$77.72
109142025	\$38.86	109162008	\$38.86	109173004	\$77.72
109142026	\$38.86	109162009	\$38.86	109173005	\$77.72
109142027	\$38.86	109162010	\$38.86	109173006	\$77.72
109142028	\$38.86	109163001	\$38.86	109173007	\$77.72
109142029	\$38.86	109163002	\$38.86	109173008	\$77.72
109142030	\$38.86	109163003	\$38.86	109173009	\$77.72
109143001	\$38.86	109163004	\$38.86	109174001	\$77.72
109174002	\$77.72	109185001	\$67.36	109193005	\$38.86
109174003	\$77.72	109185002	\$67.36	109193006	\$38.86
109174004	\$77.72	109185003	\$67.36	109193007	\$38.86
109174005	\$77.72	109185004	\$67.36	109193008	\$38.86
109181001	\$67.36	109185005	\$67.36	109193009	\$38.86
109181002	\$67.36	109185006	\$67.36	109193010	\$38.86
109181003	\$67.36	109185007	\$67.36	109201001	\$38.86
109181004	\$67.36	109185008	\$67.36	109201002	\$38.86
109181005	\$67.36	109185009	\$67.36	109201003	\$38.86
109181006	\$67.36	109186001	\$67.36	109201004	\$38.86
109181007	\$67.36	109186002	\$67.36	109201005	\$38.86
109181008	\$67.36	109186003	\$67.36	109201006	\$38.86
109181009	\$67.36	109186004	\$67.36	109201007	\$38.86
109182001	\$67.36	109191001	\$38.86	109201008	\$38.86
109182002	\$67.36	109191002	\$38.86	109202001	\$38.86
109182003	\$67.36	109191003	\$38.86	109202002	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109182004	\$67.36	109191004	\$38.86	109202003	\$38.86
109183001	\$67.36	109191005	\$38.86	109202004	\$38.86
109183002	\$67.36	109191006	\$38.86	109202005	\$38.86
109183003	\$67.36	109191007	\$38.86	109202006	\$38.86
109183004	\$67.36	109191008	\$38.86	109202007	\$38.86
109183005	\$67.36	109191009	\$38.86	109202008	\$38.86
109183006	\$67.36	109191010	\$38.86	109202009	\$38.86
109183007	\$67.36	109191011	\$38.86	109202010	\$38.86
109183008	\$67.36	109191012	\$38.86	109203001	\$38.86
109183009	\$67.36	109191013	\$38.86	109203002	\$38.86
109183010	\$67.36	109191014	\$38.86	109203003	\$38.86
109183011	\$67.36	109191015	\$38.86	109203004	\$38.86
109183012	\$67.36	109191016	\$38.86	109203005	\$38.86
109183013	\$67.36	109192001	\$38.86	109203006	\$38.86
109183014	\$67.36	109192002	\$38.86	109203007	\$38.86
109183015	\$67.36	109192003	\$38.86	109203008	\$38.86
109183016	\$67.36	109192004	\$38.86	109203009	\$38.86
109183017	\$67.36	109192005	\$38.86	109203010	\$38.86
109183018	\$67.36	109192006	\$38.86	109204001	\$38.86
109184001	\$67.36	109192007	\$38.86	109204002	\$38.86
109184002	\$67.36	109192008	\$38.86	109204003	\$38.86
109184003	\$67.36	109192009	\$38.86	109204004	\$38.86
109184004	\$67.36	109192010	\$38.86	109204005	\$38.86
109184005	\$67.36	109193001	\$38.86	109204006	\$38.86
109184006	\$67.36	109193002	\$38.86	109204007	\$38.86
109184007	\$67.36	109193003	\$38.86	109204008	\$38.86
109184008	\$67.36	109193004	\$38.86	109204009	\$38.86
109211001	\$38.86	109221005	\$49.22	109223033	\$38.86
109211002	\$38.86	109221006	\$49.22	109223034	\$38.86
109211003	\$38.86	109221007	\$49.22	109223035	\$38.86
109211004	\$38.86	109221008	\$49.22	109223036	\$38.86
109211005	\$38.86	109221009	\$49.22	109223037	\$38.86
109211006	\$38.86	109221010	\$49.22	109223038	\$38.86
109211007	\$38.86	109222001	\$49.22	109223039	\$38.86
109211008	\$38.86	109222002	\$49.22	109223040	\$38.86
109211009	\$38.86	109222003	\$49.22	109231001	\$38.86
109211010	\$38.86	109222004	\$49.22	109231002	\$38.86
109211011	\$38.86	109222005	\$49.22	109231003	\$38.86
109212001	\$38.86	109223001	\$38.86	109231004	\$38.86
109212002	\$38.86	109223002	\$38.86	109231005	\$38.86
109212003	\$38.86	109223003	\$38.86	109232001	\$38.86
109212004	\$38.86	109223004	\$38.86	109232002	\$38.86
109212005	\$38.86	109223005	\$38.86	109232003	\$38.86
109212006	\$38.86	109223006	\$38.86	109232004	\$38.86
109212007	\$38.86	109223007	\$38.86	109232005	\$38.86
109212008	\$38.86	109223008	\$38.86	109232006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109212009	\$38.86	109223009	\$38.86	109232007	\$38.86
109213001	\$38.86	109223010	\$38.86	109232008	\$38.86
109213002	\$38.86	109223011	\$38.86	109232009	\$38.86
109213003	\$38.86	109223012	\$38.86	109232010	\$38.86
109213004	\$38.86	109223013	\$38.86	109233001	\$38.86
109213005	\$38.86	109223014	\$38.86	109233002	\$38.86
109213006	\$38.86	109223015	\$38.86	109233003	\$38.86
109213007	\$38.86	109223016	\$38.86	109233004	\$38.86
109213008	\$38.86	109223017	\$38.86	109233005	\$38.86
109213009	\$38.86	109223018	\$38.86	109233006	\$38.86
109213010	\$38.86	109223019	\$38.86	109233007	\$38.86
109214001	\$38.86	109223020	\$38.86	109233008	\$38.86
109214002	\$38.86	109223021	\$38.86	109233009	\$38.86
109214003	\$38.86	109223022	\$38.86	109233010	\$38.86
109214004	\$38.86	109223023	\$38.86	109234001	\$38.86
109214005	\$38.86	109223024	\$38.86	109234002	\$38.86
109214006	\$38.86	109223025	\$38.86	109234003	\$38.86
109214007	\$38.86	109223026	\$38.86	109234004	\$38.86
109214008	\$38.86	109223027	\$38.86	109234005	\$38.86
109214009	\$38.86	109223028	\$38.86	109234006	\$38.86
109221001	\$49.22	109223029	\$38.86	109234007	\$38.86
109221002	\$49.22	109223030	\$38.86	109234008	\$38.86
109221003	\$49.22	109223031	\$38.86	109234009	\$38.86
109221004	\$49.22	109223032	\$38.86	109234010	\$38.86
109234011	\$38.86	109242010	\$38.86	109261005	\$38.86
109234012	\$38.86	109251001	\$67.36	109261006	\$38.86
109234013	\$38.86	109251002	\$67.36	109261007	\$38.86
109234014	\$38.86	109251003	\$67.36	109261008	\$38.86
109234015	\$38.86	109251004	\$67.36	109261009	\$38.86
109234016	\$38.86	109251005	\$67.36	109261010	\$38.86
109234017	\$38.86	109251006	\$67.36	109261011	\$38.86
109234018	\$38.86	109251007	\$67.36	109261012	\$38.86
109234019	\$38.86	109251008	\$67.36	109261013	\$38.86
109234020	\$38.86	109251009	\$67.36	109261014	\$38.86
109235001	\$38.86	109251010	\$38.86	109261015	\$38.86
109235002	\$38.86	109251011	\$38.86	109261016	\$38.86
109235003	\$38.86	109251012	\$38.86	109262001	\$38.86
109235004	\$38.86	109251013	\$38.86	109262002	\$38.86
109235005	\$38.86	109251014	\$38.86	109262003	\$38.86
109236001	\$38.86	109251015	\$38.86	109262004	\$38.86
109236002	\$38.86	109251016	\$38.86	109262005	\$38.86
109236003	\$38.86	109251017	\$38.86	109262006	\$38.86
109236004	\$38.86	109251018	\$38.86	109262007	\$38.86
109236005	\$38.86	109252001	\$38.86	109262008	\$38.86
109236006	\$38.86	109252002	\$38.86	109262009	\$38.86
109236007	\$38.86	109252003	\$38.86	109262010	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109236008	\$38.86	109252004	\$38.86	109262011	\$38.86
109236009	\$38.86	109252005	\$38.86	109262012	\$77.72
109236010	\$38.86	109252006	\$38.86	109262013	\$49.22
109241001	\$38.86	109252007	\$38.86	109262014	\$137.30
109241002	\$38.86	109252008	\$38.86	109262015	\$38.86
109241003	\$38.86	109252009	\$38.86	109262016	\$77.72
109241004	\$38.86	109252010	\$67.36	109271001	\$38.86
109241005	\$38.86	109252011	\$67.36	109271002	\$38.86
109241006	\$38.86	109252012	\$38.86	109271003	\$38.86
109241007	\$38.86	109252013	\$38.86	109271004	\$38.86
109241008	\$38.86	109252014	\$38.86	109271005	\$38.86
109241009	\$38.86	109252015	\$38.86	109271006	\$67.36
109242001	\$38.86	109252016	\$38.86	109272001	\$67.36
109242002	\$38.86	109252017	\$38.86	109272002	\$67.36
109242003	\$38.86	109252018	\$38.86	109272003	\$67.36
109242004	\$38.86	109252019	\$38.86	109272004	\$67.36
109242005	\$38.86	109252020	\$38.86	109272005	\$67.36
109242006	\$38.86	109261001	\$67.36	109272006	\$38.86
109242007	\$38.86	109261002	\$67.36	109272007	\$38.86
109242008	\$38.86	109261003	\$67.36	109272008	\$67.36
109242009	\$38.86	109261004	\$77.72	109272009	\$67.36
109272010	\$67.36	109282010	\$38.86	109292004	\$38.86
109272011	\$67.36	109282011	\$38.86	109292005	\$38.86
109272012	\$67.36	109282012	\$38.86	109292006	\$38.86
109272013	\$67.36	109283001	\$38.86	109292007	\$38.86
109272016	\$67.36	109283002	\$38.86	109292008	\$38.86
109272017	\$67.36	109283003	\$38.86	109292009	\$38.86
109272018	\$67.36	109283004	\$38.86	109292010	\$38.86
109272019	\$67.36	109283005	\$38.86	109292011	\$38.86
109272020	\$67.36	109283006	\$38.86	109292012	\$38.86
109272021	\$67.36	109283007	\$38.86	109292013	\$38.86
109272022	\$67.36	109283008	\$38.86	109292014	\$67.36
109272023	\$67.36	109283009	\$38.86	109292015	\$67.36
109272024	\$67.36	109283010	\$38.86	109292016	\$38.86
109273001	\$67.36	109283011	\$38.86	109292017	\$38.86
109273002	\$67.36	109283012	\$38.86	109292018	\$38.86
109273003	\$67.36	109283013	\$38.86	109292019	\$38.86
109273004	\$67.36	109283014	\$38.86	109292020	\$38.86
109273005	\$67.36	109283015	\$38.86	109292021	\$38.86
109273006	\$67.36	109283016	\$38.86	109292022	\$38.86
109273007	\$67.36	109283017	\$38.86	109292023	\$38.86
109273008	\$67.36	109283018	\$38.86	109292024	\$38.86
109273009	\$67.36	109283019	\$38.86	109292025	\$38.86
109281001	\$67.36	109283020	\$38.86	109292026	\$38.86
109281002	\$67.36	109283021	\$38.86	109292027	\$38.86
109281003	\$67.36	109283022	\$38.86	109292028	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109281004	\$38.86	109283023	\$38.86	109293001	\$38.86
109281005	\$38.86	109283024	\$38.86	109293002	\$38.86
109281006	\$38.86	109291001	\$67.36	109293003	\$38.86
109281007	\$38.86	109291002	\$38.86	109293004	\$38.86
109281008	\$38.86	109291003	\$38.86	109293005	\$38.86
109281009	\$38.86	109291004	\$38.86	109293006	\$38.86
109281010	\$38.86	109291005	\$38.86	109293007	\$38.86
109281011	\$38.86	109291006	\$38.86	109293008	\$38.86
109281012	\$67.36	109291007	\$38.86	109293009	\$38.86
109282001	\$38.86	109291008	\$38.86	109293010	\$38.86
109282002	\$38.86	109291009	\$38.86	109293011	\$38.86
109282003	\$38.86	109291010	\$38.86	109293012	\$38.86
109282004	\$38.86	109291011	\$38.86	109293013	\$67.36
109282005	\$38.86	109291012	\$38.86	109301001	\$67.36
109282006	\$38.86	109291013	\$38.86	109301002	\$67.36
109282007	\$38.86	109292001	\$38.86	109301003	\$38.86
109282008	\$38.86	109292002	\$38.86	109301004	\$38.86
109282009	\$38.86	109292003	\$38.86	109301005	\$38.86
109301006	\$38.86	109311001	\$38.86	109313010	\$38.86
109301007	\$38.86	109311002	\$38.86	109313011	\$38.86
109301008	\$38.86	109311003	\$38.86	109313012	\$38.86
109301009	\$38.86	109311004	\$38.86	109314002	\$77.72
109301010	\$38.86	109311005	\$38.86	109321001	\$38.86
109301011	\$38.86	109311006	\$38.86	109321002	\$38.86
109301012	\$38.86	109311007	\$38.86	109321003	\$38.86
109302001	\$38.86	109311008	\$38.86	109321004	\$38.86
109302002	\$38.86	109311009	\$38.86	109321005	\$38.86
109302003	\$38.86	109311010	\$38.86	109321006	\$38.86
109302004	\$38.86	109311011	\$38.86	109321007	\$38.86
109302005	\$38.86	109311012	\$38.86	109321008	\$38.86
109302006	\$38.86	109311013	\$38.86	109321009	\$38.86
109302007	\$38.86	109311014	\$77.72	109321010	\$38.86
109302008	\$38.86	109311015	\$88.08	109321011	\$38.86
109302009	\$38.86	109311016	\$77.72	109321012	\$38.86
109302010	\$38.86	109312001	\$38.86	109321013	\$38.86
109302011	\$38.86	109312002	\$38.86	109322001	\$38.86
109302012	\$38.86	109312003	\$38.86	109322002	\$38.86
109302013	\$38.86	109312004	\$38.86	109322003	\$38.86
109302014	\$38.86	109312005	\$38.86	109322004	\$38.86
109302015	\$38.86	109312006	\$38.86	109322005	\$38.86
109302016	\$38.86	109312007	\$38.86	109322006	\$38.86
109302017	\$38.86	109312008	\$38.86	109322007	\$38.86
109302018	\$67.36	109312009	\$38.86	109322008	\$38.86
109303001	\$38.86	109312010	\$38.86	109322009	\$38.86
109303002	\$77.72	109312011	\$38.86	109322010	\$38.86
109303003	\$77.72	109312012	\$38.86	109322011	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109303004	\$77.72	109312013	\$38.86	109322012	\$38.86
109303005	\$38.86	109312014	\$38.86	109322013	\$38.86
109303006	\$38.86	109312015	\$38.86	109322014	\$38.86
109303007	\$38.86	109312016	\$38.86	109322015	\$38.86
109303008	\$38.86	109312017	\$38.86	109322016	\$38.86
109303009	\$38.86	109312018	\$38.86	109322017	\$38.86
109303010	\$38.86	109313001	\$38.86	109322018	\$38.86
109303011	\$38.86	109313002	\$38.86	109322019	\$38.86
109303012	\$38.86	109313003	\$38.86	109322020	\$38.86
109303013	\$38.86	109313004	\$38.86	109323001	\$38.86
109303014	\$38.86	109313005	\$38.86	109323002	\$38.86
109303015	\$38.86	109313006	\$38.86	109323003	\$38.86
109303016	\$38.86	109313007	\$38.86	109323004	\$38.86
109303017	\$38.86	109313008	\$38.86	109323005	\$38.86
109303018	\$38.86	109313009	\$38.86	109323006	\$38.86
109323007	\$38.86	109332003	\$38.86	109341022	\$38.86
109323008	\$38.86	109332004	\$38.86	109341023	\$38.86
109323009	\$38.86	109332005	\$38.86	109341027	\$38.86
109323010	\$38.86	109332006	\$38.86	109342002	\$38.86
109323011	\$38.86	109332007	\$38.86	109342003	\$38.86
109323012	\$38.86	109332008	\$38.86	109342004	\$38.86
109323013	\$38.86	109332009	\$38.86	109342005	\$38.86
109323014	\$38.86	109332010	\$38.86	109342006	\$38.86
109323015	\$38.86	109333001	\$38.86	109342007	\$38.86
109323016	\$38.86	109333002	\$38.86	109342008	\$38.86
109323017	\$38.86	109333003	\$38.86	109342009	\$38.86
109323018	\$38.86	109333004	\$38.86	109342010	\$38.86
109323019	\$38.86	109333005	\$38.86	109342011	\$38.86
109323020	\$38.86	109333006	\$38.86	109342012	\$38.86
109331001	\$38.86	109333007	\$38.86	109342013	\$38.86
109331002	\$38.86	109333008	\$38.86	109342014	\$38.86
109331003	\$38.86	109333009	\$38.86	109342015	\$38.86
109331004	\$38.86	109333010	\$38.86	109342016	\$38.86
109331005	\$38.86	109333011	\$38.86	109342017	\$38.86
109331006	\$38.86	109333013	\$38.86	109342018	\$38.86
109331007	\$38.86	109333014	\$38.86	109342019	\$38.86
109331008	\$38.86	109333015	\$38.86	109342020	\$38.86
109331009	\$38.86	109333016	\$38.86	109342021	\$38.86
109331010	\$38.86	109333017	\$38.86	109342022	\$38.86
109331011	\$38.86	109341001	\$38.86	109342023	\$38.86
109331012	\$38.86	109341002	\$38.86	109342024	\$38.86
109331013	\$38.86	109341003	\$38.86	109381001	\$38.86
109331014	\$38.86	109341004	\$38.86	109381002	\$38.86
109331015	\$38.86	109341005	\$38.86	109382001	\$38.86
109331016	\$38.86	109341006	\$38.86	109382002	\$38.86
109331017	\$38.86	109341007	\$38.86	109382003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109331018	\$38.86	109341008	\$38.86	109382004	\$38.86
109331019	\$38.86	109341009	\$38.86	109382005	\$38.86
109331020	\$38.86	109341011	\$38.86	109382006	\$38.86
109331021	\$38.86	109341012	\$38.86	109382007	\$38.86
109331022	\$38.86	109341013	\$38.86	109382008	\$38.86
109331023	\$38.86	109341014	\$38.86	109382009	\$38.86
109331024	\$38.86	109341015	\$38.86	109382010	\$38.86
109331025	\$38.86	109341016	\$38.86	109382011	\$38.86
109331026	\$38.86	109341017	\$38.86	109382012	\$38.86
109331027	\$38.86	109341018	\$38.86	109382013	\$38.86
109332001	\$38.86	109341019	\$38.86	109382014	\$38.86
109332002	\$38.86	109341020	\$38.86	109382015	\$38.86
109382016	\$38.86	109392004	\$38.86	109403001	\$67.36
109382017	\$38.86	109392005	\$38.86	109403002	\$67.36
109382018	\$38.86	109392006	\$38.86	109403003	\$67.36
109382019	\$38.86	109392007	\$38.86	109403004	\$67.36
109382020	\$38.86	109392008	\$38.86	109403005	\$67.36
109382021	\$38.86	109392009	\$38.86	109403006	\$67.36
109382022	\$38.86	109401001	\$67.36	109403007	\$67.36
109382023	\$38.86	109401002	\$67.36	109403008	\$67.36
109382024	\$38.86	109401003	\$67.36	109403009	\$67.36
109382025	\$38.86	109401004	\$67.36	109411001	\$67.36
109382026	\$38.86	109401005	\$67.36	109411002	\$67.36
109382027	\$38.86	109401006	\$67.36	109411003	\$67.36
109382028	\$38.86	109401007	\$67.36	109411004	\$67.36
109382029	\$38.86	109401008	\$67.36	109411005	\$67.36
109382030	\$38.86	109401009	\$67.36	109411006	\$67.36
109382031	\$38.86	109402001	\$38.86	109411007	\$67.36
109382032	\$38.86	109402002	\$67.36	109411008	\$67.36
109382033	\$38.86	109402003	\$67.36	109411009	\$67.36
109390001	\$67.36	109402004	\$67.36	109412001	\$67.36
109390002	\$67.36	109402005	\$67.36	109412002	\$67.36
109390003	\$67.36	109402006	\$38.86	109412003	\$67.36
109390004	\$67.36	109402007	\$67.36	109412004	\$67.36
109390005	\$67.36	109402008	\$67.36	109412005	\$67.36
109391001	\$38.86	109402009	\$49.22	109412006	\$67.36
109391002	\$38.86	109402010	\$49.22	109412007	\$67.36
109391003	\$38.86	109402011	\$49.22	109412008	\$67.36
109391004	\$38.86	109402012	\$67.36	109412009	\$67.36
109391005	\$38.86	109402013	\$67.36	109413001	\$67.36
109391006	\$38.86	109402014	\$67.36	109413002	\$67.36
109391007	\$38.86	109402015	\$67.36	109413003	\$67.36
109391008	\$38.86	109402016	\$67.36	109413004	\$67.36
109391009	\$38.86	109402017	\$67.36	109413005	\$67.36
109391010	\$38.86	109402018	\$49.22	109413006	\$67.36
109391011	\$38.86	109402019	\$49.22	109413007	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109391012	\$38.86	109402020	\$49.22	109413008	\$67.36
109391013	\$38.86	109402021	\$67.36	109413009	\$67.36
109391014	\$38.86	109402022	\$67.36	109421001	\$38.86
109391015	\$38.86	109402023	\$67.36	109421002	\$38.86
109391016	\$38.86	109402024	\$67.36	109421003	\$38.86
109391017	\$38.86	109402025	\$67.36	109422001	\$38.86
109392001	\$38.86	109402026	\$67.36	109422002	\$49.22
109392002	\$38.86	109402027	\$67.36	109422003	\$49.22
109392003	\$38.86	109402028	\$67.36	109422004	\$38.86
109422005	\$38.86	109440004	\$67.36	110020021	\$576.08
109422008	\$38.86	109440005	\$67.36	110020022	\$76.62
109422009	\$38.86	109440006	\$67.36	110030002	\$172.14
109422010	\$49.22	109440007	\$67.36	110030003	\$143.64
109422011	\$38.86	109440008	\$67.36	110030004	\$57.38
109422012	\$38.86	109440009	\$67.36	110030008	\$57.38
109422013	\$38.86	109440010	\$67.36	110030015	\$383.82
109422014	\$38.86	109440011	\$67.36	110030016	\$115.86
109422017	\$38.86	109440012	\$67.36	110030017	\$96.24
109422018	\$38.86	109440013	\$67.36	110030020	\$48.12
109423001	\$38.86	109440014	\$67.36	110030021	\$48.12
109423002	\$38.86	109440015	\$38.86	110030022	\$48.12
109423003	\$49.22	109440016	\$38.86	110030023	\$48.12
109423004	\$49.22	109440017	\$38.86	110030024	\$48.12
109423005	\$38.86	109440018	\$38.86	110030025	\$76.62
109423006	\$38.86	109440019	\$67.36	110030026	\$76.62
109423007	\$38.86	109440020	\$67.36	110030027	\$96.24
109423008	\$38.86	109440021	\$67.36	110030028	\$67.36
109423009	\$38.86	109440022	\$67.36	110030030	\$86.98
109423010	\$38.86	109440023	\$38.86	110030031	\$96.24
109430001	\$67.36	109440024	\$38.86	110030032	\$456.42
109430002	\$67.36	109440025	\$38.86	110030033	\$449.40
109430003	\$67.36	109440026	\$67.36	110030034	\$57.38
109430004	\$67.36	109440027	\$67.36	110030035	\$144.02
109430005	\$67.36	109440028	\$38.86	110030036	\$57.38
109430006	\$67.36	109440029	\$38.86	110030037	\$258.78
109430007	\$67.36	109440030	\$38.86	110040001	\$85.88
109430008	\$77.72	109440031	\$38.86	110040023	\$114.76
109430009	\$67.36	109440032	\$67.36	110040032	\$143.64
109430010	\$77.72	109440033	\$200.64	110040033	\$172.90
109430011	\$67.36	109440034	\$143.64	110040039	\$201.02
109430012	\$67.36	109440035	\$316.54	110040041	\$146.94
109430013	\$67.36	110020002	\$143.26	110040042	\$230.66
109430014	\$67.36	110020005	\$201.40	110040044	\$144.02
109430015	\$67.36	110020008	\$106.60	110040046	\$108.08
109430016	\$77.72	110020012	\$78.10	110040052	\$258.78
109430017	\$67.36	110020014	\$143.64	110040053	\$575.70

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
109430018	\$229.90	110020015	\$143.64	110050001	\$48.12
109430019	\$143.64	110020016	\$143.64	110050002	\$48.12
109430020	\$229.52	110020017	\$172.52	110050003	\$48.12
109440001	\$38.86	110020018	\$76.62	110050004	\$48.12
109440002	\$49.22	110020019	\$29.98	110050005	\$48.12
109440003	\$67.36	110020020	\$57.38	110050006	\$48.12
110050007	\$48.12	110063011	\$38.86	110073019	\$38.86
110050008	\$48.12	110063012	\$38.86	110073020	\$38.86
110050009	\$48.12	110063013	\$38.86	110073021	\$38.86
110050010	\$48.12	110063014	\$38.86	110073022	\$38.86
110050011	\$48.12	110063015	\$38.86	110074001	\$38.86
110050012	\$48.12	110063016	\$38.86	110074002	\$38.86
110050019	\$48.12	110071004	\$48.12	110074003	\$38.86
110050020	\$38.86	110071005	\$48.12	110074004	\$38.86
110050021	\$38.86	110071006	\$48.12	110074005	\$38.86
110050023	\$38.86	110071007	\$48.12	110074006	\$38.86
110050029	\$984.30	110071008	\$48.12	110074007	\$38.86
110050031	\$48.12	110071009	\$48.12	110074008	\$38.86
110050033	\$38.86	110071010	\$48.12	110074009	\$38.86
110061010	\$114.76	110071011	\$48.12	110074010	\$38.86
110061028	\$172.14	110071012	\$96.24	110074011	\$38.86
110061030	\$229.90	110072001	\$48.12	110074012	\$38.86
110061031	\$663.10	110072002	\$48.12	110074013	\$38.86
110061032	\$258.40	110072003	\$48.12	110074014	\$38.86
110061033	\$144.02	110072004	\$48.12	110074015	\$38.86
110061034	\$315.40	110072005	\$48.12	110074016	\$38.86
110061039	\$461.70	110072006	\$48.12	110074017	\$38.86
110062002	\$57.38	110072007	\$48.12	110074018	\$38.86
110062003	\$114.76	110072008	\$48.12	110074019	\$38.86
110062005	\$38.86	110072009	\$48.12	110074020	\$38.86
110062006	\$38.86	110072013	\$360.18	110074021	\$38.86
110062007	\$38.86	110073001	\$38.86	110074022	\$38.86
110062008	\$38.86	110073002	\$38.86	110081004	\$143.64
110062009	\$38.86	110073003	\$38.86	110081009	\$38.86
110062010	\$38.86	110073004	\$38.86	110081010	\$38.86
110062011	\$38.86	110073005	\$38.86	110081011	\$38.86
110062012	\$38.86	110073006	\$38.86	110081012	\$38.86
110062013	\$143.64	110073007	\$38.86	110081013	\$38.86
110062014	\$143.64	110073008	\$38.86	110081014	\$38.86
110063001	\$38.86	110073009	\$38.86	110081015	\$38.86
110063002	\$38.86	110073010	\$38.86	110081016	\$38.86
110063003	\$38.86	110073011	\$38.86	110081017	\$38.86
110063004	\$38.86	110073012	\$38.86	110081018	\$38.86
110063005	\$38.86	110073013	\$38.86	110081019	\$38.86
110063006	\$38.86	110073014	\$38.86	110081021	\$48.12
110063007	\$38.86	110073015	\$38.86	110081025	\$114.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110063008	\$38.86	110073016	\$38.86	110081028	\$172.52
110063009	\$38.86	110073017	\$38.86	110081029	\$143.26
110063010	\$38.86	110073018	\$38.86	110082002	\$57.38
110082004	\$57.38	110084002	\$38.86	110092011	\$38.86
110082009	\$48.12	110084003	\$38.86	110092012	\$48.12
110082010	\$48.12	110084004	\$38.86	110092013	\$38.86
110082011	\$48.12	110084005	\$38.86	110092014	\$38.86
110082012	\$48.12	110084006	\$38.86	110092015	\$38.86
110082013	\$48.12	110084007	\$38.86	110092016	\$38.86
110082014	\$38.86	110084008	\$38.86	110092017	\$38.86
110082015	\$38.86	110084009	\$38.86	110092018	\$38.86
110082016	\$48.12	110084010	\$38.86	110092019	\$38.86
110082017	\$38.86	110084011	\$38.86	110092020	\$38.86
110082018	\$38.86	110084012	\$38.86	110092021	\$38.86
110082019	\$38.86	110084013	\$38.86	110092022	\$38.86
110082020	\$38.86	110084014	\$38.86	110092023	\$38.86
110082021	\$114.76	110084015	\$38.86	110092024	\$38.86
110082024	\$373.16	110084016	\$38.86	110093001	\$38.86
110082025	\$57.38	110084017	\$38.86	110093002	\$48.12
110083001	\$38.86	110084018	\$38.86	110093003	\$38.86
110083002	\$38.86	110084019	\$38.86	110093004	\$48.12
110083003	\$38.86	110084020	\$38.86	110093005	\$38.86
110083004	\$38.86	110084021	\$38.86	110093006	\$38.86
110083005	\$38.86	110084022	\$38.86	110094001	\$38.86
110083006	\$38.86	110084023	\$38.86	110094002	\$38.86
110083007	\$38.86	110091001	\$38.86	110094006	\$38.86
110083008	\$38.86	110091002	\$38.86	110094007	\$38.86
110083009	\$48.12	110091003	\$38.86	110094010	\$38.86
110083010	\$48.12	110091004	\$38.86	110094011	\$38.86
110083011	\$38.86	110091005	\$38.86	110094016	\$34.22
110083012	\$38.86	110091006	\$38.86	110094017	\$38.86
110083013	\$38.86	110091007	\$38.86	110095001	\$38.86
110083014	\$38.86	110091008	\$38.86	110095002	\$38.86
110083015	\$38.86	110091009	\$38.86	110095003	\$38.86
110083016	\$38.86	110091010	\$38.86	110095004	\$38.86
110083017	\$38.86	110091011	\$38.86	110095005	\$38.86
110083018	\$38.86	110092001	\$38.86	110095006	\$38.86
110083019	\$38.86	110092002	\$38.86	110095007	\$38.86
110083021	\$38.86	110092003	\$38.86	110095008	\$38.86
110083022	\$38.86	110092004	\$38.86	110095009	\$38.86
110083023	\$38.86	110092005	\$48.12	110095010	\$48.12
110083025	\$38.86	110092006	\$38.86	110095011	\$38.86
110083027	\$38.86	110092007	\$38.86	110095012	\$48.12
110083028	\$48.12	110092008	\$38.86	110095013	\$48.12
110083029	\$38.86	110092009	\$38.86	110095014	\$48.12
110084001	\$38.86	110092010	\$38.86	110095015	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110095016	\$38.86	110101027	\$57.38	110104005	\$38.86
110095017	\$38.86	110101028	\$38.86	110104006	\$38.86
110095018	\$38.86	110102003	\$57.38	110104007	\$48.12
110095019	\$38.86	110102004	\$57.38	110104008	\$38.86
110095020	\$38.86	110102005	\$38.86	110104009	\$38.86
110095021	\$38.86	110102006	\$38.86	110104010	\$38.86
110095022	\$38.86	110102009	\$77.72	110104011	\$38.86
110095023	\$38.86	110102010	\$38.86	110104012	\$38.86
110096001	\$38.86	110102011	\$48.12	110104013	\$38.86
110096002	\$38.86	110102014	\$114.76	110104014	\$38.86
110096003	\$38.86	110102015	\$48.12	110104015	\$38.86
110096004	\$38.86	110102016	\$48.12	110104016	\$38.86
110096005	\$38.86	110102019	\$57.38	110104017	\$38.86
110096006	\$38.86	110103002	\$38.86	110111001	\$38.86
110096007	\$38.86	110103003	\$48.12	110111002	\$38.86
110096008	\$38.86	110103004	\$38.86	110111003	\$38.86
110096009	\$38.86	110103005	\$38.86	110111004	\$48.12
110096010	\$38.86	110103006	\$38.86	110111005	\$38.86
110096011	\$38.86	110103007	\$38.86	110111006	\$38.86
110101001	\$57.38	110103008	\$38.86	110111007	\$38.86
110101002	\$38.86	110103009	\$38.86	110111008	\$38.86
110101003	\$57.38	110103010	\$38.86	110111009	\$38.86
110101004	\$48.12	110103011	\$38.86	110111010	\$38.86
110101005	\$57.38	110103013	\$38.86	110111012	\$38.86
110101006	\$48.12	110103014	\$38.86	110111013	\$38.86
110101007	\$57.38	110103015	\$48.12	110111014	\$38.86
110101009	\$57.38	110103016	\$38.86	110111015	\$38.86
110101010	\$114.76	110103017	\$38.86	110111016	\$38.86
110101011	\$57.38	110103018	\$38.86	110111017	\$48.12
110101012	\$114.76	110103019	\$38.86	110111018	\$48.12
110101014	\$38.86	110103020	\$38.86	110111019	\$48.12
110101015	\$38.86	110103021	\$38.86	110112001	\$38.86
110101016	\$38.86	110103022	\$38.86	110112002	\$96.24
110101017	\$48.12	110103024	\$38.86	110112003	\$67.74
110101018	\$38.86	110103025	\$38.86	110112004	\$49.22
110101019	\$38.86	110103027	\$38.86	110112005	\$49.22
110101020	\$48.12	110103028	\$38.86	110112006	\$49.22
110101021	\$38.86	110103029	\$38.86	110112007	\$48.12
110101022	\$38.86	110103030	\$38.86	110112008	\$49.22
110101023	\$38.86	110104001	\$38.86	110112009	\$49.22
110101024	\$38.86	110104002	\$38.86	110112010	\$49.22
110101025	\$38.86	110104003	\$38.86	110112011	\$49.22
110101026	\$38.86	110104004	\$38.86	110112012	\$49.22
110112013	\$67.74	110114020	\$38.86	110132019	\$38.86
110112014	\$38.86	110114021	\$38.86	110132020	\$38.86
110112015	\$38.86	110114022	\$38.86	110132021	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110112016	\$38.86	110114023	\$38.86	110132022	\$38.86
110112017	\$38.86	110114024	\$38.86	110132023	\$38.86
110112018	\$38.86	110114025	\$38.86	110132024	\$38.86
110112019	\$38.86	110114026	\$38.86	110132025	\$38.86
110112020	\$38.86	110114027	\$48.12	110132026	\$38.86
110113001	\$38.86	110131001	\$38.86	110132027	\$38.86
110113002	\$38.86	110131002	\$38.86	110132028	\$38.86
110113004	\$38.86	110131003	\$38.86	110132029	\$38.86
110113005	\$38.86	110131004	\$38.86	110132030	\$38.86
110113006	\$77.72	110131005	\$38.86	110132032	\$98.44
110113007	\$77.72	110131006	\$38.86	110132033	\$98.44
110113008	\$77.72	110131007	\$38.86	110132035	\$38.86
110113009	\$38.86	110131008	\$38.86	110132040	\$49.22
110113010	\$38.86	110131009	\$38.86	110132041	\$49.22
110113011	\$38.86	110131011	\$38.86	110141001	\$137.30
110113012	\$38.86	110131012	\$38.86	110141002	\$88.08
110113013	\$38.86	110131013	\$38.86	110141003	\$88.08
110113014	\$38.86	110131014	\$38.86	110141005	\$137.30
110113015	\$38.86	110131015	\$38.86	110141006	\$49.22
110113016	\$38.86	110131016	\$38.86	110141007	\$49.22
110113017	\$38.86	110131017	\$38.86	110141009	\$38.86
110114001	\$38.86	110131018	\$38.86	110141010	\$38.86
110114002	\$38.86	110131019	\$38.86	110141011	\$88.08
110114003	\$38.86	110131020	\$38.86	110141014	\$38.86
110114004	\$38.86	110132001	\$203.22	110141016	\$49.22
110114005	\$48.12	110132004	\$38.86	110141017	\$49.22
110114006	\$48.12	110132005	\$38.86	110141018	\$88.08
110114007	\$38.86	110132006	\$38.86	110141019	\$38.86
110114008	\$38.86	110132007	\$38.86	110141020	\$38.86
110114009	\$38.86	110132008	\$38.86	110141021	\$38.86
110114010	\$38.86	110132009	\$38.86	110142001	\$38.86
110114011	\$38.86	110132010	\$38.86	110142002	\$38.86
110114012	\$38.86	110132011	\$38.86	110142003	\$38.86
110114013	\$38.86	110132012	\$38.86	110142004	\$38.86
110114014	\$38.86	110132013	\$38.86	110142005	\$38.86
110114015	\$38.86	110132014	\$38.86	110142006	\$38.86
110114016	\$38.86	110132015	\$38.86	110142007	\$38.86
110114017	\$38.86	110132016	\$38.86	110142008	\$38.86
110114018	\$38.86	110132017	\$38.86	110142009	\$38.86
110114019	\$38.86	110132018	\$38.86	110142010	\$38.86
110142011	\$38.86	110150023	\$38.86	110160018	\$38.86
110142012	\$38.86	110150024	\$38.86	110160019	\$38.86
110142013	\$38.86	110150025	\$38.86	110160020	\$38.86
110142014	\$38.86	110150026	\$38.86	110160021	\$38.86
110142015	\$38.86	110150027	\$38.86	110160022	\$38.86
110142016	\$38.86	110150028	\$38.86	110160023	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110142017	\$38.86	110150029	\$38.86	110160024	\$77.72
110142018	\$38.86	110150030	\$38.86	110160025	\$38.86
110143001	\$38.86	110150031	\$38.86	110160026	\$38.86
110143002	\$38.86	110150032	\$38.86	110171001	\$38.86
110143003	\$38.86	110150033	\$38.86	110171002	\$38.86
110143004	\$38.86	110150034	\$38.86	110171003	\$38.86
110143005	\$38.86	110150035	\$38.86	110171004	\$38.86
110143006	\$38.86	110150036	\$38.86	110171005	\$48.12
110143007	\$38.86	110150039	\$77.72	110171006	\$38.86
110143008	\$38.86	110150040	\$77.72	110171007	\$38.86
110143009	\$38.86	110150042	\$38.86	110171008	\$38.86
110143010	\$38.86	110150045	\$77.72	110171009	\$38.86
110143011	\$38.86	110150046	\$67.36	110171010	\$38.86
110143012	\$38.86	110150047	\$67.36	110171011	\$38.86
110143013	\$38.86	110150048	\$67.36	110171012	\$38.86
110143014	\$38.86	110150049	\$116.58	110171013	\$38.86
110143015	\$38.86	110150051	\$38.86	110171014	\$38.86
110143016	\$38.86	110150052	\$38.86	110171015	\$38.86
110143017	\$38.86	110150053	\$38.86	110171016	\$77.72
110143018	\$38.86	110150054	\$38.86	110171017	\$38.86
110150001	\$38.86	110150055	\$38.86	110171018	\$38.86
110150002	\$38.86	110150056	\$38.86	110171019	\$38.86
110150003	\$38.86	110150057	\$38.86	110171020	\$38.86
110150004	\$38.86	110160003	\$49.22	110171021	\$38.86
110150005	\$38.86	110160004	\$38.86	110171022	\$38.86
110150007	\$77.72	110160005	\$38.86	110171023	\$38.86
110150008	\$38.86	110160006	\$38.86	110171024	\$48.12
110150009	\$38.86	110160007	\$38.86	110171027	\$38.86
110150010	\$38.86	110160008	\$38.86	110171028	\$38.86
110150011	\$38.86	110160009	\$38.86	110171029	\$38.86
110150015	\$67.36	110160010	\$38.86	110171030	\$38.86
110150017	\$38.86	110160011	\$38.86	110171031	\$38.86
110150018	\$38.86	110160013	\$38.86	110171032	\$38.86
110150019	\$38.86	110160014	\$38.86	110171033	\$38.86
110150020	\$38.86	110160015	\$38.86	110171034	\$38.86
110150021	\$38.86	110160016	\$38.86	110171035	\$38.86
110150022	\$38.86	110160017	\$38.86	110171036	\$38.86
110171037	\$38.86	110181022	\$38.86	110191019	\$38.86
110171038	\$38.86	110181023	\$38.86	110191020	\$38.86
110171039	\$38.86	110181024	\$38.86	110191021	\$38.86
110172001	\$38.86	110181025	\$38.86	110191022	\$38.86
110172002	\$38.86	110181026	\$38.86	110191023	\$38.86
110172003	\$77.72	110181027	\$38.86	110191024	\$38.86
110172004	\$38.86	110181028	\$38.86	110191025	\$38.86
110172005	\$38.86	110181029	\$38.86	110191026	\$38.86
110172006	\$38.86	110181030	\$38.86	110191027	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110172007	\$38.86	110181031	\$38.86	110191028	\$38.86
110172008	\$38.86	110181032	\$38.86	110191029	\$38.86
110172009	\$38.86	110181033	\$38.86	110191030	\$38.86
110172010	\$38.86	110181034	\$38.86	110191031	\$38.86
110172011	\$38.86	110181036	\$38.86	110191032	\$38.86
110172012	\$38.86	110181037	\$77.72	110192001	\$38.86
110172013	\$38.86	110181038	\$77.72	110192002	\$38.86
110172014	\$38.86	110182002	\$38.86	110192003	\$38.86
110172015	\$38.86	110182003	\$38.86	110192004	\$38.86
110172016	\$38.86	110182004	\$38.86	110192005	\$38.86
110172017	\$38.86	110182005	\$38.86	110192006	\$38.86
110172018	\$38.86	110182006	\$38.86	110192007	\$38.86
110172019	\$38.86	110182007	\$38.86	110192008	\$38.86
110172020	\$38.86	110182008	\$38.86	110192009	\$38.86
110181001	\$49.22	110182009	\$77.72	110192010	\$38.86
110181002	\$49.22	110182010	\$38.86	110192011	\$38.86
110181003	\$49.22	110182011	\$38.86	110192012	\$38.86
110181005	\$88.08	110182012	\$126.94	110192013	\$38.86
110181006	\$38.86	110182013	\$38.86	110192014	\$48.12
110181007	\$38.86	110191001	\$38.86	110192015	\$38.86
110181008	\$126.94	110191002	\$38.86	110192016	\$38.86
110181009	\$38.86	110191003	\$38.86	110192017	\$38.86
110181010	\$49.22	110191004	\$38.86	110192018	\$38.86
110181011	\$38.86	110191006	\$38.86	110192019	\$38.86
110181012	\$38.86	110191007	\$38.86	110192020	\$38.86
110181013	\$38.86	110191008	\$38.86	110192021	\$38.86
110181014	\$38.86	110191009	\$38.86	110192022	\$38.86
110181015	\$38.86	110191010	\$38.86	110201003	\$38.86
110181016	\$38.86	110191011	\$38.86	110201004	\$38.86
110181017	\$38.86	110191012	\$38.86	110201005	\$38.86
110181018	\$38.86	110191013	\$38.86	110201006	\$38.86
110181019	\$38.86	110191014	\$38.86	110201007	\$38.86
110181020	\$38.86	110191015	\$38.86	110201008	\$38.86
110181021	\$38.86	110191016	\$48.12	110202001	\$38.86
110202004	\$48.12	110206001	\$77.72	110215006	\$38.86
110202005	\$38.86	110206002	\$38.86	110215007	\$38.86
110202006	\$77.72	110206003	\$38.86	110215008	\$38.86
110202007	\$38.86	110206004	\$77.72	110215009	\$38.86
110202008	\$38.86	110206005	\$38.86	110215010	\$38.86
110202009	\$38.86	110206006	\$38.86	110215011	\$38.86
110202010	\$38.86	110206007	\$38.86	110215012	\$38.86
110202011	\$38.86	110206008	\$38.86	110215013	\$38.86
110202012	\$38.86	110206009	\$38.86	110215014	\$38.86
110202013	\$38.86	110206010	\$38.86	110215015	\$38.86
110202014	\$48.12	110206011	\$38.86	110215016	\$38.86
110203001	\$38.86	110211002	\$38.86	110215017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110203002	\$38.86	110211003	\$38.86	110215018	\$38.86
110203003	\$38.86	110211004	\$38.86	110215019	\$38.86
110203004	\$38.86	110211005	\$38.86	110216001	\$38.86
110203005	\$38.86	110212001	\$38.86	110216002	\$38.86
110203006	\$38.86	110212002	\$38.86	110216003	\$38.86
110203007	\$38.86	110212003	\$38.86	110216004	\$38.86
110203008	\$38.86	110212004	\$77.72	110216005	\$38.86
110203009	\$38.86	110212005	\$38.86	110216006	\$38.86
110203010	\$38.86	110212007	\$38.86	110216007	\$38.86
110203011	\$38.86	110212008	\$38.86	110216008	\$38.86
110203012	\$38.86	110212009	\$38.86	110216009	\$38.86
110203013	\$38.86	110212010	\$38.86	110216010	\$38.86
110203014	\$38.86	110212011	\$38.86	110216011	\$38.86
110203015	\$38.86	110212012	\$38.86	110216012	\$38.86
110203016	\$38.86	110212013	\$38.86	110216013	\$38.86
110203017	\$38.86	110212014	\$38.86	110216014	\$38.86
110203018	\$38.86	110212015	\$38.86	110221001	\$67.36
110203019	\$38.86	110212016	\$38.86	110221002	\$67.36
110203021	\$38.86	110213001	\$38.86	110221003	\$67.36
110203022	\$38.86	110213002	\$38.86	110221013	\$77.72
110203023	\$38.86	110213003	\$38.86	110221014	\$77.72
110203024	\$38.86	110213004	\$38.86	110221015	\$77.72
110203025	\$38.86	110213007	\$38.86	110221016	\$77.72
110204001	\$38.86	110213008	\$38.86	110221017	\$77.72
110204002	\$38.86	110214001	\$38.86	110221018	\$77.72
110204003	\$38.86	110214002	\$38.86	110221025	\$67.36
110205001	\$38.86	110215001	\$38.86	110221026	\$77.72
110205002	\$38.86	110215002	\$38.86	110221027	\$67.36
110205003	\$38.86	110215003	\$38.86	110221028	\$67.36
110205004	\$77.72	110215004	\$38.86	110221029	\$77.72
110205005	\$38.86	110215005	\$38.86	110221030	\$77.72
110221031	\$67.36	110232008	\$38.86	110251008	\$38.86
110221032	\$77.72	110232009	\$38.86	110251009	\$38.86
110221033	\$67.36	110232010	\$38.86	110252001	\$38.86
110221034	\$77.72	110232011	\$38.86	110252002	\$38.86
110221035	\$96.24	110232013	\$38.86	110252003	\$38.86
110221036	\$67.36	110241001	\$88.08	110252004	\$38.86
110221037	\$67.36	110241002	\$38.86	110252005	\$38.86
110221038	\$77.72	110241003	\$38.86	110252006	\$38.86
110221039	\$67.36	110241004	\$38.86	110252007	\$38.86
110221040	\$67.36	110241005	\$38.86	110252008	\$38.86
110222001	\$77.72	110241006	\$38.86	110252009	\$38.86
110222002	\$77.72	110241007	\$38.86	110252010	\$38.86
110222003	\$77.72	110241008	\$38.86	110252011	\$38.86
110222004	\$77.72	110241009	\$38.86	110252012	\$38.86
110231001	\$77.72	110241010	\$38.86	110252013	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110231002	\$77.72	110241011	\$38.86	110252014	\$38.86
110231003	\$77.72	110241012	\$38.86	110252015	\$38.86
110231004	\$77.72	110241013	\$38.86	110252016	\$38.86
110231005	\$77.72	110242001	\$38.86	110252017	\$38.86
110231006	\$77.72	110242002	\$38.86	110252018	\$38.86
110231007	\$77.72	110242003	\$38.86	110252019	\$38.86
110231008	\$38.86	110242004	\$38.86	110252020	\$38.86
110231009	\$38.86	110242005	\$38.86	110252021	\$38.86
110231010	\$38.86	110242006	\$38.86	110252022	\$38.86
110231011	\$49.22	110242007	\$38.86	110252023	\$38.86
110231012	\$48.12	110242008	\$49.22	110252024	\$38.86
110231014	\$38.86	110242009	\$163.98	110252025	\$38.86
110231015	\$38.86	110242010	\$49.22	110252026	\$38.86
110231016	\$38.86	110242011	\$38.86	110252027	\$38.86
110231017	\$49.22	110242012	\$38.86	110253001	\$38.86
110231018	\$49.22	110242013	\$38.86	110253002	\$38.86
110231019	\$49.22	110242014	\$38.86	110253003	\$38.86
110231020	\$38.86	110242015	\$49.22	110253004	\$38.86
110231021	\$38.86	110242016	\$38.86	110253005	\$38.86
110231022	\$38.86	110242017	\$49.22	110253006	\$38.86
110231023	\$38.86	110242018	\$49.22	110253007	\$38.86
110232001	\$49.22	110251001	\$38.86	110253008	\$38.86
110232002	\$38.86	110251002	\$38.86	110253009	\$38.86
110232003	\$38.86	110251003	\$38.86	110253010	\$38.86
110232004	\$49.22	110251004	\$38.86	110253011	\$38.86
110232005	\$49.22	110251005	\$38.86	110253012	\$38.86
110232006	\$49.22	110251006	\$38.86	110253013	\$38.86
110232007	\$38.86	110251007	\$38.86	110253014	\$38.86
110253015	\$38.86	110263014	\$38.86	110271025	\$38.86
110253016	\$38.86	110263015	\$38.86	110271026	\$38.86
110253017	\$38.86	110263016	\$38.86	110271027	\$38.86
110253018	\$38.86	110263017	\$38.86	110271032	\$38.86
110253019	\$38.86	110263018	\$38.86	110271033	\$38.86
110253020	\$38.86	110263019	\$38.86	110271034	\$38.86
110253021	\$38.86	110263020	\$38.86	110271035	\$38.86
110253022	\$38.86	110263021	\$38.86	110271036	\$38.86
110254001	\$38.86	110263022	\$38.86	110271045	\$69.94
110254002	\$38.86	110263023	\$38.86	110271046	\$38.86
110254003	\$38.86	110264001	\$38.86	110272001	\$38.86
110254004	\$38.86	110264002	\$38.86	110272002	\$38.86
110254005	\$38.86	110264003	\$38.86	110272003	\$38.86
110261001	\$38.86	110264004	\$38.86	110272004	\$38.86
110261002	\$38.86	110264005	\$38.86	110272005	\$38.86
110261003	\$38.86	110264006	\$38.86	110272006	\$38.86
110261004	\$38.86	110264007	\$38.86	110272007	\$38.86
110261005	\$38.86	110264008	\$38.86	110272008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110261006	\$38.86	110264009	\$38.86	110272009	\$38.86
110261007	\$38.86	110264010	\$38.86	110272010	\$38.86
110262001	\$38.86	110264011	\$38.86	110272011	\$38.86
110262002	\$38.86	110264026	\$38.86	110272012	\$38.86
110262003	\$38.86	110264027	\$38.86	110273001	\$38.86
110262004	\$38.86	110264028	\$38.86	110273002	\$38.86
110262005	\$38.86	110264029	\$38.86	110273003	\$38.86
110262006	\$38.86	110271001	\$38.86	110273004	\$38.86
110262007	\$38.86	110271002	\$38.86	110273005	\$38.86
110262008	\$38.86	110271003	\$38.86	110273006	\$38.86
110262009	\$38.86	110271004	\$38.86	110273007	\$38.86
110262010	\$38.86	110271005	\$38.86	110273008	\$38.86
110263001	\$38.86	110271006	\$38.86	110273009	\$38.86
110263002	\$38.86	110271007	\$38.86	110280037	\$356.46
110263003	\$38.86	110271008	\$38.86	110280038	\$650.76
110263004	\$38.86	110271009	\$38.86	110280040	\$964.68
110263005	\$38.86	110271010	\$38.86	110291002	\$38.86
110263006	\$38.86	110271011	\$38.86	110291003	\$38.86
110263007	\$38.86	110271012	\$38.86	110291004	\$38.86
110263008	\$38.86	110271013	\$38.86	110291005	\$38.86
110263009	\$38.86	110271014	\$38.86	110291006	\$38.86
110263010	\$38.86	110271015	\$38.86	110291007	\$38.86
110263011	\$38.86	110271016	\$38.86	110291008	\$38.86
110263012	\$38.86	110271017	\$38.86	110291009	\$38.86
110263013	\$38.86	110271024	\$38.86	110291010	\$38.86
110291011	\$38.86	110301005	\$38.86	110302018	\$38.86
110291012	\$38.86	110301006	\$38.86	110302019	\$38.86
110291015	\$38.86	110301007	\$38.86	110302020	\$38.86
110291018	\$38.86	110301008	\$38.86	110303001	\$38.86
110291019	\$38.86	110301009	\$38.86	110303002	\$38.86
110292001	\$38.86	110301012	\$38.86	110303003	\$38.86
110292002	\$38.86	110301013	\$38.86	110303004	\$38.86
110292003	\$38.86	110301014	\$38.86	110303005	\$38.86
110292004	\$38.86	110301015	\$38.86	110303006	\$38.86
110292005	\$38.86	110301016	\$38.86	110303007	\$38.86
110292006	\$38.86	110301017	\$38.86	110303008	\$38.86
110292007	\$38.86	110301018	\$38.86	110303009	\$38.86
110292008	\$38.86	110301019	\$38.86	110303010	\$38.86
110292009	\$38.86	110301020	\$38.86	110303011	\$38.86
110292010	\$38.86	110301021	\$38.86	110303012	\$38.86
110292011	\$38.86	110301022	\$38.86	110303013	\$38.86
110292012	\$38.86	110301023	\$38.86	110303014	\$38.86
110292013	\$38.86	110301024	\$38.86	110303015	\$38.86
110292014	\$38.86	110301025	\$38.86	110303016	\$38.86
110292015	\$38.86	110301026	\$38.86	110303017	\$38.86
110292016	\$38.86	110301027	\$38.86	110303018	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110292017	\$38.86	110301028	\$38.86	110303019	\$38.86
110292018	\$38.86	110301029	\$38.86	110303020	\$38.86
110292019	\$38.86	110301030	\$38.86	110311001	\$38.86
110292020	\$38.86	110301031	\$38.86	110311002	\$38.86
110292021	\$38.86	110301032	\$38.86	110311003	\$38.86
110292022	\$38.86	110302001	\$38.86	110311004	\$38.86
110292023	\$38.86	110302002	\$38.86	110311005	\$38.86
110292024	\$38.86	110302003	\$38.86	110311006	\$38.86
110292025	\$38.86	110302004	\$38.86	110311007	\$38.86
110293001	\$38.86	110302005	\$38.86	110311008	\$38.86
110293002	\$38.86	110302006	\$38.86	110311009	\$38.86
110293003	\$38.86	110302007	\$38.86	110311010	\$38.86
110293004	\$38.86	110302008	\$38.86	110311011	\$38.86
110293005	\$38.86	110302009	\$38.86	110311012	\$38.86
110293006	\$38.86	110302010	\$38.86	110311013	\$38.86
110293007	\$38.86	110302011	\$38.86	110311014	\$38.86
110293008	\$38.86	110302012	\$38.86	110311015	\$38.86
110293009	\$38.86	110302013	\$38.86	110311016	\$38.86
110301001	\$38.86	110302014	\$38.86	110312001	\$38.86
110301002	\$38.86	110302015	\$38.86	110312002	\$38.86
110301003	\$38.86	110302016	\$38.86	110312003	\$38.86
110301004	\$38.86	110302017	\$38.86	110312004	\$38.86
110312005	\$38.86	110322005	\$38.86	110332001	\$38.86
110312006	\$38.86	110322006	\$38.86	110332002	\$38.86
110312007	\$38.86	110322007	\$38.86	110332003	\$38.86
110312008	\$38.86	110322008	\$38.86	110332004	\$38.86
110312009	\$38.86	110322009	\$38.86	110332005	\$38.86
110312010	\$38.86	110322010	\$38.86	110332006	\$38.86
110312011	\$38.86	110322011	\$38.86	110333001	\$38.86
110312012	\$38.86	110322012	\$38.86	110333002	\$38.86
110312013	\$38.86	110322013	\$38.86	110333003	\$38.86
110312014	\$38.86	110322014	\$38.86	110334001	\$38.86
110312015	\$38.86	110322015	\$38.86	110334002	\$38.86
110312016	\$38.86	110322016	\$38.86	110334003	\$38.86
110312017	\$38.86	110322017	\$38.86	110334004	\$38.86
110312018	\$38.86	110323001	\$38.86	110334005	\$38.86
110312019	\$38.86	110323002	\$38.86	110334006	\$38.86
110312020	\$38.86	110323003	\$38.86	110334008	\$38.86
110312021	\$38.86	110323004	\$38.86	110334009	\$38.86
110312022	\$38.86	110323005	\$38.86	110334010	\$38.86
110313001	\$38.86	110323006	\$38.86	110334011	\$38.86
110313002	\$38.86	110323007	\$38.86	110334012	\$38.86
110313003	\$38.86	110323008	\$38.86	110334013	\$38.86
110313004	\$38.86	110323009	\$38.86	110334014	\$38.86
110313005	\$38.86	110324001	\$38.86	110334015	\$38.86
110313006	\$38.86	110324002	\$38.86	110334016	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110313007	\$38.86	110324003	\$38.86	110334017	\$38.86
110313008	\$38.86	110324004	\$88.08	110334018	\$38.86
110313009	\$38.86	110324005	\$49.22	110334019	\$38.86
110313010	\$38.86	110324006	\$49.22	110334020	\$38.86
110313011	\$38.86	110324007	\$49.22	110334021	\$38.86
110313012	\$38.86	110324008	\$49.22	110334022	\$38.86
110313013	\$38.86	110324009	\$49.22	110334023	\$38.86
110313014	\$38.86	110324010	\$49.22	110334024	\$38.86
110321001	\$38.86	110324011	\$49.22	110334025	\$38.86
110321002	\$38.86	110324012	\$49.22	110334026	\$38.86
110321003	\$38.86	110324013	\$49.22	110334027	\$38.86
110321004	\$38.86	110325001	\$38.86	110334028	\$38.86
110321005	\$38.86	110325002	\$38.86	110334029	\$38.86
110321006	\$38.86	110325003	\$38.86	110334030	\$38.86
110321007	\$38.86	110325004	\$38.86	110334031	\$38.86
110321008	\$38.86	110325005	\$38.86	110334032	\$38.86
110322002	\$38.86	110331001	\$38.86	110335001	\$38.86
110322003	\$38.86	110331002	\$38.86	110335002	\$38.86
110322004	\$38.86	110331003	\$38.86	110335003	\$38.86
110335004	\$38.86	110342035	\$38.86	110352014	\$38.86
110335005	\$38.86	110342036	\$38.86	110352015	\$38.86
110335006	\$38.86	110342037	\$38.86	110352016	\$38.86
110335007	\$38.86	110342038	\$38.86	110353002	\$38.86
110335008	\$38.86	110342039	\$38.86	110353003	\$38.86
110335009	\$38.86	110342040	\$38.86	110353004	\$38.86
110335010	\$38.86	110342041	\$38.86	110353005	\$38.86
110335011	\$38.86	110342042	\$38.86	110353006	\$38.86
110335012	\$38.86	110342043	\$38.86	110353007	\$38.86
110341001	\$38.86	110342044	\$38.86	110353008	\$38.86
110341002	\$38.86	110343001	\$38.86	110353009	\$38.86
110341003	\$38.86	110343002	\$38.86	110353010	\$38.86
110341004	\$38.86	110343003	\$38.86	110353011	\$38.86
110341005	\$38.86	110343004	\$38.86	110353012	\$38.86
110341006	\$38.86	110343005	\$38.86	110353013	\$38.86
110341007	\$38.86	110343006	\$38.86	110353014	\$38.86
110341008	\$38.86	110343007	\$38.86	110353015	\$38.86
110341009	\$38.86	110343008	\$38.86	110353016	\$38.86
110341010	\$38.86	110343009	\$38.86	110353017	\$38.86
110341011	\$38.86	110343010	\$38.86	110353018	\$38.86
110342001	\$38.86	110343011	\$38.86	110353019	\$38.86
110342002	\$38.86	110343012	\$38.86	110353020	\$38.86
110342003	\$38.86	110343013	\$38.86	110353021	\$38.86
110342004	\$38.86	110343014	\$38.86	110353022	\$38.86
110342005	\$38.86	110351001	\$38.86	110353023	\$38.86
110342006	\$38.86	110351002	\$38.86	110353024	\$38.86
110342007	\$38.86	110351003	\$38.86	110353025	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110342008	\$38.86	110351004	\$38.86	110353026	\$38.86
110342009	\$38.86	110351005	\$38.86	110353027	\$38.86
110342010	\$38.86	110351006	\$38.86	110353028	\$38.86
110342011	\$38.86	110352001	\$38.86	110353029	\$38.86
110342012	\$38.86	110352002	\$38.86	110354001	\$38.86
110342013	\$38.86	110352003	\$38.86	110354002	\$38.86
110342014	\$38.86	110352004	\$38.86	110354003	\$38.86
110342015	\$38.86	110352005	\$38.86	110354004	\$38.86
110342016	\$38.86	110352006	\$38.86	110354005	\$38.86
110342017	\$38.86	110352007	\$38.86	110354006	\$38.86
110342018	\$38.86	110352008	\$38.86	110354007	\$38.86
110342019	\$38.86	110352009	\$38.86	110354008	\$38.86
110342031	\$337.02	110352010	\$38.86	110354009	\$38.86
110342032	\$38.86	110352011	\$38.86	110354010	\$38.86
110342033	\$38.86	110352012	\$38.86	110361001	\$38.86
110342034	\$38.86	110352013	\$38.86	110361002	\$38.86
110361003	\$38.86	110362038	\$38.86	110372018	\$38.86
110361004	\$38.86	110362039	\$38.86	110372019	\$38.86
110361005	\$38.86	110363001	\$38.86	110372020	\$38.86
110361006	\$38.86	110363002	\$38.86	110372021	\$38.86
110361007	\$38.86	110363003	\$38.86	110372022	\$38.86
110361008	\$38.86	110363004	\$38.86	110372023	\$38.86
110361009	\$38.86	110363005	\$38.86	110372024	\$38.86
110361010	\$38.86	110363006	\$38.86	110373001	\$38.86
110362002	\$49.22	110363007	\$38.86	110373002	\$38.86
110362004	\$38.86	110363008	\$38.86	110373003	\$38.86
110362005	\$38.86	110363009	\$38.86	110373004	\$38.86
110362006	\$38.86	110363010	\$38.86	110373005	\$38.86
110362007	\$38.86	110371001	\$38.86	110373006	\$38.86
110362008	\$38.86	110371002	\$38.86	110373007	\$38.86
110362009	\$38.86	110371003	\$38.86	110373008	\$38.86
110362010	\$38.86	110371004	\$38.86	110373009	\$38.86
110362011	\$38.86	110371005	\$38.86	110373010	\$38.86
110362012	\$38.86	110371006	\$38.86	110373011	\$38.86
110362013	\$38.86	110371007	\$38.86	110373012	\$38.86
110362014	\$38.86	110371008	\$38.86	110373013	\$38.86
110362015	\$38.86	110371009	\$38.86	110373014	\$38.86
110362016	\$38.86	110371010	\$38.86	110373015	\$38.86
110362017	\$38.86	110371011	\$38.86	110373016	\$38.86
110362018	\$38.86	110371012	\$38.86	110373017	\$38.86
110362019	\$38.86	110371013	\$38.86	110373018	\$38.86
110362020	\$38.86	110371014	\$38.86	110373019	\$38.86
110362021	\$38.86	110372001	\$38.86	110373020	\$38.86
110362022	\$38.86	110372002	\$38.86	110373021	\$38.86
110362023	\$38.86	110372003	\$38.86	110373022	\$38.86
110362024	\$38.86	110372004	\$38.86	110373023	\$38.86



## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110362025	\$38.86	110372005	\$38.86	110373024	\$38.86
110362026	\$38.86	110372006	\$38.86	110373025	\$38.86
110362027	\$38.86	110372007	\$38.86	110373026	\$38.86
110362028	\$38.86	110372008	\$38.86	110373027	\$38.86
110362029	\$38.86	110372009	\$38.86	110381001	\$38.86
110362030	\$38.86	110372010	\$38.86	110381002	\$38.86
110362031	\$38.86	110372011	\$38.86	110381003	\$38.86
110362032	\$38.86	110372012	\$38.86	110381004	\$38.86
110362033	\$38.86	110372013	\$38.86	110381005	\$38.86
110362034	\$38.86	110372014	\$38.86	110381006	\$38.86
110362035	\$38.86	110372015	\$38.86	110381007	\$38.86
110362036	\$38.86	110372016	\$38.86	110381008	\$38.86
110362037	\$38.86	110372017	\$38.86	110381009	\$38.86
110381010	\$38.86	110382022	\$38.86	110394010	\$38.86
110381011	\$38.86	110382023	\$38.86	110394011	\$38.86
110381012	\$38.86	110382024	\$38.86	110394012	\$38.86
110381013	\$38.86	110382025	\$38.86	110394013	\$38.86
110381014	\$38.86	110382026	\$38.86	110394014	\$38.86
110381015	\$38.86	110382027	\$38.86	110394015	\$38.86
110381016	\$38.86	110382028	\$38.86	110394016	\$38.86
110381017	\$38.86	110382029	\$38.86	110394017	\$38.86
110381018	\$38.86	110382030	\$38.86	110394018	\$38.86
110381019	\$38.86	110382031	\$38.86	110394019	\$38.86
110381020	\$38.86	110382032	\$38.86	110394020	\$38.86
110381021	\$38.86	110391001	\$38.86	110394021	\$38.86
110381022	\$38.86	110391002	\$38.86	110394022	\$38.86
110381023	\$38.86	110391003	\$38.86	110394023	\$38.86
110381024	\$38.86	110391004	\$38.86	110394024	\$38.86
110381025	\$38.86	110391005	\$38.86	110394025	\$38.86
110381026	\$38.86	110392001	\$38.86	110394026	\$38.86
110381027	\$38.86	110392002	\$38.86	110394027	\$38.86
110381028	\$38.86	110392003	\$38.86	110394028	\$38.86
110381029	\$38.86	110392004	\$38.86	110394029	\$38.86
110381030	\$38.86	110392005	\$38.86	110394030	\$38.86
110381031	\$38.86	110393001	\$38.86	110394031	\$38.86
110382001	\$38.86	110393002	\$38.86	110394032	\$38.86
110382002	\$38.86	110393003	\$38.86	110394033	\$38.86
110382003	\$38.86	110393004	\$38.86	110394034	\$38.86
110382004	\$38.86	110393005	\$38.86	110394035	\$38.86
110382005	\$38.86	110393006	\$38.86	110421001	\$38.86
110382006	\$38.86	110393007	\$38.86	110421002	\$38.86
110382007	\$38.86	110393008	\$38.86	110421003	\$38.86
110382008	\$38.86	110393009	\$38.86	110421004	\$38.86
110382009	\$38.86	110393010	\$38.86	110421005	\$38.86
110382010	\$38.86	110393011	\$38.86	110421006	\$38.86
110382011	\$38.86	110393012	\$38.86	110421007	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110382012	\$38.86	110393013	\$38.86	110422001	\$38.86
110382013	\$38.86	110394001	\$38.86	110422002	\$38.86
110382014	\$38.86	110394002	\$38.86	110422003	\$38.86
110382015	\$38.86	110394003	\$38.86	110422004	\$38.86
110382016	\$38.86	110394004	\$38.86	110422005	\$38.86
110382017	\$38.86	110394005	\$38.86	110422006	\$38.86
110382018	\$38.86	110394006	\$38.86	110422007	\$38.86
110382019	\$38.86	110394007	\$38.86	110422008	\$38.86
110382020	\$38.86	110394008	\$38.86	110422009	\$38.86
110382021	\$38.86	110394009	\$38.86	110422010	\$38.86
110422011	\$38.86	110434006	\$38.86	110435033	\$38.86
110422012	\$38.86	110434007	\$49.22	110435034	\$38.86
110422013	\$38.86	110434008	\$38.86	110441001	\$38.86
110422014	\$38.86	110434009	\$38.86	110441002	\$38.86
110422015	\$38.86	110434010	\$38.86	110441003	\$38.86
110422016	\$38.86	110434011	\$38.86	110441004	\$38.86
110422017	\$38.86	110434012	\$38.86	110441005	\$38.86
110422018	\$38.86	110434013	\$38.86	110441006	\$38.86
110422019	\$38.86	110434014	\$38.86	110441007	\$38.86
110422020	\$38.86	110434015	\$38.86	110441008	\$38.86
110423001	\$38.86	110434016	\$38.86	110441009	\$38.86
110423002	\$38.86	110435001	\$38.86	110441010	\$38.86
110423003	\$38.86	110435002	\$38.86	110441011	\$38.86
110423004	\$38.86	110435003	\$38.86	110441012	\$38.86
110423005	\$38.86	110435004	\$38.86	110441013	\$38.86
110423006	\$38.86	110435005	\$38.86	110441014	\$38.86
110423007	\$38.86	110435006	\$38.86	110441015	\$38.86
110423008	\$38.86	110435007	\$49.22	110441016	\$38.86
110431001	\$38.86	110435008	\$49.22	110441017	\$38.86
110432001	\$38.86	110435009	\$38.86	110441018	\$38.86
110432002	\$38.86	110435010	\$38.86	110441019	\$38.86
110432003	\$38.86	110435011	\$38.86	110441020	\$38.86
110432004	\$38.86	110435012	\$38.86	110441021	\$38.86
110432005	\$38.86	110435013	\$38.86	110441022	\$38.86
110432006	\$38.86	110435014	\$38.86	110441023	\$38.86
110432007	\$38.86	110435015	\$38.86	110441024	\$38.86
110432008	\$38.86	110435016	\$38.86	110441025	\$38.86
110433001	\$38.86	110435017	\$38.86	110441026	\$38.86
110433002	\$38.86	110435018	\$38.86	110441032	\$38.86
110433003	\$38.86	110435019	\$38.86	110441033	\$38.86
110433004	\$38.86	110435020	\$38.86	110441034	\$38.86
110433005	\$38.86	110435021	\$38.86	110441035	\$38.86
110433006	\$38.86	110435022	\$38.86	110441036	\$38.86
110433007	\$38.86	110435023	\$38.86	110441037	\$38.86
110433008	\$38.86	110435024	\$38.86	110441038	\$38.86
110433009	\$38.86	110435025	\$38.86	110441039	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110433010	\$38.86	110435026	\$38.86	110441040	\$38.86
110433011	\$38.86	110435027	\$38.86	110441041	\$38.86
110434001	\$38.86	110435028	\$38.86	110441042	\$38.86
110434002	\$38.86	110435029	\$38.86	110441045	\$38.86
110434003	\$38.86	110435030	\$38.86	110441046	\$38.86
110434004	\$38.86	110435031	\$38.86	110441047	\$38.86
110434005	\$38.86	110435032	\$38.86	110441048	\$38.86
110441049	\$38.86	110443017	\$38.86	110451016	\$38.86
110441050	\$38.86	110443018	\$38.86	110451017	\$38.86
110441051	\$38.86	110443019	\$38.86	110451018	\$38.86
110441052	\$38.86	110443020	\$38.86	110451019	\$38.86
110441053	\$38.86	110443021	\$38.86	110451020	\$38.86
110441054	\$38.86	110443022	\$38.86	110451021	\$38.86
110441055	\$38.86	110443023	\$38.86	110451022	\$38.86
110441056	\$38.86	110443024	\$38.86	110451023	\$38.86
110441057	\$38.86	110443025	\$38.86	110451024	\$38.86
110441058	\$38.86	110444001	\$38.86	110451025	\$38.86
110441059	\$38.86	110444002	\$38.86	110452001	\$38.86
110441060	\$38.86	110444003	\$38.86	110452002	\$38.86
110441061	\$38.86	110444004	\$38.86	110452003	\$38.86
110441062	\$38.86	110444005	\$38.86	110452004	\$38.86
110441063	\$38.86	110444006	\$38.86	110452005	\$38.86
110441064	\$38.86	110444007	\$38.86	110452006	\$38.86
110441065	\$38.86	110444008	\$38.86	110452007	\$38.86
110442001	\$38.86	110444009	\$38.86	110452008	\$38.86
110442002	\$38.86	110444010	\$38.86	110453001	\$38.86
110442003	\$38.86	110444011	\$38.86	110453002	\$38.86
110442004	\$38.86	110444012	\$38.86	110453003	\$38.86
110442005	\$38.86	110444013	\$38.86	110453004	\$38.86
110442006	\$38.86	110444014	\$38.86	110453005	\$38.86
110442008	\$38.86	110444015	\$38.86	110453006	\$38.86
110442009	\$38.86	110444016	\$38.86	110453007	\$38.86
110442010	\$38.86	110444017	\$38.86	110453008	\$38.86
110442011	\$38.86	110444018	\$38.86	110453009	\$38.86
110442012	\$38.86	110444019	\$38.86	110453010	\$38.86
110442013	\$38.86	110451001	\$38.86	110453011	\$38.86
110443001	\$38.86	110451002	\$38.86	110453012	\$38.86
110443002	\$38.86	110451003	\$38.86	110453013	\$38.86
110443003	\$38.86	110451004	\$38.86	110453014	\$38.86
110443004	\$38.86	110451005	\$38.86	110453015	\$38.86
110443005	\$38.86	110451006	\$38.86	110454001	\$16.06
110443006	\$38.86	110451007	\$38.86	110454002	\$16.06
110443007	\$38.86	110451008	\$38.86	110454003	\$16.06
110443008	\$38.86	110451009	\$38.86	110454004	\$16.06
110443009	\$38.86	110451010	\$38.86	110461001	\$38.86
110443010	\$38.86	110451011	\$38.86	110461002	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110443013	\$38.86	110451012	\$38.86	110461003	\$38.86
110443014	\$38.86	110451013	\$38.86	110461004	\$38.86
110443015	\$38.86	110451014	\$38.86	110461005	\$38.86
110443016	\$38.86	110451015	\$38.86	110461006	\$38.86
110461007	\$38.86	110463007	\$38.86	110482002	\$38.86
110461008	\$38.86	110463008	\$38.86	110482003	\$38.86
110461009	\$38.86	110463009	\$38.86	110482004	\$38.86
110461010	\$38.86	110463010	\$38.86	110482005	\$38.86
110461011	\$38.86	110463011	\$38.86	110482006	\$38.86
110461012	\$38.86	110463012	\$38.86	110482007	\$38.86
110461013	\$38.86	110463013	\$38.86	110482008	\$38.86
110461014	\$38.86	110463014	\$38.86	110482009	\$38.86
110461015	\$38.86	110463015	\$38.86	110482010	\$38.86
110461016	\$38.86	110463016	\$38.86	110482011	\$38.86
110461017	\$38.86	110463017	\$38.86	110482012	\$38.86
110461018	\$38.86	110463018	\$38.86	110482013	\$38.86
110461019	\$38.86	110463019	\$38.86	110482014	\$38.86
110461020	\$38.86	110463020	\$38.86	110482015	\$38.86
110461021	\$38.86	110470001	\$2,422.74	110482016	\$38.86
110461022	\$38.86	110481001	\$38.86	110482017	\$38.86
110461023	\$38.86	110481002	\$38.86	110482018	\$38.86
110461024	\$38.86	110481003	\$38.86	110482019	\$38.86
110461025	\$38.86	110481004	\$38.86	110482020	\$38.86
110461026	\$38.86	110481005	\$38.86	110482021	\$38.86
110461027	\$38.86	110481006	\$38.86	110482022	\$38.86
110461028	\$38.86	110481007	\$38.86	110482023	\$38.86
110461029	\$38.86	110481008	\$38.86	110482024	\$38.86
110461030	\$38.86	110481009	\$38.86	110482025	\$38.86
110461031	\$38.86	110481010	\$38.86	110482026	\$38.86
110461032	\$38.86	110481011	\$38.86	110482027	\$38.86
110461033	\$38.86	110481012	\$38.86	110482028	\$38.86
110461034	\$38.86	110481013	\$38.86	110483001	\$38.86
110461035	\$38.86	110481014	\$38.86	110483002	\$38.86
110461036	\$38.86	110481015	\$38.86	110483003	\$38.86
110461037	\$38.86	110481016	\$38.86	110483004	\$38.86
110461038	\$38.86	110481017	\$38.86	110483005	\$38.86
110462001	\$38.86	110481018	\$38.86	110483006	\$38.86
110462002	\$38.86	110481019	\$38.86	110483007	\$38.86
110462003	\$38.86	110481020	\$38.86	110483008	\$38.86
110462004	\$38.86	110481021	\$38.86	110483009	\$38.86
110462005	\$38.86	110481022	\$38.86	110483010	\$38.86
110463001	\$38.86	110481023	\$38.86	110483011	\$38.86
110463002	\$38.86	110481024	\$38.86	110483012	\$38.86
110463003	\$38.86	110481025	\$38.86	110483013	\$38.86
110463004	\$38.86	110481026	\$38.86	110483014	\$38.86
110463005	\$38.86	110481027	\$38.86	110483015	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110463006	\$38.86	110482001	\$38.86	110483016	\$38.86
110483017	\$38.86	110491028	\$14.92	110494003	\$14.92
110483018	\$38.86	110491029	\$14.92	110494004	\$14.92
110483019	\$38.86	110491030	\$14.92	110494005	\$14.92
110483020	\$38.86	110491031	\$14.92	110494006	\$14.92
110483021	\$38.86	110491032	\$14.92	110494007	\$14.92
110483022	\$38.86	110491033	\$14.92	110494008	\$14.92
110483023	\$38.86	110491034	\$14.92	110494009	\$14.92
110483024	\$38.86	110491035	\$14.92	110494010	\$14.92
110483025	\$38.86	110491036	\$14.92	110494011	\$14.92
110483026	\$38.86	110492001	\$14.92	110494012	\$14.92
110483027	\$38.86	110492002	\$14.92	110494013	\$14.92
110483028	\$38.86	110492003	\$14.92	110494014	\$14.92
110483029	\$38.86	110492004	\$14.92	110494015	\$14.92
110483030	\$38.86	110492005	\$14.92	110494016	\$14.92
110483031	\$38.86	110492006	\$14.92	110494017	\$14.92
110483032	\$38.86	110492007	\$14.92	110494018	\$14.92
110491001	\$14.92	110492008	\$14.92	110494019	\$14.92
110491002	\$14.92	110492009	\$14.92	110494020	\$14.92
110491003	\$14.92	110492010	\$14.92	110495001	\$14.92
110491004	\$14.92	110492011	\$14.92	110495002	\$14.92
110491005	\$14.92	110492012	\$14.92	110495003	\$14.92
110491006	\$14.92	110492013	\$14.92	110495004	\$14.92
110491007	\$14.92	110492014	\$14.92	110495005	\$14.92
110491008	\$14.92	110492015	\$14.92	110495006	\$14.92
110491009	\$14.92	110492016	\$14.92	110495007	\$14.92
110491010	\$14.92	110493001	\$14.92	110495008	\$14.92
110491011	\$14.92	110493002	\$14.92	110495009	\$14.92
110491012	\$14.92	110493003	\$14.92	110495010	\$14.92
110491013	\$14.92	110493004	\$14.92	110495011	\$14.92
110491014	\$14.92	110493005	\$14.92	110495012	\$14.92
110491015	\$14.92	110493006	\$14.92	110495013	\$14.92
110491016	\$14.92	110493007	\$14.92	110501001	\$16.06
110491017	\$14.92	110493008	\$14.92	110501002	\$16.06
110491018	\$14.92	110493009	\$14.92	110501003	\$16.06
110491019	\$14.92	110493010	\$14.92	110501004	\$16.06
110491020	\$14.92	110493011	\$14.92	110501005	\$16.06
110491021	\$14.92	110493012	\$14.92	110501006	\$16.06
110491022	\$14.92	110493013	\$14.92	110501007	\$16.06
110491023	\$14.92	110493014	\$14.92	110501008	\$16.06
110491024	\$14.92	110493015	\$14.92	110501009	\$16.06
110491025	\$14.92	110493016	\$14.92	110501010	\$16.06
110491026	\$14.92	110494001	\$14.92	110501011	\$16.06
110491027	\$14.92	110494002	\$14.92	110502001	\$16.06
110502002	\$16.06	110505003	\$16.06	110513003	\$88.08
110502003	\$16.06	110505004	\$16.06	110513004	\$88.08

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110502004	\$16.06	110505005	\$16.06	110513005	\$77.72
110502005	\$16.06	110505006	\$16.06	110513006	\$137.30
110502006	\$16.06	110505007	\$16.06	110513007	\$67.36
110502007	\$16.06	110505008	\$16.06	110513008	\$67.36
110502008	\$16.06	110505009	\$16.06	110513009	\$67.36
110502009	\$16.06	110505010	\$16.06	110513010	\$67.36
110502010	\$16.06	110505011	\$16.06	110513011	\$67.36
110502011	\$16.06	110510001	\$67.36	110513012	\$67.36
110502012	\$16.06	110510002	\$67.36	110513013	\$67.36
110502013	\$16.06	110510003	\$67.36	110513014	\$49.22
110502014	\$16.06	110510004	\$67.36	110513015	\$49.22
110502015	\$16.06	110510005	\$67.36	110513016	\$67.36
110502016	\$16.06	110510006	\$67.36	110513017	\$67.36
110502017	\$16.06	110510007	\$67.36	110513018	\$67.36
110502018	\$16.06	110510008	\$67.36	110513019	\$67.36
110502019	\$16.06	110510009	\$77.72	110513020	\$77.72
110502020	\$16.06	110510010	\$77.72	110513021	\$67.36
110502021	\$16.06	110511001	\$77.72	110513022	\$77.72
110502022	\$16.06	110511002	\$38.86	110520001	\$77.72
110502023	\$16.06	110511003	\$67.36	110520002	\$67.36
110503001	\$16.06	110511004	\$67.36	110520003	\$67.36
110503002	\$16.06	110511005	\$76.62	110520004	\$67.36
110503003	\$16.06	110511006	\$67.36	110521001	\$77.72
110503004	\$16.06	110511007	\$76.62	110521002	\$77.72
110503005	\$16.06	110511008	\$76.62	110521003	\$67.36
110503006	\$16.06	110511009	\$67.36	110521004	\$77.72
110503007	\$16.06	110511010	\$67.36	110521005	\$77.72
110504001	\$16.06	110511011	\$67.36	110521006	\$77.72
110504002	\$16.06	110512001	\$67.36	110521007	\$67.36
110504003	\$16.06	110512002	\$38.86	110521008	\$67.36
110504004	\$16.06	110512003	\$67.36	110521009	\$67.36
110504005	\$16.06	110512004	\$67.36	110521010	\$77.72
110504006	\$16.06	110512005	\$67.36	110521011	\$67.36
110504007	\$16.06	110512006	\$67.36	110521012	\$77.72
110504008	\$16.06	110512007	\$77.72	110521013	\$67.36
110504009	\$16.06	110512008	\$67.36	110521014	\$77.72
110504010	\$16.06	110512009	\$67.36	110521015	\$49.22
110504011	\$16.06	110512010	\$67.36	110521016	\$77.72
110504012	\$16.06	110512011	\$67.36	110521017	\$67.36
110505001	\$16.06	110513001	\$77.72	110521018	\$67.36
110505002	\$16.06	110513002	\$88.08	110521019	\$67.36
110521020	\$67.36	111023006	\$77.72	111041006	\$38.86
110521021	\$67.36	111023007	\$77.72	111041007	\$38.86
110521022	\$67.36	111023008	\$77.72	111041008	\$48.12
110521023	\$67.36	111023009	\$10.36	111041009	\$38.86
110521024	\$67.36	111023010	\$77.72	111041010	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110521025	\$67.36	111031001	\$77.72	111041011	\$38.86
111021003	\$67.36	111031002	\$49.22	111041012	\$38.86
111021004	\$108.80	111031003	\$77.72	111041013	\$38.86
111021005	\$38.86	111031004	\$77.72	111041014	\$38.86
111021006	\$77.72	111031005	\$77.72	111041015	\$38.86
111021007	\$155.44	111031006	\$67.36	111041016	\$38.86
111021008	\$134.72	111031007	\$77.72	111041017	\$38.86
111021010	\$68.46	111031008	\$77.72	111041018	\$38.86
111021011	\$10.36	111031009	\$77.72	111041019	\$38.86
111022001	\$38.86	111031010	\$67.36	111041020	\$38.86
111022003	\$38.86	111031011	\$67.36	111041021	\$38.86
111022004	\$38.86	111031012	\$67.36	111041022	\$38.86
111022005	\$77.72	111031013	\$38.86	111041023	\$38.86
111022006	\$38.86	111031014	\$67.36	111041024	\$38.86
111022007	\$38.86	111032001	\$67.36	111042001	\$38.86
111022008	\$38.86	111032002	\$77.72	111042002	\$38.86
111022009	\$38.86	111032003	\$38.86	111042003	\$38.86
111022010	\$38.86	111032004	\$38.86	111042004	\$38.86
111022013	\$38.86	111032005	\$38.86	111042005	\$38.86
111022014	\$38.86	111032006	\$38.86	111042006	\$38.86
111022016	\$38.86	111032007	\$38.86	111042007	\$48.12
111022017	\$10.36	111032008	\$38.86	111042008	\$38.86
111022018	\$38.86	111032009	\$38.86	111042009	\$38.86
111022019	\$38.86	111032010	\$38.86	111042010	\$38.86
111022020	\$38.86	111032011	\$38.86	111042011	\$38.86
111022021	\$38.86	111032012	\$38.86	111042012	\$38.86
111022022	\$38.86	111032013	\$38.86	111042013	\$49.22
111022023	\$49.22	111032014	\$38.86	111042014	\$49.22
111022024	\$38.86	111032015	\$38.86	111042015	\$49.22
111022025	\$38.86	111032016	\$38.86	111042016	\$86.26
111022026	\$38.86	111032017	\$49.22	111042018	\$38.86
111022028	\$38.86	111032018	\$165.80	111042019	\$38.86
111022029	\$48.12	111032019	\$38.86	111042020	\$38.86
111022030	\$38.86	111041001	\$48.12	111042021	\$38.86
111022031	\$68.46	111041002	\$38.86	111042022	\$38.86
111023001	\$67.36	111041003	\$38.86	111042024	\$49.22
111023002	\$10.36	111041004	\$38.86	111042025	\$49.22
111023003	\$77.72	111041005	\$38.86	111042026	\$49.22
111042027	\$49.22	111052024	\$38.86	111062003	\$38.86
111042030	\$38.86	111053002	\$67.36	111062004	\$38.86
111042031	\$49.22	111053003	\$67.36	111063001	\$38.86
111051001	\$88.08	111053004	\$67.36	111063002	\$38.86
111051002	\$77.72	111053008	\$59.58	111063003	\$38.86
111051003	\$77.72	111054001	\$38.86	111063004	\$38.86
111051004	\$77.72	111054002	\$38.86	111063005	\$38.86
111051005	\$77.72	111054003	\$38.86	111063006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111051006	\$67.36	111054004	\$38.86	111063007	\$38.86
111051007	\$67.36	111061001	\$38.86	111063008	\$38.86
111051008	\$38.86	111061002	\$38.86	111064001	\$38.86
111051009	\$67.36	111061003	\$38.86	111064002	\$38.86
111051010	\$38.86	111061004	\$38.86	111064003	\$38.86
111051011	\$67.36	111061005	\$49.22	111064004	\$38.86
111051012	\$38.86	111061006	\$49.22	111064005	\$38.86
111051013	\$38.86	111061007	\$49.22	111064006	\$38.86
111051014	\$38.86	111061008	\$67.74	111064007	\$38.86
111051015	\$49.22	111061009	\$49.22	111064008	\$38.86
111051016	\$49.22	111061010	\$49.22	111065001	\$38.86
111051017	\$49.22	111061011	\$49.22	111065002	\$38.86
111052001	\$38.86	111061012	\$49.22	111065003	\$38.86
111052002	\$38.86	111061013	\$49.22	111065004	\$38.86
111052003	\$67.36	111061014	\$49.22	111065005	\$38.86
111052004	\$77.72	111061015	\$49.22	111065006	\$38.86
111052005	\$77.72	111061016	\$38.86	111065007	\$38.86
111052006	\$77.72	111061018	\$38.86	111065008	\$38.86
111052007	\$38.86	111061019	\$38.86	111070001	\$137.30
111052008	\$38.86	111061020	\$38.86	111070002	\$88.08
111052009	\$67.36	111061021	\$38.86	111070003	\$88.08
111052010	\$38.86	111061022	\$38.86	111070004	\$88.08
111052011	\$38.86	111061023	\$38.86	111070005	\$98.44
111052012	\$38.86	111061024	\$38.86	111070006	\$98.44
111052013	\$38.86	111061025	\$38.86	111070007	\$88.08
111052014	\$38.86	111061026	\$38.86	111070008	\$49.22
111052015	\$38.86	111061027	\$38.86	111070009	\$49.22
111052016	\$38.86	111061028	\$38.86	111070010	\$77.72
111052017	\$38.86	111061029	\$38.86	111070011	\$77.72
111052018	\$38.86	111061030	\$38.86	111070012	\$38.86
111052019	\$38.86	111061031	\$38.86	111070013	\$38.86
111052020	\$38.86	111061032	\$38.86	111070014	\$38.86
111052021	\$38.86	111061033	\$38.86	111070015	\$38.86
111052022	\$38.86	111062001	\$38.86	111070016	\$38.86
111052023	\$38.86	111062002	\$38.86	111070017	\$38.86
111070018	\$38.86	111101010	\$67.36	111110007	\$67.36
111070019	\$38.86	111101011	\$67.36	111110008	\$67.36
111070020	\$38.86	111101012	\$67.36	111110010	\$77.72
111070021	\$38.86	111101013	\$67.36	111110019	\$77.72
111070022	\$38.86	111101014	\$67.36	111110020	\$67.36
111070023	\$38.86	111101015	\$67.36	111110021	\$67.36
111070024	\$38.86	111101016	\$67.36	111110022	\$67.36
111070025	\$38.86	111101017	\$67.36	111110023	\$67.36
111070026	\$38.86	111101018	\$67.36	111110024	\$67.36
111080008	\$199.46	111101019	\$67.36	111110025	\$67.36
111090017	\$10.36	111101020	\$67.36	111110026	\$67.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111090019	\$38.86	111101021	\$67.36	111110027	\$67.36
111090020	\$38.86	111101022	\$67.36	111110028	\$67.36
111090021	\$38.86	111101023	\$67.36	111110029	\$67.36
111090022	\$38.86	111101024	\$67.36	111110032	\$106.22
111090023	\$38.86	111101025	\$67.36	111111001	\$67.36
111090024	\$38.86	111102001	\$67.36	111111002	\$38.86
111090025	\$38.86	111102002	\$67.36	111111003	\$67.36
111090026	\$38.86	111102003	\$67.36	111111004	\$38.86
111090027	\$38.86	111102004	\$67.36	111111005	\$38.86
111090028	\$38.86	111102005	\$67.36	111111006	\$38.86
111090029	\$38.86	111102006	\$67.36	111111007	\$67.36
111090030	\$38.86	111102007	\$67.36	111112001	\$67.36
111090031	\$38.86	111102008	\$67.36	111112002	\$38.86
111090032	\$38.86	111102009	\$67.36	111112003	\$38.86
111090033	\$10.36	111102010	\$67.36	111112004	\$38.86
111090036	\$49.22	111102011	\$67.36	111112005	\$67.36
111090037	\$88.08	111103001	\$67.36	111121001	\$67.36
111091001	\$38.86	111103002	\$67.36	111121002	\$67.36
111091002	\$38.86	111103003	\$67.36	111121003	\$67.36
111091003	\$38.86	111103004	\$67.36	111121004	\$67.36
111091004	\$38.86	111103005	\$67.36	111121005	\$67.36
111091005	\$38.86	111103006	\$145.08	111121006	\$67.36
111091006	\$38.86	111103007	\$67.36	111121007	\$67.36
111101001	\$38.86	111103008	\$67.36	111121008	\$67.36
111101002	\$67.36	111103009	\$67.36	111121009	\$67.36
111101003	\$67.36	111103010	\$67.36	111122001	\$67.36
111101004	\$67.36	111110001	\$67.36	111122002	\$67.36
111101005	\$67.36	111110002	\$38.86	111122003	\$67.36
111101006	\$67.36	111110003	\$38.86	111122004	\$67.36
111101007	\$67.36	111110004	\$67.36	111122005	\$67.36
111101008	\$67.36	111110005	\$67.36	111123001	\$67.36
111101009	\$67.36	111110006	\$67.36	111123002	\$67.36
111123003	\$67.36	111161011	\$38.86	111170002	\$38.86
111123004	\$67.36	111161012	\$67.36	111170003	\$38.86
111123005	\$67.36	111162001	\$67.36	111170004	\$38.86
111123006	\$67.36	111162002	\$38.86	111170005	\$38.86
111123007	\$67.36	111162003	\$67.36	111170006	\$38.86
111123008	\$67.36	111163001	\$38.86	111170007	\$38.86
111123009	\$67.36	111163002	\$10.36	111170008	\$38.86
111123010	\$67.36	111163003	\$38.86	111170009	\$38.86
111123011	\$67.36	111163004	\$38.86	111170010	\$38.86
111123012	\$67.36	111163005	\$38.86	111170011	\$38.86
111124001	\$67.36	111163006	\$38.86	111170012	\$38.86
111124002	\$67.36	111163007	\$38.86	111170013	\$38.86
111124003	\$67.36	111163008	\$38.86	111170014	\$38.86
111124004	\$67.36	111163009	\$38.86	111170015	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111124005	\$67.36	111163010	\$38.86	111170016	\$38.86
111124006	\$67.36	111163011	\$38.86	111170017	\$38.86
111124007	\$67.36	111163012	\$38.86	111170018	\$38.86
111124008	\$67.36	111163013	\$38.86	111170019	\$38.86
111124009	\$67.36	111163014	\$38.86	111170020	\$48.12
111124010	\$67.36	111163015	\$38.86	111170021	\$38.86
111124011	\$67.36	111164001	\$38.86	111170022	\$38.86
111124012	\$67.36	111164002	\$38.86	111170023	\$48.12
111124013	\$67.36	111164003	\$38.86	111170024	\$38.86
111124014	\$67.36	111164004	\$38.86	111170025	\$38.86
111150001	\$77.72	111164005	\$38.86	111170026	\$38.86
111150003	\$49.22	111164006	\$38.86	111170027	\$48.12
111150004	\$49.22	111164007	\$38.86	111170028	\$38.86
111150005	\$401.66	111164008	\$38.86	111170029	\$38.86
111150006	\$77.72	111164009	\$38.86	111170030	\$38.86
111150014	\$334.14	111164010	\$38.86	111170031	\$38.86
111150022	\$775.96	111164011	\$48.12	111170033	\$38.86
111150023	\$720.10	111164012	\$38.86	111170034	\$38.86
111150025	\$617.10	111164013	\$48.12	111170035	\$38.86
111161001	\$114.76	111164014	\$38.86	111170036	\$38.86
111161002	\$38.86	111165001	\$76.62	111170037	\$38.86
111161003	\$38.86	111165002	\$38.86	111170038	\$38.86
111161004	\$38.86	111165003	\$38.86	111170039	\$38.86
111161005	\$38.86	111165004	\$38.86	111170040	\$38.86
111161006	\$38.86	111165005	\$38.86	111170041	\$38.86
111161007	\$38.86	111165006	\$38.86	111170042	\$38.86
111161008	\$38.86	111165007	\$38.86	111170043	\$38.86
111161009	\$48.12	111165008	\$38.86	111170044	\$38.86
111161010	\$38.86	111170001	\$38.86	111170045	\$38.86
111181001	\$38.86	111182026	\$38.86	111191014	\$38.86
111181002	\$38.86	111182027	\$38.86	111191015	\$38.86
111181003	\$38.86	111182028	\$38.86	111191016	\$38.86
111181004	\$38.86	111182029	\$38.86	111191017	\$38.86
111181005	\$38.86	111182030	\$38.86	111191018	\$38.86
111181006	\$38.86	111182031	\$38.86	111191019	\$38.86
111181007	\$38.86	111183001	\$38.86	111191020	\$38.86
111181008	\$38.86	111183002	\$38.86	111191021	\$38.86
111181009	\$38.86	111183003	\$38.86	111191022	\$38.86
111181010	\$38.86	111183004	\$38.86	111191023	\$38.86
111181011	\$38.86	111183005	\$38.86	111191024	\$48.12
111181012	\$38.86	111183006	\$38.86	111191025	\$38.86
111181013	\$38.86	111183007	\$38.86	111191026	\$38.86
111181014	\$38.86	111183008	\$38.86	111191027	\$38.86
111181015	\$38.86	111183009	\$38.86	111191028	\$38.86
111181016	\$38.86	111183010	\$38.86	111192001	\$38.86
111181017	\$38.86	111183011	\$38.86	111192002	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111181018	\$38.86	111183012	\$38.86	111192003	\$38.86
111182001	\$38.86	111183013	\$38.86	111192004	\$38.86
111182002	\$38.86	111183014	\$38.86	111192005	\$48.12
111182003	\$38.86	111183015	\$38.86	111192006	\$38.86
111182004	\$38.86	111184001	\$38.86	111192007	\$38.86
111182005	\$38.86	111184002	\$38.86	111192008	\$38.86
111182006	\$38.86	111184003	\$38.86	111192009	\$38.86
111182007	\$38.86	111184004	\$38.86	111192010	\$38.86
111182008	\$38.86	111184005	\$38.86	111192011	\$38.86
111182009	\$38.86	111184006	\$38.86	111192012	\$38.86
111182010	\$38.86	111184007	\$38.86	111192013	\$38.86
111182011	\$38.86	111184008	\$38.86	111192014	\$38.86
111182012	\$38.86	111184009	\$38.86	111192015	\$38.86
111182013	\$38.86	111191001	\$38.86	111192016	\$38.86
111182014	\$38.86	111191002	\$38.86	111192017	\$38.86
111182015	\$38.86	111191003	\$38.86	111192018	\$38.86
111182016	\$38.86	111191004	\$38.86	111192019	\$38.86
111182017	\$38.86	111191005	\$38.86	111193001	\$38.86
111182018	\$38.86	111191006	\$38.86	111193002	\$38.86
111182019	\$38.86	111191007	\$38.86	111193003	\$38.86
111182020	\$38.86	111191008	\$38.86	111193004	\$38.86
111182021	\$38.86	111191009	\$38.86	111193005	\$38.86
111182022	\$38.86	111191010	\$38.86	111193006	\$38.86
111182023	\$38.86	111191011	\$38.86	111193007	\$38.86
111182024	\$38.86	111191012	\$38.86	111193008	\$38.86
111182025	\$38.86	111191013	\$38.86	111193009	\$38.86
111193010	\$38.86	111202003	\$88.08	111211010	\$67.36
111193011	\$38.86	111202004	\$49.22	111212001	\$77.72
111193012	\$38.86	111202005	\$49.22	111212004	\$115.86
111193013	\$38.86	111202006	\$77.72	111212005	\$77.72
111193014	\$38.86	111202007	\$163.98	111212006	\$38.86
111193015	\$38.86	111202008	\$77.72	111212007	\$67.36
111193016	\$38.86	111202009	\$88.08	111212010	\$38.86
111193017	\$38.86	111202010	\$49.22	111212011	\$38.86
111193018	\$38.86	111202011	\$49.22	111212012	\$38.86
111193019	\$38.86	111202012	\$77.72	111212013	\$38.86
111193020	\$38.86	111202017	\$38.86	111212014	\$38.86
111194001	\$38.86	111202018	\$38.86	111212015	\$38.86
111194002	\$38.86	111202019	\$38.86	111212016	\$38.86
111194003	\$38.86	111202020	\$38.86	111212017	\$67.36
111194004	\$38.86	111202021	\$38.86	111212018	\$67.36
111194005	\$38.86	111202022	\$38.86	111212020	\$88.08
111194006	\$38.86	111202023	\$38.86	111212022	\$77.72
111194007	\$38.86	111202024	\$38.86	111213002	\$115.86
111194008	\$38.86	111202025	\$38.86	111213006	\$86.98
111194009	\$38.86	111202026	\$38.86	111213011	\$68.46

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111194010	\$38.86	111202027	\$38.86	111213016	\$351.30
111201001	\$38.86	111202028	\$38.86	111221001	\$38.86
111201002	\$38.86	111202029	\$38.86	111221002	\$38.86
111201003	\$38.86	111202030	\$38.86	111221003	\$38.86
111201004	\$38.86	111202031	\$38.86	111221004	\$38.86
111201005	\$38.86	111202032	\$38.86	111221005	\$38.86
111201006	\$38.86	111202033	\$38.86	111221006	\$38.86
111201007	\$38.86	111202034	\$38.86	111221007	\$38.86
111201008	\$38.86	111202035	\$38.86	111221008	\$38.86
111201010	\$38.86	111202036	\$38.86	111221009	\$38.86
111201011	\$38.86	111202037	\$38.86	111221010	\$38.86
111201012	\$38.86	111202038	\$49.22	111222001	\$38.86
111201013	\$38.86	111202039	\$77.72	111222002	\$38.86
111201014	\$38.86	111202040	\$88.08	111222003	\$38.86
111201016	\$38.86	111211001	\$38.86	111222004	\$38.86
111201017	\$38.86	111211002	\$38.86	111222005	\$38.86
111201018	\$38.86	111211003	\$38.86	111222006	\$38.86
111201019	\$38.86	111211004	\$38.86	111222007	\$38.86
111201020	\$38.86	111211005	\$38.86	111222008	\$38.86
111201021	\$38.86	111211006	\$38.86	111222009	\$38.86
111201022	\$38.86	111211007	\$38.86	111222010	\$38.86
111202001	\$76.62	111211008	\$38.86	111222011	\$38.86
111202002	\$77.72	111211009	\$67.36	111222012	\$38.86
111222013	\$38.86	111224007	\$38.86	111233005	\$38.86
111222014	\$38.86	111224008	\$38.86	111233006	\$38.86
111222015	\$38.86	111224009	\$38.86	111233007	\$38.86
111223001	\$38.86	111224010	\$38.86	111233008	\$38.86
111223002	\$38.86	111224011	\$38.86	111233009	\$38.86
111223003	\$38.86	111224012	\$38.86	111233010	\$38.86
111223004	\$38.86	111224013	\$38.86	111233011	\$38.86
111223005	\$38.86	111231001	\$38.86	111233012	\$38.86
111223006	\$38.86	111231002	\$38.86	111233013	\$38.86
111223007	\$38.86	111231003	\$38.86	111233014	\$38.86
111223008	\$38.86	111231004	\$38.86	111233015	\$38.86
111223009	\$38.86	111231005	\$38.86	111233016	\$38.86
111223010	\$38.86	111231006	\$38.86	111233017	\$38.86
111223011	\$38.86	111231007	\$38.86	111233018	\$38.86
111223012	\$38.86	111231008	\$38.86	111233019	\$38.86
111223013	\$38.86	111231009	\$38.86	111233020	\$38.86
111223014	\$38.86	111231010	\$38.86	111233021	\$38.86
111223015	\$38.86	111231011	\$38.86	111233022	\$38.86
111223016	\$38.86	111231012	\$38.86	111234001	\$38.86
111223017	\$38.86	111231013	\$38.86	111234002	\$38.86
111223018	\$38.86	111231014	\$38.86	111234003	\$38.86
111223019	\$38.86	111231015	\$38.86	111234004	\$38.86
111223020	\$38.86	111231016	\$38.86	111234005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111223021	\$38.86	111231017	\$38.86	111234006	\$38.86
111223022	\$38.86	111231018	\$38.86	111234007	\$38.86
111223023	\$38.86	111231019	\$38.86	111234008	\$38.86
111223024	\$38.86	111231020	\$38.86	111234009	\$38.86
111223025	\$38.86	111231021	\$38.86	111234010	\$38.86
111223026	\$38.86	111231022	\$38.86	111234011	\$38.86
111223027	\$38.86	111231023	\$38.86	111241001	\$38.86
111223028	\$38.86	111231024	\$38.86	111241002	\$38.86
111223029	\$38.86	111231025	\$38.86	111241003	\$38.86
111223030	\$38.86	111232001	\$38.86	111241004	\$38.86
111223031	\$38.86	111232002	\$38.86	111241005	\$38.86
111223032	\$38.86	111232003	\$38.86	111241006	\$38.86
111223033	\$38.86	111232004	\$38.86	111241007	\$38.86
111223034	\$38.86	111232005	\$38.86	111241008	\$38.86
111224001	\$38.86	111232006	\$38.86	111241009	\$38.86
111224002	\$38.86	111232007	\$38.86	111241010	\$38.86
111224003	\$38.86	111233001	\$38.86	111241011	\$38.86
111224004	\$38.86	111233002	\$38.86	111241012	\$38.86
111224005	\$38.86	111233003	\$38.86	111241013	\$38.86
111224006	\$38.86	111233004	\$38.86	111242001	\$38.86
111242002	\$38.86	111243020	\$38.86	111253004	\$38.86
111242003	\$38.86	111243021	\$38.86	111253005	\$38.86
111242004	\$38.86	111243022	\$126.94	111253006	\$38.86
111242005	\$38.86	111251001	\$38.86	111253007	\$38.86
111242006	\$38.86	111251002	\$38.86	111253008	\$38.86
111242007	\$38.86	111251003	\$38.86	111253009	\$38.86
111242008	\$38.86	111251004	\$38.86	111253010	\$38.86
111242009	\$38.86	111251005	\$38.86	111253011	\$38.86
111242010	\$38.86	111251006	\$38.86	111253012	\$38.86
111242011	\$38.86	111251007	\$38.86	111253013	\$38.86
111242012	\$38.86	111251008	\$38.86	111253014	\$38.86
111242013	\$38.86	111251009	\$38.86	111253015	\$38.86
111242014	\$38.86	111251010	\$38.86	111253016	\$38.86
111242015	\$38.86	111251011	\$38.86	111253017	\$38.86
111242016	\$38.86	111251012	\$38.86	111253018	\$38.86
111242017	\$38.86	111252001	\$38.86	111253019	\$38.86
111242018	\$38.86	111252002	\$38.86	111253020	\$38.86
111242019	\$38.86	111252003	\$38.86	111253021	\$38.86
111242020	\$38.86	111252004	\$38.86	111253022	\$38.86
111242021	\$38.86	111252005	\$38.86	111253023	\$38.86
111242022	\$38.86	111252006	\$38.86	111253024	\$38.86
111242023	\$38.86	111252007	\$38.86	111253025	\$38.86
111242024	\$38.86	111252008	\$38.86	111270001	\$124.74
111242025	\$38.86	111252009	\$38.86	111270002	\$48.12
111242026	\$38.86	111252010	\$38.86	111270003	\$48.12
111243001	\$38.86	111252011	\$38.86	111270004	\$48.12

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111243002	\$38.86	111252012	\$38.86	111270005	\$48.12
111243003	\$38.86	111252013	\$38.86	111270006	\$633.46
111243004	\$38.86	111252014	\$38.86	111270007	\$48.12
111243005	\$38.86	111252015	\$38.86	111270010	\$38.86
111243006	\$38.86	111252016	\$38.86	111270011	\$96.24
111243007	\$38.86	111252017	\$38.86	111270012	\$124.74
111243008	\$38.86	111252018	\$38.86	111270014	\$48.12
111243009	\$38.86	111252019	\$38.86	111270018	\$105.12
111243011	\$38.86	111252020	\$38.86	111270020	\$38.86
111243012	\$38.86	111252021	\$38.86	111270023	\$388.68
111243013	\$38.86	111252022	\$38.86	111270024	\$87.36
111243014	\$38.86	111252023	\$38.86	111280001	\$169.52
111243015	\$38.86	111252024	\$38.86	111280002	\$317.68
111243016	\$38.86	111252025	\$38.86	111280004	\$79.58
111243017	\$38.86	111253001	\$38.86	111280005	\$61.78
111243018	\$38.86	111253002	\$38.86	111280017	\$19.62
111243019	\$38.86	111253003	\$38.86	111280019	\$19.62
111280024	\$19.62	111300054	\$173.28	111314012	\$38.86
111280025	\$163.98	111311001	\$38.86	111314013	\$38.86
111280027	\$603.82	111311002	\$38.86	111314014	\$38.86
111290020	\$316.16	111311003	\$38.86	111314015	\$38.86
111290021	\$203.94	111311004	\$38.86	111314016	\$38.86
111290022	\$173.96	111311005	\$38.86	111314017	\$38.86
111290023	\$135.10	111311006	\$38.86	111314018	\$38.86
111290025	\$834.10	111311007	\$38.86	111314019	\$38.86
111290031	\$576.46	111311008	\$38.86	111314020	\$38.86
111290037	\$230.28	111311009	\$38.86	111315001	\$38.86
111290038	\$201.40	111311010	\$38.86	111315002	\$38.86
111290039	\$234.30	111312001	\$38.86	111315003	\$38.86
111290040	\$115.48	111312002	\$38.86	111315004	\$38.86
111290054	\$149.90	111312003	\$38.86	111315005	\$38.86
111290059	\$489.44	111312004	\$38.86	111315006	\$38.86
111290060	\$777.48	111312005	\$38.86	111315007	\$38.86
111290061	\$633.08	111312006	\$38.86	111315008	\$38.86
111290064	\$1,237.28	111312007	\$38.86	111315009	\$38.86
111290065	\$403.18	111313001	\$38.86	111320001	\$38.86
111290066	\$201.40	111313002	\$38.86	111320002	\$38.86
111290067	\$57.38	111313003	\$38.86	111320003	\$38.86
111290068	\$57.38	111313004	\$38.86	111320004	\$38.86
111290069	\$57.38	111313005	\$38.86	111320005	\$38.86
111290070	\$57.38	111313006	\$38.86	111320006	\$38.86
111290071	\$57.38	111313007	\$38.86	111320007	\$38.86
111290072	\$57.38	111313008	\$38.86	111320008	\$38.86
111290073	\$57.38	111313009	\$38.86	111320009	\$38.86
111290074	\$57.38	111313010	\$38.86	111320010	\$38.86
111290075	\$57.38	111313011	\$38.86	111320011	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111290076	\$57.38	111313012	\$38.86	111320012	\$38.86
111290078	\$345.04	111313013	\$38.86	111320013	\$38.86
111290080	\$402.80	111313014	\$38.86	111320014	\$38.86
111300023	\$345.04	111314001	\$38.86	111320015	\$38.86
111300024	\$201.02	111314002	\$38.86	111320016	\$38.86
111300025	\$172.52	111314003	\$38.86	111320017	\$38.86
111300030	\$202.16	111314004	\$38.86	111320018	\$38.86
111300031	\$288.80	111314005	\$38.86	111320019	\$38.86
111300038	\$1,934.96	111314006	\$38.86	111320020	\$38.86
111300049	\$144.40	111314007	\$38.86	111320021	\$38.86
111300050	\$375.44	111314008	\$38.86	111320022	\$38.86
111300051	\$431.30	111314009	\$38.86	111320023	\$38.86
111300052	\$173.28	111314010	\$38.86	111320024	\$38.86
111300053	\$86.64	111314011	\$38.86	111320025	\$38.86
111320026	\$38.86	111321043	\$15.48	111331018	\$38.86
111321001	\$15.48	111321044	\$15.48	111331019	\$38.86
111321002	\$15.48	111321045	\$15.48	111331020	\$38.86
111321003	\$15.48	111321046	\$15.48	111331021	\$38.86
111321004	\$15.48	111321047	\$15.48	111332001	\$38.86
111321005	\$15.48	111321048	\$15.48	111332002	\$38.86
111321006	\$15.48	111321049	\$15.48	111332003	\$38.86
111321007	\$15.48	111321050	\$15.48	111332004	\$38.86
111321008	\$15.48	111321051	\$15.48	111332005	\$38.86
111321009	\$15.48	111321052	\$15.48	111332006	\$38.86
111321010	\$15.48	111321053	\$15.48	111332007	\$38.86
111321011	\$15.48	111321054	\$15.48	111332008	\$38.86
111321012	\$15.48	111321055	\$15.48	111332009	\$38.86
111321013	\$15.48	111321056	\$15.48	111333001	\$38.86
111321014	\$15.48	111321057	\$15.48	111333002	\$38.86
111321015	\$15.48	111321058	\$15.48	111333003	\$38.86
111321016	\$15.48	111321059	\$15.48	111333004	\$38.86
111321017	\$15.48	111321060	\$15.48	111333005	\$38.86
111321018	\$15.48	111321061	\$15.48	111333006	\$38.86
111321019	\$15.48	111321062	\$15.48	111333007	\$38.86
111321020	\$15.48	111321063	\$15.48	111333008	\$38.86
111321021	\$15.48	111321064	\$15.48	111333009	\$38.86
111321022	\$15.48	111321065	\$15.48	111341001	\$38.86
111321023	\$15.48	111321066	\$15.48	111341002	\$38.86
111321024	\$15.48	111321067	\$15.48	111341003	\$38.86
111321025	\$15.48	111321068	\$15.48	111341004	\$38.86
111321026	\$15.48	111331001	\$38.86	111341005	\$38.86
111321027	\$15.48	111331002	\$38.86	111341006	\$38.86
111321028	\$15.48	111331003	\$38.86	111341007	\$38.86
111321029	\$15.48	111331004	\$38.86	111341008	\$38.86
111321030	\$15.48	111331005	\$38.86	111341009	\$38.86
111321031	\$15.48	111331006	\$38.86	111341010	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111321032	\$15.48	111331007	\$38.86	111341011	\$38.86
111321033	\$15.48	111331008	\$38.86	111341012	\$38.86
111321034	\$15.48	111331009	\$38.86	111341013	\$38.86
111321035	\$15.48	111331010	\$38.86	111341014	\$38.86
111321036	\$15.48	111331011	\$38.86	111341015	\$38.86
111321037	\$15.48	111331012	\$38.86	111341016	\$38.86
111321038	\$15.48	111331013	\$38.86	111341017	\$38.86
111321039	\$15.48	111331014	\$38.86	111341018	\$38.86
111321040	\$15.48	111331015	\$38.86	111341019	\$38.86
111321041	\$15.48	111331016	\$38.86	111342001	\$38.86
111321042	\$15.48	111331017	\$38.86	111342002	\$38.86
111342003	\$38.86	111352016	\$38.86	111362016	\$38.86
111342004	\$38.86	111352017	\$38.86	111362017	\$38.86
111342005	\$38.86	111352018	\$38.86	111362018	\$38.86
111342006	\$38.86	111352019	\$38.86	111362019	\$38.86
111342007	\$38.86	111352020	\$38.86	111362020	\$38.86
111342008	\$38.86	111352021	\$38.86	111362022	\$98.44
111342009	\$38.86	111352022	\$38.86	111362024	\$38.86
111342010	\$38.86	111352023	\$38.86	111362025	\$38.86
111342011	\$38.86	111353001	\$38.86	111362026	\$38.86
111342012	\$38.86	111353002	\$38.86	111362027	\$38.86
111342013	\$38.86	111353003	\$38.86	111362028	\$38.86
111342014	\$38.86	111353004	\$38.86	111362029	\$38.86
111342015	\$38.86	111353005	\$38.86	111362030	\$38.86
111342016	\$38.86	111353006	\$38.86	111362031	\$38.86
111342017	\$38.86	111361001	\$38.86	111362032	\$38.86
111342018	\$38.86	111361002	\$38.86	111362033	\$38.86
111342019	\$38.86	111361003	\$38.86	111362034	\$38.86
111342020	\$38.86	111361004	\$38.86	111362035	\$59.58
111343001	\$38.86	111361005	\$38.86	111362036	\$38.86
111343002	\$38.86	111361006	\$38.86	111362037	\$38.86
111343003	\$38.86	111361007	\$38.86	111362038	\$38.86
111343004	\$38.86	111361008	\$38.86	111363001	\$38.86
111343005	\$38.86	111361009	\$38.86	111363002	\$38.86
111343006	\$38.86	111361010	\$38.86	111363003	\$38.86
111343007	\$38.86	111361011	\$38.86	111363004	\$38.86
111351001	\$38.86	111361012	\$38.86	111363005	\$38.86
111351002	\$38.86	111361013	\$38.86	111363006	\$38.86
111351003	\$38.86	111361014	\$38.86	111363007	\$38.86
111351004	\$38.86	111361015	\$38.86	111363008	\$38.86
111352001	\$38.86	111361016	\$38.86	111363009	\$38.86
111352002	\$38.86	111362001	\$38.86	111371001	\$13.48
111352003	\$38.86	111362002	\$38.86	111371002	\$13.48
111352004	\$38.86	111362003	\$38.86	111371003	\$13.48
111352005	\$38.86	111362004	\$38.86	111371004	\$13.48
111352006	\$38.86	111362005	\$38.86	111371005	\$13.48



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111352007	\$38.86	111362006	\$38.86	111371006	\$13.48
111352008	\$38.86	111362007	\$38.86	111371007	\$13.48
111352009	\$38.86	111362008	\$38.86	111371008	\$13.48
111352010	\$38.86	111362009	\$38.86	111371009	\$13.48
111352011	\$38.86	111362012	\$38.86	111371010	\$13.48
111352012	\$38.86	111362013	\$38.86	111371011	\$13.48
111352013	\$38.86	111362014	\$38.86	111371012	\$13.48
111352014	\$38.86	111362015	\$38.86	111371013	\$13.48
111371014	\$13.48	111372003	\$13.48	111372052	\$13.48
111371015	\$13.48	111372004	\$13.48	111372053	\$13.48
111371016	\$13.48	111372005	\$13.48	111372054	\$13.48
111371017	\$13.48	111372006	\$13.48	111372055	\$13.48
111371018	\$13.48	111372007	\$13.48	111372056	\$13.48
111371019	\$13.48	111372008	\$13.48	111372057	\$13.48
111371020	\$13.48	111372009	\$13.48	111372058	\$13.48
111371021	\$13.48	111372010	\$13.48	111372059	\$13.48
111371022	\$13.48	111372011	\$13.48	111372060	\$13.48
111371023	\$13.48	111372012	\$13.48	111372061	\$13.48
111371024	\$13.48	111372013	\$13.48	111372062	\$13.48
111371025	\$13.48	111372014	\$13.48	111372063	\$13.48
111371026	\$13.48	111372015	\$13.48	111372064	\$13.48
111371027	\$13.48	111372016	\$13.48	111372065	\$13.48
111371028	\$13.48	111372017	\$13.48	111372066	\$13.48
111371029	\$13.48	111372018	\$13.48	111372067	\$13.48
111371030	\$13.48	111372022	\$13.48	111372068	\$13.48
111371031	\$13.48	111372023	\$13.48	111373011	\$13.48
111371032	\$13.48	111372024	\$13.48	111373012	\$13.48
111371033	\$13.48	111372025	\$13.48	111373013	\$13.48
111371034	\$13.48	111372026	\$13.48	111373014	\$13.48
111371035	\$13.48	111372027	\$13.48	111373015	\$13.48
111371036	\$13.48	111372028	\$13.48	111373016	\$13.48
111371037	\$13.48	111372029	\$13.48	111373017	\$13.48
111371038	\$13.48	111372030	\$13.48	111373018	\$13.48
111371039	\$13.48	111372031	\$13.48	111373019	\$13.48
111371040	\$13.48	111372032	\$13.48	111373020	\$13.48
111371041	\$13.48	111372033	\$13.48	111373021	\$13.48
111371042	\$13.48	111372034	\$13.48	111373022	\$13.48
111371043	\$13.48	111372035	\$13.48	111373023	\$13.48
111371044	\$13.48	111372036	\$13.48	111373024	\$13.48
111371045	\$13.48	111372037	\$13.48	111373025	\$13.48
111371046	\$13.48	111372038	\$13.48	111373026	\$13.48
111371047	\$13.48	111372039	\$13.48	111373027	\$13.48
111371048	\$13.48	111372040	\$13.48	111373028	\$13.48
111371049	\$13.48	111372041	\$13.48	111373032	\$13.48
111371050	\$13.48	111372042	\$13.48	111373033	\$13.48
111371051	\$13.48	111372043	\$13.48	111373034	\$13.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111371052	\$13.48	111372047	\$13.48	111373035	\$13.48
111371053	\$13.48	111372048	\$13.48	111373036	\$13.48
111371054	\$13.48	111372049	\$13.48	111373037	\$13.48
111372001	\$13.48	111372050	\$13.48	111373038	\$13.48
111372002	\$13.48	111372051	\$13.48	111373039	\$13.48
111373040	\$13.48	111374010	\$13.48	111374059	\$13.48
111373041	\$13.48	111374011	\$13.48	111374060	\$13.48
111373042	\$13.48	111374012	\$13.48	111380003	\$172.52
111373043	\$13.48	111374013	\$13.48	111380004	\$432.82
111373044	\$13.48	111374014	\$13.48	111380005	\$143.26
111373045	\$13.48	111374015	\$13.48	111380006	\$172.14
111373046	\$13.48	111374016	\$13.48	111380007	\$201.02
111373047	\$13.48	111374017	\$13.48	111380008	\$606.10
111373048	\$13.48	111374018	\$13.48	111380009	\$258.40
111373049	\$13.48	111374022	\$13.48	111390001	\$229.90
111373052	\$13.48	111374023	\$13.48	111390002	\$201.40
111373053	\$13.48	111374024	\$13.48	111390003	\$143.64
111373054	\$13.48	111374025	\$13.48	111390006	\$144.02
111373055	\$13.48	111374026	\$13.48	111390007	\$259.16
111373056	\$13.48	111374027	\$13.48	111390008	\$201.40
111373057	\$13.48	111374028	\$13.48	111390009	\$114.76
111373058	\$13.48	111374029	\$13.48	111390010	\$143.64
111373059	\$13.48	111374030	\$13.48	111390011	\$57.76
111373060	\$13.48	111374031	\$13.48	111390013	\$143.64
111373061	\$13.48	111374032	\$13.48	111390015	\$172.14
111373062	\$13.48	111374033	\$13.48	111401001	\$38.86
111373063	\$13.48	111374034	\$13.48	111401002	\$38.86
111373064	\$13.48	111374035	\$13.48	111401003	\$38.86
111373065	\$13.48	111374036	\$13.48	111401004	\$38.86
111373066	\$13.48	111374037	\$13.48	111401005	\$38.86
111373067	\$13.48	111374038	\$13.48	111401006	\$38.86
111373068	\$13.48	111374039	\$13.48	111401007	\$38.86
111373069	\$13.48	111374043	\$13.48	111401008	\$38.86
111373070	\$13.48	111374044	\$13.48	111401009	\$38.86
111373071	\$13.48	111374045	\$13.48	111401010	\$38.86
111373072	\$13.48	111374046	\$13.48	111401011	\$38.86
111373073	\$13.48	111374047	\$13.48	111401012	\$38.86
111373074	\$13.48	111374048	\$13.48	111401013	\$38.86
111373075	\$13.48	111374049	\$13.48	111401014	\$38.86
111374001	\$13.48	111374050	\$13.48	111401015	\$38.86
111374002	\$13.48	111374051	\$13.48	111401016	\$38.86
111374003	\$13.48	111374052	\$13.48	111401017	\$38.86
111374004	\$13.48	111374053	\$13.48	111401018	\$38.86
111374005	\$13.48	111374054	\$13.48	111402001	\$38.86
111374006	\$13.48	111374055	\$13.48	111402002	\$38.86
111374007	\$13.48	111374056	\$13.48	111402003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
111374008	\$13.48	111374057	\$13.48	111402004	\$38.86
111374009	\$13.48	111374058	\$13.48	111402005	\$38.86
111402006	\$38.86	111413002	\$38.86	112021030	\$19.48
111402007	\$38.86	111413003	\$38.86	112021031	\$19.48
111402008	\$38.86	111413004	\$38.86	112021032	\$19.48
111402009	\$38.86	111413005	\$38.86	112021033	\$19.48
111402010	\$38.86	111413006	\$38.86	112021034	\$19.48
111402011	\$38.86	111413007	\$38.86	112021035	\$19.48
111402012	\$38.86	111413008	\$38.86	112021036	\$19.48
111402013	\$38.86	111413009	\$38.86	112021037	\$19.48
111403001	\$38.86	111413010	\$38.86	112021038	\$19.48
111403002	\$38.86	111413011	\$38.86	112021039	\$19.48
111403003	\$38.86	111413012	\$38.86	112021040	\$19.48
111403004	\$38.86	111413013	\$38.86	112021041	\$19.48
111403005	\$38.86	111413014	\$38.86	112021042	\$19.48
111403006	\$38.86	111413015	\$38.86	112021043	\$19.48
111403007	\$38.86	112021001	\$19.48	112021044	\$19.48
111403008	\$38.86	112021002	\$19.48	112021045	\$19.48
111403009	\$38.86	112021003	\$19.48	112021046	\$19.48
111403010	\$38.86	112021004	\$19.48	112021047	\$19.48
111403011	\$38.86	112021005	\$19.48	112021048	\$19.48
111403012	\$38.86	112021006	\$19.48	112021049	\$19.48
111411001	\$38.86	112021007	\$19.48	112021050	\$19.48
111411002	\$38.86	112021008	\$19.48	112021051	\$19.48
111411003	\$38.86	112021009	\$19.48	112021052	\$19.48
111411004	\$38.86	112021010	\$19.48	112021053	\$19.48
111411005	\$38.86	112021011	\$19.48	112021054	\$19.48
111411006	\$38.86	112021012	\$19.48	112021055	\$19.48
111411007	\$38.86	112021013	\$19.48	112021056	\$19.48
111411008	\$38.86	112021014	\$19.48	112021057	\$19.48
111411009	\$38.86	112021015	\$19.48	112021058	\$19.48
111411010	\$38.86	112021016	\$19.48	112021059	\$19.48
111411011	\$38.86	112021017	\$19.48	112021060	\$19.48
111411012	\$38.86	112021018	\$19.48	112021061	\$19.48
111412001	\$38.86	112021019	\$19.48	112021062	\$19.48
111412002	\$38.86	112021020	\$19.48	112021063	\$19.48
111412003	\$38.86	112021021	\$19.48	112021064	\$19.48
111412004	\$38.86	112021022	\$19.48	112021065	\$19.48
111412005	\$38.86	112021023	\$19.48	112021066	\$19.48
111412006	\$38.86	112021024	\$19.48	112021067	\$19.48
111412007	\$38.86	112021025	\$19.48	112021068	\$19.48
111412008	\$38.86	112021026	\$19.48	112021069	\$19.48
111412009	\$38.86	112021027	\$19.48	112021070	\$19.48
111412010	\$38.86	112021028	\$19.48	112021071	\$19.48
111413001	\$38.86	112021029	\$19.48	112021072	\$19.48
112021073	\$19.48	112022036	\$14.06	112022079	\$14.06

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112021074	\$19.48	112022037	\$14.06	112022080	\$14.06
112021075	\$19.48	112022038	\$14.06	112022081	\$14.06
112021076	\$19.48	112022039	\$14.06	112022082	\$14.06
112021077	\$19.48	112022040	\$14.06	112022083	\$14.06
112021078	\$19.48	112022041	\$14.06	112022084	\$14.06
112021079	\$19.48	112022042	\$14.06	112022085	\$14.06
112021080	\$19.48	112022043	\$14.06	112022086	\$14.06
112022001	\$14.06	112022044	\$14.06	112022087	\$14.06
112022002	\$14.06	112022045	\$14.06	112022088	\$14.06
112022003	\$14.06	112022046	\$14.06	112031002	\$38.86
112022004	\$14.06	112022047	\$14.06	112031003	\$38.86
112022005	\$14.06	112022048	\$14.06	112031004	\$38.86
112022006	\$14.06	112022049	\$14.06	112031005	\$38.86
112022007	\$14.06	112022050	\$14.06	112031006	\$38.86
112022008	\$14.06	112022051	\$14.06	112031007	\$38.86
112022009	\$14.06	112022052	\$14.06	112031008	\$38.86
112022010	\$14.06	112022053	\$14.06	112031009	\$38.86
112022011	\$14.06	112022054	\$14.06	112031010	\$38.86
112022012	\$14.06	112022055	\$14.06	112031011	\$38.86
112022013	\$14.06	112022056	\$14.06	112031012	\$38.86
112022014	\$14.06	112022057	\$14.06	112031013	\$38.86
112022015	\$14.06	112022058	\$14.06	112031014	\$38.86
112022016	\$14.06	112022059	\$14.06	112031015	\$38.86
112022017	\$14.06	112022060	\$14.06	112031016	\$38.86
112022018	\$14.06	112022061	\$14.06	112032002	\$38.86
112022019	\$14.06	112022062	\$14.06	112032003	\$38.86
112022020	\$14.06	112022063	\$14.06	112032004	\$38.86
112022021	\$14.06	112022064	\$14.06	112032005	\$38.86
112022022	\$14.06	112022065	\$14.06	112032006	\$38.86
112022023	\$14.06	112022066	\$14.06	112032007	\$38.86
112022024	\$14.06	112022067	\$14.06	112032008	\$38.86
112022025	\$14.06	112022068	\$14.06	112032009	\$38.86
112022026	\$14.06	112022069	\$14.06	112032010	\$38.86
112022027	\$14.06	112022070	\$14.06	112032011	\$38.86
112022028	\$14.06	112022071	\$14.06	112032012	\$38.86
112022029	\$14.06	112022072	\$14.06	112032013	\$38.86
112022030	\$14.06	112022073	\$14.06	112032014	\$38.86
112022031	\$14.06	112022074	\$14.06	112032015	\$38.86
112022032	\$14.06	112022075	\$14.06	112032016	\$38.86
112022033	\$14.06	112022076	\$14.06	112041001	\$38.86
112022034	\$14.06	112022077	\$14.06	112041002	\$38.86
112022035	\$14.06	112022078	\$14.06	112041003	\$38.86
112041004	\$38.86	112042044	\$38.86	112061007	\$38.86
112041005	\$38.86	112042045	\$38.86	112061008	\$38.86
112041006	\$38.86	112042046	\$38.86	112061010	\$38.86
112041007	\$38.86	112050001	\$38.86	112061011	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112042002	\$38.86	112050002	\$38.86	112061012	\$38.86
112042003	\$38.86	112050003	\$38.86	112061013	\$38.86
112042004	\$38.86	112050004	\$38.86	112061014	\$38.86
112042005	\$38.86	112050005	\$38.86	112061015	\$38.86
112042006	\$38.86	112050006	\$38.86	112061016	\$38.86
112042007	\$38.86	112050007	\$38.86	112061017	\$38.86
112042008	\$38.86	112050008	\$38.86	112061018	\$38.86
112042009	\$38.86	112050009	\$38.86	112061019	\$38.86
112042010	\$38.86	112050010	\$38.86	112061020	\$38.86
112042011	\$38.86	112050011	\$38.86	112061021	\$38.86
112042012	\$38.86	112050012	\$38.86	112061024	\$38.86
112042013	\$38.86	112050013	\$38.86	112061025	\$38.86
112042014	\$38.86	112050014	\$38.86	112061026	\$38.86
112042016	\$38.86	112050015	\$38.86	112062001	\$38.86
112042017	\$38.86	112050016	\$38.86	112062002	\$38.86
112042018	\$38.86	112050017	\$38.86	112062003	\$38.86
112042019	\$38.86	112050018	\$38.86	112062004	\$38.86
112042020	\$38.86	112050019	\$38.86	112062005	\$38.86
112042021	\$38.86	112050020	\$38.86	112062009	\$38.86
112042022	\$38.86	112050021	\$38.86	112062010	\$38.86
112042023	\$38.86	112050022	\$38.86	112062011	\$38.86
112042024	\$38.86	112050023	\$38.86	112062012	\$38.86
112042025	\$38.86	112050024	\$38.86	112062013	\$38.86
112042026	\$38.86	112050025	\$38.86	112062014	\$38.86
112042027	\$38.86	112050026	\$38.86	112062015	\$38.86
112042028	\$38.86	112050027	\$38.86	112063001	\$38.86
112042029	\$38.86	112050028	\$38.86	112063002	\$38.86
112042032	\$38.86	112050029	\$38.86	112063003	\$38.86
112042033	\$38.86	112050030	\$38.86	112063004	\$38.86
112042034	\$38.86	112050031	\$38.86	112063005	\$38.86
112042035	\$38.86	112050032	\$38.86	112063006	\$38.86
112042036	\$38.86	112050033	\$38.86	112063007	\$38.86
112042037	\$38.86	112050034	\$38.86	112063008	\$38.86
112042038	\$38.86	112061001	\$38.86	112063009	\$38.86
112042039	\$38.86	112061002	\$38.86	112063010	\$38.86
112042040	\$38.86	112061003	\$38.86	112063011	\$38.86
112042041	\$38.86	112061004	\$38.86	112063012	\$38.86
112042042	\$38.86	112061005	\$38.86	112063013	\$38.86
112042043	\$38.86	112061006	\$38.86	112071001	\$38.86
112071002	\$38.86	112081007	\$38.86	112092013	\$38.86
112071003	\$38.86	112081008	\$38.86	112092014	\$38.86
112071004	\$38.86	112081009	\$38.86	112093001	\$38.86
112071005	\$38.86	112081010	\$38.86	112093002	\$38.86
112071006	\$38.86	112081011	\$38.86	112093003	\$38.86
112071007	\$38.86	112081012	\$38.86	112093004	\$38.86
112071008	\$38.86	112081013	\$38.86	112093005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112071009	\$38.86	112081014	\$38.86	112093006	\$38.86
112071010	\$38.86	112081015	\$38.86	112093007	\$38.86
112071011	\$38.86	112081016	\$38.86	112093008	\$38.86
112071012	\$38.86	112082001	\$38.86	112093009	\$38.86
112071013	\$38.86	112082002	\$38.86	112093010	\$38.86
112071014	\$38.86	112082003	\$38.86	112093011	\$38.86
112071015	\$38.86	112082004	\$38.86	112093012	\$38.86
112071016	\$38.86	112082005	\$38.86	112093013	\$38.86
112071017	\$38.86	112082006	\$38.86	112093014	\$38.86
112071018	\$38.86	112082007	\$38.86	112101002	\$38.86
112071021	\$38.86	112082008	\$38.86	112101003	\$38.86
112071022	\$38.86	112082009	\$38.86	112101004	\$38.86
112071023	\$38.86	112082010	\$38.86	112101005	\$38.86
112071024	\$38.86	112083002	\$38.86	112101006	\$38.86
112071025	\$38.86	112083003	\$38.86	112101007	\$38.86
112071026	\$38.86	112083004	\$38.86	112101008	\$38.86
112071027	\$38.86	112083005	\$38.86	112101009	\$38.86
112071028	\$38.86	112083006	\$38.86	112101010	\$38.86
112071029	\$38.86	112091001	\$38.86	112101011	\$38.86
112072001	\$38.86	112091002	\$38.86	112101012	\$38.86
112072002	\$38.86	112091003	\$38.86	112101013	\$38.86
112072003	\$38.86	112091004	\$38.86	112101014	\$38.86
112072004	\$38.86	112091005	\$38.86	112101015	\$38.86
112072005	\$38.86	112091006	\$38.86	112101016	\$38.86
112072006	\$38.86	112091007	\$38.86	112101017	\$38.86
112072007	\$38.86	112092001	\$38.86	112101018	\$38.86
112072008	\$38.86	112092002	\$38.86	112102002	\$38.86
112072009	\$38.86	112092004	\$38.86	112102003	\$38.86
112072010	\$38.86	112092005	\$38.86	112102004	\$38.86
112072011	\$38.86	112092006	\$38.86	112102006	\$38.86
112081001	\$38.86	112092007	\$38.86	112102007	\$38.86
112081002	\$38.86	112092008	\$38.86	112102008	\$38.86
112081003	\$38.86	112092009	\$38.86	112102009	\$38.86
112081004	\$38.86	112092010	\$38.86	112103001	\$38.86
112081005	\$38.86	112092011	\$38.86	112103002	\$38.86
112081006	\$38.86	112092012	\$38.86	112103003	\$38.86
112103004	\$38.86	112120011	\$38.86	112141012	\$38.86
112103005	\$38.86	112120012	\$38.86	112141013	\$38.86
112103006	\$38.86	112120013	\$38.86	112141014	\$38.86
112103007	\$38.86	112120014	\$38.86	112141015	\$38.86
112103008	\$38.86	112120015	\$38.86	112141016	\$38.86
112103009	\$38.86	112120016	\$38.86	112141017	\$38.86
112103010	\$38.86	112130002	\$38.86	112141018	\$38.86
112103011	\$38.86	112130003	\$38.86	112141019	\$38.86
112111001	\$38.86	112130004	\$38.86	112141020	\$38.86
112111002	\$38.86	112130005	\$38.86	112141021	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112111003	\$38.86	112130006	\$38.86	112141022	\$38.86
112111004	\$38.86	112130007	\$38.86	112141023	\$38.86
112111005	\$38.86	112130008	\$38.86	112141024	\$38.86
112111006	\$38.86	112130009	\$38.86	112141025	\$38.86
112111007	\$38.86	112130010	\$38.86	112141026	\$38.86
112111008	\$38.86	112130011	\$38.86	112141027	\$38.86
112111009	\$38.86	112130012	\$38.86	112141028	\$38.86
112111010	\$38.86	112130013	\$38.86	112141029	\$38.86
112111011	\$38.86	112130014	\$38.86	112141030	\$38.86
112111012	\$38.86	112130015	\$38.86	112142001	\$38.86
112112002	\$38.86	112130016	\$38.86	112142002	\$38.86
112112003	\$38.86	112130017	\$38.86	112142003	\$38.86
112112004	\$38.86	112130018	\$38.86	112151001	\$38.86
112112005	\$38.86	112130019	\$38.86	112151002	\$38.86
112112006	\$38.86	112130020	\$38.86	112151003	\$38.86
112112007	\$38.86	112130021	\$38.86	112151004	\$38.86
112112008	\$38.86	112130022	\$38.86	112151005	\$38.86
112112009	\$38.86	112130023	\$38.86	112151006	\$38.86
112112010	\$38.86	112130024	\$38.86	112151007	\$38.86
112112011	\$38.86	112130025	\$38.86	112151008	\$38.86
112112012	\$38.86	112130026	\$38.86	112152001	\$39.96
112112013	\$38.86	112130027	\$38.86	112152002	\$41.06
112112014	\$38.86	112141001	\$38.86	112152003	\$41.06
112120001	\$38.86	112141002	\$38.86	112152004	\$39.96
112120002	\$38.86	112141003	\$38.86	112152005	\$39.96
112120003	\$38.86	112141004	\$38.86	112152006	\$39.96
112120004	\$38.86	112141005	\$38.86	112152007	\$39.96
112120005	\$38.86	112141006	\$38.86	112152008	\$39.96
112120006	\$38.86	112141007	\$38.86	112152009	\$38.86
112120007	\$38.86	112141008	\$38.86	112152010	\$38.86
112120008	\$38.86	112141009	\$38.86	112153001	\$38.86
112120009	\$38.86	112141010	\$38.86	112153002	\$38.86
112120010	\$38.86	112141011	\$38.86	112153003	\$38.86
112153004	\$38.86	112161031	\$38.86	112171005	\$38.86
112153005	\$38.86	112162001	\$38.86	112171006	\$38.86
112153006	\$38.86	112162002	\$38.86	112171007	\$38.86
112153007	\$38.86	112162003	\$38.86	112171008	\$38.86
112153008	\$38.86	112162004	\$38.86	112171009	\$38.86
112154001	\$38.86	112162005	\$38.86	112171010	\$38.86
112154002	\$38.86	112162006	\$38.86	112171011	\$38.86
112154003	\$38.86	112162007	\$38.86	112171012	\$39.96
112154004	\$38.86	112162008	\$38.86	112171013	\$39.96
112154005	\$38.86	112162009	\$38.86	112171014	\$39.96
112154006	\$38.86	112162010	\$38.86	112171015	\$38.86
112154007	\$38.86	112162011	\$38.86	112171016	\$38.86
112154008	\$38.86	112162012	\$38.86	112171017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112161001	\$38.86	112162013	\$38.86	112171018	\$39.96
112161002	\$38.86	112162014	\$38.86	112172001	\$39.96
112161003	\$38.86	112162015	\$38.86	112172002	\$38.86
112161004	\$39.96	112162016	\$38.86	112172003	\$38.86
112161005	\$39.96	112163001	\$38.86	112172004	\$96.96
112161006	\$39.96	112163002	\$38.86	112172005	\$38.86
112161007	\$39.96	112163003	\$38.86	112172006	\$38.86
112161008	\$39.96	112163004	\$38.86	112172007	\$38.86
112161009	\$39.96	112163005	\$38.86	112172008	\$38.86
112161010	\$39.96	112163006	\$38.86	112172009	\$38.86
112161011	\$38.86	112163007	\$38.86	112172010	\$38.86
112161012	\$38.86	112163008	\$38.86	112172011	\$38.86
112161013	\$38.86	112163009	\$38.86	112172012	\$38.86
112161014	\$42.16	112163010	\$38.86	112172013	\$38.86
112161015	\$41.06	112163011	\$38.86	112172014	\$38.86
112161016	\$41.06	112163012	\$38.86	112172015	\$68.46
112161017	\$38.86	112163013	\$38.86	112172017	\$38.86
112161018	\$38.86	112163014	\$38.86	112172018	\$38.86
112161019	\$38.86	112163015	\$38.86	112172019	\$38.86
112161020	\$38.86	112163016	\$38.86	112172020	\$38.86
112161021	\$38.86	112164001	\$38.86	112172021	\$39.96
112161022	\$38.86	112164002	\$38.86	112172022	\$39.96
112161023	\$38.86	112164003	\$38.86	112172023	\$39.96
112161024	\$38.86	112164004	\$38.86	112172024	\$39.96
112161025	\$38.86	112165001	\$38.86	112172026	\$38.86
112161026	\$38.86	112165002	\$38.86	112172027	\$38.86
112161027	\$38.86	112171001	\$38.86	112172028	\$39.96
112161028	\$38.86	112171002	\$38.86	112181001	\$38.86
112161029	\$38.86	112171003	\$38.86	112181002	\$38.86
112161030	\$38.86	112171004	\$38.86	112181003	\$38.86
112181004	\$38.86	112182032	\$38.86	112192027	\$38.86
112181005	\$38.86	112182033	\$38.86	112192028	\$44.36
112181006	\$38.86	112182034	\$38.86	112193001	\$38.86
112181007	\$38.86	112191001	\$39.96	112193002	\$38.86
112181008	\$38.86	112191002	\$39.96	112193003	\$38.86
112181009	\$38.86	112191003	\$38.86	112193004	\$38.86
112181010	\$38.86	112191004	\$38.86	112193005	\$38.86
112181011	\$39.96	112191005	\$38.86	112193006	\$38.86
112181012	\$39.96	112191006	\$38.86	112193007	\$38.86
112181013	\$38.86	112191007	\$38.86	112193008	\$38.86
112181014	\$38.86	112191008	\$38.86	112193009	\$38.86
112181015	\$38.86	112191009	\$38.86	112193010	\$38.86
112182001	\$38.86	112191010	\$38.86	112193011	\$38.86
112182002	\$38.86	112191011	\$38.86	112193012	\$38.86
112182003	\$38.86	112191012	\$39.96	112193013	\$38.86
112182004	\$38.86	112191013	\$39.96	112193014	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112182005	\$38.86	112191014	\$39.96	112193015	\$38.86
112182006	\$39.96	112191015	\$39.96	112193016	\$38.86
112182007	\$39.96	112192001	\$38.86	112193017	\$38.86
112182008	\$38.86	112192002	\$38.86	112193018	\$38.86
112182009	\$39.96	112192003	\$41.06	112193019	\$38.86
112182010	\$38.86	112192005	\$38.86	112193020	\$38.86
112182011	\$38.86	112192006	\$38.86	112193021	\$38.86
112182012	\$38.86	112192007	\$38.86	112193022	\$38.86
112182013	\$38.86	112192008	\$38.86	112193023	\$38.86
112182014	\$38.86	112192009	\$41.06	112193024	\$38.86
112182015	\$38.86	112192010	\$39.96	112193025	\$38.86
112182016	\$38.86	112192011	\$38.86	112201001	\$38.86
112182017	\$38.86	112192012	\$38.86	112201002	\$38.86
112182018	\$38.86	112192013	\$39.96	112201003	\$39.96
112182019	\$38.86	112192014	\$39.96	112201004	\$38.86
112182020	\$39.96	112192015	\$38.86	112201005	\$38.86
112182021	\$39.96	112192016	\$39.96	112201006	\$38.86
112182022	\$41.06	112192017	\$38.86	112201007	\$39.96
112182023	\$38.86	112192018	\$38.86	112201008	\$39.96
112182024	\$38.86	112192019	\$38.86	112201009	\$39.96
112182025	\$38.86	112192020	\$38.86	112201011	\$34.56
112182026	\$38.86	112192021	\$38.86	112202001	\$38.86
112182027	\$38.86	112192022	\$38.86	112202002	\$38.86
112182028	\$38.86	112192023	\$38.86	112211003	\$38.86
112182029	\$38.86	112192024	\$38.86	112211004	\$39.96
112182030	\$38.86	112192025	\$38.86	112211005	\$39.96
112182031	\$39.96	112192026	\$38.86	112211006	\$38.86
112211007	\$38.86	112220022	\$10.36	112231035	\$39.96
112211009	\$41.06	112220023	\$10.36	112231036	\$39.96
112211010	\$39.96	112220024	\$10.36	112231037	\$39.96
112211011	\$39.96	112220025	\$10.36	112231038	\$39.96
112211012	\$47.66	112220026	\$10.36	112231039	\$38.86
112211013	\$42.16	112220027	\$10.36	112231040	\$38.86
112211014	\$39.96	112220028	\$10.36	112231041	\$38.86
112211015	\$39.96	112220029	\$10.36	112231042	\$38.86
112211016	\$39.96	112220030	\$20.72	112231043	\$38.86
112211017	\$39.96	112231001	\$38.86	112231044	\$38.86
112211018	\$39.96	112231002	\$38.86	112231045	\$38.86
112211019	\$39.96	112231003	\$38.86	112231046	\$38.86
112211020	\$38.86	112231004	\$38.86	112231047	\$38.86
112211022	\$39.96	112231005	\$38.86	112232001	\$39.96
112211023	\$39.96	112231006	\$38.86	112232002	\$39.96
112212001	\$38.86	112231007	\$38.86	112232003	\$38.86
112212002	\$38.86	112231008	\$38.86	112232004	\$38.86
112212005	\$49.22	112231009	\$38.86	112232005	\$38.86
112212007	\$39.96	112231010	\$38.86	112233001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112212008	\$38.86	112231011	\$38.86	112233002	\$38.86
112212009	\$38.86	112231012	\$38.86	112233003	\$38.86
112212010	\$38.86	112231013	\$38.86	112233004	\$38.86
112212011	\$38.86	112231014	\$38.86	112233005	\$38.86
112212012	\$38.86	112231015	\$38.86	112233006	\$38.86
112212013	\$38.86	112231016	\$38.86	112233007	\$38.86
112212014	\$38.86	112231017	\$38.86	112233008	\$38.86
112212015	\$38.86	112231018	\$38.86	112234001	\$38.86
112212016	\$38.86	112231019	\$38.86	112234002	\$38.86
112212017	\$38.86	112231020	\$38.86	112234003	\$38.86
112212018	\$38.86	112231021	\$38.86	112234004	\$38.86
112212019	\$38.86	112231022	\$38.86	112234005	\$38.86
112212020	\$38.86	112231023	\$38.86	112234006	\$38.86
112212021	\$38.86	112231024	\$38.86	112234007	\$38.86
112212022	\$38.86	112231025	\$38.86	112234008	\$38.86
112212025	\$38.86	112231026	\$38.86	112234009	\$38.86
112212026	\$38.86	112231027	\$38.86	112235001	\$38.86
112212027	\$49.22	112231028	\$38.86	112235002	\$38.86
112213001	\$38.86	112231029	\$38.86	112241001	\$38.86
112213003	\$39.96	112231030	\$38.86	112241002	\$38.86
112220012	\$93.24	112231031	\$38.86	112241003	\$38.86
112220018	\$11.46	112231032	\$38.86	112241004	\$38.86
112220020	\$20.72	112231033	\$38.86	112241005	\$38.86
112220021	\$10.36	112231034	\$38.86	112241006	\$38.86
112241007	\$38.86	112252003	\$38.86	112253030	\$39.96
112241008	\$38.86	112252004	\$38.86	112253031	\$38.86
112241010	\$38.86	112252005	\$38.86	112253032	\$38.86
112242002	\$38.86	112252006	\$38.86	112253033	\$38.86
112242003	\$38.86	112252007	\$38.86	112254001	\$38.86
112242004	\$38.86	112252008	\$38.86	112254002	\$38.86
112242005	\$38.86	112252009	\$38.86	112254003	\$38.86
112242006	\$38.86	112252010	\$38.86	112254004	\$38.86
112242007	\$38.86	112252011	\$38.86	112254005	\$38.86
112242008	\$38.86	112252012	\$38.86	112254006	\$38.86
112242009	\$38.86	112252013	\$38.86	112254007	\$39.96
112242010	\$38.86	112252014	\$38.86	112254008	\$38.86
112242011	\$38.86	112252015	\$38.86	112254009	\$38.86
112242012	\$38.86	112252016	\$38.86	112254010	\$38.86
112242013	\$38.86	112253001	\$38.86	112254011	\$38.86
112242014	\$38.86	112253002	\$38.86	112254012	\$38.86
112242015	\$38.86	112253003	\$38.86	112254013	\$38.86
112242016	\$38.86	112253004	\$38.86	112254014	\$38.86
112242017	\$38.86	112253005	\$38.86	112255001	\$38.86
112242018	\$38.86	112253006	\$38.86	112255002	\$38.86
112242019	\$38.86	112253007	\$38.86	112260001	\$42.16
112242023	\$38.86	112253008	\$38.86	112260002	\$43.26

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112242029	\$12.56	112253009	\$38.86	112260004	\$10.36
112242030	\$42.16	112253010	\$38.86	112260005	\$41.06
112242031	\$106.98	112253011	\$39.96	112260007	\$71.76
112251001	\$38.86	112253012	\$38.86	112260009	\$67.36
112251002	\$38.86	112253013	\$38.86	112260010	\$51.80
112251003	\$38.86	112253014	\$38.86	112271001	\$38.86
112251004	\$38.86	112253015	\$38.86	112271002	\$38.86
112251005	\$38.86	112253016	\$38.86	112271003	\$38.86
112251006	\$38.86	112253017	\$38.86	112271004	\$38.86
112251007	\$38.86	112253018	\$39.96	112271005	\$38.86
112251008	\$38.86	112253019	\$39.96	112271006	\$38.86
112251009	\$38.86	112253020	\$39.96	112271007	\$38.86
112251010	\$38.86	112253021	\$38.86	112271008	\$38.86
112251011	\$38.86	112253022	\$38.86	112271009	\$38.86
112251012	\$38.86	112253023	\$38.86	112271010	\$38.86
112251013	\$38.86	112253024	\$39.96	112271011	\$38.86
112251014	\$38.86	112253025	\$38.86	112271012	\$38.86
112251015	\$38.86	112253026	\$39.96	112271013	\$38.86
112251016	\$38.86	112253027	\$39.96	112271015	\$38.86
112252001	\$38.86	112253028	\$38.86	112271016	\$38.86
112252002	\$38.86	112253029	\$38.86	112271017	\$38.86
112271018	\$38.86	112274001	\$38.86	112280017	\$20.72
112271019	\$38.86	112274002	\$38.86	112280018	\$10.36
112271020	\$38.86	112274003	\$38.86	112280019	\$10.36
112271021	\$38.86	112274004	\$38.86	112280020	\$10.36
112271022	\$38.86	112274005	\$38.86	112280021	\$10.36
112271023	\$38.86	112274006	\$38.86	112280022	\$67.36
112272001	\$38.86	112274007	\$38.86	112290016	\$6.60
112272002	\$38.86	112274008	\$38.86	112301001	\$38.86
112272003	\$38.86	112274009	\$39.96	112301002	\$38.86
112272004	\$38.86	112274010	\$38.86	112301003	\$38.86
112272005	\$38.86	112274011	\$38.86	112301004	\$38.86
112272006	\$38.86	112274012	\$38.86	112301005	\$67.36
112273001	\$38.86	112274013	\$38.86	112301006	\$38.86
112273002	\$38.86	112274014	\$38.86	112301007	\$38.86
112273003	\$38.86	112274015	\$38.86	112301008	\$38.86
112273004	\$38.86	112274016	\$42.16	112301009	\$38.86
112273005	\$38.86	112274017	\$38.86	112301010	\$67.36
112273006	\$38.86	112274018	\$38.86	112301011	\$67.36
112273007	\$38.86	112274019	\$38.86	112301013	\$38.86
112273008	\$38.86	112274020	\$38.86	112301014	\$67.36
112273009	\$38.86	112274021	\$38.86	112301016	\$38.86
112273010	\$38.86	112274022	\$38.86	112301017	\$38.86
112273011	\$38.86	112274023	\$38.86	112301018	\$38.86
112273012	\$38.86	112274024	\$38.86	112301019	\$38.86
112273013	\$38.86	112274025	\$38.86	112301020	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112273014	\$38.86	112274026	\$38.86	112301021	\$38.86
112273015	\$38.86	112274027	\$39.96	112301022	\$38.86
112273016	\$38.86	112274028	\$39.96	112301023	\$38.86
112273017	\$38.86	112274029	\$38.86	112301024	\$38.86
112273018	\$39.96	112274030	\$38.86	112301025	\$38.86
112273019	\$39.96	112274031	\$38.86	112301027	\$38.86
112273020	\$38.86	112280004	\$13.66	112301028	\$38.86
112273021	\$38.86	112280005	\$13.66	112301029	\$38.86
112273022	\$38.86	112280006	\$13.66	112301030	\$38.86
112273023	\$38.86	112280007	\$12.56	112301031	\$38.86
112273024	\$39.96	112280008	\$41.06	112302001	\$38.86
112273025	\$39.96	112280009	\$11.46	112302002	\$38.86
112273026	\$38.86	112280010	\$11.46	112302003	\$38.86
112273027	\$38.86	112280011	\$39.96	112302004	\$38.86
112273028	\$38.86	112280013	\$77.72	112302005	\$38.86
112273029	\$38.86	112280014	\$20.72	112302006	\$38.86
112273030	\$38.86	112280015	\$41.44	112302008	\$67.36
112273031	\$38.86	112280016	\$20.72	112302009	\$38.86
112302010	\$38.86	112331002	\$38.86	112342012	\$67.36
112303001	\$38.86	112331003	\$38.86	112342013	\$67.36
112303002	\$38.86	112331004	\$38.86	112342016	\$38.86
112303003	\$38.86	112331005	\$38.86	112342017	\$67.36
112303004	\$38.86	112331006	\$38.86	112342018	\$67.36
112303005	\$38.86	112331007	\$38.86	112342019	\$67.36
112303006	\$38.86	112331008	\$38.86	112342020	\$67.36
112303007	\$38.86	112331009	\$38.86	112342021	\$67.36
112303008	\$38.86	112331010	\$38.86	112342028	\$49.22
112303009	\$38.86	112331011	\$49.22	112342034	\$106.22
112303010	\$67.36	112331012	\$38.86	112342035	\$137.30
112303012	\$38.86	112331013	\$38.86	112342038	\$67.36
112303013	\$38.86	112331014	\$106.22	112342039	\$38.86
112303014	\$38.86	112332001	\$38.86	112342040	\$67.36
112303015	\$67.36	112332002	\$38.86	112342041	\$67.36
112303016	\$67.36	112332003	\$38.86	112342042	\$77.72
112303017	\$38.86	112332004	\$38.86	112351002	\$38.86
112303018	\$38.86	112332005	\$38.86	112351003	\$38.86
112303019	\$67.36	112332006	\$38.86	112351004	\$38.86
112303020	\$67.36	112332007	\$38.86	112351005	\$38.86
112303021	\$67.36	112332008	\$38.86	112351006	\$38.86
112303022	\$38.86	112341002	\$67.36	112351007	\$38.86
112303023	\$38.86	112341003	\$67.36	112351009	\$38.86
112303024	\$38.86	112341004	\$38.86	112351010	\$38.86
112303025	\$38.86	112341005	\$67.36	112351011	\$38.86
112303026	\$38.86	112341006	\$38.86	112351012	\$38.86
112310009	\$68.46	112341007	\$38.86	112351013	\$38.86
112310010	\$68.46	112341008	\$38.86	112351014	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112310011	\$147.66	112341009	\$38.86	112351015	\$38.86
112320004	\$13.66	112341010	\$67.36	112351016	\$38.86
112320005	\$12.56	112341019	\$77.72	112351018	\$38.86
112320007	\$20.72	112341020	\$49.22	112351019	\$38.86
112320008	\$10.36	112341021	\$49.22	112351020	\$38.86
112320009	\$4.40	112341022	\$49.22	112351021	\$38.86
112320010	\$4.40	112341023	\$67.36	112351022	\$38.86
112320011	\$3.30	112341024	\$106.22	112351023	\$38.86
112320016	\$22.92	112341026	\$67.36	112351030	\$38.86
112320018	\$16.96	112342006	\$38.86	112351036	\$49.22
112320019	\$124.32	112342007	\$67.36	112351037	\$38.86
112320020	\$124.32	112342008	\$67.36	112351038	\$67.36
112320022	\$124.32	112342009	\$67.36	112352006	\$67.36
112320026	\$56.20	112342010	\$67.36	112352007	\$67.36
112331001	\$38.86	112342011	\$67.36	112352008	\$67.36
112352009	\$67.36	112372002	\$38.86	112382015	\$67.36
112352010	\$38.86	112372003	\$38.86	112382016	\$67.36
112352011	\$67.36	112372004	\$38.86	112382017	\$38.86
112352015	\$38.86	112372005	\$38.86	112382018	\$67.36
112352016	\$38.86	112372006	\$38.86	112382019	\$38.86
112352017	\$38.86	112372007	\$38.86	112382020	\$38.86
112352018	\$38.86	112372008	\$38.86	112382021	\$38.86
112352019	\$38.86	112372009	\$38.86	112382022	\$38.86
112360002	\$67.36	112372010	\$38.86	112382023	\$38.86
112360003	\$38.86	112372011	\$67.36	112382024	\$38.86
112360004	\$38.86	112372012	\$38.86	112382025	\$38.86
112360006	\$38.86	112372013	\$38.86	112382026	\$38.86
112360007	\$38.86	112372014	\$38.86	112382027	\$38.86
112360008	\$38.86	112372015	\$158.02	112382028	\$38.86
112360009	\$67.36	112381001	\$38.86	112382029	\$38.86
112360010	\$38.86	112381002	\$38.86	112382030	\$67.36
112360011	\$67.36	112381003	\$38.86	112382031	\$38.86
112360020	\$38.86	112381004	\$38.86	112382032	\$38.86
112360028	\$77.72	112381005	\$38.86	112382033	\$38.86
112360031	\$38.86	112381006	\$38.86	112382034	\$38.86
112371001	\$67.36	112381007	\$38.86	112382035	\$38.86
112371002	\$38.86	112381008	\$38.86	112382036	\$38.86
112371003	\$38.86	112381009	\$38.86	112390001	\$49.22
112371004	\$38.86	112381010	\$38.86	112390002	\$67.36
112371005	\$38.86	112381011	\$38.86	112390003	\$38.86
112371006	\$38.86	112381012	\$38.86	112390004	\$67.36
112371007	\$38.86	112381013	\$38.86	112390005	\$67.36
112371008	\$38.86	112381014	\$38.86	112390006	\$67.36
112371009	\$38.86	112381015	\$38.86	112390007	\$67.36
112371010	\$67.36	112382001	\$38.86	112390008	\$67.36
112371011	\$77.72	112382002	\$38.86	112390009	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112371012	\$49.22	112382003	\$38.86	112390010	\$67.36
112371014	\$67.36	112382004	\$38.86	112390011	\$67.36
112371015	\$38.86	112382005	\$38.86	112390012	\$38.86
112371016	\$38.86	112382006	\$38.86	112390013	\$49.22
112371017	\$38.86	112382007	\$38.86	112390014	\$38.86
112371018	\$67.36	112382008	\$38.86	112390015	\$49.22
112371019	\$67.36	112382009	\$38.86	112390016	\$67.36
112371020	\$38.86	112382010	\$38.86	112390017	\$49.22
112371021	\$38.86	112382011	\$38.86	112390018	\$38.86
112371022	\$38.86	112382012	\$38.86	112390019	\$38.86
112371025	\$98.44	112382013	\$67.36	112390020	\$38.86
112372001	\$38.86	112382014	\$77.72	112390021	\$67.36
112390022	\$67.36	112401002	\$67.36	112411003	\$67.36
112390023	\$77.72	112401003	\$38.86	112411004	\$38.86
112390024	\$38.86	112401004	\$38.86	112411005	\$67.36
112390025	\$38.86	112401005	\$38.86	112411006	\$38.86
112390026	\$38.86	112402001	\$38.86	112411007	\$38.86
112390027	\$38.86	112402002	\$38.86	112411008	\$38.86
112390028	\$38.86	112402003	\$49.22	112411009	\$38.86
112390029	\$38.86	112402004	\$49.22	112411010	\$38.86
112390030	\$38.86	112402005	\$49.22	112411011	\$38.86
112390031	\$38.86	112402006	\$59.58	112411012	\$49.22
112390032	\$38.86	112402007	\$69.94	112411013	\$80.30
112391001	\$38.86	112402008	\$88.08	112411014	\$38.86
112391002	\$67.36	112402009	\$67.36	112411016	\$59.58
112391003	\$67.36	112402010	\$38.86	112411017	\$49.22
112391004	\$77.72	112402011	\$67.36	112411018	\$21.82
112391005	\$67.36	112402012	\$67.36	112411019	\$41.44
112391006	\$38.86	112402013	\$62.16	112411020	\$49.22
112391007	\$67.36	112402014	\$51.80	112411021	\$107.32
112391008	\$67.36	112402016	\$78.82	113020007	\$100.26
112391009	\$67.36	112402017	\$78.82	113031002	\$38.86
112391010	\$67.36	112402018	\$38.86	113031003	\$38.86
112391011	\$67.36	112402019	\$67.36	113031004	\$38.86
112391012	\$38.86	112403001	\$38.86	113031005	\$38.86
112391013	\$38.86	112403002	\$38.86	113031006	\$39.96
112391014	\$38.86	112403003	\$38.86	113031007	\$38.86
112391015	\$38.86	112403004	\$38.86	113031008	\$38.86
112391016	\$38.86	112403005	\$77.72	113031009	\$38.86
112392001	\$38.86	112403006	\$77.72	113031010	\$38.86
112392002	\$38.86	112403007	\$67.36	113031011	\$38.86
112393001	\$38.86	112403008	\$67.36	113031012	\$126.94
112393002	\$38.86	112403009	\$67.36	113032001	\$39.96
112393003	\$38.86	112403010	\$38.86	113032002	\$38.86
112393004	\$38.86	112403011	\$38.86	113032003	\$39.96
112393005	\$38.86	112403012	\$38.86	113032004	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112393006	\$38.86	112403013	\$38.86	113032005	\$38.86
112400001	\$38.86	112403014	\$38.86	113032006	\$38.86
112400002	\$38.86	112410001	\$38.86	113032007	\$38.86
112400003	\$49.22	112410002	\$38.86	113032008	\$38.86
112400004	\$38.86	112410003	\$38.86	113032009	\$38.86
112400005	\$38.86	112410004	\$38.86	113032010	\$38.86
112400006	\$38.86	112410005	\$38.86	113032011	\$38.86
112400007	\$38.86	112411001	\$67.36	113032012	\$38.86
112401001	\$77.72	112411002	\$67.36	113032013	\$39.96
113032014	\$38.86	113034009	\$38.86	113043013	\$38.86
113032015	\$38.86	113034010	\$38.86	113043014	\$38.86
113032016	\$38.86	113034011	\$38.86	113043015	\$38.86
113032017	\$38.86	113041001	\$10.36	113043016	\$38.86
113032018	\$38.86	113041002	\$68.46	113043017	\$38.86
113032019	\$38.86	113041003	\$38.86	113043018	\$38.86
113032020	\$38.86	113041004	\$38.86	113051001	\$69.56
113032021	\$38.86	113041005	\$38.86	113051002	\$10.36
113032022	\$38.86	113041006	\$38.86	113051003	\$10.36
113032023	\$38.86	113041007	\$38.86	113051004	\$10.36
113032024	\$38.86	113041008	\$38.86	113051005	\$10.36
113033001	\$39.96	113041009	\$38.86	113051006	\$10.36
113033003	\$38.86	113041010	\$38.86	113051007	\$10.36
113033004	\$38.86	113042001	\$38.86	113051008	\$10.36
113033005	\$38.86	113042002	\$38.86	113051009	\$10.36
113033006	\$38.86	113042003	\$38.86	113051010	\$10.36
113033007	\$38.86	113042004	\$68.46	113052001	\$68.46
113033008	\$38.86	113042005	\$68.46	113052002	\$68.46
113033009	\$38.86	113042006	\$38.86	113052003	\$10.36
113033010	\$39.96	113042007	\$38.86	113052004	\$10.36
113033011	\$39.96	113042008	\$38.86	113052005	\$10.36
113033012	\$38.86	113042009	\$38.86	113052006	\$10.36
113033013	\$38.86	113042010	\$38.86	113052007	\$38.86
113033014	\$38.86	113042011	\$38.86	113052008	\$38.86
113033015	\$38.86	113042012	\$38.86	113052009	\$38.86
113033016	\$38.86	113042013	\$38.86	113052010	\$38.86
113033017	\$38.86	113042014	\$38.86	113052011	\$38.86
113033018	\$38.86	113042015	\$38.86	113052012	\$10.36
113033019	\$38.86	113042016	\$38.86	113052013	\$10.36
113033020	\$38.86	113042017	\$38.86	113052014	\$10.36
113033021	\$38.86	113042018	\$38.86	113052015	\$10.36
113033022	\$38.86	113043001	\$68.46	113052016	\$10.36
113033023	\$38.86	113043002	\$68.46	113052017	\$38.86
113033024	\$38.86	113043003	\$38.86	113052018	\$38.86
113033025	\$77.72	113043004	\$38.86	113052019	\$38.86
113034001	\$38.86	113043005	\$38.86	113052020	\$38.86
113034002	\$38.86	113043006	\$38.86	113061001	\$68.46

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113034003	\$38.86	113043007	\$38.86	113061002	\$38.86
113034004	\$38.86	113043008	\$38.86	113061003	\$38.86
113034005	\$38.86	113043009	\$38.86	113061004	\$38.86
113034006	\$38.86	113043010	\$39.96	113061005	\$38.86
113034007	\$38.86	113043011	\$39.96	113061006	\$38.86
113034008	\$38.86	113043012	\$38.86	113061007	\$38.86
113061008	\$38.86	113071015	\$38.86	113072013	\$38.86
113061009	\$38.86	113071016	\$38.86	113072014	\$38.86
113061010	\$68.46	113071017	\$38.86	113072015	\$38.86
113061011	\$10.36	113071018	\$38.86	113072016	\$38.86
113061012	\$10.36	113071019	\$38.86	113072017	\$38.86
113061013	\$10.36	113071020	\$67.36	113072018	\$38.86
113061014	\$10.36	113071021	\$49.22	113072019	\$67.36
113061015	\$10.36	113071022	\$49.22	113072020	\$49.22
113061016	\$10.36	113071023	\$38.86	113072021	\$49.22
113061017	\$10.36	113071024	\$38.86	113072022	\$38.86
113061018	\$10.36	113071025	\$38.86	113072023	\$38.86
113062001	\$10.36	113071026	\$38.86	113072024	\$38.86
113062002	\$10.36	113071027	\$38.86	113072025	\$38.86
113062003	\$10.36	113071028	\$67.36	113072026	\$38.86
113062004	\$10.36	113071029	\$38.86	113072027	\$38.86
113062005	\$10.36	113071030	\$38.86	113072028	\$38.86
113062006	\$10.36	113071031	\$38.86	113072029	\$38.86
113062007	\$10.36	113071032	\$38.86	113072030	\$38.86
113062008	\$10.36	113071033	\$38.86	113072031	\$38.86
113062009	\$68.46	113071034	\$38.86	113072032	\$67.36
113062010	\$68.46	113071035	\$38.86	113080001	\$38.86
113062011	\$38.86	113071036	\$67.36	113080002	\$38.86
113062012	\$38.86	113071037	\$67.36	113080003	\$38.86
113062013	\$38.86	113071038	\$67.36	113080004	\$38.86
113062014	\$38.86	113071039	\$67.36	113080005	\$38.86
113062015	\$38.86	113071040	\$38.86	113080006	\$38.86
113062016	\$38.86	113071041	\$38.86	113080007	\$38.86
113062017	\$38.86	113071042	\$38.86	113080008	\$38.86
113062018	\$38.86	113071043	\$38.86	113080009	\$38.86
113071001	\$38.86	113071044	\$38.86	113080010	\$38.86
113071002	\$38.86	113071046	\$38.86	113080011	\$67.36
113071003	\$38.86	113072001	\$77.72	113080012	\$38.86
113071004	\$38.86	113072002	\$67.36	113080013	\$38.86
113071005	\$38.86	113072003	\$67.36	113080014	\$38.86
113071006	\$106.22	113072004	\$67.36	113080015	\$38.86
113071007	\$77.72	113072005	\$67.36	113080016	\$49.22
113071008	\$38.86	113072006	\$67.36	113080017	\$77.72
113071009	\$38.86	113072007	\$67.36	113080018	\$67.36
113071010	\$38.86	113072008	\$67.36	113080019	\$67.36
113071011	\$38.86	113072009	\$67.36	113080020	\$67.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113071012	\$38.86	113072010	\$67.36	113080021	\$67.36
113071013	\$38.86	113072011	\$38.86	113080022	\$67.36
113071014	\$38.86	113072012	\$38.86	113080023	\$67.36
113080024	\$67.36	113092002	\$38.86	113111001	\$67.36
113080025	\$67.36	113092003	\$38.86	113111002	\$38.86
113080026	\$38.86	113092004	\$38.86	113111003	\$67.36
113080027	\$67.36	113092005	\$38.86	113111004	\$38.86
113080028	\$67.36	113092006	\$38.86	113111005	\$67.36
113080029	\$67.36	113092007	\$38.86	113111006	\$38.86
113080030	\$67.36	113092008	\$38.86	113111007	\$38.86
113080031	\$67.36	113093002	\$95.86	113111008	\$38.86
113080032	\$38.86	113093003	\$38.86	113111009	\$38.86
113080033	\$67.36	113093004	\$38.86	113111010	\$38.86
113080034	\$67.36	113093005	\$67.36	113111011	\$38.86
113080035	\$67.36	113093006	\$38.86	113111012	\$38.86
113080036	\$67.36	113093007	\$67.36	113111013	\$38.86
113080037	\$67.36	113094001	\$38.86	113111014	\$38.86
113080038	\$67.36	113094002	\$38.86	113111015	\$38.86
113091001	\$38.86	113094003	\$38.86	113111016	\$38.86
113091002	\$38.86	113094004	\$38.86	113111017	\$38.86
113091003	\$38.86	113094005	\$38.86	113111018	\$38.86
113091004	\$38.86	113094006	\$67.36	113111019	\$67.36
113091005	\$38.86	113094007	\$67.36	113111020	\$38.86
113091006	\$38.86	113094008	\$38.86	113111021	\$67.36
113091007	\$38.86	113094009	\$38.86	113111022	\$67.36
113091008	\$38.86	113094010	\$38.86	113111023	\$38.86
113091009	\$38.86	113094011	\$67.36	113111024	\$67.36
113091010	\$38.86	113094012	\$67.36	113111025	\$38.86
113091011	\$38.86	113094013	\$67.36	113111026	\$38.86
113091012	\$38.86	113094014	\$38.86	113111027	\$38.86
113091013	\$38.86	113094015	\$38.86	113111028	\$38.86
113091014	\$38.86	113094016	\$38.86	113111029	\$38.86
113091015	\$38.86	113094017	\$38.86	113111030	\$38.86
113091016	\$38.86	113094018	\$38.86	113111031	\$38.86
113091017	\$38.86	113094019	\$38.86	113111032	\$38.86
113091018	\$38.86	113094020	\$38.86	113111033	\$38.86
113091019	\$38.86	113094021	\$67.36	113111034	\$38.86
113091020	\$38.86	113094022	\$67.36	113111035	\$38.86
113091021	\$38.86	113094023	\$38.86	113111036	\$38.86
113091022	\$38.86	113094024	\$38.86	113111037	\$67.36
113091023	\$38.86	113094025	\$67.36	113112001	\$67.36
113091024	\$38.86	113094026	\$38.86	113112002	\$67.36
113091025	\$38.86	113094027	\$38.86	113112003	\$38.86
113091026	\$38.86	113094028	\$67.36	113112004	\$38.86
113091027	\$38.86	113094029	\$38.86	113112005	\$38.86
113092001	\$38.86	113094030	\$38.86	113112006	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113121001	\$155.44	113131005	\$38.86	113140017	\$67.36
113121002	\$67.36	113131006	\$38.86	113140018	\$67.36
113121003	\$67.36	113131007	\$38.86	113140020	\$88.08
113121004	\$67.36	113131008	\$38.86	113140021	\$88.08
113121005	\$67.36	113131009	\$38.86	113140022	\$88.08
113121006	\$67.36	113131010	\$38.86	113140023	\$88.08
113121007	\$67.36	113131011	\$38.86	113140025	\$49.22
113121010	\$77.72	113131012	\$38.86	113150001	\$18.62
113122001	\$38.86	113131013	\$67.36	113150002	\$18.62
113122002	\$38.86	113132001	\$38.86	113150003	\$18.62
113122003	\$38.86	113132002	\$38.86	113150004	\$18.62
113122004	\$38.86	113132003	\$38.86	113150005	\$18.62
113122005	\$38.86	113132004	\$38.86	113150006	\$18.62
113122006	\$38.86	113132005	\$38.86	113150007	\$18.62
113122007	\$38.86	113132006	\$38.86	113150008	\$18.62
113122008	\$67.36	113132007	\$38.86	113150009	\$18.62
113123001	\$38.86	113132008	\$38.86	113150010	\$18.62
113123002	\$38.86	113132009	\$38.86	113150011	\$18.62
113123003	\$38.86	113132010	\$38.86	113150012	\$18.62
113123004	\$38.86	113132011	\$38.86	113150013	\$18.62
113123005	\$38.86	113133001	\$38.86	113150014	\$18.62
113123006	\$38.86	113133002	\$38.86	113150015	\$18.62
113123007	\$38.86	113133003	\$38.86	113150016	\$18.62
113123008	\$67.36	113133004	\$67.36	113150017	\$18.62
113123009	\$38.86	113133005	\$38.86	113150018	\$18.62
113123010	\$38.86	113133011	\$38.86	113150019	\$18.62
113123011	\$38.86	113133013	\$38.86	113150020	\$18.62
113123012	\$38.86	113133014	\$38.86	113150022	\$18.62
113123013	\$38.86	113133015	\$67.36	113150023	\$18.62
113123014	\$38.86	113133016	\$38.86	113150024	\$18.62
113123015	\$38.86	113133017	\$38.86	113150025	\$18.62
113124001	\$38.86	113134001	\$38.86	113150026	\$18.62
113124002	\$38.86	113134002	\$38.86	113150027	\$18.62
113124003	\$38.86	113134003	\$38.86	113150028	\$18.62
113124004	\$38.86	113134004	\$38.86	113150029	\$18.62
113124005	\$38.86	113134005	\$38.86	113150030	\$18.62
113124006	\$38.86	113140001	\$69.56	113150031	\$18.62
113124007	\$38.86	113140005	\$69.56	113150032	\$18.62
113124008	\$38.86	113140006	\$69.56	113150033	\$18.62
113131001	\$38.86	113140008	\$69.56	113150034	\$18.62
113131002	\$38.86	113140010	\$68.46	113150035	\$18.62
113131003	\$38.86	113140015	\$67.36	113150036	\$18.62
113131004	\$38.86	113140016	\$67.36	113150037	\$18.62
113150038	\$18.62	113160009	\$194.66	113170043	\$18.62
113150039	\$18.62	113160046	\$372.78	113170044	\$18.62
113150041	\$18.62	113170001	\$67.36	113181002	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113150042	\$18.62	113170002	\$38.86	113181003	\$38.86
113150043	\$18.62	113170003	\$38.86	113181004	\$38.86
113150044	\$18.62	113170004	\$67.36	113181005	\$38.86
113150045	\$18.62	113170005	\$38.86	113181006	\$38.86
113150046	\$18.62	113170006	\$38.86	113181007	\$38.86
113150047	\$18.62	113170007	\$38.86	113181008	\$38.86
113150048	\$18.62	113170008	\$38.86	113181009	\$38.86
113150049	\$18.62	113170009	\$67.36	113181010	\$38.86
113150050	\$18.62	113170010	\$49.22	113182001	\$38.86
113150051	\$18.62	113170011	\$49.22	113182002	\$38.86
113150052	\$18.62	113170012	\$38.86	113182003	\$38.86
113150054	\$18.62	113170013	\$38.86	113182004	\$38.86
113150055	\$18.62	113170014	\$49.22	113182005	\$38.86
113150056	\$18.62	113170015	\$38.86	113182006	\$38.86
113150057	\$18.62	113170016	\$38.86	113182007	\$38.86
113150058	\$18.62	113170017	\$38.86	113182008	\$38.86
113150059	\$18.62	113170018	\$38.86	113182009	\$38.86
113150060	\$18.62	113170019	\$77.72	113182010	\$38.86
113150061	\$18.62	113170020	\$38.86	113182011	\$38.86
113150062	\$18.62	113170021	\$38.86	113182012	\$38.86
113150063	\$18.62	113170022	\$38.86	113182013	\$38.86
113150064	\$18.62	113170023	\$38.86	113182014	\$38.86
113150065	\$18.62	113170024	\$18.62	113182015	\$38.86
113150066	\$18.62	113170025	\$18.62	113182016	\$38.86
113150067	\$18.62	113170027	\$18.62	113182017	\$67.36
113150068	\$18.62	113170028	\$18.62	113182018	\$67.36
113150069	\$18.62	113170029	\$18.62	113182019	\$38.86
113150070	\$18.62	113170030	\$18.62	113183001	\$38.86
113150071	\$18.62	113170031	\$18.62	113183002	\$38.86
113150072	\$18.62	113170032	\$18.62	113183003	\$38.86
113150073	\$18.62	113170033	\$18.62	113183004	\$38.86
113150074	\$18.62	113170034	\$18.62	113183005	\$38.86
113150075	\$18.62	113170035	\$18.62	113191001	\$67.36
113150076	\$18.62	113170036	\$18.62	113191002	\$38.86
113150077	\$18.62	113170037	\$18.62	113191003	\$38.86
113150078	\$18.62	113170038	\$18.62	113191004	\$38.86
113150079	\$18.62	113170039	\$18.62	113191005	\$38.86
113150080	\$18.62	113170040	\$18.62	113192001	\$38.86
113150081	\$18.62	113170041	\$18.62	113192002	\$38.86
113160008	\$14.76	113170042	\$18.62	113192003	\$38.86
113192004	\$38.86	113202017	\$38.86	113212007	\$38.86
113192005	\$38.86	113202018	\$38.86	113212008	\$38.86
113192006	\$38.86	113202019	\$38.86	113212009	\$38.86
113192007	\$38.86	113202020	\$38.86	113212010	\$38.86
113192008	\$67.36	113202021	\$38.86	113212011	\$38.86
113192009	\$38.86	113202022	\$38.86	113212012	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113192010	\$38.86	113202023	\$38.86	113212013	\$38.86
113192011	\$38.86	113202024	\$38.86	113212014	\$38.86
113192012	\$38.86	113202025	\$38.86	113212015	\$38.86
113192013	\$38.86	113202026	\$38.86	113212016	\$38.86
113192014	\$38.86	113203001	\$38.86	113221001	\$38.86
113192015	\$38.86	113203002	\$38.86	113221002	\$38.86
113192016	\$38.86	113203003	\$38.86	113221003	\$67.36
113192017	\$38.86	113203004	\$67.36	113221004	\$95.86
113192018	\$38.86	113204001	\$38.86	113221005	\$38.86
113201001	\$38.86	113204002	\$38.86	113221006	\$38.86
113201002	\$38.86	113204003	\$38.86	113221007	\$38.86
113201003	\$38.86	113204004	\$38.86	113221008	\$38.86
113201004	\$67.36	113204005	\$38.86	113221009	\$38.86
113201005	\$38.86	113204006	\$38.86	113221010	\$38.86
113201006	\$38.86	113211001	\$67.36	113221011	\$38.86
113201007	\$38.86	113211002	\$38.86	113221012	\$67.36
113201008	\$38.86	113211003	\$38.86	113222001	\$38.86
113201009	\$38.86	113211004	\$38.86	113222002	\$38.86
113201010	\$38.86	113211005	\$38.86	113222003	\$38.86
113201011	\$38.86	113211006	\$38.86	113222004	\$38.86
113201012	\$67.36	113211007	\$38.86	113222005	\$38.86
113202001	\$38.86	113211008	\$38.86	113222006	\$38.86
113202002	\$38.86	113211009	\$38.86	113222007	\$38.86
113202003	\$38.86	113211010	\$38.86	113222009	\$38.86
113202004	\$38.86	113211011	\$38.86	113222010	\$38.86
113202005	\$38.86	113211012	\$38.86	113222011	\$38.86
113202006	\$38.86	113211013	\$38.86	113222012	\$38.86
113202007	\$38.86	113211014	\$38.86	113222013	\$38.86
113202008	\$38.86	113211015	\$38.86	113222014	\$38.86
113202009	\$38.86	113211016	\$38.86	113222015	\$67.36
113202010	\$38.86	113211017	\$38.86	113222016	\$38.86
113202011	\$38.86	113212001	\$38.86	113222017	\$38.86
113202012	\$67.36	113212002	\$38.86	113222018	\$38.86
113202013	\$38.86	113212003	\$38.86	113222019	\$38.86
113202014	\$38.86	113212004	\$38.86	113222022	\$38.86
113202015	\$38.86	113212005	\$38.86	113222023	\$38.86
113202016	\$38.86	113212006	\$38.86	113222024	\$38.86
113222025	\$38.86	113241003	\$38.86	113243004	\$67.36
113222026	\$67.36	113241004	\$38.86	113243005	\$67.36
113222027	\$38.86	113241005	\$38.86	113243006	\$67.36
113222028	\$38.86	113241006	\$38.86	113243007	\$67.36
113222029	\$67.36	113241007	\$38.86	113243008	\$67.36
113231001	\$38.86	113241008	\$38.86	113243009	\$67.36
113231002	\$38.86	113241009	\$38.86	113243010	\$67.36
113231003	\$38.86	113241010	\$38.86	113251003	\$67.36
113231004	\$38.86	113241011	\$67.36	113251004	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113231005	\$38.86	113241012	\$67.36	113251005	\$38.86
113231006	\$38.86	113241013	\$77.72	113251006	\$38.86
113231007	\$38.86	113242001	\$67.36	113251007	\$38.86
113231008	\$38.86	113242002	\$38.86	113251008	\$38.86
113232001	\$38.86	113242003	\$38.86	113251009	\$38.86
113232002	\$38.86	113242004	\$38.86	113251010	\$38.86
113232003	\$38.86	113242005	\$38.86	113251011	\$38.86
113232004	\$67.36	113242006	\$67.36	113251012	\$38.86
113232005	\$67.36	113242007	\$67.36	113251013	\$38.86
113232006	\$67.36	113242008	\$67.36	113251014	\$49.22
113232007	\$38.86	113242009	\$67.36	113251015	\$38.86
113232008	\$38.86	113242010	\$67.36	113251016	\$38.86
113232009	\$38.86	113242011	\$67.36	113251017	\$38.86
113232010	\$38.86	113242012	\$67.36	113251018	\$38.86
113232011	\$38.86	113242013	\$38.86	113251019	\$38.86
113233001	\$38.86	113242014	\$38.86	113251020	\$38.86
113233002	\$67.36	113242015	\$38.86	113252001	\$77.72
113233003	\$38.86	113242016	\$67.36	113252002	\$67.36
113233004	\$38.86	113242017	\$67.36	113252003	\$67.36
113233005	\$38.86	113242018	\$38.86	113252004	\$67.36
113233006	\$38.86	113242019	\$67.36	113252005	\$67.36
113233007	\$38.86	113242020	\$67.36	113252006	\$67.36
113233008	\$38.86	113242021	\$67.36	113252007	\$67.36
113233009	\$38.86	113242022	\$67.36	113252008	\$67.36
113233010	\$38.86	113242023	\$77.72	113252009	\$38.86
113233011	\$38.86	113242024	\$77.72	113252010	\$38.86
113233012	\$38.86	113242025	\$67.36	113252011	\$38.86
113233013	\$38.86	113242026	\$38.86	113252012	\$38.86
113233014	\$38.86	113242027	\$38.86	113252013	\$67.36
113233015	\$38.86	113242028	\$38.86	113252014	\$38.86
113233016	\$38.86	113242029	\$67.36	113252015	\$38.86
113233017	\$38.86	113243001	\$67.36	113252016	\$38.86
113241001	\$38.86	113243002	\$67.36	113252017	\$38.86
113241002	\$38.86	113243003	\$49.22	113252018	\$38.86
113252019	\$38.86	113262003	\$38.86	113271005	\$38.86
113252020	\$38.86	113262004	\$38.86	113271006	\$38.86
113252021	\$38.86	113262005	\$38.86	113271007	\$38.86
113252022	\$38.86	113262006	\$38.86	113271008	\$38.86
113252023	\$38.86	113262007	\$38.86	113271009	\$38.86
113252024	\$38.86	113262008	\$38.86	113271010	\$38.86
113252025	\$38.86	113262009	\$38.86	113271011	\$38.86
113252026	\$38.86	113262010	\$38.86	113271012	\$38.86
113252027	\$38.86	113262011	\$38.86	113271013	\$38.86
113252028	\$38.86	113262012	\$38.86	113271014	\$38.86
113252029	\$38.86	113262013	\$38.86	113271015	\$67.36
113261001	\$38.86	113262014	\$38.86	113271016	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113261002	\$38.86	113262015	\$67.36	113271017	\$38.86
113261003	\$38.86	113262016	\$67.36	113271018	\$38.86
113261004	\$38.86	113262017	\$67.36	113271019	\$38.86
113261005	\$38.86	113262018	\$38.86	113271020	\$38.86
113261006	\$38.86	113262019	\$38.86	113271021	\$38.86
113261007	\$38.86	113262020	\$38.86	113271022	\$38.86
113261008	\$38.86	113262021	\$38.86	113271023	\$38.86
113261009	\$38.86	113263001	\$67.36	113271024	\$38.86
113261010	\$38.86	113263002	\$67.36	113271025	\$38.86
113261011	\$38.86	113263003	\$38.86	113271026	\$38.86
113261012	\$38.86	113263004	\$38.86	113272001	\$67.36
113261013	\$38.86	113263005	\$38.86	113272002	\$38.86
113261014	\$67.36	113263006	\$67.36	113272003	\$38.86
113261015	\$38.86	113263007	\$38.86	113272004	\$38.86
113261016	\$38.86	113263008	\$38.86	113272005	\$38.86
113261017	\$38.86	113263009	\$38.86	113272006	\$38.86
113261018	\$38.86	113263010	\$38.86	113272007	\$38.86
113261019	\$38.86	113264001	\$67.36	113272008	\$38.86
113261020	\$38.86	113264002	\$38.86	113272009	\$38.86
113261021	\$38.86	113264003	\$38.86	113272010	\$38.86
113261022	\$38.86	113264004	\$38.86	113272011	\$38.86
113261023	\$38.86	113264005	\$38.86	113272012	\$38.86
113261024	\$38.86	113264006	\$38.86	113272013	\$38.86
113261025	\$38.86	113264007	\$38.86	113272014	\$67.36
113261026	\$38.86	113264008	\$38.86	113272015	\$38.86
113261027	\$38.86	113264009	\$38.86	113272016	\$38.86
113261028	\$38.86	113264010	\$38.86	113272017	\$38.86
113261029	\$38.86	113271001	\$67.36	113272018	\$38.86
113261030	\$38.86	113271002	\$38.86	113272019	\$38.86
113262001	\$38.86	113271003	\$38.86	113272020	\$38.86
113262002	\$38.86	113271004	\$38.86	113272021	\$38.86
113272022	\$38.86	113290020	\$67.36	113321017	\$38.86
113272023	\$38.86	113291001	\$67.36	113321018	\$67.36
113272024	\$38.86	113291002	\$67.36	113321019	\$38.86
113272025	\$38.86	113291003	\$67.36	113321020	\$67.36
113272026	\$38.86	113291004	\$67.36	113321021	\$67.36
113273001	\$67.36	113291005	\$67.36	113321022	\$38.86
113273002	\$38.86	113291006	\$67.36	113321023	\$38.86
113273003	\$38.86	113291007	\$67.36	113321024	\$38.86
113273004	\$38.86	113291008	\$67.36	113321025	\$38.86
113273005	\$38.86	113292001	\$67.36	113321026	\$38.86
113273006	\$38.86	113292002	\$67.36	113321027	\$38.86
113273007	\$38.86	113292003	\$67.36	113322001	\$38.86
113273008	\$38.86	113292004	\$49.22	113322002	\$38.86
113273009	\$38.86	113292005	\$49.22	113322003	\$38.86
113273010	\$38.86	113292006	\$67.36	113322004	\$67.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113273011	\$38.86	113292007	\$67.36	113322005	\$38.86
113273012	\$38.86	113292008	\$67.36	113322006	\$67.36
113273013	\$38.86	113292009	\$67.36	113322007	\$67.36
113273014	\$67.36	113292010	\$67.36	113322008	\$38.86
113273015	\$38.86	113300015	\$316.54	113322009	\$38.86
113273016	\$38.86	113300016	\$719.34	113322010	\$38.86
113273017	\$38.86	113300017	\$259.54	113322011	\$38.86
113273018	\$38.86	113300018	\$172.52	113322012	\$38.86
113273019	\$38.86	113301001	\$28.88	113322013	\$38.86
113273020	\$38.86	113301002	\$28.88	113322014	\$38.86
113273021	\$38.86	113310010	\$101.02	113322015	\$38.86
113273022	\$38.86	113310013	\$1,150.14	113322016	\$38.86
113273023	\$38.86	113321001	\$67.36	113322017	\$38.86
113273024	\$38.86	113321002	\$38.86	113322018	\$67.36
113273025	\$38.86	113321003	\$38.86	113330001	\$1,241.08
113273026	\$38.86	113321004	\$38.86	113330002	\$290.58
113290005	\$67.36	113321005	\$38.86	113340001	\$164.96
113290006	\$67.36	113321006	\$38.86	113340003	\$1.10
113290007	\$67.36	113321007	\$67.36	113340004	\$39.96
113290008	\$67.36	113321008	\$38.86	113340005	\$41.06
113290009	\$67.36	113321009	\$38.86	113340006	\$42.16
113290013	\$67.36	113321010	\$38.86	113340007	\$41.06
113290014	\$67.36	113321011	\$38.86	113340008	\$11.46
113290015	\$67.36	113321012	\$38.86	113340009	\$41.06
113290016	\$67.36	113321013	\$67.36	113340010	\$49.22
113290017	\$77.72	113321014	\$38.86	113340018	\$230.76
113290018	\$77.72	113321015	\$38.86	113340024	\$102.84
113290019	\$67.36	113321016	\$38.86	113340025	\$196.88
113340031	\$77.72	113350032	\$72.52	113362007	\$39.70
113340032	\$59.58	113350043	\$266.82	113362008	\$68.58
113340033	\$59.58	113350044	\$225.38	113371001	\$38.86
113340034	\$88.08	113350045	\$137.30	113371002	\$38.86
113340035	\$116.58	113350046	\$137.30	113371003	\$38.86
113340036	\$77.72	113350047	\$137.30	113371004	\$38.86
113340037	\$115.86	113350048	\$137.30	113371005	\$38.86
113340038	\$88.08	113350049	\$108.80	113371006	\$38.86
113340039	\$88.08	113350050	\$108.80	113371007	\$38.86
113340040	\$88.08	113350051	\$137.30	113371008	\$38.86
113340041	\$88.08	113360001	\$143.64	113371009	\$38.86
113340042	\$88.08	113360002	\$201.78	113371010	\$38.86
113340043	\$77.72	113360012	\$143.64	113371011	\$38.86
113340044	\$77.72	113360013	\$258.02	113371012	\$38.86
113340045	\$116.58	113360031	\$316.54	113371013	\$38.86
113340046	\$77.72	113360032	\$693.12	113371014	\$38.86
113340047	\$88.08	113360033	\$144.40	113371015	\$38.86
113340048	\$88.08	113360034	\$258.40	113371016	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113340049	\$77.72	113360035	\$229.52	113371017	\$38.86
113340050	\$88.08	113360037	\$144.40	113371018	\$38.86
113340051	\$88.08	113360040	\$517.94	113371019	\$38.86
113340052	\$88.08	113360041	\$258.78	113371020	\$38.86
113340061	\$88.08	113360047	\$316.92	113371021	\$38.86
113340062	\$126.94	113360048	\$748.22	113371022	\$38.86
113340063	\$88.08	113360051	\$19.62	113371023	\$38.86
113340064	\$88.08	113360052	\$86.98	113371024	\$38.86
113340065	\$116.58	113360054	\$106.60	113371025	\$38.86
113340066	\$77.72	113361001	\$86.26	113371026	\$38.86
113340067	\$88.08	113361002	\$57.38	113371027	\$38.86
113340068	\$108.80	113361003	\$57.38	113371028	\$38.86
113340069	\$88.08	113361004	\$57.38	113371029	\$38.86
113340070	\$88.08	113361005	\$57.38	113371030	\$38.86
113340071	\$77.72	113361006	\$57.38	113371031	\$38.86
113340072	\$77.72	113361007	\$57.38	113371032	\$38.86
113340073	\$88.08	113361008	\$57.38	113371033	\$38.86
113340074	\$77.72	113361009	\$57.38	113371034	\$38.86
113340075	\$88.08	113361010	\$57.38	113371035	\$38.86
113340076	\$88.08	113362001	\$39.70	113371036	\$38.86
113340077	\$126.94	113362002	\$212.98	113371037	\$38.86
113340078	\$268.34	113362003	\$39.70	113371038	\$38.86
113340079	\$230.28	113362004	\$39.70	113371039	\$38.86
113350007	\$2.20	113362005	\$68.58	113372001	\$67.36
113350018	\$116.58	113362006	\$68.58	113372002	\$38.86
113372003	\$38.86	113382010	\$38.86	113392008	\$38.86
113372004	\$38.86	113382011	\$38.86	113392009	\$38.86
113372005	\$38.86	113382012	\$38.86	113392010	\$38.86
113372006	\$38.86	113382013	\$38.86	113392011	\$38.86
113372007	\$38.86	113383001	\$67.36	113392012	\$38.86
113372008	\$38.86	113383002	\$38.86	113392013	\$38.86
113372009	\$38.86	113383003	\$38.86	113392014	\$38.86
113372010	\$38.86	113383004	\$38.86	113392015	\$38.86
113372011	\$38.86	113383005	\$38.86	113392016	\$38.86
113372012	\$38.86	113383006	\$38.86	113392017	\$38.86
113372013	\$38.86	113383007	\$38.86	113392018	\$38.86
113372014	\$38.86	113383008	\$67.36	113392019	\$38.86
113372015	\$38.86	113383009	\$38.86	113393001	\$38.86
113372016	\$38.86	113383010	\$38.86	113393002	\$38.86
113372017	\$38.86	113383011	\$38.86	113393003	\$38.86
113372018	\$38.86	113383012	\$38.86	113393004	\$38.86
113372019	\$38.86	113383013	\$38.86	113393005	\$38.86
113372020	\$38.86	113383014	\$38.86	113393006	\$38.86
113372021	\$38.86	113391001	\$38.86	113393007	\$38.86
113372022	\$38.86	113391002	\$38.86	113393008	\$38.86
113372023	\$38.86	113391003	\$38.86	113393009	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113372024	\$38.86	113391004	\$38.86	113401001	\$67.36
113372025	\$38.86	113391005	\$38.86	113401002	\$38.86
113372026	\$67.36	113391006	\$38.86	113401003	\$67.36
113381001	\$38.86	113391007	\$38.86	113401004	\$38.86
113381002	\$38.86	113391008	\$67.36	113401005	\$38.86
113381003	\$38.86	113391009	\$67.36	113401006	\$38.86
113381004	\$38.86	113391010	\$67.36	113401007	\$38.86
113381005	\$38.86	113391011	\$77.72	113401008	\$38.86
113381006	\$38.86	113391012	\$77.72	113401009	\$38.86
113381007	\$38.86	113391015	\$77.72	113401010	\$38.86
113381008	\$38.86	113391016	\$38.86	113401011	\$38.86
113381009	\$38.86	113391017	\$38.86	113401012	\$38.86
113381010	\$38.86	113391018	\$38.86	113401013	\$38.86
113382001	\$38.86	113391019	\$38.86	113401014	\$38.86
113382002	\$38.86	113391020	\$38.86	113401015	\$38.86
113382003	\$38.86	113391021	\$38.86	113401017	\$49.22
113382004	\$38.86	113391022	\$38.86	113401018	\$38.86
113382005	\$38.86	113392001	\$67.36	113401019	\$38.86
113382006	\$38.86	113392002	\$38.86	113401020	\$38.86
113382007	\$38.86	113392003	\$38.86	113401021	\$38.86
113382008	\$38.86	113392004	\$38.86	113401022	\$38.86
113382009	\$38.86	113392007	\$67.36	113401023	\$38.86
113401024	\$38.86	113402031	\$38.86	113410023	\$18.62
113401025	\$38.86	113402032	\$38.86	113410024	\$18.62
113401026	\$38.86	113402033	\$38.86	113410025	\$18.62
113401027	\$38.86	113402034	\$77.72	113410026	\$18.62
113401028	\$38.86	113402035	\$38.86	113410029	\$18.62
113401029	\$38.86	113402036	\$38.86	113410030	\$18.62
113401030	\$38.86	113402037	\$38.86	113410031	\$18.62
113401031	\$38.86	113402038	\$38.86	113410032	\$18.62
113401032	\$38.86	113402039	\$38.86	113410033	\$18.62
113401033	\$38.86	113402040	\$38.86	113410034	\$18.62
113401034	\$38.86	113402041	\$67.36	113410035	\$18.62
113401035	\$38.86	113402042	\$38.86	113410036	\$18.62
113401036	\$38.86	113402043	\$38.86	113410037	\$18.62
113402001	\$38.86	113402044	\$38.86	113410038	\$18.62
113402002	\$38.86	113402045	\$38.86	113410039	\$18.62
113402003	\$38.86	113402046	\$38.86	113410040	\$18.62
113402004	\$38.86	113402047	\$38.86	113410041	\$18.62
113402005	\$38.86	113402048	\$38.86	113410042	\$18.62
113402006	\$38.86	113402049	\$38.86	113410043	\$18.62
113402007	\$38.86	113402050	\$38.86	113410044	\$18.62
113402008	\$38.86	113403001	\$137.30	113410045	\$18.62
113402009	\$38.86	113410001	\$18.62	113410046	\$18.62
113402010	\$38.86	113410002	\$18.62	113410047	\$18.62
113402011	\$38.86	113410003	\$18.62	113410048	\$18.62

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113402012	\$38.86	113410004	\$18.62	113410052	\$18.62
113402013	\$38.86	113410005	\$18.62	113410053	\$18.62
113402014	\$38.86	113410006	\$18.62	113410054	\$18.62
113402015	\$67.36	113410007	\$18.62	113410055	\$18.62
113402016	\$38.86	113410008	\$18.62	113410056	\$18.62
113402017	\$38.86	113410009	\$18.62	113410057	\$18.62
113402018	\$38.86	113410010	\$18.62	113410058	\$18.62
113402019	\$38.86	113410011	\$18.62	113410059	\$18.62
113402020	\$38.86	113410012	\$18.62	113410060	\$18.62
113402021	\$38.86	113410013	\$18.62	113410061	\$18.62
113402022	\$38.86	113410014	\$18.62	113410062	\$18.62
113402023	\$67.36	113410015	\$18.62	113410063	\$18.62
113402024	\$67.36	113410016	\$18.62	113410064	\$18.62
113402025	\$38.86	113410017	\$18.62	113410065	\$18.62
113402026	\$67.36	113410018	\$18.62	113410066	\$18.62
113402027	\$38.86	113410019	\$18.62	113410067	\$18.62
113402028	\$38.86	113410020	\$18.62	113410068	\$18.62
113402029	\$38.86	113410021	\$18.62	113410069	\$18.62
113402030	\$38.86	113410022	\$18.62	113410070	\$18.62
113410071	\$18.62	113432026	\$38.86	113442023	\$38.86
113410072	\$18.62	113432027	\$38.86	113442024	\$38.86
113410073	\$18.62	113432028	\$38.86	113442025	\$38.86
113410074	\$18.62	113432029	\$38.86	113442026	\$38.86
113410075	\$18.62	113432030	\$38.86	113442027	\$49.22
113420010	\$319.42	113432031	\$38.86	113450001	\$67.36
113431001	\$38.86	113432032	\$38.86	113450002	\$38.86
113431002	\$38.86	113432033	\$38.86	113450003	\$49.22
113431003	\$38.86	113432034	\$38.86	113450004	\$38.86
113431004	\$38.86	113432035	\$49.22	113450005	\$38.86
113431005	\$38.86	113441001	\$38.86	113450006	\$67.36
113431006	\$38.86	113441002	\$38.86	113450007	\$67.36
113431007	\$38.86	113441003	\$38.86	113450008	\$38.86
113431008	\$38.86	113441004	\$38.86	113450009	\$38.86
113431009	\$38.86	113441005	\$38.86	113450010	\$38.86
113431010	\$38.86	113441006	\$38.86	113450011	\$38.86
113431011	\$38.86	113441007	\$38.86	113450012	\$38.86
113431012	\$67.36	113441008	\$38.86	113450014	\$80.30
113432001	\$38.86	113441009	\$38.86	113450015	\$38.86
113432002	\$38.86	113441010	\$38.86	113450016	\$38.86
113432003	\$38.86	113441011	\$38.86	113450017	\$38.86
113432004	\$38.86	113442001	\$38.86	113461001	\$67.36
113432005	\$49.22	113442002	\$38.86	113461004	\$49.22
113432006	\$49.22	113442003	\$38.86	113461005	\$49.22
113432007	\$38.86	113442004	\$38.86	113461006	\$38.86
113432008	\$38.86	113442005	\$38.86	113461007	\$49.22
113432009	\$38.86	113442006	\$38.86	113461008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113432010	\$38.86	113442007	\$38.86	113461009	\$67.36
113432011	\$38.86	113442008	\$49.22	113461010	\$67.36
113432012	\$38.86	113442009	\$38.86	113461011	\$67.36
113432013	\$38.86	113442010	\$38.86	113461014	\$38.86
113432014	\$38.86	113442011	\$38.86	113461015	\$49.22
113432015	\$38.86	113442012	\$38.86	113461016	\$38.86
113432016	\$38.86	113442013	\$38.86	113461017	\$49.22
113432017	\$38.86	113442014	\$38.86	113461020	\$67.36
113432018	\$38.86	113442015	\$38.86	113461021	\$67.36
113432019	\$49.22	113442016	\$38.86	113461022	\$49.22
113432020	\$49.22	113442017	\$49.22	113461023	\$49.22
113432021	\$38.86	113442018	\$49.22	113461024	\$49.22
113432022	\$38.86	113442019	\$38.86	113461025	\$38.86
113432023	\$38.86	113442020	\$38.86	113461026	\$67.36
113432024	\$38.86	113442021	\$38.86	113461031	\$38.86
113432025	\$38.86	113442022	\$38.86	113461032	\$67.36
113461033	\$67.36	113471016	\$38.86	113472028	\$67.36
113461034	\$67.36	113471017	\$38.86	113472029	\$67.36
113461035	\$67.36	113471018	\$38.86	113472030	\$67.36
113461036	\$67.36	113471019	\$38.86	113472031	\$67.36
113462001	\$67.36	113471020	\$38.86	113472032	\$67.36
113462002	\$67.36	113471021	\$38.86	113472033	\$67.36
113462003	\$38.86	113471022	\$67.36	113472034	\$67.36
113462004	\$67.36	113471023	\$38.86	113481001	\$67.36
113462005	\$38.86	113471024	\$49.22	113481002	\$38.86
113462006	\$38.86	113471025	\$67.36	113481003	\$38.86
113462007	\$38.86	113471026	\$38.86	113481004	\$38.86
113462008	\$38.86	113471027	\$67.36	113481005	\$38.86
113462009	\$38.86	113471028	\$38.86	113481006	\$38.86
113462010	\$38.86	113471029	\$38.86	113481007	\$38.86
113462011	\$38.86	113471030	\$38.86	113481008	\$38.86
113462012	\$38.86	113471031	\$67.36	113481009	\$134.72
113462013	\$38.86	113472001	\$67.36	113482001	\$38.86
113462014	\$67.36	113472002	\$38.86	113482002	\$38.86
113462015	\$67.36	113472003	\$38.86	113482003	\$67.36
113462016	\$67.36	113472004	\$38.86	113482004	\$67.36
113462017	\$67.36	113472005	\$38.86	113482005	\$38.86
113462018	\$67.36	113472006	\$38.86	113482006	\$38.86
113462019	\$67.36	113472007	\$67.36	113482007	\$49.22
113462020	\$67.36	113472008	\$67.36	113482008	\$38.86
113462021	\$67.36	113472009	\$38.86	113482009	\$38.86
113462022	\$67.36	113472010	\$38.86	113482010	\$38.86
113462023	\$67.36	113472011	\$38.86	113482011	\$38.86
113462024	\$67.36	113472012	\$38.86	113482012	\$67.36
113471001	\$67.36	113472013	\$38.86	113482013	\$38.86
113471002	\$67.36	113472014	\$49.22	113482014	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113471003	\$77.72	113472015	\$38.86	113482015	\$67.36
113471004	\$49.22	113472016	\$38.86	113482016	\$67.36
113471005	\$67.36	113472017	\$67.36	113482017	\$38.86
113471006	\$67.36	113472018	\$38.86	113482018	\$38.86
113471007	\$67.36	113472019	\$38.86	113482019	\$38.86
113471008	\$77.72	113472020	\$38.86	113482020	\$49.22
113471009	\$67.36	113472021	\$38.86	113482021	\$38.86
113471010	\$49.22	113472022	\$67.36	113482022	\$38.86
113471011	\$67.36	113472023	\$38.86	113482023	\$38.86
113471012	\$67.36	113472024	\$38.86	113482024	\$38.86
113471013	\$67.36	113472025	\$38.86	113482025	\$38.86
113471014	\$67.36	113472026	\$38.86	113482026	\$38.86
113471015	\$38.86	113472027	\$38.86	113482027	\$67.36
113482028	\$38.86	113491001	\$38.86	113492028	\$38.86
113482029	\$38.86	113491002	\$38.86	113492029	\$38.86
113482030	\$38.86	113491003	\$38.86	113492030	\$38.86
113482031	\$38.86	113491004	\$38.86	113493001	\$38.86
113482032	\$38.86	113491005	\$38.86	113493002	\$38.86
113482033	\$38.86	113491006	\$38.86	113493003	\$38.86
113482034	\$49.22	113491007	\$38.86	113493004	\$38.86
113482035	\$38.86	113491008	\$38.86	113493005	\$38.86
113482036	\$49.22	113491009	\$38.86	113493006	\$38.86
113482037	\$38.86	113491010	\$38.86	113493007	\$38.86
113482038	\$38.86	113491011	\$38.86	113493008	\$38.86
113482039	\$38.86	113491012	\$38.86	113493009	\$38.86
113482040	\$38.86	113491013	\$38.86	113493010	\$38.86
113482041	\$38.86	113491014	\$38.86	113493011	\$38.86
113482042	\$38.86	113491015	\$38.86	113493012	\$38.86
113482043	\$38.86	113491016	\$38.86	113493013	\$38.86
113482044	\$38.86	113492001	\$38.86	113493014	\$38.86
113482045	\$38.86	113492002	\$38.86	113493015	\$38.86
113482046	\$38.86	113492003	\$38.86	113501001	\$38.86
113482047	\$38.86	113492004	\$38.86	113501002	\$38.86
113483001	\$38.86	113492005	\$38.86	113501003	\$38.86
113483002	\$38.86	113492006	\$38.86	113501004	\$38.86
113483003	\$38.86	113492007	\$38.86	113501005	\$38.86
113483004	\$38.86	113492008	\$38.86	113502001	\$38.86
113483005	\$38.86	113492009	\$38.86	113502002	\$49.22
113483006	\$38.86	113492010	\$38.86	113502003	\$38.86
113483007	\$38.86	113492011	\$38.86	113502004	\$38.86
113483008	\$38.86	113492012	\$38.86	113502005	\$38.86
113483009	\$38.86	113492013	\$38.86	113502006	\$38.86
113483010	\$38.86	113492014	\$38.86	113502007	\$38.86
113483011	\$38.86	113492015	\$38.86	113502008	\$49.22
113483012	\$38.86	113492016	\$38.86	113502009	\$38.86
113483013	\$38.86	113492017	\$38.86	113502010	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113483014	\$38.86	113492018	\$38.86	113502011	\$38.86
113484001	\$38.86	113492019	\$38.86	113502012	\$38.86
113484002	\$38.86	113492020	\$38.86	113502013	\$38.86
113484003	\$38.86	113492021	\$38.86	113502014	\$38.86
113484004	\$38.86	113492022	\$38.86	113502015	\$38.86
113484005	\$38.86	113492023	\$38.86	113502016	\$38.86
113484006	\$38.86	113492024	\$38.86	113502017	\$38.86
113484007	\$38.86	113492025	\$38.86	113502018	\$38.86
113484008	\$38.86	113492026	\$38.86	113502019	\$38.86
113484009	\$67.36	113492027	\$38.86	113503001	\$67.36
113503002	\$38.86	113520012	\$67.36	113540006	\$67.36
113503003	\$38.86	113520013	\$67.36	113540007	\$38.86
113503004	\$38.86	113520014	\$67.36	113540008	\$49.22
113503005	\$38.86	113520015	\$38.86	113540009	\$38.86
113503006	\$38.86	113520016	\$38.86	113540010	\$38.86
113510001	\$38.86	113520017	\$38.86	113540011	\$67.36
113510002	\$38.86	113520018	\$38.86	113541001	\$67.36
113510003	\$38.86	113520019	\$38.86	113541002	\$67.36
113510004	\$38.86	113520020	\$38.86	113541003	\$38.86
113510005	\$38.86	113520021	\$67.36	113541004	\$49.22
113510006	\$38.86	113520022	\$77.72	113541005	\$67.36
113510007	\$38.86	113520023	\$77.72	113541006	\$38.86
113510008	\$38.86	113530001	\$77.72	113541007	\$38.86
113510009	\$38.86	113530002	\$67.36	113541008	\$38.86
113510010	\$38.86	113530003	\$67.36	113541009	\$38.86
113510011	\$38.86	113530004	\$67.36	113541010	\$67.36
113510012	\$38.86	113530005	\$67.36	113541011	\$38.86
113510013	\$38.86	113530006	\$67.36	113541012	\$49.22
113510014	\$38.86	113530007	\$67.36	113541013	\$38.86
113510015	\$38.86	113530008	\$67.36	113541014	\$38.86
113510016	\$38.86	113530009	\$38.86	113541015	\$67.36
113510017	\$38.86	113530010	\$67.36	113541016	\$38.86
113510018	\$38.86	113530011	\$67.36	113541017	\$67.36
113510019	\$38.86	113530012	\$38.86	113541018	\$67.36
113510020	\$38.86	113530013	\$67.36	113541019	\$67.36
113510021	\$38.86	113530014	\$67.36	113541020	\$67.36
113510022	\$38.86	113530015	\$67.36	113541021	\$67.36
113510023	\$38.86	113530016	\$67.36	113541022	\$38.86
113510024	\$38.86	113530017	\$38.86	113541023	\$38.86
113510025	\$38.86	113530018	\$67.36	113542001	\$67.36
113510026	\$38.86	113530019	\$67.36	113542002	\$67.36
113510027	\$38.86	113530020	\$77.72	113542003	\$67.36
113520001	\$67.36	113531001	\$38.86	113542004	\$67.36
113520002	\$67.36	113531002	\$38.86	113542005	\$67.36
113520003	\$38.86	113531003	\$38.86	113542006	\$67.36
113520004	\$38.86	113531004	\$38.86	113542007	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113520005	\$49.22	113531005	\$38.86	113542008	\$67.36
113520006	\$38.86	113531006	\$38.86	113542009	\$67.36
113520007	\$67.36	113540001	\$77.72	113542010	\$67.36
113520008	\$67.36	113540002	\$38.86	113542011	\$67.36
113520009	\$67.36	113540003	\$38.86	113543001	\$67.36
113520010	\$67.36	113540004	\$38.86	113543002	\$67.36
113520011	\$67.36	113540005	\$67.36	113543003	\$67.36
113543004	\$67.36	113550037	\$38.86	113560025	\$38.86
113543005	\$67.36	113550038	\$38.86	113560040	\$67.36
113543006	\$67.36	113550039	\$38.86	113560041	\$38.86
113543007	\$67.36	113550040	\$38.86	113560042	\$38.86
113543008	\$67.36	113550041	\$38.86	113560043	\$38.86
113543009	\$67.36	113550042	\$38.86	113560044	\$38.86
113543010	\$67.36	113550043	\$49.22	113560045	\$38.86
113550001	\$38.86	113550044	\$38.86	113560046	\$38.86
113550002	\$38.86	113550045	\$38.86	113560047	\$38.86
113550003	\$38.86	113550046	\$38.86	113560048	\$38.86
113550004	\$38.86	113550047	\$38.86	113560049	\$38.86
113550005	\$38.86	113550048	\$38.86	113560050	\$38.86
113550006	\$38.86	113550049	\$38.86	113560051	\$38.86
113550007	\$38.86	113550050	\$38.86	113560052	\$67.36
113550008	\$49.22	113550051	\$38.86	113560053	\$38.86
113550009	\$49.22	113550052	\$38.86	113560054	\$38.86
113550010	\$38.86	113550053	\$38.86	113560055	\$38.86
113550011	\$38.86	113550054	\$38.86	113560056	\$38.86
113550012	\$38.86	113550055	\$38.86	113560057	\$38.86
113550013	\$38.86	113560001	\$67.36	113561001	\$67.36
113550014	\$38.86	113560002	\$67.36	113561002	\$38.86
113550015	\$38.86	113560003	\$38.86	113561003	\$38.86
113550016	\$38.86	113560004	\$38.86	113561004	\$67.36
113550017	\$38.86	113560005	\$67.36	113561005	\$67.36
113550018	\$38.86	113560006	\$38.86	113561006	\$67.36
113550019	\$49.22	113560007	\$38.86	113561007	\$67.36
113550020	\$38.86	113560008	\$38.86	113561008	\$38.86
113550021	\$38.86	113560009	\$67.36	113561009	\$38.86
113550022	\$38.86	113560010	\$38.86	113561010	\$38.86
113550023	\$38.86	113560011	\$38.86	113561011	\$38.86
113550024	\$38.86	113560012	\$38.86	113561012	\$38.86
113550025	\$38.86	113560013	\$38.86	113561013	\$38.86
113550026	\$38.86	113560014	\$38.86	113561014	\$38.86
113550027	\$38.86	113560015	\$38.86	113561015	\$38.86
113550028	\$49.22	113560016	\$67.36	113561016	\$38.86
113550029	\$49.22	113560017	\$38.86	113561017	\$38.86
113550030	\$49.22	113560018	\$67.36	113561018	\$67.36
113550031	\$38.86	113560019	\$67.36	113561019	\$38.86
113550032	\$38.86	113560020	\$38.86	113561020	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113550033	\$38.86	113560021	\$38.86	113561021	\$38.86
113550034	\$38.86	113560022	\$38.86	113561022	\$38.86
113550035	\$38.86	113560023	\$38.86	113561023	\$38.86
113550036	\$49.22	113560024	\$38.86	113561024	\$38.86
113561025	\$38.86	114071009	\$15.48	114081001	\$15.48
113561026	\$38.86	114071010	\$15.48	114081002	\$15.48
113561027	\$38.86	114071011	\$15.48	114081003	\$15.48
113561028	\$38.86	114071012	\$15.48	114081005	\$15.48
113561029	\$38.86	114071013	\$15.48	114081006	\$15.48
113561030	\$38.86	114071014	\$15.48	114081007	\$15.48
113561031	\$38.86	114071015	\$15.48	114081009	\$15.48
113561032	\$38.86	114071016	\$15.48	114081010	\$15.48
113561033	\$38.86	114071017	\$15.48	114081012	\$15.48
113561034	\$67.36	114071018	\$15.48	114081013	\$15.48
114030001	\$14.76	114071019	\$15.48	114081014	\$15.48
114030030	\$391.14	114071020	\$15.48	114081015	\$15.48
114040019	\$20.90	114071021	\$15.48	114081016	\$15.48
114040020	\$24.20	114071023	\$15.48	114081017	\$15.48
114060004	\$115.50	114071024	\$15.48	114081018	\$15.48
114060005	\$122.26	114071025	\$15.48	114081019	\$15.48
114060008	\$230.36	114071026	\$15.48	114081020	\$15.48
114060009	\$122.26	114071027	\$15.48	114081021	\$15.48
114060010	\$123.36	114071028	\$15.48	114081022	\$15.48
114060011	\$334.14	114071029	\$15.48	114081023	\$15.48
114060012	\$118.96	114071030	\$15.48	114081025	\$15.48
114060013	\$121.16	114071032	\$15.48	114081026	\$15.48
114060014	\$122.26	114071033	\$15.48	114081027	\$15.48
114060015	\$122.26	114071034	\$15.48	114081028	\$15.48
114060016	\$147.86	114071035	\$15.48	114081029	\$15.48
114060027	\$146.14	114071036	\$15.48	114081030	\$15.48
114060028	\$446.04	114071037	\$15.48	114081031	\$15.48
114070014	\$344.28	114071038	\$15.48	114081032	\$15.48
114070015	\$57.76	114071039	\$15.48	114081033	\$15.48
114070016	\$1,323.54	114071041	\$15.48	114081035	\$15.48
114070017	\$229.90	114071042	\$15.48	114081036	\$15.48
114070018	\$172.52	114071043	\$15.48	114081037	\$15.48
114070019	\$57.76	114071044	\$15.48	114081038	\$15.48
114070020	\$293.88	114071045	\$15.48	114081039	\$15.48
114070021	\$265.38	114071046	\$15.48	114081040	\$15.48
114070022	\$106.60	114071047	\$15.48	114081041	\$15.48
114071001	\$15.48	114071048	\$15.48	114082001	\$15.48
114071002	\$15.48	114071050	\$12.92	114082002	\$15.48
114071003	\$15.48	114071051	\$12.92	114082003	\$15.48
114071004	\$15.48	114071052	\$12.92	114082004	\$15.48
114071005	\$15.48	114071053	\$12.92	114082005	\$15.48
114071006	\$15.48	114071054	\$13.20	114082006	\$15.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114071008	\$15.48	114071055	\$14.34	114082007	\$15.48
114082008	\$15.48	114083028	\$15.48	114083077	\$14.92
114082009	\$15.48	114083029	\$15.48	114083078	\$14.92
114082010	\$15.48	114083030	\$15.48	114083080	\$14.92
114082011	\$15.48	114083031	\$15.48	114083081	\$14.92
114082013	\$15.48	114083032	\$15.48	114083082	\$14.92
114082014	\$15.48	114083034	\$15.48	114083083	\$14.92
114082015	\$15.48	114083035	\$15.48	114083084	\$14.92
114082016	\$15.48	114083036	\$15.48	114083085	\$14.92
114082017	\$15.48	114083037	\$15.48	114083086	\$14.92
114082019	\$15.48	114083038	\$15.48	114083087	\$14.92
114082020	\$15.48	114083039	\$15.48	114083089	\$14.92
114082022	\$15.48	114083040	\$15.48	114083090	\$14.92
114082023	\$15.48	114083041	\$15.48	114083091	\$14.92
114082024	\$15.48	114083043	\$15.48	114083092	\$14.92
114082025	\$15.48	114083044	\$15.48	114083093	\$14.92
114082027	\$15.48	114083046	\$15.48	114083094	\$14.92
114082028	\$15.48	114083047	\$15.48	114083095	\$14.92
114082029	\$15.48	114083048	\$15.48	114083096	\$14.92
114083001	\$15.48	114083049	\$15.48	114083097	\$14.92
114083002	\$15.48	114083050	\$15.48	114083098	\$14.92
114083003	\$15.48	114083051	\$15.48	114091001	\$15.48
114083004	\$15.48	114083052	\$15.48	114091002	\$15.48
114083005	\$15.48	114083053	\$15.48	114091003	\$15.48
114083006	\$15.48	114083055	\$14.92	114091004	\$15.48
114083007	\$15.48	114083056	\$14.92	114091005	\$15.48
114083008	\$15.48	114083057	\$14.92	114091006	\$15.48
114083009	\$15.48	114083058	\$14.92	114091007	\$15.48
114083010	\$15.48	114083059	\$14.92	114091008	\$15.48
114083011	\$15.48	114083060	\$14.92	114091009	\$15.48
114083012	\$15.48	114083061	\$14.92	114091010	\$15.48
114083014	\$15.48	114083062	\$14.92	114091012	\$15.48
114083015	\$15.48	114083064	\$14.92	114091013	\$15.48
114083016	\$15.48	114083065	\$14.92	114091014	\$15.48
114083017	\$15.48	114083066	\$14.92	114091015	\$15.48
114083018	\$15.48	114083067	\$14.92	114091016	\$15.48
114083019	\$15.48	114083068	\$14.92	114091017	\$15.48
114083020	\$15.48	114083069	\$14.92	114091018	\$15.48
114083021	\$15.48	114083070	\$14.92	114091020	\$15.48
114083022	\$15.48	114083071	\$14.92	114091021	\$15.48
114083023	\$15.48	114083072	\$14.92	114091022	\$15.48
114083025	\$15.48	114083073	\$14.92	114091023	\$15.48
114083026	\$15.48	114083075	\$14.92	114091024	\$15.48
114083027	\$15.48	114083076	\$14.92	114091025	\$15.48
114091026	\$15.48	114113004	\$38.86	114121006	\$38.86
114091028	\$15.48	114113005	\$38.86	114121007	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114091029	\$15.48	114113006	\$38.86	114121008	\$38.86
114091030	\$15.48	114113007	\$38.86	114121009	\$38.86
114091031	\$15.48	114113008	\$38.86	114121010	\$67.36
114091032	\$15.48	114113009	\$38.86	114122001	\$38.86
114091033	\$15.48	114113010	\$38.86	114122002	\$38.86
114091034	\$15.48	114113011	\$38.86	114122003	\$38.86
114091036	\$15.48	114113012	\$38.86	114122004	\$38.86
114091037	\$15.48	114113013	\$38.86	114122005	\$38.86
114091038	\$15.48	114113014	\$38.86	114122006	\$38.86
114091039	\$15.48	114113015	\$38.86	114122007	\$38.86
114091041	\$15.48	114113016	\$38.86	114122008	\$38.86
114091042	\$15.48	114113017	\$38.86	114122009	\$38.86
114091043	\$15.48	114113018	\$38.86	114122010	\$38.86
114111001	\$38.86	114113019	\$38.86	114123001	\$38.86
114111002	\$38.86	114113020	\$38.86	114123002	\$38.86
114111003	\$38.86	114114001	\$67.36	114123003	\$38.86
114111004	\$38.86	114114002	\$38.86	114123004	\$38.86
114111005	\$38.86	114114003	\$38.86	114123005	\$38.86
114111006	\$38.86	114114004	\$38.86	114123006	\$38.86
114111007	\$38.86	114114005	\$38.86	114123007	\$38.86
114111008	\$38.86	114114006	\$38.86	114123008	\$38.86
114111009	\$38.86	114114007	\$38.86	114123009	\$38.86
114111010	\$38.86	114114008	\$38.86	114123010	\$38.86
114111011	\$38.86	114114009	\$67.36	114123011	\$38.86
114111012	\$38.86	114114010	\$38.86	114123012	\$38.86
114111013	\$38.86	114114011	\$38.86	114123013	\$38.86
114112001	\$67.36	114114012	\$38.86	114123014	\$38.86
114112002	\$38.86	114114013	\$38.86	114123015	\$38.86
114112003	\$38.86	114114014	\$38.86	114123016	\$38.86
114112004	\$67.36	114114015	\$38.86	114130005	\$137.30
114112005	\$49.22	114114016	\$38.86	114130006	\$165.80
114112006	\$38.86	114114017	\$38.86	114130007	\$165.80
114112007	\$67.36	114114018	\$38.86	114130008	\$128.76
114112008	\$67.36	114114019	\$38.86	114130009	\$100.26
114112009	\$67.36	114114020	\$38.86	114180001	\$68.66
114112010	\$38.86	114114021	\$38.86	114180002	\$328.90
114112011	\$38.86	114121001	\$38.86	114180003	\$12.10
114112012	\$67.36	114121002	\$38.86	114180010	\$1,015.28
114113001	\$38.86	114121003	\$38.86	114190002	\$69.56
114113002	\$38.86	114121004	\$38.86	114190003	\$69.56
114113003	\$38.86	114121005	\$38.86	114190004	\$69.56
114190005	\$69.56	114220003	\$10.36	114230034	\$38.86
114190009	\$88.08	114220004	\$11.00	114230035	\$38.86
114190010	\$88.08	114220005	\$8.80	114230036	\$38.86
114190011	\$88.08	114220006	\$6.60	114230037	\$38.86
114190012	\$59.58	114220007	\$13.66	114230038	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114190013	\$80.30	114220008	\$5.50	114230039	\$67.36
114190014	\$59.58	114220010	\$12.56	114230041	\$67.36
114190015	\$59.58	114220011	\$13.66	114230042	\$38.86
114190016	\$88.08	114220013	\$41.44	114230043	\$38.86
114190017	\$88.08	114220014	\$3.30	114230044	\$38.86
114190018	\$88.08	114220015	\$2.20	114230045	\$38.86
114190019	\$88.08	114220016	\$8.80	114230046	\$38.86
114190020	\$88.08	114230002	\$108.80	114230047	\$38.86
114190021	\$88.08	114230003	\$38.86	114230048	\$38.86
114190022	\$88.08	114230004	\$38.86	114230049	\$38.86
114190023	\$88.08	114230005	\$38.86	114230050	\$38.86
114190025	\$88.08	114230006	\$38.86	114230051	\$38.86
114190026	\$88.08	114230007	\$38.86	114230052	\$67.36
114190027	\$88.08	114230008	\$38.86	114230053	\$67.36
114190028	\$88.08	114230009	\$38.86	114230054	\$38.86
114190031	\$88.08	114230010	\$67.36	114230055	\$38.86
114190033	\$98.44	114230011	\$38.86	114230056	\$38.86
114200001	\$11.46	114230012	\$38.86	114230057	\$38.86
114200002	\$13.66	114230013	\$38.86	114230058	\$38.86
114200003	\$11.46	114230014	\$38.86	114230059	\$38.86
114200004	\$29.70	114230015	\$38.86	114230060	\$38.86
114200005	\$28.60	114230016	\$38.86	114230061	\$67.36
114210001	\$178.74	114230017	\$38.86	114241001	\$67.36
114210002	\$70.66	114230018	\$38.86	114241002	\$38.86
114210003	\$36.76	114230019	\$38.86	114241003	\$38.86
114210004	\$12.56	114230020	\$67.36	114241004	\$38.86
114210005	\$11.46	114230021	\$38.86	114241005	\$38.86
114210006	\$11.46	114230022	\$38.86	114241006	\$49.22
114210007	\$28.60	114230023	\$38.86	114241007	\$38.86
114210010	\$108.80	114230024	\$38.86	114241008	\$38.86
114210011	\$108.80	114230025	\$38.86	114241009	\$38.86
114210012	\$108.80	114230026	\$38.86	114241010	\$38.86
114210014	\$29.98	114230027	\$38.86	114241011	\$38.86
114210015	\$33.28	114230028	\$67.36	114241012	\$38.86
114210016	\$34.38	114230030	\$67.36	114241013	\$38.86
114210017	\$33.28	114230031	\$38.86	114241014	\$38.86
114220001	\$12.56	114230032	\$38.86	114242001	\$38.86
114220002	\$12.56	114230033	\$38.86	114242002	\$38.86
114242003	\$38.86	114251010	\$38.86	114261009	\$38.86
114242004	\$38.86	114251011	\$38.86	114261010	\$38.86
114242005	\$38.86	114252001	\$38.86	114261011	\$38.86
114242006	\$38.86	114252002	\$38.86	114261012	\$38.86
114242007	\$38.86	114252003	\$49.22	114261013	\$38.86
114242008	\$38.86	114252004	\$59.58	114261015	\$38.86
114242009	\$38.86	114252005	\$38.86	114261016	\$38.86
114242010	\$67.36	114252006	\$38.86	114261017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114242011	\$38.86	114252007	\$38.86	114261018	\$38.86
114242012	\$38.86	114252008	\$38.86	114261019	\$38.86
114242013	\$38.86	114252009	\$38.86	114261020	\$38.86
114242014	\$38.86	114252010	\$38.86	114261021	\$38.86
114242015	\$38.86	114252011	\$38.86	114261022	\$38.86
114242016	\$38.86	114252012	\$38.86	114262001	\$38.86
114242017	\$67.36	114252013	\$38.86	114262002	\$38.86
114242018	\$38.86	114252017	\$176.16	114262003	\$38.86
114242019	\$38.86	114252018	\$176.16	114262004	\$38.86
114242020	\$67.36	114252019	\$148.38	114262005	\$38.86
114242021	\$38.86	114253001	\$38.86	114262006	\$38.86
114242022	\$38.86	114253002	\$38.86	114262007	\$38.86
114242023	\$38.86	114253003	\$38.86	114262008	\$38.86
114242024	\$38.86	114253004	\$67.36	114262009	\$38.86
114242025	\$38.86	114253005	\$38.86	114262010	\$77.72
114243001	\$38.86	114253006	\$38.86	114262011	\$67.36
114243002	\$38.86	114253007	\$38.86	114262012	\$38.86
114243003	\$38.86	114253008	\$38.86	114262013	\$38.86
114243004	\$38.86	114253009	\$38.86	114262014	\$38.86
114243005	\$38.86	114253010	\$67.36	114262015	\$38.86
114243006	\$38.86	114253011	\$49.22	114262016	\$38.86
114243007	\$38.86	114253012	\$49.22	114262017	\$38.86
114243008	\$38.86	114253013	\$77.72	114262018	\$38.86
114243009	\$38.86	114253014	\$38.86	114262019	\$38.86
114243011	\$176.16	114253015	\$38.86	114262020	\$38.86
114243012	\$147.28	114253016	\$38.86	114262021	\$67.36
114251001	\$38.86	114253017	\$38.86	114263001	\$67.36
114251002	\$38.86	114253018	\$67.36	114263002	\$38.86
114251003	\$38.86	114261002	\$38.86	114263003	\$38.86
114251004	\$38.86	114261003	\$38.86	114263004	\$38.86
114251005	\$38.86	114261004	\$38.86	114263005	\$38.86
114251006	\$38.86	114261005	\$38.86	114263006	\$38.86
114251007	\$38.86	114261006	\$38.86	114263007	\$38.86
114251008	\$38.86	114261007	\$38.86	114263008	\$38.86
114251009	\$38.86	114261008	\$38.86	114263009	\$38.86
114263010	\$38.86	114272021	\$49.22	114281025	\$14.06
114263011	\$38.86	114272022	\$49.22	114281031	\$14.06
114271001	\$38.86	114272023	\$38.86	114281032	\$14.06
114271003	\$67.36	114272024	\$38.86	114282001	\$14.06
114271004	\$67.36	114272025	\$38.86	114282002	\$14.06
114271005	\$38.86	114272026	\$38.86	114282003	\$14.06
114271006	\$67.36	114272027	\$38.86	114282004	\$14.06
114271007	\$67.36	114272028	\$38.86	114282005	\$14.06
114271008	\$67.36	114272029	\$67.36	114282006	\$14.06
114271009	\$67.36	114273001	\$67.36	114282007	\$14.06
114271010	\$38.86	114273002	\$38.86	114282008	\$14.06

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114271011	\$38.86	114273003	\$38.86	114291001	\$38.86
114271012	\$38.86	114273004	\$38.86	114291002	\$38.86
114271013	\$38.86	114273005	\$38.86	114291003	\$38.86
114271014	\$38.86	114273006	\$38.86	114291004	\$38.86
114271015	\$38.86	114273007	\$38.86	114291005	\$38.86
114271016	\$38.86	114273008	\$38.86	114291006	\$38.86
114271017	\$38.86	114273009	\$38.86	114291007	\$38.86
114271018	\$77.72	114273010	\$67.36	114291008	\$38.86
114271019	\$77.72	114281001	\$14.06	114291009	\$38.86
114271020	\$38.86	114281002	\$14.06	114291010	\$38.86
114271021	\$67.36	114281003	\$14.06	114291011	\$38.86
114271022	\$67.36	114281004	\$14.06	114292001	\$38.86
114272001	\$38.86	114281005	\$14.06	114292002	\$38.86
114272002	\$38.86	114281006	\$14.06	114292003	\$38.86
114272003	\$38.86	114281007	\$14.06	114292004	\$38.86
114272004	\$38.86	114281008	\$14.06	114292005	\$38.86
114272005	\$38.86	114281009	\$14.06	114292006	\$38.86
114272006	\$38.86	114281010	\$14.06	114292007	\$38.86
114272007	\$38.86	114281011	\$14.06	114292008	\$38.86
114272008	\$38.86	114281012	\$14.06	114292009	\$38.86
114272009	\$38.86	114281013	\$14.06	114292010	\$38.86
114272010	\$38.86	114281014	\$14.06	114292011	\$67.36
114272011	\$38.86	114281015	\$14.06	114292012	\$38.86
114272012	\$38.86	114281016	\$14.06	114292013	\$38.86
114272013	\$38.86	114281017	\$14.06	114292014	\$38.86
114272014	\$38.86	114281018	\$14.06	114292015	\$38.86
114272015	\$38.86	114281019	\$14.06	114292016	\$38.86
114272016	\$38.86	114281020	\$14.06	114292017	\$38.86
114272017	\$38.86	114281021	\$14.06	114292018	\$38.86
114272018	\$38.86	114281022	\$14.06	114292019	\$67.36
114272019	\$49.22	114281023	\$14.06	114292020	\$67.36
114272020	\$49.22	114281024	\$14.06	114292021	\$38.86
114292022	\$67.36	114301016	\$38.86	114303018	\$38.86
114293001	\$38.86	114301017	\$38.86	114303019	\$67.36
114293002	\$38.86	114301018	\$38.86	114303020	\$67.36
114293003	\$38.86	114301019	\$38.86	114303021	\$38.86
114293004	\$38.86	114301020	\$38.86	114303022	\$38.86
114293005	\$38.86	114301021	\$38.86	114303023	\$38.86
114293006	\$38.86	114301022	\$38.86	114303024	\$38.86
114293007	\$38.86	114301023	\$38.86	114303025	\$67.36
114293008	\$38.86	114301024	\$38.86	114303026	\$38.86
114293009	\$38.86	114301025	\$38.86	114303027	\$38.86
114293010	\$38.86	114301026	\$38.86	114303028	\$38.86
114293011	\$38.86	114301027	\$38.86	114303029	\$38.86
114293012	\$38.86	114301028	\$49.22	114303030	\$38.86
114293013	\$38.86	114301029	\$38.86	114303031	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114293014	\$38.86	114301030	\$38.86	114303032	\$67.36
114293015	\$38.86	114301031	\$38.86	114311001	\$14.06
114293016	\$38.86	114301032	\$38.86	114311002	\$14.06
114293017	\$38.86	114301033	\$38.86	114311003	\$14.06
114293018	\$38.86	114301034	\$38.86	114311004	\$14.06
114293019	\$38.86	114301035	\$49.22	114311005	\$14.06
114293020	\$38.86	114301036	\$49.22	114311006	\$14.06
114293021	\$38.86	114301037	\$38.86	114311007	\$14.06
114293022	\$38.86	114301038	\$67.36	114311008	\$14.06
114293023	\$38.86	114302001	\$38.86	114311009	\$14.06
114293024	\$67.36	114302002	\$38.86	114311010	\$14.06
114293025	\$67.36	114302003	\$38.86	114311011	\$14.06
114293026	\$38.86	114303001	\$67.36	114311012	\$14.06
114293027	\$38.86	114303002	\$38.86	114311013	\$14.06
114301001	\$38.86	114303003	\$38.86	114311015	\$14.06
114301002	\$38.86	114303004	\$38.86	114311016	\$14.06
114301003	\$49.22	114303005	\$38.86	114311017	\$14.06
114301004	\$38.86	114303006	\$38.86	114311018	\$14.06
114301005	\$38.86	114303007	\$38.86	114311019	\$14.06
114301006	\$38.86	114303008	\$38.86	114311020	\$14.06
114301007	\$38.86	114303009	\$38.86	114311021	\$14.06
114301008	\$38.86	114303010	\$38.86	114311022	\$14.06
114301009	\$38.86	114303011	\$38.86	114311023	\$14.06
114301010	\$38.86	114303012	\$38.86	114311024	\$14.06
114301011	\$38.86	114303013	\$67.36	114311025	\$14.06
114301012	\$38.86	114303014	\$38.86	114311027	\$14.06
114301013	\$38.86	114303015	\$67.36	114311028	\$14.06
114301014	\$38.86	114303016	\$38.86	114311029	\$14.06
114301015	\$38.86	114303017	\$38.86	114311030	\$14.06
114311031	\$14.06	114321006	\$38.86	114322020	\$38.86
114311032	\$14.06	114321007	\$38.86	114322021	\$38.86
114311033	\$14.06	114321008	\$38.86	114322022	\$38.86
114311034	\$14.06	114321009	\$38.86	114323001	\$38.86
114311036	\$14.06	114321010	\$38.86	114323002	\$38.86
114311037	\$14.06	114321011	\$38.86	114323003	\$38.86
114311038	\$14.06	114321012	\$38.86	114323004	\$38.86
114311039	\$14.06	114321013	\$38.86	114323005	\$38.86
114311040	\$14.06	114321014	\$38.86	114323006	\$38.86
114311041	\$14.06	114321015	\$38.86	114323007	\$38.86
114311042	\$14.06	114321016	\$38.86	114323008	\$38.86
114311043	\$14.06	114321017	\$38.86	114323009	\$38.86
114311044	\$14.06	114321018	\$38.86	114323010	\$38.86
114311045	\$14.06	114321019	\$38.86	114323011	\$38.86
114311046	\$14.06	114321020	\$38.86	114323012	\$38.86
114311048	\$14.06	114321021	\$38.86	114323013	\$38.86
114311049	\$14.06	114321022	\$38.86	114323014	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114311050	\$14.06	114321023	\$38.86	114323015	\$38.86
114311051	\$14.06	114321024	\$38.86	114323016	\$38.86
114311052	\$14.06	114321025	\$38.86	114323017	\$38.86
114311053	\$14.06	114321026	\$38.86	114331001	\$38.86
114311054	\$14.06	114321027	\$38.86	114331002	\$38.86
114311055	\$14.06	114321028	\$67.36	114331003	\$38.86
114311056	\$14.06	114321029	\$38.86	114331004	\$38.86
114311057	\$14.06	114322001	\$38.86	114331005	\$38.86
114311058	\$14.06	114322002	\$38.86	114331006	\$38.86
114311059	\$14.06	114322003	\$38.86	114331007	\$67.36
114311060	\$14.06	114322004	\$38.86	114331008	\$38.86
114311061	\$14.06	114322005	\$38.86	114331009	\$38.86
114311062	\$14.06	114322006	\$38.86	114331010	\$38.86
114311064	\$14.06	114322007	\$38.86	114331011	\$67.36
114311065	\$14.06	114322008	\$38.86	114331012	\$67.36
114311066	\$14.06	114322009	\$38.86	114331013	\$38.86
114311067	\$14.06	114322010	\$38.86	114331014	\$67.36
114311068	\$14.06	114322011	\$38.86	114331015	\$38.86
114311069	\$14.06	114322012	\$38.86	114331017	\$38.86
114311070	\$14.06	114322013	\$38.86	114331018	\$38.86
114311071	\$14.06	114322014	\$38.86	114331019	\$38.86
114311072	\$14.06	114322015	\$38.86	114331020	\$38.86
114311073	\$14.06	114322016	\$38.86	114332001	\$38.86
114321001	\$67.36	114322017	\$38.86	114332002	\$38.86
114321002	\$38.86	114322018	\$38.86	114332003	\$38.86
114321005	\$38.86	114322019	\$38.86	114332004	\$38.86
114332005	\$38.86	114340027	\$137.30	114350041	\$67.36
114332006	\$38.86	114340028	\$137.30	114350042	\$38.86
114332007	\$38.86	114340029	\$137.30	114350043	\$38.86
114332008	\$38.86	114350001	\$38.86	114350044	\$38.86
114332009	\$38.86	114350002	\$38.86	114350045	\$38.86
114332010	\$38.86	114350003	\$38.86	114361001	\$67.36
114332011	\$38.86	114350004	\$38.86	114361002	\$38.86
114332012	\$38.86	114350005	\$38.86	114361003	\$38.86
114332013	\$38.86	114350006	\$38.86	114361004	\$38.86
114332014	\$38.86	114350007	\$38.86	114361005	\$38.86
114332015	\$38.86	114350008	\$38.86	114361006	\$38.86
114332016	\$38.86	114350009	\$38.86	114361007	\$38.86
114332017	\$38.86	114350010	\$38.86	114361008	\$38.86
114332018	\$67.36	114350011	\$49.22	114361009	\$38.86
114332019	\$67.36	114350012	\$38.86	114361010	\$38.86
114332020	\$67.36	114350013	\$38.86	114361011	\$38.86
114332021	\$67.36	114350014	\$38.86	114361012	\$38.86
114332022	\$38.86	114350015	\$38.86	114361013	\$38.86
114332023	\$67.36	114350016	\$38.86	114361014	\$38.86
114340001	\$38.86	114350017	\$38.86	114361015	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114340002	\$67.36	114350018	\$38.86	114361016	\$38.86
114340003	\$38.86	114350019	\$38.86	114361017	\$38.86
114340004	\$38.86	114350020	\$38.86	114361018	\$38.86
114340005	\$38.86	114350021	\$67.36	114361019	\$38.86
114340006	\$38.86	114350022	\$67.36	114361020	\$49.22
114340007	\$38.86	114350023	\$67.36	114361023	\$49.22
114340008	\$67.36	114350024	\$38.86	114361024	\$38.86
114340009	\$67.36	114350025	\$38.86	114361025	\$38.86
114340010	\$38.86	114350026	\$38.86	114361026	\$38.86
114340011	\$38.86	114350027	\$38.86	114362001	\$77.72
114340012	\$38.86	114350028	\$67.36	114362002	\$38.86
114340013	\$67.36	114350029	\$67.36	114362003	\$38.86
114340014	\$67.36	114350030	\$67.36	114362004	\$38.86
114340015	\$77.72	114350031	\$38.86	114362005	\$38.86
114340016	\$77.72	114350032	\$38.86	114362006	\$38.86
114340017	\$38.86	114350033	\$38.86	114362007	\$38.86
114340018	\$38.86	114350034	\$38.86	114362008	\$38.86
114340019	\$38.86	114350035	\$38.86	114362009	\$38.86
114340020	\$38.86	114350036	\$38.86	114362010	\$38.86
114340021	\$38.86	114350037	\$38.86	114362011	\$38.86
114340022	\$38.86	114350038	\$38.86	114362012	\$38.86
114340025	\$137.30	114350039	\$38.86	114362013	\$38.86
114340026	\$137.30	114350040	\$38.86	114362014	\$38.86
114362015	\$38.86	114381010	\$15.48	114382028	\$15.48
114362016	\$38.86	114381011	\$15.48	114382029	\$15.48
114362017	\$38.86	114381012	\$15.48	114382030	\$15.48
114362018	\$38.86	114381013	\$15.48	114382031	\$15.48
114371001	\$38.86	114381014	\$15.48	114382033	\$15.48
114371002	\$38.86	114381015	\$15.48	114382034	\$15.48
114371003	\$38.86	114381016	\$15.48	114382035	\$15.48
114371004	\$38.86	114381018	\$15.48	114382036	\$15.48
114371005	\$38.86	114381019	\$15.48	114382038	\$15.48
114371006	\$38.86	114381020	\$15.48	114382039	\$15.48
114371007	\$38.86	114381021	\$15.48	114382040	\$15.48
114371008	\$38.86	114381023	\$15.48	114382041	\$15.48
114371009	\$38.86	114381024	\$15.48	114382042	\$15.48
114371010	\$38.86	114381025	\$15.48	114382043	\$15.48
114371011	\$38.86	114381026	\$15.48	114382045	\$15.48
114371012	\$38.86	114381027	\$15.48	114382046	\$15.48
114371013	\$38.86	114381028	\$15.48	114382047	\$15.48
114371014	\$38.86	114381029	\$15.48	114382048	\$15.48
114371015	\$38.86	114381030	\$15.48	114382049	\$15.48
114371016	\$38.86	114382001	\$15.48	114382050	\$15.48
114371017	\$38.86	114382002	\$15.48	114382052	\$15.48
114371018	\$38.86	114382003	\$15.48	114382053	\$15.48
114371019	\$38.86	114382004	\$15.48	114382054	\$15.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114371020	\$38.86	114382005	\$15.48	114382055	\$15.48
114371021	\$38.86	114382006	\$15.48	114382056	\$15.48
114371022	\$67.36	114382007	\$15.48	114382057	\$15.48
114372001	\$67.36	114382008	\$15.48	114382059	\$15.48
114372002	\$38.86	114382010	\$15.48	114382060	\$15.48
114372003	\$38.86	114382011	\$15.48	114382061	\$15.48
114372004	\$38.86	114382012	\$15.48	114382062	\$15.48
114372005	\$38.86	114382013	\$15.48	114382064	\$15.48
114372006	\$38.86	114382014	\$15.48	114382065	\$15.48
114372007	\$38.86	114382015	\$15.48	114382067	\$15.48
114372008	\$38.86	114382016	\$15.48	114382068	\$15.48
114372009	\$38.86	114382017	\$15.48	114390001	\$137.30
114381001	\$15.48	114382018	\$15.48	114390002	\$137.30
114381002	\$15.48	114382020	\$15.48	114390003	\$137.30
114381003	\$15.48	114382021	\$15.48	114390004	\$137.30
114381004	\$15.48	114382022	\$15.48	114390005	\$147.66
114381005	\$15.48	114382023	\$15.48	114390006	\$147.66
114381006	\$15.48	114382024	\$15.48	114390007	\$147.66
114381008	\$15.48	114382026	\$15.48	114401001	\$15.48
114381009	\$15.48	114382027	\$15.48	114401002	\$15.48
114401003	\$15.48	114410010	\$67.36	114410053	\$38.86
114401004	\$15.48	114410011	\$38.86	114410054	\$38.86
114401005	\$15.48	114410012	\$38.86	114410055	\$38.86
114401006	\$15.48	114410013	\$38.86	114410056	\$38.86
114401007	\$15.48	114410014	\$38.86	114410057	\$67.36
114401008	\$15.48	114410015	\$38.86	114421001	\$77.72
114401009	\$15.48	114410016	\$38.86	114421002	\$38.86
114401010	\$15.48	114410017	\$67.36	114421003	\$38.86
114401012	\$15.48	114410018	\$38.86	114421004	\$38.86
114401013	\$15.48	114410019	\$38.86	114421005	\$38.86
114401014	\$15.48	114410020	\$38.86	114421006	\$38.86
114401015	\$15.48	114410021	\$38.86	114421007	\$38.86
114401016	\$15.48	114410022	\$38.86	114421008	\$38.86
114401018	\$15.48	114410023	\$38.86	114421009	\$38.86
114401019	\$15.48	114410024	\$38.86	114421010	\$38.86
114401020	\$15.48	114410025	\$67.36	114421011	\$38.86
114401021	\$15.48	114410026	\$67.36	114421012	\$49.22
114401022	\$15.48	114410027	\$38.86	114421013	\$38.86
114401023	\$15.48	114410028	\$38.86	114421014	\$38.86
114401024	\$15.48	114410029	\$38.86	114421015	\$38.86
114401026	\$15.48	114410030	\$38.86	114421016	\$38.86
114401027	\$15.48	114410031	\$38.86	114421017	\$38.86
114401028	\$15.48	114410032	\$38.86	114421018	\$38.86
114401030	\$15.48	114410033	\$38.86	114421019	\$38.86
114401031	\$15.48	114410034	\$38.86	114421020	\$38.86
114401032	\$15.48	114410035	\$38.86	114421021	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114401033	\$15.48	114410036	\$38.86	114421022	\$67.36
114401035	\$15.48	114410037	\$67.36	114422001	\$77.72
114401036	\$15.48	114410038	\$38.86	114422002	\$38.86
114401037	\$15.48	114410039	\$38.86	114422003	\$38.86
114401038	\$15.48	114410040	\$38.86	114422004	\$38.86
114401039	\$15.48	114410041	\$77.72	114422005	\$38.86
114401040	\$15.48	114410042	\$49.22	114422006	\$38.86
114401041	\$15.48	114410043	\$38.86	114422007	\$38.86
114410001	\$38.86	114410044	\$38.86	114422008	\$77.72
114410002	\$38.86	114410045	\$38.86	114422009	\$77.72
114410003	\$38.86	114410046	\$38.86	114422010	\$38.86
114410004	\$38.86	114410047	\$38.86	114422011	\$38.86
114410005	\$49.22	114410048	\$38.86	114422012	\$38.86
114410006	\$77.72	114410049	\$38.86	114422013	\$38.86
114410007	\$67.36	114410050	\$38.86	114422014	\$77.72
114410008	\$38.86	114410051	\$67.36	114423001	\$77.72
114410009	\$38.86	114410052	\$38.86	114423002	\$38.86
114423003	\$38.86	114432008	\$38.86	114442010	\$38.86
114423004	\$38.86	114432009	\$38.86	114442011	\$38.86
114423005	\$38.86	114432010	\$38.86	114442012	\$38.86
114423006	\$38.86	114432011	\$38.86	114442013	\$38.86
114423007	\$38.86	114432012	\$38.86	114442014	\$38.86
114423008	\$38.86	114432013	\$38.86	114442015	\$38.86
114423009	\$38.86	114432014	\$38.86	114442016	\$38.86
114423010	\$38.86	114432015	\$38.86	114442017	\$38.86
114423011	\$49.22	114432016	\$38.86	114442018	\$38.86
114423012	\$49.22	114432017	\$38.86	114443001	\$38.86
114423013	\$49.22	114432018	\$38.86	114443002	\$38.86
114423014	\$38.86	114432019	\$38.86	114443003	\$38.86
114423015	\$49.22	114432020	\$38.86	114443004	\$38.86
114423018	\$77.72	114432021	\$38.86	114443005	\$49.22
114423019	\$106.22	114432022	\$38.86	114443006	\$49.22
114423020	\$88.08	114432023	\$38.86	114443007	\$49.22
114423021	\$88.08	114432024	\$38.86	114443008	\$38.86
114423022	\$88.08	114432026	\$59.58	114443009	\$38.86
114423023	\$88.08	114432027	\$88.08	114443010	\$38.86
114423024	\$88.08	114432028	\$88.08	114443011	\$38.86
114431001	\$38.86	114432029	\$88.08	114443015	\$77.72
114431002	\$38.86	114432030	\$59.58	114443016	\$77.72
114431003	\$38.86	114432032	\$38.86	114443017	\$77.72
114431004	\$38.86	114441001	\$38.86	114443018	\$77.72
114431005	\$38.86	114441002	\$38.86	114451001	\$67.36
114431006	\$49.22	114441003	\$38.86	114451002	\$38.86
114431007	\$49.22	114441004	\$49.22	114451003	\$38.86
114431008	\$38.86	114441005	\$59.58	114451004	\$67.36
114431009	\$38.86	114441006	\$38.86	114451005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114431010	\$38.86	114441007	\$38.86	114451006	\$38.86
114431011	\$38.86	114441008	\$38.86	114451007	\$67.36
114431012	\$38.86	114441009	\$38.86	114451008	\$38.86
114431013	\$38.86	114441010	\$38.86	114452001	\$67.36
114431014	\$38.86	114441011	\$38.86	114452002	\$38.86
114431015	\$38.86	114442001	\$38.86	114452003	\$38.86
114431016	\$38.86	114442002	\$38.86	114452004	\$38.86
114431017	\$77.72	114442003	\$38.86	114452005	\$38.86
114432002	\$38.86	114442004	\$38.86	114452006	\$38.86
114432003	\$38.86	114442005	\$38.86	114452007	\$38.86
114432004	\$38.86	114442006	\$38.86	114452008	\$38.86
114432005	\$38.86	114442007	\$38.86	114452009	\$38.86
114432006	\$38.86	114442008	\$38.86	114452010	\$38.86
114432007	\$38.86	114442009	\$38.86	114452011	\$38.86
114452012	\$38.86	114461002	\$38.86	114464005	\$38.86
114452013	\$38.86	114461003	\$38.86	114464006	\$67.36
114452014	\$38.86	114461004	\$38.86	114465001	\$67.36
114452015	\$38.86	114461005	\$38.86	114465002	\$67.36
114452016	\$38.86	114461006	\$38.86	114465003	\$38.86
114452017	\$38.86	114462001	\$38.86	114465004	\$67.36
114452018	\$38.86	114462002	\$38.86	114466001	\$77.72
114452019	\$38.86	114462003	\$38.86	114466002	\$77.72
114452020	\$38.86	114462004	\$38.86	114466003	\$67.36
114452021	\$38.86	114462005	\$38.86	114466004	\$67.36
114452022	\$38.86	114462006	\$38.86	114466005	\$67.36
114452023	\$38.86	114462007	\$67.36	114466006	\$67.36
114452024	\$38.86	114462008	\$38.86	114466007	\$67.36
114452025	\$38.86	114462009	\$38.86	114466008	\$67.36
114452026	\$67.36	114462010	\$38.86	114466009	\$67.36
114453001	\$77.72	114462011	\$38.86	114466010	\$119.16
114453002	\$38.86	114462012	\$38.86	114466011	\$119.16
114453003	\$49.22	114463001	\$67.36	114471001	\$49.22
114453004	\$49.22	114463002	\$38.86	114471002	\$49.22
114453005	\$49.22	114463004	\$38.86	114471003	\$49.22
114453006	\$38.86	114463005	\$38.86	114471004	\$49.22
114453007	\$38.86	114463006	\$88.08	114471005	\$38.86
114453008	\$77.72	114463007	\$38.86	114471006	\$38.86
114453009	\$49.22	114463008	\$38.86	114471007	\$38.86
114453010	\$49.22	114463009	\$38.86	114471008	\$38.86
114453011	\$77.72	114463010	\$67.36	114471009	\$38.86
114453012	\$49.22	114463011	\$67.36	114471010	\$38.86
114453013	\$49.22	114463012	\$38.86	114471011	\$77.72
114453014	\$49.22	114463013	\$67.36	114471012	\$38.86
114453015	\$49.22	114463014	\$67.36	114471013	\$38.86
114453016	\$38.86	114463015	\$67.36	114471014	\$38.86
114453017	\$38.86	114463016	\$67.36	114471015	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114453018	\$38.86	114463017	\$67.36	114471016	\$38.86
114453019	\$38.86	114463018	\$38.86	114471017	\$67.36
114453020	\$38.86	114463019	\$38.86	114471018	\$38.86
114453023	\$38.86	114463020	\$38.86	114471019	\$38.86
114453024	\$38.86	114463021	\$38.86	114471020	\$38.86
114453025	\$77.72	114463022	\$38.86	114471021	\$38.86
114453026	\$77.72	114463023	\$38.86	114471022	\$38.86
114453027	\$67.36	114464001	\$67.36	114471023	\$38.86
114453028	\$38.86	114464002	\$67.36	114471024	\$38.86
114453029	\$67.36	114464003	\$67.36	114471025	\$38.86
114461001	\$38.86	114464004	\$38.86	114471026	\$67.36
114471027	\$38.86	114481010	\$17.76	114481060	\$17.76
114471028	\$67.36	114481011	\$17.76	114481061	\$17.76
114472001	\$49.22	114481012	\$17.76	114481063	\$17.76
114472002	\$49.22	114481013	\$17.76	114481064	\$17.76
114472003	\$49.22	114481014	\$17.76	114481065	\$17.76
114472004	\$49.22	114481015	\$17.76	114481066	\$17.76
114472005	\$49.22	114481016	\$17.76	114481067	\$17.76
114472006	\$49.22	114481018	\$17.76	114481068	\$17.76
114472007	\$49.22	114481019	\$17.76	114481069	\$17.76
114472008	\$49.22	114481020	\$17.76	114481071	\$17.76
114472009	\$49.22	114481021	\$17.76	114481072	\$17.76
114472010	\$49.22	114481022	\$17.76	114481073	\$17.76
114472011	\$38.86	114481023	\$17.76	114481074	\$17.76
114472012	\$67.36	114481024	\$17.76	114481075	\$17.76
114472013	\$38.86	114481025	\$17.76	114481076	\$17.76
114472014	\$38.86	114481026	\$17.76	114481077	\$17.76
114472015	\$38.86	114481027	\$17.76	114481078	\$17.76
114472016	\$38.86	114481028	\$17.76	114481079	\$17.76
114472017	\$38.86	114481030	\$17.76	114481080	\$17.76
114472018	\$38.86	114481031	\$17.76	114481082	\$17.76
114472019	\$38.86	114481033	\$17.76	114481083	\$17.76
114472020	\$38.86	114481034	\$17.76	114481084	\$17.76
114472021	\$38.86	114481035	\$17.76	114481085	\$17.76
114472022	\$38.86	114481036	\$17.76	114481086	\$17.76
114472023	\$38.86	114481037	\$17.76	114481087	\$17.76
114472024	\$38.86	114481039	\$17.76	114481088	\$17.76
114473001	\$67.36	114481040	\$17.76	114481090	\$17.76
114473002	\$38.86	114481041	\$17.76	114481091	\$17.76
114473003	\$38.86	114481042	\$17.76	114481092	\$17.76
114473004	\$38.86	114481044	\$17.76	114481093	\$17.76
114473005	\$38.86	114481045	\$17.76	114481094	\$17.76
114473006	\$38.86	114481046	\$17.76	114481095	\$17.76
114473007	\$38.86	114481047	\$17.76	114481096	\$17.76
114473008	\$38.86	114481048	\$17.76	114481097	\$17.76
114473009	\$67.36	114481049	\$17.76	114481098	\$17.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114481001	\$17.76	114481051	\$17.76	114491001	\$17.76
114481002	\$17.76	114481052	\$17.76	114491002	\$17.76
114481003	\$17.76	114481053	\$17.76	114491003	\$17.76
114481004	\$17.76	114481054	\$17.76	114491004	\$17.76
114481005	\$17.76	114481055	\$17.76	114491005	\$17.76
114481006	\$17.76	114481057	\$17.76	114491007	\$17.76
114481008	\$17.76	114481058	\$17.76	114491008	\$17.76
114481009	\$17.76	114481059	\$17.76	114491009	\$17.76
114491010	\$17.76	114500098	\$10.36	114521002	\$38.56
114491011	\$17.76	114511001	\$21.18	114521003	\$38.56
114491013	\$17.76	114511002	\$21.18	114521004	\$38.56
114491014	\$17.76	114511003	\$21.18	114521005	\$38.56
114491015	\$17.76	114511004	\$10.36	114521006	\$38.56
114491017	\$17.76	114511005	\$21.18	114521007	\$38.56
114491018	\$17.76	114511006	\$21.18	114521008	\$38.56
114491019	\$17.76	114511007	\$21.18	114521009	\$38.56
114491021	\$17.76	114511008	\$21.18	114521010	\$38.56
114491022	\$17.76	114511009	\$10.36	114521012	\$38.56
114491023	\$17.76	114511010	\$21.18	114521013	\$38.56
114491024	\$17.76	114511012	\$10.36	114521014	\$38.56
114491025	\$17.76	114511013	\$10.36	114521015	\$38.56
114491026	\$17.76	114511014	\$10.36	114521016	\$38.56
114491027	\$17.76	114511015	\$10.36	114521018	\$38.56
114491028	\$17.76	114511016	\$10.36	114521019	\$38.56
114491029	\$17.76	114511017	\$11.50	114521021	\$38.56
114491031	\$17.76	114511018	\$10.36	114521022	\$38.56
114491032	\$17.76	114511019	\$21.18	114521024	\$38.56
114491033	\$17.76	114511021	\$10.36	114521025	\$38.56
114491035	\$17.76	114511022	\$10.36	114521026	\$38.56
114491036	\$17.76	114511023	\$10.36	114521027	\$38.56
114491037	\$17.76	114511024	\$10.36	114521028	\$38.56
114491039	\$17.76	114511026	\$10.36	114521029	\$38.56
114491040	\$17.76	114511027	\$10.36	114521030	\$38.56
114491041	\$17.76	114511028	\$10.36	114521031	\$38.56
114491042	\$17.76	114511029	\$10.36	114521033	\$38.56
114491044	\$17.76	114511030	\$10.36	114521034	\$38.56
114491045	\$17.76	114511031	\$10.36	114521035	\$38.56
114491046	\$17.76	114511032	\$10.36	114521036	\$38.56
114491047	\$17.76	114511033	\$10.36	114521037	\$38.56
114491048	\$17.76	114511035	\$21.18	114521038	\$38.56
114491050	\$17.76	114511036	\$10.36	114521039	\$38.56
114491051	\$17.76	114511037	\$21.18	114521040	\$38.56
114491052	\$17.76	114511038	\$21.18	114521041	\$38.56
114491053	\$17.76	114511039	\$21.18	114521043	\$38.56
114491054	\$17.76	114511040	\$10.36	114521044	\$38.56
114491055	\$17.76	114511042	\$38.86	114521045	\$38.56

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114491056	\$10.36	114511043	\$38.86	114521046	\$38.56
114491057	\$10.36	114511044	\$38.86	114521047	\$38.56
114491058	\$17.76	114511045	\$38.86	114521048	\$38.56
114491059	\$17.76	114511046	\$38.86	114521049	\$38.56
114491060	\$17.76	114521001	\$38.56	114521050	\$38.56
114521051	\$38.56	114531017	\$17.48	114531071	\$17.48
114521052	\$38.56	114531018	\$17.48	114531072	\$17.48
114521054	\$38.56	114531020	\$17.48	114531073	\$17.48
114521055	\$38.56	114531021	\$17.48	114531074	\$17.48
114521056	\$38.56	114531022	\$17.48	114531075	\$17.48
114521057	\$38.56	114531024	\$17.48	114531076	\$17.48
114521058	\$38.56	114531025	\$17.48	114531078	\$17.48
114521059	\$38.56	114531026	\$17.48	114531079	\$17.48
114521060	\$38.56	114531027	\$17.48	114531080	\$17.48
114521061	\$38.56	114531028	\$17.48	114531081	\$17.48
114521063	\$38.56	114531030	\$17.48	114531083	\$38.86
114521064	\$38.56	114531031	\$17.48	114531085	\$38.86
114521065	\$38.56	114531032	\$17.48	114531086	\$38.86
114521066	\$38.56	114531033	\$17.48	114531087	\$38.86
114521067	\$38.56	114531034	\$17.48	114531089	\$38.86
114521068	\$38.56	114531036	\$17.48	114531090	\$38.86
114521069	\$38.56	114531037	\$17.48	114531091	\$38.86
114521070	\$38.56	114531039	\$17.48	114531092	\$38.86
114521072	\$38.56	114531040	\$17.48	114532001	\$38.86
114521073	\$38.56	114531041	\$17.48	114532002	\$38.86
114521074	\$38.56	114531042	\$17.48	114532003	\$38.86
114521075	\$38.56	114531043	\$17.48	114532004	\$38.86
114521076	\$38.56	114531044	\$17.48	114532005	\$38.86
114521077	\$38.56	114531046	\$17.48	114532006	\$38.86
114521078	\$38.56	114531047	\$17.48	114532007	\$38.86
114521080	\$38.56	114531049	\$17.48	114532008	\$38.86
114521081	\$38.56	114531050	\$17.48	114532009	\$38.86
114521082	\$38.56	114531051	\$17.48	114532010	\$38.86
114521083	\$38.56	114531053	\$10.36	114532011	\$38.86
114531001	\$17.48	114531055	\$17.48	114532012	\$38.86
114531002	\$17.48	114531056	\$17.48	114532013	\$38.86
114531003	\$17.48	114531057	\$17.48	114532014	\$38.86
114531004	\$17.48	114531058	\$17.48	114532015	\$38.86
114531005	\$17.48	114531059	\$17.48	114532016	\$38.86
114531006	\$17.48	114531060	\$17.48	114532017	\$38.86
114531008	\$17.48	114531061	\$17.48	114532018	\$38.86
114531009	\$17.48	114531063	\$17.48	114532020	\$38.86
114531010	\$17.48	114531064	\$17.48	114532021	\$38.86
114531011	\$17.48	114531065	\$17.48	114532022	\$38.86
114531012	\$17.48	114531066	\$17.48	114532023	\$38.86
114531013	\$17.48	114531067	\$17.48	114532024	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114531015	\$17.48	114531068	\$17.48	114532025	\$38.86
114531016	\$17.48	114531069	\$17.48	114532026	\$38.86
114532027	\$38.86	114541035	\$10.36	114551038	\$35.44
114532028	\$38.86	114541036	\$10.36	114551039	\$35.44
114532029	\$38.86	114541037	\$10.36	114551040	\$35.44
114532030	\$38.86	114541038	\$10.36	114551041	\$35.44
114532031	\$38.86	114541039	\$10.36	114560007	\$90.66
114532032	\$38.86	114541040	\$10.36	114560008	\$116.58
114532033	\$38.86	114541042	\$10.36	114560009	\$108.80
114532034	\$38.86	114541043	\$10.36	114560010	\$80.30
114532035	\$38.86	114541044	\$10.36	114560020	\$95.86
114532036	\$38.86	114541045	\$10.36	114560021	\$38.86
114532037	\$38.86	114541046	\$10.36	114571001	\$10.36
114532038	\$38.86	114551001	\$35.44	114571002	\$10.36
114532039	\$38.86	114551002	\$35.44	114571003	\$10.36
114532041	\$38.86	114551003	\$35.44	114571005	\$10.36
114532042	\$38.86	114551005	\$35.44	114571006	\$10.36
114541001	\$10.36	114551006	\$35.44	114571007	\$10.36
114541002	\$10.36	114551007	\$35.44	114571008	\$10.36
114541003	\$10.36	114551008	\$35.44	114571010	\$10.36
114541004	\$10.36	114551010	\$35.44	114571011	\$10.36
114541005	\$10.36	114551011	\$35.44	114571012	\$10.36
114541007	\$10.36	114551012	\$35.44	114571014	\$10.36
114541008	\$10.36	114551013	\$35.44	114571016	\$10.36
114541009	\$10.36	114551014	\$35.44	114571017	\$10.36
114541010	\$10.36	114551015	\$35.44	114571018	\$10.36
114541011	\$10.36	114551017	\$35.44	114571020	\$10.36
114541013	\$10.36	114551018	\$35.44	114571021	\$10.36
114541014	\$10.36	114551019	\$35.44	114571023	\$10.36
114541015	\$10.36	114551020	\$35.44	114571024	\$10.36
114541016	\$10.36	114551021	\$35.44	114571025	\$10.36
114541017	\$10.36	114551022	\$35.44	114571026	\$10.36
114541019	\$10.36	114551023	\$35.44	114571027	\$10.36
114541020	\$10.36	114551025	\$35.44	114571028	\$10.36
114541021	\$10.36	114551026	\$35.44	114571029	\$10.36
114541022	\$10.36	114551027	\$35.44	114571030	\$10.36
114541023	\$10.36	114551028	\$35.44	114571031	\$10.36
114541024	\$10.36	114551029	\$35.44	114571032	\$10.36
114541026	\$10.36	114551030	\$35.44	114571034	\$10.36
114541027	\$10.36	114551031	\$35.44	114571035	\$10.36
114541029	\$10.36	114551032	\$35.44	114571037	\$10.36
114541030	\$10.36	114551033	\$35.44	114571039	\$10.36
114541031	\$10.36	114551035	\$35.44	114571040	\$10.36
114541032	\$10.36	114551036	\$35.44	114571041	\$10.36
114541034	\$10.36	114551037	\$35.44	114571042	\$10.36
114571043	\$10.36	114572007	\$10.36	114581020	\$22.04



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114571045	\$10.36	114572009	\$10.36	114581021	\$22.04
114571046	\$10.36	114572010	\$10.36	114581023	\$22.04
114571047	\$10.36	114572011	\$10.36	114581024	\$22.04
114571048	\$10.36	114572012	\$10.36	114581025	\$22.04
114571049	\$10.36	114572014	\$10.36	114581026	\$22.04
114571050	\$10.36	114572015	\$10.36	114581027	\$22.04
114571051	\$10.36	114572016	\$10.36	114581028	\$22.04
114571052	\$10.36	114572017	\$10.36	114581029	\$22.04
114571054	\$10.36	114572018	\$10.36	114581031	\$22.04
114571055	\$10.36	114572020	\$10.36	114581032	\$22.04
114571056	\$10.36	114572021	\$10.36	114581033	\$22.04
114571057	\$10.36	114572022	\$10.36	114581034	\$22.04
114571059	\$10.36	114572023	\$10.36	114581035	\$22.04
114571060	\$10.36	114572025	\$10.36	114581036	\$22.04
114571062	\$10.36	114572026	\$10.36	114581037	\$22.04
114571063	\$10.36	114572027	\$10.36	114581039	\$22.04
114571064	\$10.36	114572028	\$10.36	114581040	\$22.04
114571065	\$10.36	114572029	\$10.36	114581041	\$22.04
114571066	\$10.36	114572030	\$10.36	114581042	\$22.04
114571067	\$10.36	114572031	\$10.36	114581044	\$22.04
114571068	\$10.36	114572033	\$10.36	114581045	\$22.04
114571069	\$10.36	114572034	\$10.36	114581046	\$22.04
114571070	\$10.36	114572036	\$10.36	114581047	\$22.04
114571072	\$10.36	114572037	\$10.36	114581048	\$22.04
114571073	\$10.36	114572038	\$10.36	114581049	\$22.04
114571074	\$10.36	114581001	\$22.04	114581050	\$22.04
114571075	\$10.36	114581002	\$22.04	114581052	\$22.04
114571076	\$10.36	114581003	\$22.04	114581053	\$22.04
114571077	\$10.36	114581004	\$22.04	114581054	\$22.04
114571079	\$10.36	114581005	\$22.04	114581055	\$22.04
114571081	\$10.36	114581006	\$22.04	114581057	\$22.04
114571082	\$10.36	114581007	\$22.04	114581058	\$22.04
114571083	\$10.36	114581008	\$22.04	114581059	\$22.04
114571084	\$10.36	114581010	\$22.04	114581060	\$22.04
114571085	\$10.36	114581011	\$22.04	114581062	\$22.04
114571086	\$10.36	114581012	\$22.04	114581063	\$22.04
114572001	\$10.36	114581013	\$22.04	114581064	\$22.04
114572002	\$10.36	114581014	\$22.04	114581065	\$22.04
114572003	\$10.36	114581015	\$22.04	114581066	\$22.04
114572004	\$10.36	114581016	\$22.04	114581067	\$22.04
114572005	\$10.36	114581017	\$22.04	114581068	\$22.04
114572006	\$10.36	114581019	\$22.04	114581070	\$22.04
114581071	\$22.04	114591037	\$204.66	114603002	\$67.36
114581072	\$22.04	114592001	\$67.36	114603003	\$38.86
114581073	\$22.04	114592002	\$38.86	114603004	\$38.86
114581074	\$22.04	114592003	\$38.86	114603005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114581075	\$22.04	114592004	\$67.36	114603006	\$38.86
114581076	\$22.04	114592005	\$38.86	114603007	\$49.22
114581077	\$22.04	114592006	\$38.86	114603008	\$49.22
114581078	\$10.36	114592007	\$49.22	114603009	\$38.86
114581079	\$22.04	114592008	\$49.22	114603010	\$38.86
114591001	\$95.86	114592009	\$49.22	114603011	\$38.86
114591002	\$38.86	114592010	\$38.86	114603012	\$38.86
114591003	\$67.36	114592011	\$38.86	114603013	\$38.86
114591004	\$67.36	114592012	\$49.22	114603014	\$38.86
114591005	\$38.86	114592013	\$38.86	114603015	\$38.86
114591006	\$38.86	114592014	\$67.36	114603016	\$38.86
114591007	\$67.36	114592015	\$38.86	114603017	\$38.86
114591008	\$38.86	114592016	\$38.86	114603018	\$49.22
114591010	\$67.36	114592017	\$67.36	114603019	\$38.86
114591011	\$38.86	114592018	\$67.36	114611001	\$124.36
114591012	\$38.86	114592019	\$67.36	114611002	\$95.86
114591013	\$38.86	114592020	\$67.36	114611003	\$67.36
114591014	\$67.36	114592021	\$38.86	114611004	\$67.36
114591015	\$38.86	114592022	\$38.86	114611005	\$38.86
114591016	\$38.86	114592023	\$38.86	114611006	\$38.86
114591017	\$38.86	114592024	\$38.86	114612001	\$124.36
114591018	\$38.86	114601001	\$165.80	114612002	\$124.36
114591019	\$38.86	114601002	\$165.80	114612003	\$67.36
114591020	\$38.86	114601003	\$165.80	114612004	\$38.86
114591021	\$38.86	114601004	\$67.36	114612005	\$116.58
114591022	\$38.86	114601005	\$38.86	114612006	\$38.86
114591023	\$38.86	114601006	\$38.86	114612007	\$38.86
114591024	\$38.86	114601007	\$77.72	114612008	\$38.86
114591025	\$38.86	114601008	\$67.36	114612009	\$38.86
114591026	\$38.86	114601009	\$38.86	114612010	\$38.86
114591027	\$38.86	114601010	\$38.86	114612011	\$38.86
114591028	\$38.86	114601011	\$67.36	114620001	\$126.94
114591029	\$38.86	114601012	\$67.36	114620002	\$137.30
114591030	\$38.86	114601013	\$77.72	114620003	\$158.02
114591031	\$38.86	114601014	\$67.36	114620004	\$137.30
114591032	\$38.86	114601015	\$38.86	114620005	\$147.66
114591033	\$38.86	114601016	\$77.72	114620006	\$147.66
114591035	\$108.80	114601017	\$67.36	114620007	\$137.30
114591036	\$124.36	114603001	\$137.30	114620009	\$126.94
114620010	\$126.94	114640008	\$49.22	114650009	\$77.72
114620011	\$126.94	114640009	\$59.58	114650010	\$49.22
114620012	\$137.30	114640010	\$49.22	114650011	\$49.22
114620013	\$158.02	114640011	\$59.58	114650012	\$49.22
114620014	\$137.30	114640012	\$77.72	114650013	\$49.22
114620015	\$126.94	114640013	\$77.72	114650014	\$49.22
114620021	\$168.38	114640014	\$49.22	114650015	\$49.22



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114620023	\$137.30	114640015	\$77.72	114650016	\$77.72
114620024	\$158.02	114640016	\$77.72	114650017	\$49.22
114621001	\$108.80	114640017	\$77.72	114650018	\$49.22
114621002	\$137.30	114640018	\$77.72	114650019	\$38.86
114621003	\$137.30	114640019	\$77.72	114650020	\$38.86
114621004	\$147.66	114640020	\$67.36	114651001	\$77.72
114621005	\$88.08	114640021	\$67.36	114651002	\$49.22
114621006	\$98.44	114640022	\$67.36	114651003	\$77.72
114621007	\$98.44	114640023	\$38.86	114651004	\$77.72
114621008	\$191.68	114640024	\$67.36	114651005	\$77.72
114621010	\$10.36	114640025	\$77.72	114651006	\$77.72
114630001	\$189.10	114640026	\$49.22	114651007	\$49.22
114630002	\$178.74	114640027	\$67.36	114651008	\$49.22
114630003	\$178.74	114640028	\$77.72	114651009	\$38.86
114630004	\$168.38	114641001	\$38.86	114651010	\$67.36
114630005	\$158.02	114641002	\$77.72	114651011	\$106.22
114630006	\$199.46	114641003	\$77.72	114651012	\$77.72
114630007	\$168.38	114641004	\$77.72	114651013	\$67.36
114630008	\$178.74	114641005	\$98.44	114651014	\$67.36
114630009	\$168.38	114641006	\$98.44	114651015	\$67.36
114630010	\$137.30	114641007	\$38.86	114651016	\$67.36
114630011	\$108.80	114641008	\$67.36	114651017	\$67.36
114630012	\$181.32	114641009	\$77.72	114651018	\$67.36
114630013	\$150.24	114641010	\$106.22	114651019	\$67.36
114630014	\$108.80	114641011	\$67.36	114651020	\$67.36
114630015	\$147.66	114641012	\$67.36	114660001	\$67.36
114630016	\$168.38	114641013	\$67.36	114660002	\$67.36
114630017	\$137.30	114641014	\$59.58	114660003	\$67.36
114630018	\$137.30	114650001	\$38.86	114661001	\$67.36
114640001	\$77.72	114650002	\$38.86	114661002	\$67.36
114640002	\$67.36	114650003	\$77.72	114661003	\$67.36
114640003	\$77.72	114650004	\$77.72	114661004	\$77.72
114640004	\$38.86	114650005	\$88.08	114661005	\$38.86
114640005	\$77.72	114650006	\$59.58	114661006	\$49.22
114640006	\$77.72	114650007	\$59.58	114661007	\$67.36
114640007	\$77.72	114650008	\$49.22	114661008	\$67.36
114661009	\$67.36	114671007	\$67.36	114680005	\$38.86
114661010	\$67.36	114671008	\$67.36	114680006	\$38.86
114661011	\$67.36	114671009	\$38.86	114680007	\$38.86
114661012	\$67.36	114671010	\$38.86	114680008	\$77.72
114661013	\$77.72	114671011	\$38.86	114681001	\$67.36
114661014	\$59.58	114672001	\$77.72	114681002	\$38.86
114661015	\$77.72	114672002	\$77.72	114681003	\$38.86
114661016	\$77.72	114672003	\$77.72	114681004	\$38.86
114661017	\$49.22	114672004	\$49.22	114681005	\$38.86
114661018	\$77.72	114672005	\$88.08	114681006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114661019	\$49.22	114672006	\$77.72	114681007	\$67.36
114661020	\$59.58	114672007	\$67.36	114681008	\$67.36
114661021	\$49.22	114672008	\$67.36	114681009	\$77.72
114661022	\$77.72	114672009	\$67.36	114681010	\$38.86
114661023	\$77.72	114673001	\$67.36	114681011	\$77.72
114661024	\$67.36	114673002	\$38.86	114681012	\$38.86
114661025	\$67.36	114673003	\$38.86	114681013	\$38.86
114661026	\$67.36	114673004	\$38.86	114681014	\$38.86
114661027	\$38.86	114673005	\$38.86	114681015	\$38.86
114661028	\$38.86	114673006	\$67.36	114681016	\$67.36
114661029	\$38.86	114673007	\$77.72	114682001	\$77.72
114661030	\$67.36	114673008	\$59.20	114682002	\$77.72
114662001	\$67.36	114673009	\$49.22	114682003	\$77.72
114662002	\$38.86	114673010	\$77.72	114682004	\$77.72
114662003	\$38.86	114673011	\$77.72	114682005	\$67.36
114662004	\$77.72	114673012	\$38.86	114682006	\$67.36
114663001	\$116.58	114673013	\$67.36	114683001	\$77.72
114663002	\$77.72	114673014	\$49.22	114683002	\$38.86
114663003	\$68.46	114673015	\$77.72	114683003	\$38.86
114663004	\$77.72	114674001	\$77.72	114683004	\$67.36
114663005	\$77.72	114674002	\$77.72	114683005	\$38.86
114663006	\$49.22	114674003	\$77.72	114683006	\$67.36
114670001	\$77.72	114674004	\$67.36	114683007	\$67.36
114670002	\$77.72	114674005	\$38.86	114683008	\$67.36
114670003	\$77.72	114674006	\$38.86	114683009	\$38.86
114670004	\$77.72	114674007	\$77.72	114683010	\$67.36
114670005	\$77.72	114674008	\$38.86	114683011	\$67.36
114671001	\$38.86	114674009	\$77.72	114683012	\$38.86
114671002	\$49.22	114674010	\$77.72	114683013	\$38.86
114671003	\$49.22	114680001	\$49.22	114683014	\$67.36
114671004	\$49.22	114680002	\$38.86	114683015	\$67.36
114671005	\$77.72	114680003	\$67.36	114683016	\$38.86
114671006	\$77.72	114680004	\$38.86	114683017	\$38.86
114683018	\$38.86	115022006	\$38.86	115030017	\$38.86
114683019	\$38.86	115022007	\$38.86	115030018	\$38.86
114683020	\$38.86	115022008	\$38.86	115030019	\$38.86
114683021	\$38.86	115022009	\$38.86	115030020	\$38.86
114683022	\$49.22	115022010	\$38.86	115030021	\$38.86
114683023	\$77.72	115022011	\$38.86	115030022	\$38.86
114683024	\$77.72	115022012	\$38.86	115030023	\$38.86
114683025	\$38.86	115022013	\$38.86	115030024	\$38.86
114683026	\$38.86	115022014	\$38.86	115030025	\$38.86
114683027	\$38.86	115022015	\$38.86	115030026	\$38.86
114683028	\$38.86	115022016	\$38.86	115030027	\$38.86
114683029	\$38.86	115022017	\$38.86	115030028	\$38.86
114683030	\$38.86	115022018	\$38.86	115030029	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114683031	\$38.86	115022019	\$38.86	115030030	\$38.86
114690001	\$91.38	115022020	\$38.86	115030031	\$38.86
114690002	\$147.28	115022021	\$38.86	115030039	\$38.86
114690003	\$118.78	115022022	\$38.86	115030040	\$38.86
114690004	\$61.78	115022023	\$38.86	115030044	\$38.86
114690005	\$79.92	115022024	\$38.86	115030045	\$38.86
114690006	\$79.92	115022025	\$38.86	115030046	\$38.86
114690007	\$98.44	115022026	\$38.86	115030047	\$38.86
114690008	\$88.08	115022027	\$38.86	115030048	\$38.86
114690009	\$98.44	115022028	\$38.86	115030050	\$90.66
114691001	\$69.94	115022029	\$38.86	115030060	\$49.22
114691002	\$69.94	115022030	\$38.86	115030083	\$101.74
114691003	\$116.58	115022031	\$38.86	115030084	\$38.86
114691004	\$78.82	115022032	\$38.86	115030086	\$49.22
114691005	\$176.16	115022034	\$108.80	115030088	\$49.22
115021001	\$38.86	115022035	\$158.74	115030090	\$38.86
115021002	\$38.86	115022036	\$41.44	115030092	\$49.22
115021003	\$38.86	115022037	\$38.86	115030094	\$38.86
115021004	\$38.86	115022038	\$38.86	115030096	\$28.50
115021005	\$38.86	115022039	\$38.86	115030097	\$49.22
115021006	\$38.86	115022040	\$38.86	115040012	\$315.78
115021007	\$38.86	115022041	\$38.86	115040019	\$49.22
115021008	\$38.86	115022042	\$38.86	115040020	\$49.22
115021009	\$38.86	115022043	\$38.86	115040021	\$38.86
115021010	\$38.86	115022044	\$38.86	115040024	\$49.22
115022001	\$38.86	115030012	\$38.86	115040026	\$38.86
115022002	\$38.86	115030013	\$38.86	115040029	\$49.22
115022003	\$38.86	115030014	\$38.86	115040033	\$49.22
115022004	\$38.86	115030015	\$38.86	115040034	\$49.22
115022005	\$38.86	115030016	\$38.86	115040039	\$359.74
115040043	\$38.86	115111015	\$38.86	115122009	\$38.86
115040044	\$49.22	115111016	\$38.86	115123001	\$38.86
115040045	\$38.86	115111017	\$38.86	115123002	\$38.86
115040051	\$108.42	115111018	\$38.86	115123003	\$38.86
115050028	\$1,068.56	115111019	\$38.86	115123004	\$38.86
115050034	\$1,412.46	115111020	\$38.86	115123005	\$38.86
115060024	\$2,944.24	115112001	\$38.86	115123008	\$38.86
115060025	\$19.62	115112002	\$38.86	115123009	\$38.86
115080001	\$48.12	115112003	\$38.86	115123010	\$38.86
115080002	\$86.98	115112004	\$38.86	115123011	\$38.86
115080006	\$143.64	115112005	\$38.86	115123012	\$38.86
115080012	\$345.42	115112006	\$38.86	115123013	\$38.86
115080022	\$135.10	115112007	\$38.86	115123014	\$38.86
115080025	\$172.14	115112008	\$38.86	115123015	\$38.86
115080026	\$19.62	115112009	\$38.86	115123016	\$38.86
115080041	\$44.96	115112010	\$38.86	115123017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115080042	\$59.96	115112011	\$38.86	115123018	\$38.86
115090003	\$433.20	115112012	\$38.86	115123019	\$38.86
115090015	\$231.04	115112013	\$38.86	115123020	\$38.86
115090021	\$109.56	115112014	\$38.86	115123021	\$38.86
115090023	\$597.22	115112015	\$38.86	115123022	\$38.86
115090024	\$209.86	115112016	\$38.86	115123023	\$38.86
115100004	\$90.58	115112017	\$38.86	115123024	\$38.86
115100005	\$3,205.68	115112018	\$38.86	115123025	\$38.86
115100013	\$1,934.96	115121002	\$38.86	115123026	\$38.86
115100035	\$1,992.72	115121003	\$38.86	115123027	\$49.22
115100038	\$693.12	115121004	\$38.86	115131001	\$38.86
115100043	\$5,487.20	115121005	\$38.86	115131002	\$38.86
115100044	\$1,588.40	115121006	\$38.86	115131003	\$38.86
115111001	\$38.86	115121007	\$38.86	115131004	\$38.86
115111002	\$38.86	115121008	\$38.86	115131005	\$38.86
115111003	\$38.86	115121009	\$38.86	115131006	\$38.86
115111004	\$38.86	115121010	\$38.86	115131007	\$38.86
115111005	\$38.86	115121011	\$38.86	115131008	\$38.86
115111006	\$38.86	115121012	\$38.86	115132002	\$49.22
115111007	\$38.86	115121013	\$38.86	115132003	\$38.86
115111008	\$38.86	115122002	\$38.86	115132004	\$38.86
115111009	\$38.86	115122003	\$38.86	115132005	\$38.86
115111010	\$38.86	115122004	\$38.86	115132006	\$38.86
115111011	\$38.86	115122005	\$38.86	115132007	\$38.86
115111012	\$38.86	115122006	\$38.86	115132008	\$38.86
115111013	\$38.86	115122007	\$38.86	115132009	\$38.86
115111014	\$38.86	115122008	\$38.86	115132010	\$38.86
115132011	\$38.86	115151005	\$38.86	115161007	\$38.86
115132012	\$38.86	115151006	\$38.86	115161008	\$38.86
115132013	\$38.86	115151007	\$38.86	115161009	\$38.86
115132014	\$38.86	115151008	\$38.86	115161010	\$38.86
115132015	\$38.86	115151009	\$38.86	115162001	\$38.86
115132016	\$38.86	115151010	\$38.86	115162002	\$38.86
115133001	\$49.22	115151011	\$38.86	115162003	\$38.86
115133002	\$38.86	115151012	\$38.86	115162004	\$38.86
115133003	\$80.30	115151013	\$38.86	115162005	\$38.86
115133004	\$49.22	115151014	\$38.86	115162006	\$38.86
115141001	\$49.22	115151015	\$38.86	115162007	\$38.86
115141002	\$49.22	115151016	\$38.86	115162008	\$38.86
115141003	\$38.86	115151017	\$38.86	115162009	\$38.86
115141005	\$38.86	115151018	\$38.86	115162010	\$38.86
115141006	\$38.86	115151019	\$38.86	115163001	\$38.86
115141007	\$38.86	115151020	\$38.86	115163002	\$38.86
115141008	\$38.86	115152001	\$38.86	115163003	\$38.86
115141009	\$38.86	115152002	\$38.86	115163004	\$38.86
115141010	\$38.86	115152003	\$38.86	115163005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115141014	\$38.86	115152004	\$38.86	115163006	\$38.86
115141015	\$38.86	115152005	\$38.86	115163007	\$38.86
115141016	\$38.86	115152006	\$38.86	115163008	\$38.86
115141017	\$49.22	115152007	\$38.86	115163009	\$49.22
115141019	\$38.86	115152008	\$38.86	115163010	\$38.86
115141020	\$38.86	115152009	\$38.86	115163011	\$38.86
115141021	\$38.86	115152010	\$38.86	115163012	\$38.86
115142001	\$38.86	115152011	\$38.86	115163013	\$38.86
115142002	\$38.86	115152012	\$38.86	115163014	\$38.86
115142003	\$38.86	115153001	\$38.86	115163015	\$38.86
115142004	\$38.86	115153002	\$38.86	115163016	\$38.86
115142005	\$38.86	115153003	\$38.86	115163017	\$38.86
115142006	\$38.86	115153004	\$38.86	115163018	\$38.86
115142007	\$38.86	115153005	\$38.86	115163019	\$38.86
115142008	\$38.86	115153006	\$38.86	115163020	\$38.86
115142009	\$38.86	115153007	\$38.86	115171001	\$38.86
115142010	\$38.86	115153008	\$38.86	115171002	\$38.86
115142011	\$38.86	115153009	\$38.86	115171003	\$38.86
115142012	\$38.86	115161001	\$38.86	115171004	\$38.86
115142013	\$49.22	115161002	\$38.86	115171005	\$38.86
115151001	\$38.86	115161003	\$38.86	115171006	\$38.86
115151002	\$38.86	115161004	\$38.86	115171007	\$38.86
115151003	\$38.86	115161005	\$38.86	115171008	\$38.86
115151004	\$38.86	115161006	\$38.86	115171009	\$38.86
115171010	\$38.86	115200056	\$287.66	115342002	\$38.86
115171011	\$38.86	115200057	\$172.52	115342003	\$38.86
115171012	\$38.86	115200058	\$201.40	115342004	\$38.86
115171013	\$38.86	115200060	\$1,990.44	115342005	\$38.86
115171014	\$38.86	115200061	\$576.84	115342006	\$38.86
115172001	\$38.86	115200062	\$547.96	115342007	\$38.86
115172002	\$38.86	115210009	\$722.00	115342019	\$38.86
115172003	\$38.86	115210022	\$1,729.38	115342021	\$38.86
115172004	\$38.86	115210031	\$144.40	115342027	\$38.86
115172005	\$38.86	115210032	\$59.96	115351001	\$38.86
115172006	\$38.86	115290012	\$403.18	115351002	\$38.86
115172007	\$38.86	115290013	\$460.18	115351003	\$38.86
115172008	\$38.86	115290020	\$230.28	115351004	\$38.86
115172009	\$38.86	115290025	\$230.28	115351005	\$38.86
115172010	\$38.86	115290027	\$172.52	115351006	\$38.86
115172011	\$38.86	115290028	\$172.52	115351007	\$38.86
115172012	\$38.86	115290033	\$86.64	115351008	\$38.86
115172013	\$38.86	115290034	\$258.40	115351009	\$38.86
115172014	\$38.86	115290035	\$229.52	115351010	\$38.86
115172015	\$38.86	115290036	\$258.40	115351011	\$38.86
115172016	\$38.86	115290041	\$230.28	115351012	\$38.86
115172017	\$38.86	115290043	\$690.46	115351013	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115172018	\$38.86	115290044	\$115.52	115351014	\$38.86
115172019	\$38.86	115290045	\$201.40	115351015	\$38.86
115180054	\$488.74	115290046	\$750.12	115351016	\$38.86
115180055	\$995.44	115290049	\$230.28	115351017	\$38.86
115200002	\$289.44	115290050	\$547.96	115351018	\$38.86
115200040	\$345.04	115290051	\$865.64	115351019	\$38.86
115200041	\$258.78	115310017	\$345.04	115351020	\$38.86
115200042	\$201.40	115310018	\$316.54	115351021	\$38.86
115200043	\$114.76	115310019	\$287.66	115351022	\$38.86
115200044	\$114.76	115310020	\$316.54	115351023	\$38.86
115200045	\$143.64	115310024	\$461.70	115352001	\$38.86
115200046	\$229.90	115310025	\$1,328.10	115352002	\$38.86
115200047	\$258.78	115310030	\$259.54	115352003	\$38.86
115200048	\$172.14	115310031	\$432.82	115352004	\$38.86
115200049	\$172.52	115310033	\$604.20	115352005	\$38.86
115200050	\$172.52	115310034	\$633.46	115352006	\$38.86
115200051	\$258.40	115310041	\$229.52	115352007	\$38.86
115200052	\$345.04	115310045	\$315.78	115352008	\$38.86
115200053	\$258.78	115310046	\$287.66	115352009	\$38.86
115200054	\$229.90	115310047	\$287.66	115352010	\$38.86
115200055	\$287.66	115331014	\$490.18	115352011	\$38.86
115352012	\$38.86	115361018	\$38.86	115371004	\$38.86
115352013	\$38.86	115361019	\$38.86	115371005	\$38.86
115352014	\$38.86	115361020	\$38.86	115371006	\$38.86
115352015	\$38.86	115362001	\$38.86	115371007	\$38.86
115352016	\$38.86	115362002	\$38.86	115371008	\$38.86
115352017	\$38.86	115362003	\$38.86	115371009	\$38.86
115352018	\$38.86	115362004	\$38.86	115371010	\$38.86
115352019	\$38.86	115362005	\$38.86	115371011	\$38.86
115352020	\$38.86	115362006	\$38.86	115371012	\$38.86
115352021	\$38.86	115362007	\$38.86	115371013	\$38.86
115352022	\$345.42	115362008	\$38.86	115371014	\$38.86
115353001	\$38.86	115362009	\$38.86	115371015	\$38.86
115353002	\$38.86	115362010	\$38.86	115371016	\$38.86
115353003	\$38.86	115362011	\$38.86	115371017	\$38.86
115353004	\$38.86	115362012	\$38.86	115371018	\$38.86
115353005	\$38.86	115362013	\$38.86	115372001	\$38.86
115353006	\$38.86	115362014	\$38.86	115372002	\$38.86
115353007	\$38.86	115362015	\$38.86	115372003	\$38.86
115353008	\$38.86	115362016	\$38.86	115372004	\$38.86
115353009	\$38.86	115362017	\$38.86	115372005	\$38.86
115353010	\$38.86	115362018	\$38.86	115372006	\$38.86
115353011	\$49.22	115362019	\$38.86	115372007	\$38.86
115353012	\$38.86	115362020	\$663.86	115372008	\$38.86
115353013	\$38.86	115362021	\$38.86	115372009	\$38.86
115353014	\$38.86	115362022	\$38.86	115372010	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115353015	\$49.22	115362023	\$38.86	115372011	\$38.86
115361001	\$38.86	115362024	\$38.86	115372012	\$38.86
115361002	\$38.86	115362025	\$38.86	115372013	\$38.86
115361003	\$38.86	115362026	\$38.86	115372014	\$38.86
115361004	\$38.86	115362027	\$38.86	115372015	\$38.86
115361005	\$38.86	115362028	\$38.86	115372016	\$38.86
115361006	\$38.86	115362029	\$38.86	115372017	\$38.86
115361007	\$38.86	115363001	\$38.86	115372018	\$38.86
115361008	\$38.86	115363002	\$38.86	115372019	\$38.86
115361009	\$38.86	115363003	\$38.86	115372020	\$38.86
115361010	\$38.86	115363004	\$38.86	115372021	\$38.86
115361011	\$38.86	115363005	\$38.86	115372022	\$38.86
115361012	\$38.86	115363006	\$38.86	115372025	\$38.86
115361013	\$38.86	115363007	\$38.86	115372026	\$38.86
115361014	\$38.86	115363008	\$38.86	115372027	\$38.86
115361015	\$38.86	115371001	\$38.86	115372028	\$38.86
115361016	\$38.86	115371002	\$38.86	115372029	\$38.86
115361017	\$38.86	115371003	\$38.86	115372030	\$38.86
115372031	\$38.86	115391016	\$12.06	115391059	\$12.06
115372032	\$38.86	115391017	\$12.06	115391060	\$12.06
115372033	\$49.22	115391018	\$12.06	115391061	\$12.06
115372034	\$38.86	115391019	\$12.06	115391062	\$12.06
115372035	\$38.86	115391020	\$12.06	115391063	\$12.06
115380008	\$1,308.14	115391021	\$12.06	115391064	\$12.06
115380009	\$38.52	115391022	\$12.06	115392001	\$12.06
115380010	\$1,394.78	115391023	\$12.06	115392002	\$12.06
115380011	\$615.02	115391024	\$12.06	115392003	\$12.06
115380012	\$161.50	115391025	\$12.06	115392004	\$12.06
115380013	\$623.58	115391026	\$12.06	115392005	\$12.06
115380014	\$103.74	115391027	\$12.06	115392006	\$12.06
115380016	\$190.38	115391028	\$12.06	115392007	\$12.06
115380019	\$421.42	115391029	\$12.06	115392008	\$12.06
115380020	\$74.86	115391030	\$12.06	115392009	\$12.06
115380021	\$161.50	115391031	\$12.06	115392010	\$12.06
115380022	\$132.62	115391032	\$12.06	115392011	\$12.06
115380023	\$161.50	115391033	\$12.06	115392012	\$12.06
115380024	\$190.38	115391034	\$12.06	115392013	\$12.06
115380025	\$392.54	115391035	\$12.06	115392014	\$12.06
115380026	\$305.90	115391036	\$12.06	115392015	\$12.06
115380027	\$103.74	115391037	\$12.06	115392016	\$12.06
115380028	\$334.78	115391038	\$12.06	115392017	\$12.06
115380029	\$796.86	115391039	\$12.06	115392018	\$12.06
115380033	\$450.30	115391040	\$12.06	115392019	\$12.06
115380034	\$190.38	115391041	\$12.06	115392020	\$12.06
115380035	\$594.70	115391042	\$12.06	115392021	\$12.06
115390015	\$3,095.40	115391043	\$12.06	115392022	\$12.06

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115391001	\$12.06	115391044	\$12.06	115392023	\$12.06
115391002	\$12.06	115391045	\$12.06	115392024	\$12.06
115391003	\$12.06	115391046	\$12.06	115392026	\$12.06
115391004	\$12.06	115391047	\$12.06	115392027	\$12.06
115391005	\$12.06	115391048	\$12.06	115392028	\$12.06
115391006	\$12.06	115391049	\$12.06	115392029	\$12.06
115391007	\$12.06	115391050	\$12.06	115392030	\$12.06
115391008	\$12.06	115391051	\$12.06	115392031	\$12.06
115391009	\$12.06	115391052	\$12.06	115392032	\$12.06
115391010	\$12.06	115391053	\$12.06	115392033	\$12.06
115391011	\$12.06	115391054	\$12.06	115392034	\$12.06
115391012	\$12.06	115391055	\$12.06	115392035	\$12.06
115391013	\$12.06	115391056	\$12.06	115392036	\$12.06
115391014	\$12.06	115391057	\$12.06	115392037	\$12.06
115391015	\$12.06	115391058	\$12.06	115392038	\$12.06
115392039	\$12.06	115392083	\$12.06	115393036	\$12.06
115392040	\$12.06	115392084	\$12.06	115393037	\$12.06
115392041	\$12.06	115392085	\$12.06	115393038	\$12.06
115392042	\$12.06	115392086	\$12.06	115393039	\$12.06
115392043	\$12.06	115392087	\$12.06	115393040	\$12.06
115392044	\$12.06	115392088	\$12.06	115393041	\$12.06
115392045	\$12.06	115392089	\$12.06	115393042	\$12.06
115392046	\$12.06	115392090	\$12.06	115393043	\$12.06
115392047	\$12.06	115393001	\$12.06	115393044	\$12.06
115392048	\$12.06	115393002	\$12.06	115393045	\$12.06
115392049	\$12.06	115393003	\$12.06	115393046	\$12.06
115392051	\$12.06	115393004	\$12.06	115393047	\$12.06
115392052	\$12.06	115393005	\$12.06	115393048	\$12.06
115392053	\$12.06	115393006	\$12.06	115393050	\$12.06
115392054	\$12.06	115393007	\$12.06	115393051	\$12.06
115392055	\$12.06	115393008	\$12.06	115393052	\$12.06
115392056	\$12.06	115393009	\$12.06	115393053	\$12.06
115392057	\$12.06	115393010	\$12.06	115393054	\$12.06
115392058	\$12.06	115393011	\$12.06	115393055	\$12.06
115392059	\$12.06	115393012	\$12.06	115393056	\$12.06
115392060	\$12.06	115393013	\$12.06	115393057	\$12.06
115392061	\$12.06	115393014	\$12.06	115393058	\$12.06
115392062	\$12.06	115393015	\$12.06	115393059	\$12.06
115392063	\$12.06	115393016	\$12.06	115393060	\$12.06
115392064	\$12.06	115393017	\$12.06	115393061	\$12.06
115392065	\$12.06	115393018	\$12.06	115393062	\$12.06
115392066	\$12.06	115393019	\$12.06	115393063	\$12.06
115392067	\$12.06	115393020	\$12.06	115393064	\$12.06
115392068	\$12.06	115393021	\$12.06	115393065	\$12.06
115392069	\$12.06	115393022	\$12.06	115393066	\$12.06
115392070	\$12.06	115393023	\$12.06	115393067	\$12.06



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115392071	\$12.06	115393024	\$12.06	115393068	\$12.06
115392072	\$12.06	115393025	\$12.06	115393069	\$12.06
115392073	\$12.06	115393026	\$12.06	115393070	\$12.06
115392074	\$12.06	115393027	\$12.06	115393071	\$12.06
115392075	\$12.06	115393028	\$12.06	115393072	\$12.06
115392076	\$12.06	115393029	\$12.06	115393073	\$12.06
115392077	\$12.06	115393030	\$12.06	115393074	\$12.06
115392078	\$12.06	115393031	\$12.06	115393075	\$12.06
115392079	\$12.06	115393032	\$12.06	115393076	\$12.06
115392080	\$12.06	115393033	\$12.06	115393077	\$12.06
115392081	\$12.06	115393034	\$12.06	115393078	\$12.06
115392082	\$12.06	115393035	\$12.06	115393079	\$12.06
115393080	\$12.06	115394026	\$12.06	115413001	\$38.86
115393081	\$12.06	115394027	\$12.06	115413002	\$38.86
115393082	\$12.06	115394028	\$12.06	115413003	\$38.86
115393083	\$12.06	115394029	\$12.06	115413004	\$38.86
115393084	\$12.06	115394030	\$12.06	115413005	\$38.86
115393085	\$12.06	115394031	\$12.06	115413006	\$38.86
115393086	\$12.06	115394032	\$12.06	115413007	\$38.86
115393087	\$12.06	115394033	\$12.06	115413008	\$38.86
115393088	\$12.06	115394034	\$12.06	115414001	\$38.86
115393089	\$12.06	115394035	\$12.06	115414002	\$38.86
115393090	\$12.06	115394036	\$12.06	115414003	\$38.86
115393091	\$12.06	115394037	\$12.06	115414004	\$38.86
115393092	\$12.06	115394038	\$12.06	115414005	\$38.86
115393093	\$12.06	115394039	\$12.06	115414006	\$38.86
115393094	\$12.06	115394040	\$12.06	115414007	\$38.86
115393095	\$12.06	115394041	\$12.06	115414008	\$38.86
115393096	\$12.06	115394042	\$12.06	115414009	\$38.86
115393097	\$12.06	115394043	\$12.06	115414010	\$38.86
115394001	\$12.06	115394044	\$12.06	115414011	\$38.86
115394002	\$12.06	115394045	\$12.06	115414012	\$38.86
115394003	\$12.06	115394046	\$12.06	115414013	\$38.86
115394004	\$12.06	115394047	\$12.06	115414014	\$38.86
115394005	\$12.06	115394048	\$12.06	115414015	\$38.86
115394006	\$12.06	115411001	\$38.86	115414016	\$38.86
115394007	\$12.06	115411002	\$38.86	115414017	\$38.86
115394008	\$12.06	115411003	\$38.86	115414018	\$38.86
115394009	\$12.06	115411004	\$38.86	115414019	\$38.86
115394010	\$12.06	115411005	\$38.86	115414020	\$38.86
115394011	\$12.06	115411006	\$38.86	115414021	\$38.86
115394012	\$12.06	115411007	\$38.86	115414022	\$38.86
115394013	\$12.06	115411008	\$38.86	115414023	\$38.86
115394014	\$12.06	115411009	\$38.86	115414024	\$38.86
115394015	\$12.06	115411010	\$38.86	115414025	\$38.86
115394016	\$12.06	115411011	\$38.86	115414026	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115394017	\$12.06	115411012	\$38.86	115414027	\$38.86
115394018	\$12.06	115412001	\$38.86	115414028	\$38.86
115394019	\$12.06	115412002	\$38.86	115414029	\$38.86
115394020	\$12.06	115412003	\$38.86	115414030	\$38.86
115394021	\$12.06	115412004	\$38.86	115414031	\$38.86
115394022	\$12.06	115412005	\$38.86	115414032	\$38.86
115394023	\$12.06	115412006	\$38.86	115414033	\$38.86
115394024	\$12.06	115412007	\$38.86	115414034	\$38.86
115394025	\$12.06	115412008	\$38.86	115414035	\$38.86
115414036	\$38.86	115431016	\$38.86	115432016	\$38.86
115414037	\$38.86	115431017	\$38.86	115432017	\$38.86
115414038	\$38.86	115431018	\$38.86	115432018	\$38.86
115414039	\$38.86	115431019	\$38.86	115432019	\$38.86
115414040	\$38.86	115431020	\$38.86	115432020	\$38.86
115414041	\$38.86	115431021	\$38.86	115440001	\$38.86
115414042	\$38.86	115431022	\$38.86	115440002	\$38.86
115414043	\$38.86	115431023	\$38.86	115440003	\$38.86
115414044	\$38.86	115431024	\$38.86	115440004	\$38.86
115414045	\$38.86	115431025	\$38.86	115440005	\$38.86
115414046	\$38.86	115431026	\$38.86	115440006	\$38.86
115414047	\$38.86	115431027	\$38.86	115440007	\$38.86
115414048	\$38.86	115431028	\$38.86	115440008	\$38.86
115414049	\$38.86	115431029	\$38.86	115440009	\$38.86
115421001	\$143.64	115431030	\$38.86	115440010	\$38.86
115421002	\$114.76	115431031	\$38.86	115440011	\$38.86
115421003	\$114.76	115431032	\$38.86	115440012	\$38.86
115421004	\$114.76	115431033	\$38.86	115440013	\$38.86
115421005	\$143.64	115431034	\$38.86	115440014	\$38.86
115421006	\$143.64	115431035	\$38.86	115440015	\$38.86
115421007	\$143.64	115431036	\$38.86	115440016	\$38.86
115421008	\$172.90	115431037	\$38.86	115440017	\$38.86
115421010	\$172.52	115431038	\$38.86	115440018	\$38.86
115421011	\$201.40	115431039	\$38.86	115440019	\$38.86
115421012	\$230.66	115431040	\$38.86	115440020	\$38.86
115422001	\$143.64	115431041	\$38.86	115440021	\$38.86
115422002	\$201.02	115431042	\$38.86	115440022	\$38.86
115422003	\$114.76	115431043	\$38.86	115440023	\$38.86
115431001	\$38.86	115432001	\$38.86	115440024	\$38.86
115431002	\$38.86	115432002	\$38.86	115440025	\$38.86
115431003	\$38.86	115432003	\$38.86	115440026	\$38.86
115431004	\$38.86	115432004	\$38.86	115440027	\$38.86
115431005	\$38.86	115432005	\$38.86	115440028	\$38.86
115431006	\$38.86	115432006	\$38.86	115440029	\$38.86
115431007	\$38.86	115432007	\$38.86	115440030	\$38.86
115431008	\$38.86	115432008	\$38.86	115440031	\$38.86
115431009	\$38.86	115432009	\$38.86	115440032	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115431010	\$38.86	115432010	\$38.86	115440033	\$38.86
115431011	\$38.86	115432011	\$38.86	115440034	\$38.86
115431012	\$38.86	115432012	\$38.86	115440035	\$38.86
115431013	\$38.86	115432013	\$38.86	115440036	\$38.86
115431014	\$38.86	115432014	\$38.86	115440037	\$38.86
115431015	\$38.86	115432015	\$38.86	115440038	\$38.86
115440039	\$38.86	115452003	\$38.86	115462001	\$38.86
115451001	\$38.86	115452004	\$38.86	115462002	\$38.86
115451002	\$38.86	115452005	\$38.86	115462003	\$38.86
115451003	\$38.86	115452006	\$38.86	115462004	\$38.86
115451004	\$38.86	115452007	\$38.86	115462005	\$38.86
115451005	\$38.86	115452008	\$38.86	115462006	\$38.86
115451006	\$38.86	115452009	\$38.86	115462007	\$38.86
115451007	\$38.86	115452010	\$38.86	115462008	\$38.86
115451008	\$38.86	115452011	\$38.86	115462009	\$38.86
115451009	\$38.86	115452012	\$38.86	115462010	\$38.86
115451010	\$38.86	115452013	\$38.86	115462011	\$38.86
115451011	\$38.86	115452014	\$38.86	115462012	\$38.86
115451012	\$38.86	115452015	\$38.86	115462013	\$38.86
115451013	\$38.86	115452016	\$38.86	115462014	\$38.86
115451014	\$38.86	115452017	\$38.86	115462015	\$38.86
115451015	\$38.86	115452018	\$38.86	115462016	\$38.86
115451016	\$38.86	115452019	\$38.86	115462017	\$38.86
115451017	\$38.86	115452020	\$38.86	115462018	\$38.86
115451018	\$38.86	115452021	\$38.86	115462019	\$38.86
115451019	\$38.86	115452022	\$38.86	115462020	\$38.86
115451020	\$38.86	115452023	\$38.86	115462021	\$38.86
115451021	\$38.86	115452024	\$38.86	115462022	\$38.86
115451022	\$38.86	115452025	\$38.86	115462023	\$38.86
115451023	\$38.86	115452026	\$38.86	115462024	\$38.86
115451024	\$38.86	115452027	\$49.22	115462025	\$38.86
115451025	\$38.86	115452028	\$38.86	115462026	\$38.86
115451026	\$38.86	115452029	\$38.86	115462027	\$38.86
115451027	\$38.86	115452030	\$38.86	115462028	\$38.86
115451028	\$38.86	115452031	\$38.86	115462029	\$38.86
115451029	\$38.86	115452032	\$38.86	115462030	\$38.86
115451030	\$38.86	115452033	\$38.86	115462031	\$38.86
115451031	\$38.86	115452034	\$38.86	115462032	\$38.86
115451032	\$38.86	115461001	\$38.86	115463001	\$38.86
115451033	\$38.86	115461002	\$38.86	115463002	\$38.86
115451034	\$38.86	115461003	\$38.86	115463003	\$38.86
115451035	\$38.86	115461004	\$38.86	115463004	\$38.86
115451036	\$38.86	115461005	\$38.86	115463005	\$38.86
115451037	\$38.86	115461006	\$38.86	115463006	\$38.86
115451038	\$38.86	115461007	\$38.86	115463007	\$38.86
115451039	\$38.86	115461008	\$38.86	115463008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115451040	\$38.86	115461009	\$38.86	115463009	\$38.86
115452001	\$38.86	115461010	\$38.86	115463010	\$38.86
115452002	\$38.86	115461011	\$38.86	115463011	\$38.86
115463012	\$38.86	115471020	\$38.86	115473012	\$38.86
115463013	\$38.86	115471021	\$38.86	115473013	\$38.86
115463014	\$38.86	115471022	\$38.86	115473014	\$38.86
115463015	\$38.86	115471023	\$38.86	115473015	\$38.86
115463016	\$38.86	115471024	\$38.86	115473016	\$38.86
115463017	\$38.86	115471025	\$38.86	115473017	\$38.86
115463018	\$38.86	115471026	\$38.86	115473018	\$38.86
115463019	\$38.86	115471027	\$38.86	115473019	\$38.86
115463020	\$38.86	115471028	\$38.86	115473020	\$38.86
115463021	\$38.86	115471029	\$38.86	115473021	\$38.86
115463022	\$38.86	115471030	\$38.86	115473022	\$38.86
115463023	\$38.86	115471031	\$38.86	115473023	\$38.86
115463024	\$38.86	115471032	\$38.86	115473024	\$38.86
115463025	\$38.86	115471033	\$38.86	115473025	\$38.86
115463026	\$38.86	115471034	\$38.86	115473026	\$38.86
115463027	\$38.86	115471035	\$38.86	115473027	\$38.86
115463028	\$38.86	115471036	\$38.86	115473028	\$38.86
115463029	\$38.86	115471037	\$38.86	115473029	\$38.86
115463030	\$38.86	115471038	\$38.86	115473030	\$38.86
115463031	\$38.86	115471039	\$38.86	115473031	\$38.86
115463032	\$38.86	115472001	\$38.86	115474001	\$38.86
115463033	\$38.86	115472002	\$38.86	115474002	\$38.86
115463034	\$38.86	115472003	\$38.86	115474003	\$38.86
115463035	\$38.86	115472004	\$38.86	115474004	\$38.86
115471001	\$38.86	115472005	\$38.86	115474005	\$38.86
115471002	\$38.86	115472006	\$38.86	115474006	\$38.86
115471003	\$38.86	115472007	\$38.86	115481001	\$38.86
115471004	\$38.86	115472008	\$38.86	115481002	\$38.86
115471005	\$38.86	115472009	\$38.86	115481003	\$38.86
115471006	\$38.86	115472010	\$38.86	115481004	\$38.86
115471007	\$38.86	115472011	\$38.86	115481005	\$38.86
115471008	\$38.86	115472012	\$38.86	115481006	\$38.86
115471009	\$38.86	115473001	\$38.86	115481007	\$38.86
115471010	\$38.86	115473002	\$38.86	115481008	\$38.86
115471011	\$38.86	115473003	\$38.86	115481009	\$38.86
115471012	\$38.86	115473004	\$38.86	115481010	\$38.86
115471013	\$38.86	115473005	\$38.86	115481014	\$38.86
115471014	\$38.86	115473006	\$38.86	115481019	\$38.86
115471015	\$38.86	115473007	\$38.86	115481021	\$38.86
115471016	\$38.86	115473008	\$38.86	115481023	\$38.86
115471017	\$38.86	115473009	\$38.86	115481024	\$38.86
115471018	\$38.86	115473010	\$38.86	115481026	\$38.86
115471019	\$38.86	115473011	\$38.86	115481027	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115481028	\$38.86	115482033	\$38.86	115492020	\$38.86
115481045	\$38.86	115482034	\$38.86	115492021	\$38.86
115481046	\$38.86	115482035	\$38.86	115492022	\$38.86
115481047	\$38.86	115482036	\$38.86	115492023	\$38.86
115481048	\$38.86	115482037	\$38.86	115492024	\$38.86
115481049	\$38.86	115482038	\$38.86	115492025	\$38.86
115481050	\$38.86	115482039	\$38.86	115492026	\$38.86
115481051	\$38.86	115482040	\$38.86	115492027	\$38.86
115481052	\$38.86	115482041	\$38.86	115492028	\$38.86
115481053	\$38.86	115491001	\$38.86	115492029	\$38.86
115481054	\$38.86	115491002	\$38.86	115492030	\$38.86
115482001	\$38.86	115491003	\$38.86	115492031	\$38.86
115482002	\$38.86	115491004	\$38.86	115492032	\$38.86
115482003	\$38.86	115491005	\$38.86	115492033	\$38.86
115482004	\$38.86	115491006	\$38.86	115492034	\$38.86
115482005	\$38.86	115491007	\$38.86	115492035	\$38.86
115482006	\$38.86	115491008	\$38.86	115492036	\$38.86
115482007	\$38.86	115491009	\$38.86	115492037	\$38.86
115482008	\$38.86	115491010	\$38.86	115492038	\$38.86
115482009	\$38.86	115491011	\$38.86	115492039	\$38.86
115482010	\$38.86	115491012	\$38.86	115492040	\$38.86
115482011	\$38.86	115491013	\$38.86	115493001	\$38.86
115482012	\$38.86	115491014	\$38.86	115493002	\$38.86
115482013	\$38.86	115491015	\$38.86	115493003	\$38.86
115482014	\$38.86	115492001	\$38.86	115493004	\$38.86
115482015	\$38.86	115492002	\$38.86	115493005	\$38.86
115482016	\$38.86	115492003	\$38.86	115493006	\$38.86
115482017	\$38.86	115492004	\$38.86	115493007	\$38.86
115482018	\$38.86	115492005	\$38.86	115493008	\$38.86
115482019	\$38.86	115492006	\$38.86	115493009	\$38.86
115482020	\$38.86	115492007	\$38.86	115493010	\$38.86
115482021	\$38.86	115492008	\$38.86	115493011	\$38.86
115482022	\$38.86	115492009	\$38.86	115493012	\$38.86
115482023	\$38.86	115492010	\$38.86	115493013	\$38.86
115482024	\$38.86	115492011	\$38.86	115493014	\$38.86
115482025	\$38.86	115492012	\$38.86	115493015	\$38.86
115482026	\$38.86	115492013	\$38.86	115493016	\$38.86
115482027	\$38.86	115492014	\$38.86	115493017	\$38.86
115482028	\$38.86	115492015	\$38.86	115493018	\$38.86
115482029	\$38.86	115492016	\$38.86	115493019	\$38.86
115482030	\$38.86	115492017	\$38.86	115500002	\$253.20
115482031	\$38.86	115492018	\$38.86	115500004	\$331.68
115482032	\$38.86	115492019	\$38.86	115500008	\$272.82
115500015	\$939.90	115522011	\$38.86	115532029	\$38.86
115500016	\$670.38	115522012	\$38.86	115532030	\$38.86
115500017	\$213.96	115522013	\$38.86	115532031	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115521001	\$38.86	115522014	\$38.86	115532032	\$38.86
115521002	\$38.86	115522015	\$38.86	115533001	\$38.86
115521003	\$38.86	115522016	\$38.86	115533002	\$38.86
115521004	\$38.86	115522017	\$38.86	115533003	\$38.86
115521005	\$38.86	115531002	\$38.86	115533004	\$38.86
115521006	\$38.86	115531003	\$38.86	115533005	\$38.86
115521007	\$38.86	115531004	\$38.86	115533006	\$38.86
115521008	\$38.86	115531005	\$38.86	115533007	\$38.86
115521009	\$38.86	115531006	\$38.86	115533008	\$38.86
115521010	\$38.86	115531007	\$38.86	115533009	\$38.86
115521011	\$38.86	115531008	\$38.86	115533010	\$38.86
115521012	\$38.86	115531009	\$38.86	115533011	\$38.86
115521013	\$38.86	115531012	\$38.86	115533012	\$38.86
115521014	\$38.86	115532001	\$38.86	115533013	\$38.86
115521015	\$38.86	115532002	\$38.86	115533014	\$38.86
115521016	\$38.86	115532003	\$38.86	115533015	\$38.86
115521017	\$38.86	115532004	\$38.86	115533016	\$38.86
115521018	\$38.86	115532005	\$38.86	115534001	\$38.86
115521019	\$38.86	115532006	\$38.86	115534002	\$38.86
115521020	\$38.86	115532007	\$38.86	115534003	\$38.86
115521021	\$38.86	115532008	\$38.86	115534004	\$38.86
115521022	\$38.86	115532010	\$38.86	115534005	\$38.86
115521023	\$38.86	115532011	\$38.86	115534006	\$38.86
115521024	\$38.86	115532012	\$38.86	115534007	\$38.86
115521025	\$38.86	115532013	\$38.86	115534008	\$38.86
115521026	\$38.86	115532014	\$38.86	115534009	\$38.86
115521027	\$38.86	115532015	\$38.86	115534010	\$38.86
115521028	\$38.86	115532016	\$38.86	115541001	\$38.86
115521030	\$38.86	115532017	\$38.86	115541002	\$38.86
115521031	\$38.86	115532018	\$38.86	115541003	\$38.86
115521032	\$38.86	115532019	\$38.86	115541004	\$38.86
115522001	\$38.86	115532020	\$38.86	115541005	\$38.86
115522003	\$38.86	115532021	\$38.86	115541006	\$38.86
115522004	\$38.86	115532022	\$38.86	115541007	\$38.86
115522005	\$38.86	115532023	\$38.86	115541008	\$38.86
115522006	\$38.86	115532024	\$38.86	115541009	\$38.86
115522007	\$38.86	115532025	\$38.86	115541010	\$38.86
115522008	\$38.86	115532026	\$38.86	115541011	\$38.86
115522009	\$38.86	115532027	\$38.86	115541012	\$38.86
115522010	\$38.86	115532028	\$38.86	115541013	\$38.86
115541014	\$38.86	115543015	\$38.86	115560011	\$17.76
115541015	\$38.86	115543016	\$38.86	115560012	\$17.76
115541016	\$38.86	115543017	\$38.86	115560013	\$17.76
115541017	\$38.86	115543018	\$38.86	115560014	\$17.76
115541018	\$38.86	115551001	\$38.86	115560015	\$17.76
115541019	\$38.86	115551002	\$38.86	115560016	\$17.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115541020	\$38.86	115551003	\$38.86	115560017	\$17.76
115541021	\$38.86	115551004	\$38.86	115560018	\$17.76
115541022	\$38.86	115551005	\$38.86	115560019	\$17.76
115541023	\$38.86	115551006	\$38.86	115560020	\$17.76
115541024	\$38.86	115551007	\$38.86	115560021	\$17.76
115541025	\$38.86	115551008	\$38.86	115560022	\$17.76
115541026	\$38.86	115551009	\$38.86	115560023	\$17.76
115541027	\$38.86	115551010	\$38.86	115560024	\$17.76
115541028	\$38.86	115551011	\$38.86	115560025	\$17.76
115542001	\$38.86	115551012	\$38.86	115560026	\$17.76
115542002	\$38.86	115551013	\$38.86	115560027	\$17.76
115542003	\$38.86	115551014	\$38.86	115560028	\$17.76
115542004	\$38.86	115551015	\$38.86	115560029	\$17.76
115542005	\$38.86	115552001	\$38.86	115560030	\$17.76
115542006	\$38.86	115552002	\$38.86	115560031	\$17.76
115542007	\$38.86	115552003	\$38.86	115560032	\$17.76
115542008	\$38.86	115552004	\$38.86	115560033	\$17.76
115542009	\$38.86	115552005	\$38.86	115560034	\$17.76
115542010	\$38.86	115552006	\$38.86	115560035	\$17.76
115542011	\$38.86	115552007	\$38.86	115560036	\$17.76
115542012	\$38.86	115552008	\$38.86	115560037	\$17.76
115542013	\$38.86	115552009	\$38.86	115560038	\$17.76
115542014	\$38.86	115552010	\$38.86	115560039	\$17.76
115543001	\$38.86	115552011	\$38.86	115560040	\$17.76
115543002	\$38.86	115552012	\$38.86	115560041	\$17.76
115543003	\$38.86	115552013	\$38.86	115560042	\$17.76
115543004	\$38.86	115552014	\$38.86	115560043	\$17.76
115543005	\$38.86	115560001	\$17.76	115560044	\$17.76
115543006	\$38.86	115560002	\$17.76	115560045	\$17.76
115543007	\$38.86	115560003	\$17.76	115560046	\$17.76
115543008	\$38.86	115560004	\$17.76	115560047	\$17.76
115543009	\$38.86	115560005	\$17.76	115560048	\$17.76
115543010	\$38.86	115560006	\$17.76	115560049	\$17.76
115543011	\$38.86	115560007	\$17.76	115560050	\$17.76
115543012	\$38.86	115560008	\$17.76	115560051	\$17.76
115543013	\$38.86	115560009	\$17.76	115560052	\$17.76
115543014	\$38.86	115560010	\$17.76	115560053	\$17.76
115560054	\$17.76	115570042	\$17.76	115600003	\$632.70
115560055	\$17.76	115570043	\$17.76	115600004	\$172.90
115570001	\$17.76	115570044	\$17.76	115600005	\$288.42
115570002	\$17.76	115570045	\$17.76	115600006	\$403.18
115570003	\$17.76	115570046	\$17.76	115600007	\$345.04
115570004	\$17.76	115570047	\$17.76	115610001	\$38.86
115570005	\$17.76	115570048	\$17.76	115610002	\$38.86
115570006	\$17.76	115570049	\$17.76	115610003	\$38.86
115570007	\$17.76	115570050	\$17.76	115610004	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115570008	\$17.76	115570051	\$17.76	115610005	\$67.36
115570009	\$17.76	115570052	\$17.76	115610006	\$67.36
115570010	\$17.76	115570053	\$17.76	115610007	\$67.36
115570011	\$17.76	115580001	\$258.78	115610008	\$38.86
115570012	\$17.76	115580002	\$116.96	115610009	\$38.86
115570013	\$17.76	115580006	\$692.74	115610010	\$67.36
115570014	\$17.76	115580007	\$1,068.18	115610011	\$38.86
115570015	\$17.76	115580018	\$460.18	115610012	\$38.86
115570016	\$17.76	115580019	\$433.20	115610013	\$38.86
115570017	\$17.76	115580024	\$1,237.66	115610014	\$38.86
115570018	\$17.76	115580025	\$1,063.62	115610015	\$38.86
115570019	\$17.76	115580027	\$489.06	115610016	\$38.86
115570020	\$17.76	115580028	\$546.82	115610017	\$67.36
115570021	\$17.76	115580029	\$316.54	115610018	\$67.36
115570022	\$17.76	115580030	\$149.90	115610019	\$67.36
115570023	\$17.76	115580032	\$866.40	115610020	\$38.86
115570024	\$17.76	115590001	\$690.46	115610021	\$38.86
115570025	\$17.76	115590003	\$1,412.84	115621001	\$67.36
115570026	\$17.76	115590004	\$172.14	115621002	\$38.86
115570027	\$17.76	115590005	\$461.92	115621003	\$38.86
115570028	\$17.76	115590014	\$78.10	115621004	\$38.86
115570029	\$17.76	115590015	\$921.50	115621005	\$38.86
115570030	\$17.76	115590016	\$1,382.44	115621006	\$38.86
115570031	\$17.76	115590017	\$1,183.32	115621007	\$38.86
115570032	\$17.76	115590018	\$1,327.72	115622001	\$67.36
115570033	\$17.76	115590019	\$143.64	115622002	\$38.86
115570034	\$17.76	115590021	\$662.34	115622003	\$38.86
115570035	\$17.76	115590025	\$777.86	115622004	\$38.86
115570036	\$17.76	115590026	\$576.08	115622005	\$38.86
115570037	\$17.76	115590027	\$1,816.40	115622006	\$38.86
115570038	\$17.76	115590028	\$14.98	115622007	\$38.86
115570039	\$17.76	115590029	\$1,192.20	115622008	\$67.36
115570040	\$17.76	115600001	\$719.72	115622010	\$38.86
115570041	\$17.76	115600002	\$316.16	115622011	\$38.86
115622012	\$67.36	115640001	\$116.58	115651009	\$38.86
115622013	\$67.36	115640002	\$49.22	115651010	\$38.86
115622014	\$67.36	115640003	\$49.22	115651011	\$38.86
115622015	\$38.86	115640004	\$49.22	115651012	\$49.22
115622016	\$67.36	115640005	\$49.22	115651013	\$38.86
115623001	\$38.86	115640006	\$49.22	115651014	\$38.86
115623002	\$38.86	115640007	\$49.22	115651015	\$49.22
115623003	\$38.86	115640008	\$49.22	115660001	\$85.88
115623004	\$38.86	115640009	\$49.22	115660002	\$1,148.74
115623005	\$38.86	115640010	\$59.58	115660003	\$345.42
115623006	\$38.86	115640011	\$59.58	115660004	\$948.86
115624001	\$38.86	115640012	\$49.22	115670004	\$256.40



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115624002	\$38.86	115640013	\$38.86	115670005	\$1,148.74
115624003	\$38.86	115640014	\$38.86	115670006	\$201.78
115624004	\$38.86	115641001	\$38.86	115670007	\$230.66
115624005	\$38.86	115641002	\$67.36	115670008	\$172.90
115624006	\$38.86	115641003	\$67.36	115670009	\$172.90
115624007	\$38.86	115641004	\$77.72	115670010	\$316.54
115624008	\$38.86	115641005	\$49.22	115670011	\$287.66
115624009	\$38.86	115641006	\$88.08	115670012	\$373.92
115624010	\$38.86	115642001	\$88.08	115670013	\$546.44
115630001	\$49.22	115642002	\$49.22	115670014	\$805.22
115630002	\$38.86	115642003	\$59.58	115670015	\$864.50
115630003	\$38.86	115650001	\$38.86	115670016	\$691.98
115630004	\$49.22	115650002	\$38.86	115670017	\$312.54
115630005	\$38.86	115650003	\$38.86	115670018	\$691.98
115630006	\$38.86	115650004	\$49.22	115670019	\$1,067.04
115630007	\$38.86	115650005	\$67.36	115670020	\$1,355.46
115630008	\$38.86	115650006	\$67.36	115670021	\$778.62
115630009	\$38.86	115650007	\$67.36	115670022	\$288.42
115630010	\$38.86	115650008	\$67.36	115670023	\$288.04
115630011	\$38.86	115650009	\$67.36	115670024	\$288.04
115630012	\$38.86	115650010	\$67.36	115670025	\$288.04
115630013	\$38.86	115650011	\$67.36	115670026	\$489.82
115630014	\$49.22	115650012	\$67.36	115670027	\$201.40
115630015	\$49.22	115651001	\$67.36	115670028	\$230.66
115630016	\$49.22	115651002	\$38.86	115670029	\$778.24
115630017	\$38.86	115651003	\$108.80	115670030	\$345.42
115630018	\$38.86	115651004	\$49.22	115670039	\$287.66
115630019	\$38.86	115651005	\$49.22	115670041	\$287.66
115630020	\$38.86	115651006	\$38.86	115670043	\$287.66
115630021	\$38.86	115651007	\$38.86	115671001	\$35.72
115630022	\$77.72	115651008	\$38.86	115671002	\$35.72
115671003	\$35.72	116061010	\$62.16	116114006	\$137.30
115671004	\$35.72	116061011	\$62.16	116120002	\$11.46
115671005	\$35.72	116061012	\$62.16	116120003	\$10.36
115671006	\$35.72	116061013	\$62.16	116120004	\$10.36
115671007	\$35.72	116061014	\$62.16	116120005	\$10.36
115671008	\$35.72	116061015	\$62.16	116120006	\$77.72
115680001	\$64.88	116062001	\$38.96	116120009	\$10.36
115680002	\$36.00	116062002	\$36.76	116120010	\$10.36
115680003	\$36.00	116062003	\$269.36	116120011	\$10.36
115680004	\$36.00	116062004	\$37.86	116120012	\$12.56
115680005	\$36.00	116062005	\$37.86	116120018	\$22.46
115680006	\$36.00	116062006	\$36.76	116120019	\$5.72
115680007	\$64.88	116062007	\$269.36	116120020	\$10.36
115680008	\$36.00	116062008	\$35.66	116120021	\$5.72
115680009	\$36.00	116070001	\$41.16	116120022	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115680010	\$36.00	116070007	\$20.72	116120028	\$14.52
115690001	\$1,133.70	116080001	\$10.36	116120029	\$10.12
115690003	\$718.58	116080002	\$57.66	116120030	\$14.76
115690010	\$230.28	116080005	\$10.36	116120031	\$11.46
115690013	\$461.32	116090006	\$14.76	116120034	\$5.72
115690014	\$824.64	116090007	\$14.76	116120035	\$20.72
115690017	\$575.70	116090008	\$18.06	116120036	\$9.02
116030003	\$45.56	116090030	\$74.80	116120037	\$9.02
116030004	\$40.06	116100001	\$38.96	116120038	\$9.02
116030022	\$37.86	116111001	\$12.56	116120039	\$77.72
116050003	\$20.26	116111002	\$10.36	116120043	\$68.46
116050004	\$81.86	116111003	\$5.72	116120044	\$88.08
116050008	\$36.76	116111004	\$67.36	116120045	\$77.72
116050009	\$65.36	116111005	\$10.36	116120046	\$20.72
116050012	\$66.46	116111006	\$88.08	116120049	\$98.44
116050014	\$165.76	116111007	\$67.36	116120050	\$98.44
116050017	\$424.76	116111009	\$108.42	116130001	\$10.12
116050019	\$90.58	116112001	\$137.30	116130002	\$14.76
116050020	\$137.52	116112002	\$137.30	116130003	\$14.76
116061001	\$34.56	116112003	\$137.30	116130004	\$14.76
116061002	\$35.66	116113002	\$137.30	116130005	\$15.62
116061003	\$37.86	116113003	\$137.30	116130006	\$62.16
116061004	\$33.46	116113004	\$137.30	116130007	\$17.82
116061005	\$62.16	116113006	\$137.30	116130008	\$23.56
116061006	\$62.16	116114002	\$137.30	116130009	\$29.92
116061007	\$62.16	116114003	\$137.30	116130010	\$10.12
116061008	\$62.16	116114004	\$126.94	116130011	\$10.12
116061009	\$62.16	116114005	\$137.30	116141005	\$5.72
116141006	\$5.72	116143017	\$10.36	116152006	\$5.72
116141007	\$5.72	116143018	\$34.22	116152007	\$5.72
116141008	\$5.72	116143019	\$34.22	116152008	\$10.36
116141009	\$5.72	116143020	\$34.22	116152009	\$10.36
116141010	\$5.72	116144001	\$10.36	116152010	\$5.72
116141011	\$5.72	116144002	\$5.72	116152011	\$10.36
116141012	\$5.72	116144003	\$5.72	116152012	\$10.36
116141022	\$38.86	116144004	\$5.72	116152013	\$5.72
116141023	\$38.86	116144005	\$10.36	116152014	\$10.36
116141024	\$38.86	116144006	\$10.36	116152015	\$5.72
116141025	\$38.86	116144007	\$10.36	116152016	\$5.72
116141026	\$38.86	116144008	\$10.36	116152017	\$10.36
116141027	\$38.86	116144009	\$10.36	116152018	\$5.72
116142001	\$5.72	116144010	\$5.72	116152019	\$5.72
116142002	\$5.72	116144011	\$10.36	116152020	\$9.02
116142003	\$5.72	116144012	\$11.46	116152021	\$5.72
116142004	\$5.72	116144013	\$11.46	116152022	\$5.72
116142005	\$5.72	116144014	\$5.72	116152023	\$5.72

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116142006	\$11.46	116144015	\$10.36	116152024	\$5.72
116142007	\$6.82	116144016	\$11.46	116152025	\$10.36
116142008	\$6.82	116151007	\$38.86	116152026	\$5.72
116142011	\$5.72	116151008	\$38.86	116152027	\$5.72
116142012	\$5.72	116151009	\$11.46	116152028	\$5.72
116142013	\$11.46	116151010	\$11.46	116152029	\$13.42
116142014	\$6.82	116151011	\$11.46	116152030	\$13.42
116142015	\$10.36	116151012	\$5.72	116152031	\$5.72
116142016	\$10.36	116151013	\$5.72	116152032	\$5.72
116142017	\$77.72	116151015	\$77.72	116152033	\$5.72
116143001	\$6.82	116151016	\$10.36	116152034	\$5.72
116143002	\$5.72	116151017	\$10.36	116152035	\$5.72
116143003	\$10.36	116151018	\$10.36	116152036	\$5.72
116143004	\$5.72	116151019	\$10.36	116152037	\$10.36
116143006	\$5.72	116151020	\$10.36	116152038	\$5.72
116143007	\$5.72	116151021	\$10.36	116152039	\$5.72
116143008	\$10.36	116151022	\$10.36	116152040	\$5.72
116143009	\$10.36	116151023	\$10.36	116152041	\$10.36
116143010	\$10.36	116151024	\$10.36	116152042	\$10.36
116143011	\$10.36	116151025	\$10.36	116152043	\$5.72
116143012	\$5.72	116152001	\$5.72	116152044	\$5.72
116143013	\$5.72	116152002	\$5.72	116152045	\$5.72
116143014	\$5.72	116152003	\$5.72	116152046	\$5.72
116143015	\$10.36	116152004	\$5.72	116152047	\$7.92
116143016	\$11.46	116152005	\$5.72	116161005	\$77.72
116161006	\$10.36	116171019	\$67.36	116181022	\$80.30
116161007	\$10.36	116171020	\$38.86	116181023	\$98.44
116162002	\$10.36	116172001	\$67.36	116181024	\$98.44
116162003	\$11.46	116172002	\$38.86	116181025	\$116.58
116162004	\$5.72	116172003	\$38.86	116181028	\$80.30
116162005	\$10.36	116172004	\$67.36	116182001	\$38.86
116162006	\$5.72	116172005	\$67.36	116182002	\$38.86
116162007	\$5.72	116172006	\$38.86	116182003	\$38.86
116162008	\$5.72	116172007	\$67.36	116182004	\$77.72
116162009	\$5.72	116172008	\$38.86	116182005	\$67.36
116162010	\$5.72	116172009	\$38.86	116182006	\$67.36
116162011	\$5.72	116172010	\$38.86	116182007	\$67.36
116162023	\$38.86	116172011	\$38.86	116182008	\$38.86
116162024	\$5.72	116172012	\$38.86	116182009	\$38.86
116162025	\$5.72	116172013	\$38.86	116182010	\$38.86
116162026	\$116.58	116172014	\$38.86	116182011	\$38.86
116162027	\$5.72	116172015	\$67.36	116182012	\$67.36
116162028	\$96.96	116172016	\$67.36	116191001	\$67.36
116162029	\$38.86	116172017	\$67.36	116191002	\$38.86
116162030	\$38.86	116172018	\$67.36	116191003	\$38.86
116163001	\$10.12	116172019	\$38.86	116191004	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116163002	\$10.12	116172020	\$38.86	116191005	\$38.86
116163003	\$108.42	116172021	\$38.86	116191006	\$38.86
116163004	\$67.36	116172022	\$67.36	116191007	\$38.86
116164001	\$1.10	116172023	\$67.36	116191008	\$38.86
116164004	\$137.30	116181001	\$67.36	116192001	\$165.80
116164005	\$108.80	116181002	\$38.86	116192002	\$165.80
116171001	\$67.36	116181003	\$38.86	116192003	\$165.80
116171002	\$38.86	116181004	\$38.86	116192004	\$194.30
116171003	\$38.86	116181005	\$38.86	116192006	\$38.86
116171004	\$38.86	116181006	\$38.86	116192007	\$38.86
116171005	\$38.86	116181007	\$38.86	116192008	\$38.86
116171006	\$38.86	116181008	\$38.86	116192009	\$38.86
116171007	\$38.86	116181009	\$38.86	116192010	\$38.86
116171008	\$38.86	116181010	\$38.86	116192011	\$38.86
116171011	\$38.86	116181011	\$38.86	116192012	\$38.86
116171012	\$38.86	116181012	\$38.86	116192013	\$38.86
116171013	\$38.86	116181013	\$38.86	116192014	\$38.86
116171014	\$38.86	116181014	\$38.86	116192015	\$38.86
116171015	\$38.86	116181017	\$88.08	116192016	\$38.86
116171016	\$38.86	116181018	\$98.44	116192017	\$38.86
116171017	\$38.86	116181019	\$88.08	116192018	\$38.86
116171018	\$38.86	116181020	\$59.58	116192019	\$38.86
116192020	\$38.86	116211001	\$77.72	116220012	\$67.36
116192021	\$67.36	116211002	\$67.36	116220013	\$38.86
116192022	\$67.36	116211003	\$67.36	116220014	\$49.22
116192023	\$67.36	116211004	\$67.36	116220015	\$49.22
116192024	\$67.36	116212001	\$49.22	116220016	\$88.08
116201001	\$38.86	116212002	\$49.22	116220017	\$77.72
116201002	\$38.86	116212003	\$49.22	116220019	\$38.86
116201003	\$38.86	116212004	\$49.22	116220020	\$38.86
116201004	\$38.86	116212005	\$49.22	116220021	\$10.36
116201005	\$38.86	116212006	\$49.22	116220026	\$77.72
116201006	\$38.86	116212007	\$77.72	116220027	\$59.58
116201007	\$38.86	116212008	\$77.72	116221001	\$67.36
116201008	\$38.86	116212009	\$67.36	116221002	\$38.86
116201009	\$38.86	116212010	\$67.36	116221003	\$38.86
116201010	\$67.36	116212011	\$67.36	116221004	\$38.86
116202003	\$38.86	116212012	\$67.36	116221005	\$38.86
116202004	\$38.86	116212013	\$67.36	116222001	\$77.72
116202005	\$38.86	116212014	\$67.36	116222002	\$67.36
116202006	\$38.86	116212015	\$67.36	116222003	\$67.36
116202007	\$38.86	116212016	\$67.36	116222004	\$77.72
116202008	\$38.86	116213001	\$77.72	116222005	\$77.72
116202009	\$38.86	116213002	\$77.72	116222006	\$77.72
116202010	\$38.86	116213003	\$77.72	116222009	\$77.72
116202011	\$38.86	116213004	\$77.72	116222010	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116202012	\$38.86	116213005	\$77.72	116222011	\$67.36
116202013	\$38.86	116213006	\$77.72	116222012	\$67.36
116202014	\$165.80	116213007	\$77.72	116222013	\$67.36
116202015	\$165.80	116213008	\$77.72	116222014	\$77.72
116202016	\$165.80	116213009	\$77.72	116222015	\$88.08
116202017	\$88.08	116213010	\$49.22	116222017	\$88.08
116202018	\$88.08	116213011	\$49.22	116223001	\$77.72
116202019	\$88.08	116213012	\$77.72	116223002	\$49.22
116202020	\$88.08	116220001	\$77.72	116223003	\$49.22
116202023	\$49.22	116220002	\$77.72	116223004	\$49.22
116210001	\$77.72	116220003	\$77.72	116223005	\$49.22
116210002	\$67.36	116220004	\$77.72	116223006	\$49.22
116210003	\$67.36	116220005	\$77.72	116223007	\$67.36
116210004	\$38.86	116220006	\$77.72	116223008	\$67.36
116210005	\$77.72	116220007	\$59.58	116223009	\$67.36
116210006	\$77.72	116220008	\$49.22	116223010	\$67.36
116210007	\$67.36	116220009	\$38.86	116223011	\$67.36
116210008	\$67.36	116220010	\$77.72	116223012	\$77.72
116210009	\$67.36	116220011	\$38.86	116230001	\$77.72
116230002	\$77.72	116240009	\$77.72	116251005	\$77.72
116230003	\$77.72	116240010	\$77.72	116251006	\$77.72
116230004	\$49.22	116240011	\$77.72	116251007	\$77.72
116230005	\$77.72	116240012	\$77.72	116251008	\$77.72
116230006	\$77.72	116240013	\$77.72	116251009	\$77.72
116230007	\$77.72	116240014	\$77.72	116251010	\$77.72
116230008	\$77.72	116240015	\$77.72	116251011	\$77.72
116230009	\$77.72	116240016	\$98.44	116252001	\$77.72
116230010	\$77.72	116240017	\$88.08	116252002	\$77.72
116230011	\$67.36	116240018	\$77.72	116252003	\$77.72
116230012	\$67.36	116240019	\$77.72	116252004	\$77.72
116230013	\$67.36	116240020	\$77.72	116252005	\$77.72
116230014	\$67.36	116240021	\$77.72	116252006	\$77.72
116230015	\$67.36	116240022	\$77.72	116252007	\$49.22
116231001	\$77.72	116241001	\$98.44	116253001	\$59.58
116231002	\$77.72	116241002	\$77.72	116253002	\$77.72
116231003	\$77.72	116241003	\$77.72	116253003	\$77.72
116231004	\$77.72	116241004	\$49.22	116253004	\$77.72
116231005	\$77.72	116241005	\$77.72	116260001	\$116.58
116231006	\$77.72	116241006	\$59.58	116260002	\$88.08
116231007	\$77.72	116241007	\$69.94	116260003	\$88.08
116231008	\$77.72	116241008	\$59.58	116260004	\$88.08
116231009	\$77.72	116241009	\$77.72	116260005	\$116.58
116231010	\$77.72	116241010	\$77.72	116260006	\$88.08
116231011	\$77.72	116241011	\$77.72	116260007	\$88.08
116231012	\$88.08	116241012	\$77.72	116260008	\$88.08
116232001	\$77.72	116241013	\$77.72	116260009	\$88.08

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116232002	\$77.72	116241014	\$77.72	116260010	\$88.08
116232003	\$77.72	116241015	\$77.72	116260011	\$116.58
116232004	\$77.72	116241016	\$88.08	116260012	\$88.08
116232005	\$77.72	116241017	\$77.72	116260013	\$88.08
116232006	\$67.36	116241018	\$77.72	116260014	\$59.58
116232007	\$67.36	116250001	\$77.72	116260016	\$88.08
116232008	\$67.36	116250002	\$59.58	116260017	\$116.58
116232009	\$77.72	116250003	\$69.94	116260026	\$69.94
116240001	\$67.36	116250004	\$49.22	116260027	\$80.30
116240002	\$67.36	116250005	\$77.72	116260028	\$90.66
116240003	\$67.36	116250006	\$88.08	116270001	\$165.80
116240004	\$67.36	116250007	\$77.72	116270002	\$108.80
116240005	\$77.72	116251001	\$77.72	116270003	\$147.66
116240006	\$67.36	116251002	\$77.72	116270004	\$119.16
116240007	\$67.36	116251003	\$77.72	116270005	\$137.30
116240008	\$67.36	116251004	\$77.72	116270006	\$137.30
116270007	\$137.30	116282002	\$116.58	116290033	\$108.80
116270008	\$147.66	116282003	\$98.44	116290034	\$108.80
116270009	\$119.16	116282004	\$126.94	116290035	\$137.30
116270010	\$147.66	116282005	\$116.58	116290036	\$137.30
116270011	\$129.52	116282006	\$98.44	116290037	\$147.66
116270012	\$137.30	116282011	\$78.82	116290038	\$98.44
116270013	\$101.02	116282012	\$50.32	116290039	\$98.44
116270014	\$90.66	116282013	\$77.72	116290040	\$98.44
116270015	\$98.44	116282014	\$88.08	116290041	\$98.44
116270016	\$98.44	116282015	\$78.82	116290042	\$108.80
116270017	\$108.80	116282016	\$225.38	116290043	\$126.94
116270018	\$98.44	116290001	\$69.94	116290044	\$137.30
116270019	\$126.94	116290002	\$98.44	116290045	\$126.94
116270020	\$98.44	116290003	\$126.94	116290046	\$126.94
116270021	\$108.80	116290004	\$98.44	116290047	\$137.30
116270022	\$80.30	116290005	\$108.80	116290048	\$126.94
116270023	\$69.94	116290006	\$108.80	116290049	\$98.44
116270024	\$126.94	116290007	\$98.44	116290050	\$98.44
116270025	\$98.44	116290008	\$108.80	116290051	\$98.44
116270026	\$155.44	116290009	\$98.44	116290052	\$98.44
116270027	\$126.94	116290010	\$108.80	116290053	\$98.44
116270028	\$116.58	116290011	\$98.44	116290054	\$98.44
116270029	\$116.58	116290012	\$126.94	116290057	\$98.44
116270030	\$119.16	116290013	\$126.94	116290058	\$126.94
116270031	\$108.80	116290014	\$98.44	116290059	\$126.94
116270032	\$126.94	116290015	\$98.44	116290061	\$98.44
116270033	\$126.94	116290016	\$98.44	116290063	\$119.16
116270034	\$126.94	116290017	\$98.44	116290064	\$119.16
116270035	\$129.52	116290018	\$69.94	116290065	\$158.02
116270036	\$129.52	116290019	\$98.44	116290066	\$91.38



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116270037	\$126.94	116290020	\$98.44	116290067	\$16.50
116270038	\$108.80	116290021	\$108.80	116290068	\$118.78
116270041	\$137.30	116290022	\$108.80	116290069	\$90.28
116281002	\$126.94	116290023	\$108.80	116290072	\$51.80
116281003	\$88.08	116290024	\$108.80	116290073	\$51.80
116281004	\$69.94	116290025	\$126.94	116290074	\$51.80
116281005	\$116.58	116290026	\$108.80	116290075	\$42.54
116281006	\$88.08	116290027	\$98.44	116290076	\$41.44
116281007	\$88.08	116290028	\$108.80	116290077	\$82.88
116281008	\$116.58	116290029	\$108.80	116290078	\$51.80
116281009	\$90.66	116290030	\$137.30	116290079	\$51.80
116281010	\$59.58	116290031	\$126.94	116290080	\$51.80
116282001	\$126.94	116290032	\$126.94	116290081	\$51.80
116290082	\$33.28	116310028	\$88.84	116320009	\$6.60
116290083	\$33.28	116310033	\$62.16	116320012	\$119.88
116290084	\$33.28	116310034	\$33.28	116320013	\$27.50
116290085	\$33.28	116310035	\$33.28	116320022	\$126.94
116290086	\$33.28	116310036	\$33.28	116320023	\$41.44
116290087	\$33.28	116310037	\$33.28	116320024	\$72.52
116290088	\$33.28	116310038	\$33.28	116320025	\$41.44
116290089	\$22.92	116310039	\$51.80	116320026	\$222.80
116290090	\$33.28	116310040	\$33.28	116320029	\$9.90
116290091	\$82.88	116310041	\$35.48	116320034	\$393.76
116300001	\$27.50	116310046	\$41.44	116320037	\$69.94
116300004	\$28.60	116310047	\$41.44	116320039	\$69.94
116300005	\$137.30	116310048	\$41.44	116330002	\$118.78
116300006	\$137.30	116310049	\$41.44	116330003	\$33.28
116300007	\$119.16	116310050	\$51.80	116330004	\$51.80
116300008	\$178.74	116310051	\$41.44	116330008	\$33.28
116300009	\$147.66	116310052	\$41.44	116330009	\$33.28
116300010	\$108.80	116310053	\$41.44	116330016	\$51.80
116300011	\$108.80	116310054	\$41.44	116330018	\$34.38
116300012	\$108.80	116310055	\$41.44	116330019	\$90.66
116300013	\$90.66	116310057	\$56.10	117020002	\$48.12
116300014	\$33.28	116310060	\$93.24	117020011	\$85.88
116300015	\$51.80	116310065	\$165.86	117020012	\$85.88
116300016	\$33.28	116310067	\$129.52	117020013	\$85.88
116300017	\$82.88	116310072	\$28.64	117020014	\$114.76
116300019	\$108.80	116310073	\$28.64	117020015	\$114.76
116300020	\$207.24	116310074	\$28.64	117020016	\$114.76
116300021	\$33.28	116310075	\$28.64	117031001	\$38.86
116300022	\$44.74	116310076	\$28.64	117031002	\$38.86
116300024	\$155.40	116310077	\$40.10	117031003	\$38.86
116300025	\$57.30	116310078	\$34.38	117031004	\$38.86
116310001	\$147.88	116310079	\$28.64	117031005	\$38.86
116310002	\$147.88	116310080	\$28.64	117031006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116310011	\$62.16	116310081	\$28.64	117031007	\$38.86
116310012	\$33.28	116310082	\$28.64	117031008	\$38.86
116310020	\$51.80	116310083	\$28.64	117031009	\$38.86
116310021	\$124.32	116310089	\$129.52	117031010	\$38.86
116310022	\$47.40	116310090	\$102.98	117031011	\$38.86
116310023	\$51.80	116310091	\$28.64	117031012	\$38.86
116310024	\$51.80	116310095	\$28.64	117031013	\$38.86
116310025	\$108.80	116320004	\$38.50	117031014	\$38.86
116310026	\$51.80	116320006	\$34.56	117031015	\$38.86
116310027	\$51.80	116320007	\$25.30	117031016	\$38.86
117031017	\$38.86	117041006	\$48.12	117070012	\$48.12
117031018	\$38.86	117041007	\$77.72	117070013	\$38.86
117031019	\$38.86	117041008	\$38.86	117070014	\$38.86
117031022	\$38.86	117041009	\$38.86	117070028	\$143.64
117031023	\$135.48	117041015	\$38.86	117070030	\$316.54
117031024	\$49.22	117041017	\$38.86	117070033	\$38.86
117031025	\$49.22	117041019	\$38.86	117070034	\$258.02
117031026	\$49.22	117041020	\$67.36	117070035	\$143.64
117031027	\$49.22	117041021	\$38.86	117080003	\$38.86
117031028	\$49.22	117041022	\$38.86	117080004	\$48.12
117031029	\$39.96	117041023	\$77.72	117080005	\$38.86
117031030	\$39.96	117041031	\$201.78	117080009	\$38.86
117031031	\$49.22	117041032	\$38.86	117080015	\$57.38
117031032	\$49.22	117041033	\$38.86	117080018	\$38.86
117031033	\$49.22	117041035	\$106.60	117080021	\$57.38
117031034	\$49.22	117041037	\$114.76	117080022	\$38.86
117031035	\$49.22	117041038	\$38.86	117091006	\$38.86
117031036	\$38.86	117041039	\$38.86	117091007	\$48.12
117031037	\$38.86	117041041	\$10.36	117091008	\$38.86
117031038	\$38.86	117042001	\$34.22	117091009	\$48.12
117031039	\$38.86	117042002	\$38.86	117091010	\$38.86
117031040	\$102.68	117042003	\$38.86	117091011	\$38.86
117031042	\$129.52	117042004	\$48.12	117091021	\$258.40
117032003	\$38.86	117042005	\$38.86	117091022	\$429.78
117032004	\$38.86	117042006	\$38.86	117092001	\$38.86
117032005	\$38.86	117042007	\$38.86	117092002	\$38.86
117032006	\$38.86	117042008	\$38.86	117092003	\$38.86
117032007	\$38.86	117042009	\$67.36	117092004	\$38.86
117032008	\$38.86	117042010	\$71.98	117092005	\$38.86
117032009	\$38.86	117042013	\$48.12	117092006	\$59.58
117032010	\$38.86	117042014	\$48.12	117092009	\$48.12
117032011	\$38.86	117042015	\$38.86	117092010	\$38.86
117032012	\$38.86	117042016	\$38.86	117092011	\$48.12
117032013	\$38.86	117042017	\$38.86	117092012	\$38.86
117032014	\$38.86	117042018	\$38.86	117092013	\$38.86
117032015	\$38.86	117042019	\$48.12	117092014	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117032016	\$38.86	117042025	\$172.14	117092015	\$38.86
117032017	\$38.86	117042026	\$10.36	117092016	\$38.86
117032018	\$38.86	117042028	\$10.36	117092017	\$38.86
117032019	\$49.22	117070004	\$48.12	117092018	\$38.86
117032020	\$38.86	117070005	\$57.38	117092019	\$38.86
117041001	\$460.56	117070006	\$48.12	117101002	\$34.22
117041005	\$38.86	117070007	\$38.86	117101003	\$38.86
117101004	\$48.12	117104009	\$38.86	117116001	\$48.12
117101005	\$48.12	117104010	\$38.86	117116002	\$38.86
117101006	\$38.86	117104011	\$38.86	117116003	\$38.86
117101007	\$48.12	117104012	\$38.86	117116004	\$48.12
117101008	\$38.86	117104013	\$38.86	117116005	\$48.12
117101009	\$38.86	117104014	\$67.74	117116006	\$48.12
117101010	\$38.86	117111002	\$85.88	117116007	\$48.12
117101011	\$38.86	117111003	\$143.64	117116008	\$38.86
117101012	\$38.86	117111004	\$34.22	117116009	\$38.86
117101014	\$38.86	117111006	\$48.12	117116010	\$38.86
117101015	\$38.86	117111007	\$34.22	117116012	\$48.12
117101016	\$48.12	117111008	\$48.12	117116013	\$38.86
117101017	\$38.86	117111009	\$38.86	117116014	\$38.86
117101018	\$48.12	117111010	\$85.88	117117001	\$38.86
117101021	\$38.86	117112004	\$38.86	117117002	\$38.86
117102001	\$38.86	117112005	\$38.86	117117003	\$48.12
117102002	\$38.86	117112006	\$38.86	117117004	\$48.12
117102003	\$38.86	117112007	\$38.86	117117005	\$38.86
117102004	\$38.86	117112008	\$48.12	117117006	\$38.86
117102005	\$38.86	117112012	\$38.86	117117007	\$38.86
117102006	\$38.86	117112013	\$38.86	117121006	\$85.88
117102031	\$804.84	117112016	\$38.86	117121007	\$38.86
117103002	\$38.86	117113006	\$38.86	117121010	\$38.86
117103003	\$38.86	117113007	\$48.12	117122031	\$143.64
117103004	\$48.12	117113008	\$38.86	117123001	\$38.86
117103005	\$38.86	117114003	\$57.38	117123002	\$38.86
117103008	\$38.86	117114004	\$114.76	117123003	\$38.86
117103009	\$48.12	117114005	\$114.76	117123004	\$38.86
117103010	\$38.86	117114006	\$57.38	117123007	\$38.86
117103011	\$38.86	117114007	\$143.64	117123008	\$34.22
117103013	\$57.38	117114014	\$143.64	117124001	\$38.86
117103015	\$57.38	117115001	\$57.38	117124002	\$48.12
117103017	\$57.38	117115002	\$38.86	117124004	\$38.86
117103024	\$48.12	117115003	\$38.86	117124005	\$48.12
117103025	\$48.12	117115004	\$38.86	117124006	\$38.86
117103026	\$38.86	117115005	\$38.86	117124007	\$48.12
117103027	\$48.12	117115006	\$38.86	117124009	\$38.86
117103029	\$200.26	117115007	\$48.12	117124010	\$38.86
117104004	\$38.86	117115008	\$38.86	117124012	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117104005	\$38.86	117115009	\$38.86	117124013	\$38.86
117104006	\$38.86	117115010	\$38.86	117124014	\$38.86
117104007	\$38.86	117115011	\$48.12	117124015	\$38.86
117104008	\$38.86	117115012	\$38.86	117124016	\$48.12
117124017	\$48.12	117134008	\$48.12	117145002	\$38.86
117124018	\$38.86	117134009	\$57.38	117145003	\$38.86
117124019	\$38.86	117134010	\$48.12	117145004	\$38.86
117124021	\$38.86	117134011	\$143.64	117145005	\$34.22
117124022	\$48.12	117134012	\$57.38	117145006	\$38.86
117124023	\$38.86	117135002	\$143.64	117145007	\$57.38
117124024	\$38.86	117135003	\$114.76	117145012	\$57.38
117124025	\$38.86	117135005	\$286.90	117145013	\$57.38
117131004	\$172.14	117135006	\$57.38	117145017	\$143.64
117131005	\$115.86	117141001	\$38.86	117151003	\$57.38
117131006	\$57.38	117141002	\$38.86	117151006	\$57.38
117131007	\$57.38	117141003	\$38.86	117151018	\$57.38
117131010	\$57.38	117141004	\$38.86	117151019	\$57.38
117131011	\$57.38	117141005	\$38.86	117151020	\$57.38
117131012	\$57.38	117141006	\$48.12	117151023	\$171.76
117131013	\$57.38	117141007	\$38.86	117152001	\$57.38
117132001	\$38.86	117141008	\$48.12	117152002	\$38.86
117132002	\$38.86	117141009	\$38.86	117152003	\$38.86
117132003	\$38.86	117141010	\$48.12	117152004	\$38.86
117132004	\$48.12	117141011	\$48.12	117152005	\$38.86
117132005	\$38.86	117141012	\$48.12	117152006	\$38.86
117132006	\$69.94	117142006	\$38.86	117152007	\$48.12
117132007	\$38.86	117142007	\$43.48	117152008	\$38.86
117132008	\$38.86	117142008	\$38.86	117152009	\$38.86
117132009	\$38.86	117142009	\$57.38	117152010	\$48.12
117132010	\$38.86	117142015	\$100.48	117152011	\$38.86
117132012	\$38.86	117142016	\$57.38	117152012	\$57.38
117132013	\$38.86	117142017	\$114.76	117153001	\$38.86
117133001	\$48.12	117142018	\$43.48	117153002	\$38.86
117133002	\$38.86	117142019	\$43.48	117153003	\$38.86
117133003	\$48.12	117142020	\$200.64	117153004	\$48.12
117133004	\$78.82	117143002	\$57.38	117153005	\$38.86
117133005	\$67.36	117143009	\$57.38	117153006	\$38.86
117133006	\$76.62	117143017	\$57.38	117153007	\$38.86
117133007	\$76.62	117143018	\$57.38	117153008	\$38.86
117133008	\$62.72	117143024	\$57.38	117153009	\$38.86
117133009	\$67.36	117143025	\$57.38	117153010	\$48.12
117133010	\$76.62	117143033	\$57.38	117153014	\$38.86
117134001	\$67.36	117143036	\$57.38	117154001	\$143.64
117134002	\$67.36	117143037	\$85.88	117154002	\$115.86
117134003	\$38.86	117144002	\$286.90	117154003	\$57.38
117134006	\$114.76	117144017	\$315.78	117154006	\$57.38

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117134007	\$48.12	117145001	\$38.86	117154007	\$143.64
117155001	\$57.38	117163014	\$48.12	117172002	\$143.64
117155003	\$38.86	117163016	\$38.86	117172005	\$57.38
117155004	\$38.86	117163017	\$38.86	117173001	\$143.64
117155005	\$48.12	117163018	\$48.12	117173002	\$57.38
117155006	\$38.86	117163019	\$48.12	117173003	\$57.38
117155012	\$38.86	117164001	\$38.86	117173004	\$57.38
117155017	\$143.64	117164002	\$38.86	117173005	\$57.38
117155018	\$143.64	117164003	\$38.86	117173006	\$48.12
117161001	\$38.86	117164004	\$38.86	117173007	\$38.86
117161002	\$48.12	117164006	\$57.38	117173008	\$38.86
117161003	\$38.86	117164007	\$57.38	117173012	\$38.86
117161004	\$38.86	117164008	\$48.12	117173013	\$57.38
117161005	\$38.86	117164009	\$57.38	117173014	\$38.86
117161006	\$48.12	117164010	\$57.38	117173015	\$38.86
117161007	\$38.86	117164011	\$48.12	117173016	\$38.86
117161008	\$96.24	117164012	\$48.12	117174001	\$38.86
117161009	\$48.12	117164014	\$57.38	117174002	\$38.86
117161010	\$38.86	117164015	\$48.12	117174003	\$38.86
117161011	\$48.12	117165005	\$48.12	117174004	\$38.86
117161012	\$38.86	117165009	\$57.38	117174005	\$38.86
117161013	\$38.86	117165010	\$86.26	117174006	\$48.12
117161014	\$38.86	117165011	\$114.76	117174008	\$38.86
117162001	\$38.86	117165020	\$138.68	117174009	\$38.86
117162002	\$48.12	117166001	\$38.86	117174010	\$38.86
117162003	\$38.86	117166004	\$48.12	117174011	\$48.12
117162004	\$38.86	117166007	\$57.38	117174012	\$38.86
117162005	\$38.86	117166011	\$38.86	117174013	\$38.86
117162006	\$48.12	117166012	\$38.86	117174014	\$38.86
117162008	\$38.86	117166017	\$48.12	117175001	\$38.86
117162009	\$48.12	117166020	\$172.14	117175002	\$48.12
117162011	\$38.86	117166021	\$57.38	117175004	\$57.38
117162012	\$48.12	117166022	\$57.38	117175005	\$48.12
117162013	\$34.22	117166023	\$48.12	117175006	\$38.86
117162014	\$38.86	117171001	\$57.38	117175007	\$76.62
117162015	\$48.12	117171002	\$48.12	117175008	\$38.86
117163001	\$48.12	117171003	\$48.12	117175009	\$38.86
117163006	\$38.86	117171004	\$57.38	117175010	\$48.12
117163007	\$38.86	117171005	\$114.76	117175011	\$38.86
117163008	\$38.86	117171006	\$48.12	117175012	\$96.24
117163010	\$38.86	117171007	\$38.86	117176002	\$38.86
117163011	\$38.86	117171010	\$114.76	117176003	\$48.12
117163012	\$38.86	117171011	\$38.86	117176004	\$57.38
117163013	\$38.86	117171012	\$48.12	117176005	\$38.86
117176006	\$38.86	117194021	\$96.24	117204004	\$48.12
117176007	\$48.12	117194022	\$38.86	117204005	\$57.38

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117181008	\$114.76	117194024	\$38.86	117204006	\$38.86
117182001	\$143.64	117195001	\$48.12	117204007	\$48.12
117183016	\$85.88	117195002	\$48.12	117204008	\$38.86
117183017	\$85.88	117195004	\$38.86	117204010	\$38.86
117184006	\$57.38	117195005	\$38.86	117204011	\$38.86
117184007	\$57.38	117195006	\$38.86	117204012	\$38.86
117184008	\$57.38	117195007	\$96.24	117204013	\$38.86
117185025	\$86.98	117195008	\$57.38	117205001	\$38.86
117185026	\$57.38	117195009	\$38.86	117205002	\$38.86
117185027	\$143.64	117195010	\$38.86	117205003	\$38.86
117185028	\$86.64	117195011	\$48.12	117205004	\$38.86
117185029	\$28.88	117195012	\$67.36	117205006	\$48.12
117191003	\$57.38	117201002	\$57.38	117205007	\$38.86
117191005	\$57.38	117201008	\$38.86	117205008	\$38.86
117191011	\$172.14	117201009	\$114.76	117205009	\$38.86
117191024	\$143.64	117201012	\$38.86	117205010	\$48.12
117192002	\$48.12	117201014	\$106.60	117205012	\$38.86
117192003	\$48.12	117201015	\$114.76	117205013	\$38.86
117192006	\$86.98	117201016	\$143.64	117205014	\$38.86
117192007	\$57.38	117202003	\$57.38	117206001	\$38.86
117192009	\$48.12	117202004	\$57.38	117206002	\$38.86
117192010	\$38.86	117202005	\$57.38	117206003	\$38.86
117192011	\$76.62	117202008	\$38.86	117206004	\$38.86
117192012	\$57.38	117202009	\$48.12	117206005	\$38.86
117192013	\$48.12	117202010	\$48.12	117206006	\$38.86
117192014	\$114.76	117202012	\$48.12	117206007	\$38.86
117193002	\$38.86	117202013	\$48.12	117206008	\$48.12
117193003	\$38.86	117202015	\$85.88	117206009	\$57.38
117193004	\$38.86	117202016	\$76.62	117206010	\$48.12
117193005	\$143.64	117202017	\$85.88	117206011	\$48.12
117193006	\$286.90	117203001	\$115.86	117206012	\$96.24
117194001	\$38.86	117203006	\$114.76	117206013	\$38.86
117194002	\$57.38	117203007	\$48.12	117206014	\$38.86
117194003	\$38.86	117203008	\$115.86	117211001	\$38.86
117194008	\$48.12	117203009	\$67.74	117211002	\$38.86
117194011	\$48.12	117203010	\$48.12	117211003	\$38.86
117194012	\$76.62	117203011	\$57.38	117211004	\$38.86
117194013	\$38.86	117203012	\$57.38	117211005	\$38.86
117194016	\$48.12	117204001	\$48.12	117211006	\$38.86
117194018	\$48.12	117204002	\$38.86	117211007	\$48.12
117194019	\$19.62	117204003	\$38.86	117211009	\$38.86
117211010	\$38.86	117216006	\$48.12	117231016	\$57.38
117211011	\$48.12	117221001	\$38.86	117231017	\$57.38
117211014	\$57.38	117221002	\$38.86	117232001	\$38.86
117211015	\$57.38	117221004	\$38.86	117232002	\$38.86
117211016	\$48.12	117221005	\$38.86	117232005	\$57.38

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117211017	\$38.86	117221006	\$38.86	117232006	\$48.12
117211018	\$38.86	117221007	\$48.12	117232011	\$48.12
117211019	\$48.12	117222021	\$38.86	117232014	\$38.86
117211020	\$48.12	117222028	\$86.26	117232016	\$96.24
117211024	\$43.12	117222029	\$1,980.56	117233001	\$48.12
117211025	\$43.12	117225004	\$57.38	117233002	\$38.86
117211026	\$43.12	117225005	\$57.38	117233005	\$67.36
117211027	\$43.12	117225008	\$57.38	117233006	\$38.86
117212001	\$48.12	117225009	\$48.12	117233007	\$38.86
117212002	\$48.12	117225010	\$48.12	117233008	\$38.86
117212003	\$38.86	117225012	\$229.90	117233009	\$38.86
117212004	\$38.86	117225013	\$114.76	117233010	\$38.86
117212005	\$38.86	117226006	\$48.12	117233011	\$38.86
117212006	\$38.86	117226007	\$114.76	117233012	\$38.86
117213001	\$38.86	117226008	\$48.12	117233013	\$38.86
117213002	\$48.12	117226010	\$114.76	117233014	\$38.86
117213005	\$38.86	117227001	\$38.86	117234001	\$38.86
117213006	\$48.12	117227002	\$38.86	117234002	\$38.86
117213007	\$38.86	117227003	\$48.12	117234003	\$48.12
117213008	\$38.86	117227005	\$57.38	117234004	\$38.86
117214001	\$48.12	117227006	\$38.86	117234005	\$38.86
117214002	\$38.86	117227007	\$38.86	117234006	\$48.12
117214003	\$38.86	117227008	\$38.86	117235001	\$48.12
117214004	\$38.86	117227009	\$38.86	117235002	\$38.86
117214006	\$38.86	117227010	\$38.86	117235003	\$48.12
117214007	\$38.86	117227011	\$38.86	117235004	\$48.12
117214008	\$34.22	117227012	\$115.86	117235005	\$38.86
117214009	\$38.86	117228001	\$38.86	117235006	\$48.12
117214010	\$38.86	117228002	\$48.12	117237001	\$48.12
117214011	\$38.86	117228005	\$38.86	117237002	\$38.86
117214012	\$38.86	117228006	\$38.86	117237005	\$57.38
117214013	\$38.86	117228008	\$38.86	117237006	\$48.12
117214014	\$38.86	117228009	\$48.12	117237007	\$48.12
117214015	\$38.86	117230001	\$28.88	117237010	\$38.86
117216001	\$48.12	117230002	\$28.88	117237011	\$38.86
117216002	\$38.86	117231008	\$57.38	117237012	\$38.86
117216003	\$38.86	117231009	\$57.38	117237013	\$49.22
117216005	\$48.12	117231013	\$114.76	117237014	\$38.86
117238001	\$48.12	117243011	\$116.58	117253004	\$48.12
117238004	\$48.12	117244001	\$38.86	117253005	\$38.86
117238005	\$48.12	117244002	\$38.86	117253006	\$38.86
117238006	\$57.38	117244003	\$38.86	117253008	\$48.12
117238007	\$48.12	117244004	\$48.12	117253011	\$48.12
117238010	\$76.62	117244005	\$38.86	117253012	\$38.86
117238012	\$48.12	117244006	\$38.86	117253013	\$48.12
117238013	\$96.24	117245004	\$96.24	117253014	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117238014	\$48.12	117245007	\$106.22	117253015	\$38.86
117238015	\$48.12	117245008	\$38.86	117254001	\$57.38
117238016	\$48.12	117251002	\$48.12	117254005	\$57.38
117241001	\$48.12	117251003	\$38.86	117254006	\$48.12
117241002	\$38.86	117251004	\$38.86	117254007	\$48.12
117241003	\$49.22	117251005	\$38.86	117254008	\$48.12
117241004	\$48.12	117251006	\$38.86	117254009	\$48.12
117242001	\$38.86	117251007	\$38.86	117254010	\$48.12
117242002	\$38.86	117251008	\$48.12	117254011	\$48.12
117242003	\$48.12	117252001	\$38.86	117254012	\$48.12
117242004	\$48.12	117252002	\$48.12	117254014	\$57.38
117242005	\$38.86	117252003	\$38.86	117255001	\$57.38
117242006	\$38.86	117252004	\$38.86	117255002	\$57.38
117242007	\$38.86	117252005	\$48.12	117255003	\$57.38
117242008	\$38.86	117252006	\$48.12	117255004	\$57.38
117242009	\$38.86	117252007	\$48.12	117255009	\$48.12
117242010	\$48.12	117252010	\$38.86	117255010	\$48.12
117242011	\$34.22	117252011	\$38.86	117255011	\$48.12
117242012	\$38.86	117252012	\$38.86	117255012	\$48.12
117242013	\$38.86	117252013	\$38.86	117255013	\$48.12
117242014	\$38.86	117252014	\$38.86	117255014	\$57.38
117242015	\$38.86	117252015	\$38.86	117255015	\$57.38
117242016	\$38.86	117252018	\$38.86	117255016	\$57.38
117242017	\$38.86	117252019	\$38.86	117255018	\$114.38
117242018	\$38.86	117252020	\$38.86	117256001	\$114.76
117242019	\$57.38	117252021	\$38.86	117256002	\$38.86
117242020	\$38.86	117252022	\$38.86	117256003	\$38.86
117242021	\$38.86	117252023	\$48.12	117256004	\$48.12
117243002	\$34.22	117252024	\$48.12	117256005	\$48.12
117243003	\$76.62	117252025	\$38.86	117256006	\$38.86
117243004	\$38.86	117252026	\$38.86	117256007	\$38.86
117243005	\$38.86	117252027	\$38.86	117256008	\$57.38
117243006	\$77.72	117253001	\$38.86	117256009	\$48.12
117243009	\$96.24	117253002	\$38.86	117256010	\$48.12
117243010	\$34.22	117253003	\$48.12	117261001	\$77.72
117261002	\$38.86	117265008	\$38.86	117281033	\$34.22
117261010	\$57.38	117265009	\$38.86	117281034	\$48.12
117261018	\$114.76	117265010	\$38.86	117281035	\$57.38
117262001	\$38.86	117266001	\$48.12	117282002	\$38.86
117262005	\$48.12	117266004	\$38.86	117282003	\$38.86
117262006	\$38.86	117266005	\$48.12	117282004	\$38.86
117262007	\$38.86	117266006	\$85.88	117282005	\$229.90
117262008	\$48.12	117266007	\$57.38	117282006	\$48.12
117262009	\$38.86	117266008	\$57.38	117290007	\$38.86
117262010	\$38.86	117266009	\$57.38	117290008	\$38.86
117262011	\$38.86	117266010	\$57.38	117290009	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117262012	\$48.12	117266012	\$96.24	117290010	\$48.12
117262017	\$38.86	117266013	\$48.12	117290011	\$38.86
117262018	\$48.12	117266014	\$85.88	117290012	\$38.86
117262020	\$48.12	117270018	\$146.94	117290013	\$38.86
117263001	\$48.12	117270030	\$201.40	117290014	\$38.86
117263002	\$49.22	117270031	\$345.42	117290015	\$38.86
117263006	\$48.12	117270035	\$577.22	117290016	\$38.86
117263008	\$48.12	117270037	\$459.42	117290019	\$48.12
117263010	\$38.86	117270038	\$720.48	117290020	\$38.86
117263011	\$38.86	117281004	\$57.38	117290021	\$38.86
117263012	\$48.12	117281006	\$85.88	117290023	\$38.86
117263013	\$48.12	117281007	\$38.86	117290024	\$38.86
117263014	\$38.86	117281008	\$38.86	117290025	\$38.86
117263015	\$77.72	117281009	\$34.22	117290026	\$34.22
117263016	\$38.86	117281010	\$38.86	117290027	\$38.86
117263020	\$48.12	117281011	\$34.22	117290028	\$38.86
117263023	\$48.12	117281012	\$38.86	117290029	\$38.86
117263024	\$144.36	117281013	\$38.86	117290030	\$38.86
117263025	\$57.38	117281014	\$38.86	117290031	\$38.86
117263026	\$57.38	117281015	\$38.86	117290032	\$38.86
117264001	\$48.12	117281016	\$48.12	117290033	\$77.72
117264002	\$48.12	117281017	\$38.86	117290035	\$38.86
117264003	\$38.86	117281018	\$38.86	117290036	\$38.86
117264004	\$48.12	117281019	\$38.86	117290037	\$48.12
117264005	\$155.44	117281020	\$38.86	117290038	\$38.86
117265001	\$38.86	117281022	\$38.86	117290041	\$201.40
117265002	\$67.36	117281023	\$38.86	117290042	\$172.52
117265003	\$38.86	117281024	\$48.12	117290043	\$258.40
117265004	\$48.12	117281025	\$38.86	117290045	\$38.86
117265005	\$34.22	117281026	\$38.86	117290046	\$38.86
117265006	\$38.86	117281031	\$172.14	117290047	\$230.28
117265007	\$38.86	117281032	\$57.38	117290048	\$34.22
117301001	\$143.26	117320061	\$357.48	117321041	\$10.36
117301002	\$114.76	117320062	\$49.22	117321042	\$10.36
117301003	\$38.86	117320063	\$104.40	117321043	\$10.36
117301004	\$34.22	117321001	\$10.36	117321044	\$10.36
117301005	\$38.86	117321002	\$10.36	117321045	\$10.36
117301006	\$38.86	117321003	\$10.36	117321046	\$10.36
117301007	\$38.86	117321004	\$10.36	117321047	\$10.36
117301012	\$114.76	117321005	\$10.36	117321048	\$10.36
117301013	\$57.38	117321006	\$10.36	117321049	\$10.36
117301014	\$48.12	117321007	\$10.36	117321050	\$10.36
117301015	\$48.12	117321008	\$10.36	117321051	\$10.36
117301017	\$76.62	117321009	\$10.36	117321052	\$10.36
117301018	\$85.88	117321010	\$10.36	117321053	\$10.36
117301019	\$76.62	117321011	\$10.36	117321054	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117301020	\$85.88	117321012	\$10.36	117321055	\$10.36
117302001	\$114.76	117321013	\$10.36	117321056	\$10.36
117302002	\$57.38	117321014	\$10.36	117321057	\$10.36
117302003	\$143.64	117321015	\$10.36	117321058	\$10.36
117302004	\$114.76	117321016	\$10.36	117321059	\$10.36
117302005	\$114.76	117321017	\$10.36	117321060	\$10.36
117302006	\$489.82	117321018	\$10.36	117321061	\$10.36
117302009	\$38.86	117321019	\$10.36	117321062	\$10.36
117302010	\$38.86	117321020	\$10.36	117321063	\$10.36
117302011	\$38.86	117321021	\$10.36	117321064	\$10.36
117302012	\$38.86	117321022	\$10.36	117321065	\$10.36
117302013	\$38.86	117321023	\$10.36	117321066	\$10.36
117302014	\$38.86	117321024	\$10.36	117321067	\$10.36
117302015	\$85.88	117321025	\$10.36	117321068	\$10.36
117302016	\$77.72	117321026	\$10.36	117321069	\$10.36
117302017	\$48.12	117321027	\$10.36	117321070	\$10.36
117320001	\$201.02	117321028	\$10.36	117321071	\$10.36
117320006	\$57.38	117321029	\$10.36	117321072	\$10.36
117320009	\$114.76	117321030	\$10.36	117321073	\$10.36
117320011	\$114.76	117321031	\$10.36	117321074	\$10.36
117320013	\$10.36	117321032	\$10.36	117321075	\$10.36
117320031	\$38.86	117321033	\$10.36	117321076	\$10.36
117320033	\$38.86	117321034	\$10.36	117321077	\$10.36
117320037	\$38.86	117321035	\$10.36	117321078	\$10.36
117320040	\$96.24	117321036	\$10.36	117321079	\$10.36
117320041	\$76.62	117321037	\$10.36	117321080	\$10.36
117320049	\$201.02	117321038	\$10.36	117321081	\$10.36
117320050	\$201.02	117321039	\$10.36	117321082	\$10.36
117320056	\$114.76	117321040	\$10.36	117321083	\$10.36
117321084	\$10.36	117322025	\$11.78	117323028	\$15.76
117321085	\$10.36	117322026	\$11.78	117323029	\$15.76
117321086	\$10.36	117322027	\$11.78	117323030	\$15.76
117321087	\$10.36	117322028	\$11.78	117323031	\$15.76
117321088	\$10.36	117322029	\$11.78	117323032	\$15.76
117321089	\$10.36	117322030	\$11.78	117323033	\$15.76
117321090	\$10.36	117322031	\$11.78	117323034	\$15.76
117321091	\$10.36	117322032	\$11.78	117323035	\$15.76
117321092	\$10.36	117322033	\$11.78	117323036	\$15.76
117321093	\$10.36	117322034	\$11.78	117331001	\$57.38
117321094	\$10.36	117322035	\$11.78	117331005	\$143.64
117321095	\$10.36	117322036	\$11.78	117331006	\$22.92
117321096	\$10.36	117322037	\$11.78	117331011	\$38.86
117321097	\$10.36	117322038	\$11.78	117331014	\$86.26
117321098	\$10.36	117322039	\$11.78	117332003	\$29.98
117321099	\$10.36	117322040	\$11.78	117332004	\$172.52
117321100	\$10.36	117323001	\$15.76	117332005	\$143.64



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117321101	\$10.36	117323002	\$15.76	117332006	\$143.64
117321102	\$10.36	117323003	\$15.76	117332007	\$48.12
117322001	\$11.78	117323004	\$15.76	117332008	\$48.12
117322002	\$11.78	117323005	\$15.76	117332009	\$57.38
117322003	\$11.78	117323006	\$15.76	117332010	\$57.38
117322004	\$11.78	117323007	\$15.76	117332011	\$57.38
117322005	\$11.78	117323008	\$15.76	117332012	\$48.12
117322006	\$11.78	117323009	\$15.76	117332015	\$19.62
117322007	\$11.78	117323010	\$15.76	117332016	\$11.46
117322008	\$11.78	117323011	\$15.76	117333004	\$172.52
117322009	\$11.78	117323012	\$15.76	117333005	\$143.64
117322010	\$11.78	117323013	\$15.76	117333006	\$172.52
117322011	\$11.78	117323014	\$15.76	117333007	\$39.96
117322012	\$11.78	117323015	\$15.76	117333008	\$229.14
117322013	\$11.78	117323016	\$15.76	117334001	\$38.86
117322014	\$11.78	117323017	\$15.76	117334002	\$38.86
117322015	\$11.78	117323018	\$15.76	117334003	\$38.86
117322016	\$11.78	117323019	\$15.76	117334004	\$57.38
117322017	\$11.78	117323020	\$15.76	117334005	\$57.38
117322018	\$11.78	117323021	\$15.76	117334006	\$38.86
117322019	\$11.78	117323022	\$15.76	117334007	\$38.86
117322020	\$11.78	117323023	\$15.76	117334008	\$38.86
117322021	\$11.78	117323024	\$15.76	117334009	\$38.86
117322022	\$11.78	117323025	\$15.76	117334010	\$38.86
117322023	\$11.78	117323026	\$15.76	117334011	\$34.22
117322024	\$11.78	117323027	\$15.76	117334012	\$38.86
117334013	\$38.86	118030020	\$143.64	118030077	\$288.04
117334014	\$38.86	118030021	\$143.64	118030078	\$316.54
117334015	\$38.86	118030022	\$143.64	118030079	\$286.90
117334016	\$38.86	118030023	\$143.64	118030080	\$258.78
117334020	\$34.22	118030024	\$143.64	118030081	\$287.28
117334021	\$48.12	118030025	\$143.64	118040008	\$403.18
117334022	\$38.86	118030026	\$143.64	118040009	\$403.18
117334023	\$38.86	118030027	\$143.64	118040014	\$172.14
117334027	\$38.86	118030028	\$143.64	118040015	\$172.14
117334028	\$48.12	118030029	\$143.64	118040016	\$172.14
117334030	\$88.08	118030030	\$143.64	118040017	\$373.92
117334031	\$77.72	118030031	\$143.64	118040019	\$402.42
117340017	\$143.64	118030035	\$258.78	118040020	\$431.30
117340019	\$86.98	118030036	\$172.14	118040022	\$517.94
117340020	\$57.38	118030037	\$172.14	118040025	\$172.14
117340021	\$57.38	118030038	\$143.64	118040028	\$143.64
117340024	\$48.12	118030040	\$172.14	118040029	\$143.64
117340026	\$48.12	118030041	\$172.14	118040034	\$344.66
117340027	\$48.12	118030042	\$172.14	118040035	\$315.40
117340028	\$48.12	118030043	\$172.14	118040036	\$259.16

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
117340029	\$57.38	118030044	\$172.14	118040038	\$171.76
117340033	\$86.26	118030045	\$172.14	118040039	\$718.96
117340043	\$447.54	118030046	\$172.14	118040041	\$230.28
117350001	\$723.66	118030047	\$172.14	118040042	\$201.02
117350002	\$48.12	118030049	\$85.88	118040043	\$172.90
117350003	\$115.14	118030050	\$114.76	118040044	\$917.32
118020010	\$836.00	118030051	\$114.76	118040045	\$603.06
118020012	\$57.38	118030052	\$114.76	118040046	\$489.06
118020013	\$86.26	118030053	\$114.76	118050003	\$96.24
118020014	\$86.26	118030054	\$114.76	118050004	\$96.24
118020015	\$115.14	118030055	\$57.38	118050005	\$96.24
118020016	\$86.26	118030056	\$57.38	118050006	\$96.24
118020017	\$86.26	118030057	\$57.38	118050007	\$96.24
118020018	\$115.14	118030058	\$57.38	118050008	\$96.24
118020019	\$115.14	118030059	\$114.76	118050009	\$96.24
118020020	\$115.14	118030060	\$114.76	118050010	\$96.24
118020021	\$115.14	118030064	\$57.38	118050011	\$96.24
118020022	\$115.14	118030065	\$57.38	118050012	\$96.24
118030001	\$116.96	118030067	\$1,121.76	118050014	\$114.76
118030010	\$313.50	118030073	\$487.92	118050015	\$143.64
118030016	\$143.64	118030074	\$230.28	118050016	\$201.40
118030018	\$143.64	118030075	\$345.80	118050017	\$136.58
118030019	\$143.64	118030076	\$403.56	118050018	\$143.64
118050019	\$115.14	118090006	\$288.80	118104009	\$10.36
118050020	\$116.96	118101002	\$38.86	118104010	\$10.36
118050021	\$114.76	118101003	\$38.86	118104011	\$10.36
118050022	\$143.64	118101004	\$38.86	118104012	\$10.36
118050024	\$373.92	118101005	\$38.86	118104013	\$10.36
118050025	\$124.74	118101006	\$38.86	118104014	\$10.36
118050026	\$153.24	118101007	\$38.86	118104015	\$10.36
118060004	\$664.24	118101008	\$38.86	118104016	\$10.36
118060006	\$718.58	118101009	\$38.86	118104017	\$10.36
118060018	\$106.60	118101010	\$38.86	118104018	\$10.36
118060020	\$518.32	118101011	\$38.86	118104019	\$10.36
118060021	\$316.54	118101012	\$38.86	118104020	\$10.36
118060023	\$258.78	118101013	\$38.86	118104021	\$10.36
118060024	\$287.66	118101016	\$38.86	118104022	\$10.36
118060025	\$375.06	118102001	\$38.86	118104023	\$10.36
118060026	\$288.42	118102002	\$38.86	118104024	\$10.36
118060027	\$229.90	118102003	\$38.86	118104025	\$10.36
118060028	\$229.90	118102004	\$38.86	118104027	\$24.60
118060029	\$201.40	118102005	\$38.86	118104028	\$24.60
118060030	\$258.78	118102006	\$38.86	118104029	\$24.60
118060031	\$374.30	118102007	\$38.86	118104030	\$24.60
118060032	\$316.54	118102008	\$38.86	118104032	\$10.36
118060037	\$229.90	118102009	\$38.86	118104033	\$10.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118060039	\$346.56	118102010	\$38.86	118104034	\$10.36
118060042	\$317.68	118102011	\$38.86	118104035	\$10.36
118060043	\$346.56	118102013	\$96.24	118104036	\$10.36
118060044	\$404.32	118103002	\$38.86	118104037	\$10.36
118060045	\$173.28	118103003	\$48.12	118104038	\$10.36
118070010	\$488.68	118103004	\$39.24	118104039	\$10.36
118070011	\$114.76	118103005	\$19.62	118104040	\$10.36
118070019	\$233.92	118103006	\$10.36	118104041	\$10.36
118070024	\$519.84	118103007	\$10.36	118104042	\$10.36
118070025	\$287.66	118103008	\$10.36	118104043	\$10.36
118070026	\$316.54	118103009	\$10.36	118104044	\$10.36
118070027	\$1,297.32	118103013	\$272.82	118104045	\$10.36
118070028	\$547.58	118104001	\$10.36	118104046	\$10.36
118070029	\$1,790.18	118104002	\$10.36	118104047	\$10.36
118070031	\$833.34	118104003	\$10.36	118104048	\$10.36
118070032	\$316.54	118104004	\$10.36	118104049	\$10.36
118070033	\$315.78	118104005	\$10.36	118111005	\$96.24
118070034	\$136.58	118104006	\$10.36	118111006	\$77.72
118070035	\$517.94	118104007	\$10.36	118111007	\$135.48
118090004	\$1,154.82	118104008	\$10.36	118111008	\$317.22
118112003	\$77.72	118122005	\$38.86	118140007	\$48.12
118112004	\$38.86	118122006	\$38.86	118140008	\$38.86
118112005	\$38.86	118122007	\$38.86	118140009	\$38.86
118112006	\$38.86	118122008	\$38.86	118140010	\$38.86
118112007	\$38.86	118122009	\$38.86	118140013	\$48.12
118112008	\$38.86	118122010	\$38.86	118140014	\$48.12
118112009	\$38.86	118122011	\$38.86	118140015	\$48.12
118112010	\$38.86	118122012	\$38.86	118140016	\$48.12
118112011	\$38.86	118122013	\$77.72	118140019	\$34.22
118112012	\$38.86	118123001	\$48.12	118140020	\$34.22
118112013	\$38.86	118123002	\$10.36	118140021	\$38.86
118112014	\$38.86	118123003	\$19.62	118140022	\$38.86
118113001	\$38.86	118123004	\$10.36	118140023	\$38.86
118113002	\$48.12	118123005	\$19.62	118140024	\$38.86
118113003	\$38.86	118123006	\$10.36	118140025	\$38.86
118113004	\$38.86	118123007	\$10.36	118140026	\$48.12
118113005	\$38.86	118123008	\$10.36	118140033	\$38.86
118113006	\$38.86	118123009	\$38.86	118140034	\$38.86
118113007	\$38.86	118123010	\$38.86	118140035	\$38.86
118113008	\$108.80	118123011	\$34.22	118140036	\$38.86
118113009	\$38.86	118123012	\$38.86	118140037	\$38.86
118113011	\$48.12	118123013	\$48.12	118140038	\$34.22
118113013	\$38.86	118123014	\$38.86	118140039	\$38.86
118113014	\$38.86	118123015	\$38.86	118140040	\$48.12
118121002	\$38.86	118124001	\$38.86	118140041	\$48.12
118121003	\$38.86	118124002	\$38.86	118140042	\$48.12

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118121004	\$38.86	118124003	\$38.86	118140043	\$48.12
118121005	\$38.86	118124004	\$38.86	118140044	\$38.86
118121006	\$38.86	118124005	\$38.86	118140045	\$38.86
118121007	\$38.86	118124006	\$38.86	118140046	\$38.86
118121008	\$38.86	118124008	\$38.86	118140050	\$38.86
118121009	\$38.86	118130013	\$103.44	118140051	\$38.86
118121010	\$38.86	118130014	\$131.94	118140052	\$38.86
118121011	\$38.86	118130019	\$172.52	118140053	\$38.86
118121012	\$38.86	118130021	\$172.52	118140054	\$38.86
118121013	\$38.86	118130022	\$166.56	118140057	\$38.86
118121014	\$38.86	118130023	\$86.26	118140062	\$34.22
118121015	\$38.86	118130028	\$490.20	118140063	\$38.86
118121016	\$836.00	118130029	\$143.64	118140066	\$38.86
118122001	\$38.86	118130030	\$201.40	118140068	\$179.88
118122002	\$38.86	118130031	\$44.96	118140071	\$114.76
118122003	\$38.86	118140005	\$38.86	118140076	\$38.86
118122004	\$38.86	118140006	\$48.12	118140077	\$67.36
118140078	\$114.38	118160086	\$144.40	118181005	\$5.72
118140081	\$57.38	118160087	\$172.52	118181006	\$10.36
118150009	\$402.80	118160092	\$655.04	118181007	\$10.36
118150010	\$461.70	118171012	\$10.36	118181008	\$19.62
118150011	\$38.86	118171013	\$10.36	118181009	\$38.86
118150012	\$38.86	118171014	\$10.36	118181010	\$38.86
118150013	\$57.38	118171015	\$39.24	118181011	\$38.86
118160014	\$374.30	118171016	\$77.72	118181012	\$48.12
118160015	\$374.30	118171019	\$48.12	118181013	\$38.86
118160023	\$143.64	118171020	\$48.12	118181014	\$34.22
118160024	\$143.64	118171021	\$48.12	118181015	\$48.12
118160025	\$143.64	118171022	\$48.12	118181016	\$38.86
118160026	\$143.64	118171023	\$48.12	118181017	\$38.86
118160027	\$1,412.84	118171024	\$48.12	118181018	\$38.86
118160039	\$201.02	118171027	\$48.12	118182001	\$38.86
118160046	\$518.32	118171028	\$48.12	118182002	\$38.86
118160047	\$432.06	118171029	\$48.12	118182003	\$38.86
118160053	\$172.52	118171030	\$48.12	118182004	\$38.86
118160054	\$143.64	118171031	\$48.12	118182005	\$38.86
118160055	\$114.76	118171032	\$48.12	118182006	\$38.86
118160056	\$114.76	118171033	\$48.12	118182007	\$38.86
118160059	\$114.76	118171034	\$48.12	118182008	\$48.12
118160060	\$114.76	118171035	\$48.12	118182009	\$38.86
118160061	\$114.76	118171036	\$48.12	118183005	\$48.12
118160062	\$114.76	118171037	\$48.12	118183025	\$10.36
118160063	\$114.76	118171038	\$48.12	118183027	\$374.68
118160064	\$114.76	118171040	\$48.12	118183034	\$48.12
118160065	\$114.76	118171041	\$48.12	118183035	\$48.12
118160066	\$143.64	118171042	\$48.12	118183036	\$48.12

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118160070	\$692.36	118171043	\$48.12	118183037	\$48.12
118160073	\$114.76	118171044	\$48.12	118183038	\$48.12
118160074	\$57.76	118171045	\$48.12	118183039	\$48.12
118160075	\$57.76	118171046	\$48.12	118183040	\$48.12
118160076	\$57.76	118171050	\$200.64	118183041	\$48.12
118160077	\$57.76	118171052	\$229.52	118183042	\$48.12
118160078	\$57.76	118171053	\$205.08	118183043	\$48.12
118160079	\$57.76	118171054	\$57.76	118183048	\$30.70
118160080	\$57.76	118171055	\$57.76	118183049	\$48.12
118160081	\$114.76	118171056	\$57.76	118183051	\$48.12
118160082	\$114.76	118181001	\$10.36	118183053	\$31.08
118160083	\$57.76	118181002	\$10.36	118183055	\$315.78
118160084	\$57.76	118181003	\$10.36	118183056	\$143.64
118160085	\$316.16	118181004	\$10.36	118191005	\$288.04
118191006	\$316.16	118230005	\$67.36	118242016	\$38.86
118191007	\$345.04	118230015	\$48.12	118242017	\$38.86
118191008	\$172.14	118230016	\$57.38	118242018	\$38.86
118192001	\$48.12	118230017	\$38.86	118242019	\$38.86
118192004	\$48.12	118230018	\$38.86	118242020	\$38.86
118192006	\$172.14	118230019	\$38.86	118242021	\$38.86
118192014	\$379.80	118230020	\$48.12	118242022	\$38.86
118192015	\$201.02	118230021	\$38.86	118242023	\$34.22
118192020	\$114.76	118230022	\$38.86	118242024	\$38.86
118192023	\$370.92	118230030	\$143.64	118242025	\$38.86
118192024	\$143.26	118230053	\$433.20	118242026	\$38.86
118201003	\$114.76	118230059	\$115.52	118250016	\$489.06
118201008	\$143.64	118230060	\$172.52	118250020	\$316.54
118201009	\$258.78	118230061	\$230.28	118250037	\$59.96
118201012	\$894.14	118230063	\$229.90	118250038	\$106.60
118201013	\$115.14	118241007	\$38.86	118250039	\$229.90
118201015	\$114.76	118241008	\$38.86	118250040	\$229.52
118201017	\$344.66	118241009	\$38.86	118250042	\$778.24
118202002	\$38.86	118241010	\$38.86	118260002	\$38.86
118202003	\$38.86	118241011	\$38.86	118260003	\$38.86
118202004	\$38.86	118241012	\$38.86	118260004	\$34.22
118202005	\$38.86	118241013	\$38.86	118260005	\$34.22
118202006	\$38.86	118241014	\$38.86	118260006	\$34.22
118202007	\$86.98	118241015	\$38.86	118260007	\$34.22
118203001	\$86.98	118241016	\$38.86	118260008	\$88.08
118203002	\$38.86	118241025	\$1,067.80	118260009	\$77.72
118203003	\$38.86	118241026	\$461.70	118260010	\$38.86
118203004	\$38.86	118241027	\$346.18	118260011	\$77.72
118203005	\$38.86	118241028	\$57.38	118260012	\$77.72
118203006	\$38.86	118241029	\$57.38	118260013	\$38.86
118203007	\$114.76	118241030	\$57.38	118260014	\$38.86
118203010	\$57.38	118242002	\$38.86	118260017	\$34.22

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118203011	\$172.52	118242003	\$38.86	118260018	\$1,787.90
118210028	\$316.54	118242004	\$38.86	118270012	\$253.20
118210040	\$862.60	118242005	\$38.86	118270034	\$201.78
118211001	\$38.28	118242006	\$38.86	118270035	\$662.72
118211002	\$38.28	118242007	\$38.86	118270036	\$230.66
118211003	\$38.28	118242008	\$38.86	118270038	\$258.40
118220005	\$690.84	118242010	\$38.86	118270039	\$230.28
118220007	\$776.72	118242011	\$38.86	118270040	\$28.88
118220011	\$662.72	118242013	\$38.86	118270041	\$86.64
118220013	\$489.06	118242014	\$38.86	118270042	\$172.90
118220014	\$1,670.86	118242015	\$38.86	118281001	\$38.86
118281002	\$38.86	118283028	\$57.38	118301011	\$38.86
118281003	\$48.12	118283032	\$172.14	118301012	\$38.86
118281004	\$38.86	118290001	\$38.86	118301013	\$38.86
118281005	\$38.86	118290002	\$38.86	118301014	\$38.86
118281006	\$38.86	118290003	\$38.86	118301015	\$38.86
118281007	\$38.86	118290004	\$38.86	118302002	\$135.48
118281008	\$38.86	118290005	\$38.86	118302004	\$49.22
118281009	\$38.86	118290006	\$38.86	118302005	\$49.22
118282001	\$38.86	118290007	\$38.86	118302006	\$49.22
118282002	\$38.86	118290008	\$38.86	118302020	\$67.74
118282003	\$38.86	118290009	\$38.86	118302026	\$397.56
118282004	\$38.86	118290010	\$38.86	118310001	\$403.56
118282005	\$38.86	118290011	\$38.86	118310002	\$403.56
118282006	\$38.86	118290012	\$38.86	118310003	\$138.06
118282007	\$38.86	118290013	\$38.86	118310004	\$201.40
118282008	\$38.86	118290014	\$38.86	118310006	\$143.64
118282009	\$38.86	118290015	\$242.46	118310007	\$143.64
118282010	\$143.64	118290017	\$38.86	118310008	\$143.64
118282011	\$57.38	118290018	\$49.22	118310009	\$143.64
118282012	\$57.38	118290019	\$77.72	118310010	\$201.02
118282013	\$114.76	118290020	\$38.86	118310011	\$201.02
118282014	\$114.76	118290021	\$38.86	118310012	\$229.90
118283001	\$67.74	118290022	\$38.86	118310013	\$229.90
118283002	\$67.74	118290026	\$38.86	118310014	\$229.90
118283003	\$67.74	118290028	\$77.72	118310015	\$229.90
118283004	\$67.74	118290029	\$38.86	118310016	\$114.76
118283005	\$67.74	118290033	\$38.86	118310017	\$114.76
118283006	\$67.74	118290034	\$59.58	118310018	\$114.76
118283007	\$48.12	118290035	\$87.36	118310019	\$114.76
118283008	\$96.24	118290036	\$48.12	118310020	\$114.76
118283009	\$96.24	118290037	\$114.76	118310021	\$114.76
118283013	\$96.24	118290038	\$67.36	118310023	\$201.40
118283014	\$144.36	118290039	\$77.72	118310024	\$114.76
118283015	\$48.12	118290041	\$106.98	118310025	\$143.64
118283016	\$48.12	118290042	\$408.30	118310026	\$316.16



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118283017	\$48.12	118290043	\$39.96	118310027	\$172.14
118283019	\$172.14	118290044	\$67.36	118310028	\$143.64
118283020	\$114.76	118290048	\$38.86	118310029	\$144.02
118283021	\$48.12	118290049	\$114.30	118310030	\$432.44
118283023	\$114.76	118301001	\$38.86	118320001	\$1,066.66
118283024	\$57.38	118301002	\$38.86	118320002	\$2,191.08
118283026	\$57.38	118301003	\$38.86	118320003	\$316.16
118283027	\$48.12	118301009	\$38.86	118320004	\$172.14
118320005	\$172.14	118360025	\$229.90	118360086	\$317.30
118320006	\$143.64	118360026	\$229.90	118360087	\$230.28
118320007	\$229.90	118360027	\$201.02	119031001	\$38.86
118320009	\$487.92	118360028	\$143.64	119031002	\$38.86
118320010	\$516.80	118360029	\$106.60	119031003	\$38.86
118330002	\$836.00	118360030	\$259.16	119031004	\$38.86
118330003	\$836.00	118360031	\$287.66	119031005	\$38.86
118330004	\$346.56	118360038	\$172.14	119031006	\$38.86
118330005	\$201.40	118360039	\$143.64	119031007	\$38.86
118330006	\$86.26	118360042	\$143.64	119031008	\$38.86
118330007	\$115.52	118360043	\$143.64	119031009	\$38.86
118330008	\$143.64	118360044	\$114.76	119031010	\$38.86
118330015	\$287.66	118360045	\$143.64	119031011	\$38.86
118330016	\$316.46	118360046	\$143.26	119031012	\$38.86
118330018	\$633.08	118360047	\$172.14	119031013	\$38.86
118330019	\$229.90	118360048	\$143.64	119032001	\$38.86
118330020	\$343.90	118360049	\$114.76	119032002	\$38.86
118340001	\$778.24	118360052	\$143.64	119032003	\$38.86
118340004	\$258.40	118360053	\$143.64	119032004	\$38.86
118340005	\$229.90	118360054	\$143.64	119032005	\$38.86
118340009	\$287.66	118360055	\$172.14	119032006	\$38.86
118340010	\$175.44	118360056	\$143.64	119032007	\$38.86
118340015	\$517.56	118360057	\$200.64	119032008	\$38.86
118351001	\$201.02	118360060	\$172.90	119032009	\$38.86
118351009	\$201.02	118360063	\$115.14	119032010	\$38.86
118351010	\$603.44	118360064	\$115.14	119032011	\$38.86
118351011	\$258.40	118360065	\$115.14	119032012	\$38.86
118352005	\$114.76	118360067	\$432.06	119032013	\$38.86
118352008	\$201.02	118360068	\$403.18	119032014	\$38.86
118352010	\$230.28	118360069	\$891.86	119032015	\$38.86
118352011	\$315.78	118360070	\$287.66	119032016	\$38.86
118352012	\$258.40	118360073	\$143.26	119032017	\$38.86
118360001	\$345.42	118360074	\$57.76	119032018	\$38.86
118360002	\$258.78	118360075	\$57.76	119032019	\$38.86
118360003	\$287.66	118360076	\$57.76	119032020	\$38.86
118360004	\$258.78	118360077	\$57.76	119032021	\$38.86
118360005	\$258.78	118360078	\$200.64	119032022	\$38.86
118360012	\$143.64	118360079	\$115.14	119032023	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
118360015	\$230.28	118360080	\$115.14	119032024	\$38.86
118360019	\$172.14	118360081	\$115.14	119032025	\$38.86
118360020	\$143.64	118360082	\$115.14	119032026	\$38.86
118360021	\$258.78	118360083	\$229.90	119032027	\$38.86
118360024	\$229.90	118360084	\$229.90	119032028	\$38.86
119032029	\$38.86	119042012	\$38.86	119042055	\$38.86
119032030	\$38.86	119042013	\$38.86	119042056	\$38.86
119032031	\$38.86	119042014	\$38.86	119042057	\$38.86
119032032	\$38.86	119042015	\$38.86	119042058	\$38.86
119032033	\$38.86	119042016	\$38.86	119042059	\$38.86
119032034	\$38.86	119042017	\$38.86	119043001	\$38.86
119032035	\$38.86	119042018	\$38.86	119043002	\$38.86
119032036	\$38.86	119042019	\$38.86	119043003	\$38.86
119032037	\$38.86	119042020	\$38.86	119043004	\$38.86
119032038	\$38.86	119042021	\$38.86	119043005	\$38.86
119041001	\$38.86	119042022	\$38.86	119043006	\$38.86
119041002	\$38.86	119042023	\$38.86	119043007	\$38.86
119041003	\$38.86	119042024	\$38.86	119043008	\$38.86
119041004	\$38.86	119042025	\$38.86	119043009	\$38.86
119041005	\$38.86	119042026	\$38.86	119043010	\$38.86
119041006	\$38.86	119042027	\$38.86	119043011	\$38.86
119041007	\$38.86	119042028	\$38.86	119043012	\$38.86
119041008	\$38.86	119042029	\$38.86	119043013	\$38.86
119041009	\$38.86	119042030	\$38.86	119043014	\$38.86
119041010	\$38.86	119042031	\$38.86	119043015	\$38.86
119041013	\$38.86	119042032	\$38.86	119043016	\$38.86
119041014	\$38.86	119042033	\$38.86	119051001	\$38.86
119041015	\$38.86	119042034	\$38.86	119051002	\$38.86
119041016	\$38.86	119042035	\$38.86	119051003	\$38.86
119041017	\$38.86	119042036	\$38.86	119051004	\$38.86
119041018	\$38.86	119042037	\$38.86	119051005	\$38.86
119041019	\$38.86	119042038	\$38.86	119051006	\$38.86
119041020	\$38.86	119042039	\$38.86	119051007	\$38.86
119041021	\$38.86	119042040	\$38.86	119051008	\$38.86
119041022	\$38.86	119042041	\$38.86	119051009	\$38.86
119041023	\$38.86	119042042	\$38.86	119051010	\$38.86
119041024	\$38.86	119042043	\$38.86	119051011	\$38.86
119042001	\$38.86	119042044	\$38.86	119051012	\$38.86
119042002	\$38.86	119042045	\$38.86	119051013	\$38.86
119042003	\$38.86	119042046	\$38.86	119051014	\$38.86
119042004	\$38.86	119042047	\$38.86	119051015	\$38.86
119042005	\$38.86	119042048	\$38.86	119051016	\$38.86
119042006	\$38.86	119042049	\$38.86	119051017	\$38.86
119042007	\$38.86	119042050	\$38.86	119051018	\$38.86
119042008	\$38.86	119042051	\$38.86	119051019	\$38.86
119042009	\$38.86	119042052	\$38.86	119051020	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119042010	\$38.86	119042053	\$38.86	119052001	\$38.86
119042011	\$38.86	119042054	\$38.86	119052002	\$38.86
119052003	\$38.86	119061022	\$10.36	119081010	\$48.12
119052004	\$38.86	119061023	\$10.36	119081011	\$48.12
119052005	\$38.86	119061025	\$10.36	119081012	\$68.46
119052006	\$38.86	119061026	\$10.36	119081013	\$48.12
119052007	\$38.86	119061027	\$10.36	119081014	\$48.12
119052008	\$38.86	119061028	\$10.36	119081015	\$48.12
119052009	\$38.86	119061029	\$10.36	119081016	\$96.24
119052010	\$38.86	119061030	\$10.36	119081017	\$48.12
119052011	\$38.86	119061031	\$10.36	119081018	\$48.12
119052012	\$38.86	119061033	\$10.36	119081019	\$48.12
119052014	\$38.86	119061034	\$10.36	119081020	\$48.12
119052015	\$38.86	119061035	\$10.36	119081021	\$48.12
119052016	\$38.86	119061036	\$10.36	119081022	\$48.12
119052017	\$38.86	119061037	\$10.36	119081023	\$48.12
119052018	\$38.86	119061038	\$10.36	119081024	\$48.12
119052019	\$38.86	119061039	\$10.36	119081025	\$48.12
119052020	\$38.86	119061041	\$10.36	119081026	\$48.12
119052021	\$38.86	119061043	\$10.36	119082001	\$48.12
119052022	\$38.86	119061044	\$10.36	119082002	\$48.12
119052023	\$38.86	119061045	\$10.36	119082003	\$48.12
119052024	\$38.86	119061046	\$10.36	119082004	\$48.12
119052025	\$38.86	119061047	\$10.36	119082005	\$48.12
119052026	\$38.86	119061048	\$10.36	119083001	\$48.12
119060020	\$80.30	119061050	\$10.36	119083002	\$48.12
119060022	\$126.94	119061051	\$10.36	119083003	\$48.12
119061001	\$10.36	119061052	\$10.36	119083004	\$48.12
119061002	\$10.36	119061053	\$10.36	119083005	\$48.12
119061003	\$10.36	119061054	\$10.36	119083006	\$48.12
119061004	\$10.36	119061055	\$10.36	119083007	\$48.12
119061005	\$10.36	119061056	\$10.36	119083008	\$48.12
119061006	\$10.36	119070008	\$438.66	119083009	\$48.12
119061007	\$10.36	119070010	\$545.64	119084001	\$48.12
119061008	\$10.36	119070014	\$467.16	119084002	\$48.12
119061009	\$10.36	119070032	\$800.70	119084003	\$48.12
119061010	\$10.36	119081001	\$96.24	119084004	\$48.12
119061011	\$10.36	119081002	\$48.12	119084005	\$48.12
119061013	\$10.36	119081003	\$48.12	119084006	\$48.12
119061014	\$10.36	119081004	\$48.12	119084007	\$48.12
119061015	\$10.36	119081005	\$48.12	119084008	\$48.12
119061018	\$10.36	119081006	\$48.12	119091001	\$38.86
119061019	\$10.36	119081007	\$48.12	119091002	\$38.86
119061020	\$10.36	119081008	\$48.12	119091003	\$38.86
119061021	\$10.36	119081009	\$48.12	119091004	\$38.86
119091005	\$38.86	119092025	\$38.86	119103014	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119091006	\$38.86	119092026	\$38.86	119103015	\$38.86
119091007	\$38.86	119092027	\$38.86	119103016	\$38.86
119091008	\$38.86	119092028	\$38.86	119103017	\$38.86
119091009	\$38.86	119092029	\$38.86	119103018	\$38.86
119091010	\$38.86	119092030	\$38.86	119103019	\$38.86
119091011	\$38.86	119092031	\$38.86	119103020	\$38.86
119091012	\$38.86	119092032	\$38.86	119104001	\$38.86
119091013	\$38.86	119092033	\$38.86	119104002	\$38.86
119091014	\$38.86	119092034	\$38.86	119104003	\$38.86
119091015	\$38.86	119092035	\$38.86	119104004	\$38.86
119091016	\$38.86	119092036	\$38.86	119104005	\$38.86
119091017	\$38.86	119092037	\$38.86	119104006	\$38.86
119091018	\$38.86	119101001	\$38.86	119104007	\$38.86
119091019	\$38.86	119101002	\$38.86	119104008	\$38.86
119091020	\$38.86	119101003	\$38.86	119104009	\$38.86
119091021	\$38.86	119101004	\$38.86	119104010	\$38.86
119091022	\$38.86	119101005	\$38.86	119104011	\$38.86
119091023	\$38.86	119101006	\$38.86	119104012	\$38.86
119091024	\$38.86	119101007	\$38.86	119104013	\$38.86
119091025	\$38.86	119101008	\$38.86	119104014	\$38.86
119092003	\$38.86	119101009	\$38.86	119104015	\$38.86
119092004	\$38.86	119102001	\$38.86	119104016	\$38.86
119092005	\$38.86	119102002	\$38.86	119104017	\$38.86
119092006	\$38.86	119102003	\$38.86	119104018	\$38.86
119092007	\$38.86	119102004	\$38.86	119104019	\$38.86
119092008	\$38.86	119102005	\$38.86	119104020	\$38.86
119092009	\$38.86	119102006	\$38.86	119104021	\$38.86
119092010	\$38.86	119102007	\$38.86	119111002	\$38.86
119092011	\$38.86	119102008	\$38.86	119111003	\$38.86
119092012	\$38.86	119103001	\$38.86	119111004	\$38.86
119092013	\$38.86	119103002	\$38.86	119111005	\$38.86
119092014	\$38.86	119103003	\$38.86	119111006	\$38.86
119092015	\$38.86	119103004	\$38.86	119111007	\$38.86
119092016	\$38.86	119103005	\$38.86	119111008	\$38.86
119092017	\$38.86	119103006	\$38.86	119111009	\$49.22
119092018	\$38.86	119103007	\$38.86	119111010	\$49.22
119092019	\$38.86	119103008	\$38.86	119111011	\$49.22
119092020	\$38.86	119103009	\$38.86	119111012	\$59.58
119092021	\$38.86	119103010	\$38.86	119112001	\$38.86
119092022	\$38.86	119103011	\$38.86	119112002	\$38.86
119092023	\$38.86	119103012	\$38.86	119112003	\$38.86
119092024	\$38.86	119103013	\$38.86	119112004	\$38.86
119112005	\$38.86	119130030	\$38.86	119170023	\$263.90
119112006	\$38.86	119130031	\$38.86	119180011	\$2,283.54
119112007	\$38.86	119131001	\$38.86	119190002	\$148.42
119112008	\$38.86	119131002	\$38.86	119190003	\$109.56

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119112009	\$38.86	119131003	\$38.86	119190011	\$489.44
119112010	\$38.86	119131004	\$38.86	119190014	\$316.16
119113001	\$49.22	119131005	\$38.86	119190015	\$288.04
119113002	\$38.86	119131006	\$38.86	119200006	\$779.00
119113003	\$38.86	119131007	\$38.86	119200007	\$778.62
119113004	\$38.86	119131008	\$38.86	119200008	\$864.88
119113005	\$38.86	119131009	\$38.86	119210003	\$48.12
119113006	\$38.86	119131010	\$38.86	119210016	\$116.96
119113007	\$38.86	119131011	\$38.86	119210017	\$165.08
119113008	\$38.86	119131012	\$38.86	119210028	\$1,153.30
119113009	\$38.86	119131013	\$38.86	119210029	\$948.86
119113010	\$38.86	119131014	\$38.86	119210031	\$821.68
119113011	\$49.22	119131015	\$38.86	119210036	\$1,613.86
119113012	\$38.86	119131016	\$38.86	119210038	\$1,405.86
119113013	\$38.86	119131017	\$38.86	119220036	\$2,043.26
119113014	\$38.86	119131018	\$38.86	119220037	\$917.54
119113015	\$38.86	119140004	\$38.86	119230011	\$316.54
119113016	\$38.86	119140005	\$38.86	119230012	\$287.28
119130002	\$38.86	119140007	\$38.86	119240002	\$143.26
119130003	\$38.86	119140008	\$38.86	119240003	\$114.38
119130004	\$38.86	119140009	\$38.86	119240004	\$114.38
119130005	\$38.86	119140010	\$38.86	119240005	\$201.02
119130006	\$38.86	119140011	\$38.86	119240006	\$143.26
119130007	\$38.86	119140012	\$38.86	119240007	\$143.26
119130008	\$38.86	119140013	\$38.86	119240008	\$374.30
119130009	\$38.86	119141001	\$38.86	119240013	\$1,067.04
119130010	\$38.86	119141002	\$38.86	119240014	\$287.28
119130011	\$38.86	119141003	\$38.86	119240019	\$344.66
119130012	\$38.86	119141004	\$38.86	119240020	\$201.02
119130017	\$38.86	119141005	\$38.86	119240021	\$316.16
119130018	\$38.86	119141006	\$38.86	119250002	\$5.72
119130019	\$38.86	119150018	\$856.10	119250006	\$189.10
119130020	\$38.86	119150020	\$225.04	119250007	\$375.06
119130021	\$38.86	119150022	\$49.60	119250015	\$288.42
119130022	\$38.86	119150024	\$166.56	119250017	\$603.44
119130026	\$38.86	119150026	\$562.22	119250021	\$546.82
119130027	\$38.86	119170020	\$730.26	119251001	\$13.78
119130028	\$38.86	119170021	\$641.80	119251002	\$13.78
119130029	\$38.86	119170022	\$439.34	119251003	\$13.78
119251004	\$13.78	119251047	\$13.78	119280041	\$172.90
119251005	\$13.78	119251048	\$13.78	119280042	\$172.90
119251006	\$13.78	119251049	\$13.78	119280043	\$172.90
119251007	\$13.78	119251050	\$13.78	119280044	\$431.30
119251008	\$13.78	119251051	\$13.78	119280045	\$231.04
119251009	\$13.78	119251052	\$13.78	119280047	\$604.58
119251010	\$13.78	119251053	\$13.78	119280048	\$691.60

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119251011	\$13.78	119251054	\$13.78	119280052	\$862.60
119251012	\$13.78	119251055	\$13.78	119280061	\$518.70
119251013	\$13.78	119251056	\$13.78	119280062	\$490.20
119251014	\$13.78	119251057	\$13.78	119280066	\$633.84
119251015	\$13.78	119251058	\$13.78	119280068	\$287.28
119251016	\$13.78	119251059	\$13.78	119280069	\$948.86
119251017	\$13.78	119251060	\$13.78	119280070	\$575.70
119251018	\$13.78	119251061	\$13.78	119280071	\$595.32
119251019	\$13.78	119251062	\$13.78	119290021	\$1,036.26
119251020	\$13.78	119251063	\$13.78	119290032	\$975.46
119251021	\$13.78	119251064	\$13.78	119290040	\$1,152.16
119251022	\$13.78	119251065	\$13.78	119290042	\$979.26
119251023	\$13.78	119251066	\$13.78	119290043	\$1,150.26
119251024	\$13.78	119251067	\$13.78	119290044	\$633.84
119251025	\$13.78	119261001	\$143.64	119290045	\$1,006.24
119251026	\$13.78	119261007	\$114.76	119290047	\$633.08
119251027	\$13.78	119261009	\$200.64	119290048	\$172.52
119251028	\$13.78	119261013	\$1,255.68	119290050	\$546.82
119251029	\$13.78	119262001	\$114.76	119300030	\$693.12
119251030	\$13.78	119262002	\$143.26	119300067	\$1,440.96
119251031	\$13.78	119262004	\$114.76	119300070	\$661.58
119251032	\$13.78	119262005	\$86.26	119300073	\$258.78
119251033	\$13.78	119262006	\$287.28	119300074	\$136.58
119251034	\$13.78	119270001	\$143.26	119300075	\$259.16
119251035	\$13.78	119270006	\$143.64	119300076	\$287.28
119251036	\$13.78	119270013	\$1,699.74	119300078	\$316.54
119251037	\$13.78	119270014	\$172.90	119300079	\$837.52
119251038	\$13.78	119270016	\$1,008.52	119300080	\$402.42
119251039	\$13.78	119270017	\$661.20	119301001	\$53.66
119251040	\$13.78	119280002	\$57.38	119301002	\$53.66
119251041	\$13.78	119280004	\$115.14	119301003	\$53.66
119251042	\$13.78	119280006	\$634.22	119301004	\$53.66
119251043	\$13.78	119280031	\$229.90	119301005	\$53.66
119251044	\$13.78	119280038	\$287.28	119301006	\$53.66
119251045	\$13.78	119280039	\$172.90	119301007	\$53.66
119251046	\$13.78	119280040	\$172.90	119301008	\$53.66
119301009	\$53.66	119311039	\$19.62	119332003	\$38.86
119301010	\$53.66	119311040	\$19.62	119332004	\$38.86
119301011	\$53.66	119311041	\$19.62	119332005	\$38.86
119301012	\$53.66	119311042	\$19.62	119332006	\$38.86
119301013	\$53.66	119311043	\$19.62	119332007	\$38.86
119301014	\$53.66	119320023	\$143.64	119332008	\$38.86
119301015	\$53.66	119320024	\$115.14	119333001	\$38.86
119301017	\$40.84	119320025	\$143.64	119333002	\$38.86
119301018	\$40.84	119320026	\$143.64	119333003	\$38.86
119301019	\$40.84	119320027	\$115.14	119333004	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119301020	\$40.84	119320028	\$114.76	119333005	\$38.86
119301021	\$40.84	119320029	\$114.76	119333006	\$38.86
119301022	\$40.84	119320030	\$143.64	119333007	\$38.86
119301023	\$40.84	119320032	\$172.14	119333008	\$38.86
119301024	\$40.84	119320036	\$574.56	119333009	\$38.86
119301025	\$40.84	119320037	\$574.56	119341001	\$38.86
119301026	\$40.84	119320038	\$631.18	119341002	\$38.86
119301027	\$40.84	119320039	\$144.40	119341003	\$38.86
119301028	\$40.84	119320056	\$115.14	119341004	\$38.86
119301029	\$40.84	119320057	\$115.14	119341005	\$38.86
119301030	\$40.84	119320061	\$114.38	119341006	\$38.86
119311002	\$258.40	119320062	\$802.94	119341007	\$38.86
119311003	\$85.88	119331001	\$38.86	119341008	\$38.86
119311004	\$114.76	119331002	\$38.86	119341009	\$38.86
119311005	\$143.64	119331003	\$38.86	119341010	\$38.86
119311008	\$85.88	119331004	\$38.86	119341011	\$38.86
119311013	\$19.62	119331005	\$38.86	119341012	\$38.86
119311014	\$19.62	119331006	\$38.86	119341013	\$38.86
119311015	\$28.88	119331007	\$38.86	119341014	\$38.86
119311016	\$19.62	119331008	\$38.86	119341015	\$38.86
119311017	\$19.62	119331009	\$38.86	119342001	\$38.86
119311018	\$48.12	119331010	\$38.86	119342002	\$38.86
119311019	\$76.62	119331011	\$38.86	119342003	\$38.86
119311025	\$229.90	119331012	\$38.86	119342004	\$38.86
119311029	\$19.62	119331013	\$38.86	119342005	\$38.86
119311030	\$19.62	119331014	\$38.86	119342006	\$38.86
119311032	\$114.76	119331015	\$38.86	119342007	\$38.86
119311033	\$114.76	119331016	\$38.86	119342008	\$38.86
119311034	\$114.76	119331017	\$38.86	119342009	\$38.86
119311035	\$143.64	119331018	\$38.86	119342010	\$38.86
119311036	\$172.52	119331019	\$38.86	119342011	\$38.86
119311037	\$172.14	119332001	\$38.86	119342012	\$38.86
119311038	\$114.76	119332002	\$38.86	119342013	\$38.86
119342014	\$38.86	119381005	\$38.86	119390010	\$38.86
119342015	\$38.86	119381006	\$38.86	119390011	\$38.86
119342016	\$38.86	119381007	\$38.86	119390012	\$38.86
119342017	\$38.86	119381008	\$38.86	119390013	\$38.86
119343001	\$38.86	119381009	\$38.86	119391001	\$38.86
119343002	\$38.86	119381010	\$38.86	119391002	\$38.86
119343003	\$38.86	119381011	\$38.86	119391003	\$38.86
119344001	\$38.86	119381012	\$38.86	119392001	\$38.86
119344002	\$38.86	119381013	\$38.86	119392002	\$38.86
119344003	\$38.86	119381014	\$38.86	119392003	\$38.86
119344004	\$38.86	119381015	\$38.86	119392004	\$38.86
119344005	\$38.86	119381016	\$38.86	119392005	\$38.86
119344006	\$38.86	119381017	\$38.86	119392006	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119344007	\$38.86	119381018	\$38.86	119392007	\$38.86
119344008	\$38.86	119381019	\$38.86	119392008	\$38.86
119344009	\$38.86	119381020	\$38.86	119392009	\$38.86
119344010	\$38.86	119381021	\$38.86	119392010	\$38.86
119351001	\$38.86	119381022	\$38.86	119392011	\$38.86
119351002	\$38.86	119381023	\$38.86	119392012	\$38.86
119351003	\$38.86	119381024	\$38.86	119392013	\$38.86
119351004	\$38.86	119381025	\$38.86	119392014	\$38.86
119351005	\$38.86	119381026	\$38.86	119392015	\$38.86
119351006	\$38.86	119381027	\$38.86	119392016	\$38.86
119351007	\$38.86	119381028	\$38.86	119392017	\$38.86
119351008	\$38.86	119381029	\$38.86	119392018	\$38.86
119351009	\$38.86	119381030	\$38.86	119392019	\$38.86
119352001	\$38.86	119381031	\$38.86	119392020	\$38.86
119352002	\$38.86	119382001	\$38.86	119392021	\$38.86
119352003	\$38.86	119382002	\$38.86	119392022	\$38.86
119352004	\$38.86	119382003	\$38.86	119392023	\$38.86
119352005	\$38.86	119382004	\$38.86	119392024	\$38.86
119352006	\$38.86	119382005	\$38.86	119393001	\$38.86
119352007	\$38.86	119382006	\$38.86	119393002	\$38.86
119352008	\$38.86	119382007	\$38.86	119393003	\$38.86
119352009	\$38.86	119390001	\$38.86	119393004	\$38.86
119352010	\$38.86	119390002	\$38.86	119393005	\$38.86
119352011	\$38.86	119390003	\$38.86	119393006	\$38.86
119352012	\$38.86	119390004	\$38.86	119393007	\$38.86
119352013	\$38.86	119390005	\$38.86	119393008	\$38.86
119381001	\$38.86	119390006	\$38.86	119393009	\$38.86
119381002	\$38.86	119390007	\$38.86	119393010	\$38.86
119381003	\$38.86	119390008	\$38.86	119393011	\$38.86
119381004	\$38.86	119390009	\$38.86	119393012	\$38.86
119393013	\$38.86	119412003	\$38.86	119414012	\$38.86
119393014	\$38.86	119412004	\$38.86	119414013	\$38.86
119393015	\$38.86	119412005	\$38.86	119414014	\$38.86
119393016	\$38.86	119412006	\$38.86	119414016	\$38.86
119393017	\$38.86	119412007	\$38.86	119421001	\$38.86
119393018	\$38.86	119412008	\$38.86	119421002	\$38.86
119393019	\$38.86	119413001	\$38.86	119421003	\$38.86
119393020	\$38.86	119413002	\$38.86	119421004	\$38.86
119393021	\$38.86	119413003	\$38.86	119422001	\$38.86
119393022	\$38.86	119413004	\$38.86	119422002	\$38.86
119393023	\$38.86	119413005	\$38.86	119422003	\$38.86
119393024	\$38.86	119413006	\$38.86	119422004	\$38.86
119393025	\$38.86	119413007	\$38.86	119422005	\$38.86
119393026	\$38.86	119413008	\$38.86	119422006	\$38.86
119393027	\$38.86	119413009	\$38.86	119422007	\$38.86
119400001	\$143.64	119413010	\$38.86	119422008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119400002	\$143.64	119413011	\$38.86	119422009	\$38.86
119400003	\$172.90	119413012	\$38.86	119422010	\$38.86
119400004	\$172.90	119413013	\$38.86	119422011	\$38.86
119400005	\$143.64	119413014	\$38.86	119422012	\$38.86
119400006	\$172.14	119413015	\$38.86	119422013	\$38.86
119400007	\$172.14	119413016	\$38.86	119422014	\$38.86
119400008	\$229.90	119413017	\$38.86	119423001	\$38.86
119400010	\$315.40	119413018	\$38.86	119423002	\$38.86
119400011	\$86.26	119413019	\$38.86	119423003	\$38.86
119400012	\$57.76	119413020	\$38.86	119423004	\$38.86
119400013	\$57.76	119413021	\$38.86	119423005	\$38.86
119400014	\$57.76	119413022	\$38.86	119423006	\$38.86
119400015	\$57.76	119413023	\$38.86	119423007	\$38.86
119400016	\$57.76	119413024	\$38.86	119423008	\$38.86
119411003	\$38.86	119413025	\$38.86	119423009	\$38.86
119411004	\$38.86	119413026	\$38.86	119424001	\$38.86
119411005	\$38.86	119413027	\$38.86	119424002	\$38.86
119411006	\$38.86	119414001	\$38.86	119424003	\$38.86
119411007	\$38.86	119414002	\$38.86	119424004	\$38.86
119411008	\$38.86	119414003	\$38.86	119424005	\$38.86
119411009	\$38.86	119414004	\$38.86	119424006	\$38.86
119411010	\$38.86	119414005	\$38.86	119425001	\$38.86
119411011	\$38.86	119414006	\$38.86	119425002	\$38.86
119411017	\$38.86	119414007	\$38.86	119425003	\$38.86
119411018	\$38.86	119414008	\$38.86	119425004	\$38.86
119412001	\$38.86	119414010	\$38.86	119425005	\$38.86
119412002	\$38.86	119414011	\$38.86	119425006	\$38.86
119425007	\$38.86	119462025	\$38.86	119465003	\$38.86
119425008	\$38.86	119462026	\$38.86	119471006	\$38.86
119425009	\$38.86	119462027	\$38.86	119471007	\$38.86
119425010	\$38.86	119462028	\$38.86	119471008	\$38.86
119425011	\$80.30	119462029	\$38.86	119471009	\$38.86
119425012	\$59.58	119462030	\$38.86	119471010	\$38.86
119425013	\$38.86	119462031	\$38.86	119471011	\$38.86
119425014	\$38.86	119462032	\$38.86	119471012	\$38.86
119425015	\$38.86	119462033	\$38.86	119471013	\$38.86
119425016	\$38.86	119462034	\$38.86	119471014	\$38.86
119425017	\$38.86	119462035	\$38.86	119471015	\$38.86
119425018	\$49.22	119462036	\$38.86	119471016	\$38.86
119425019	\$49.22	119462037	\$38.86	119471017	\$38.86
119425020	\$38.86	119462038	\$38.86	119471018	\$38.86
119425021	\$38.86	119462048	\$38.86	119471019	\$38.86
119461003	\$38.86	119462050	\$38.86	119472001	\$38.86
119461004	\$38.86	119462052	\$38.86	119472002	\$38.86
119461005	\$38.86	119462053	\$38.86	119472003	\$38.86
119461006	\$38.86	119463003	\$38.86	119472004	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119461007	\$38.86	119463004	\$38.86	119472005	\$38.86
119461008	\$38.86	119463005	\$38.86	119472006	\$38.86
119461009	\$38.86	119463006	\$38.86	119473001	\$38.86
119461010	\$38.86	119463010	\$38.86	119473002	\$38.86
119461011	\$38.86	119463011	\$38.86	119473003	\$38.86
119462002	\$38.86	119463012	\$38.86	119473004	\$38.86
119462003	\$38.86	119463013	\$38.86	119473005	\$38.86
119462004	\$38.86	119463014	\$38.86	119473006	\$38.86
119462005	\$38.86	119463015	\$38.86	119473007	\$38.86
119462006	\$38.86	119463016	\$38.86	119474001	\$38.86
119462007	\$38.86	119463017	\$38.86	119474002	\$38.86
119462012	\$38.86	119463018	\$38.86	119474003	\$38.86
119462013	\$38.86	119463019	\$38.86	119474004	\$38.86
119462014	\$38.86	119463020	\$38.86	119474005	\$38.86
119462015	\$38.86	119464001	\$38.86	119474006	\$38.86
119462016	\$38.86	119464002	\$38.86	119474007	\$38.86
119462017	\$38.86	119464003	\$38.86	119474008	\$38.86
119462018	\$38.86	119464004	\$38.86	119474009	\$38.86
119462019	\$38.86	119464005	\$38.86	119474010	\$38.86
119462020	\$38.86	119464006	\$38.86	119474011	\$38.86
119462021	\$38.86	119464007	\$38.86	119474012	\$38.86
119462022	\$38.86	119464008	\$38.86	119474013	\$38.86
119462023	\$38.86	119465001	\$38.86	119475001	\$38.86
119462024	\$38.86	119465002	\$38.86	119475002	\$38.86
119475003	\$38.86	119484002	\$38.86	119490024	\$15.48
119475004	\$38.86	119484003	\$38.86	119490025	\$15.48
119475005	\$38.86	119484004	\$38.86	119490026	\$15.48
119475006	\$38.86	119484005	\$38.86	119490027	\$15.48
119475007	\$38.86	119484006	\$38.86	119490028	\$15.48
119481001	\$38.86	119484007	\$38.86	119490029	\$15.48
119481002	\$38.86	119485001	\$38.86	119490030	\$15.48
119481003	\$38.86	119485002	\$38.86	119490031	\$15.48
119482005	\$38.86	119485003	\$38.86	119490032	\$15.48
119482006	\$38.86	119485004	\$38.86	119490033	\$15.48
119482007	\$38.86	119485005	\$38.86	119490034	\$15.48
119482008	\$38.86	119485006	\$38.86	119490035	\$15.48
119482009	\$38.86	119485007	\$38.86	119490036	\$15.48
119482010	\$38.86	119485008	\$38.86	119490037	\$15.48
119482011	\$38.86	119485009	\$38.86	119490038	\$15.48
119482012	\$38.86	119485010	\$38.86	119490039	\$15.48
119482013	\$38.86	119486001	\$38.86	119490040	\$15.48
119482014	\$38.86	119486002	\$38.86	119490041	\$15.48
119482015	\$38.86	119486003	\$38.86	119490042	\$15.48
119482016	\$38.86	119486004	\$38.86	119490043	\$15.48
119482017	\$38.86	119490001	\$15.48	119490044	\$15.48
119482018	\$38.86	119490002	\$15.48	119490045	\$15.48



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119482019	\$38.86	119490003	\$15.48	119490046	\$15.48
119483003	\$38.86	119490004	\$15.48	119490047	\$15.48
119483004	\$38.86	119490005	\$15.48	119490048	\$15.48
119483005	\$38.86	119490006	\$15.48	119490049	\$15.48
119483006	\$38.86	119490007	\$15.48	119490050	\$15.48
119483007	\$38.86	119490008	\$15.48	119490051	\$15.48
119483008	\$49.22	119490009	\$15.48	119490052	\$15.48
119483009	\$59.58	119490010	\$15.48	119490053	\$15.48
119483010	\$49.22	119490011	\$15.48	119490054	\$15.48
119483011	\$59.58	119490012	\$15.48	119490055	\$15.48
119483012	\$49.22	119490013	\$15.48	119490056	\$15.48
119483013	\$49.22	119490014	\$15.48	119490057	\$15.48
119483014	\$49.22	119490015	\$15.48	119490058	\$15.48
119483015	\$59.58	119490016	\$15.48	119490059	\$15.48
119483016	\$59.58	119490017	\$15.48	119490060	\$15.48
119483017	\$59.58	119490018	\$15.48	119490061	\$15.48
119483018	\$59.58	119490019	\$15.48	119490062	\$15.48
119483019	\$59.58	119490020	\$15.48	119490063	\$15.48
119483022	\$101.02	119490021	\$15.48	119490064	\$15.48
119483023	\$69.94	119490022	\$15.48	119490066	\$15.48
119484001	\$38.86	119490023	\$15.48	119490067	\$15.48
119490068	\$15.48	119512019	\$15.48	119521015	\$15.48
119490069	\$15.48	119512020	\$15.48	119521016	\$15.48
119490070	\$15.48	119512021	\$15.48	119521017	\$15.48
119490071	\$15.48	119512022	\$15.48	119521018	\$15.48
119490072	\$15.48	119512023	\$15.48	119521019	\$15.48
119490073	\$15.48	119512024	\$15.48	119521020	\$15.48
119501012	\$274.44	119512025	\$15.48	119521021	\$15.48
119501013	\$245.94	119512026	\$15.48	119521022	\$15.48
119501014	\$302.94	119512027	\$15.48	119521023	\$15.48
119501015	\$302.94	119512028	\$15.48	119521024	\$15.48
119502008	\$143.64	119512029	\$15.48	119522001	\$15.48
119502009	\$143.64	119512030	\$15.48	119522002	\$15.48
119502010	\$172.52	119513001	\$15.48	119522003	\$15.48
119502011	\$373.92	119513002	\$15.48	119522004	\$15.48
119502018	\$143.64	119513003	\$15.48	119522005	\$15.48
119502019	\$115.14	119513004	\$15.48	119522006	\$15.48
119502020	\$143.64	119513005	\$15.48	119522007	\$15.48
119502021	\$201.02	119513006	\$15.48	119522008	\$15.48
119502022	\$258.78	119513007	\$15.48	119522009	\$15.48
119511001	\$15.48	119513008	\$15.48	119522010	\$15.48
119511002	\$15.48	119513009	\$15.48	119522011	\$15.48
119511003	\$15.48	119513010	\$15.48	119522012	\$15.48
119511004	\$15.48	119514001	\$15.48	119522013	\$15.48
119511005	\$15.48	119514002	\$15.48	119522014	\$15.48
119511006	\$15.48	119514003	\$15.48	119522015	\$15.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119511007	\$15.48	119514004	\$15.48	119523001	\$15.48
119512001	\$15.48	119515001	\$15.48	119523002	\$15.48
119512002	\$15.48	119515002	\$15.48	119523003	\$15.48
119512003	\$15.48	119515003	\$15.48	119523004	\$15.48
119512004	\$15.48	119515004	\$15.48	119523005	\$15.48
119512005	\$15.48	119521001	\$15.48	119523006	\$15.48
119512006	\$15.48	119521002	\$15.48	119523007	\$15.48
119512007	\$15.48	119521003	\$15.48	119523008	\$15.48
119512008	\$15.48	119521004	\$15.48	119530001	\$15.48
119512009	\$15.48	119521005	\$15.48	119530002	\$15.48
119512011	\$15.48	119521006	\$15.48	119530003	\$15.48
119512012	\$15.48	119521007	\$15.48	119530004	\$15.48
119512013	\$15.48	119521008	\$15.48	119530008	\$15.48
119512014	\$15.48	119521009	\$15.48	119530009	\$15.48
119512015	\$15.48	119521011	\$15.48	119530010	\$15.48
119512016	\$15.48	119521012	\$15.48	119530011	\$15.48
119512017	\$15.48	119521013	\$15.48	119530012	\$15.48
119512018	\$15.48	119521014	\$15.48	119530013	\$15.48
119530015	\$15.48	119540014	\$15.48	119550002	\$15.48
119530016	\$15.48	119540015	\$15.48	119550003	\$15.48
119530017	\$15.48	119540016	\$15.48	119550004	\$15.48
119530018	\$15.48	119540017	\$15.48	119550005	\$15.48
119530019	\$15.48	119540018	\$15.48	119550006	\$15.48
119530020	\$15.48	119540019	\$15.48	119550007	\$15.48
119530021	\$15.48	119540020	\$15.48	119550008	\$15.48
119530022	\$15.48	119540021	\$15.48	119550009	\$15.48
119530023	\$15.48	119540022	\$15.48	119550015	\$15.48
119530025	\$15.48	119540023	\$15.48	119550016	\$15.48
119530026	\$15.48	119540024	\$15.48	119550017	\$15.48
119530028	\$15.48	119540026	\$15.48	119550018	\$15.48
119530029	\$15.48	119540027	\$15.48	119550019	\$15.48
119530030	\$15.48	119540028	\$15.48	119550020	\$15.48
119530031	\$15.48	119540029	\$15.48	119550021	\$15.48
119530032	\$15.48	119540030	\$15.48	119550022	\$15.48
119530033	\$15.48	119540031	\$15.48	119550023	\$15.48
119530034	\$15.48	119540032	\$15.48	119550024	\$15.48
119530035	\$15.48	119540033	\$15.48	119550025	\$15.48
119530036	\$15.48	119540034	\$15.48	119550026	\$15.48
119530038	\$15.48	119540035	\$15.48	119550027	\$15.48
119530039	\$15.48	119540037	\$15.48	119550028	\$15.48
119530040	\$15.48	119540038	\$15.48	119550029	\$15.48
119530041	\$15.48	119540039	\$15.48	119550030	\$15.48
119530042	\$15.48	119540040	\$15.48	119550031	\$15.48
119530044	\$15.48	119540041	\$15.48	119550032	\$15.48
119530047	\$15.48	119540042	\$15.48	119550033	\$15.48
119530048	\$15.48	119540043	\$15.48	119550034	\$15.48

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119530049	\$15.48	119540044	\$15.48	119550035	\$15.48
119530052	\$15.48	119540045	\$15.48	119550036	\$15.48
119530053	\$15.48	119540046	\$15.48	119550037	\$15.48
119540001	\$15.48	119540047	\$15.48	119550039	\$15.48
119540002	\$15.48	119540048	\$15.48	119550040	\$15.48
119540003	\$15.48	119540049	\$15.48	119550041	\$15.48
119540004	\$15.48	119540050	\$15.48	119550042	\$15.48
119540006	\$15.48	119540051	\$15.48	119550043	\$15.48
119540007	\$15.48	119540052	\$15.48	119550044	\$15.48
119540008	\$15.48	119540053	\$15.48	119550045	\$15.48
119540009	\$15.48	119540054	\$15.48	119550046	\$15.48
119540010	\$15.48	119540055	\$15.48	119550047	\$15.48
119540011	\$15.48	119540056	\$15.48	119550048	\$15.48
119540012	\$15.48	119540057	\$15.48	119550049	\$15.48
119540013	\$15.48	119550001	\$15.48	119550050	\$15.48
119550051	\$15.48	120032014	\$67.36	120034013	\$38.86
119550052	\$15.48	120032015	\$38.86	120034015	\$38.86
119550053	\$15.48	120032016	\$38.86	120034016	\$38.86
119550054	\$15.48	120032017	\$38.86	120034017	\$38.86
119550055	\$15.48	120032018	\$38.86	120034018	\$38.86
119550056	\$15.48	120032019	\$38.86	120034019	\$67.36
119550062	\$15.48	120032020	\$38.86	120034020	\$38.86
119550063	\$15.48	120032021	\$38.86	120034021	\$38.86
119550064	\$15.48	120032022	\$38.86	120034022	\$38.86
119560001	\$974.70	120032023	\$38.86	120034023	\$38.86
119560002	\$229.52	120032024	\$38.86	120034024	\$38.86
119560003	\$201.02	120032025	\$38.86	120034025	\$38.86
119560007	\$1,124.04	120033001	\$67.36	120034026	\$38.86
119560008	\$200.64	120033002	\$67.36	120034027	\$38.86
119560009	\$172.14	120033003	\$67.36	120034028	\$38.86
119560011	\$201.02	120033004	\$67.36	120034029	\$38.86
120020005	\$35.66	120033005	\$67.36	120034030	\$38.86
120031001	\$67.36	120033006	\$67.36	120034031	\$38.86
120031002	\$38.86	120033007	\$67.36	120034032	\$38.86
120031003	\$38.86	120033008	\$67.36	120034033	\$38.86
120031004	\$67.36	120033009	\$67.36	120034034	\$38.86
120031005	\$67.36	120033010	\$67.36	120034035	\$38.86
120031006	\$67.36	120033011	\$38.86	120034036	\$10.36
120031007	\$38.86	120033012	\$38.86	120051009	\$67.36
120031008	\$38.86	120033013	\$38.86	120051010	\$38.86
120031009	\$38.86	120033014	\$38.86	120051011	\$38.86
120031010	\$38.86	120033015	\$38.86	120051012	\$38.86
120031011	\$38.86	120033016	\$38.86	120051013	\$38.86
120031012	\$38.86	120033017	\$38.86	120051014	\$38.86
120031013	\$38.86	120033018	\$38.86	120051015	\$38.86
120032001	\$38.86	120033019	\$38.86	120052001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120032002	\$38.86	120033020	\$38.86	120052002	\$38.86
120032003	\$38.86	120034001	\$38.86	120052003	\$67.36
120032004	\$38.86	120034002	\$67.36	120052004	\$38.86
120032005	\$38.86	120034003	\$38.86	120052005	\$38.86
120032006	\$38.86	120034004	\$38.86	120052006	\$67.36
120032007	\$38.86	120034005	\$67.36	120052007	\$38.86
120032008	\$38.86	120034006	\$67.36	120053001	\$38.86
120032009	\$38.86	120034008	\$38.86	120053002	\$67.36
120032010	\$38.86	120034009	\$38.86	120053003	\$67.36
120032011	\$38.86	120034010	\$38.86	120053004	\$38.86
120032012	\$38.86	120034011	\$38.86	120053005	\$38.86
120032013	\$67.36	120034012	\$38.86	120053006	\$38.86
120053007	\$38.86	120060027	\$11.78	120060072	\$11.78
120053008	\$38.86	120060028	\$11.78	120060073	\$11.78
120054001	\$67.36	120060029	\$11.78	120060074	\$11.78
120054002	\$38.86	120060030	\$11.78	120071001	\$126.94
120054003	\$38.86	120060031	\$11.78	120071002	\$126.94
120054004	\$67.36	120060032	\$11.78	120071003	\$126.94
120054006	\$38.86	120060033	\$11.78	120071004	\$126.94
120054007	\$67.36	120060034	\$11.78	120071005	\$126.94
120054008	\$38.86	120060035	\$11.78	120072001	\$126.94
120054009	\$38.86	120060036	\$11.78	120072002	\$126.94
120054010	\$38.86	120060037	\$11.78	120072003	\$126.94
120054011	\$38.86	120060038	\$11.78	120072004	\$126.94
120054012	\$38.86	120060039	\$11.78	120072005	\$126.94
120054013	\$38.86	120060040	\$11.78	120072006	\$11.46
120054014	\$38.86	120060041	\$11.78	120072007	\$29.92
120054015	\$38.86	120060042	\$11.78	120072008	\$389.74
120054016	\$38.86	120060044	\$11.78	120080001	\$41.06
120060001	\$11.78	120060045	\$11.78	120080003	\$42.16
120060002	\$11.78	120060046	\$11.78	120080004	\$38.86
120060003	\$11.78	120060047	\$11.78	120080005	\$38.86
120060004	\$11.78	120060048	\$11.78	120080006	\$38.86
120060005	\$11.78	120060049	\$11.78	120080007	\$38.86
120060006	\$11.78	120060050	\$11.78	120080008	\$38.86
120060007	\$11.78	120060051	\$11.78	120080009	\$38.86
120060008	\$11.78	120060052	\$11.78	120080011	\$80.30
120060009	\$11.78	120060053	\$11.78	120080012	\$14.76
120060010	\$11.78	120060054	\$11.78	120080013	\$38.62
120060011	\$11.78	120060055	\$11.78	120080014	\$43.26
120060012	\$11.78	120060056	\$11.78	120080015	\$43.26
120060013	\$11.78	120060057	\$11.78	120080017	\$14.76
120060014	\$11.78	120060058	\$11.78	120080018	\$14.76
120060015	\$11.78	120060060	\$11.78	120080019	\$119.16
120060016	\$11.78	120060061	\$11.78	120080020	\$90.28
120060017	\$11.78	120060062	\$11.78	120100001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120060018	\$11.78	120060063	\$11.78	120100002	\$38.86
120060019	\$11.78	120060064	\$11.78	120100003	\$67.36
120060020	\$11.78	120060065	\$11.78	120100004	\$38.86
120060021	\$11.78	120060066	\$11.78	120100005	\$38.86
120060022	\$11.78	120060067	\$11.78	120100006	\$38.86
120060023	\$11.78	120060068	\$11.78	120100007	\$38.86
120060024	\$11.78	120060069	\$11.78	120100008	\$38.86
120060025	\$11.78	120060070	\$11.78	120100009	\$38.86
120060026	\$11.78	120060071	\$11.78	120100010	\$38.86
120100011	\$38.86	120111020	\$38.86	120121010	\$38.86
120100012	\$38.86	120111021	\$38.86	120121011	\$38.86
120100013	\$38.86	120111022	\$38.86	120121012	\$38.86
120100014	\$77.72	120111023	\$67.36	120121013	\$38.86
120100015	\$77.72	120111024	\$126.94	120121014	\$67.36
120100016	\$77.72	120112001	\$12.56	120121015	\$38.86
120100017	\$67.36	120112002	\$12.56	120121016	\$38.86
120100018	\$38.86	120112003	\$11.46	120121017	\$38.86
120100019	\$38.86	120112005	\$11.46	120121018	\$67.36
120100020	\$38.86	120112007	\$11.46	120121019	\$38.86
120100021	\$38.86	120112008	\$11.46	120121020	\$38.86
120100022	\$38.86	120112009	\$11.46	120121021	\$38.86
120100023	\$38.86	120112010	\$11.46	120121022	\$38.86
120100024	\$67.36	120112011	\$77.72	120121023	\$38.86
120100025	\$77.72	120112012	\$77.72	120121024	\$38.86
120100026	\$77.72	120112013	\$77.72	120121025	\$38.86
120100027	\$77.72	120112014	\$77.72	120121028	\$29.06
120100028	\$77.72	120112015	\$77.72	120122001	\$38.86
120100029	\$77.72	120112019	\$38.86	120122002	\$38.86
120100030	\$77.72	120112020	\$38.86	120122003	\$38.86
120100031	\$77.72	120112021	\$38.86	120122004	\$38.86
120100032	\$38.86	120112022	\$38.86	120122005	\$38.86
120100033	\$38.86	120112023	\$38.86	120122006	\$38.86
120100034	\$38.86	120113001	\$67.36	120122007	\$38.86
120100035	\$67.36	120113002	\$38.86	120122008	\$38.86
120100036	\$67.36	120113003	\$38.86	120122009	\$38.86
120100037	\$67.36	120113004	\$38.86	120122010	\$38.86
120100038	\$77.72	120113005	\$38.86	120122011	\$38.86
120100040	\$137.30	120113006	\$38.86	120122012	\$38.86
120111001	\$11.46	120113007	\$38.86	120122013	\$38.86
120111002	\$11.46	120113008	\$38.86	120122014	\$38.86
120111003	\$11.46	120113009	\$38.86	120122015	\$38.86
120111004	\$11.46	120113010	\$38.86	120122016	\$38.86
120111005	\$11.46	120113011	\$67.36	120122017	\$38.86
120111006	\$12.56	120121001	\$38.86	120122018	\$38.86
120111007	\$12.56	120121002	\$38.86	120122019	\$38.86
120111008	\$12.56	120121003	\$38.86	120122020	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120111009	\$12.56	120121004	\$38.86	120122021	\$77.72
120111011	\$77.72	120121005	\$38.86	120122022	\$77.72
120111012	\$77.72	120121006	\$38.86	120122023	\$77.72
120111017	\$38.86	120121007	\$67.36	120122024	\$77.72
120111018	\$38.86	120121008	\$38.86	120122025	\$67.36
120111019	\$38.86	120121009	\$38.86	120122026	\$67.36
120123002	\$67.36	120142001	\$38.86	120145002	\$67.36
120123003	\$67.36	120142002	\$67.36	120145003	\$38.86
120123004	\$77.72	120142003	\$38.86	120145004	\$38.86
120123005	\$77.72	120142004	\$38.86	120145005	\$38.86
120123006	\$38.86	120142005	\$38.86	120145006	\$38.86
120123007	\$38.86	120142006	\$38.86	120145007	\$67.36
120123008	\$38.86	120142007	\$67.36	120145008	\$67.36
120123009	\$67.36	120142008	\$38.86	120145009	\$38.86
120123011	\$67.36	120142009	\$38.86	120145010	\$38.86
120123012	\$38.86	120142010	\$38.86	120145011	\$38.86
120123013	\$38.86	120142011	\$38.86	120145012	\$38.86
120123014	\$38.86	120142012	\$38.86	120145013	\$38.86
120123015	\$38.86	120142013	\$38.86	120151001	\$38.86
120123016	\$38.86	120143001	\$38.86	120151002	\$38.86
120123017	\$38.86	120143002	\$38.86	120151003	\$38.86
120123018	\$38.86	120143003	\$38.86	120151004	\$38.86
120123019	\$38.86	120143004	\$38.86	120151005	\$38.86
120123020	\$38.86	120143005	\$38.86	120151006	\$38.86
120123021	\$38.86	120143006	\$38.86	120151007	\$38.86
120123022	\$38.86	120143007	\$38.86	120151008	\$38.86
120123024	\$67.36	120143009	\$38.86	120151009	\$67.36
120123027	\$77.72	120143010	\$38.86	120151013	\$67.36
120141002	\$38.86	120144001	\$38.86	120151014	\$67.36
120141003	\$38.86	120144002	\$38.86	120151015	\$67.36
120141004	\$38.86	120144003	\$38.86	120151016	\$67.36
120141005	\$38.86	120144004	\$38.86	120151017	\$67.36
120141006	\$38.86	120144005	\$38.86	120151018	\$77.72
120141007	\$38.86	120144006	\$38.86	120151019	\$77.72
120141008	\$38.86	120144007	\$38.86	120151020	\$67.36
120141009	\$38.86	120144008	\$38.86	120151021	\$38.86
120141010	\$38.86	120144009	\$38.86	120151022	\$38.86
120141011	\$38.86	120144010	\$38.86	120151023	\$38.86
120141012	\$67.36	120144011	\$38.86	120151024	\$67.36
120141013	\$38.86	120144012	\$67.36	120151025	\$38.86
120141014	\$38.86	120144013	\$38.86	120151026	\$38.86
120141015	\$38.86	120144014	\$38.86	120151027	\$38.86
120141016	\$38.86	120144015	\$38.86	120151028	\$67.36
120141017	\$38.86	120144016	\$38.86	120151029	\$38.86
120141018	\$38.86	120144017	\$38.86	120151030	\$67.36
120141019	\$38.86	120144018	\$67.36	120151031	\$67.36



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120141020	\$38.86	120144019	\$67.36	120151032	\$67.36
120141021	\$38.86	120144020	\$67.36	120151033	\$67.36
120141022	\$38.86	120145001	\$67.36	120152001	\$38.86
120152002	\$38.86	120161007	\$38.86	120171007	\$38.86
120152004	\$67.36	120161008	\$38.86	120171008	\$38.86
120152005	\$38.86	120162001	\$67.36	120171009	\$38.86
120152006	\$38.86	120162002	\$38.86	120171010	\$38.86
120152007	\$38.86	120162003	\$38.86	120171011	\$38.86
120152008	\$38.86	120162004	\$38.86	120171012	\$38.86
120152009	\$38.86	120162005	\$38.86	120171013	\$38.86
120152010	\$67.36	120162006	\$38.86	120171014	\$67.36
120152011	\$67.36	120162007	\$38.86	120171015	\$67.36
120152012	\$67.36	120162008	\$38.86	120171016	\$67.36
120152013	\$67.36	120162009	\$67.36	120171017	\$67.36
120152014	\$67.36	120162010	\$38.86	120171018	\$67.36
120152015	\$67.36	120162011	\$67.36	120171019	\$38.86
120153001	\$38.86	120162012	\$77.72	120171020	\$38.86
120153002	\$38.86	120162013	\$38.86	120171021	\$38.86
120153003	\$38.86	120162014	\$38.86	120171022	\$38.86
120153004	\$38.86	120162015	\$67.36	120171023	\$38.86
120153005	\$67.36	120162016	\$67.36	120171024	\$67.36
120153006	\$77.72	120162017	\$38.86	120171025	\$38.86
120153007	\$38.86	120162018	\$38.86	120171026	\$38.86
120153008	\$38.86	120162019	\$38.86	120171027	\$38.86
120153009	\$38.86	120162020	\$38.86	120171028	\$38.86
120153010	\$67.36	120162021	\$38.86	120171029	\$38.86
120153011	\$38.86	120162022	\$38.86	120171030	\$38.86
120153012	\$38.86	120162023	\$38.86	120171031	\$67.36
120153013	\$38.86	120162024	\$38.86	120171035	\$67.36
120153014	\$38.86	120162025	\$38.86	120171036	\$38.86
120153015	\$38.86	120162026	\$38.86	120171037	\$38.86
120153016	\$67.36	120162027	\$38.86	120171038	\$38.86
120153017	\$38.86	120162028	\$38.86	120171039	\$38.86
120153018	\$38.86	120162029	\$38.86	120171040	\$38.86
120153019	\$49.22	120162030	\$38.86	120171041	\$38.86
120153020	\$49.22	120162031	\$38.86	120171042	\$38.86
120153021	\$49.22	120162032	\$38.86	120171043	\$38.86
120153022	\$38.86	120162033	\$38.86	120172001	\$38.86
120153023	\$38.86	120162034	\$38.86	120172002	\$67.36
120153024	\$38.86	120162035	\$38.86	120172003	\$38.86
120161001	\$67.36	120171001	\$38.86	120172004	\$38.86
120161002	\$38.86	120171002	\$38.86	120172005	\$38.86
120161003	\$38.86	120171003	\$38.86	120172006	\$38.86
120161004	\$38.86	120171004	\$38.86	120181001	\$38.86
120161005	\$38.86	120171005	\$38.86	120181002	\$38.86
120161006	\$38.86	120171006	\$38.86	120181003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120181004	\$38.86	120190005	\$259.16	120221010	\$67.36
120181005	\$38.86	120190007	\$172.52	120221011	\$67.36
120181006	\$38.86	120190008	\$258.78	120221012	\$67.36
120181007	\$38.86	120190009	\$114.76	120221013	\$67.36
120181008	\$38.86	120190010	\$489.82	120221014	\$67.36
120181009	\$67.36	120190011	\$57.38	120221015	\$67.36
120181010	\$38.86	120200002	\$32.12	120222001	\$67.36
120181011	\$38.86	120200003	\$89.94	120222002	\$38.86
120181012	\$38.86	120200004	\$231.04	120222003	\$38.86
120181013	\$38.86	120210001	\$38.86	120222004	\$67.36
120181014	\$38.86	120210002	\$38.86	120222005	\$67.36
120181015	\$67.36	120210003	\$67.36	120222006	\$67.36
120181016	\$77.72	120210004	\$77.72	120222007	\$67.36
120181017	\$38.86	120210005	\$49.22	120222008	\$77.72
120181018	\$38.86	120210006	\$49.22	120222009	\$38.86
120181019	\$38.86	120210007	\$49.22	120222010	\$49.22
120181020	\$38.86	120210008	\$77.72	120222011	\$49.22
120181021	\$38.86	120210009	\$38.86	120222012	\$49.22
120181022	\$38.86	120210010	\$77.72	120222013	\$67.36
120181023	\$67.36	120210011	\$77.72	120222014	\$67.36
120181024	\$38.86	120210012	\$77.72	120223001	\$38.86
120181025	\$38.86	120210013	\$77.72	120223002	\$67.36
120181026	\$38.86	120210014	\$67.36	120223003	\$77.72
120181027	\$38.86	120210015	\$67.36	120223004	\$49.22
120181028	\$38.86	120210016	\$77.72	120223005	\$49.22
120181029	\$67.36	120210017	\$77.72	120223006	\$38.86
120182002	\$38.86	120210018	\$77.72	120223007	\$38.86
120182003	\$38.86	120210019	\$77.72	120223008	\$38.86
120182004	\$38.86	120210020	\$67.36	120223009	\$38.86
120182005	\$38.86	120210021	\$77.72	120223010	\$67.36
120182006	\$38.86	120210022	\$77.72	120231001	\$67.36
120182007	\$38.86	120210023	\$77.72	120231002	\$67.36
120182008	\$38.86	120210024	\$77.72	120231003	\$38.86
120182009	\$38.86	120210025	\$49.22	120231004	\$67.36
120182010	\$67.36	120221001	\$77.72	120231005	\$67.36
120182011	\$38.86	120221002	\$67.36	120231006	\$67.36
120182012	\$38.86	120221003	\$77.72	120231007	\$67.36
120182013	\$38.86	120221004	\$38.86	120231008	\$67.36
120182014	\$38.86	120221005	\$38.86	120231009	\$67.36
120182015	\$38.86	120221006	\$38.86	120232001	\$67.36
120182016	\$38.86	120221007	\$67.36	120232002	\$38.86
120182019	\$38.86	120221008	\$67.36	120232003	\$38.86
120190002	\$6.82	120221009	\$67.36	120232004	\$67.36
120232005	\$67.36	120250009	\$38.86	120260024	\$67.36
120232006	\$67.36	120250010	\$67.36	120260025	\$67.36
120232007	\$67.36	120250011	\$67.36	120260026	\$77.72



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120232008	\$67.36	120250012	\$77.72	120260027	\$77.72
120232009	\$67.36	120250013	\$108.80	120260028	\$77.72
120232010	\$67.36	120250014	\$137.30	120260029	\$67.36
120232011	\$67.36	120250015	\$137.30	120270002	\$41.44
120232012	\$67.36	120250016	\$137.30	120270003	\$5.72
120232013	\$38.86	120250017	\$137.30	120270004	\$5.72
120232014	\$67.36	120250018	\$147.66	120270005	\$31.08
120232015	\$67.36	120250019	\$233.16	120270006	\$16.96
120232016	\$67.36	120250020	\$147.66	120270007	\$51.80
120232017	\$67.36	120250021	\$119.16	120270008	\$5.72
120232018	\$67.36	120250022	\$101.02	120270009	\$5.72
120232019	\$67.36	120250023	\$90.66	120270010	\$62.16
120232020	\$67.36	120250024	\$90.66	120270014	\$41.44
120232021	\$38.86	120250025	\$119.16	120270015	\$31.08
120241001	\$67.36	120250026	\$147.66	120270016	\$41.44
120241002	\$67.36	120250027	\$119.16	120270018	\$82.88
120241003	\$137.30	120250028	\$119.16	120270019	\$62.16
120241004	\$108.80	120250029	\$67.36	120270021	\$45.84
120241005	\$137.30	120260001	\$67.36	120280005	\$72.52
120241006	\$108.80	120260002	\$38.86	120280006	\$20.72
120241007	\$137.30	120260003	\$49.22	120280007	\$10.36
120241008	\$88.08	120260004	\$49.22	120280008	\$10.36
120242001	\$38.86	120260005	\$38.86	120280009	\$10.36
120242002	\$67.36	120260006	\$77.72	120280010	\$41.44
120242003	\$38.86	120260008	\$126.94	120280011	\$41.44
120242004	\$67.36	120260009	\$77.72	120280012	\$5.72
120242005	\$38.86	120260010	\$67.36	120280014	\$286.90
120242006	\$67.36	120260011	\$67.36	120280016	\$230.66
120242007	\$67.36	120260012	\$38.86	120290001	\$155.44
120242008	\$67.36	120260013	\$38.86	120290002	\$101.02
120242009	\$38.86	120260014	\$67.36	120290003	\$119.16
120242010	\$38.86	120260015	\$67.36	120290004	\$77.72
120250001	\$67.36	120260016	\$67.36	120290005	\$77.72
120250002	\$67.36	120260017	\$67.36	120290006	\$77.72
120250003	\$67.36	120260018	\$38.86	120290007	\$77.72
120250004	\$67.36	120260019	\$67.36	120290008	\$77.72
120250005	\$49.22	120260020	\$67.36	120290009	\$77.72
120250006	\$49.22	120260021	\$38.86	120290010	\$77.72
120250007	\$49.22	120260022	\$67.36	120290012	\$147.66
120250008	\$67.36	120260023	\$67.36	120290013	\$90.66
120290014	\$34.38	120321014	\$38.86	120332003	\$77.72
120290015	\$90.66	120321015	\$38.86	120332004	\$77.72
120290017	\$90.66	120321016	\$38.86	120332005	\$77.72
120300001	\$29.06	120321017	\$38.86	120332006	\$77.72
120300002	\$33.28	120321018	\$38.86	120333001	\$67.36
120300003	\$11.46	120321019	\$38.86	120333002	\$67.36

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120300004	\$11.46	120321020	\$38.86	120333003	\$67.36
120300006	\$11.46	120321021	\$38.86	120333004	\$67.36
120311001	\$38.86	120321022	\$38.86	120333005	\$67.36
120311002	\$38.86	120321023	\$38.86	120333006	\$67.36
120311003	\$38.86	120321024	\$38.86	120333008	\$67.36
120311004	\$38.86	120321025	\$38.86	120333009	\$67.36
120311005	\$38.86	120321026	\$38.86	120333010	\$67.36
120311006	\$38.86	120321027	\$38.86	120333011	\$67.36
120311007	\$38.86	120321030	\$38.86	120333012	\$67.36
120311008	\$38.86	120321031	\$38.86	120333013	\$67.36
120311009	\$38.86	120321032	\$38.86	120340018	\$158.12
120311010	\$38.86	120322001	\$38.86	120341001	\$38.86
120311011	\$38.86	120322002	\$38.86	120341002	\$38.86
120312001	\$38.86	120322003	\$38.86	120341004	\$38.86
120312004	\$38.86	120322004	\$38.86	120341005	\$38.86
120312005	\$38.86	120322005	\$38.86	120341006	\$38.86
120312006	\$38.86	120322006	\$38.86	120341007	\$38.86
120312007	\$38.86	120322007	\$38.86	120341008	\$38.86
120312008	\$38.86	120322008	\$38.86	120341009	\$38.86
120312009	\$38.86	120322009	\$38.86	120341010	\$38.86
120312014	\$38.86	120322010	\$38.86	120341011	\$38.86
120312015	\$38.86	120322015	\$38.86	120341012	\$38.86
120312016	\$38.86	120322016	\$38.86	120341014	\$38.86
120312017	\$38.86	120322018	\$38.86	120341015	\$38.86
120312018	\$38.86	120322019	\$38.86	120341016	\$38.86
120312019	\$38.86	120331001	\$67.36	120341017	\$38.86
120312023	\$38.86	120331002	\$38.86	120341018	\$38.86
120312024	\$38.86	120331003	\$38.86	120341019	\$38.86
120312025	\$38.86	120331004	\$38.86	120341020	\$38.86
120312026	\$38.86	120331005	\$38.86	120341021	\$38.86
120321001	\$38.86	120331012	\$49.22	120341023	\$38.86
120321002	\$38.86	120331013	\$38.86	120341024	\$38.86
120321003	\$38.86	120331014	\$67.36	120341025	\$38.86
120321004	\$38.86	120331015	\$67.36	120341026	\$38.86
120321005	\$38.86	120331016	\$67.36	120341027	\$38.86
120321006	\$38.86	120332001	\$77.72	120341028	\$38.86
120321013	\$38.86	120332002	\$77.72	120341029	\$38.86
120341030	\$38.86	120353006	\$38.86	120381009	\$19.18
120341032	\$38.86	120353007	\$38.86	120381010	\$19.18
120341033	\$38.86	120353008	\$38.86	120381011	\$19.18
120341034	\$38.86	120353009	\$38.86	120381012	\$19.18
120341035	\$38.86	120353010	\$38.86	120381014	\$19.18
120341036	\$38.86	120353011	\$38.86	120381015	\$19.18
120341037	\$38.86	120353012	\$67.36	120381016	\$19.18
120341038	\$38.86	120360001	\$108.80	120381017	\$19.18
120341039	\$38.86	120360002	\$108.80	120381018	\$19.18

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120341040	\$38.86	120360003	\$108.80	120381020	\$19.18
120341041	\$38.86	120360004	\$90.28	120381021	\$19.18
120341042	\$38.86	120360006	\$186.52	120381022	\$19.18
120341044	\$38.86	120360007	\$67.36	120381023	\$19.18
120341045	\$38.86	120360008	\$67.36	120381024	\$19.18
120341046	\$38.86	120360009	\$67.36	120381025	\$19.18
120341047	\$38.86	120360010	\$38.86	120381027	\$10.36
120341048	\$38.86	120360011	\$49.22	120381028	\$19.18
120341049	\$38.86	120360012	\$49.22	120381029	\$10.36
120341050	\$38.86	120360013	\$38.86	120381030	\$19.18
120341051	\$38.86	120360014	\$38.86	120381031	\$19.18
120341052	\$38.86	120360015	\$38.86	120381032	\$19.18
120341053	\$38.86	120360016	\$38.86	120381034	\$19.18
120341054	\$38.86	120360017	\$38.86	120381035	\$10.36
120341055	\$38.86	120360018	\$38.86	120381036	\$19.18
120341056	\$38.86	120360019	\$38.86	120381038	\$19.18
120341057	\$38.86	120360021	\$77.72	120381039	\$19.18
120341058	\$38.86	120360022	\$77.72	120381040	\$19.18
120341060	\$38.86	120360023	\$38.86	120381041	\$19.18
120351001	\$67.36	120370001	\$229.90	120381042	\$19.18
120351002	\$38.86	120370002	\$1,065.14	120381043	\$19.18
120351003	\$38.86	120370003	\$334.60	120381044	\$19.18
120351004	\$38.86	120370004	\$315.78	120381046	\$19.18
120352001	\$38.86	120370005	\$143.64	120381047	\$19.18
120352002	\$38.86	120370006	\$115.52	120381048	\$19.18
120352003	\$38.86	120370007	\$315.78	120381049	\$19.18
120352004	\$67.36	120370009	\$2.20	120381051	\$19.18
120352005	\$38.86	120381001	\$10.36	120381053	\$10.36
120352007	\$67.36	120381002	\$19.18	120381054	\$19.18
120353001	\$49.22	120381003	\$19.18	120381055	\$10.36
120353002	\$38.86	120381005	\$19.18	120381057	\$19.18
120353003	\$38.86	120381006	\$19.18	120381058	\$19.18
120353004	\$38.86	120381007	\$19.18	120381059	\$19.18
120353005	\$38.86	120381008	\$19.18	120381060	\$19.18
120381061	\$19.18	120412005	\$88.08	120422002	\$67.36
120381062	\$19.18	120412007	\$88.08	120422003	\$38.86
120381063	\$19.18	120412008	\$88.08	120422004	\$38.86
120381064	\$19.18	120412009	\$88.08	120422005	\$67.36
120381065	\$19.18	120412010	\$116.58	120422006	\$67.36
120381067	\$10.36	120412011	\$88.08	120422007	\$67.36
120381069	\$19.18	120412012	\$98.44	120422008	\$67.36
120381070	\$19.18	120412013	\$126.94	120422009	\$38.86
120401002	\$88.08	120412014	\$98.44	120422010	\$38.86
120401005	\$88.08	120412020	\$98.44	120422011	\$38.86
120401006	\$88.08	120412021	\$98.44	120431001	\$38.86
120401007	\$116.58	120421001	\$38.86	120431002	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120401010	\$137.30	120421002	\$38.86	120431003	\$38.86
120401011	\$77.72	120421003	\$38.86	120431004	\$38.86
120401013	\$88.08	120421004	\$38.86	120431005	\$38.86
120402001	\$116.58	120421005	\$38.86	120431006	\$38.86
120402004	\$88.08	120421006	\$38.86	120431007	\$38.86
120402005	\$88.08	120421007	\$38.86	120431008	\$38.86
120402006	\$88.08	120421008	\$38.86	120431009	\$38.86
120402007	\$88.08	120421009	\$38.86	120431010	\$67.36
120402009	\$88.08	120421010	\$38.86	120431011	\$67.36
120402010	\$98.44	120421011	\$38.86	120431012	\$38.86
120402011	\$116.58	120421012	\$38.86	120431013	\$38.86
120411001	\$77.72	120421013	\$38.86	120431014	\$38.86
120411002	\$88.08	120421014	\$38.86	120432001	\$38.86
120411003	\$88.08	120421015	\$38.86	120432002	\$38.86
120411004	\$88.08	120421016	\$38.86	120432003	\$38.86
120411005	\$88.08	120421017	\$38.86	120432004	\$38.86
120411006	\$88.08	120421018	\$49.22	120432005	\$38.86
120411007	\$88.08	120421019	\$49.22	120432006	\$38.86
120411008	\$88.08	120421020	\$38.86	120432007	\$38.86
120411010	\$88.08	120421021	\$38.86	120432008	\$38.86
120411011	\$116.58	120421022	\$38.86	120432009	\$38.86
120411012	\$116.58	120421023	\$38.86	120432010	\$38.86
120411013	\$88.08	120421024	\$38.86	120432011	\$38.86
120411015	\$77.72	120421025	\$38.86	120432012	\$38.86
120411016	\$77.72	120421026	\$38.86	120432013	\$38.86
120411017	\$77.72	120421027	\$38.86	120432014	\$49.22
120411018	\$77.72	120421028	\$38.86	120432015	\$49.22
120412001	\$88.08	120421029	\$38.86	120432016	\$38.86
120412002	\$88.08	120421030	\$38.86	120432017	\$38.86
120412003	\$77.72	120421031	\$38.86	120432018	\$38.86
120412004	\$77.72	120422001	\$67.36	120432019	\$38.86
120432020	\$38.86	120442012	\$67.36	120451034	\$38.86
120432021	\$38.86	120442013	\$67.36	120451035	\$67.36
120432022	\$38.86	120442014	\$38.86	120451036	\$38.86
120432023	\$38.86	120442015	\$38.86	120451037	\$38.86
120432024	\$38.86	120442016	\$38.86	120451038	\$38.86
120432025	\$38.86	120442017	\$38.86	120451039	\$38.86
120432026	\$38.86	120442018	\$49.22	120451040	\$12.32
120432027	\$38.86	120442019	\$49.22	120452001	\$67.36
120432028	\$38.86	120442020	\$38.86	120452002	\$67.36
120432029	\$38.86	120442021	\$67.36	120452003	\$38.86
120432030	\$38.86	120442022	\$38.86	120452004	\$38.86
120432031	\$38.86	120442023	\$38.86	120452005	\$38.86
120432032	\$38.86	120443001	\$49.22	120452006	\$38.86
120432033	\$38.86	120451001	\$38.86	120452007	\$38.86
120432034	\$38.86	120451002	\$38.86	120452008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120432035	\$38.86	120451003	\$38.86	120452009	\$38.86
120441001	\$38.86	120451004	\$38.86	120452010	\$38.86
120441002	\$38.86	120451005	\$38.86	120452011	\$38.86
120441003	\$38.86	120451006	\$38.86	120452012	\$38.86
120441004	\$38.86	120451007	\$38.86	120452013	\$38.86
120441005	\$38.86	120451008	\$38.86	120452014	\$38.86
120441006	\$38.86	120451009	\$38.86	120452015	\$38.86
120441007	\$38.86	120451010	\$67.36	120452016	\$38.86
120441008	\$38.86	120451011	\$67.36	120452017	\$38.86
120441009	\$38.86	120451012	\$38.86	120452018	\$38.86
120441010	\$38.86	120451013	\$38.86	120452019	\$38.86
120441011	\$38.86	120451014	\$38.86	120452020	\$38.86
120441012	\$38.86	120451015	\$38.86	120452021	\$38.86
120441013	\$49.22	120451016	\$38.86	120452022	\$38.86
120441014	\$38.86	120451017	\$38.86	120452023	\$38.86
120441015	\$38.86	120451018	\$67.36	120452024	\$38.86
120441016	\$38.86	120451019	\$67.36	120452025	\$38.86
120442001	\$38.86	120451020	\$38.86	120452026	\$67.36
120442002	\$38.86	120451021	\$38.86	120452027	\$106.22
120442003	\$38.86	120451022	\$38.86	120452028	\$67.36
120442004	\$38.86	120451023	\$38.86	120452029	\$38.86
120442005	\$38.86	120451024	\$38.86	120452030	\$38.86
120442006	\$49.22	120451025	\$38.86	120452031	\$38.86
120442007	\$38.86	120451026	\$38.86	120452032	\$38.86
120442008	\$38.86	120451027	\$38.86	120452033	\$38.86
120442009	\$38.86	120451028	\$38.86	120452034	\$38.86
120442010	\$38.86	120451029	\$38.86	120452035	\$67.36
120442011	\$38.86	120451033	\$67.36	120452036	\$38.86
120452037	\$38.86	120462043	\$38.86	120480014	\$38.86
120452038	\$38.86	120462044	\$38.86	120480015	\$77.72
120452039	\$38.86	120462045	\$38.86	120480016	\$77.72
120452040	\$38.86	120463001	\$38.86	120480017	\$38.86
120452041	\$38.86	120463002	\$38.86	120480018	\$38.86
120452042	\$38.86	120463003	\$38.86	120480019	\$38.86
120452044	\$38.86	120463004	\$38.86	120480020	\$38.86
120452045	\$38.86	120463005	\$38.86	120480021	\$38.86
120452046	\$38.86	120463006	\$38.86	120480022	\$77.72
120461001	\$38.86	120463007	\$38.86	120480023	\$77.72
120461002	\$38.86	120463008	\$38.86	120480024	\$67.36
120461003	\$38.86	120463009	\$38.86	120480025	\$38.86
120461004	\$38.86	120463010	\$38.86	120480026	\$38.86
120461005	\$38.86	120463011	\$38.86	120480027	\$67.36
120461006	\$38.86	120463012	\$38.86	120480028	\$67.36
120461007	\$38.86	120470007	\$77.72	120480029	\$38.86
120461008	\$38.86	120470008	\$77.72	120480030	\$49.22
120461009	\$38.86	120470014	\$49.22	120491001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120461010	\$38.86	120470016	\$49.22	120491002	\$38.86
120461011	\$38.86	120470017	\$77.72	120491003	\$38.86
120461012	\$38.86	120470018	\$77.72	120491004	\$38.86
120461013	\$38.86	120470019	\$77.72	120491005	\$38.86
120461014	\$38.86	120470020	\$77.72	120491006	\$38.86
120461015	\$38.86	120470021	\$77.72	120491007	\$38.86
120461016	\$38.86	120470024	\$77.72	120491008	\$38.86
120461017	\$38.86	120470025	\$77.72	120491009	\$38.86
120461018	\$38.86	120470026	\$67.36	120491010	\$38.86
120461019	\$38.86	120470027	\$67.36	120491011	\$38.86
120461020	\$38.86	120470028	\$67.36	120491012	\$38.86
120462001	\$38.86	120470029	\$49.22	120491013	\$38.86
120462002	\$38.86	120480001	\$67.36	120491014	\$38.86
120462003	\$38.86	120480002	\$67.36	120491015	\$38.86
120462004	\$38.86	120480003	\$38.86	120491016	\$38.86
120462005	\$38.86	120480004	\$38.86	120491017	\$38.86
120462006	\$38.86	120480005	\$38.86	120491018	\$38.86
120462007	\$38.86	120480006	\$38.86	120491019	\$38.86
120462008	\$38.86	120480007	\$38.86	120491020	\$38.86
120462009	\$38.86	120480008	\$38.86	120491021	\$38.86
120462010	\$38.86	120480009	\$67.36	120491022	\$38.86
120462011	\$38.86	120480010	\$38.86	120491023	\$38.86
120462012	\$38.86	120480011	\$38.86	120491024	\$38.86
120462013	\$38.86	120480012	\$38.86	120491025	\$38.86
120462014	\$38.86	120480013	\$38.86	120491026	\$38.86
120491027	\$38.86	120520016	\$77.72	121160004	\$349.40
120491028	\$38.86	120520017	\$67.36	121160008	\$29.98
120491029	\$38.86	120520018	\$67.36	121160009	\$209.86
120491030	\$38.86	120520019	\$77.72	121160011	\$479.68
120491031	\$38.86	120520020	\$38.86	121170003	\$89.94
120491032	\$38.86	120520021	\$38.86	121170005	\$259.46
120491033	\$38.86	120520022	\$38.86	121170006	\$139.54
120491034	\$38.86	120520023	\$67.36	121170007	\$149.90
120492001	\$38.86	120520025	\$258.40	121180008	\$509.66
120492002	\$38.86	120520026	\$201.02	121180010	\$179.88
120492003	\$38.86	120520027	\$518.70	121190001	\$1,349.10
120492004	\$38.86	120520028	\$403.56	121201001	\$38.86
120492005	\$38.86	120530001	\$59.58	121201002	\$38.86
120492006	\$38.86	120530002	\$88.08	121201003	\$38.86
120492007	\$38.86	120530003	\$88.08	121201004	\$38.86
120510001	\$173.28	120530004	\$88.08	121201005	\$38.86
120510002	\$2,133.32	120530005	\$88.08	121201006	\$38.86
120510003	\$115.52	120530006	\$116.58	121201007	\$49.22
120510004	\$19.62	120530007	\$88.08	121201008	\$49.22
120510006	\$259.92	120530008	\$88.08	121201009	\$49.22
120510008	\$201.02	120530009	\$88.08	121201010	\$49.22



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120510009	\$143.64	120530010	\$98.44	121201011	\$49.22
120510012	\$346.56	120530011	\$98.44	121201012	\$49.22
120510013	\$201.02	120530012	\$88.08	121201013	\$49.22
120510014	\$143.26	120530013	\$88.08	121201014	\$38.86
120510015	\$85.88	120530014	\$88.08	121201015	\$38.86
120510016	\$258.78	120530015	\$126.94	121201016	\$38.86
120510018	\$258.78	120540001	\$106.22	121201017	\$38.86
120520001	\$67.36	120540002	\$77.72	121201018	\$38.86
120520002	\$38.86	120540003	\$88.08	121201019	\$38.86
120520003	\$38.86	120540004	\$59.58	121201020	\$38.86
120520004	\$38.86	120540005	\$59.58	121201021	\$49.22
120520005	\$49.22	120540006	\$88.08	121201022	\$49.22
120520006	\$49.22	120540007	\$59.58	121201023	\$49.22
120520007	\$38.86	120540008	\$88.08	121201024	\$49.22
120520008	\$38.86	120540009	\$88.08	121201025	\$49.22
120520009	\$49.22	120540010	\$106.22	121201026	\$49.22
120520010	\$49.22	120540011	\$108.80	121201027	\$49.22
120520011	\$38.86	120540012	\$126.94	121202001	\$38.86
120520012	\$38.86	120540013	\$98.44	121202002	\$38.86
120520013	\$38.86	120540014	\$126.94	121202003	\$38.86
120520014	\$38.86	120540015	\$126.94	121202004	\$38.86
120520015	\$38.86	121150001	\$33.28	121202005	\$38.86
121202006	\$38.86	121213012	\$38.86	121222006	\$38.86
121202007	\$38.86	121213013	\$38.86	121222007	\$38.86
121202008	\$38.86	121214001	\$38.86	121222008	\$38.86
121202009	\$38.86	121214002	\$38.86	121222009	\$38.86
121202010	\$38.86	121214003	\$38.86	121222010	\$38.86
121202011	\$38.86	121214004	\$38.86	121222011	\$38.86
121202012	\$38.86	121214005	\$38.86	121222012	\$38.86
121202013	\$38.86	121214006	\$38.86	121222013	\$38.86
121211001	\$38.86	121214007	\$38.86	121222014	\$38.86
121211002	\$38.86	121214008	\$38.86	121222015	\$38.86
121211003	\$38.86	121214009	\$38.86	121222016	\$38.86
121211004	\$38.86	121214010	\$38.86	121222017	\$38.86
121211005	\$38.86	121214011	\$38.86	121222018	\$38.86
121211006	\$38.86	121214012	\$38.86	121222019	\$38.86
121211007	\$38.86	121215001	\$38.86	121222020	\$38.86
121211008	\$38.86	121215002	\$38.86	121222021	\$38.86
121212001	\$38.86	121215003	\$38.86	121222022	\$38.86
121212002	\$38.86	121215004	\$38.86	121231001	\$38.86
121212003	\$38.86	121221001	\$38.86	121231002	\$38.86
121212004	\$38.86	121221002	\$38.86	121231003	\$38.86
121212005	\$38.86	121221003	\$38.86	121231004	\$38.86
121212006	\$38.86	121221004	\$38.86	121231005	\$38.86
121212007	\$38.86	121221005	\$38.86	121231006	\$38.86
121212008	\$38.86	121221006	\$77.72	121231007	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121212009	\$38.86	121221007	\$77.72	121231008	\$38.86
121212010	\$38.86	121221008	\$49.22	121231009	\$38.86
121212011	\$38.86	121221009	\$38.86	121231010	\$38.86
121212012	\$38.86	121221010	\$38.86	121231011	\$38.86
121212013	\$38.86	121221011	\$38.86	121231012	\$38.86
121212014	\$38.86	121221012	\$38.86	121231013	\$38.86
121212015	\$38.86	121221013	\$38.86	121231015	\$38.86
121212016	\$38.86	121221014	\$38.86	121232001	\$38.86
121213001	\$38.86	121221015	\$38.86	121232002	\$38.86
121213002	\$38.86	121221016	\$38.86	121232003	\$38.86
121213003	\$38.86	121221017	\$38.86	121232004	\$38.86
121213004	\$38.86	121221018	\$38.86	121232005	\$38.86
121213005	\$38.86	121221019	\$38.86	121232006	\$38.86
121213006	\$38.86	121221020	\$38.86	121232007	\$38.86
121213007	\$38.86	121222001	\$38.86	121232008	\$38.86
121213008	\$38.86	121222002	\$38.86	121232009	\$38.86
121213009	\$38.86	121222003	\$38.86	121232010	\$38.86
121213010	\$38.86	121222004	\$38.86	121232011	\$38.86
121213011	\$38.86	121222005	\$38.86	121232012	\$38.86
121232013	\$38.86	121334002	\$38.86	121352007	\$38.86
121232014	\$38.86	121334003	\$38.86	121352008	\$49.22
121232015	\$38.86	121334004	\$38.86	121353001	\$38.86
121232016	\$38.86	121334005	\$38.86	121353002	\$38.86
121232017	\$38.86	121334006	\$38.86	121353003	\$38.86
121232018	\$38.86	121334007	\$38.86	121353004	\$38.86
121232019	\$38.86	121334008	\$38.86	121353005	\$49.22
121232020	\$38.86	121334009	\$38.86	121353006	\$38.86
121232021	\$38.86	121334010	\$38.86	121353007	\$38.86
121232023	\$38.86	121334011	\$38.86	121354001	\$38.86
121232024	\$38.86	121334012	\$38.86	121354003	\$38.86
121331001	\$38.86	121334013	\$38.86	121354004	\$38.86
121331002	\$38.86	121341002	\$38.86	121354005	\$38.86
121331003	\$38.86	121341003	\$38.86	121355001	\$38.86
121331004	\$38.86	121341004	\$38.86	121355002	\$38.86
121331005	\$38.86	121341005	\$49.22	121355003	\$38.86
121331006	\$38.86	121341006	\$38.86	121355004	\$38.86
121332001	\$38.86	121341007	\$38.86	121355005	\$38.86
121332002	\$38.86	121342001	\$49.22	121355006	\$38.86
121332003	\$38.86	121342002	\$49.22	121361001	\$49.22
121332004	\$38.86	121342003	\$49.22	121361002	\$49.22
121332005	\$38.86	121342004	\$49.22	121361003	\$38.86
121332006	\$38.86	121342005	\$49.22	121361004	\$49.22
121332007	\$38.86	121342006	\$38.86	121361005	\$38.86
121332008	\$38.86	121342007	\$38.86	121361006	\$38.86
121332009	\$38.86	121342008	\$38.86	121361007	\$38.86
121332010	\$38.86	121351001	\$49.22	121361008	\$49.22



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121332011	\$38.86	121351002	\$49.22	121361009	\$38.86
121333001	\$38.86	121351003	\$38.86	121361010	\$49.22
121333002	\$38.86	121351004	\$38.86	121361011	\$49.22
121333003	\$38.86	121351005	\$38.86	121361012	\$38.86
121333004	\$38.86	121351006	\$38.86	121361013	\$38.86
121333005	\$38.86	121351007	\$38.86	121361014	\$38.86
121333006	\$38.86	121351008	\$38.86	121361015	\$38.86
121333007	\$38.86	121351009	\$38.86	121361016	\$49.22
121333008	\$38.86	121351010	\$38.86	121362001	\$38.86
121333009	\$38.86	121351011	\$38.86	121362002	\$38.86
121333010	\$38.86	121352001	\$38.86	121362003	\$38.86
121333011	\$38.86	121352002	\$38.86	121362004	\$38.86
121333012	\$38.86	121352003	\$38.86	121362005	\$38.86
121333013	\$38.86	121352004	\$38.86	121362006	\$38.86
121333014	\$38.86	121352005	\$38.86	121362007	\$38.86
121334001	\$38.86	121352006	\$38.86	121362008	\$38.86
121362009	\$38.86	121372004	\$38.86	121375006	\$38.86
121362010	\$49.22	121372005	\$38.86	121375007	\$38.86
121362011	\$49.22	121372006	\$38.86	121375008	\$38.86
121362012	\$38.86	121372007	\$38.86	121375009	\$38.86
121362013	\$38.86	121372008	\$38.86	121375010	\$38.86
121362014	\$38.86	121372009	\$38.86	121384001	\$38.86
121362015	\$38.86	121372010	\$38.86	121384002	\$38.86
121362016	\$38.86	121372011	\$38.86	121384003	\$38.86
121362017	\$38.86	121372012	\$38.86	121384004	\$38.86
121362018	\$38.86	121372013	\$38.86	121384005	\$38.86
121362019	\$38.86	121373001	\$38.86	121384006	\$38.86
121362020	\$38.86	121373002	\$38.86	121384007	\$38.86
121362021	\$38.86	121373003	\$38.86	121384008	\$38.86
121362022	\$38.86	121373004	\$38.86	121384009	\$38.86
121362023	\$38.86	121373005	\$38.86	121384010	\$38.86
121362024	\$38.86	121373006	\$38.86	121384011	\$38.86
121363001	\$38.86	121373007	\$38.86	121384012	\$38.86
121363002	\$38.86	121373008	\$38.86	121384013	\$38.86
121363003	\$38.86	121373009	\$38.86	121384014	\$38.86
121363004	\$38.86	121373010	\$38.86	121384015	\$38.86
121363005	\$38.86	121373011	\$38.86	121384016	\$38.86
121363006	\$38.86	121373012	\$38.86	121384017	\$59.58
121363007	\$38.86	121373013	\$38.86	121384018	\$49.22
121363008	\$38.86	121373014	\$38.86	121384019	\$49.22
121363009	\$38.86	121373015	\$38.86	121384020	\$38.86
121363010	\$38.86	121373016	\$38.86	121385001	\$38.86
121363011	\$38.86	121373017	\$38.86	121385002	\$38.86
121363012	\$38.86	121374002	\$38.86	121385003	\$38.86
121363013	\$38.86	121374003	\$38.86	121385004	\$38.86
121363014	\$38.86	121374004	\$38.86	121385005	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121363015	\$38.86	121374005	\$38.86	121385006	\$38.86
121363016	\$38.86	121374006	\$38.86	121385007	\$38.86
121363017	\$38.86	121374007	\$38.86	121385008	\$38.86
121371001	\$38.86	121374008	\$38.86	121385009	\$38.86
121371002	\$38.86	121374009	\$49.22	121385010	\$38.86
121371003	\$38.86	121374010	\$49.22	121385011	\$38.86
121371004	\$38.86	121374011	\$49.22	121385012	\$38.86
121371005	\$38.86	121374012	\$38.86	121385013	\$38.86
121371006	\$38.86	121375001	\$38.86	121385014	\$38.86
121371007	\$38.86	121375002	\$38.86	121385015	\$38.86
121372001	\$49.22	121375003	\$38.86	121391001	\$38.86
121372002	\$38.86	121375004	\$38.86	121391002	\$38.86
121372003	\$38.86	121375005	\$38.86	121391003	\$38.86
121391004	\$38.86	121392033	\$38.86	121394001	\$38.86
121391005	\$38.86	121392034	\$38.86	121394002	\$38.86
121391006	\$38.86	121392035	\$38.86	121394003	\$38.86
121391007	\$38.86	121393001	\$38.86	121394004	\$38.86
121391008	\$38.86	121393002	\$38.86	121394005	\$38.86
121391009	\$38.86	121393003	\$38.86	121394006	\$38.86
121391010	\$38.86	121393004	\$38.86	121394007	\$38.86
121391011	\$38.86	121393005	\$38.86	121394008	\$38.86
121391012	\$38.86	121393006	\$38.86	121394009	\$38.86
121391013	\$38.86	121393007	\$38.86	121394010	\$38.86
121391014	\$38.86	121393008	\$38.86	121394011	\$38.86
121391015	\$38.86	121393009	\$38.86	121394012	\$38.86
121392001	\$38.86	121393010	\$38.86	121394013	\$38.86
121392002	\$38.86	121393011	\$38.86	121394014	\$38.86
121392003	\$38.86	121393012	\$38.86	121394015	\$38.86
121392004	\$38.86	121393013	\$38.86	121394016	\$38.86
121392005	\$38.86	121393014	\$38.86	121394017	\$38.86
121392007	\$38.86	121393015	\$38.86	121394018	\$38.86
121392008	\$38.86	121393016	\$38.86	121394019	\$38.86
121392009	\$38.86	121393017	\$38.86	121394020	\$38.86
121392010	\$38.86	121393018	\$38.86	121394021	\$38.86
121392011	\$38.86	121393019	\$38.86	121394022	\$38.86
121392012	\$38.86	121393020	\$38.86	121394023	\$38.86
121392013	\$38.86	121393021	\$38.86	121394024	\$38.86
121392014	\$38.86	121393022	\$38.86	121394025	\$38.86
121392015	\$38.86	121393023	\$38.86	121394026	\$38.86
121392016	\$38.86	121393024	\$38.86	121394027	\$38.86
121392017	\$38.86	121393025	\$38.86	121394028	\$38.86
121392018	\$38.86	121393026	\$38.86	121394029	\$38.86
121392019	\$38.86	121393027	\$38.86	121394030	\$38.86
121392020	\$38.86	121393028	\$38.86	121394031	\$38.86
121392021	\$38.86	121393029	\$38.86	121394032	\$38.86
121392022	\$38.86	121393030	\$38.86	121394033	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121392023	\$38.86	121393031	\$38.86	121394034	\$38.86
121392024	\$38.86	121393032	\$38.86	121394035	\$38.86
121392025	\$38.86	121393033	\$38.86	121394036	\$38.86
121392026	\$38.86	121393034	\$38.86	121394037	\$38.86
121392027	\$38.86	121393035	\$38.86	121394038	\$38.86
121392028	\$38.86	121393036	\$38.86	121394039	\$38.86
121392029	\$38.86	121393037	\$38.86	121401001	\$38.86
121392030	\$38.86	121393038	\$38.86	121401002	\$38.86
121392031	\$38.86	121393039	\$38.86	121401003	\$38.86
121392032	\$38.86	121393040	\$38.86	121401004	\$38.86
121401005	\$38.86	121403008	\$38.86	121404037	\$38.86
121401006	\$38.86	121403009	\$38.86	121404038	\$38.86
121401007	\$38.86	121403010	\$38.86	121404039	\$38.86
121402001	\$38.86	121403011	\$38.86	121404040	\$38.86
121402002	\$38.86	121403012	\$38.86	121404041	\$38.86
121402003	\$38.86	121403013	\$38.86	121404042	\$38.86
121402004	\$38.86	121403014	\$38.86	121404043	\$38.86
121402005	\$38.86	121404001	\$38.86	121404044	\$38.86
121402006	\$38.86	121404002	\$38.86	121404045	\$38.86
121402007	\$38.86	121404003	\$38.86	121404046	\$38.86
121402008	\$38.86	121404004	\$38.86	121404047	\$38.86
121402009	\$38.86	121404005	\$38.86	121404048	\$38.86
121402010	\$38.86	121404006	\$38.86	121404049	\$38.86
121402011	\$38.86	121404007	\$38.86	121404050	\$38.86
121402012	\$38.86	121404008	\$38.86	121404051	\$38.86
121402013	\$38.86	121404009	\$38.86	121404052	\$38.86
121402014	\$38.86	121404010	\$38.86	121404053	\$38.86
121402015	\$38.86	121404011	\$38.86	121404054	\$38.86
121402016	\$38.86	121404012	\$38.86	121404055	\$38.86
121402017	\$38.86	121404013	\$38.86	121404056	\$38.86
121402018	\$38.86	121404014	\$38.86	121411001	\$38.86
121402019	\$38.86	121404015	\$38.86	121411002	\$38.86
121402020	\$38.86	121404016	\$38.86	121411003	\$38.86
121402021	\$38.86	121404017	\$38.86	121411004	\$38.86
121402022	\$38.86	121404018	\$38.86	121411005	\$38.86
121402023	\$38.86	121404019	\$38.86	121411006	\$38.86
121402024	\$38.86	121404020	\$38.86	121411007	\$38.86
121402026	\$38.86	121404021	\$38.86	121411008	\$38.86
121402027	\$38.86	121404022	\$38.86	121411009	\$38.86
121402028	\$38.86	121404023	\$38.86	121411010	\$38.86
121402029	\$38.86	121404024	\$38.86	121411011	\$38.86
121402030	\$38.86	121404025	\$38.86	121411012	\$38.86
121402031	\$38.86	121404026	\$38.86	121411013	\$38.86
121402032	\$38.86	121404027	\$38.86	121411014	\$38.86
121402033	\$38.86	121404028	\$38.86	121411015	\$38.86
121402034	\$38.86	121404029	\$38.86	121411016	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121403001	\$38.86	121404030	\$38.86	121411017	\$38.86
121403002	\$38.86	121404031	\$38.86	121411018	\$38.86
121403003	\$38.86	121404032	\$38.86	121411019	\$38.86
121403004	\$38.86	121404033	\$38.86	121411020	\$38.86
121403005	\$38.86	121404034	\$38.86	121411021	\$38.86
121403006	\$38.86	121404035	\$38.86	121411022	\$38.86
121403007	\$38.86	121404036	\$38.86	121411023	\$38.86
121411024	\$38.86	121414006	\$38.86	121422025	\$38.86
121411025	\$38.86	121414007	\$38.86	121422026	\$38.86
121411026	\$38.86	121421001	\$38.86	121422027	\$38.86
121411027	\$38.86	121421002	\$38.86	121422028	\$38.86
121411028	\$38.86	121421003	\$38.86	121422029	\$38.86
121411029	\$38.86	121421004	\$38.86	121422030	\$38.86
121411030	\$38.86	121421005	\$38.86	121422031	\$38.86
121411031	\$38.86	121421006	\$38.86	121422032	\$38.86
121411032	\$38.86	121421007	\$38.86	121423001	\$38.86
121411033	\$38.86	121421008	\$38.86	121423002	\$38.86
121411034	\$38.86	121421009	\$38.86	121423003	\$38.86
121411035	\$38.86	121421010	\$38.86	121423004	\$38.86
121411036	\$38.86	121421011	\$38.86	121423005	\$38.86
121412001	\$38.86	121421012	\$38.86	121423006	\$38.86
121412002	\$38.86	121421013	\$38.86	121423007	\$38.86
121412003	\$38.86	121421014	\$38.86	121423008	\$38.86
121412004	\$38.86	121421015	\$38.86	121423009	\$38.86
121412005	\$38.86	121421016	\$38.86	121423010	\$38.86
121412006	\$38.86	121421017	\$38.86	121424001	\$38.86
121412007	\$38.86	121422001	\$38.86	121424002	\$38.86
121412008	\$38.86	121422002	\$38.86	121424003	\$38.86
121412009	\$38.86	121422003	\$38.86	121424004	\$38.86
121412010	\$38.86	121422004	\$38.86	121424005	\$38.86
121412011	\$38.86	121422005	\$38.86	121424006	\$38.86
121412012	\$38.86	121422006	\$38.86	121424007	\$38.86
121412013	\$38.86	121422007	\$38.86	121424008	\$38.86
121412014	\$38.86	121422008	\$38.86	121424009	\$38.86
121412015	\$38.86	121422009	\$38.86	121424010	\$38.86
121412016	\$38.86	121422010	\$38.86	121424011	\$38.86
121412017	\$38.86	121422011	\$38.86	121424012	\$38.86
121413001	\$38.86	121422012	\$38.86	121424013	\$38.86
121413002	\$38.86	121422013	\$38.86	121424014	\$38.86
121413003	\$38.86	121422014	\$38.86	121424015	\$38.86
121413004	\$38.86	121422015	\$38.86	121425001	\$38.86
121413005	\$38.86	121422016	\$38.86	121425002	\$38.86
121413006	\$38.86	121422017	\$38.86	121425003	\$38.86
121413007	\$38.86	121422018	\$38.86	121425004	\$38.86
121413008	\$38.86	121422019	\$38.86	121425005	\$38.86
121414001	\$38.86	121422020	\$38.86	121425006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121414002	\$38.86	121422021	\$38.86	121425007	\$38.86
121414003	\$38.86	121422022	\$38.86	121425008	\$38.86
121414004	\$38.86	121422023	\$38.86	121425009	\$38.86
121414005	\$38.86	121422024	\$38.86	121425010	\$38.86
121425011	\$38.86	121441010	\$38.86	121452003	\$38.86
121431008	\$38.86	121441011	\$38.86	121452004	\$38.86
121431009	\$38.86	121441012	\$38.86	121452005	\$38.86
121431010	\$38.86	121442004	\$38.86	121452006	\$38.86
121431011	\$38.86	121442005	\$38.86	121452007	\$38.86
121431012	\$38.86	121442006	\$38.86	121452008	\$38.86
121431013	\$38.86	121442007	\$38.86	121452009	\$38.86
121431014	\$38.86	121442008	\$38.86	121452010	\$38.86
121431015	\$38.86	121443001	\$38.86	121452011	\$38.86
121431016	\$38.86	121443002	\$38.86	121452012	\$38.86
121431017	\$38.86	121443003	\$38.86	121452013	\$38.86
121431018	\$38.86	121443004	\$38.86	121452014	\$38.86
121431019	\$38.86	121443005	\$38.86	121452015	\$38.86
121432001	\$38.86	121443006	\$38.86	121452016	\$38.86
121432002	\$38.86	121443012	\$38.86	121461001	\$38.86
121432003	\$38.86	121443013	\$38.86	121461002	\$38.86
121432004	\$38.86	121443014	\$38.86	121461003	\$38.86
121432005	\$38.86	121443015	\$38.86	121461004	\$38.86
121432006	\$38.86	121443016	\$38.86	121461005	\$38.86
121432015	\$38.86	121443017	\$38.86	121461006	\$38.86
121432016	\$38.86	121443018	\$38.86	121461007	\$38.86
121432017	\$38.86	121443019	\$38.86	121461008	\$38.86
121432018	\$38.86	121443020	\$38.86	121461009	\$38.86
121432019	\$38.86	121443021	\$38.86	121461010	\$38.86
121432020	\$38.86	121443022	\$38.86	121461011	\$38.86
121432021	\$38.86	121443023	\$38.86	121461012	\$38.86
121432022	\$38.86	121451001	\$38.86	121461013	\$38.86
121433009	\$38.86	121451002	\$38.86	121461014	\$38.86
121433010	\$38.86	121451003	\$38.86	121461015	\$38.86
121433011	\$38.86	121451004	\$38.86	121461016	\$38.86
121433012	\$38.86	121451005	\$38.86	121461017	\$38.86
121433013	\$38.86	121451006	\$38.86	121461018	\$38.86
121433014	\$38.86	121451007	\$38.86	121461019	\$38.86
121433015	\$38.86	121451008	\$38.86	121461020	\$38.86
121433016	\$38.86	121451009	\$38.86	121461021	\$38.86
121433017	\$38.86	121451010	\$38.86	121461022	\$38.86
121441001	\$38.86	121451011	\$38.86	121461023	\$38.86
121441002	\$38.86	121451012	\$38.86	121461024	\$38.86
121441003	\$38.86	121451013	\$38.86	121461025	\$38.86
121441004	\$38.86	121451014	\$38.86	121461026	\$38.86
121441007	\$38.86	121451015	\$38.86	121461027	\$38.86
121441008	\$38.86	121452001	\$38.86	121461028	\$38.86



## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121441009	\$38.86	121452002	\$38.86	121461029	\$38.86
121461030	\$38.86	121464017	\$38.86	121482004	\$38.86
121461031	\$38.86	121471001	\$38.86	121482008	\$38.86
121462001	\$38.86	121471002	\$38.86	121482009	\$38.86
121462002	\$38.86	121471003	\$38.86	121482010	\$38.86
121462003	\$38.86	121471004	\$38.86	121482011	\$38.86
121462004	\$38.86	121471005	\$38.86	121482012	\$38.86
121462005	\$38.86	121471007	\$38.86	121482013	\$38.86
121462006	\$38.86	121472001	\$38.86	121482014	\$38.86
121462007	\$38.86	121472002	\$38.86	121482015	\$38.86
121462008	\$38.86	121472003	\$38.86	121482016	\$38.86
121462009	\$38.86	121472004	\$38.86	121482017	\$38.86
121462010	\$38.86	121472005	\$38.86	121482018	\$38.86
121462011	\$38.86	121472006	\$38.86	121482019	\$38.86
121462012	\$38.86	121472007	\$38.86	121482020	\$38.86
121462013	\$38.86	121472008	\$38.86	121482021	\$38.86
121462014	\$38.86	121472009	\$38.86	121482023	\$38.86
121462015	\$38.86	121472010	\$38.86	121482024	\$38.86
121462016	\$38.86	121472011	\$38.86	121482025	\$38.86
121463001	\$38.86	121472012	\$38.86	121491001	\$38.86
121463002	\$38.86	121472013	\$38.86	121491002	\$38.86
121463003	\$38.86	121472014	\$38.86	121491003	\$38.86
121463004	\$38.86	121472015	\$38.86	121491004	\$38.86
121463005	\$38.86	121472016	\$38.86	121491005	\$38.86
121463006	\$38.86	121472017	\$38.86	121491006	\$38.86
121463007	\$38.86	121472018	\$38.86	121491007	\$38.86
121463008	\$38.86	121472019	\$38.86	121491008	\$38.86
121463009	\$38.86	121481001	\$38.86	121491009	\$38.86
121463010	\$38.86	121481002	\$38.86	121491010	\$38.86
121463011	\$38.86	121481003	\$38.86	121491011	\$38.86
121464003	\$38.86	121481004	\$38.86	121491012	\$38.86
121464004	\$38.86	121481005	\$38.86	121491013	\$38.86
121464005	\$38.86	121481006	\$38.86	121491014	\$38.86
121464006	\$38.86	121481007	\$38.86	121491015	\$38.86
121464007	\$38.86	121481008	\$38.86	121491016	\$38.86
121464008	\$38.86	121481009	\$38.86	121491017	\$38.86
121464009	\$38.86	121481010	\$38.86	121491018	\$38.86
121464010	\$38.86	121481011	\$38.86	121491019	\$38.86
121464011	\$38.86	121481012	\$38.86	121491020	\$38.86
121464012	\$38.86	121481013	\$38.86	121491021	\$38.86
121464013	\$38.86	121481014	\$38.86	121491022	\$38.86
121464014	\$38.86	121482001	\$38.86	121491023	\$38.86
121464015	\$38.86	121482002	\$38.86	121491024	\$38.86
121464016	\$38.86	121482003	\$38.86	121491025	\$38.86
121491026	\$38.86	121493029	\$38.86	121502014	\$38.86
121492001	\$38.86	121493030	\$38.86	121502015	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121492002	\$38.86	121493031	\$38.86	121503001	\$38.86
121492003	\$38.86	121493032	\$38.86	121503002	\$38.86
121492004	\$38.86	121493033	\$38.86	121503003	\$38.86
121492005	\$38.86	121493034	\$38.86	121503004	\$38.86
121492006	\$38.86	121493035	\$38.86	121503005	\$38.86
121492007	\$38.86	121493036	\$38.86	121503006	\$38.86
121492008	\$38.86	121493037	\$38.86	121503007	\$38.86
121492009	\$38.86	121493038	\$38.86	121503008	\$38.86
121492010	\$38.86	121493039	\$38.86	121503009	\$38.86
121492011	\$38.86	121493040	\$38.86	121503010	\$38.86
121492012	\$38.86	121493041	\$38.86	121503011	\$38.86
121492013	\$38.86	121493042	\$38.86	121503012	\$38.86
121492014	\$38.86	121493043	\$38.86	121503013	\$38.86
121492015	\$38.86	121493044	\$38.86	121503014	\$38.86
121492016	\$38.86	121493045	\$38.86	121503015	\$38.86
121493001	\$38.86	121493046	\$38.86	121503016	\$38.86
121493002	\$38.86	121501001	\$38.86	121503017	\$38.86
121493003	\$38.86	121501002	\$38.86	121503018	\$38.86
121493004	\$38.86	121501003	\$38.86	121503019	\$38.86
121493005	\$38.86	121501004	\$38.86	121503020	\$38.86
121493006	\$38.86	121501005	\$38.86	121503021	\$38.86
121493007	\$38.86	121501006	\$38.86	121503022	\$38.86
121493008	\$38.86	121501007	\$38.86	121503023	\$38.86
121493009	\$38.86	121501008	\$38.86	121503024	\$38.86
121493010	\$38.86	121501009	\$38.86	121503025	\$38.86
121493011	\$38.86	121501010	\$38.86	121503026	\$38.86
121493012	\$38.86	121501011	\$38.86	121503027	\$38.86
121493013	\$38.86	121501012	\$38.86	121503028	\$38.86
121493014	\$38.86	121502001	\$38.86	121503029	\$38.86
121493015	\$38.86	121502002	\$38.86	121503030	\$38.86
121493016	\$38.86	121502003	\$38.86	121503031	\$38.86
121493017	\$38.86	121502004	\$38.86	121503032	\$38.86
121493018	\$38.86	121502005	\$38.86	121503033	\$38.86
121493019	\$38.86	121502006	\$38.86	121503034	\$38.86
121493020	\$38.86	121502007	\$38.86	121503035	\$38.86
121493021	\$38.86	121502008	\$38.86	121503036	\$38.86
121493022	\$38.86	121502009	\$38.86	121504001	\$38.86
121493025	\$38.86	121502010	\$38.86	121504002	\$38.86
121493026	\$38.86	121502011	\$38.86	121504003	\$38.86
121493027	\$38.86	121502012	\$38.86	121504004	\$38.86
121493028	\$38.86	121502013	\$38.86	121504005	\$38.86
121504006	\$38.86	121512025	\$38.86	121513018	\$38.86
121504007	\$38.86	121512026	\$38.86	121513019	\$38.86
121504008	\$38.86	121512027	\$38.86	121521001	\$38.86
121504009	\$38.86	121512028	\$38.86	121521002	\$38.86
121504010	\$38.86	121512029	\$38.86	121521003	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121504011	\$38.86	121512030	\$38.86	121521004	\$38.86
121504012	\$38.86	121512031	\$38.86	121521005	\$38.86
121504013	\$38.86	121512032	\$38.86	121521006	\$38.86
121504014	\$38.86	121512033	\$38.86	121521007	\$38.86
121511001	\$38.86	121512034	\$38.86	121521008	\$38.86
121511002	\$38.86	121512035	\$38.86	121521009	\$38.86
121511003	\$38.86	121512036	\$38.86	121521010	\$38.86
121511004	\$38.86	121512037	\$38.86	121521011	\$38.86
121511005	\$38.86	121512038	\$38.86	121521012	\$38.86
121511006	\$38.86	121512039	\$38.86	121521013	\$38.86
121511007	\$38.86	121512040	\$38.86	121521014	\$38.86
121511008	\$38.86	121512041	\$38.86	121521015	\$38.86
121511009	\$38.86	121512042	\$38.86	121521016	\$38.86
121511010	\$38.86	121512043	\$38.86	121521017	\$38.86
121511011	\$38.86	121512044	\$38.86	121521018	\$38.86
121512001	\$38.86	121512045	\$38.86	121521019	\$38.86
121512002	\$38.86	121512046	\$38.86	121521020	\$38.86
121512003	\$38.86	121512047	\$38.86	121521021	\$38.86
121512004	\$38.86	121512048	\$38.86	121521022	\$38.86
121512005	\$38.86	121512049	\$38.86	121521023	\$38.86
121512006	\$38.86	121512050	\$38.86	121521024	\$38.86
121512007	\$38.86	121513001	\$38.86	121521025	\$38.86
121512008	\$38.86	121513002	\$38.86	121521026	\$38.86
121512009	\$38.86	121513003	\$38.86	121521027	\$38.86
121512010	\$38.86	121513004	\$38.86	121521028	\$38.86
121512011	\$38.86	121513005	\$38.86	121522001	\$38.86
121512012	\$38.86	121513006	\$38.86	121522002	\$38.86
121512013	\$38.86	121513007	\$38.86	121522003	\$38.86
121512014	\$38.86	121513008	\$38.86	121522004	\$38.86
121512015	\$38.86	121513009	\$38.86	121522005	\$38.86
121512016	\$38.86	121513010	\$38.86	121522006	\$38.86
121512017	\$38.86	121513011	\$38.86	121522007	\$38.86
121512018	\$38.86	121513012	\$38.86	121522008	\$38.86
121512019	\$38.86	121513013	\$38.86	121522009	\$38.86
121512020	\$38.86	121513014	\$38.86	121522010	\$38.86
121512022	\$38.86	121513015	\$38.86	121522011	\$38.86
121512023	\$38.86	121513016	\$38.86	121522012	\$38.86
121512024	\$38.86	121513017	\$38.86	121522013	\$38.86
121522014	\$38.86	121531017	\$38.86	122130024	\$10.36
121522015	\$38.86	121531018	\$38.86	122130025	\$10.36
121522016	\$38.86	121531019	\$38.86	122130051	\$10.36
121522017	\$38.86	121531020	\$38.86	122130052	\$115.52
121522018	\$38.86	121531021	\$38.86	122130055	\$77.72
121522019	\$38.86	121531022	\$38.86	122130056	\$49.22
121522020	\$38.86	121531023	\$38.86	122130057	\$77.72
121522021	\$38.86	121531024	\$38.86	122130058	\$77.72



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121522022	\$38.86	121532001	\$38.86	122130059	\$59.58
121522023	\$38.86	121532002	\$38.86	122130060	\$49.22
121522024	\$38.86	121532003	\$38.86	122130061	\$49.22
121522025	\$38.86	121532004	\$38.86	122130062	\$77.72
121522026	\$38.86	121532005	\$38.86	122130063	\$49.22
121522027	\$38.86	121532006	\$38.86	122130064	\$77.72
121522028	\$38.86	121532007	\$38.86	122140007	\$114.76
121522029	\$38.86	121532008	\$38.86	122140008	\$518.70
121522030	\$38.86	121532009	\$38.86	122140009	\$458.28
121522031	\$38.86	121532010	\$38.86	122140010	\$38.86
121522032	\$38.86	121532011	\$38.86	122140016	\$49.60
121522033	\$38.86	121532012	\$38.86	122150014	\$106.22
121522034	\$38.86	121532013	\$38.86	122150015	\$77.72
121523001	\$38.86	121533001	\$38.86	122150016	\$77.72
121523002	\$38.86	121533002	\$38.86	122150017	\$77.72
121523003	\$38.86	121533003	\$38.86	122150018	\$49.22
121523004	\$38.86	121533004	\$38.86	122150019	\$59.58
121523005	\$38.86	121533005	\$38.86	122150020	\$49.22
121523006	\$38.86	121533006	\$38.86	122150021	\$49.22
121531001	\$38.86	121533007	\$38.86	122150022	\$77.72
121531002	\$38.86	122061008	\$200.26	122150023	\$77.72
121531003	\$38.86	122120004	\$86.98	122150024	\$77.72
121531004	\$38.86	122120006	\$258.78	122150025	\$77.72
121531005	\$38.86	122120014	\$403.94	122150026	\$77.72
121531006	\$38.86	122120016	\$114.76	122150027	\$77.72
121531007	\$38.86	122120017	\$86.98	122150028	\$49.22
121531008	\$38.86	122120018	\$172.90	122150029	\$49.22
121531009	\$38.86	122120020	\$865.64	122150030	\$77.72
121531010	\$38.86	122130010	\$59.58	122150031	\$77.72
121531011	\$38.86	122130011	\$10.36	122150032	\$49.22
121531012	\$38.86	122130019	\$5.72	122150033	\$77.72
121531013	\$38.86	122130020	\$10.36	122150034	\$49.22
121531014	\$38.86	122130021	\$10.36	122161001	\$38.86
121531015	\$38.86	122130022	\$10.36	122161002	\$38.86
121531016	\$38.86	122130023	\$10.36	122161003	\$38.86
122161004	\$38.86	122163003	\$38.86	122171007	\$38.86
122161005	\$38.86	122163004	\$38.86	122171008	\$38.86
122161006	\$38.86	122163005	\$38.86	122171009	\$38.86
122161007	\$38.86	122163006	\$38.86	122171010	\$38.86
122161008	\$38.86	122163007	\$38.86	122171011	\$38.86
122161009	\$38.86	122163008	\$38.86	122171012	\$38.86
122161010	\$38.86	122163009	\$38.86	122171013	\$38.86
122161011	\$38.86	122163010	\$38.86	122171014	\$38.86
122161012	\$38.86	122163011	\$38.86	122171015	\$38.86
122161013	\$38.86	122163012	\$38.86	122171016	\$38.86
122161014	\$38.86	122163013	\$38.86	122171017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122161015	\$38.86	122163014	\$38.86	122171018	\$38.86
122161016	\$38.86	122163015	\$38.86	122171019	\$38.86
122161017	\$38.86	122163016	\$38.86	122171020	\$38.86
122161018	\$38.86	122163017	\$38.86	122171021	\$38.86
122162001	\$38.86	122163018	\$38.86	122171022	\$38.86
122162002	\$38.86	122163019	\$38.86	122171023	\$38.86
122162003	\$38.86	122163020	\$38.86	122171024	\$38.86
122162004	\$38.86	122163021	\$38.86	122171025	\$38.86
122162005	\$38.86	122163022	\$38.86	122171026	\$38.86
122162006	\$38.86	122164001	\$38.86	122171027	\$38.86
122162007	\$38.86	122164002	\$38.86	122171028	\$38.86
122162008	\$38.86	122164003	\$38.86	122171029	\$38.86
122162009	\$38.86	122164004	\$38.86	122171030	\$38.86
122162010	\$38.86	122164005	\$38.86	122171031	\$38.86
122162011	\$38.86	122164006	\$38.86	122172001	\$38.86
122162012	\$38.86	122164007	\$38.86	122172002	\$38.86
122162013	\$38.86	122164008	\$38.86	122172003	\$38.86
122162014	\$38.86	122164009	\$38.86	122172004	\$38.86
122162015	\$38.86	122164010	\$38.86	122172005	\$38.86
122162016	\$38.86	122164011	\$38.86	122172006	\$38.86
122162017	\$38.86	122164012	\$38.86	122172007	\$38.86
122162018	\$38.86	122164013	\$38.86	122172008	\$38.86
122162019	\$38.86	122164014	\$38.86	122172009	\$38.86
122162020	\$38.86	122164015	\$38.86	122172010	\$38.86
122162021	\$38.86	122164016	\$38.86	122172011	\$38.86
122162022	\$38.86	122164017	\$38.86	122172012	\$38.86
122162023	\$38.86	122171001	\$38.86	122173001	\$38.86
122162024	\$38.86	122171002	\$38.86	122173002	\$38.86
122162025	\$38.86	122171003	\$38.86	122173003	\$38.86
122162026	\$38.86	122171004	\$38.86	122173004	\$38.86
122163001	\$38.86	122171005	\$38.86	122173005	\$38.86
122163002	\$38.86	122171006	\$38.86	122173006	\$38.86
122173007	\$38.86	122191007	\$38.86	122210076	\$217.56
122173008	\$38.86	122191008	\$38.86	122210080	\$398.92
122173009	\$38.86	122191009	\$38.86	122210082	\$533.60
122173010	\$38.86	122191010	\$38.86	122210083	\$103.60
122173011	\$38.86	122191011	\$38.86	122210084	\$102.04
122173012	\$38.86	122191012	\$38.86	122230004	\$38.86
122173013	\$38.86	122191013	\$38.86	122230007	\$10.36
122174001	\$38.86	122191014	\$38.86	122230008	\$20.72
122174002	\$38.86	122191015	\$38.86	122230012	\$314.98
122174003	\$38.86	122191016	\$38.86	122251001	\$26.60
122174004	\$38.86	122191017	\$38.86	122251002	\$26.60
122174005	\$38.86	122191018	\$38.86	122251003	\$26.60
122174006	\$38.86	122192002	\$38.86	122251004	\$26.60
122174007	\$38.86	122192003	\$38.86	122251005	\$26.60

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122174008	\$38.86	122192004	\$38.86	122251006	\$26.60
122174009	\$38.86	122192005	\$38.86	122251007	\$26.60
122174010	\$38.86	122192006	\$38.86	122251008	\$26.60
122174011	\$38.86	122192007	\$38.86	122251009	\$26.60
122174012	\$38.86	122192008	\$38.86	122251010	\$26.60
122174013	\$38.86	122192009	\$38.86	122251011	\$26.60
122174014	\$38.86	122192010	\$38.86	122251012	\$26.60
122174015	\$38.86	122192011	\$38.86	122251013	\$26.60
122174016	\$38.86	122192012	\$38.86	122251014	\$26.60
122180006	\$10.36	122192013	\$38.86	122251015	\$26.60
122180007	\$57.30	122192014	\$38.86	122251016	\$26.60
122180015	\$11.46	122192015	\$38.86	122251017	\$26.60
122180017	\$5.72	122192016	\$38.86	122251018	\$26.60
122180018	\$5.72	122192017	\$38.86	122251019	\$26.60
122180020	\$5.72	122192018	\$38.86	122251020	\$26.60
122180021	\$5.72	122192019	\$38.86	122251021	\$26.60
122180022	\$5.72	122192020	\$38.86	122251022	\$26.60
122180024	\$5.72	122192021	\$139.88	122251024	\$12.64
122180027	\$68.76	122210035	\$229.90	122251025	\$12.64
122180029	\$10.36	122210053	\$657.92	122251026	\$12.64
122180031	\$147.58	122210056	\$398.92	122251027	\$12.64
122180032	\$82.88	122210057	\$360.06	122251028	\$12.64
122180034	\$113.96	122210058	\$331.56	122251029	\$12.64
122191001	\$38.86	122210059	\$417.06	122251030	\$12.64
122191002	\$38.86	122210060	\$365.22	122251031	\$12.64
122191003	\$38.86	122210061	\$274.56	122251032	\$12.64
122191004	\$38.86	122210072	\$303.06	122251033	\$12.64
122191005	\$38.86	122210073	\$642.44	122251034	\$12.64
122191006	\$38.86	122210075	\$227.92	122251035	\$12.64
122251036	\$13.20	122251080	\$12.64	122253001	\$13.20
122251037	\$12.64	122252001	\$13.20	122253002	\$13.20
122251038	\$12.64	122252002	\$13.20	122253003	\$13.20
122251039	\$12.64	122252003	\$13.20	122253004	\$13.20
122251040	\$12.64	122252004	\$13.20	122253005	\$13.20
122251041	\$12.64	122252005	\$13.20	122253006	\$13.20
122251042	\$12.64	122252006	\$13.20	122253007	\$13.20
122251043	\$12.64	122252007	\$13.20	122253009	\$13.20
122251044	\$12.64	122252008	\$13.20	122253010	\$13.20
122251045	\$12.64	122252009	\$13.20	122253011	\$13.20
122251046	\$12.64	122252010	\$13.20	122253012	\$13.20
122251047	\$12.64	122252011	\$13.20	122253013	\$13.20
122251048	\$12.64	122252012	\$13.20	122253014	\$13.20
122251049	\$12.64	122252013	\$13.20	122253015	\$13.20
122251051	\$12.64	122252014	\$13.20	122253016	\$13.20
122251052	\$12.64	122252015	\$13.20	122253017	\$13.20
122251053	\$12.64	122252016	\$13.20	122253018	\$13.20

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122251054	\$12.64	122252017	\$13.20	122253019	\$13.20
122251055	\$12.64	122252018	\$13.20	122253020	\$13.20
122251056	\$12.64	122252020	\$13.20	122253021	\$13.20
122251057	\$12.64	122252021	\$13.20	122253022	\$13.20
122251058	\$12.64	122252022	\$13.20	122253023	\$13.20
122251059	\$12.64	122252023	\$13.20	122253024	\$13.20
122251060	\$12.64	122252024	\$13.20	122253025	\$13.20
122251061	\$12.64	122252025	\$13.20	122253026	\$13.20
122251062	\$13.20	122252026	\$13.20	122253027	\$13.20
122251063	\$13.20	122252027	\$13.20	122253028	\$13.20
122251064	\$12.64	122252028	\$13.20	122253029	\$13.20
122251065	\$12.64	122252029	\$13.20	122253030	\$13.20
122251066	\$12.64	122252030	\$13.20	122253031	\$13.20
122251067	\$12.64	122252031	\$13.20	122253032	\$13.20
122251068	\$13.20	122252032	\$13.20	122253033	\$13.20
122251069	\$13.20	122252033	\$13.20	122253035	\$13.20
122251070	\$12.64	122252034	\$13.20	122253036	\$13.20
122251071	\$12.64	122252035	\$13.20	122253037	\$13.20
122251072	\$12.64	122252036	\$13.20	122253038	\$13.20
122251073	\$12.64	122252037	\$22.46	122253039	\$13.20
122251074	\$13.20	122252038	\$13.20	122253040	\$13.20
122251075	\$12.64	122252039	\$13.20	122253041	\$13.20
122251076	\$12.64	122252040	\$13.20	122253042	\$13.20
122251077	\$12.64	122252041	\$13.20	122253043	\$13.20
122251078	\$12.64	122252042	\$13.20	122253044	\$13.20
122251079	\$12.64	122252043	\$13.20	122253045	\$13.20
122253046	\$13.20	122261031	\$13.20	122271008	\$13.20
122253047	\$13.20	122261033	\$14.62	122271009	\$13.20
122253048	\$13.20	122261034	\$14.62	122271010	\$13.20
122253049	\$13.20	122261035	\$14.62	122271011	\$13.20
122253050	\$13.20	122261036	\$14.62	122271012	\$13.20
122253051	\$13.20	122261037	\$14.62	122271013	\$13.20
122253052	\$13.20	122262001	\$14.62	122271014	\$13.20
122253053	\$13.20	122262002	\$14.62	122271015	\$13.20
122253054	\$13.20	122262003	\$14.62	122271016	\$13.20
122253055	\$13.20	122262004	\$14.62	122271017	\$13.20
122253056	\$13.20	122262005	\$14.62	122271018	\$13.20
122253057	\$13.20	122262006	\$14.62	122271020	\$13.20
122253058	\$13.20	122262007	\$14.62	122271021	\$13.20
122261001	\$13.20	122262008	\$14.62	122271022	\$13.20
122261002	\$13.20	122262009	\$14.62	122271023	\$13.20
122261003	\$13.20	122262010	\$14.62	122271024	\$13.20
122261004	\$13.20	122262011	\$14.62	122271025	\$13.20
122261005	\$13.20	122262012	\$14.62	122271026	\$13.20
122261006	\$13.20	122262013	\$14.62	122271027	\$13.20
122261007	\$13.20	122262014	\$14.62	122271028	\$13.20

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122261008	\$13.20	122262015	\$14.62	122271029	\$13.20
122261009	\$13.20	122262016	\$14.62	122271030	\$13.20
122261010	\$13.20	122262017	\$14.62	122271031	\$13.20
122261011	\$13.20	122262018	\$14.62	122271032	\$13.20
122261012	\$13.20	122262019	\$14.62	122271033	\$13.20
122261013	\$13.20	122262020	\$14.62	122271034	\$13.20
122261014	\$13.20	122262021	\$14.62	122271035	\$13.20
122261015	\$13.20	122262022	\$14.62	122271036	\$13.20
122261016	\$13.20	122262023	\$14.62	122271037	\$13.20
122261017	\$13.20	122262024	\$14.62	122271038	\$13.20
122261018	\$13.20	122262025	\$14.62	122271039	\$13.20
122261019	\$13.20	122262026	\$14.62	122271040	\$13.20
122261020	\$13.20	122262027	\$14.62	122271041	\$13.20
122261021	\$13.20	122262028	\$14.62	122271042	\$13.20
122261022	\$13.20	122262029	\$14.62	122271043	\$13.20
122261023	\$13.20	122262030	\$14.62	122271045	\$13.20
122261024	\$13.20	122271001	\$13.20	122271046	\$13.20
122261025	\$13.20	122271002	\$13.20	122271047	\$13.20
122261026	\$13.20	122271003	\$13.20	122271048	\$13.20
122261027	\$13.20	122271004	\$13.20	122271049	\$13.20
122261028	\$13.20	122271005	\$13.20	122271050	\$13.20
122261029	\$13.20	122271006	\$13.20	122271051	\$13.20
122261030	\$13.20	122271007	\$13.20	122271052	\$13.20
122271053	\$13.20	122281007	\$38.86	122291004	\$38.86
122271054	\$13.20	122281008	\$38.86	122291005	\$38.86
122271055	\$13.20	122281009	\$38.86	122291006	\$38.86
122271056	\$13.20	122281010	\$38.86	122291007	\$38.86
122271057	\$13.20	122281011	\$38.86	122291008	\$38.86
122271058	\$13.20	122281012	\$38.86	122291009	\$38.86
122271059	\$13.20	122281013	\$38.86	122291010	\$38.86
122271060	\$13.20	122281014	\$38.86	122291011	\$38.86
122271061	\$13.20	122281017	\$38.86	122291012	\$38.86
122271062	\$13.20	122281020	\$38.86	122291013	\$38.86
122271063	\$13.20	122281021	\$38.86	122291014	\$38.86
122271064	\$13.20	122281022	\$38.86	122291015	\$38.86
122271065	\$13.20	122281023	\$38.86	122291016	\$38.86
122271066	\$13.20	122281026	\$38.86	122291017	\$38.86
122272001	\$14.62	122281027	\$38.86	122291018	\$38.86
122272002	\$14.62	122281028	\$38.86	122292001	\$38.86
122272003	\$14.62	122281029	\$38.86	122292002	\$38.86
122272004	\$14.62	122281031	\$38.86	122292003	\$38.86
122272005	\$14.62	122281032	\$38.86	122292004	\$38.86
122272006	\$14.62	122281033	\$38.86	122292005	\$38.86
122272007	\$14.62	122282001	\$38.86	122292006	\$38.86
122272008	\$14.62	122282002	\$38.86	122292007	\$38.86
122272009	\$14.62	122282003	\$38.86	122292008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122272010	\$14.62	122282004	\$38.86	122311001	\$38.86
122272011	\$14.62	122282005	\$38.86	122311002	\$38.86
122272012	\$14.62	122282006	\$38.86	122311003	\$38.86
122272013	\$14.62	122282007	\$38.86	122311004	\$38.86
122272014	\$14.62	122282008	\$38.86	122311005	\$38.86
122272015	\$14.62	122282009	\$38.86	122311006	\$38.86
122272016	\$14.62	122282010	\$38.86	122311007	\$38.86
122272017	\$14.62	122282015	\$38.86	122311008	\$38.86
122272018	\$14.62	122282016	\$38.86	122311009	\$38.86
122272019	\$14.62	122282017	\$38.86	122311010	\$38.86
122272020	\$14.62	122282018	\$38.86	122311011	\$38.86
122272021	\$14.62	122282019	\$38.86	122311012	\$38.86
122272022	\$14.62	122282020	\$38.86	122311013	\$38.86
122272023	\$14.62	122282021	\$38.86	122311014	\$38.86
122281001	\$38.86	122282022	\$38.86	122311015	\$38.86
122281002	\$38.86	122282023	\$38.86	122311016	\$38.86
122281003	\$38.86	122282024	\$38.86	122311017	\$38.86
122281004	\$38.86	122291001	\$38.86	122311018	\$38.86
122281005	\$38.86	122291002	\$38.86	122311019	\$38.86
122281006	\$38.86	122291003	\$38.86	122311020	\$38.86
122311021	\$38.86	122331005	\$38.86	122340013	\$38.86
122312001	\$38.86	122331006	\$38.86	122340014	\$38.86
122312002	\$38.86	122331007	\$38.86	122340015	\$38.86
122312003	\$38.86	122331008	\$38.86	122340016	\$38.86
122312004	\$38.86	122331009	\$38.86	122340017	\$38.86
122312005	\$38.86	122331010	\$38.86	122340018	\$38.86
122312006	\$38.86	122331011	\$38.86	122340019	\$38.86
122312007	\$38.86	122331012	\$38.86	122340020	\$38.86
122312008	\$38.86	122331013	\$38.86	122340021	\$38.86
122312009	\$38.86	122332001	\$38.86	122340022	\$38.86
122312010	\$38.86	122332002	\$38.86	122340023	\$38.86
122312011	\$38.86	122332003	\$38.86	122340024	\$38.86
122321001	\$38.86	122332004	\$38.86	122340025	\$38.86
122321002	\$38.86	122332005	\$38.86	122340026	\$38.86
122321003	\$38.86	122332006	\$38.86	122340036	\$38.86
122321004	\$38.86	122332007	\$38.86	122340037	\$38.86
122321005	\$38.86	122332008	\$38.86	122340038	\$38.86
122321006	\$38.86	122332009	\$38.86	122340042	\$38.86
122321007	\$38.86	122332010	\$38.86	122340043	\$38.86
122321008	\$38.86	122332011	\$38.86	122340044	\$38.86
122321009	\$38.86	122332012	\$38.86	122340045	\$38.86
122321010	\$38.86	122332013	\$38.86	122340046	\$38.86
122321011	\$38.86	122332014	\$38.86	122340047	\$38.86
122321012	\$38.86	122332015	\$38.86	122340048	\$38.86
122322001	\$38.86	122332016	\$38.86	122340049	\$38.86
122322002	\$38.86	122332017	\$38.86	122340050	\$38.86



## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122322003	\$38.86	122332018	\$38.86	122351005	\$38.86
122322004	\$38.86	122332019	\$38.86	122351006	\$38.86
122322005	\$38.86	122332020	\$38.86	122351011	\$38.86
122323001	\$38.86	122332021	\$38.86	122351012	\$38.86
122323002	\$38.86	122332022	\$38.86	122351013	\$38.86
122323003	\$38.86	122340001	\$38.86	122351014	\$38.86
122323004	\$38.86	122340002	\$38.86	122351015	\$38.86
122323005	\$38.86	122340003	\$38.86	122351016	\$38.86
122323006	\$38.86	122340004	\$38.86	122351017	\$38.86
122323007	\$38.86	122340005	\$38.86	122351018	\$38.86
122323008	\$38.86	122340006	\$38.86	122351019	\$38.86
122323009	\$38.86	122340007	\$38.86	122351020	\$38.86
122323010	\$38.86	122340008	\$38.86	122351021	\$38.86
122331001	\$38.86	122340009	\$38.86	122351034	\$38.86
122331002	\$38.86	122340010	\$38.86	122351035	\$38.86
122331003	\$38.86	122340011	\$38.86	122351036	\$38.86
122331004	\$38.86	122340012	\$38.86	122351037	\$38.86
122351038	\$38.86	122362002	\$38.86	122372014	\$38.86
122351039	\$38.86	122362003	\$38.86	122372015	\$38.86
122351040	\$38.86	122362009	\$38.86	122372016	\$38.86
122351041	\$38.86	122362010	\$38.86	122372017	\$38.86
122351042	\$38.86	122362011	\$38.86	122372018	\$38.86
122351043	\$38.86	122362012	\$38.86	122372019	\$38.86
122351044	\$38.86	122362013	\$38.86	122372020	\$38.86
122351045	\$38.86	122363009	\$38.86	122372021	\$38.86
122351046	\$38.86	122363011	\$38.86	122372022	\$38.86
122351047	\$38.86	122363012	\$38.86	122372023	\$38.86
122351048	\$38.86	122363013	\$38.86	122372024	\$38.86
122351049	\$38.86	122363014	\$38.86	122372025	\$38.86
122351050	\$38.86	122363015	\$38.86	122372026	\$38.86
122352001	\$38.86	122363016	\$38.86	122372027	\$38.86
122352002	\$38.86	122363017	\$38.86	122372028	\$38.86
122352003	\$38.86	122363018	\$38.86	122372029	\$38.86
122352004	\$38.86	122371001	\$38.86	122372030	\$38.86
122352005	\$38.86	122371002	\$38.86	122372031	\$38.86
122352006	\$38.86	122371003	\$38.86	122372032	\$38.86
122352015	\$38.86	122371004	\$38.86	122372033	\$38.86
122352016	\$38.86	122371005	\$38.86	122372034	\$38.86
122352017	\$38.86	122371006	\$38.86	122372035	\$38.86
122352018	\$38.86	122371007	\$38.86	122372036	\$38.86
122352019	\$38.86	122371008	\$38.86	122373001	\$38.86
122352020	\$38.86	122371009	\$38.86	122373002	\$38.86
122352021	\$38.86	122371012	\$38.86	122373003	\$38.86
122352022	\$38.86	122371013	\$38.86	122373004	\$38.86
122361001	\$38.86	122371014	\$38.86	122373005	\$38.86
122361002	\$38.86	122371015	\$38.86	122373006	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122361008	\$38.86	122371016	\$38.86	122373007	\$38.86
122361009	\$38.86	122371017	\$38.86	122373008	\$38.86
122361010	\$38.86	122371018	\$38.86	122373009	\$38.86
122361011	\$38.86	122371019	\$38.86	122373010	\$38.86
122361012	\$38.86	122371020	\$38.86	122381001	\$38.86
122361013	\$38.86	122372001	\$38.86	122381004	\$38.86
122361014	\$38.86	122372002	\$38.86	122381005	\$38.86
122361015	\$38.86	122372003	\$38.86	122381006	\$38.86
122361017	\$38.86	122372004	\$38.86	122381007	\$38.86
122361018	\$38.86	122372005	\$38.86	122381008	\$38.86
122361019	\$38.86	122372006	\$38.86	122381009	\$38.86
122361021	\$38.86	122372007	\$38.86	122381010	\$38.86
122361022	\$38.86	122372008	\$38.86	122381011	\$38.86
122362001	\$38.86	122372009	\$38.86	122382001	\$38.86
122382002	\$38.86	122391004	\$38.86	122411008	\$13.48
122382003	\$38.86	122392001	\$38.86	122411009	\$13.48
122382004	\$38.86	122392002	\$38.86	122411010	\$13.48
122382005	\$38.86	122392003	\$38.86	122411011	\$13.48
122382006	\$38.86	122392004	\$38.86	122411012	\$13.48
122382007	\$38.86	122392005	\$38.86	122411013	\$13.48
122382008	\$38.86	122392006	\$38.86	122411014	\$13.48
122382009	\$38.86	122392007	\$38.86	122411015	\$13.48
122382010	\$38.86	122392008	\$38.86	122411016	\$13.48
122382011	\$38.86	122392009	\$38.86	122411017	\$13.48
122382012	\$38.86	122392010	\$38.86	122411018	\$13.48
122382013	\$38.86	122392011	\$38.86	122411019	\$13.48
122382014	\$38.86	122392012	\$38.86	122411020	\$13.48
122382015	\$38.86	122393001	\$38.86	122411021	\$13.48
122382016	\$38.86	122393002	\$38.86	122411022	\$13.48
122382017	\$38.86	122393003	\$38.86	122411023	\$13.48
122382018	\$38.86	122393004	\$38.86	122411024	\$13.48
122382019	\$38.86	122393005	\$38.86	122411025	\$13.48
122382020	\$38.86	122393006	\$38.86	122411026	\$13.48
122382021	\$38.86	122393007	\$38.86	122411027	\$13.48
122382022	\$38.86	122393008	\$38.86	122411028	\$13.48
122382023	\$38.86	122393009	\$38.86	122411029	\$13.48
122382024	\$38.86	122393010	\$38.86	122411030	\$13.48
122382025	\$38.86	122393011	\$38.86	122411032	\$13.48
122382026	\$38.86	122393012	\$38.86	122411033	\$13.48
122382027	\$38.86	122393013	\$38.86	122411034	\$13.48
122382028	\$38.86	122393014	\$38.86	122411035	\$13.48
122382029	\$38.86	122393015	\$38.86	122411036	\$13.48
122382030	\$38.86	122393016	\$38.86	122411037	\$13.48
122382031	\$38.86	122393017	\$38.86	122411038	\$13.48
122382032	\$38.86	122393018	\$38.86	122411039	\$13.48
122382033	\$38.86	122393019	\$38.86	122411040	\$13.48



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122382034	\$38.86	122393020	\$38.86	122411041	\$13.48
122382035	\$38.86	122410002	\$153.46	122411042	\$13.48
122382036	\$38.86	122410003	\$287.50	122411043	\$13.48
122383001	\$38.86	122410004	\$246.06	122411044	\$13.48
122383002	\$38.86	122411001	\$13.48	122411045	\$13.48
122383003	\$38.86	122411002	\$13.48	122411046	\$13.48
122383004	\$38.86	122411003	\$13.48	122411047	\$13.48
122383005	\$38.86	122411004	\$13.48	122411048	\$13.48
122391001	\$38.86	122411005	\$13.48	122411049	\$13.48
122391002	\$38.86	122411006	\$13.48	122411050	\$13.48
122391003	\$38.86	122411007	\$13.48	122411051	\$13.48
122411052	\$13.48	122412032	\$11.78	122413003	\$11.78
122411053	\$13.48	122412033	\$11.78	122413004	\$11.78
122411054	\$13.48	122412034	\$11.78	122413005	\$11.78
122411055	\$13.48	122412035	\$11.78	122413006	\$11.78
122411056	\$13.48	122412036	\$11.78	122413007	\$11.78
122411057	\$13.48	122412037	\$11.78	122413008	\$11.78
122411058	\$13.48	122412038	\$11.78	122413009	\$11.78
122411059	\$13.48	122412039	\$11.78	122413010	\$11.78
122411060	\$13.48	122412040	\$11.78	122413011	\$11.78
122411061	\$13.48	122412041	\$11.78	122413012	\$11.78
122411062	\$13.48	122412042	\$11.78	122413013	\$11.78
122411063	\$13.48	122412043	\$11.78	122413014	\$11.78
122411064	\$13.48	122412044	\$11.78	122413015	\$11.78
122412001	\$11.78	122412045	\$11.78	122413016	\$11.78
122412002	\$11.78	122412046	\$11.78	122413017	\$11.78
122412003	\$11.78	122412047	\$11.78	122413018	\$11.78
122412004	\$11.78	122412048	\$11.78	122413019	\$11.78
122412005	\$11.78	122412049	\$11.78	122413020	\$11.78
122412006	\$11.78	122412050	\$11.78	122413021	\$11.78
122412007	\$11.78	122412051	\$11.78	122413022	\$11.78
122412008	\$11.78	122412052	\$11.78	122413023	\$11.78
122412010	\$11.78	122412053	\$11.78	122413024	\$11.78
122412011	\$11.78	122412054	\$11.78	122413025	\$11.78
122412012	\$11.78	122412055	\$11.78	122413026	\$11.78
122412013	\$11.78	122412056	\$11.78	122413027	\$11.78
122412014	\$11.78	122412057	\$11.78	122413028	\$11.78
122412015	\$11.78	122412058	\$11.78	122413029	\$11.78
122412016	\$11.78	122412059	\$11.78	122413030	\$11.78
122412017	\$11.78	122412060	\$11.78	122413031	\$11.78
122412018	\$11.78	122412061	\$11.78	122413032	\$11.78
122412019	\$11.78	122412062	\$11.78	122413033	\$11.78
122412020	\$11.78	122412063	\$11.78	122413034	\$11.78
122412021	\$11.78	122412064	\$11.78	122413035	\$11.78
122412022	\$11.78	122412065	\$11.78	122413036	\$11.78
122412023	\$11.78	122412066	\$11.78	122413037	\$11.78

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122412024	\$11.78	122412067	\$10.36	122413038	\$11.78
122412025	\$11.78	122412068	\$11.78	122413039	\$11.78
122412026	\$11.78	122412069	\$3.44	122413040	\$11.78
122412027	\$11.78	122412070	\$11.78	122413041	\$11.78
122412028	\$11.78	122412071	\$11.78	122413042	\$11.78
122412029	\$11.78	122412072	\$11.78	122413043	\$11.78
122412030	\$11.78	122413001	\$11.78	122413044	\$11.78
122412031	\$11.78	122413002	\$11.78	122413045	\$11.78
122413046	\$11.78	122414017	\$11.78	122414060	\$11.78
122413047	\$11.78	122414018	\$11.78	122414061	\$11.78
122413048	\$11.78	122414019	\$11.78	122414062	\$11.78
122413049	\$11.78	122414020	\$11.78	122414063	\$11.78
122413050	\$11.78	122414021	\$11.78	122414064	\$11.78
122413051	\$11.78	122414022	\$11.78	122414065	\$11.78
122413052	\$11.78	122414023	\$11.78	122414066	\$11.78
122413053	\$11.78	122414024	\$11.78	122414067	\$11.78
122413054	\$11.78	122414025	\$11.78	122414068	\$11.78
122413055	\$11.78	122414026	\$11.78	122414069	\$11.78
122413056	\$11.78	122414027	\$11.78	122414070	\$11.78
122413057	\$11.78	122414028	\$11.78	122414071	\$11.78
122413058	\$11.78	122414029	\$11.78	122414072	\$11.78
122413059	\$11.78	122414030	\$11.78	122415001	\$11.78
122413060	\$11.78	122414031	\$11.78	122415002	\$11.78
122413061	\$11.78	122414032	\$11.78	122415003	\$11.78
122413062	\$11.78	122414033	\$11.78	122415004	\$11.78
122413063	\$11.78	122414034	\$11.78	122415005	\$10.36
122413064	\$11.78	122414035	\$11.78	122415006	\$11.78
122413065	\$11.78	122414036	\$11.78	122415007	\$11.78
122413066	\$11.78	122414037	\$11.78	122415008	\$11.78
122413067	\$11.78	122414038	\$11.78	122415009	\$11.78
122413068	\$11.78	122414039	\$11.78	122415010	\$24.60
122413069	\$11.78	122414040	\$11.78	122415011	\$24.60
122413070	\$11.78	122414041	\$11.78	122415012	\$24.60
122413071	\$11.78	122414042	\$11.78	122415013	\$24.60
122413072	\$11.78	122414043	\$11.78	122415014	\$24.60
122414001	\$11.78	122414044	\$11.78	122415015	\$24.60
122414002	\$11.78	122414045	\$11.78	122415016	\$24.60
122414003	\$11.78	122414046	\$11.78	122415017	\$24.60
122414004	\$11.78	122414047	\$11.78	122415018	\$24.60
122414005	\$11.78	122414048	\$11.78	122415019	\$24.60
122414006	\$11.78	122414049	\$11.78	122415020	\$24.60
122414007	\$11.78	122414050	\$11.78	122415021	\$24.60
122414008	\$11.78	122414051	\$11.78	122415022	\$24.60
122414009	\$11.78	122414052	\$11.78	122415023	\$24.60
122414010	\$11.78	122414053	\$11.78	122415024	\$24.60
122414011	\$11.78	122414054	\$11.78	122415025	\$24.60

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122414012	\$11.78	122414055	\$11.78	122415026	\$24.60
122414013	\$11.78	122414056	\$11.78	122415027	\$24.60
122414014	\$11.78	122414057	\$11.78	122415028	\$24.60
122414015	\$11.78	122414058	\$11.78	122415029	\$24.60
122414016	\$11.78	122414059	\$11.78	122415030	\$24.60
122415031	\$24.60	122415074	\$24.60	122421005	\$15.76
122415032	\$24.60	122415075	\$11.78	122421006	\$15.76
122415033	\$24.60	122415076	\$11.78	122421007	\$15.76
122415034	\$24.60	122415077	\$11.78	122421008	\$15.76
122415035	\$24.60	122415078	\$11.78	122421009	\$15.76
122415036	\$24.60	122415079	\$11.78	122421010	\$15.76
122415037	\$24.60	122415080	\$11.78	122421011	\$15.76
122415038	\$24.60	122415081	\$11.78	122421012	\$15.76
122415039	\$24.60	122415082	\$11.78	122421013	\$15.76
122415040	\$24.60	122415083	\$11.78	122421017	\$15.76
122415041	\$24.60	122415084	\$11.78	122421018	\$15.76
122415042	\$24.60	122415085	\$11.78	122421019	\$15.76
122415043	\$24.60	122415086	\$11.78	122421020	\$15.76
122415044	\$24.60	122415087	\$11.78	122421021	\$15.76
122415045	\$24.60	122415088	\$11.78	122421022	\$15.76
122415046	\$24.60	122415089	\$11.78	122421023	\$15.76
122415047	\$24.60	122415090	\$11.78	122421024	\$15.76
122415048	\$24.60	122415091	\$11.78	122421025	\$15.76
122415049	\$24.60	122415092	\$11.78	122421026	\$15.76
122415050	\$24.60	122415093	\$11.78	122421027	\$15.76
122415051	\$24.60	122415094	\$11.78	122421028	\$15.76
122415052	\$24.60	122415095	\$11.78	122421029	\$15.76
122415053	\$24.60	122415096	\$11.78	122421030	\$15.76
122415054	\$24.60	122415097	\$11.78	122421031	\$15.76
122415055	\$24.60	122415098	\$11.78	122421032	\$15.76
122415056	\$24.60	122415099	\$11.78	122421033	\$15.76
122415057	\$24.60	122415100	\$24.60	122421034	\$15.76
122415058	\$24.60	122415101	\$11.78	122421035	\$15.76
122415059	\$24.60	122415102	\$24.60	122421036	\$15.76
122415060	\$24.60	122415103	\$11.78	122421037	\$15.76
122415061	\$24.60	122415104	\$24.60	122421038	\$15.76
122415062	\$24.60	122415105	\$24.60	122421040	\$15.76
122415063	\$24.60	122415106	\$24.60	122421041	\$15.76
122415064	\$11.78	122415107	\$24.60	122421042	\$15.76
122415065	\$11.78	122415108	\$11.78	122421043	\$15.76
122415066	\$11.78	122415109	\$24.60	122421044	\$15.76
122415067	\$11.78	122415110	\$24.60	122421045	\$15.76
122415068	\$11.78	122415111	\$24.60	122421046	\$15.76
122415069	\$10.36	122415112	\$24.60	122421047	\$15.76
122415070	\$11.78	122421001	\$15.76	122421048	\$15.76
122415071	\$11.78	122421002	\$15.76	122421049	\$15.76

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122415072	\$11.78	122421003	\$15.76	122421050	\$15.76
122415073	\$11.78	122421004	\$15.76	122421051	\$15.76
122421052	\$15.76	122431009	\$38.86	122433006	\$38.86
122421053	\$15.76	122431010	\$38.86	122433007	\$38.86
122421054	\$15.76	122431011	\$38.86	122433008	\$38.86
122421055	\$15.76	122431012	\$38.86	122433009	\$38.86
122421056	\$15.76	122431013	\$38.86	122433010	\$38.86
122421057	\$15.76	122431014	\$38.86	122433011	\$38.86
122421058	\$15.76	122431015	\$38.86	122433012	\$38.86
122421059	\$15.76	122431016	\$38.86	122433013	\$38.86
122422001	\$15.76	122431017	\$38.86	122433014	\$38.86
122422002	\$15.76	122431018	\$38.86	122433015	\$38.86
122422003	\$15.76	122431019	\$69.94	122433016	\$38.86
122422004	\$15.76	122431020	\$69.94	122433017	\$38.86
122422005	\$15.76	122431021	\$38.86	122433018	\$38.86
122422006	\$15.76	122431022	\$38.86	122433019	\$38.86
122422007	\$15.76	122431023	\$38.86	122433020	\$38.86
122422008	\$15.76	122431024	\$38.86	122433021	\$38.86
122422009	\$15.76	122431025	\$38.86	122441001	\$15.76
122422010	\$15.76	122431026	\$38.86	122441002	\$15.76
122422011	\$15.76	122431027	\$80.30	122441003	\$15.76
122422012	\$15.76	122431028	\$69.94	122441004	\$15.76
122422013	\$15.76	122431029	\$38.86	122441005	\$15.76
122422014	\$15.76	122431030	\$80.30	122441006	\$15.76
122422015	\$15.76	122431031	\$80.30	122441007	\$15.76
122422016	\$15.76	122431032	\$38.86	122441008	\$15.76
122422017	\$15.76	122431033	\$38.86	122441009	\$15.76
122422018	\$15.76	122431034	\$59.58	122441010	\$15.76
122422019	\$15.76	122431035	\$59.58	122441011	\$15.76
122422020	\$15.76	122431036	\$59.58	122441012	\$15.76
122422021	\$15.76	122431037	\$59.58	122441013	\$15.76
122422022	\$15.76	122432001	\$38.86	122441014	\$15.76
122422023	\$15.76	122432002	\$38.86	122441015	\$15.76
122422024	\$15.76	122432003	\$38.86	122441016	\$15.76
122422025	\$15.76	122432004	\$38.86	122441017	\$15.76
122422026	\$15.76	122432005	\$38.86	122441018	\$15.76
122422027	\$15.76	122432006	\$38.86	122441019	\$15.76
122431001	\$38.86	122432007	\$38.86	122441020	\$15.76
122431002	\$38.86	122432008	\$38.86	122441021	\$15.76
122431003	\$38.86	122432009	\$38.86	122441023	\$15.76
122431004	\$38.86	122433001	\$38.86	122441024	\$15.76
122431005	\$38.86	122433002	\$38.86	122441025	\$15.76
122431006	\$38.86	122433003	\$38.86	122441026	\$15.76
122431007	\$38.86	122433004	\$38.86	122441027	\$15.76
122431008	\$38.86	122433005	\$38.86	122441028	\$15.76
122441029	\$15.76	122441073	\$15.76	122471003	\$59.58

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122441030	\$15.76	122441074	\$15.76	122471004	\$59.58
122441031	\$15.76	122441075	\$15.76	122471005	\$59.58
122441032	\$15.76	122441076	\$15.76	122471006	\$59.58
122441033	\$15.76	122451001	\$49.22	122471007	\$59.58
122441034	\$15.76	122451002	\$49.22	122471008	\$59.58
122441035	\$15.76	122451003	\$49.22	122471009	\$59.58
122441036	\$15.76	122451004	\$49.22	122471010	\$59.58
122441037	\$15.76	122451005	\$49.22	122471011	\$59.58
122441038	\$15.76	122451006	\$49.22	122471012	\$59.58
122441039	\$15.76	122451007	\$49.22	122472001	\$101.02
122441040	\$15.76	122451008	\$49.22	122472002	\$90.66
122441041	\$15.76	122451009	\$49.22	122472003	\$69.94
122441042	\$15.76	122451010	\$49.22	122472004	\$59.58
122441043	\$15.76	122451011	\$49.22	122472005	\$59.58
122441044	\$15.76	122451012	\$49.22	122472006	\$59.58
122441045	\$15.76	122451013	\$49.22	122472007	\$59.58
122441046	\$15.76	122451014	\$49.22	122472008	\$59.58
122441047	\$15.76	122451015	\$49.22	122472009	\$59.58
122441048	\$15.76	122452001	\$49.22	122472010	\$59.58
122441049	\$15.76	122452002	\$49.22	122472011	\$59.58
122441050	\$15.76	122452003	\$49.22	122472012	\$59.58
122441052	\$15.76	122452004	\$49.22	122472013	\$59.58
122441053	\$15.76	122461001	\$49.22	122472014	\$59.58
122441054	\$15.76	122461002	\$49.22	122472015	\$59.58
122441055	\$15.76	122462001	\$59.58	122472016	\$59.58
122441056	\$15.76	122462002	\$59.58	122472017	\$59.58
122441057	\$15.76	122462003	\$121.74	122472018	\$59.58
122441058	\$15.76	122462004	\$121.74	122472019	\$59.58
122441059	\$15.76	122462005	\$49.22	122481001	\$69.94
122441060	\$15.76	122462006	\$49.22	122481002	\$69.94
122441061	\$15.76	122462007	\$49.22	122481003	\$69.94
122441062	\$15.76	122462008	\$49.22	122481004	\$69.94
122441063	\$15.76	122462009	\$49.22	122481005	\$59.58
122441064	\$15.76	122462010	\$49.22	122481006	\$59.58
122441065	\$15.76	122462011	\$49.22	122481007	\$90.66
122441066	\$15.76	122462012	\$49.22	122481008	\$59.58
122441067	\$15.76	122462013	\$49.22	122481009	\$59.58
122441068	\$15.76	122462014	\$49.22	122482001	\$59.58
122441069	\$15.76	122462015	\$49.22	122482002	\$59.58
122441070	\$15.76	122462016	\$49.22	122482003	\$69.94
122441071	\$15.76	122471001	\$59.58	122482004	\$59.58
122441072	\$15.76	122471002	\$59.58	122483001	\$49.22
122483002	\$49.22	122511006	\$59.58	122521018	\$49.22
122483003	\$49.22	122511007	\$59.58	122521019	\$49.22
122483004	\$49.22	122511008	\$59.58	122521020	\$49.22
122483005	\$49.22	122511009	\$49.22	122522001	\$59.58

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122483006	\$49.22	122511010	\$49.22	122522002	\$59.58
122483007	\$49.22	122511011	\$49.22	122522003	\$59.58
122483008	\$49.22	122511012	\$49.22	122522004	\$59.58
122483009	\$49.22	122511013	\$49.22	122522005	\$59.58
122483010	\$59.58	122511014	\$49.22	122522006	\$49.22
122491001	\$59.58	122511015	\$49.22	122522007	\$49.22
122491002	\$59.58	122511016	\$49.22	122531001	\$17.20
122491003	\$59.58	122511017	\$49.22	122531002	\$17.20
122491004	\$59.58	122511018	\$49.22	122531003	\$17.20
122491005	\$49.22	122511019	\$49.22	122531004	\$17.20
122491006	\$49.22	122511020	\$49.22	122531005	\$17.20
122491007	\$49.22	122511021	\$49.22	122531006	\$17.20
122491008	\$49.22	122511022	\$49.22	122531007	\$17.20
122491009	\$49.22	122511023	\$49.22	122531008	\$17.20
122491010	\$49.22	122511024	\$49.22	122531009	\$17.20
122492001	\$49.22	122512001	\$59.58	122531010	\$17.20
122492002	\$49.22	122512002	\$59.58	122531011	\$17.20
122492003	\$59.58	122512003	\$59.58	122531012	\$17.20
122492004	\$59.58	122512004	\$59.58	122531013	\$17.20
122492005	\$59.58	122512005	\$59.58	122531014	\$17.20
122492006	\$59.58	122512006	\$152.82	122531015	\$17.20
122492007	\$59.58	122512007	\$152.82	122531016	\$17.20
122500001	\$49.22	122521001	\$49.22	122531017	\$17.20
122500002	\$49.22	122521002	\$49.22	122531018	\$17.20
122500003	\$121.74	122521003	\$59.58	122531020	\$17.20
122500004	\$90.66	122521004	\$59.58	122531021	\$17.20
122500005	\$59.58	122521005	\$49.22	122531022	\$17.20
122500006	\$49.22	122521006	\$49.22	122531023	\$17.20
122500007	\$49.22	122521007	\$49.22	122531024	\$17.20
122500008	\$121.74	122521008	\$49.22	122531025	\$17.20
122500009	\$49.22	122521009	\$49.22	122531026	\$17.20
122500010	\$49.22	122521010	\$49.22	122531027	\$17.20
122500011	\$49.22	122521011	\$49.22	122531028	\$17.20
122500012	\$49.22	122521012	\$49.22	122531029	\$17.20
122511001	\$101.02	122521013	\$49.22	122531030	\$17.20
122511002	\$90.66	122521014	\$49.22	122531031	\$17.20
122511003	\$80.30	122521015	\$59.58	122531032	\$17.20
122511004	\$80.30	122521016	\$49.22	122531033	\$17.20
122511005	\$49.22	122521017	\$49.22	122531034	\$17.20
122532001	\$17.20	122541019	\$18.62	122551018	\$18.04
122532002	\$17.20	122541020	\$18.62	122551019	\$18.04
122532003	\$17.20	122541021	\$18.62	122551020	\$18.04
122532004	\$17.20	122541022	\$18.62	122551021	\$18.04
122532005	\$17.20	122541023	\$18.62	122551022	\$18.04
122532006	\$17.20	122541024	\$18.62	122551024	\$18.04
122532007	\$17.20	122541025	\$18.62	122551025	\$18.04



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122532008	\$17.20	122541026	\$18.62	122551026	\$18.04
122532009	\$17.20	122541027	\$18.62	122551028	\$18.04
122532010	\$17.20	122541028	\$18.62	122551029	\$18.04
122532011	\$17.20	122541029	\$18.62	122551030	\$18.04
122532012	\$17.20	122541031	\$18.62	122551031	\$18.04
122532013	\$17.20	122541032	\$18.62	122551032	\$18.04
122532015	\$17.20	122541033	\$18.62	122551033	\$18.04
122532016	\$17.20	122541034	\$18.62	122551034	\$18.04
122532017	\$17.20	122541035	\$18.62	122551035	\$18.04
122532018	\$17.20	122541036	\$18.62	122551036	\$18.04
122532019	\$17.20	122541037	\$18.62	122551038	\$18.04
122532020	\$17.20	122541038	\$18.62	122551039	\$18.04
122532021	\$17.20	122541039	\$18.62	122551040	\$18.04
122532022	\$17.20	122541040	\$18.62	122551041	\$18.04
122532023	\$17.20	122541041	\$18.62	122551042	\$18.04
122532024	\$17.20	122541042	\$18.62	122551043	\$18.04
122532025	\$17.20	122541043	\$18.62	122551044	\$18.04
122532026	\$17.20	122541044	\$18.62	122551045	\$18.04
122532027	\$17.20	122541045	\$18.62	122551046	\$18.04
122541001	\$18.62	122541046	\$18.62	122551047	\$18.04
122541002	\$18.62	122541047	\$18.62	122551049	\$18.04
122541003	\$18.62	122551001	\$18.04	122551050	\$18.04
122541004	\$18.62	122551002	\$18.04	122551052	\$18.04
122541005	\$18.62	122551003	\$18.04	122551053	\$18.04
122541006	\$18.62	122551004	\$18.04	122551054	\$18.04
122541007	\$18.62	122551005	\$18.04	122551055	\$18.04
122541008	\$18.62	122551006	\$18.04	122551056	\$18.04
122541009	\$18.62	122551007	\$18.04	122551057	\$18.04
122541010	\$18.62	122551008	\$18.04	122551059	\$18.04
122541011	\$18.62	122551009	\$18.04	122551060	\$18.04
122541012	\$18.62	122551011	\$18.04	122551061	\$18.04
122541013	\$18.62	122551012	\$18.04	122551062	\$18.04
122541014	\$18.62	122551013	\$18.04	122551063	\$18.04
122541015	\$18.62	122551015	\$18.04	122551064	\$18.04
122541016	\$18.62	122551016	\$18.04	122551066	\$18.04
122541017	\$18.62	122551017	\$18.04	122551067	\$18.04
122551068	\$18.04	122561006	\$18.04	122562027	\$18.04
122551069	\$18.04	122561007	\$18.04	122562028	\$18.04
122551070	\$18.04	122561008	\$18.04	122562029	\$18.04
122551071	\$18.04	122561009	\$18.04	122562030	\$18.04
122551072	\$18.04	122561010	\$18.04	122562032	\$18.04
122551073	\$18.04	122561011	\$18.04	122562033	\$18.04
122551074	\$18.04	122561012	\$18.04	122562034	\$18.04
122551076	\$18.04	122561013	\$18.04	122562035	\$18.04
122551077	\$18.04	122561014	\$18.04	122562036	\$18.04
122551078	\$18.04	122561016	\$18.04	122562037	\$18.04

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122551079	\$18.04	122561017	\$18.04	122562038	\$18.04
122551080	\$18.04	122561018	\$18.04	122562039	\$18.04
122551081	\$18.04	122561019	\$18.04	122562040	\$18.04
122551082	\$18.04	122561020	\$18.04	122562041	\$18.04
122552001	\$18.04	122561021	\$18.04	122562042	\$18.04
122552002	\$18.04	122561023	\$18.04	122670018	\$116.58
122552003	\$18.04	122561024	\$18.04	122670019	\$69.94
122552004	\$18.04	122561025	\$18.04	122670020	\$88.08
122552005	\$18.04	122561026	\$18.04	122670021	\$126.94
122552006	\$18.04	122562001	\$18.04	122670029	\$49.60
122552007	\$18.04	122562002	\$18.04	122670031	\$895.28
122552008	\$18.04	122562003	\$18.04	122670032	\$19.62
122552009	\$18.04	122562004	\$18.04	122670033	\$19.62
122552010	\$18.04	122562005	\$18.04	122670034	\$49.60
122552011	\$18.04	122562006	\$18.04	122670035	\$19.62
122552012	\$18.04	122562007	\$18.04	122670036	\$231.04
122552013	\$18.04	122562009	\$18.04	122670037	\$173.28
122552014	\$18.04	122562010	\$18.04	122670038	\$577.60
122552015	\$18.04	122562011	\$18.04	122670039	\$86.64
122552016	\$18.04	122562012	\$18.04	122670040	\$209.86
122552017	\$18.04	122562013	\$18.04	122670043	\$115.52
122552019	\$18.04	122562014	\$18.04	122670044	\$98.44
122552020	\$18.04	122562015	\$18.04	122670045	\$80.30
122552021	\$18.04	122562016	\$18.04	122670046	\$108.80
122552022	\$18.04	122562017	\$18.04	122670048	\$88.08
122552023	\$18.04	122562018	\$18.04	122670049	\$145.08
122552024	\$18.04	122562019	\$18.04	122670050	\$80.30
122552025	\$18.04	122562021	\$18.04	122670051	\$204.66
122552026	\$18.04	122562022	\$18.04	122680001	\$77.72
122552027	\$18.04	122562023	\$18.04	122680002	\$49.22
122561002	\$18.04	122562024	\$18.04	122680003	\$38.86
122561003	\$18.04	122562025	\$18.04	122680004	\$38.86
122561004	\$18.04	122562026	\$18.04	122680005	\$38.86
122680006	\$49.22	122680050	\$38.86	123340024	\$38.86
122680007	\$49.22	122680051	\$38.86	123340025	\$38.86
122680008	\$38.86	122680052	\$38.86	123340026	\$38.86
122680009	\$38.86	122680053	\$38.86	123340027	\$38.86
122680010	\$49.22	122680054	\$38.86	123340028	\$49.22
122680011	\$38.86	122680055	\$77.72	123340029	\$49.22
122680012	\$38.86	122680056	\$67.36	123340030	\$38.86
122680013	\$38.86	122680057	\$67.36	123340031	\$38.86
122680014	\$38.86	122680058	\$67.36	123340032	\$38.86
122680015	\$38.86	122680059	\$67.36	123340033	\$38.86
122680016	\$38.86	122680060	\$67.36	123340034	\$38.86
122680017	\$67.36	122680061	\$67.36	123340035	\$38.86
122680018	\$38.86	122680062	\$38.86	123340036	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122680019	\$49.22	122680063	\$38.86	123361001	\$38.86
122680020	\$38.86	122680064	\$67.36	123361002	\$38.86
122680021	\$67.36	122680065	\$67.36	123361003	\$38.86
122680022	\$67.36	122680066	\$67.36	123361004	\$38.86
122680023	\$67.36	123330006	\$93.24	123361005	\$38.86
122680024	\$38.86	123330030	\$372.96	123361006	\$38.86
122680025	\$38.86	123330031	\$186.48	123361007	\$38.86
122680026	\$38.86	123340001	\$38.86	123361008	\$38.86
122680027	\$38.86	123340002	\$38.86	123361009	\$38.86
122680028	\$67.36	123340003	\$38.86	123361010	\$38.86
122680029	\$38.86	123340004	\$38.86	123361011	\$38.86
122680030	\$38.86	123340005	\$38.86	123361012	\$38.86
122680031	\$38.86	123340006	\$38.86	123361013	\$38.86
122680032	\$38.86	123340007	\$38.86	123361014	\$38.86
122680033	\$38.86	123340008	\$38.86	123361015	\$38.86
122680034	\$67.36	123340009	\$38.86	123361016	\$38.86
122680035	\$67.36	123340010	\$38.86	123361017	\$38.86
122680036	\$67.36	123340011	\$38.86	123361018	\$38.86
122680037	\$67.36	123340012	\$38.86	123361019	\$38.86
122680038	\$67.36	123340013	\$38.86	123361020	\$38.86
122680039	\$67.36	123340014	\$38.86	123361021	\$38.86
122680040	\$67.36	123340015	\$38.86	123361022	\$38.86
122680041	\$67.36	123340016	\$38.86	123361023	\$38.86
122680042	\$67.36	123340017	\$38.86	123361024	\$38.86
122680043	\$67.36	123340018	\$38.86	123361025	\$38.86
122680044	\$67.36	123340019	\$38.86	123361026	\$38.86
122680045	\$67.36	123340020	\$38.86	123361027	\$38.86
122680046	\$67.36	123340021	\$38.86	123361028	\$38.86
122680047	\$38.86	123340022	\$38.86	123361029	\$38.86
122680049	\$38.86	123340023	\$38.86	123361030	\$38.86
123361031	\$49.22	123371006	\$38.86	123372022	\$38.86
123361032	\$59.58	123371007	\$38.86	123372023	\$38.86
123361033	\$38.86	123371008	\$38.86	123372024	\$38.86
123361034	\$38.86	123371009	\$38.86	123372025	\$38.86
123361035	\$38.86	123371010	\$38.86	123372026	\$38.86
123361036	\$38.86	123371011	\$38.86	123372027	\$38.86
123361037	\$38.86	123371012	\$38.86	123372028	\$38.86
123361038	\$38.86	123371013	\$38.86	123372029	\$38.86
123361039	\$38.86	123371014	\$38.86	123372030	\$38.86
123361040	\$38.86	123371015	\$38.86	123373001	\$38.86
123361041	\$38.86	123371016	\$38.86	123373002	\$38.86
123361042	\$38.86	123371017	\$38.86	123373003	\$38.86
123361043	\$38.86	123371018	\$38.86	123373004	\$38.86
123361044	\$38.86	123371019	\$38.86	123373005	\$38.86
123361045	\$38.86	123371020	\$38.86	123373006	\$38.86
123361046	\$38.86	123371021	\$38.86	123373007	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123362001	\$38.86	123371022	\$38.86	123373008	\$38.86
123362002	\$38.86	123371023	\$38.86	123373009	\$38.86
123362003	\$38.86	123371024	\$38.86	123373010	\$38.86
123362004	\$38.86	123371025	\$38.86	123373011	\$38.86
123362005	\$38.86	123371026	\$38.86	123374001	\$38.86
123362006	\$38.86	123371027	\$38.86	123374002	\$38.86
123362007	\$38.86	123372001	\$38.86	123374003	\$38.86
123362008	\$38.86	123372002	\$38.86	123374004	\$38.86
123362009	\$38.86	123372003	\$38.86	123374005	\$57.38
123362010	\$38.86	123372004	\$38.86	123374006	\$38.86
123362011	\$38.86	123372005	\$38.86	123374007	\$38.86
123362012	\$38.86	123372006	\$38.86	123374008	\$38.86
123362013	\$38.86	123372007	\$38.86	123374009	\$38.86
123362014	\$38.86	123372008	\$38.86	123374010	\$38.86
123362015	\$38.86	123372009	\$38.86	123374011	\$38.86
123362016	\$38.86	123372010	\$38.86	123374012	\$38.86
123362017	\$38.86	123372011	\$38.86	123374013	\$38.86
123362018	\$38.86	123372012	\$38.86	123374014	\$38.86
123362019	\$38.86	123372013	\$38.86	123374015	\$38.86
123362020	\$38.86	123372014	\$38.86	123374016	\$38.86
123362021	\$38.86	123372015	\$38.86	123374017	\$38.86
123362022	\$38.86	123372016	\$38.86	123374018	\$38.86
123371001	\$38.86	123372017	\$38.86	123381001	\$38.86
123371002	\$38.86	123372018	\$38.86	123381002	\$38.86
123371003	\$38.86	123372019	\$38.86	123381003	\$38.86
123371004	\$38.86	123372020	\$38.86	123381004	\$38.86
123371005	\$38.86	123372021	\$38.86	123381005	\$38.86
123381006	\$38.86	135270003	\$284.40	168361003	\$88.08
123381007	\$38.86	135270005	\$2,373.66	168361004	\$77.72
123381008	\$38.86	135270006	\$9,126.08	168361005	\$77.72
123381009	\$38.86	135270009	\$70.32	168361006	\$77.72
123382001	\$38.86	135270013	\$5,429.44	168361007	\$77.72
123382002	\$38.86	135300003	\$32.12	168361008	\$77.72
123382003	\$38.86	135300004	\$168.52	168361009	\$88.08
123382004	\$38.86	135300005	\$276.32	168361010	\$77.72
123382007	\$38.86	135300006	\$444.62	168361011	\$77.72
123382008	\$38.86	135310001	\$317.02	168361012	\$77.72
123382009	\$38.86	168240002	\$629.20	168361013	\$88.08
123382010	\$38.86	168330003	\$134.68	168361014	\$88.08
123382011	\$38.86	168330004	\$341.88	168361015	\$88.08
123382012	\$38.86	168330006	\$103.14	168361016	\$88.08
123382013	\$49.22	168330007	\$155.40	168361017	\$59.58
123382014	\$38.86	168330008	\$414.40	168361018	\$69.94
123382015	\$38.86	168330009	\$528.36	168361019	\$59.58
123382016	\$38.86	168330013	\$108.42	168361020	\$77.72
123382017	\$38.86	168360001	\$77.72	168361021	\$77.72

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123382018	\$38.86	168360002	\$77.72	168361022	\$77.72
123382019	\$38.86	168360003	\$77.72	168361023	\$77.72
123382020	\$38.86	168360004	\$77.72	168361024	\$77.72
123382021	\$38.86	168360005	\$77.72	168361025	\$77.72
123382022	\$38.86	168360006	\$77.72	168361026	\$77.72
123382023	\$38.86	168360007	\$77.72	168361027	\$77.72
123382024	\$38.86	168360008	\$77.72	168361028	\$77.72
123382025	\$38.86	168360012	\$78.82	168361029	\$68.46
123382026	\$38.86	168360013	\$88.08	168361030	\$77.72
123382027	\$38.86	168360014	\$68.46	168361031	\$68.46
123382028	\$38.86	168360015	\$77.72	168361032	\$77.72
123382029	\$38.86	168360016	\$49.22	168361033	\$68.46
123382030	\$38.86	168360017	\$77.72	168361034	\$77.72
123382031	\$38.86	168360018	\$68.46	168361035	\$77.72
123382032	\$38.86	168360019	\$77.72	168361036	\$77.72
123382033	\$38.86	168360020	\$68.46	168361037	\$88.08
123382034	\$38.86	168360021	\$77.72	168361038	\$88.08
123382035	\$38.86	168360022	\$77.72	168361039	\$88.08
123382036	\$38.86	168360023	\$88.08	168361040	\$88.08
123382038	\$38.86	168360024	\$88.08	168361041	\$77.72
135260022	\$2,670.18	168360025	\$88.08	172010001	\$17.20
135260026	\$5,516.32	168360026	\$98.44	172010002	\$17.20
135260027	\$6,745.50	168361001	\$106.22	172010003	\$17.20
135270002	\$1.10	168361002	\$116.58	172010004	\$17.20
172010005	\$17.20	172010048	\$17.20	172021028	\$13.78
172010006	\$17.20	172010049	\$17.20	172021029	\$13.78
172010007	\$17.20	172010050	\$17.20	172021030	\$13.78
172010008	\$17.20	172010051	\$17.20	172021031	\$13.78
172010009	\$17.20	172010052	\$17.20	172021032	\$13.78
172010010	\$17.20	172010053	\$17.20	172021033	\$13.78
172010011	\$17.20	172010054	\$17.20	172021034	\$13.78
172010012	\$17.20	172010055	\$17.20	172021035	\$13.78
172010013	\$17.20	172010056	\$17.20	172021036	\$13.78
172010014	\$17.20	172010057	\$17.20	172021037	\$13.78
172010015	\$17.20	172010058	\$17.20	172021039	\$13.78
172010016	\$17.20	172010059	\$17.20	172021040	\$13.78
172010017	\$17.20	172010060	\$17.20	172021041	\$13.78
172010018	\$17.20	172010061	\$17.20	172021042	\$13.78
172010019	\$17.20	172010062	\$17.20	172021043	\$13.78
172010020	\$17.20	172010063	\$17.20	172021044	\$13.78
172010021	\$17.20	172010064	\$17.20	172021045	\$13.78
172010022	\$17.20	172021001	\$13.78	172021046	\$13.78
172010023	\$17.20	172021002	\$13.78	172021047	\$13.78
172010024	\$17.20	172021003	\$13.78	172021048	\$13.78
172010025	\$17.20	172021004	\$13.78	172021049	\$13.78
172010026	\$17.20	172021005	\$13.78	172021050	\$13.78

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172010027	\$17.20	172021006	\$13.78	172021051	\$13.78
172010028	\$17.20	172021007	\$13.78	172021052	\$13.78
172010029	\$17.20	172021008	\$13.78	172021053	\$13.78
172010030	\$17.20	172021009	\$13.78	172022001	\$13.78
172010031	\$17.20	172021010	\$13.78	172022002	\$13.78
172010032	\$17.20	172021011	\$13.78	172022003	\$13.78
172010033	\$17.20	172021012	\$13.78	172022004	\$13.78
172010034	\$17.20	172021013	\$13.78	172022005	\$13.78
172010035	\$17.20	172021014	\$13.78	172022006	\$13.78
172010036	\$17.20	172021015	\$13.78	172022007	\$13.78
172010037	\$17.20	172021016	\$13.78	172022008	\$13.78
172010038	\$17.20	172021017	\$13.78	172022009	\$13.78
172010039	\$17.20	172021018	\$13.78	172022010	\$13.78
172010040	\$17.20	172021020	\$13.78	172022011	\$13.78
172010041	\$17.20	172021021	\$13.78	172022012	\$13.78
172010042	\$17.20	172021022	\$13.78	172022014	\$13.78
172010043	\$17.20	172021023	\$13.78	172022015	\$13.78
172010044	\$17.20	172021024	\$13.78	172022016	\$13.78
172010045	\$17.20	172021025	\$13.78	172022017	\$13.78
172010046	\$17.20	172021026	\$13.78	172022018	\$13.78
172010047	\$17.20	172021027	\$13.78	172022019	\$13.78
172022020	\$13.78	172022066	\$13.78	172040013	\$48.12
172022021	\$13.78	172022067	\$13.78	172040014	\$48.12
172022022	\$13.78	172022068	\$13.78	172040015	\$48.12
172022023	\$13.78	172022069	\$13.78	172040016	\$48.12
172022024	\$13.78	172022070	\$13.78	172040017	\$48.12
172022025	\$13.78	172022071	\$13.78	172040018	\$48.12
172022027	\$13.78	172022072	\$13.78	172040019	\$48.12
172022028	\$13.78	172022073	\$13.78	172040020	\$48.12
172022029	\$13.78	172022074	\$13.78	172040021	\$48.12
172022030	\$13.78	172022075	\$13.78	172040022	\$48.12
172022031	\$13.78	172022076	\$13.78	172040023	\$48.12
172022032	\$13.78	172022078	\$13.78	172040024	\$48.12
172022033	\$13.78	172022079	\$13.78	172040025	\$48.12
172022034	\$13.78	172022080	\$13.78	172040026	\$48.12
172022035	\$13.78	172022081	\$13.78	172050001	\$114.76
172022036	\$13.78	172022082	\$13.78	172050002	\$86.26
172022037	\$13.78	172022083	\$13.78	172050003	\$114.76
172022038	\$13.78	172022084	\$13.78	172050004	\$86.26
172022040	\$13.78	172022085	\$13.78	172050005	\$317.30
172022041	\$13.78	172022086	\$13.78	172050006	\$663.48
172022042	\$13.78	172022087	\$13.78	172050007	\$258.40
172022043	\$13.78	172022088	\$13.78	172050009	\$89.94
172022044	\$13.78	172022089	\$13.78	172060002	\$49.22
172022045	\$13.78	172022091	\$13.78	172060003	\$38.86
172022046	\$13.78	172022092	\$13.78	172060004	\$49.22

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172022047	\$13.78	172022093	\$13.78	172061001	\$38.86
172022048	\$13.78	172022094	\$13.78	172061002	\$38.86
172022049	\$13.78	172022095	\$13.78	172061003	\$38.86
172022050	\$13.78	172022096	\$13.78	172061004	\$38.86
172022051	\$13.78	172030001	\$1,947.12	172061005	\$38.86
172022052	\$13.78	172030002	\$2,267.64	172061006	\$38.86
172022053	\$13.78	172040001	\$48.12	172061007	\$38.86
172022054	\$13.78	172040002	\$48.12	172061008	\$38.86
172022055	\$13.78	172040003	\$48.12	172061009	\$38.86
172022056	\$13.78	172040004	\$48.12	172061010	\$38.86
172022057	\$13.78	172040005	\$48.12	172061011	\$38.86
172022059	\$13.78	172040006	\$48.12	172061012	\$38.86
172022060	\$13.78	172040007	\$48.12	172080001	\$38.86
172022061	\$13.78	172040008	\$48.12	172080002	\$38.86
172022062	\$13.78	172040009	\$48.12	172080003	\$38.86
172022063	\$13.78	172040010	\$57.38	172080004	\$38.86
172022064	\$13.78	172040011	\$48.12	172080005	\$38.86
172022065	\$13.78	172040012	\$48.12	172080006	\$38.86
172080007	\$38.86	172081016	\$38.86	172091019	\$38.86
172080008	\$38.86	172081017	\$38.86	172091020	\$38.86
172080009	\$38.86	172081018	\$38.86	172091021	\$38.86
172080010	\$38.86	172081019	\$38.86	172091022	\$38.86
172080011	\$38.86	172082001	\$38.86	172091023	\$38.86
172080012	\$38.86	172082002	\$38.86	172091024	\$38.86
172080013	\$38.86	172082003	\$38.86	172091025	\$49.22
172080014	\$38.86	172082004	\$38.86	172091026	\$49.22
172080015	\$38.86	172082005	\$38.86	172091027	\$38.86
172080016	\$38.86	172082006	\$38.86	172091028	\$38.86
172080017	\$38.86	172082007	\$38.86	172091029	\$38.86
172080018	\$38.86	172082008	\$38.86	172091030	\$38.86
172080019	\$38.86	172090001	\$38.86	172091031	\$38.86
172080020	\$38.86	172090002	\$38.86	172091032	\$38.86
172080021	\$38.86	172090003	\$38.86	172091033	\$49.22
172080022	\$38.86	172090004	\$38.86	172091034	\$49.22
172080023	\$38.86	172090005	\$38.86	172091035	\$38.86
172080024	\$38.86	172090006	\$38.86	172091036	\$38.86
172080025	\$38.86	172090007	\$38.86	172091037	\$38.86
172080026	\$38.86	172090008	\$38.86	172091038	\$38.86
172080027	\$38.86	172090009	\$38.86	172092001	\$38.86
172080028	\$38.86	172090010	\$38.86	172092002	\$38.86
172080029	\$38.86	172090011	\$38.86	172092003	\$38.86
172080030	\$38.86	172090012	\$38.86	172092004	\$38.86
172080031	\$38.86	172090013	\$38.86	172092005	\$38.86
172080032	\$38.86	172091001	\$38.86	172092006	\$38.86
172080033	\$38.86	172091002	\$38.86	172092007	\$38.86
172080034	\$38.86	172091003	\$38.86	172092008	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172081001	\$38.86	172091004	\$38.86	172092009	\$38.86
172081002	\$38.86	172091005	\$38.86	172092010	\$38.86
172081003	\$38.86	172091006	\$38.86	172092011	\$38.86
172081004	\$38.86	172091007	\$38.86	172092012	\$38.86
172081005	\$38.86	172091008	\$38.86	172092013	\$38.86
172081006	\$38.86	172091009	\$38.86	172092014	\$38.86
172081007	\$38.86	172091010	\$38.86	172092015	\$38.86
172081008	\$38.86	172091011	\$38.86	172092016	\$38.86
172081009	\$38.86	172091012	\$38.86	172092017	\$38.86
172081010	\$38.86	172091013	\$38.86	172092018	\$38.86
172081011	\$38.86	172091014	\$49.22	172092019	\$38.86
172081012	\$38.86	172091015	\$38.86	172092020	\$38.86
172081013	\$38.86	172091016	\$38.86	172092021	\$38.86
172081014	\$38.86	172091017	\$38.86	172101001	\$38.86
172081015	\$38.86	172091018	\$38.86	172101002	\$38.86
172101003	\$38.86	172103005	\$38.86	172151003	\$38.86
172101004	\$38.86	172103006	\$38.86	172170001	\$38.86
172101005	\$49.22	172103007	\$38.86	172170002	\$38.86
172101006	\$49.22	172103008	\$38.86	172170003	\$38.86
172101007	\$38.86	172103009	\$38.86	172170004	\$38.86
172101008	\$38.86	172103010	\$38.86	172170005	\$38.86
172101009	\$38.86	172103011	\$38.86	172170006	\$59.58
172101010	\$38.86	172103012	\$38.86	172170007	\$38.86
172101011	\$38.86	172103013	\$38.86	172170008	\$38.86
172101012	\$38.86	172103014	\$38.86	172170009	\$38.86
172101013	\$38.86	172103015	\$38.86	172170010	\$38.86
172101014	\$49.22	172103017	\$38.86	172170011	\$38.86
172101015	\$38.86	172103018	\$38.86	172170012	\$38.86
172101016	\$38.86	172103019	\$38.86	172170013	\$38.86
172101017	\$38.86	172103020	\$38.86	172170014	\$38.86
172101018	\$38.86	172103021	\$116.58	172170015	\$38.86
172101019	\$38.86	172121001	\$20.72	172170016	\$38.86
172102001	\$38.86	172121002	\$10.36	172170017	\$38.86
172102002	\$38.86	172121003	\$10.36	172170018	\$38.86
172102003	\$38.86	172121004	\$10.36	172170019	\$38.86
172102004	\$38.86	172121005	\$10.36	172170020	\$38.86
172102005	\$38.86	172121006	\$10.36	172171001	\$38.86
172102006	\$38.86	172121007	\$10.36	172171002	\$38.86
172102007	\$38.86	172121008	\$10.36	172171003	\$38.86
172102008	\$38.86	172121009	\$10.36	172171004	\$38.86
172102009	\$38.86	172130001	\$2,104.82	172171005	\$38.86
172102010	\$38.86	172130002	\$229.52	172171006	\$38.86
172102011	\$38.86	172130003	\$286.90	172171007	\$38.86
172102012	\$38.86	172130004	\$258.40	172171008	\$38.86
172102013	\$38.86	172130005	\$172.14	172171009	\$38.86
172102014	\$38.86	172130006	\$1,008.90	172171010	\$38.86



## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172102015	\$38.86	172130007	\$315.78	172171011	\$38.86
172102016	\$38.86	172130008	\$1,037.78	172171012	\$38.86
172102017	\$38.86	172140001	\$1,189.38	172171013	\$38.86
172102018	\$38.86	172140002	\$1,440.96	172171014	\$38.86
172102019	\$38.86	172140003	\$317.68	172172001	\$38.86
172102020	\$38.86	172140004	\$2,244.66	172172002	\$38.86
172102021	\$38.86	172140005	\$57.38	172172003	\$38.86
172102022	\$38.86	172150002	\$20.72	172172004	\$38.86
172103001	\$38.86	172150003	\$10.36	172172005	\$38.86
172103002	\$38.86	172150004	\$20.72	172172006	\$38.86
172103003	\$38.86	172151001	\$77.72	172172007	\$38.86
172103004	\$38.86	172151002	\$49.22	172172008	\$38.86
172173001	\$38.86	172182012	\$38.86	172200049	\$13.78
172173002	\$38.86	172182013	\$38.86	172200050	\$13.78
172173003	\$38.86	172182014	\$38.86	172200051	\$13.78
172180001	\$38.86	172182015	\$38.86	172200052	\$13.78
172180002	\$38.86	172200001	\$13.78	172200053	\$13.78
172180003	\$38.86	172200002	\$13.78	172200054	\$13.78
172180004	\$38.86	172200003	\$13.78	172200055	\$13.78
172180005	\$38.86	172200004	\$13.78	172200056	\$13.78
172180006	\$38.86	172200005	\$13.78	172200057	\$13.78
172180007	\$38.86	172200006	\$13.78	172200058	\$13.78
172181001	\$38.86	172200007	\$13.78	172200059	\$13.78
172181002	\$38.86	172200008	\$13.78	172200060	\$13.78
172181003	\$38.86	172200009	\$13.78	172200061	\$13.78
172181004	\$38.86	172200010	\$13.78	172200062	\$13.78
172181005	\$38.86	172200011	\$13.78	172200063	\$13.78
172181006	\$38.86	172200012	\$13.78	172200064	\$13.78
172181007	\$38.86	172200013	\$13.78	172200065	\$13.78
172181008	\$38.86	172200014	\$13.78	172200066	\$13.78
172181009	\$38.86	172200015	\$13.78	172200067	\$13.78
172181010	\$38.86	172200016	\$13.78	172200068	\$13.78
172181011	\$38.86	172200017	\$13.78	172200069	\$13.78
172181012	\$38.86	172200018	\$13.78	172200070	\$13.78
172181013	\$38.86	172200019	\$13.78	172200071	\$13.78
172181014	\$38.86	172200020	\$13.78	172200072	\$13.78
172181015	\$38.86	172200022	\$13.78	172200073	\$13.78
172181016	\$38.86	172200024	\$13.78	172200074	\$13.78
172181017	\$38.86	172200025	\$13.78	172200075	\$13.78
172181018	\$38.86	172200026	\$13.78	172200076	\$13.78
172181019	\$38.86	172200027	\$13.78	172200077	\$13.78
172181020	\$38.86	172200034	\$13.78	172200078	\$13.78
172181021	\$38.86	172200035	\$13.78	172200079	\$13.78
172181022	\$38.86	172200036	\$13.78	172200080	\$13.78
172182001	\$38.86	172200037	\$13.78	172200082	\$13.78
172182002	\$38.86	172200038	\$13.78	172200083	\$13.78

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172182003	\$38.86	172200039	\$13.78	172200084	\$13.78
172182004	\$38.86	172200040	\$13.78	172200085	\$13.78
172182005	\$38.86	172200041	\$13.78	172200086	\$13.78
172182006	\$38.86	172200042	\$13.78	172200087	\$13.78
172182007	\$38.86	172200043	\$13.78	172200088	\$13.78
172182008	\$38.86	172200044	\$13.78	172200089	\$13.78
172182009	\$38.86	172200045	\$13.78	172200093	\$13.78
172182010	\$38.86	172200047	\$13.78	172200094	\$13.78
172182011	\$38.86	172200048	\$13.78	172200095	\$13.78
172200096	\$13.78	172220016	\$38.86	172230002	\$38.86
172200097	\$13.78	172220017	\$38.86	172230003	\$38.86
172200098	\$13.78	172220018	\$38.86	172230004	\$38.86
172200099	\$13.78	172220019	\$38.86	172230005	\$38.86
172210001	\$38.86	172220020	\$38.86	172230006	\$38.86
172210002	\$38.86	172220021	\$38.86	172230007	\$38.86
172210003	\$38.86	172220022	\$38.86	172230008	\$38.86
172210004	\$38.86	172220023	\$38.86	172230009	\$38.86
172210005	\$38.86	172220024	\$38.86	172230010	\$38.86
172210006	\$38.86	172220025	\$38.86	172230011	\$38.86
172210007	\$38.86	172220026	\$38.86	172230012	\$38.86
172210008	\$38.86	172220027	\$38.86	172230013	\$38.86
172210009	\$38.86	172220028	\$38.86	172230014	\$38.86
172210010	\$38.86	172220029	\$38.86	172230015	\$38.86
172210011	\$38.86	172221001	\$38.86	172230016	\$38.86
172210012	\$38.86	172221002	\$38.86	172230017	\$38.86
172210013	\$38.86	172221003	\$38.86	172230018	\$38.86
172210014	\$38.86	172221004	\$38.86	172230019	\$38.86
172210015	\$38.86	172221005	\$38.86	172230020	\$38.86
172210016	\$38.86	172221006	\$38.86	172230021	\$38.86
172210017	\$38.86	172221007	\$38.86	172230022	\$38.86
172210018	\$38.86	172221008	\$38.86	172230023	\$38.86
172210019	\$38.86	172221009	\$38.86	172230024	\$38.86
172210020	\$38.86	172221010	\$38.86	172231001	\$38.86
172210021	\$38.86	172221011	\$38.86	172231002	\$38.86
172210022	\$38.86	172221012	\$38.86	172231003	\$38.86
172210023	\$38.86	172221013	\$38.86	172231004	\$38.86
172210024	\$38.86	172221014	\$38.86	172231005	\$38.86
172220001	\$38.86	172221015	\$38.86	172231006	\$38.86
172220002	\$38.86	172221016	\$38.86	172231007	\$38.86
172220003	\$38.86	172221017	\$38.86	172231008	\$38.86
172220004	\$38.86	172221018	\$38.86	172231009	\$38.86
172220005	\$38.86	172221019	\$38.86	172231010	\$38.86
172220006	\$38.86	172221020	\$38.86	172231011	\$38.86
172220007	\$38.86	172221021	\$38.86	172231012	\$38.86
172220008	\$38.86	172221022	\$38.86	172231013	\$38.86
172220009	\$38.86	172221023	\$38.86	172231014	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172220010	\$38.86	172221024	\$38.86	172231015	\$38.86
172220011	\$38.86	172221025	\$38.86	172240001	\$38.86
172220012	\$38.86	172221026	\$38.86	172240002	\$38.86
172220013	\$38.86	172221027	\$38.86	172240003	\$38.86
172220014	\$38.86	172221028	\$38.86	172240004	\$38.86
172220015	\$38.86	172230001	\$38.86	172240005	\$38.86
172240006	\$38.86	172242017	\$38.86	172251015	\$38.86
172240007	\$38.86	172242018	\$38.86	172251016	\$38.86
172240008	\$38.86	172242019	\$38.86	172251017	\$38.86
172240009	\$38.86	172242020	\$38.86	172251018	\$38.86
172240010	\$38.86	172242021	\$38.86	172251019	\$38.86
172240011	\$38.86	172242022	\$38.86	172251020	\$38.86
172240012	\$38.86	172242023	\$38.86	172251021	\$38.86
172240013	\$38.86	172242024	\$38.86	172251022	\$38.86
172240014	\$38.86	172242025	\$38.86	172252001	\$38.86
172240015	\$38.86	172250001	\$38.86	172252002	\$38.86
172240016	\$38.86	172250002	\$38.86	172252003	\$38.86
172240017	\$38.86	172250003	\$38.86	172252004	\$38.86
172240018	\$38.86	172250004	\$38.86	172252005	\$38.86
172240019	\$38.86	172250005	\$38.86	172252006	\$38.86
172240020	\$38.86	172250006	\$38.86	172252007	\$38.86
172240021	\$38.86	172250007	\$38.86	172252008	\$38.86
172240022	\$38.86	172250008	\$38.86	172252009	\$38.86
172240023	\$38.86	172250009	\$38.86	172252010	\$38.86
172240024	\$38.86	172250010	\$38.86	172252011	\$38.86
172240025	\$38.86	172250011	\$38.86	172260001	\$38.86
172240026	\$38.86	172250012	\$38.86	172260002	\$38.86
172240027	\$38.86	172250013	\$38.86	172260003	\$38.86
172241001	\$38.86	172250014	\$38.86	172260004	\$38.86
172241002	\$38.86	172250015	\$38.86	172261001	\$38.86
172241003	\$38.86	172250016	\$38.86	172261002	\$38.86
172241004	\$38.86	172250017	\$38.86	172261003	\$38.86
172241005	\$38.86	172250018	\$38.86	172261004	\$38.86
172242001	\$38.86	172250019	\$38.86	172261005	\$38.86
172242002	\$38.86	172250020	\$38.86	172261006	\$38.86
172242003	\$38.86	172251001	\$38.86	172261007	\$38.86
172242004	\$38.86	172251002	\$38.86	172261008	\$38.86
172242005	\$38.86	172251003	\$38.86	172261009	\$38.86
172242006	\$38.86	172251004	\$38.86	172261010	\$38.86
172242007	\$38.86	172251005	\$38.86	172261011	\$38.86
172242008	\$38.86	172251006	\$38.86	172261012	\$38.86
172242009	\$38.86	172251007	\$38.86	172261013	\$38.86
172242010	\$38.86	172251008	\$38.86	172261014	\$38.86
172242011	\$38.86	172251009	\$38.86	172261015	\$38.86
172242012	\$38.86	172251010	\$38.86	172261016	\$38.86
172242013	\$38.86	172251011	\$38.86	172261017	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172242014	\$38.86	172251012	\$38.86	172261018	\$38.86
172242015	\$38.86	172251013	\$38.86	172262001	\$38.86
172242016	\$38.86	172251014	\$38.86	172262002	\$38.86
172262003	\$38.86	172263021	\$38.86	172270036	\$38.86
172262004	\$38.86	172263022	\$38.86	172270037	\$38.86
172262005	\$38.86	172263023	\$38.86	172270038	\$38.86
172262006	\$38.86	172263024	\$38.86	172270039	\$38.86
172262007	\$38.86	172263025	\$38.86	172270040	\$38.86
172262008	\$38.86	172263026	\$38.86	172270041	\$38.86
172262009	\$38.86	172263027	\$38.86	172270042	\$38.86
172262010	\$38.86	172263029	\$38.86	172271001	\$38.86
172262011	\$38.86	172270001	\$38.86	172271002	\$38.86
172262012	\$38.86	172270002	\$38.86	172271003	\$38.86
172262013	\$38.86	172270003	\$38.86	172271004	\$38.86
172262014	\$38.86	172270004	\$38.86	172271005	\$38.86
172262015	\$38.86	172270005	\$38.86	172271006	\$38.86
172262016	\$38.86	172270006	\$38.86	172271007	\$38.86
172262017	\$38.86	172270007	\$38.86	172271008	\$38.86
172262018	\$38.86	172270008	\$38.86	172271009	\$38.86
172262019	\$38.86	172270009	\$38.86	172271010	\$38.86
172262020	\$38.86	172270010	\$38.86	172271011	\$38.86
172262021	\$38.86	172270011	\$38.86	172271012	\$38.86
172262022	\$38.86	172270012	\$38.86	172271013	\$38.86
172262023	\$38.86	172270013	\$38.86	172271014	\$38.86
172262024	\$38.86	172270014	\$38.86	172271015	\$38.86
172262025	\$38.86	172270015	\$38.86	172271016	\$38.86
172262026	\$38.86	172270016	\$38.86	172271017	\$38.86
172263001	\$38.86	172270017	\$38.86	172271018	\$38.86
172263002	\$38.86	172270018	\$38.86	172271019	\$38.86
172263003	\$38.86	172270019	\$38.86	172271020	\$38.86
172263004	\$38.86	172270020	\$38.86	172271021	\$38.86
172263005	\$38.86	172270021	\$38.86	172271022	\$38.86
172263006	\$38.86	172270022	\$38.86	172271023	\$38.86
172263007	\$38.86	172270023	\$38.86	172271024	\$38.86
172263008	\$38.86	172270024	\$38.86	172271025	\$38.86
172263009	\$38.86	172270025	\$38.86	172271026	\$38.86
172263010	\$38.86	172270026	\$38.86	172271027	\$38.86
172263011	\$38.86	172270027	\$38.86	172271028	\$38.86
172263012	\$38.86	172270028	\$38.86	172271029	\$38.86
172263013	\$38.86	172270029	\$38.86	172272001	\$38.86
172263014	\$38.86	172270030	\$38.86	172272002	\$38.86
172263015	\$38.86	172270031	\$38.86	172272003	\$38.86
172263017	\$38.86	172270032	\$38.86	172272004	\$38.86
172263018	\$38.86	172270033	\$38.86	172272005	\$38.86
172263019	\$38.86	172270034	\$38.86	172272006	\$38.86
172263020	\$38.86	172270035	\$38.86	172280001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172280002	\$38.86	172281023	\$38.86	172291022	\$38.86
172280003	\$38.86	172281024	\$38.86	172291023	\$38.86
172280004	\$38.86	172281025	\$38.86	172291024	\$38.86
172280005	\$38.86	172281026	\$38.86	172291025	\$38.86
172280006	\$38.86	172281027	\$38.86	172291026	\$38.86
172280007	\$38.86	172281028	\$38.86	172291027	\$38.86
172280008	\$38.86	172281029	\$38.86	172291028	\$38.86
172280009	\$38.86	172281030	\$38.86	172291029	\$38.86
172280010	\$38.86	172281031	\$38.86	172291030	\$38.86
172280011	\$38.86	172281032	\$38.86	172291031	\$38.86
172280012	\$38.86	172281033	\$38.86	172291032	\$38.86
172280013	\$38.86	172281034	\$38.86	172291033	\$38.86
172280014	\$38.86	172281035	\$38.86	172300001	\$38.86
172280015	\$38.86	172281036	\$38.86	172300002	\$38.86
172280016	\$38.86	172282001	\$38.86	172300003	\$38.86
172280017	\$38.86	172282002	\$38.86	172300004	\$38.86
172280018	\$38.86	172282003	\$38.86	172300005	\$38.86
172280019	\$38.86	172282004	\$38.86	172300006	\$38.86
172280020	\$38.86	172282005	\$38.86	172300007	\$38.86
172280021	\$38.86	172290001	\$38.86	172300008	\$38.86
172280022	\$38.86	172290002	\$38.86	172300009	\$38.86
172281001	\$38.86	172290003	\$38.86	172300011	\$38.86
172281002	\$38.86	172291001	\$38.86	172300012	\$38.86
172281003	\$38.86	172291002	\$38.86	172300013	\$38.86
172281004	\$38.86	172291003	\$38.86	172300014	\$38.86
172281005	\$38.86	172291004	\$38.86	172300015	\$38.86
172281006	\$38.86	172291005	\$38.86	172300016	\$38.86
172281007	\$38.86	172291006	\$38.86	172300019	\$38.86
172281008	\$38.86	172291007	\$38.86	172302001	\$38.86
172281009	\$38.86	172291008	\$38.86	172302002	\$38.86
172281010	\$38.86	172291009	\$38.86	172302003	\$38.86
172281011	\$38.86	172291010	\$38.86	172302004	\$38.86
172281012	\$38.86	172291011	\$38.86	172302005	\$38.86
172281013	\$38.86	172291012	\$38.86	172302006	\$38.86
172281014	\$38.86	172291013	\$38.86	172302007	\$38.86
172281015	\$38.86	172291014	\$49.22	172302008	\$38.86
172281016	\$38.86	172291015	\$49.22	172302009	\$38.86
172281017	\$38.86	172291016	\$49.22	172302010	\$38.86
172281018	\$38.86	172291017	\$38.86	172302011	\$38.86
172281019	\$38.86	172291018	\$38.86	172302012	\$38.86
172281020	\$38.86	172291019	\$38.86	172310001	\$38.86
172281021	\$38.86	172291020	\$38.86	172310002	\$38.86
172281022	\$38.86	172291021	\$38.86	172310003	\$38.86
172310004	\$38.86	172320015	\$38.86	172323007	\$38.86
172310005	\$38.86	172320016	\$38.86	172323008	\$38.86
172311001	\$38.86	172320017	\$38.86	172323009	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172311002	\$38.86	172320018	\$38.86	172323010	\$38.86
172311003	\$38.86	172320019	\$38.86	172323011	\$38.86
172311004	\$38.86	172320020	\$38.86	172324001	\$38.86
172311005	\$38.86	172320021	\$38.86	172324002	\$38.86
172311006	\$49.22	172320022	\$38.86	172324003	\$38.86
172311007	\$38.86	172321001	\$38.86	172324004	\$38.86
172311008	\$38.86	172321002	\$38.86	172324005	\$38.86
172311009	\$38.86	172321003	\$38.86	172324006	\$38.86
172311010	\$38.86	172321004	\$38.86	172324007	\$38.86
172311011	\$49.22	172321005	\$38.86	172324008	\$38.86
172311012	\$49.22	172321006	\$38.86	172324009	\$38.86
172311013	\$38.86	172321007	\$38.86	172324010	\$38.86
172311014	\$38.86	172321008	\$38.86	172324011	\$38.86
172311015	\$38.86	172321009	\$38.86	172325001	\$38.86
172311016	\$38.86	172321010	\$38.86	172325002	\$38.86
172311017	\$38.86	172321011	\$38.86	172325003	\$38.86
172311018	\$38.86	172321012	\$38.86	172325004	\$38.86
172311019	\$38.86	172321013	\$38.86	172325005	\$38.86
172312001	\$38.86	172321014	\$38.86	172325006	\$38.86
172312002	\$38.86	172321015	\$38.86	172325007	\$38.86
172312003	\$38.86	172321016	\$38.86	172325008	\$38.86
172312004	\$38.86	172322001	\$38.86	172325009	\$38.86
172312005	\$38.86	172322002	\$38.86	172325010	\$38.86
172312006	\$38.86	172322003	\$38.86	172325011	\$38.86
172312007	\$38.86	172322004	\$38.86	172325012	\$38.86
172312008	\$38.86	172322005	\$38.86	172325013	\$38.86
172320001	\$38.86	172322006	\$38.86	172325014	\$38.86
172320002	\$38.86	172322007	\$38.86	172325015	\$38.86
172320003	\$38.86	172322008	\$38.86	172325016	\$38.86
172320004	\$38.86	172322009	\$38.86	172325017	\$38.86
172320005	\$38.86	172322010	\$38.86	172325018	\$38.86
172320006	\$38.86	172322011	\$38.86	172325019	\$38.86
172320007	\$38.86	172322012	\$38.86	172325020	\$38.86
172320008	\$38.86	172322013	\$38.86	172325021	\$38.86
172320009	\$38.86	172323001	\$38.86	172325022	\$38.86
172320010	\$38.86	172323002	\$38.86	172325023	\$38.86
172320011	\$38.86	172323003	\$38.86	172325024	\$38.86
172320012	\$38.86	172323004	\$38.86	172325025	\$38.86
172320013	\$38.86	172323005	\$38.86	172325026	\$38.86
172320014	\$38.86	172323006	\$38.86	172325027	\$38.86
172325028	\$38.86	172330039	\$38.86	172340018	\$38.86
172325029	\$38.86	172330040	\$38.86	172340019	\$38.86
172325030	\$38.86	172330041	\$38.86	172340020	\$38.86
172325031	\$38.86	172330042	\$38.86	172340021	\$38.86
172325032	\$38.86	172330043	\$38.86	172340022	\$38.86
172330001	\$38.86	172330044	\$38.86	172340023	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172330002	\$38.86	172330045	\$38.86	172340024	\$38.86
172330003	\$38.86	172330046	\$38.86	172340025	\$38.86
172330004	\$38.86	172330047	\$38.86	172340026	\$38.86
172330005	\$38.86	172330048	\$38.86	172340027	\$38.86
172330006	\$38.86	172330049	\$38.86	172340028	\$38.86
172330007	\$38.86	172330050	\$38.86	172340029	\$38.86
172330008	\$38.86	172330051	\$38.86	172340030	\$38.86
172330009	\$38.86	172330052	\$38.86	172340031	\$38.86
172330010	\$38.86	172330053	\$38.86	172340032	\$38.86
172330011	\$38.86	172330054	\$38.86	172340033	\$38.86
172330012	\$38.86	172330055	\$38.86	172340034	\$38.86
172330013	\$38.86	172330056	\$38.86	172340035	\$38.86
172330014	\$38.86	172331001	\$38.86	172340036	\$38.86
172330015	\$38.86	172331002	\$38.86	172340037	\$38.86
172330016	\$38.86	172331003	\$38.86	172340038	\$38.86
172330017	\$38.86	172331004	\$38.86	172340039	\$38.86
172330018	\$38.86	172331005	\$38.86	172340040	\$38.86
172330019	\$38.86	172331006	\$38.86	172340041	\$38.86
172330020	\$38.86	172331007	\$38.86	172340042	\$38.86
172330021	\$38.86	172331008	\$38.86	172340043	\$38.86
172330022	\$38.86	172340001	\$38.86	172340044	\$38.86
172330023	\$38.86	172340002	\$38.86	172340045	\$38.86
172330024	\$38.86	172340003	\$38.86	172340046	\$38.86
172330025	\$38.86	172340004	\$38.86	172340047	\$38.86
172330026	\$38.86	172340005	\$38.86	172340048	\$38.86
172330027	\$38.86	172340006	\$38.86	172340049	\$38.86
172330028	\$38.86	172340007	\$38.86	172340050	\$38.86
172330029	\$38.86	172340008	\$38.86	172340051	\$38.86
172330030	\$38.86	172340009	\$38.86	172340052	\$38.86
172330031	\$38.86	172340010	\$38.86	172340053	\$38.86
172330032	\$38.86	172340011	\$38.86	172340054	\$38.86
172330033	\$38.86	172340012	\$38.86	172350001	\$38.86
172330034	\$38.86	172340013	\$38.86	172350002	\$38.86
172330035	\$38.86	172340014	\$38.86	172350003	\$38.86
172330036	\$38.86	172340015	\$38.86	172350004	\$38.86
172330037	\$38.86	172340016	\$38.86	172350005	\$38.86
172330038	\$38.86	172340017	\$38.86	172350006	\$38.86
172350007	\$38.86	172351040	\$38.86	172352010	\$38.86
172350008	\$38.86	172351041	\$38.86	172352011	\$38.86
172350009	\$38.86	172351042	\$38.86	172352012	\$38.86
172350011	\$38.86	172351043	\$38.86	172352013	\$38.86
172351001	\$38.86	172351044	\$38.86	172352014	\$38.86
172351002	\$38.86	172351045	\$38.86	172352015	\$38.86
172351003	\$38.86	172351046	\$38.86	172352016	\$38.86
172351004	\$38.86	172351047	\$38.86	172352017	\$38.86
172351005	\$38.86	172351048	\$38.86	172352018	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172351006	\$38.86	172351049	\$38.86	172352019	\$38.86
172351007	\$38.86	172351050	\$38.86	172352020	\$38.86
172351008	\$38.86	172351051	\$38.86	172352021	\$38.86
172351009	\$38.86	172351052	\$38.86	172361007	\$12.34
172351010	\$38.86	172351053	\$38.86	172361008	\$12.34
172351011	\$38.86	172351054	\$38.86	172361009	\$12.34
172351012	\$38.86	172351055	\$38.86	172361010	\$12.34
172351013	\$38.86	172351056	\$38.86	172361011	\$12.34
172351014	\$38.86	172351057	\$38.86	172361012	\$12.34
172351015	\$38.86	172351058	\$38.86	172361013	\$12.34
172351016	\$38.86	172351059	\$38.86	172361014	\$12.34
172351017	\$38.86	172351060	\$38.86	172361015	\$12.34
172351018	\$38.86	172351061	\$38.86	172361016	\$12.34
172351019	\$38.86	172351062	\$38.86	172361017	\$12.34
172351020	\$38.86	172351063	\$38.86	172361018	\$12.34
172351021	\$38.86	172351064	\$38.86	172362001	\$12.34
172351022	\$38.86	172351065	\$38.86	172362002	\$12.34
172351023	\$38.86	172351066	\$38.86	172362003	\$12.34
172351024	\$38.86	172351067	\$38.86	172362004	\$12.34
172351025	\$38.86	172351068	\$38.86	172362005	\$12.34
172351026	\$38.86	172351069	\$38.86	172362006	\$12.34
172351027	\$38.86	172351070	\$38.86	172362007	\$12.34
172351028	\$38.86	172351071	\$38.86	172362008	\$12.34
172351029	\$38.86	172351072	\$38.86	172362009	\$12.34
172351030	\$38.86	172351073	\$38.86	172362010	\$12.34
172351031	\$38.86	172352001	\$38.86	172362011	\$12.34
172351032	\$38.86	172352002	\$38.86	172362012	\$12.34
172351033	\$38.86	172352003	\$38.86	172362013	\$12.34
172351034	\$38.86	172352004	\$38.86	172362014	\$12.34
172351035	\$38.86	172352005	\$38.86	172362015	\$12.34
172351036	\$38.86	172352006	\$38.86	172362016	\$12.34
172351037	\$38.86	172352007	\$38.86	172362017	\$12.34
172351038	\$38.86	172352008	\$38.86	172362018	\$12.34
172351039	\$38.86	172352009	\$38.86	172362019	\$12.34
172362020	\$12.34	172362065	\$12.34	172363018	\$12.34
172362021	\$12.34	172362066	\$12.34	172363019	\$12.34
172362022	\$12.34	172362067	\$12.34	172363020	\$12.34
172362023	\$12.34	172362068	\$12.34	172363021	\$12.34
172362024	\$12.34	172362069	\$12.34	172363022	\$12.34
172362025	\$12.34	172362070	\$12.34	172363023	\$12.34
172362026	\$12.34	172362071	\$12.34	172363024	\$12.34
172362027	\$12.34	172362072	\$12.34	172363025	\$12.34
172362028	\$12.34	172362073	\$12.34	172363026	\$12.34
172362029	\$12.34	172362074	\$12.34	172363027	\$12.34
172362030	\$12.34	172362075	\$12.34	172363028	\$12.34
172362031	\$12.34	172362076	\$12.34	172372001	\$38.86

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172362032	\$12.34	172362077	\$12.34	172372002	\$38.86
172362033	\$12.34	172362078	\$12.34	172372003	\$38.86
172362034	\$12.34	172362079	\$12.34	172372004	\$38.86
172362036	\$12.34	172362080	\$12.34	172372005	\$38.86
172362037	\$12.34	172362081	\$12.34	172372007	\$38.86
172362038	\$12.34	172362082	\$12.34	172372008	\$38.86
172362039	\$12.34	172362083	\$12.34	172372009	\$38.86
172362040	\$12.34	172362084	\$12.34	172372011	\$38.86
172362041	\$12.34	172362085	\$12.34	172372012	\$38.86
172362042	\$12.34	172362086	\$12.34	172372013	\$38.86
172362043	\$12.34	172362087	\$12.34	172372014	\$38.86
172362044	\$12.34	172362088	\$12.34	172372015	\$38.86
172362045	\$12.34	172362089	\$12.34	172372016	\$38.86
172362046	\$12.34	172362090	\$12.34	172372017	\$38.86
172362047	\$12.34	172363001	\$12.34	172372019	\$38.86
172362048	\$12.34	172363002	\$12.34	172372020	\$38.86
172362049	\$12.34	172363003	\$12.34	172372021	\$38.86
172362050	\$12.34	172363004	\$12.34	172372022	\$38.86
172362051	\$12.34	172363005	\$12.34	172372023	\$38.86
172362052	\$12.34	172363006	\$12.34	172372024	\$38.86
172362053	\$12.34	172363007	\$12.34	172372025	\$38.86
172362054	\$12.34	172363008	\$12.34	172372026	\$38.86
172362055	\$12.34	172363009	\$12.34	172372027	\$38.86
172362056	\$12.34	172363010	\$12.34	172372028	\$38.86
172362057	\$12.34	172363011	\$12.34	172372029	\$38.86
172362058	\$12.34	172363012	\$12.34	172372031	\$230.54
172362059	\$12.34	172363013	\$12.34	172372032	\$38.86
172362060	\$12.34	172363014	\$12.34	172372033	\$38.86
172362061	\$12.34	172363015	\$12.34	172372034	\$38.86
172362062	\$12.34	172363016	\$12.34	172372035	\$38.86
172362063	\$12.34	172363017	\$12.34	172372036	\$38.86
172372037	\$38.86	172390010	\$115.14	172420015	\$201.02
172372038	\$38.86	172390011	\$201.40	172420016	\$286.90
172372039	\$38.86	172390012	\$201.40	172420017	\$201.02
172372040	\$38.86	172390013	\$201.40	172420026	\$201.02
172372041	\$38.86	172390014	\$105.34	172420027	\$286.52
172372042	\$38.86	172390015	\$76.46	172420035	\$777.48
172372043	\$38.86	172390016	\$105.34	172420036	\$777.48
172372044	\$38.86	172390017	\$345.42	172420037	\$229.90
172372046	\$90.66	172390018	\$316.92	172420038	\$574.56
172372047	\$38.86	172390019	\$633.84	172420039	\$890.72
172372048	\$38.86	172390020	\$576.46	172420050	\$602.68
172372049	\$38.86	172390021	\$173.28	172420052	\$144.40
172372050	\$38.86	172390022	\$288.80	172420053	\$229.90
172372051	\$38.86	172390023	\$489.82	172430001	\$17.20
172372053	\$49.22	172390024	\$201.40	172430002	\$17.20

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172372054	\$38.86	172390025	\$489.06	172430003	\$17.20
172372056	\$90.66	172390026	\$201.40	172430004	\$17.20
172372057	\$38.86	172390027	\$172.52	172430005	\$17.20
172372058	\$38.86	172390028	\$201.02	172430006	\$17.20
172372059	\$38.86	172390029	\$201.40	172430007	\$17.20
172372060	\$38.86	172390030	\$88.46	172430008	\$17.20
172372061	\$38.86	172390031	\$115.14	172430009	\$17.20
172372063	\$160.60	172390032	\$115.14	172430010	\$17.20
172372064	\$38.86	172390033	\$201.40	172430011	\$17.20
172372065	\$38.86	172390034	\$287.66	172430012	\$17.20
172372066	\$38.86	172390035	\$172.52	172430013	\$17.20
172372067	\$38.86	172390036	\$230.28	172430014	\$17.20
172372068	\$38.86	172390037	\$107.62	172430015	\$17.20
172372069	\$38.86	172390038	\$107.62	172430016	\$17.20
172372070	\$38.86	172390039	\$107.62	172430017	\$17.20
172372071	\$38.86	172390040	\$107.62	172430018	\$17.20
172372072	\$38.86	172390051	\$546.82	172430019	\$17.20
172372074	\$90.66	172390056	\$804.84	172430020	\$17.20
172372075	\$38.86	172410007	\$948.86	172430021	\$17.20
172372076	\$38.86	172410009	\$1,584.60	172430022	\$17.20
172372077	\$38.86	172410011	\$1,674.66	172430023	\$17.20
172372078	\$38.86	172420001	\$172.14	172430024	\$17.20
172372079	\$38.86	172420002	\$749.74	172430025	\$17.20
172390001	\$778.62	172420003	\$172.90	172430026	\$17.20
172390006	\$201.40	172420004	\$144.40	172430027	\$17.20
172390007	\$201.40	172420005	\$402.80	172430028	\$17.20
172390008	\$345.80	172420013	\$230.28	172430029	\$17.20
172390009	\$115.14	172420014	\$432.44	172430030	\$17.20
172430031	\$17.20	275161004	\$67.36	275164019	\$67.36
172430032	\$17.20	275161005	\$38.86	275165001	\$38.86
172430033	\$17.20	275161006	\$67.36	275165002	\$38.86
172430034	\$17.20	275161007	\$67.36	275165003	\$38.86
172430035	\$17.20	275161008	\$38.86	275165004	\$38.86
172430036	\$17.20	275161009	\$38.86	275165005	\$38.86
172440001	\$38.86	275161010	\$38.86	275165006	\$38.86
172440002	\$38.86	275162001	\$38.86	275165007	\$67.36
172440003	\$38.86	275162002	\$38.86	275165008	\$38.86
172440004	\$38.86	275162003	\$77.72	275165009	\$38.86
172440005	\$38.86	275162004	\$67.36	275165010	\$38.86
172440006	\$38.86	275163001	\$38.86	275165011	\$38.86
172440007	\$38.86	275163002	\$38.86	275165012	\$38.86
172440008	\$49.22	275163003	\$38.86	275165013	\$38.86
172440009	\$49.22	275163004	\$38.86	275165014	\$38.86
172440010	\$38.86	275163005	\$38.86	275165015	\$38.86
172440011	\$49.22	275163006	\$38.86	275165016	\$38.86
172440012	\$38.86	275163007	\$38.86	275165017	\$38.86



# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172440013	\$38.86	275163008	\$38.86	275165018	\$38.86
172440014	\$38.86	275163009	\$38.86	275165019	\$38.86
172440015	\$38.86	275163010	\$38.86	275165020	\$38.86
172440016	\$38.86	275163011	\$38.86	275170001	\$38.86
172440017	\$38.86	275163012	\$38.86	275170002	\$67.36
172440018	\$38.86	275163013	\$38.86	275170003	\$77.72
172440019	\$49.22	275163014	\$67.36	275170004	\$49.22
172440020	\$49.22	275164001	\$38.86	275170005	\$38.86
172440021	\$38.86	275164002	\$38.86	275170006	\$38.86
172440022	\$38.86	275164003	\$38.86	275170007	\$38.86
172440023	\$38.86	275164004	\$38.86	275171001	\$38.86
172440024	\$38.86	275164005	\$67.36	275171002	\$49.22
172440025	\$38.86	275164006	\$38.86	275171003	\$38.86
275160001	\$67.36	275164007	\$38.86	275171004	\$49.22
275160002	\$38.86	275164008	\$38.86	275171005	\$49.22
275160003	\$38.86	275164009	\$38.86	275171006	\$38.86
275160004	\$38.86	275164010	\$38.86	275171007	\$38.86
275160005	\$38.86	275164011	\$38.86	275171008	\$38.86
275160006	\$38.86	275164012	\$38.86	275171009	\$38.86
275160007	\$38.86	275164013	\$38.86	275171010	\$38.86
275160008	\$38.86	275164014	\$38.86	275171011	\$38.86
275160009	\$67.36	275164015	\$38.86	275171012	\$38.86
275161001	\$38.86	275164016	\$38.86	275171013	\$38.86
275161002	\$38.86	275164017	\$38.86	275171014	\$38.86
275161003	\$38.86	275164018	\$67.36	275171015	\$38.86
275171016	\$38.86	275180002	\$59.58	278241013	\$59.58
275172001	\$38.86	275181001	\$77.72	278242001	\$69.94
275172002	\$38.86	275181002	\$38.86	278242002	\$59.58
275172003	\$67.36	275181003	\$77.72	278242003	\$59.58
275172004	\$38.86	275181004	\$77.72	278242004	\$59.58
275172005	\$38.86	275181005	\$77.72	278242005	\$69.94
275172006	\$38.86	275181006	\$67.36	278242006	\$59.58
275172007	\$38.86	275181007	\$67.36	278242007	\$69.94
275172008	\$67.36	275181008	\$67.36	278242009	\$69.94
275172009	\$67.36	275181009	\$59.58	278242011	\$50.32
275172010	\$38.86	275181010	\$38.86	279220006	\$189.10
275172011	\$38.86	275181011	\$38.86	279251001	\$38.86
275172012	\$77.72	275181012	\$38.86	279251002	\$38.86
275172013	\$67.36	275181013	\$67.36	279251003	\$49.22
275172014	\$67.36	275181014	\$67.36	279251004	\$38.86
275172015	\$38.86	275181015	\$38.86	279251005	\$38.86
275172016	\$38.86	275190001	\$68.46	279251006	\$69.94
275172017	\$38.86	275190002	\$68.46	279251007	\$69.94
275172018	\$38.86	275190003	\$68.46	279251008	\$59.58
275172019	\$38.86	275190004	\$111.38	279251009	\$59.58
275172020	\$38.86	278120001	\$2,027.10	279251010	\$49.22

# Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
275172021	\$38.86	278130001	\$2,027.10	279251011	\$49.22
275172022	\$38.86	278130002	\$119.26	279251012	\$49.22
275172023	\$38.86	278130003	\$114.62	279251013	\$49.22
275173001	\$67.36	278130005	\$114.62	279251014	\$49.22
275173002	\$67.36	278130006	\$119.26	279251015	\$49.22
275173003	\$67.36	278160002	\$18.92	279251016	\$49.22
275173004	\$38.86	278160003	\$6.82	279251017	\$49.22
275173005	\$38.86	278160004	\$14.52	279252001	\$38.86
275173006	\$38.86	278160005	\$5.72	279252002	\$38.86
275173007	\$38.86	278160006	\$156.42	279252003	\$38.86
275173008	\$38.86	278160022	\$12.32	279252004	\$38.86
275173009	\$77.72	278160023	\$11.22	279252005	\$38.86
275173010	\$38.86	278241002	\$59.58	279252006	\$38.86
275173011	\$67.36	278241003	\$59.58	279252007	\$49.22
275173012	\$38.86	278241004	\$59.58	279252008	\$38.86
275173013	\$38.86	278241006	\$59.58	279252009	\$38.86
275173014	\$38.86	278241007	\$59.58	279252010	\$38.86
275173015	\$38.86	278241008	\$59.58	279252011	\$38.86
275173016	\$38.86	278241009	\$59.58	279252012	\$38.86
275173017	\$38.86	278241010	\$59.58	279252013	\$38.86
275173018	\$38.86	278241011	\$59.58	279252014	\$38.86
275180001	\$49.22	278241012	\$59.58	279252015	\$38.86
279252016	\$38.86	279271003	\$38.86	279273009	\$38.86
279252017	\$38.86	279271004	\$38.86	279273010	\$49.22
279252018	\$38.86	279271005	\$38.86	279273011	\$49.22
279252019	\$38.86	279271006	\$38.86	279273012	\$49.22
279252020	\$38.86	279271007	\$38.86	279273013	\$38.86
279252021	\$38.86	279271008	\$38.86	279273014	\$38.86
279252022	\$38.86	279271009	\$38.86	279273015	\$38.86
279253001	\$38.86	279271010	\$38.86	279281001	\$38.86
279253002	\$38.86	279271011	\$38.86	279281002	\$38.86
279253003	\$38.86	279271012	\$38.86	279281003	\$49.22
279253004	\$38.86	279271013	\$38.86	279281004	\$38.86
279253005	\$38.86	279271014	\$38.86	279281005	\$49.22
279253006	\$38.86	279271015	\$38.86	279281006	\$38.86
279253007	\$38.86	279271016	\$38.86	279281007	\$38.86
279253008	\$38.86	279271017	\$38.86	279281008	\$38.86
279253009	\$38.86	279271018	\$38.86	279281009	\$49.22
279253010	\$38.86	279271019	\$38.86	279282001	\$38.86
279261001	\$38.86	279271020	\$49.22	279282002	\$38.86
279261002	\$38.86	279271021	\$49.22	279282003	\$38.86
279261003	\$38.86	279271022	\$38.86	279282004	\$38.86
279261004	\$38.86	279272001	\$38.86	279282005	\$38.86
279261005	\$49.22	279272002	\$38.86	279282006	\$38.86
279261006	\$59.58	279272003	\$38.86	279282007	\$38.86
279261007	\$59.58	279272004	\$38.86	279282008	\$38.86

## Assessment Roll

68-2311 - LMD 84-1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
279261008	\$38.86	279272005	\$38.86	279282009	\$38.86
279261009	\$38.86	279272006	\$38.86	279282010	\$38.86
279261010	\$38.86	279272007	\$38.86	279282011	\$38.86
279261011	\$38.86	279272008	\$38.86	279282012	\$38.86
279261012	\$38.86	279272009	\$38.86	279282013	\$38.86
279261013	\$38.86	279272010	\$38.86	279282014	\$38.86
279261014	\$38.86	279272011	\$38.86	279282015	\$49.22
279261015	\$38.86	279272012	\$38.86	279421016	\$38.86
279261016	\$38.86	279272013	\$38.86	279421017	\$38.86
279261017	\$38.86	279272014	\$38.86	279421018	\$77.72
279261018	\$38.86	279272015	\$38.86	279421019	\$77.72
279261019	\$38.86	279273001	\$38.86	279421020	\$77.72
279262001	\$38.86	279273002	\$38.86	279421023	\$77.72
279262002	\$38.86	279273003	\$38.86	279421024	\$77.72
279262003	\$38.86	279273004	\$38.86	279421025	\$77.72
279262004	\$38.86	279273005	\$38.86	279421028	\$68.46
279262005	\$38.86	279273006	\$38.86	279421030	\$88.08
279271001	\$38.86	279273007	\$38.86		
279271002	\$38.86	279273008	\$38.86		
<b>Totals</b>		<b>Parcels 36,763</b>		<b>Levy \$2,024,404.76</b>	

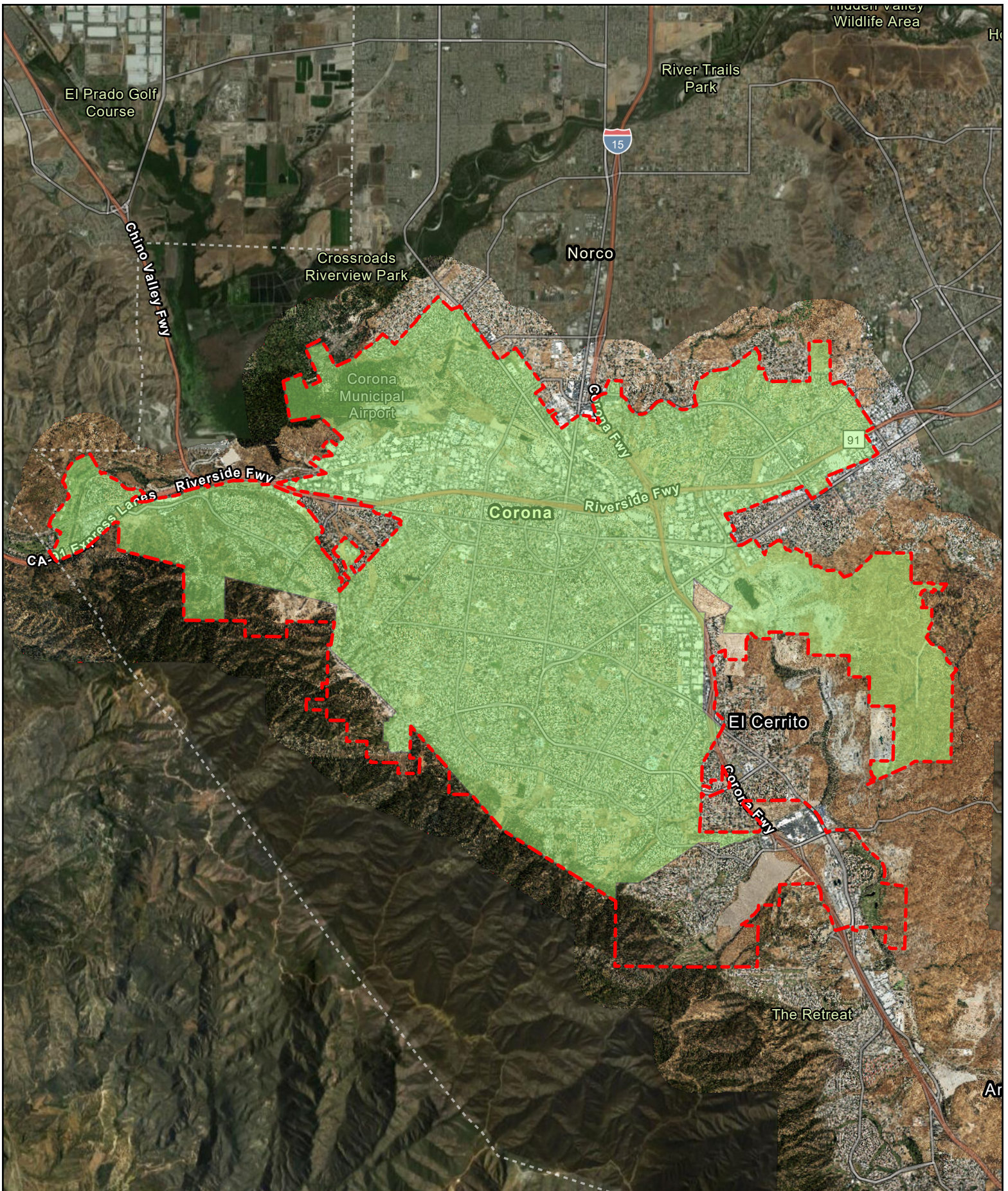
# APPENDIX B

## Assessment Diagram



SPIKER CONSULTING  
G R O U P





## Lighting Maintenance District No. 84 - 1





# APPENDIX C

## Capital Improvement Projects



SPIKER CONSULTING  
G R O U P

## Capital Project

With the completion of the LED retrofit in Fiscal Year 2018, the District does not anticipate any major future capital improvement projects for the next several years. As funds allow and the need arises, induction lights will be changed out to LEDs. Street light cabinets will also be evaluated and replaced over the next several years.

# APPENDIX D

## Detached Parcels



SPIKER CONSULTING  
G R O U P



## Detached Properties

Assessor's Parcel Number	Annexation District	Detachment Year
119190022	CFD 2016-3 Zone 2	FY 2017
119190025		
119190029		
115060044	CFD 2016-3 Zone 3	FY 2017
115060046		
115060047		
115060048		
115210025	CFD 2016-3 Zone 4	FY 2017
116320002	CFD 2016-3 Zone 6	FY 2018
116320003		
116320015		
116320016		
116320017		
116320028		
120040005	CFD 2017-2	FY 2018
120040049		
113140009	CFD 2016-3 Zone 8	FY 2019
111053006	CFD 2016-3 Zone 9	FY 2019
114691006	CFD 2016-3 Zone 10	FY 2019
116320008	CFD 2016-3 Zone 12	FY 2019
118140068	CFD 2016-3 Zone 13	FY 2019
118210019		
119210026		
116310071	CFD 2016-3 Zone 14	FY 2020
116320031		
116320032		
113420009	CFD 2016-3 Zone 15	FY 2020
118130033	CFD 2016-3 Zone 16	FY 2020
118130034		
117270021	CFD 2016-3 Zone 18	FY 2021
117270038		
115100046	CFD 2016-3 Zone 19	FY 2021
115415001		
115415002		
115090008	CFD 2016-3 Zone 21	FY 2021
122061006	CFD 2016-3 Zone 22	FY 2021



SPIKER CONSULTING  
GROUP

## **RESOLUTION NO. 2021-059**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, CONFIRMING THE DIAGRAM AND ASSESSMENT FOR LIGHTING MAINTENANCE DISTRICT NO. 84-1 FOR FISCAL YEAR 2022 AND TO DETACH CERTAIN TERRITORY FROM THE DISTRICT**

**WHEREAS**, on June 2, 2021, the City Council of the City of Corona (the “City Council”) adopted Resolution No. 2021-038, a resolution of intention pursuant to Section 22624 of the Streets and Highways Code, which among other things, scheduled a public hearing on the levy and collection of assessments on the lots and parcels of the assessable property within Lighting Maintenance District No. 84-1 (the “District”) for Fiscal Year 2022 pursuant to the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the Streets and Highways Code (the “Act”) for 6:30 p.m. on July 7, 2021, in the City Council Chambers of the City of Corona, at 400 South Vicentia Avenue, Corona, California; and

**WHEREAS**, notice of said hearing was duly published as required by Sections 22552 and 22553 of said Act; and

**WHEREAS**, at the time and place of said hearing, as set forth in said resolution of intention, the City Council held the hearing and afforded all interested persons an opportunity to be heard, and considered all oral statements and all written protests or communications made or filed by any interested persons, and at the conclusion of said hearing determined that a majority protest, to wit: written protests filed and not withdrawn by property owners owning more than 50 percent of the area of assessable land within the District, had not been received.

**WHEREAS**, certain territory that is within the boundaries of the District described in Exhibit “A” attached hereto and incorporate herein by reference (“Detached Properties”) has now been included within or annexed to one or more community facilities districts established by the City of Corona (“CFD’s”); and

**WHEREAS**, the CFD’s provide the same services to the Detached Properties that were provided by the District; and

**WHEREAS**, the assessments levied by the District have not been levied on the Detached Properties as of the Detachment Year listed in Exhibit “A” that corresponds to each Assessor’s Parcel Number; and

**WHEREAS**, the City Council desires to detach the Detached Properties from the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Findings and Approval of Final Report.** The City Council find that:

- (a) The foregoing recitals are true and correct;
- (b) Compliance has been maintained with all of the applicable requirements of the Act;
- (c) A majority protest to the levy and collection of the proposed assessment has not been filed;
- (d) The City Council may therefore proceed to confirm the boundary and assessment for the District for Fiscal Year 2022, and order levy and collection of the assessment;
- (e) The assessment proposed to be levied on the lots and parcels of assessable property within the District for the maintenance and servicing of public lighting facilities during Fiscal Year 2022, as contained in the Final Annual Engineer's Report prepared by Spicer Consulting Group, LLC on file with the City Clerk (the "Report"), are based on the proportionate special benefit derived by such lots and parcels from the availability of such public lighting facilities;
- (f) The proportionate special benefit derived by each such lot or parcel has been determined in relationship to the entirety of the cost of the maintenance and servicing of such public lighting facilities;
- (g) Such assessments do not exceed the reasonable cost of the proportional special benefit conferred on each such lot and parcel;
- (h) Such assessments will not be increased over the amounts previously approved by the electors of the District or as otherwise permitted by the Act and Article XIID of the California Constitution; and
- (i) Based on the foregoing and the full record before the City Council, the Report as whole and each part thereof are finally approved and confirmed.

**SECTION 2. Levy of Assessment.** Pursuant to Section 22631 of the Streets and Highways Code, the adoption of this resolution constitutes the levy of the assessment for the maintenance and servicing of public lighting facilities within the District during Fiscal Year 2022, as contained in the Report, and such assessment is hereby levied. The City Clerk is directed to file a certified copy of this resolution together with the diagram and assessment contained in the Report with the County Auditor of the County of Riverside, who, pursuant to Section 22645 of the Streets and Highways Code, shall enter on the County Assessment Roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the said assessment.

**SECTION 3. Detached Territory.** Pursuant to Sections 22605 et seq. of the Streets and Highways Code, the City Council hereby orders the detachment of the Detached Properties from the District. The Detached Properties are described in Exhibit "A" and Appendix D of the Report for the District for Fiscal Year 2022.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at its regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]

**EXHIBIT “A”**

**DETACHED PROPERTIES**

Assessor's Parcel Number	Annexation District	Detachment Year
119190022	CFD 2016-3 Zone 2	FY 2017
119190025		
119190029		
115060044	CFD 2016-3 Zone 3	FY 2017
115060046		
115060047		
115060048		
115210025	CFD 2016-3 Zone 4	FY 2017
116320002	CFD 2016-3 Zone 6	FY 2018
116320003		
116320015		
116320016		
116320017		
116320028		
120040005	CFD 2017-2	FY 2018
120040049		
113140009	CFD 2016-3 Zone 8	FY 2019
111053006	CFD 2016-3 Zone 9	FY 2019
114691006	CFD 2016-3 Zone 10	FY 2019
116320008	CFD 2016-3 Zone 12	FY 2019
118140068	CFD 2016-3 Zone 13	FY 2019
118210019		
119210026		
116310071	CFD 2016-3 Zone 14	FY 2020
116320031		
116320032		
113420009	CFD 2016-3 Zone 15	FY 2020
118130033	CFD 2016-3 Zone 16	FY 2020
118130034		
117270021	CFD 2016-3 Zone 18	FY 2021
117270038		
115100046	CFD 2016-3 Zone 19	FY 2021
115415001		
115415002		
115090008	CFD 2016-3 Zone 21	FY 2021
122061006	CFD 2016-3 Zone 22	FY 2021



Staff Report

---

**File #:** 21-0647

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Public Hearing confirming the diagram and assessment for Lighting Maintenance District No. 2003-1 for Fiscal Year 2022.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution is the last step of the annual proceedings for the levy and collection of the special assessment for Lighting Maintenance District No. 2003-1 for Fiscal Year 2022. The City Council will conduct a public hearing to afford all interested parties an opportunity to make verbal or written comments on the proposed annual assessment.

At the conclusion of the hearing, it is recommended that the City Council adopt the said resolution confirming the diagram and assessments for the District for Fiscal Year 2022, which will constitute the levy of the assessment for the maintenance and servicing of public lighting facilities within the District, in accordance with the Streets and Highways Code.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-060, confirming the diagram and assessment for Lighting Maintenance District No. 2003-1 for Fiscal Year 2022.

**BACKGROUND & HISTORY:**

Lighting Maintenance District No. 2003-1 ("LMD 2003-1" or "District") was established in accordance with the provisions of the Landscaping and Lighting Act of 1972 (the "1972 Act") in 2003. The purpose of the District is to provide lighting, maintenance and operating services for the streetlights, traffic signals, and related appurtenances within the District's boundaries.

**ANALYSIS:**

The State of California Street and Highways Code Section 22500 requires an annual review of the assessments levied by the assessment districts formed under the 1972 Act. In order to levy and



collect special assessments within such districts, Engineer's Reports must be prepared, which provide details on the improvements that are maintained and the estimated budgets for each district.

On May 5, 2021, the City Council adopted Resolution No. 2021-024, to initiate the proceedings to levy and collect assessments for the District for Fiscal Year 2022, appointed Spicer Consulting Group, LLC as the engineer of record, and ordered the preparation of an Engineer's Report for the District.

On June 2, 2021, the City Council adopted Resolution No. 2021-039, to declare the City's intention to levy and collect assessments within the District for Fiscal Year 2022, approve the preliminary Engineer's Report (the "Preliminary Report"), and provide a notice of public hearing consider the proposed assessments. A notice of public hearing was published in the local newspaper on June 9, 2021.

Attached is the final Engineer's Report (the "Report") for the District, which is consistent with the Preliminary Report. The Report includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the boundaries of the District. The Report also provides an analysis of the District's financial status.

#### **FINANCIAL IMPACT:**

The cost of construction, installation, operation, servicing, and maintenance of the District will be funded by the assessments levied and collected within the District. For Fiscal Year 2022, it is projected that the current year assessment revenue will be sufficient to cover the operating costs during the same fiscal period.

The proposed levy for Fiscal Year 2022 is the same as the Fiscal Year 2021 levy, which will result in no increase to the parcels in the District. Based on the Fiscal Year 2022 activity analysis, the District will utilize the capital reserves to maintain the current levy amount. Staff will continue to analyze the District's financials annually to determine future funding options to maintain operations.

Below is an overview of the District's estimated assessment revenues and proposed expenditures for Fiscal Year 2022. Detailed information can be found in the attached Report.

	Estimated	Estimated	General Benefi	Estimated	Actual
District	Costs	Assessment Revenue	Contribution <sup>(1)</sup>	Excess/(Deficit)	Assessment YOY % Change
LMD 2003-1	\$ 141,988	\$ 130,673	\$ 12,285	\$ 970	0.00%

*1) Benefit received by non-residents of the District for the major/arterial streetlights, traffic signals, traffic control devices and landscape improvements. This amount is contributed by the City's General Fund.*

#### **ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is

covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely declares the City's intent to levy and collect assessments within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - FY 2022 LMD 2003-1 Engineer's Report
2. Exhibit 2 - Resolution No. 2021-060

# CITY OF CORONA

Lighting Maintenance District No. 2003-1



FISCAL YEAR 2022

FINAL ENGINEERS REPORT



SPICER CONSULTING  
GROUP

# Table of Contents

---

## **Sections**

i. Introduction	i
1. Plans and Specifications	1
2. Cost Estimate	2
3. Method of Apportionment of Assessment	3
4. Engineer's Signature	8
5. Assessment Roll	9
6. Assessment Diagram	10

## **Tables**

Table 2-1 Fiscal Year 2022 Cost Estimate	2
Table 3-1 Assessments by Zone	7

## **Appendices**

Appendix A – Assessment Roll
Appendix B – Assessment Diagram
Appendix C – Capital Improvement Projects

AGENCY: CITY OF CORONA  
PROJECT: LIGHTING MAINTENANCE DISTRICT NO. 2003-1  
TO: CITY COUNCIL  
CITY OF CORONA  
STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Corona (the "City"), State of California, submitted herewith is the Engineer's Report for Lighting Maintenance District No. 2003-1 (the "Report"), consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972" (the "Act"), as amended, commencing with Section 22500, and which is in accordance with Resolution No. 2021-024 adopted by the City of Corona City Council, Riverside County, California ordering preparation of the Report for Lighting Maintenance District No. 2003-1 ("LMD No. 2003-1" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2021 to June 30, 2022.

- Section 1** PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing improvements, and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2** A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3** A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4** An ENGINEER'S SIGNATURE certifying the filing of the Engineer's Report, together with the Assessment Roll and Assessment Diagram.
- Section 5** An ASSESSMENT ROLL showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram.
- Section 6** The ASSESSMENT DIAGRAM of the District. Said Diagram shall show the exterior boundaries of the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

## Description of Improvements and Services

Generally, the work to be performed consists of the energy and maintenance costs of the 125 streetlights, 59 safety lights, and 13 traffic signals. The City owns and maintains eight traffic signals; three are California Department of Transportation (Caltrans) owned and jointly maintained and two are jointly owned with Riverside County, all within the City and within the boundaries of LMD No. 2003-1.

The existing and proposed streetlight improvements within the District as shown in the City's Streetlight Atlas are or will be owned by the City. The Streetlight Atlas is on file in the office of the City Engineer and is made part of this report to the same extent as if attached hereto.

The existing and proposed traffic signals within the District are or will be owned in the future by the City. The locations of the traffic signals are shown on the Atlas Map on file in the Traffic Division of the office of the City Engineer and are made a part of this report to the same extent as if attached hereto.

Annual costs this year provide for:

- ◆ Energy costs for street lighting and traffic signals;
- ◆ Maintenance costs for street lighting and traffic signals, including staff, inventory, utility markings, maintenance, servicing and repair of all equipment, tools and vehicles, and personnel training;
- ◆ Equipment and trucks may also be required to maintain this District area. As the District grows, it will be necessary to increase manpower to provide adequate maintenance;
- ◆ Reconstruction and repair contracts, including defective service pedestals, vandalism, and circuitry repair;
- ◆ Engineering and administration (incidental costs), including engineering, noticing, legal expenses, finance department expenses for the processing of revenues and electrical billings, and expenses for the maintenance of atlas maps, monitoring of facilities, and the investigation and implementation of cost savings programs; and
- ◆ Future capital improvements. (Refer to CIP Program and Appendix C)

The class, type, and number of streetlights and traffic lights by Benefit Zone are as follows:

Benefit Zone 1	24	Local Lighting
Benefit Zone 2	101	Major or Arterial Streetlights
Benefit Zone 3	13	Traffic Signals and 59 Safety Lights

Table 2-1  
Fiscal Year 2022 Cost Estimate

	Estimated through June 30			
	Zone 1 Local Lighting	Zone 2 Major Arterial Lighting	Zone 3 Traffic Lighting	Total
<b>Direct Costs</b>				
Streetlight and Energy Maintenance	\$3,120	\$18,000	\$0	\$21,120
Traffic Light and Energy Maintenance	\$0	\$0	\$100,918	\$100,918
<b>Total Direct Costs</b>	<b>\$3,120</b>	<b>\$18,000</b>	<b>\$100,918</b>	<b>\$122,038</b>
<b>Indirect Costs</b>				
City Personnel/Overhead	\$67	\$388	\$14,795	\$15,250
County of Riverside Administrative Fees	\$52	\$298	\$350	\$700
Engineering Costs	\$295	\$1,705	\$2,000	\$4,000
<b>Total Indirect Costs</b>	<b>\$414</b>	<b>\$2,391</b>	<b>\$17,145</b>	<b>\$19,950</b>
<b>Total Costs</b>	<b>\$3,534</b>	<b>\$20,391</b>	<b>\$118,063</b>	<b>\$141,988</b>
<b>Collections / Contributions</b>				
Operating Reserve	\$0	\$0	\$0	\$0
Capital Replacement	(\$298)	(\$2,034)	\$3,302	\$970
General Benefit	\$0	(\$479)	(\$11,806)	(\$12,285)
City Contribution	\$0	\$0	\$0	\$0
Rounding	\$0	\$0	\$0	\$0
<b>Total Adjustments</b>	<b>(\$298)</b>	<b>(\$2,513)</b>	<b>(\$8,504)</b>	<b>(\$11,315)</b>
<b>Total Assessment</b>	<b>\$3,236</b>	<b>\$17,878</b>	<b>\$109,559</b>	<b>\$130,673</b>
<b>Reserve Fund Balance</b>				
Beginning Operating Reserve	\$1,767	\$10,195	\$63,032	\$74,994
Reserve Collection	\$0	\$0	\$0	\$0
Reserve Contribution	\$0	\$0	\$0	\$0
<b>Estimated Ending Operating Reserve<sup>1</sup></b>	<b>\$1,767</b>	<b>\$10,195</b>	<b>\$63,032</b>	<b>\$74,994</b>
Beginning Capital Replacement Reserve	\$44,676	\$94,322	\$313,928	\$452,926
Reserve Collection	\$0	\$0	\$3,302	\$3,302
Reserve Contribution	(\$298)	(\$2,034)	\$0	(\$2,332)
<b>Estimated Ending Capital Replacement Reserve<sup>2</sup></b>	<b>\$44,378</b>	<b>\$92,288</b>	<b>\$317,230</b>	<b>\$453,896</b>

<sup>1</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>2</sup> The Capital Replacement Reserve Fund is used for capital improvement projects. See Appendix C for all current projects.

California law, including Article XIII D of the Constitution of the State of California and the Proposition 218 Omnibus Implementation Act (Government Code Section 53750 and following) (the "Omnibus Act"), provide that special assessments, as levied pursuant to the "Landscaping and Lighting Act of 1972," must be based solely on the special benefit properties receive from the work of improvement. The Act does not specify the method or formula that should be used to apportion the assessment in any special assessment district proceedings. The Corona City Council has retained the firm of Spicer Consulting Group, LLC. for the purpose of assisting them in making an analysis of the facts in the District and recommending to the Corona City Council the correct apportionment of the assessment obligation.

In performing the analysis, it was necessary to identify the benefits that the improvements being financed by the District have or will render to the properties within the boundaries of the District and to determine the extent to which such properties receive a direct and special benefit as distinguished from benefits received by the general public.

### Proposition 218 Compliance

On November 5, 1996 California voters approved Proposition 218 entitled the "Right to Vote on Taxes Act" which added Article XIII D to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new procedural requirements for the formation and administration of assessment districts. The costs of the proposed improvements have been identified and allocated to properties within the District based on special benefit. The improvements provided by this District and for which properties are assessed are public street lighting improvements. These improvements generally were installed in connection with the development of the properties within the District and were required by the City as a condition of development.

Article XIII D Section 2(d) defines "District" as follows:

"District means an area determined by an agency to contain all parcels which will receive a special benefit from a proposed public improvement or property-related service;"

Article XIII D Section 2(i) defines "Special Benefit" as follows:

"Special benefit" means a particular and distinct benefit over and above general benefits conferred on real property located in the district or to the public at large. General enhancement of property value does not constitute 'special benefit'."

Article XIII D Section 4(a) defines "proportional special benefit assessments" as follows:

"An agency which proposes to levy an assessment shall identify all parcels which will have a special benefit conferred upon them and upon which an assessment will be imposed. The proportionate special benefit derived by each identified parcel shall be determined in relationship to the entirety of the capital cost of a public improvement, the maintenance and operation expenses of a public improvement, or the cost of the property related service being provided. No assessment shall be imposed on any parcel which exceeds the reasonable cost of the proportional special benefit conferred on that parcel."

### Distinguishing General and Special Benefit

Proposition 218 added a set of procedures and requirements which a local government must follow to levy an assessment. In addition to notice, hearing and assessment ballot proceedings, Proposition 218 provides that "only special benefits are assessable" and requires a local government to "separate the general benefits from the special benefits conferred on a parcel."

By its nature, most every public improvement financed through an assessment district contains an element of public benefit. The test is: does there exist, with relation to the improvement, a special benefit to the property assessed? The law requires that the portion of the cost of the improvement which benefits the public generally be separated from that portion of the cost of the improvement which specially benefits assessed properties. Proposition 218 provides the previous definition of "special benefit".



## General Benefit

The street lighting and traffic signal improvements within LMD No. 2003-1 have been or will be installed as conditions of approval for the proposed projects within the District. If these improvements were not installed, the subject projects would not be allowed to be developed.

Approximately 5% of the street lights funded by the District are located at the perimeter/entryway of the District. The street lights located at the perimeter/entryways, in contrast to the remainder of the lights funded by the District, arguably provide some illumination that extends beyond the boundaries of the District that enhances the safety of members of the public unassociated with the assessed parcels, that illuminates traffic or parking on major thoroughfares, or that otherwise provides services to the general public. Although, in general, these street lights exist solely because of the development of assessed parcels, and although the primary purpose of these lights is to provide illumination for assessed parcels, they may provide some level of general benefit in addition to the special benefits provided to the assessed parcels. We estimate that this general benefit constitutes not more than 25% of the total benefit from perimeter/entryway lights. As 25% of the benefit from 5% of the lights constitutes not more than 2% of the total benefit from all improvements operated and maintained by the District, we determine that the total general benefit from operation and maintenance activities will not exceed 2% of operations and maintenance costs.

The traffic signals located throughout the District provide for safety and increases efficiency for the circulation of traffic. The general benefit provided by these traffic signals is equal to the proportionate share of the total average daily trips that do not originate or depart from the areas within the District. Temescal Canyon Road is a major arterial roadway that runs in the north/south direction and is located on the southeast side of the City limits within LMD No. 2003-1. There were several types of reports that were analyzed along the specified roadway. Reports that included the Average Daily Traffic (ADT) as well as the turning movement counts were collected. It was determined from these reports that the ADT for Temescal Canyon Road is 14,632 vehicles per day.

The Crossings Shopping Center (located at Northwest corner of Cajalco Road and Temescal Canyon Road) generates a large amount of daily trips to its location. With movie theaters, shops, and dining, the Crossings Shopping Center is a destination for large quantities of vehicles. Reports including the ADT and turning movement counts were also reviewed at the intersection of Dos Lagos Road and Temescal Canyon Road. Dos Lagos Road is a minor arterial roadway. The number of vehicles detected in these reports that travel northbound were all assumed to travel to the Crossings Shopping Center located off of Cajalco Road, which is a major arterial roadway.

Based on the volume of vehicles entering the road on the south and then exiting on the north, along with all the turning movements within the community, it was determined that 1,465 vehicles travel on Temescal Canyon Road for "cut-through" purposes on a daily basis. This value was used to determine the percentage of vehicles that "cut-through" by dividing it into the total ADT. From this calculation, it was concluded that 90% of vehicles on Temescal Canyon Road travel to the Crossings Shopping Center. Therefore, only 10% of vehicles are utilizing Temescal Canyon Road as a "cut-through."

The "cut-through" traffic itself only occurs in the AM hours of the weekdays. During the PM hours as well as the weekends, no "cut-through" traffic occurs. The increase in volume of vehicles during these times is an increase in trips traveling to the Crossings Shopping Center. It is typical to have more vehicles travel to a shopping center during PM hours and on weekends because that is when most drivers are off of work and have more availability.

To conclude, multiple ADT and turning movement count reports were analyzed at different intersections located along Temescal Canyon Road. From these reports, raw data was collected and used for calculations. The calculations determined that 90% of vehicles traveling on Temescal Canyon Road are traveling to the Crossings Shopping Center and only 10% of the total Temescal Canyon Road traffic is for "cut-through" purposes. Therefore, we estimate that this general benefit constitutes not more than 10% of the total benefit from traffic signals. We determined that the total general benefit from operation and maintenance activities will not exceed 10% of operations and maintenance costs.

## Direct and Special Benefits

Three benefit zones have been established for LMD No. 2003-1. The methods of apportionment, by benefit zone, are as follows:

**Benefit Zone 1** consists of all parcels that have street lighting on the street fronting their lots or parcels. The streetlights include not only local streets but could also include collector and major arterials. The same streetlight can provide a dual benefit to the property owner by being both a collector and arterial streetlight. This local lighting is of a direct and special benefit to abutting parcels only as it provides increased property protection, personal safety, visibility, traffic safety, and enhances those areas fronting upon the illuminated street. City standards require street lights to be spaced at intervals based on lumen intensity so all properties receive equal coverage. This results in a special benefit received by each parcel in Benefit Zone 1.

Benefit units were assigned to parcels with local lighting upon property frontage along the illuminated streets as follows:

Parcel Frontage	Benefit Unit
0-75'	1
76-150'	2
151-225'	3
226-300'	4
Over 300'	1 per 75'

The dimension of 75 feet was selected as typical frontage for a normal residential lot, since a vast majority of the residential lots in the City have frontage of less than 75 feet. Larger parcels and lots were assigned additional benefit units in 75-foot increments.

For any future condominiums, apartments and mobile home lots within the District which will be individually owned, the local street frontage along the perimeter of these developments will be divided by the number of units or lots within the respective developments and proportionately assigned to each unit or lot.

Isolated parcels within Benefit Zone 1 which do not have streetlights upon their frontage were not assigned Benefit Zone 1 benefit units.

**Benefit Zone 2** consists of all the parcels within LMD No. 2003-1, including the area encompassed by Benefit Zone 1. Improvements that benefit the District as a whole are the high intensity lighting of major streets. These lights are much brighter than the local streetlights described in Benefit Zone 1 and provide for both traffic and pedestrian safety on those major streets and intersections that carry traffic generated both within and outside the District engaged in commerce, shopping, and recreational trips. The direct and special benefit provided is an image of a progressive and well-lit District area to outsiders that directly enhances property values District-wide.

An equitable measure of benefit common to residential, commercial and industrial areas is parcel size. The relationship between residential parcels and acreage has been established at four residential lots to one acre based on the general density of the City as a whole.

Using this measure, a normal residential lot was assigned one (1) benefit unit with larger parcels being assigned four (4) benefit units per acre as follows:

Parcel Area	Benefit Unit
0-12,000 SF	1
12,001-24,000 SF	2
24,001-36,000 SF	3
36,001 SF – 1 Acre	4
Over 1 Acre	4 per acre

Benefit Zone 2 facilities include, but are not limited to, streetlights located on all or portions of Temescal Canyon Road, Cajalco Road, Weirick Road, and the eastside of Compton Avenue located within the District.

*Benefit Zone 3* consists of all parcels in LMD No. 2003-1. Traffic signals benefit the entire District by allocating time among conflicting movement seeking use of the same physical space. These signals provide for both traffic and pedestrian safety on the major intersections that carry traffic, generated both within and outside the District. The direct and special benefit they provide is an orderly traffic flow that assures safety and movement throughout the District

Traffic generation values can be established based on a parcel's land use and area. Benefit Zone 3 benefit units are determined by multiplying a parcel's Benefit Zone 2 benefit units by a traffic generation factor for certain land use as follows, excepting any developed single-family residential parcel regardless of size which will be assessed a traffic generation factor of one.

Land Use	Traffic Factor
Developed Single-Family Residential Parcel	1
Developed Multi-Family Parcel	2
Developed Commercial/Industrial Parcel	3

**Whereas**, on May 5<sup>th</sup>, 2021, the City Council under the Act, adopted its Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report for LMD No. 2003-1;

**Whereas**, the Resolution of Initiation directed Spicer Consulting Group, LLC to prepare and file a report presenting plans and specifications describing the general nature, location, and extent of improvements to be maintained, an estimate of the costs of the maintenance, operations and servicing of the improvements for LMD No. 2003-1 for the referenced Fiscal Year, a diagram for LMD No. 2003-1 showing the area and properties to be assessed, and an assessment of the estimated costs of the maintenance, operations and servicing of the improvements, assessing the net amount upon all assessable lots and/or parcels within LMD No. 2003-1 in proportion to the special benefit received;

**Now Therefore**, the assessments are made to cover the portion of the estimated costs of maintenance, operation and servicing of said improvements to be paid by the assessable real property within LMD No. 2003-1 in proportion to the special benefit received.

**Table 3-1**  
**Assessments by Zone**

The approximate dollar per benefit unit value, by zone, for Fiscal Year 2022, is as follows:

Benefit Zone	Actual Assessment <sup>1</sup>	Benefit Units	Per Benefit Unit (BU)		% of Max
			Max Assessment	Actual Assessment	
1	\$3,236	225.65	\$114.62	\$14.34	13%
2	\$17,878	1,897.84	\$30.67	\$9.42	31%
3	\$109,559	3,715.12	\$56.51	\$29.49	52%

For the specific assessment on each parcel, reference is made to the Assessment Roll beginning at the end of this Section.

To ensure that the District will be able to pay for the costs of the operation, maintenance, and servicing of the streetlights and traffic signals if an increase occurs, there is a maximum rate of assessment for each Benefit Zone which increase annually by the percentage increase in the Consumer Price Index (All Items) for Riverside-San Bernardino-Ontario California Standard Metropolitan Statistical area since the beginning of the preceding Fiscal Year, or by two percent (2.00%), whichever is greater, on July 1, 2004 for Fiscal Year 2005 and on each subsequent July 1 for the Fiscal Year then commencing. The percentage increase in the Consumer Price Index is three and fifty-six hundredths percent (3.56%). Therefore, the maximum rates of assessment per Benefit Zone will increase by 3.56% for FY 2022. The Bureau of Labor Statistics of the United States Department of Labor has discontinued the Los Angeles-Riverside-Orange County, CA Index.

### Public Lands

Article XIII D mandates that "parcels within a district that are owned or used by any agency, the State of California, or the United States shall not be exempt from assessment unless the agency can demonstrate by clear and convincing evidence that those publicly owned parcels in fact receive no special benefit." LMD No. 2003-1 includes one public owned parcel, Assessor's Parcel Number 279-470-022-9, that is approximately 10.41 gross acres and is owned by the City of Corona. This parcel is to be used as a wastewater treatment plant. The function and use of this public property is not enhanced by the streetlights and traffic signals. Therefore, this parcel is deemed not to benefit, thus receiving a zero assessment.

### Annexations

Since the District's formation in 2003, five developments have been annexed into LMD No. 2003-1.

<sup>1</sup> Actual levy may differ due to rounding.

Executed this 7th day of July 2021.



A handwritten signature in blue ink, appearing to read "Francisco Martinez Jr.", written over a horizontal line.

FRANCISCO MARTINEZ JR  
PROFESSIONAL CIVIL ENGINEER NO. 84640  
ENGINEER OF WORK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, by adoption of Resolution No. 2021-\_\_\_\_ by City Council.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Reports, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Corona, California on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the City Council.

The District boundary coincides with the boundary of the parcels included within the District as of the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

Reference is made to the County Assessor's Roll and Maps for a detailed description of the lines and dimensions of any lot or parcel. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

An Assessment Diagram is attached hereto in Appendix B, showing the boundaries of LMD No. 2003-1 as the same existed at the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

# APPENDIX A

## Assessment Roll



SPIKER CONSULTING  
G R O U P



**Assessment Roll**  
68-2271 - LMD 2003-1  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
277020019	\$97.88	278231028	\$101.46	279140015	\$1,071.50
277020020	\$783.12	278231029	\$101.46	279140016	\$155.42
277020021	\$97.88	278231030	\$101.46	279140017	\$231.78
277020022	\$644.70	278231031	\$101.46	279231020	\$434.58
277020023	\$644.70	278231032	\$101.46	279231022	\$2,573.82
277020024	\$322.34	278231033	\$101.46	279231023	\$3,063.26
277020025	\$336.68	278231034	\$101.46	279231024	\$4,128.20
277020026	\$293.66	278231035	\$101.46	279231025	\$5,248.02
277221001	\$97.88	278231036	\$101.46	279231026	\$4,410.02
277221002	\$97.88	278231037	\$101.46	279231027	\$2,982.20
277221003	\$293.66	278231038	\$101.46	279231028	\$587.34
277221004	\$97.88	278231039	\$101.46	279231029	\$995.72
277221005	\$97.88	278231040	\$101.46	279231030	\$756.92
277221006	\$391.56	278231041	\$101.46	279231031	\$587.34
277221007	\$195.78	278231042	\$101.46	279231032	\$391.56
278060033	\$434.58	278231043	\$101.46	279231033	\$489.44
278060034	\$224.46	278231044	\$101.46	279231034	\$489.44
278060035	\$1,177.16	278231045	\$101.46	279231035	\$489.44
278230071	\$1,162.82	278231046	\$101.46	279231036	\$685.22
278231001	\$101.46	278231047	\$101.46	279231037	\$840.48
278231002	\$101.46	278231048	\$101.46	279231038	\$4,689.36
278231006	\$101.46	278231049	\$101.46	279231039	\$978.90
278231007	\$101.46	278231050	\$101.46	279231040	\$489.44
278231008	\$101.46	278231051	\$101.46	279231041	\$489.44
278231009	\$101.46	278231054	\$101.46	279231042	\$685.22
278231010	\$101.46	279121004	\$142.14	279231043	\$685.22
278231011	\$101.46	279121006	\$9.42	279231044	\$1,069.50
278231012	\$101.46	279122001	\$56.52	279231045	\$2,029.50
278231013	\$101.46	279122002	\$56.52	279231046	\$2,394.86
278231014	\$101.46	279122003	\$217.50	279450012	\$1,076.78
278231015	\$101.46	279122004	\$56.52	279450025	\$978.90
278231016	\$101.46	279123001	\$37.68	279450028	\$10,278.44
278231017	\$101.46	279123002	\$37.68	279450029	\$97.88
278231018	\$101.46	279123003	\$37.68	279450033	\$1,566.24
278231019	\$101.46	279125004	\$9.42	279450034	\$5,090.28
278231020	\$101.46	279134001	\$9.42	279450035	\$195.78
278231021	\$101.46	279134002	\$9.42	279450036	\$620.56
278231022	\$101.46	279134003	\$9.42	279450038	\$600.98
278231023	\$101.46	279134004	\$18.84	279460024	\$195.78
278231024	\$101.46	279140011	\$2,843.78	279460025	\$1,174.68
278231025	\$101.46	279140012	\$391.56	279460026	\$195.78
278231026	\$101.46	279140013	\$426.42	279460027	\$195.78
278231027	\$101.46	279140014	\$495.18	279460031	\$195.78
279460033	\$1,174.68	279481027	\$38.90	279481075	\$38.90
279460041	\$195.78	279481028	\$38.90	279481076	\$38.90
279460047	\$293.66	279481030	\$38.90	279481077	\$38.90

**Assessment Roll**  
68-2271 - LMD 2003-1  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
279460048	\$587.34	279481031	\$38.90	279481078	\$38.90
279460051	\$1,174.68	279481032	\$38.90	279481079	\$38.90
279460054	\$391.56	279481033	\$38.90	279481080	\$38.90
279460055	\$293.66	279481034	\$38.90	279481081	\$38.90
279460056	\$293.66	279481035	\$38.90	279482001	\$38.90
279460058	\$6,950.18	279481036	\$38.90	279482002	\$38.90
279460063	\$978.90	279481037	\$38.90	279482003	\$38.90
279460064	\$2,153.58	279481039	\$38.90	279482004	\$38.90
279460074	\$881.00	279481040	\$38.90	279482005	\$38.90
279460076	\$2,055.68	279481041	\$38.90	279482006	\$38.90
279470009	\$1,468.34	279481042	\$38.90	279482007	\$38.90
279470025	\$908.40	279481043	\$38.90	279482008	\$38.90
279470026	\$501.18	279481044	\$38.90	279482009	\$38.90
279470027	\$97.88	279481045	\$38.90	279482011	\$38.90
279470028	\$7,345.66	279481046	\$38.90	279482012	\$38.90
279470029	\$195.78	279481048	\$38.90	279482013	\$38.90
279481001	\$38.90	279481049	\$38.90	279482014	\$38.90
279481002	\$38.90	279481050	\$38.90	279482015	\$38.90
279481003	\$38.90	279481051	\$38.90	279482016	\$38.90
279481004	\$38.90	279481052	\$38.90	279482017	\$38.90
279481005	\$38.90	279481053	\$38.90	279482018	\$38.90
279481006	\$38.90	279481054	\$38.90	279482019	\$38.90
279481007	\$38.90	279481055	\$38.90	279482021	\$38.90
279481008	\$38.90	279481057	\$38.90	279482022	\$38.90
279481010	\$38.90	279481058	\$38.90	279482023	\$38.90
279481011	\$38.90	279481059	\$38.90	279482024	\$38.90
279481012	\$38.90	279481060	\$38.90	279482025	\$38.90
279481013	\$38.90	279481061	\$38.90	279482026	\$38.90
279481014	\$38.90	279481062	\$38.90	279482028	\$38.90
279481015	\$38.90	279481063	\$38.90	279482029	\$38.90
279481017	\$38.90	279481064	\$38.90	279482030	\$38.90
279481018	\$38.90	279481066	\$38.90	279482031	\$38.90
279481019	\$38.90	279481067	\$38.90	279482032	\$38.90
279481020	\$38.90	279481068	\$38.90	279482033	\$38.90
279481021	\$38.90	279481069	\$38.90	279482034	\$38.90
279481022	\$38.90	279481070	\$38.90	279482036	\$38.90
279481023	\$38.90	279481071	\$38.90	279482037	\$38.90
279481024	\$38.90	279481072	\$38.90	279482038	\$38.90
279481025	\$38.90	279481073	\$38.90	279482039	\$38.90
279481026	\$38.90	279481074	\$38.90	279482040	\$38.90
279482041	\$38.90	279483007	\$38.90	279483055	\$38.90
279482042	\$38.90	279483008	\$38.90	279483056	\$38.90
279482043	\$38.90	279483010	\$38.90	279483057	\$38.90
279482044	\$38.90	279483011	\$38.90	279483059	\$29.48
279482045	\$38.90	279483012	\$38.90	279483060	\$38.90
279482046	\$38.90	279483013	\$38.90	279483061	\$38.90

**Assessment Roll**  
68-2271 - LMD 2003-1  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
279482047	\$38.90	279483014	\$38.90	279483062	\$38.90
279482048	\$38.90	279483015	\$38.90	279483063	\$38.90
279482049	\$38.90	279483016	\$38.90	279483064	\$38.90
279482050	\$38.90	279483017	\$38.90	279483065	\$38.90
279482052	\$38.90	279483019	\$38.90	279483066	\$38.90
279482053	\$38.90	279483020	\$38.90	279483067	\$38.90
279482054	\$38.90	279483021	\$38.90	279483068	\$38.90
279482055	\$38.90	279483022	\$38.90	279483069	\$38.90
279482056	\$38.90	279483023	\$38.90	279483070	\$38.90
279482057	\$38.90	279483024	\$38.90	279483072	\$38.90
279482058	\$38.90	279483025	\$38.90	279483073	\$38.90
279482059	\$38.90	279483026	\$38.90	279483074	\$38.90
279482061	\$38.90	279483028	\$38.90	279483075	\$38.90
279482062	\$38.90	279483029	\$38.90	279483076	\$38.90
279482063	\$38.90	279483030	\$38.90	279483077	\$38.90
279482065	\$38.90	279483031	\$38.90	279483078	\$38.90
279482066	\$38.90	279483032	\$38.90	279483079	\$38.90
279482067	\$38.90	279483033	\$38.90	279483081	\$38.90
279482069	\$38.90	279483034	\$38.90	279483082	\$38.90
279482070	\$38.90	279483035	\$38.90	279483083	\$38.90
279482071	\$38.90	279483037	\$38.90	279483084	\$38.90
279482073	\$38.90	279483038	\$38.90	279483085	\$38.90
279482074	\$38.90	279483039	\$38.90	279483086	\$38.90
279482075	\$38.90	279483040	\$38.90	279483087	\$38.90
279482076	\$38.90	279483041	\$38.90	279483088	\$38.90
279482077	\$38.90	279483042	\$38.90	279484001	\$38.90
279482078	\$38.90	279483043	\$38.90	279484002	\$38.90
279482079	\$38.90	279483044	\$38.90	279484003	\$38.90
279482080	\$38.90	279483046	\$38.90	279484004	\$38.90
279482081	\$38.90	279483047	\$38.90	279484005	\$38.90
279482082	\$38.90	279483048	\$38.90	279484006	\$38.90
279483001	\$38.90	279483049	\$38.90	279484007	\$38.90
279483002	\$38.90	279483050	\$38.90	279484009	\$38.90
279483003	\$38.90	279483051	\$38.90	279484010	\$38.90
279483004	\$38.90	279483052	\$38.90	279484011	\$38.90
279483005	\$38.90	279483053	\$38.90	279484012	\$38.90
279483006	\$38.90	279483054	\$38.90	279484013	\$38.90
279484014	\$38.90	279484061	\$38.90	279485011	\$38.90
279484015	\$38.90	279484062	\$38.90	279485012	\$38.90
279484016	\$38.90	279484063	\$38.90	279485013	\$38.90
279484017	\$38.90	279484064	\$38.90	279485014	\$38.90
279484018	\$38.90	279484065	\$38.90	279485015	\$38.90
279484019	\$38.90	279484066	\$38.90	279485016	\$38.90
279484020	\$38.90	279484067	\$38.90	279485019	\$38.90
279484022	\$38.90	279484068	\$38.90	279485020	\$38.90
279484023	\$38.90	279484069	\$38.90	279485021	\$38.90

**Assessment Roll**  
68-2271 - LMD 2003-1  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
279484024	\$38.90	279484070	\$38.90	279485022	\$38.90
279484025	\$38.90	279484072	\$38.90	279485023	\$38.90
279484026	\$38.90	279484073	\$38.90	279485024	\$38.90
279484027	\$38.90	279484074	\$38.90	279485025	\$38.90
279484028	\$38.90	279484075	\$38.90	279485027	\$38.90
279484029	\$38.90	279484076	\$38.90	279485028	\$38.90
279484030	\$38.90	279484077	\$38.90	279485029	\$38.90
279484031	\$38.90	279484078	\$38.90	279485030	\$38.90
279484032	\$38.90	279484079	\$38.90	279485031	\$38.90
279484034	\$38.90	279484080	\$38.90	279485032	\$38.90
279484035	\$38.90	279484081	\$38.90	279485033	\$38.90
279484036	\$38.90	279484082	\$38.90	279485034	\$38.90
279484037	\$38.90	279484084	\$38.90	279485036	\$38.90
279484038	\$38.90	279484085	\$38.90	279485037	\$38.90
279484039	\$38.90	279484086	\$38.90	279485038	\$38.90
279484040	\$38.90	279484087	\$38.90	279485039	\$38.90
279484041	\$38.90	279484088	\$38.90	279485040	\$38.90
279484042	\$38.90	279484089	\$38.90	279485041	\$38.90
279484043	\$38.90	279484090	\$38.90	279485042	\$38.90
279484044	\$38.90	279484091	\$38.90	279485043	\$38.90
279484045	\$38.90	279484092	\$38.90	279485045	\$29.48
279484047	\$38.90	279484093	\$38.90	279485046	\$38.90
279484048	\$38.90	279484094	\$38.90	279485047	\$38.90
279484049	\$38.90	279484095	\$38.90	279485048	\$38.90
279484050	\$38.90	279485001	\$38.90	279485049	\$38.90
279484051	\$38.90	279485002	\$38.90	279485050	\$38.90
279484052	\$38.90	279485003	\$38.90	279485051	\$38.90
279484053	\$38.90	279485004	\$38.90	279485052	\$38.90
279484054	\$38.90	279485005	\$38.90	279485054	\$38.90
279484055	\$38.90	279485006	\$38.90	279485055	\$38.90
279484056	\$38.90	279485007	\$38.90	279485056	\$38.90
279484057	\$38.90	279485008	\$38.90	279485057	\$38.90
279484059	\$38.90	279485009	\$38.90	279485058	\$38.90
279484060	\$38.90	279485010	\$38.90	279485059	\$38.90
279485060	\$38.90	279510012	\$38.90	279511028	\$38.90
279485061	\$38.90	279510013	\$38.90	279511029	\$38.90
279486001	\$38.90	279510014	\$38.90	279511030	\$38.90
279486002	\$38.90	279510015	\$38.90	279511032	\$38.90
279486003	\$38.90	279510016	\$38.90	279511033	\$38.90
279486004	\$38.90	279510017	\$38.90	279511034	\$38.90
279486005	\$38.90	279510018	\$38.90	279511035	\$38.90
279486006	\$38.90	279510019	\$38.90	279511036	\$38.90
279486007	\$38.90	279510020	\$38.90	279511037	\$38.90
279486008	\$38.90	279510021	\$38.90	279511039	\$38.90
279486009	\$38.90	279510022	\$38.90	279511040	\$38.90
279486010	\$38.90	279510023	\$38.90	279511041	\$38.90

**Assessment Roll**  
68-2271 - LMD 2003-1  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
279486011	\$38.90	279510024	\$38.90	279511042	\$38.90
279486012	\$38.90	279510025	\$38.90	279511043	\$38.90
279500001	\$38.90	279511001	\$38.90	279511044	\$38.90
279500002	\$38.90	279511002	\$38.90	279520001	\$38.90
279500003	\$38.90	279511003	\$38.90	279520002	\$38.90
279500004	\$38.90	279511004	\$38.90	279520003	\$38.90
279500005	\$38.90	279511005	\$38.90	279520004	\$38.90
279500006	\$38.90	279511006	\$38.90	279520005	\$38.90
279500007	\$38.90	279511008	\$38.90	279520006	\$38.90
279500008	\$38.90	279511009	\$38.90	279520007	\$38.90
279500009	\$38.90	279511010	\$38.90	279520008	\$38.90
279500010	\$38.90	279511011	\$38.90	279520009	\$38.90
279500011	\$38.90	279511012	\$38.90	279520010	\$38.90
279500012	\$38.90	279511013	\$38.90	279520011	\$38.90
279500013	\$38.90	279511014	\$38.90	279520012	\$38.90
279500014	\$38.90	279511015	\$38.90	279520013	\$38.90
279510001	\$38.90	279511016	\$38.90	279520014	\$38.90
279510002	\$38.90	279511018	\$38.90	279520015	\$38.90
279510003	\$38.90	279511019	\$38.90	279520016	\$38.90
279510004	\$38.90	279511020	\$38.90	279520017	\$38.90
279510005	\$38.90	279511021	\$38.90	279520018	\$38.90
279510006	\$38.90	279511022	\$38.90	279520019	\$38.90
279510007	\$38.90	279511023	\$38.90	279520020	\$38.90
279510008	\$38.90	279511024	\$38.90	279520021	\$38.90
279510009	\$38.90	279511025	\$38.90	279520022	\$38.90
279510010	\$38.90	279511026	\$38.90	279520023	\$38.90
279510011	\$38.90	279511027	\$38.90		
<b>Totals</b>		<b>Parcels 632</b>		<b>Levy \$130,666.30</b>	

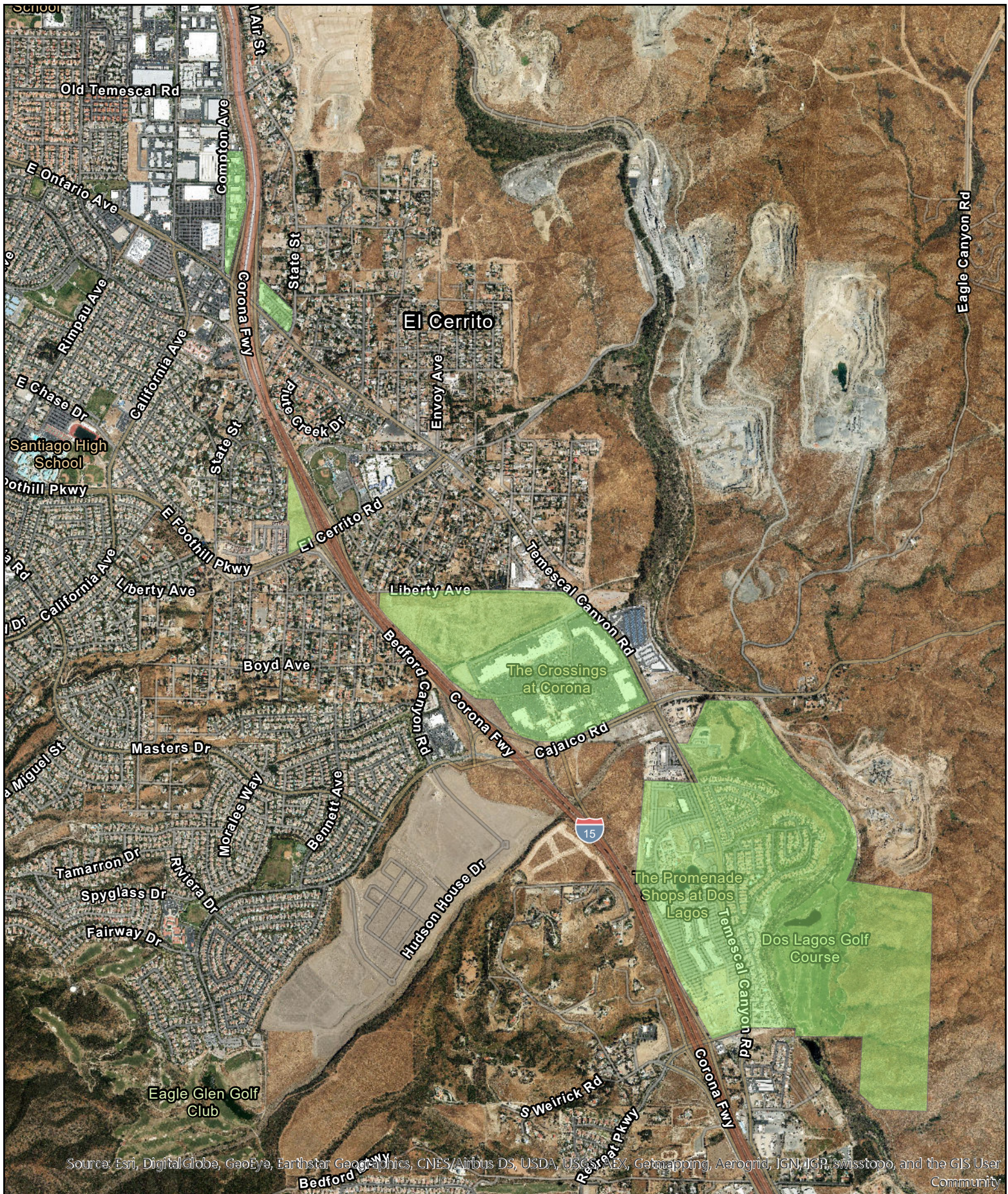
# APPENDIX B

## Assessment Diagram



SPIKER CONSULTING  
G R O U P





## Lighting Maintenance District No. 2003 - 1





# APPENDIX C

## Capital Improvement Projects



SPIKER CONSULTING  
G R O U P



## Capital Project

The six traffic signals along Temescal Canyon in the Dos Lagos area were first activated in 2006. Since that time, several technologies have improved, and the traffic signal infrastructure is beginning to show its age. Additionally, new traffic signals have been constructed along Eagle Glen and Cajalco freeway ramps. Recently, newer camera technology has been deployed at these intersections to facilitate better vehicle detection for traffic signal actuation. Furthermore, High-definition CCTV cameras have been procured for traffic monitoring purposes to replace legacy cameras. These systems have the ability to send live video feeds to City Hall for live monitoring and recording. Due to age and nearby construction, the existing wireless connection to City Hall has failed. As part of a City-Wide Advanced Traffic Management System Phase 3 project, a new communication system is being designed which will include a high speed, high bandwidth fiber optic connection to the Dos-Lagos area. A Capital Improvement Project was appropriated in the amount of \$415,000 in Fiscal Year 2019 for the installation of many traffic signal enhancements with approximately \$171,000 remaining. The purpose of these remaining funds will be used to construct the high speed fiber optic connection that will provide the area with remote traffic signal diagnostics, video monitoring and enable City Traffic Engineering staff to serve the area more efficiently.



SPIKER CONSULTING  
GROUP

## **RESOLUTION NO. 2021-060**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, CONFIRMING THE DIAGRAM AND ASSESSMENT FOR LIGHTING MAINTENANCE DISTRICT NO. 2003-1 FOR FISCAL YEAR 2022**

**WHEREAS**, on June 2, 2021, the City Council of the City of Corona (the “City Council”) adopted Resolution No. 2021-039, a resolution of intention pursuant to Section 22624 of the Streets and Highways Code, which among other things, scheduled a public hearing on the levy and collection of assessments on the lots and parcels of the assessable property within Lighting Maintenance District No. 2003-1 (the “District”) for Fiscal Year 2022 pursuant to the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the Streets and Highways Code (the “Act”) for 6:30 p.m. on July 7, 2021, in the City Council Chambers of the City of Corona, at 400 South Vicentia Avenue, Corona, California; and

**WHEREAS**, notice of said hearing was duly published as required by Sections 22552 and 22553 of said Act; and

**WHEREAS**, at the time and place of said hearing, as set forth in said resolution of intention, the City Council held the hearing and afforded all interested persons an opportunity to be heard, and considered all oral statements and all written protests or communications made or filed by any interested persons, and at the conclusion of said hearing determined that a majority protest, to wit: written protests filed and not withdrawn by property owners owning more than 50 percent of the area of assessable land within the District, had not been received.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Findings and Approval of Final Report.** The City Council find that:

- (a) The foregoing recitals are true and correct;
- (b) Compliance has been maintained with all of the applicable requirements of the Act;
- (c) A majority protest to the levy and collection of the proposed assessment has not been filed;
- (d) The City Council may therefore proceed to confirm the boundary and assessment for the District for Fiscal Year 2022, and order levy and collection of the assessment;
- (e) The assessment proposed to be levied on the lots and parcels of assessable property within the District for the maintenance and servicing of public lighting facilities during Fiscal Year 2022, as contained in the Final Annual Engineer’s Report prepared by Spicer

Consulting Group, LLC on file with the City Clerk (the “Report”), are based on the proportionate special benefit derived by such lots and parcels from the availability of such public lighting facilities;

(f) The proportionate special benefit derived by each such lot or parcel has been determined in relationship to the entirety of the cost of the maintenance and servicing of such public lighting facilities;

(g) Such assessments do not exceed the reasonable cost of the proportional special benefit conferred on each such lot and parcel;

(h) Such assessments will not be increased over the amounts previously approved by the electors of the District or as otherwise permitted by the Act and Article XIID of the California Constitution; and

(i) Based on the foregoing and the full record before the City Council, the Report as whole and each part thereof are finally approved and confirmed.

**SECTION 2. Levy of Assessment.** Pursuant to Section 22631 of the Streets and Highways Code, the adoption of this resolution constitutes the levy of the assessment for the maintenance and servicing of public lighting facilities within the District during Fiscal Year 2022, as contained in the Report, and such assessment is hereby levied. The City Clerk is directed to file a certified copy of this resolution together with the diagram and assessment contained in the Report with the County Auditor of the County of Riverside, who, pursuant to Section 22645 of the Streets and Highways Code, shall enter on the County Assessment Roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the said assessment.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at its regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



Staff Report

---

**File #:** 21-0648

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Public Hearing confirming the diagram and assessment within Zone 6 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution is the last step of the annual proceedings for the levy and collection of special assessment within Zone 6 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022. The City Council will conduct a public hearing to afford all interested parties an opportunity to make verbal or written comments on the proposed annual assessment.

At the conclusion of the hearing, it is recommended that the City Council adopt the said resolution confirming the diagram and assessments for the District for Fiscal Year 2022, which will constitute the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District, in accordance with the Streets and Highways Code.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-061, confirming the diagram and assessment within Zone 6 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**BACKGROUND & HISTORY:**

Zone 6 of Landscape Maintenance District No. 84-2 ("LMD 84-2" or "District") was established in accordance with the provisions of the Landscaping and Lighting Act of 1972 (the "1972 Act") in 1986. The purpose of the District is to provide landscape maintenance and operating services for the public landscaping and appurtenant facilities within the District's boundaries.

The annual assessments proposed to be levied within the District will pay for the maintenance of parks, slopes, parkways, and open spaces during Fiscal Year 2022. Services provided include all necessary operations, administration, capital replacements, and maintenance required to keep the

above-mentioned improvements in a healthy and satisfactory working condition.

**ANALYSIS:**

The State of California Street and Highways Code Section 22500 requires an annual review of the assessments levied by the assessment districts formed under the 1972 Act. In order to levy and collect special assessments within such districts, Engineer's Reports must be prepared, which provide details on the improvements that are maintained and the estimated budgets for each district.

On May 5, 2021, the City Council adopted Resolution No. 2021-025, to initiate the proceedings to levy and collect assessments for the District for Fiscal Year 2022, appointed Spicer Consulting Group, LLC as the engineer of record, and ordered the preparation of an Engineer's Report for the District.

On June 2, 2021, the City Council adopted Resolution No. 2021-040, to declare the City's intention to levy and collect assessments within the District for Fiscal Year 2022, approve the preliminary Engineer's Report (the "Preliminary Report"), and provide a notice of public hearing to consider the proposed assessments. A notice of public hearing was published in the local newspaper on June 9, 2021.

Attached is the final Engineer's Report (the "Report") as it pertains to the District, which is consistent with the Preliminary Report. The Report includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the boundaries of the District. The Report also provides an analysis of the District's financial status.

**FINANCIAL IMPACT:**

The cost of operation, servicing and maintenance of the District will be funded by the assessments levied and collected within the District. For Fiscal Year 2022, it is projected that the current year assessment revenue will be insufficient to cover the operating costs during the same fiscal period, which will be covered by a one-time contribution from the capital reserves.

The proposed levy for Fiscal Year 2022 is the same as the Fiscal Year 2021 levy, which will result in no increase to the parcels in the District. The District was formed with no escalator included in the method of apportionment. Per Proposition 218, which was adopted in 1996, an increase in the assessment rates would require a vote of the property owners. The District has approximately 2,844 property owners. Based on the current fiscal year's estimated operating expenditures and reserve contribution, reserves would be exhausted in about 10 years. Staff will continue to analyze the District's financials annually to determine future funding options to maintain operations.

Below is an overview of the District's estimated assessment revenues and proposed expenditures for Fiscal Year 2022. Detailed information can be found in the attached Report.

	Estimated Costs	Estimated Assessment Revenue	Estimated Excess/(Deficit)	Actual Assessment YOY % Change
District				
LMD 84-2, Zone 6	342,465	315,035	(27,430)	0.00%

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely declares the City's intent to levy and collect assessments within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - FY 2022 LMD 84-2 Engineer's Report, as it pertains to the District.
2. Exhibit 2 - Resolution No. 2021-061



# CITY OF CORONA

Landscaping Maintenance District No. 84-2



FISCAL YEAR 2022

FINAL ENGINEERS REPORT



SPICER CONSULTING  
GROUP

# Table of Contents

---

## **Sections**

i. Introduction	i
1. Plans and Specifications	1
2. Fiscal Year 2022 Cost Estimate	7
3. Method of Apportionment of Assessment	19
4. Engineer's Signature	27
5. Assessment Roll	28
6. Assessment Diagrams	29

## **Tables**

### Budgets

Table 2-1 Benefit Zone 1	7
Table 2-2 Benefit Zone 2	8
Table 2-3 Benefit Zone 4	9
Table 2-4 Benefit Zone 6	10
Table 2-5 Benefit Zone 7	11
Table 2-6 Benefit Zone 10	12
Table 2-7 Benefit Zone 14	13
Table 2-8 Benefit Zone 15	14
Table 2-9 Benefit Zone 17	15
Table 2-10 Benefit Zone 18	16
Table 2-11 Benefit Zone 19	17
Table 2-12 Benefit Zone 20	18
Table 3-1 Annexations	20
Table 4-1 Proposed Assessment Summary	26

## **Appendices**

- Appendix A – Assessment Rolls
- Appendix B – Assessment Diagrams
- Appendix C – Capital Improvement Projects

AGENCY: CITY OF CORONA  
PROJECT: LANDSCAPE MAINTENANCE DISTRICT NO. 84-2  
TO: CITY COUNCIL  
CITY OF CORONA  
STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Corona (the "City"), State of California, submitted herewith is the Engineer's Report (the "Report") for the Landscape Maintenance District No. 84-2, consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972" (the "Act"), as amended, commencing with Section 22500, and which is in accordance with Resolution Nos. 2021-025, 026, and 027 adopted by the City of Corona City Council, Riverside County, California ordering preparation of the Report for Landscape Maintenance District No. 84-2 ("LMD No. 84-2" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2021 to June 30, 2022.

- Section 1** PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing and proposed improvements and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2** A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3** A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4** An ENGINEER'S SIGNATURE certifying the filing of the Engineer's Report, together with the Assessment Roll and Assessment Diagram.
- Section 5** ASSESSMENT ROLLS showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram. The Assessment Rolls can be found in Appendix A.
- Section 6** The ASSESSMENT DIAGRAMS of the District. Said Diagrams shall show the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagrams can be found in Appendix B.

LMD No. 84-2 consists of 12 Benefit Zones that were all formed in 1986. The types of services provided for Zones 1, 2, 4, 6, 7, 10, 14, 15, and 17 through 20 are the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, fitness circuit equipment, pathway lighting, green space and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacements, and maintenance required to keep the above-mentioned improvements in a healthy, vigorous, and satisfactory working condition. The above maintenance and services may be referred to herein as the "Landscape Improvements". Below is a description of each Zone within the boundaries of the District.

#### Description of the Boundaries and Improvement Services of LMD No. 84-2

**Benefit Zone 1** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the west parkway of Lincoln Avenue adjacent to the benefit zone. The improvements were required by the conditions of approval for Tract No. 19288 and Tract No.'s 19288-1 through 19288-5.

**Benefit Zone 2** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the buffer zone along the westerly boundary of the open space designated as Lot "A" within Tract No. 19981 and the Corydon Street parkways. Also to be maintained are the access road and the natural open space of Lot "A." The improvements were required by the condition of approval for Tract No. 19981.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and open space lot (Lot "A"), within Tract No. 20515. The improvements were required by the condition of approval for Tract No. 20515.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and Lot "C" of Tract No. 21354. The improvements were required by the condition of approval for Tract No. 21354.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street, Tract No.'s 27305-1 through 27305-9, and incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 4** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ Parkway irrigation system, trees, and ground cover along Ontario and Fullerton Avenues and Old Temescal Road within the benefit zone. The improvements were required by the condition of approval for Tract No. 19480.
- ◆ Parkway irrigation system, trees, and ground cover adjacent to the following tracts and along Old Temescal Road and Ontario, Fullerton, and Rimpau Avenues. The improvements were required by the condition of approval for Tract No.'s 19690, 19690-1, and 19690-2.
- ◆ Parkway irrigation system, trees, and ground cover along Old Temescal Road and Fullerton and Rimpau Avenues within the benefit zone. The improvements were required by the condition of approval for Tract No. 19688.
- ◆ Parkway irrigation system, trees, ground cover, and sidewalk within the 12-foot parkways adjacent to Tract No. 22961, along Old Temescal Road and Rimpau Avenue. The improvements were required by the condition of approval for Tract No. 22961.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 6** includes all property within Assessment District No. 79-2, located north and south of Route 91 between Cresta Verde and Buchanan Street. The improvements consist of maintaining the following irrigation systems, trees, and ground cover along the following:

- ◆ McKinley Street median between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line (approximately 200 feet north of Mt. Humpries Street).
- ◆ Promenade Avenue median between 2,000 feet west of McKinley Street and 1,300 feet east of McKinley Street.
- ◆ Parkway and streetscape landscaping along McKinley Street, between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line, except on the west side between Sampson Avenue and Magnolia Avenue.
- ◆ Parkway and streetscape landscaping along Promenade Avenue between the Riverside Freeway and Buchanan Street.
- ◆ Parkway and streetscape landscaping along portions of Buchanan Street adjacent to the area known as Westfield Corona and from Wimbledon Drive to the north boundary of said area.

- ◆ Parkway and streetscape landscaping along the north side of Wimbledon Drive from Buchanan Street to Surry Circle; north side of Dartmouth Street from Buchanan Street to Chelsea Way; both sides of Eaton Street between Coventry Way and Astoria; and both sides of Brittany Drive between Newcastle and Promenade Avenue.
- ◆ Parkway and adjacent slope irrigation, trees, and ground cover along the east side of Mondale Street, between Kennedy Drive and Promenade Avenue; open space Lots 79 and 80 of Tract No. 21213; and the slopes adjacent to the Riverside Freeway. The improvements were required by the conditions of approval for Tract No. 21213.
- ◆ Parkway irrigation, trees, and ground cover along the north side of Cresta Road between Harding Road and Promenade Avenue and the southwest side of Collett Avenue between Coolidge Street and Promenade Avenue as were required by the conditions of approval for Tract No. 19191.
- ◆ Parkway irrigation, trees, and ground cover along the west side of Collett Avenue between Promenade Avenue, and 400 feet southwest of Cresta Road as were required by the conditions of approval for Tract No. 19666.
- ◆ Parkway irrigation and ground cover along the northeast side of Cresta Avenue, along Lots 31 through 34 of Tract No. 19191-2.
- ◆ Natural conditions within open space Lots 69, 83, 84, and 126 of Tract No. 20775.
- ◆ The irrigation system and landscape improvements within Lots D and E of Tract No. 23454 and Lots C, D, and E of Parcel Map No. 23376.
- ◆ The irrigation system and landscaping within the parkway along the northwesterly side of Buchanan Street from the south side of Dartmouth Street to the north side of Wimbledon Drive. The improvements were required by the condition of approval for Tract No. 24129 and Parcel Map No. 24041.
- ◆ The irrigation system and landscaping within the median and parkway along McKinley Street and adjacent to Assessor Parcel Numbers 172-420-002 and 172-420-003. The improvements were required by the condition of approval for Assessor Parcel Numbers 172-420-002 and 172-420-003.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 29876.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.
- ◆ The improvements are required as set forth by Specific Plan "SP 81-2" and were constructed both under Assessment District No. 79-2, City of Corona, State of California and as conditions of approval for various developments.

*Benefit Zone 7* improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover constructed as part of the detention basin within Lot 142 of Tract No. 20966; and the parkway and slope landscaping along Ontario Avenue. The improvements were required by the condition of approval for Tract No.'s 20818, 21720, and 20966.
- ◆ The irrigation system, trees, and ground cover as part of the detention basin within Lot 1 of Tract No. 19159-1.
- ◆ The irrigation system and landscape improvements within the common lots adjacent to Ontario Avenue and within Tract No.'s 21203 and 21720.
- ◆ Decorative block wall and landscaping in the ten-foot wide landscaping lot along Via Pacifica.
- ◆ Landscape pockets and landscaping within the decorative wall along Citron Street, between Via Pacifica and the Oak Street Channel.
- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 22535 and along Ontario Avenue, and slope easements located within Lots 1, 27, and 28 of Tract No. 22535.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

*Benefit Zone 10* includes two distinct areas that are within Specific Plan "SP 85-2", as approved by the Corona City Council on September 18, 1985. The improvements to be maintained consist of the following:

- ◆ Parkway irrigation system, trees, and ground cover along both sides of Green River Drive, Ridgeline Drive, Serfas Club Drive, Paseo Grande, Montana Ranch Road, and Palisades Drive. Also to be maintained are the lots designated for open space and



the fuel modification zone, including erosion control, plant replacement, and landscaping debris cleanup. The improvements were required by the condition of approval for Tract No. 20872.

- ◆ The irrigation system, trees, and ground cover within the common area designated as Lot No. 17, Tract No. 12166. The improvements were required by the condition of approval for Tract No. 12166.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 14** improvements were a condition of approval for Tract No.'s 20796 and 22579 and consist of maintaining irrigation systems, trees, and ground cover along the following:

- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets.
- ◆ Flood control detention basins.
- ◆ The above improvements were required as set forth by the Woodlake Specific Plan "SP 85-3" approved by the Corona City Council on November 20, 1985 and by the condition of approval for Map No. 20796.
- ◆ The irrigation system and landscaping within Lots A through D, Tract No. 22579 and those portions of the Hidden Valley Parkway within Tract No. 22579. The improvements were required by the condition of approval for said tract.
- ◆ The irrigation system and landscaping within Lots F and I, Tract No. 25249. The improvements were required by the condition of approval for Tract No. 25249.
- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets. The improvements were required by the conditions of approval for Tract No. 29595.
- ◆ Median, parkway, and streetscape landscaping along Stevens Drive. The improvements were required by the conditions of approval for Parcel Map No. 33533.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 15** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover of the parkway along the public right-of-way within Tract No. 20006. The improvements were required by the condition of approval for said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 17** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 21355 and along Stagecoach Road; slope easements located within Lots 1 through 6 and 192 through 205; and the westerly parkway on Stagecoach Road from the southerly boundary of Tract No. 21355 to Corydon Street.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 18** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No.'s 24716 & 32195; Assessor Parcel Numbers 119-060-018; 119-060-020; and 119-060-022; and along River Road (including the center median area); Lincoln Avenue and Harrington Street; and the riparian habitat area within and adjoining that portion of the Norco Channel within said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 19** consists of various developments within South Corona for which the improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping in accordance with the South Corona Community Facilities Plan. These improvements are also referred to as the "South Corona Streetscapes," and includes parkways, medians, and dedications to the City of Corona from past and future South Corona development.
- ◆ The irrigation system and landscaping within Lots A and B, Parcel Map No. 22908, and the portion of the westerly Lincoln Avenue parkway fronting said map.
- ◆ The irrigation system and landscaping within the easterly Mangular Avenue parkway adjacent to Tract No. 24118.

- ◆ The irrigation system and landscaping within the easterly parkway along Oak Avenue, the northeasterly parkway along Chase Drive, adjacent to Tract No. 23434, and within Lots L, M, O, P, Q, R, S, T, and U of Tract No. 23434.
- ◆ The irrigation system and landscaping within Lots F and G of Tract No. 22707 and that portion of the westerly Mangular Avenue parkway adjacent to said map.
- ◆ The irrigation system and landscaping within Lots A and B of Tract No. 20971 and that portion of Fullerton Avenue (formerly Garretson Avenue) parkway fronting said map.
- ◆ The irrigation system and landscaping within Lots A, K, and L, Tract No. 24326 and the parkways adjacent to said tract and along Chicago Street and Citrus Way. The improvements were required by the condition of approval for Tract No. 24326.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 23861 and along California Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23401-1 and 23401-2, and along California and Chase Avenues; and the bike path adjacent to said tracts and along Chase Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25009 and along Foothill Parkway, Highgrove Street, and Lot F of Tract No. 25009.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24533, along the east side of Lincoln Avenue, north side of Foothill Parkway, and west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24271 and along the west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and J of Tract No. 27199, and the parkways adjacent to said tract and along the north side of Santana Way.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 26807, 25466, and 25652C, and along the east side of Fullerton Avenue (formerly Garretson Avenue), south side of Foothill Parkway, both sides of Valencia Avenue, and the north side of Upper Drive.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 25817 and along the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within Lots D, E, F, and I of Tract No. 26012-1 and the parkways adjacent to Tract No.'s 26012-1 and 26012, along the east side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and E, Tract No. 26903-1 and the parkways adjacent to said tract and along the north side of Chase Drive and the east side of Fullerton Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27504, along the north side of Chase Drive and the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25887, along the north side of Chase Drive and the west side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within parkways on Fullerton and Gilbert Avenues adjacent to Parcel Map 24234, all within Annexation No. 37.
- ◆ The irrigation system and landscaping within parkways north of Encanto Street and west of Hudson Avenue adjacent to Tract No. 26062, all within Annexation No. 40.
- ◆ The irrigation system and landscaping within parkways adjacent to Parcel Map 26695 located east of Gilbert Avenue, all within Annexation No. 45.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25466 and 25466-1 and along the north side of Upper Drive and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 52.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27802, along the north side of Foothill Parkway and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 53.
- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No. 25311R and along the south side of Chase Drive and the north side of Foothill Parkway, all in Annexation No. 54.

- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27916-1, 27916-2, and 27916-3, along the east side of Lincoln Avenue, all in Annexation No. 55.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23956, 23956-1, and 23956-2, along the west side of Kellogg Avenue, all in Annexation No. 56.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27860 along the north side of Foothill Parkway, all in Annexation No. 57.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24272 and Tract No.'s 24272-1 through 24272-8, along the east and west sides of Lincoln Avenue, and along the west side of Buena Vista Avenue, all in Annexation No. 58; and the irrigation system and landscaping within parkways adjacent to Tract No. 25690, along the west side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26117-1, along the north side of Foothill Parkway, all in Annexation No. 59.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25571 and 25571-1 and along the north and south side of Citrus Way, all in Annexation No. 60.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27833, 27833-1, and 27833-2, along the west side of Fullerton Avenue, all in Annexation No. 61.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25315, 25315-1, 25315-2, and 25315-3, along the east side of Kellogg Avenue and the south side of Santana Way, all in Annexation No. 62.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 24077, 24077-1, 24077-2, and 24077-3, all in Annexation No. 63.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25396, along the east side of Rimpau Avenue, and along the west side of California Avenue, all in Annexation No. 64.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24840, along the south side of Valencia Avenue and north side of Upper Drive, all in Annexation No. 65.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 28177 and 28177-1, and along the south side of Foothill Parkway, the east side of Rimpau Avenue, and the north side of Valencia Avenue, all in Annexation No. 66.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25310R, along the south side of Chase Drive, the east side of Fullerton Avenue, and the north side of Foothill Parkway, all in Annexation No. 67.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25468, 25468-1, 25468-2, and 25468-3, along the south side of Foothill Parkway and the west side of California Avenue, all in Annexation No. 68.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26058 and along the south side of Chase Drive and the west side of Fullerton Avenue, all in Annexation No. 69.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 26978 and along the east side of Lincoln Avenue, all in Annexation No. 70.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26238, along the south side of Taber Road, and along the west side of California Avenue, all in Annexation No. 71.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 28180, along the south side of Ontario Avenue and the west side of Rimpau Avenue, all in Annexation No. 73.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25917R-1, all in Annexation No. 74.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26807-R, along the east side of Fullerton Avenue, the north side of Valencia Road, and the south side of Foothill Parkway, all in Annexation No. 75.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.



**Benefit Zone 20** consists of the Mountain Gate Specific Plan and its Amendment ("SPA90-09") Area for which improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkways and medians of the arterial and collector streets, including the additional landscape lots that are proposed to be dedicated along a number of the major streets.
- ◆ The structure and exterior face of the project theme walls located along the major arterial and collector streets in the planned community.
- ◆ Entry monuments and special landscape areas located at the major project entries, secondary project entries, individual subdivision entries, and special landscape areas identified on the Mountain Gate landscape master plan.
- ◆ The landscaping, bicycle paths, recreational improvements, and open space areas which may be developed and dedicated to the public within the designated estate residential cluster development areas, exclusive of public park areas.
- ◆ The designated fuel modification areas in the hillside overlay zone of Planning Area 26.
- ◆ Other improvements which may be accepted by the City Council for maintenance by the landscape maintenance district.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

### Changes in Benefit Zone Boundaries

During the lifetime of the District, several changes have occurred that affect the boundaries of the benefit zones. The plans and specifications for the changes are on file with the City of Corona.

1. Due to the nature, location, and extent of the improvements it has been determined that some benefit zones received the same degree of benefit. Accordingly, these benefit zones have been eliminated by consolidating them with other zones, as follows:
  - ◆ Benefit Zone 8 was consolidated into Benefit Zone 7.
  - ◆ Benefit Zone 9 and 13 were consolidated into Benefit Zone 4.
  - ◆ Benefit Zone 11 was consolidated into Benefit Zone 10.
2. Four benefit zones were eliminated for the following reasons:
  - ◆ Benefit Zones 3 and 5 have been eliminated because the interim detention basins are no longer necessary due to the installation of storm drains.
  - ◆ Benefit Zone 12 has been eliminated because improvements formerly maintained by the City are now maintained by the Cresta Verde Golf Course.
  - ◆ Benefit Zone 16 has been eliminated because the interim detention basin is no longer necessary due to the Oak Street Channel improvement. The property maintenance has been turned over to the underlying property owner and all affected property owners were notified of the levy being discontinued.
3. Due to the nature, location, and extent of the improvements, the Mountain Gate Specific Plan Area was detached from Benefit Zone 19 to establish Benefit Zone 20.

The cost of servicing, maintaining, repairing, and replacing the actual improvements as described in the Plans and Specifications are summarized as follows:

*Table 2-1*  
*Benefit Zone 1 - Budget*

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$1,688	\$1,691
Maintenance Inspection and Administration	\$1,729	\$946
Utilities	\$700	\$700
<b>Total Direct Costs</b>	<b>\$4,117</b>	<b>\$3,337</b>
<b>Indirect Costs</b>		
County Admin	\$170	\$170
City Personnel/Overhead	\$99	\$102
Engineering Costs	\$22	\$22
<b>Total Indirect Costs</b>	<b>\$291</b>	<b>\$294</b>
<b>Total Costs</b>	<b>\$4,408</b>	<b>\$3,631</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$261)	\$516
<b>Total Adjustments</b>	<b>(\$261)</b>	<b>\$516</b>
<b>Total Assessment</b>	<b>\$4,147</b>	<b>\$4,147</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$2,204	\$1,816
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$2,204</b>	<b>\$1,816</b>
Beginning Capital Replacement Reserve	\$19,650	\$20,039
Reserve Collection	\$0	\$516
Reserve Contribution	(\$261)	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$19,390</b>	<b>\$20,555</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$516 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 1.

Table 2-2  
Benefit Zone 2 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$24,157	\$24,211
Maintenance Inspection and Administration	\$13,823	\$12,813
Utilities	\$49,714	\$49,714
<b>Total Direct Costs</b>	<b>\$87,694</b>	<b>\$86,738</b>
<b>Indirect Costs</b>		
County Admin	\$451	\$451
City Personnel/Overhead	\$1,825	\$1,891
Engineering Costs	\$390	\$390
<b>Total Indirect Costs</b>	<b>\$2,666</b>	<b>\$2,732</b>
<b>Total Costs</b>	<b>\$90,360</b>	<b>\$89,470</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$9,067)	(\$8,177)
General Benefit <sup>(1)</sup>	(\$209)	(\$209)
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$9,276)</b>	<b>(\$8,386)</b>
<b>Total Assessment</b>	<b>\$81,084</b>	<b>\$81,084</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$45,180	\$44,735
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$45,180</b>	<b>\$44,735</b>
Beginning Capital Replacement Reserve	\$25,086	\$41,429
Reserve Collection	\$0	\$0
Reserve Contribution	(\$9,067)	(\$8,177)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$16,019</b>	<b>\$33,252</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 76.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$8,177 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 2.

Table 2-3  
Benefit Zone 4 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$28,145	\$32,503
Maintenance Inspection and Administration	\$14,921	\$14,223
Utilities	\$31,051	\$31,051
<b>Total Direct Costs</b>	<b>\$74,117</b>	<b>\$77,777</b>
<b>Indirect Costs</b>		
County Admin	\$300	\$300
City Personnel/Overhead	\$2,174	\$2,294
Engineering Costs	\$442	\$442
<b>Total Indirect Costs</b>	<b>\$2,916</b>	<b>\$3,036</b>
<b>Total Costs</b>	<b>\$77,033</b>	<b>\$80,813</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$16,582	\$12,802
<b>Total Adjustments</b>	<b>\$16,582</b>	<b>\$12,802</b>
<b>Total Assessment</b>	<b>\$93,615</b>	<b>\$93,615</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$38,517	\$40,407
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$38,517</b>	<b>\$40,407</b>
Beginning Capital Replacement Reserve	\$165,524	\$179,798
Reserve Collection	\$16,582	\$12,802
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$182,106</b>	<b>\$192,600</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$12,802 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 4.

Table 2-4  
Benefit Zone 6 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$179,187	\$179,371
Maintenance Inspection and Administration	\$50,236	\$48,894
Utilities	\$103,865	\$103,865
<b>Total Direct Costs</b>	<b>\$333,288</b>	<b>\$332,130</b>
<b>Indirect Costs</b>		
County Admin	\$1,200	\$1,100
City Personnel/Overhead	\$7,461	\$7,717
Engineering Costs	\$1,518	\$1,518
<b>Total Indirect Costs</b>	<b>\$10,179</b>	<b>\$10,335</b>
<b>Total Costs</b>	<b>\$343,467</b>	<b>\$342,465</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$28,432)	(\$27,430)
<b>Total Adjustments</b>	<b>(\$28,432)</b>	<b>(\$27,430)</b>
<b>Total Assessment</b>	<b>\$315,035</b>	<b>\$315,035</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$171,734	\$171,233
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$171,734</b>	<b>\$171,233</b>
Beginning Capital Replacement Reserve	\$247,236	\$264,500
Reserve Collection	\$0	\$0
Reserve Contribution	(\$28,432)	(\$27,430)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$218,804</b>	<b>\$237,070</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,430 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 6.

Table 2-5  
Benefit Zone 7 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$37,758	\$37,804
Maintenance Inspection and Administration	\$13,665	\$12,703
Utilities	\$19,651	\$19,656
<b>Total Direct Costs</b>	<b>\$71,074</b>	<b>\$70,163</b>
<b>Indirect Costs</b>		
County Admin	\$500	\$500
City Personnel/Overhead	\$1,867	\$1,931
Engineering Costs	\$378	\$378
<b>Total Indirect Costs</b>	<b>\$2,745</b>	<b>\$2,809</b>
<b>Total Costs</b>	<b>\$73,819</b>	<b>\$72,972</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$4,974	\$5,821
<b>Total Adjustments</b>	<b>\$4,974</b>	<b>\$5,821</b>
<b>Total Assessment</b>	<b>\$78,793</b>	<b>\$78,793</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,910	\$36,486
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$36,910</b>	<b>\$36,486</b>
Beginning Capital Replacement Reserve	\$51,381	\$94,556
Reserve Collection	\$4,974	\$5,821
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$56,355</b>	<b>\$100,377</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$5,821 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 7.

Table 2-6  
Benefit Zone 10 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$653,543	\$672,156
Maintenance Inspection and Administration	\$309,586	\$310,487
Utilities	\$311,070	\$311,070
<b>Total Direct Costs</b>	<b>\$1,274,199</b>	<b>\$1,293,713</b>
<b>Indirect Costs</b>		
County Admin	\$1,300	\$1,300
City Personnel/Overhead	\$50,667	\$52,403
Engineering Costs	\$10,126	\$10,126
<b>Total Indirect Costs</b>	<b>\$62,093</b>	<b>\$63,829</b>
<b>Total Costs</b>	<b>\$1,336,292</b>	<b>\$1,357,542</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$808,307	\$781,724
<b>Total Adjustments</b>	<b>\$808,307</b>	<b>\$781,724</b>
<b>Total Assessment</b>	<b>\$2,144,599</b>	<b>\$2,139,266</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$668,146	\$678,771
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$668,146</b>	<b>\$678,771</b>
Beginning Capital Replacement Reserve	\$4,327,332	\$5,548,198
Reserve Collection	\$808,307	\$781,724
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$5,135,638</b>	<b>\$6,329,922</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$781,724 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. The City is currently working with a landscape architect on the Year 3 cycle of the 10-year renovation plan for Zone 10. The Year 2 project was completed in August 2020.

Table 2-7  
Benefit Zone 14 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$207,715	\$208,057
Maintenance Inspection and Administration	\$84,749	\$84,431
Utilities	\$85,140	\$85,140
Debt Service	\$0	\$0
<b>Total Direct Costs</b>	<b>\$377,604</b>	<b>\$377,628</b>
<b>Indirect Costs</b>		
County Admin	\$1,000	\$1,000
City Personnel/Overhead	\$13,924	\$14,401
Engineering Costs	\$2,832	\$2,832
<b>Total Indirect Costs</b>	<b>\$17,756</b>	<b>\$18,233</b>
<b>Total Costs</b>	<b>\$395,360</b>	<b>\$395,861</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$194,070	\$193,569
General Benefit <sup>(1)</sup>	(\$767)	(\$767)
<b>Total Adjustments</b>	<b>\$193,303</b>	<b>\$192,802</b>
<b>Total Assessment</b>	<b>\$588,663</b>	<b>\$588,663</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$197,680	\$197,931
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$197,680</b>	<b>\$197,931</b>
Beginning Capital Replacement Reserve	\$973,674	\$1,261,799
Reserve Collection	\$194,070	\$193,569
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$1,167,744</b>	<b>\$1,455,368</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 78.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$193,569 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 14.



Table 2-8  
Benefit Zone 15 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$18,138	\$18,145
Maintenance Inspection and Administration	\$5,815	\$4,686
Utilities	\$2,400	\$2,400
<b>Total Direct Costs</b>	<b>\$26,353</b>	<b>\$25,231</b>
<b>Indirect Costs</b>		
County Admin	\$130	\$130
City Personnel/Overhead	\$634	\$675
Engineering Costs	\$130	\$130
<b>Total Indirect Costs</b>	<b>\$894</b>	<b>\$935</b>
<b>Total Costs</b>	<b>\$27,247</b>	<b>\$26,166</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$309	\$1,390
<b>Total Adjustments</b>	<b>\$309</b>	<b>\$1,390</b>
<b>Total Assessment</b>	<b>\$27,556</b>	<b>\$27,556</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$13,624	\$13,083
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$13,624</b>	<b>\$13,083</b>
Beginning Capital Replacement Reserve	\$59,118	\$61,895
Reserve Collection	\$309	\$1,390
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$59,427</b>	<b>\$63,284</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$1,390 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 15.

Table 2-9  
Benefit Zone 17 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$22,874	\$24,887
Maintenance Inspection and Administration	\$5,131	\$4,134
Utilities	\$4,361	\$4,362
<b>Total Direct Costs</b>	<b>\$32,366</b>	<b>\$33,383</b>
<b>Indirect Costs</b>		
County Admin	\$215	\$215
City Personnel/Overhead	\$509	\$527
Engineering Costs	\$106	\$106
<b>Total Indirect Costs</b>	<b>\$830</b>	<b>\$848</b>
<b>Total Costs</b>	<b>\$33,196</b>	<b>\$34,231</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$3,971)	(\$11,859)
Capital Replacement Reserve	(\$7,115)	(\$262)
<b>Total Adjustments</b>	<b>(\$11,086)</b>	<b>(\$12,121)</b>
<b>Total Assessment</b>	<b>\$22,110</b>	<b>\$22,110</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$16,598	\$17,116
Reserve Collection	\$0	\$0
Reserve Contribution	(\$3,971)	(\$11,859)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$12,627</b>	<b>\$5,256</b>
Beginning Capital Replacement Reserve	\$7,115	\$262
Reserve Collection	\$0	\$0
Reserve Contribution	(\$7,115)	(\$262)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$11,859 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$262 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 17.

Table 2-10  
Benefit Zone 18 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$41,979	\$44,836
Maintenance Inspection and Administration	\$8,511	\$6,474
Utilities	\$11,216	\$11,216
<b>Total Direct Costs</b>	<b>\$61,706</b>	<b>\$62,526</b>
<b>Indirect Costs</b>		
County Admin	\$286	\$286
City Personnel/Overhead	\$808	\$837
Engineering Costs	\$172	\$172
<b>Total Indirect Costs</b>	<b>\$1,266</b>	<b>\$1,295</b>
<b>Total Costs</b>	<b>\$62,972</b>	<b>\$63,821</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$26,609)	(\$27,458)
General Benefit <sup>(1)</sup>	(\$383)	(\$383)
<b>Total Adjustments</b>	<b>(\$26,992)</b>	<b>(\$27,841)</b>
<b>Total Assessment</b>	<b>\$35,980</b>	<b>\$35,980</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$31,486	\$31,911
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$31,486</b>	<b>\$31,911</b>
Beginning Capital Replacement Reserve	\$62,358	\$34,127
Reserve Collection	\$0	\$0
Reserve Contribution	(\$26,609)	(\$27,458)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$35,748</b>	<b>\$6,669</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation Nos. 80 & 81.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,458 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 18.

Table 2-11  
Benefit Zone 19 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$230,362	\$230,633
Maintenance Inspection and Administration	\$74,003	\$72,891
Utilities	\$241,128	\$241,128
<b>Total Direct Costs</b>	<b>\$545,493</b>	<b>\$544,652</b>
<b>Indirect Costs</b>		
County Admin	\$1,558	\$1,458
City Personnel/Overhead	\$10,954	\$11,332
Engineering Costs	\$2,240	\$2,240
<b>Total Indirect Costs</b>	<b>\$14,752</b>	<b>\$15,030</b>
<b>Total Costs</b>	<b>\$560,245</b>	<b>\$559,682</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$95,305)	(\$94,742)
Capital Replacement Reserve	\$0	\$0
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$95,305)</b>	<b>(\$94,742)</b>
<b>Total Assessment</b>	<b>\$464,940</b>	<b>\$464,940</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,343	(\$40,258)
Reserve Collection	\$0	\$0
Reserve Contribution	(\$95,305)	(\$94,742)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>(\$58,962)</b>	<b>(\$135,000)</b>
Beginning Capital Replacement Reserve	\$0	\$0
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$94,742 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. There are no anticipated major Capital Improvement Projects planned for Zone 19.

Table 2-12  
Benefit Zone 20 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$311,503	\$315,390
Maintenance Inspection and Administration	\$154,777	\$154,085
Utilities	\$282,768	\$282,768
<b>Total Direct Costs</b>	<b>\$749,048</b>	<b>\$752,243</b>
<b>Indirect Costs</b>		
County Admin	\$767	\$767
City Personnel/Overhead	\$25,545	\$26,412
Engineering Costs	\$5,147	\$5,147
<b>Total Indirect Costs</b>	<b>\$31,459</b>	<b>\$32,326</b>
<b>Total Costs</b>	<b>\$780,507</b>	<b>\$784,569</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$288,191	\$284,129
<b>Total Adjustments</b>	<b>\$288,191</b>	<b>\$284,129</b>
<b>Total Assessment</b>	<b>\$1,068,698</b>	<b>\$1,068,698</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$390,254	\$392,285
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$390,254</b>	<b>\$392,285</b>
Beginning Capital Replacement Reserve	\$1,463,568	\$1,858,225
Reserve Collection	\$288,191	\$284,129
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$1,751,759</b>	<b>\$2,142,354</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$284,129 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 20.

### Proposition 218 Compliance

On November 5, 1996 California voters approved Proposition 218, entitled the "Right to Vote on Taxes Act," which added Article XIII D to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new substantive and procedural requirements for the formation and administration of assessment districts. Proposition 218 provides that all existing, new, or increased assessments must comply with Proposition 218's new substantive and procedural requirements unless the assessment is "grandfathered" as one of the four categories of assessments that existed on or before November 6, 1996 and is therefore exempted from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Two of the four categories of assessments that are "grandfathered" under Proposition 218 and are relevant to the District are:

1. Any assessment imposed exclusively to finance the capital cost or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control.
2. Any assessments levied pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment was initially imposed.

For purposes of applying the first exception, Proposition 218 does not define the term "streets"; however, based upon the opinions of public agency officials, attorneys and assessment engineers, as well as language in the Proposition 218 Omnibus Implementation Act (Government Code §§ 53750 et seq.) and the court's reasoning in *Howard Jarvis Taxpayers Association v. City of Riverside*, 73 Cal.App.4<sup>th</sup> 679 (1999), it has been determined that the term "streets" includes median and parkway landscaping, traffic signals, safety lighting, and street lighting, and all other public improvements located within the street right-of-way, since assessments for these types of improvements are traditionally appropriate, non-abusive special assessments. The improvements and services financed by LMD No. 84-2 constitute physical parts of the right-of-way in which the street is located, contribute to road and sidewalk safety, and provide for drainage and treatment of runoff. Therefore, the assessments levied by LMD No. 84-2 (other than the assessments for the Post Proposition 218 Annexations, defined below) are grandfathered under the first exception, and thus the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit, do not apply.

The second exception to the application of Proposition 218 also applies to LMD No. 84-2, because the District was initiated by a petition signed by the property owners within the District boundaries at the time it was formed and, therefore, the assessments are exempt from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Even if assessments are initially "grandfathered" under Proposition 218 and thus exempt from the substantive and procedural requirements of Proposition 218, if the assessments are increased in the future the City will need to comply with the provisions of Proposition 218 for that portion of the increased assessment formula (e.g., CPI increase). Additionally, although the assessments levied within LMD No. 84-2 are considered "grandfathered", the City has determined that it is appropriate to ensure that the assessments levied against properties that were annexed to LMD No. 84-2 after the passage of Proposition 218 comply with the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit. The City has identified the following annexations to LMD No. 84-2 as annexations that were approved after the passage of Proposition 218 (collectively "Post 218 Annexations"):

Table 3-1  
Annexations

Annexation Year	Annexation Number	Zone	Property Annexed
2013	85	20	TT 34760
2013	84	10	TT 35590R
2007	83	14	PM 33761
2006	82	14	PM 33533
2005	81	18	TR 32195
2005	80	18	APN 119-060-018, -020, -022
2004	79	14	TR 29595
2001	78	14	PM 30197
2001	77	6	TR 29876
1997	76	2	TR 27305-8, -9

Proposition 218 defines "assessment" as "any levy or charge upon real property by an agency for a special benefit conferred upon the real property," (California Constitution, Article XIII D, §2(b)). A special assessment, sometimes called a "benefit assessment," is a charge generally levied upon parcels of real property to pay for benefits the parcels receive from local improvements. Special assessments are levied according to statutory authority granted by the Legislature or, in some instances, local charters. Distinguishing among taxes, fees and assessments can be difficult and often depends on the context in which the distinction is made. For example, taxes, assessments, and property-related fees all may be imposed on property. The key feature that distinguishes an assessment from a tax, fee, or charge is the existence of a special benefit to real property. Without identifying a special benefit, there can be no assessment.

### Distinguishing General and Special Benefit

Proposition 218 added a set of procedures and requirements which a local government must follow to levy an assessment. In addition to notice, hearing, and assessment ballot proceedings, Proposition 218 provides that "only special benefits are assessable" and requires a local government to "separate the general benefits from the special benefits conferred on a parcel."

There is no statutory definition or judicially approved formula for calculating general benefit. For purposes of this Report, general benefits are benefits from improvements or services that are not special in nature, are not particular and distinct, and are not over and above the benefits received by other properties. Proposition 218 defines "special benefit" as "a particular and distinct benefit over and above general benefits conferred on real property located in the District or to the public at large. General enhancement of property value does not constitute 'special benefit'."

By its nature, most every public improvement financed through an assessment district contains an element of public benefit. The test is: does there exist, with relation to the improvement, a special benefit to the property assessed? The law requires that the portion of the cost of the improvements which benefits the public generally (i.e., general benefits) be separated from the portion of the cost of the improvements which specially benefits assessed properties (i.e., special benefits).

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report.



## General Benefit

### *Post 218 Annexations*

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, the City has determined that the Landscape Improvements maintained within the Post 218 Annexations by each benefit zone (other than the Nominal General Benefit Annexations, defined and discussed below) provide negligible general public benefit in that each benefit zone is comprised of separate and discrete neighborhoods for which the Landscape Improvements were installed. The Landscape Improvements do not extend beyond the perimeter of the boundary of each of those discrete neighborhoods. Additionally, other than the Nominal General Benefit Annexations discussed below, the improvements financed by LMD No. 84-2 for the Post 218 Annexations do not include any Landscape Improvements in the parkway areas fronting each discrete neighborhood. In other words, all of the Landscape Improvements financed by LMD No. 84-2 for the Post 218 Annexations are located entirely within the interior areas of the developments that comprise and are included in the Post 218 Annexations.

As further explained in the Direct and Special Benefit section, the Landscape Improvements within the Post 218 Annexations provide a direct advantage only to the properties that are within the boundaries of each discrete neighborhood/benefit zone. Although the discrete neighborhoods that comprise each benefit zone could be accessed by the public at large, the Landscape Improvements within the Post 218 Annexations that are financed by LMD No. 84-2 were specifically designed, located and created to provide additional and improved public resources exclusively for real property within the Post 218 Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views and other special benefit factors discussed below under Direct and Special Benefit. Moreover, since all properties within each benefit zone have equal access and opportunity to enjoy the Landscape Improvements within the Post 218 Annexations that are financed by District assessments, all properties within each benefit zone benefit equally from the Landscape Improvements and the costs and expenses for the landscaping maintenance and services are appropriately apportioned on a per parcel or a per acre basis. Based upon the foregoing, the City has concluded that there is no measurable general benefit associated with the Landscape Improvements financed with the assessments levied against properties within the Post 218 Annexations (other than the Nominal General Benefit Annexations discussed below).

### *Nominal General Benefit Annexations*

In reviewing the location and extent of the specific landscaped areas and improvements within the Post 218 Annexations that are funded by the District assessments and the proximity and relationship to properties to be assessed, it has been determined that the following annexation areas include landscape improvements within the parkway areas fronting the developments that comprise and are included in the Post 218 Annexations: Annexation 76 to Zone 2 (TR 27305-8 & 9), Annexation 78 to Zone 14 (PM 30197), Annexation 80 to Zone 18 (APN Nos. 119-060-18, -020, -022), and Annexation 81 to Zone 18 (TR 32195) (collectively, "Nominal General Benefit Annexations"). At the time of annexation of these developments, the improvements to be financed by the District assessments were considered local improvements that were required to be installed in connection with the development of properties within these annexation areas. Similar to the Post 218 Annexations, the Landscape Improvements within the Nominal General Benefit Annexations that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large.

Similar to the Post 218 Annexations, the majority of the Landscape Improvements (see discussion below regarding the Landscape Improvements within frontage parkway areas) provided and maintained within the Nominal General Benefit Annexations do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises the annexation area and are located entirely within the interior areas of the developments that comprise and are included in the Nominal General Benefit Annexations. As such, the interior Landscape Improvements within the Nominal General Benefit Annexations provide a direct advantage only to the properties that are within the boundaries of each annexation area. Although the developments that comprise and are included in the Nominal General Benefit Annexations could be accessed by the public at large, the Landscape Improvements within these annexation areas that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views, and other special benefit factors discussed in the Direct and Special Benefit section.



However, as indicated above, the assessments levied within the Nominal General Benefit Annexations also provide and maintain Landscape Improvements within the parkway areas fronting the developments that comprise and are included in the Nominal General Benefit Annexations. Since these parkway areas are readily accessible and viewable by the public at large, there may be some general benefit enjoyed by the general public as a result of the Landscape Improvements located and maintained in these parkway areas. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within the Nominal General Benefit Annexations at the enhanced level or standard that the Landscape Improvements are currently provided and maintained. The maintenance, upkeep, and repair of such parkway Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. As such, the maintenance of the Landscape Improvements within the parkway areas fronting each annexation area to the current enhanced level and standard of maintenance has a direct and particular impact or special benefit only on those properties within the Nominal General Benefit Annexations and any maintenance or services beyond that which is required to ensure the safety and protection of the general public and property, has no identifiable benefit to the public at large or properties outside these annexations. The general benefit derived from the maintenance of the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations can be quantified as the cost that the City would incur to provide the minimal level of maintenance and services necessary for public health and safety. The costs incurred to maintain the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations over and above this minimum level of service would provide a direct advantage only to the properties within the Nominal General Benefit Annexations and is considered to be a special benefit.

In the absence of the assessments levied by LMD No. 84-2, the City would typically provide only weed abatement and erosion control services for parkway areas. These services would typically be provided twice annually. This level of service provides for public safety and avoids negative impacts on adjacent roadways and vehicles traveling on those roadways, but results in a far less visually pleasing environment than is created with the enhanced level of service currently provided to the parkway areas within the Nominal General Benefit Annexations. The cost to provide the baseline weed abatement and erosion control level of service is approximately \$0.02 per square foot, twice a year, for parkway areas. The general benefit is determined by multiplying the weed abatement and erosion control service costs by the square footage of these parkway areas. Since the baseline services, unlike the enhanced level of service that is provided as a result of the District assessments, provide some benefits to the general public and to the neighborhoods outside of the benefit zones, the cost of providing this baseline service is treated as the cost of general benefits from landscape maintenance services. Utilizing these per square foot costs and the square footages of the parkway areas in the Nominal General Benefit Annexations, the current estimated general benefit costs calculated for the frontage parkway areas within Annexation 76 to Zone 2 is \$209.09, within Annexation 78 to Zone 14 is \$766.66, and within Annexation Zones 80 and 81 to Zone 18 is \$382.80. These general benefit costs are identified as the "General Benefit Contribution" in the applicable Zone budgets in Section 2 (Cost Estimate) of this Report and will be credited to those properties included within the Nominal General Benefit Annexations. Funding for these general benefit costs will be provided by the City's General Fund.

### Direct and Special Benefit

The types of services provided within LMD No. 84-2 is the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacement and maintenance required to keep the above-mentioned improvements in a healthy, vigorous and satisfactory working condition.

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, particular direct and special benefit is provided by the Landscape Improvements which include, but are not limited to, enhanced aesthetics of areas within the benefit zones providing additional desirability for potential buyers, a more pleasant environment to walk, drive, live, and work for property owners in addition to controlling dust and potential erosion. The primary function of these Landscape Improvements and related amenities is to serve as an aesthetically pleasing enhancement and green space for the benefit of the immediately surrounding development within the individual benefit zones for which the improvements were constructed and installed. These improvements are an integral part of the physical environment of parcels within the benefit zones, and if the improvements were not properly maintained, it is these parcels that would be negatively affected. In addition, the landscape improvements serve as a physical buffer as well as a sound reduction or buffer between the roadways and the properties in the

benefit zones, as well as a physical buffer and openness between properties within the benefit zones. The improvements installed in connection with the development of the parcels constituting the benefit zones would not be necessary or required without the development of those parcels within the District.

The assessment revenue derived from real property in each benefit zone is expended only on the Landscape Improvements in that benefit zone. The Landscape Improvements are located in close proximity to the real property within each benefit zone that is subject to the assessments and provide a direct advantage to the property in the benefit zone in that the improvements funded by the assessments are directly provided only to the real property in each benefit zone. Other than the Nominal General Benefit Annexations, the Landscape Improvements do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises a benefit zone and are located entirely within the interior areas of each neighborhood. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within LMD No. 84-2 and the maintenance, upkeep, and repair of such Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. Therefore, the assessments provide and fund Landscape Improvements that are over and above what otherwise would be provided. The fact that the Landscape Improvements are over and above what otherwise would be provided, combined with the unique proximity and access to the Landscape Improvements enjoyed by real property within LMD No. 84-2, demonstrates that the assessments provide a direct advantage and special benefit to real property within LMD No. 84-2.

### Method of Apportionment

Pursuant to the Landscaping and Lighting Act of 1972 and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements shall be identified and the proportionate special benefit derived by each identified parcel shall be determined in relationship to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

To proportionally allocate special benefit to each parcel, it is necessary to correlate each property's proportional benefit to other properties that benefit from the improvements and services being funded: In order to do this, the assessment methodology assigns each parcel a number of benefit units based on its land use. One benefit unit is defined as the special benefit allocable to a single family home.

**Single Family Residential Property** - The method of apportionment assigns each fully subdivided single family residential dwelling one benefit unit.

**Multi-Family Residential Property** - This land use classification identifies residential developments that typically have 60% fewer people per dwelling unit than single family residential property and therefore have been assigned to 0.60 benefit unit, per dwelling.

**Commercial Property** - The method of apportionment assigns benefit units by multiplying the overall acreage by five benefit units per acre, (based on the typical number of residential property in an acre of typical development).

**Benefit Zones 1, 2, 4, 7, 15, 17, and 18** - Prior to total development and the recordation of tract maps, the benefit will be assessed according to the number of lots, units, or acreage within the tentative tract map.

**Benefit Zone 6** - As development occurs and prior to total development, each undeveloped parcel will be assessed the number of projected benefit units in accordance with SP 81-2.

**Benefit Zone 10** - Currently, there are approximately 0.97 acres of undeveloped property and one parcel classified as reserved development within this zone. The Assessor's Parcel Number is 102-370-009.

A reserved development designation was assigned to Assessor's Parcel Number 102-370-009 under SP 85-2. Other than for mining purposes, development of Assessor's Parcel Number 102-370-009, approximately 80 acres, is not anticipated at this time.

**Benefit Zone 14** - SP 85-3 (Tract No. 20796) and Tract No. 22579 created approximately 2,553 residential units of varying densities and 12.3 acres of commercial support. The updated total projected build-out is approximately 2,350 units. This benefit zone is at near build-out status and nearly all benefit units have been assessed.

**Benefit Zone 19** - Benefit Zone 19 consists of various developments within South Corona. The method of assessment is based on approximately 3,700 benefit units with a residential dwelling equal to one benefit unit.

**Benefit Zone 20** - SPA90-09 proposes 3,248 residential units of varying densities, 15.1 acres of commercial developments, and 15.8 acres of quasi-public land use. Currently, there are 2,754 residential units, 10.1 acres of commercial development, and 6.91 acres of quasi-public land use. At the present time the benefit zone maintains 62.47 acres of landscaping.

### Prior Proposition 218 Proceedings for Rate Increase

**Benefit Zone 1** – In 2001, due to increased maintenance costs and low reserves, a special election was held to increase Benefit Zone 1 from \$22.54 per assessment unit to \$33.54 per assessment unit (an \$11.00 increase per assessment unit). The proposed increase failed to receive a majority ballot approval. Consequently, the trees and turf suffered considerably due to the lack of irrigation. Maintenance and operating service costs were reduced to eliminate tree trimming, replacement, and any landscape enhancement. In 2012, the turfgrass was removed and decomposed granite ("DG") was installed to help further reduce maintenance costs.

**Benefit Zone 4** - After a failed election in 2002, the City received many complaints from property owners within Benefit Zone 4 due to the condition of the landscape. Therefore, the City again conducted a special election pursuant to the provisions of Proposition 218 for Benefit Zone 4 in July of 2003. The proposed increase for Benefit Zone 4 was from \$75.00 to \$138.00 (\$63.00 per assessment unit). In order to provide sufficient funds from the levy and collection of assessments within the benefit zone in future Fiscal Years to pay increasing costs due to inflation, it was proposed that the assessments levied on assessable parcels of property in Benefit Zone 4 should be subject to annual increases in future years, commencing in Fiscal Year 2007, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario ("CPI") or three percent (3%), whichever is less. Benefit Zone 4 received a favorable majority vote and the charge per assessment unit was increased from \$75.00 to \$138.00 commencing in Fiscal Year 2007. The maximum assessment per benefit unit for Benefit Zone 4 will escalate three and zero one hundredths percent (3.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$192.55.

**Benefit Zone 10** - After a failed election in 2007, the City received many complaints from property owners within Benefit Zone 10 due to the condition of the landscape. On April 2, 2008, the City Council, in response to input from residents, approved a petition and re-ballot process to allow for property owners to re-vote. The procedure required signed petitions from at least 25% of the properties within the benefit zone to trigger a re-vote. This requisite equated to approximately 725 signed petitions from the record property owners indicating their intended support of the proposed annual levy increase from \$335.61 to \$540.00 per assessment unit. Benefit Zone 10 met the required minimum number of petitions favoring the re-ballot process, and a public hearing on the proposed levy increase was scheduled for June 18, 2008. Benefit Zone 10 received a favorable majority vote and the charge per assessment unit was increased for Fiscal Year 2009. The rate per assessment unit for Benefit Zone 10, is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2012, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per benefit unit, for Benefit Zone 10 will escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum charge assessment per benefit unit \$648.54.

**Benefit Zone 14** - After two failed elections, the irrigation and maintenance in Benefit Zone 14 was reduced due to lack of funding, causing the landscape areas to deteriorate. In order to revitalize declined areas and keep up with inflation and rising costs, this benefit zone underwent a third Proposition 218 ballot proceeding on August 28, 2007. Benefit Zone 14 received a favorable majority vote and the charge per benefit unit was increased from \$100 to \$230 in Fiscal Year 2009. The rate per benefit unit for Benefit Zone 14 is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2013, by the percent increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per unit for Benefit Zone 14, escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$270.81.

The landscaped and irrigated areas increased to approximately 31.44 acres in Fiscal Year 2009 and due to the increase in the assessment, a phased capital improvement program was implemented to revitalize areas that had been subjected to previous years' cutbacks. This phased program started in Fiscal Year 2009 with the first year's allocation of approximately \$636,000. Of this amount, \$450,000 was borrowed from Fund 289, to be paid back over 10 years at 4.2% interest. The loan was paid in full in Fiscal Year 2019.

**Benefit Zone 19** - The 1996-97 Notice of Public Meeting and Hearing noticed (and subsequently confirmed by the City Council) a \$7.00 per benefit unit per Fiscal Year increase from \$107.00 to a maximum of \$126.00 per year. Therefore, Fiscal Year 2015 and future years' annual levy for maintenance expenses will be the same as the prior Fiscal Year 2014 levy of \$126.00 per benefit unit (at the maximum). Since this benefit zone is lacking an inflation factor in its assessment methodology the maintenance costs will continue

to increase while the revenues remain the same, causing this benefit zone's deficit to increase annually. A Proposition 218 Ballot proceeding will be necessary for this benefit zone in order to eliminate the deficit and replenish the reserves.

**Benefit Zone 20** - After a failed election, Benefit Zone 20 property owners met the City's requisite of 621 signed petitions that triggered a re-vote on August 6, 2008 to increase the annual rate per benefit unit from \$180.00 to \$360.00 and to be subject to an inflationary factor in future Fiscal Years, commencing Fiscal Year 2011, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. Due to the approved measure, the added revenue from the increase allows Zone 20 to keep up with the rising costs in labor, utilities, plant materials, and irrigation parts and implement a much needed Capital Improvement and/or Plant Rehabilitation Program which began in Fiscal Year 2009. The maximum charge assessment per benefit unit for Benefit Zone 20 escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$440.39.

### Reserves Outlook

After reviewing all of the benefit zones within the District, it is apparent that a majority of the benefit zones have the ability to generate reserves. However, Benefit Zones 2, 6, 17, 18, and 19 continue to draw on reserve funds at an increasing rate primarily as result of the increase in utility costs and the absence of an annual inflator for the assessment rates. Measures have been taken to reduce operating costs through turf removal projects for Zones 2 and 17, see Appendix C. It will be necessary to conduct Proposition 218 Assessment Ballot proceedings for Benefit Zones 17 and 19 in the next few years for the benefit zones to be self-sustaining. Currently, Benefit Zones 1, 4, 7, 10, 14, 15, and 20 are building their reserve funds.

**Whereas**, on May 5th, 2021 the City Council, under the Act, adopted its Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report for Landscape Maintenance District No. 84-2.

**Whereas**, the Resolution of Initiation directed Spicer Consulting Group, LLC. to prepare and file a Report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained; an estimate of the costs of the maintenance, operations, and servicing of the improvements for LMD No. 84-2 for the referenced Fiscal Year; a diagram for LMD No. 84-2 showing the area and properties to be assessed; and an assessment of the estimated costs of the maintenance, operations, and servicing the improvements, assessing the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

**Now Therefore**, the following assessment is made to cover the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within LMD No. 84-2 in proportion to the special benefit received.

### Estimated Benefit Assessments

Each of the parcels within the benefit zones listed below has been deemed to receive proportional special benefit from the maintenance and operation of the improvements within that benefit zone. The percentage change in allowable Fiscal Year 2022 assessment from the allowable Fiscal Year 2021 assessment is as follows:

*Table 4-1  
Proposed Assessment Summary*

Zone	Estimated Charge FY 2022	Estimated Benefit Units	Maximum Assessment per BU FY 2021	Maximum Assessment per BU FY 2022	Maximum Assessment Rate Change (%)	Actual Assessment per BU FY 2022
Benefit Zone 1	\$4,147.36	184.00	\$22.54	\$22.54	0.00%	\$22.54
Benefit Zone 2 <sup>1</sup>	\$81,084.00	699.00	\$116.00	\$116.00	0.00%	\$116.00
Benefit Zone 4	\$93,614.82	514.00	\$186.94	\$192.55	3.00%	\$182.13
Benefit Zone 6	\$315,034.71	4,618.60	\$68.21	\$68.21	0.00%	\$68.21
Benefit Zone 7	\$78,793.00	1,432.60	\$55.00	\$55.00	0.00%	\$55.00
Benefit Zone 10	\$2,139,266.04	3,429.85	\$635.81	\$648.53	2.00%	\$623.72
Benefit Zone 14 <sup>2</sup>	\$588,663.32	2,305.50	\$265.49	\$270.80	2.00%	\$255.33
Benefit Zone 15	\$27,555.68	383.25	\$106.90	\$106.90	0.00%	\$71.90
Benefit Zone 17	\$22,110.00	201.00	\$110.00	\$110.00	0.00%	\$110.00
Benefit Zone 18 <sup>3</sup>	\$35,980.00	359.80	\$100.00	\$100.00	0.00%	\$100.00
Benefit Zone 19	\$464,940.00	3,690.00	\$126.00	\$126.00	0.00%	\$126.00
Benefit Zone 20	\$1,068,698.21	2,573.75	\$431.75	\$440.39	2.00%	\$415.23

<sup>1</sup> The Estimated Charge does not include the \$209 of General Benefit.

<sup>2</sup> The Estimated Charge does not include the \$766 of General Benefit.

<sup>3</sup> The Estimated Charge does not include the \$382 of General Benefit.

Executed this 7th day of July 2021.



A handwritten signature in blue ink, appearing to read "Francisco Martinez Jr.", written over a horizontal line.

FRANCISCO MARTINEZ JR  
PROFESSIONAL CIVIL ENGINEER NO. 84640  
ENGINEER OF WORK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, by adoption of Resolution No. 2021-\_\_\_\_ by City Council.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Corona, California on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA



The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are referenced in Appendix A of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the City Council.

The District boundary coincides with the boundary of the parcels included within the District as of the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

Reference is made to the County Assessor's Roll and Maps for a detailed description of the lines and dimensions of any lot or parcel. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

An Assessment Diagram for each Zone is attached hereto in Appendix B, showing the boundaries of LMD No. 84-2 and the boundaries of each Benefit Zone established within the District as the same existed at the time of the adoption of the Resolution of Intention and the initiation of these proceedings.



# APPENDIX A

## Assessment Rolls



SPIKER CONSULTING  
G R O U P

# Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119140007	\$22.54	119462033	\$22.54	119471013	\$22.54
119140008	\$22.54	119462034	\$22.54	119471014	\$22.54
119140009	\$22.54	119462035	\$22.54	119471015	\$22.54
119140010	\$22.54	119462036	\$22.54	119471016	\$22.54
119140011	\$22.54	119462037	\$22.54	119471017	\$22.54
119140012	\$22.54	119462038	\$22.54	119471018	\$22.54
119140013	\$22.54	119462048	\$22.54	119471019	\$22.54
119461003	\$22.54	119462050	\$22.54	119472001	\$22.54
119461004	\$22.54	119462052	\$22.54	119472002	\$22.54
119461005	\$22.54	119462053	\$22.54	119472003	\$22.54
119461006	\$22.54	119463003	\$22.54	119472004	\$22.54
119461007	\$22.54	119463004	\$22.54	119472005	\$22.54
119461008	\$22.54	119463005	\$22.54	119472006	\$22.54
119461009	\$22.54	119463006	\$22.54	119473001	\$22.54
119461010	\$22.54	119463010	\$22.54	119473002	\$22.54
119461011	\$22.54	119463011	\$22.54	119473003	\$22.54
119462002	\$22.54	119463012	\$22.54	119473004	\$22.54
119462003	\$22.54	119463013	\$22.54	119473005	\$22.54
119462004	\$22.54	119463014	\$22.54	119473006	\$22.54
119462005	\$22.54	119463015	\$22.54	119473007	\$22.54
119462006	\$22.54	119463016	\$22.54	119474001	\$22.54
119462007	\$22.54	119463017	\$22.54	119474002	\$22.54
119462012	\$22.54	119463018	\$22.54	119474003	\$22.54
119462013	\$22.54	119463019	\$22.54	119474004	\$22.54
119462014	\$22.54	119463020	\$22.54	119474005	\$22.54
119462015	\$22.54	119464001	\$22.54	119474006	\$22.54
119462016	\$22.54	119464002	\$22.54	119474007	\$22.54
119462017	\$22.54	119464003	\$22.54	119474008	\$22.54
119462018	\$22.54	119464004	\$22.54	119474009	\$22.54
119462019	\$22.54	119464005	\$22.54	119474010	\$22.54
119462020	\$22.54	119464006	\$22.54	119474011	\$22.54
119462021	\$22.54	119464007	\$22.54	119474012	\$22.54
119462022	\$22.54	119464008	\$22.54	119474013	\$22.54
119462023	\$22.54	119465001	\$22.54	119475001	\$22.54
119462024	\$22.54	119465002	\$22.54	119475002	\$22.54
119462025	\$22.54	119465003	\$22.54	119475003	\$22.54
119462026	\$22.54	119471006	\$22.54	119475004	\$22.54
119462027	\$22.54	119471007	\$22.54	119475005	\$22.54
119462028	\$22.54	119471008	\$22.54	119475006	\$22.54
119462029	\$22.54	119471009	\$22.54	119475007	\$22.54
119462030	\$22.54	119471010	\$22.54	119481001	\$22.54
119462031	\$22.54	119471011	\$22.54	119481002	\$22.54
119462032	\$22.54	119471012	\$22.54	119481003	\$22.54

# Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119482005	\$22.54	119483007	\$22.54	119484005	\$22.54
119482006	\$22.54	119483008	\$22.54	119484006	\$22.54
119482007	\$22.54	119483009	\$22.54	119484007	\$22.54
119482008	\$22.54	119483010	\$22.54	119485001	\$22.54
119482009	\$22.54	119483011	\$22.54	119485002	\$22.54
119482010	\$22.54	119483012	\$22.54	119485003	\$22.54
119482011	\$22.54	119483013	\$22.54	119485004	\$22.54
119482012	\$22.54	119483014	\$22.54	119485005	\$22.54
119482013	\$22.54	119483015	\$22.54	119485006	\$22.54
119482014	\$22.54	119483016	\$22.54	119485007	\$22.54
119482015	\$22.54	119483017	\$22.54	119485008	\$22.54
119482016	\$22.54	119483018	\$22.54	119485009	\$22.54
119482017	\$22.54	119483019	\$22.54	119485010	\$22.54
119482018	\$22.54	119483022	\$22.54	119486001	\$22.54
119482019	\$22.54	119483023	\$22.54	119486002	\$22.54
119483003	\$22.54	119484001	\$22.54	119486003	\$22.54
119483004	\$22.54	119484002	\$22.54	119486004	\$22.54
119483005	\$22.54	119484003	\$22.54		
119483006	\$22.54	119484004	\$22.54		
<b>Totals</b>		<b>Parcels 184</b>		<b>Levy \$4,147.36</b>	

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121384001	\$116.00	121391009	\$116.00	121393003	\$116.00
121384002	\$116.00	121391010	\$116.00	121393004	\$116.00
121384003	\$116.00	121391011	\$116.00	121393005	\$116.00
121384004	\$116.00	121391012	\$116.00	121393006	\$116.00
121384005	\$116.00	121391013	\$116.00	121393007	\$116.00
121384006	\$116.00	121391014	\$116.00	121393008	\$116.00
121384007	\$116.00	121391015	\$116.00	121393009	\$116.00
121384008	\$116.00	121392001	\$116.00	121393010	\$116.00
121384009	\$116.00	121392002	\$116.00	121393011	\$116.00
121384010	\$116.00	121392003	\$116.00	121393012	\$116.00
121384011	\$116.00	121392004	\$116.00	121393013	\$116.00
121384012	\$116.00	121392005	\$116.00	121393014	\$116.00
121384013	\$116.00	121392007	\$116.00	121393015	\$116.00
121384014	\$116.00	121392008	\$116.00	121393016	\$116.00
121384015	\$116.00	121392009	\$116.00	121393017	\$116.00
121384016	\$116.00	121392010	\$116.00	121393018	\$116.00
121384017	\$116.00	121392011	\$116.00	121393019	\$116.00
121384018	\$116.00	121392012	\$116.00	121393020	\$116.00
121384019	\$116.00	121392013	\$116.00	121393021	\$116.00
121384020	\$116.00	121392014	\$116.00	121393022	\$116.00
121385001	\$116.00	121392015	\$116.00	121393023	\$116.00
121385002	\$116.00	121392016	\$116.00	121393024	\$116.00
121385003	\$116.00	121392017	\$116.00	121393025	\$116.00
121385004	\$116.00	121392018	\$116.00	121393026	\$116.00
121385005	\$116.00	121392019	\$116.00	121393027	\$116.00
121385006	\$116.00	121392020	\$116.00	121393028	\$116.00
121385007	\$116.00	121392021	\$116.00	121393029	\$116.00
121385008	\$116.00	121392022	\$116.00	121393030	\$116.00
121385009	\$116.00	121392023	\$116.00	121393031	\$116.00
121385010	\$116.00	121392024	\$116.00	121393032	\$116.00
121385011	\$116.00	121392025	\$116.00	121393033	\$116.00
121385012	\$116.00	121392026	\$116.00	121393034	\$116.00
121385013	\$116.00	121392027	\$116.00	121393035	\$116.00
121385014	\$116.00	121392028	\$116.00	121393036	\$116.00
121385015	\$116.00	121392029	\$116.00	121393037	\$116.00
121391001	\$116.00	121392030	\$116.00	121393038	\$116.00
121391002	\$116.00	121392031	\$116.00	121393039	\$116.00
121391003	\$116.00	121392032	\$116.00	121393040	\$116.00
121391004	\$116.00	121392033	\$116.00	121394001	\$116.00
121391005	\$116.00	121392034	\$116.00	121394002	\$116.00
121391006	\$116.00	121392035	\$116.00	121394003	\$116.00
121391007	\$116.00	121393001	\$116.00	121394004	\$116.00
121391008	\$116.00	121393002	\$116.00	121394005	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121394006	\$116.00	121402003	\$116.00	121403013	\$116.00
121394007	\$116.00	121402004	\$116.00	121403014	\$116.00
121394008	\$116.00	121402005	\$116.00	121404001	\$116.00
121394009	\$116.00	121402006	\$116.00	121404002	\$116.00
121394010	\$116.00	121402007	\$116.00	121404003	\$116.00
121394011	\$116.00	121402008	\$116.00	121404004	\$116.00
121394012	\$116.00	121402009	\$116.00	121404005	\$116.00
121394013	\$116.00	121402010	\$116.00	121404006	\$116.00
121394014	\$116.00	121402011	\$116.00	121404007	\$116.00
121394015	\$116.00	121402012	\$116.00	121404008	\$116.00
121394016	\$116.00	121402013	\$116.00	121404009	\$116.00
121394017	\$116.00	121402014	\$116.00	121404010	\$116.00
121394018	\$116.00	121402015	\$116.00	121404011	\$116.00
121394019	\$116.00	121402016	\$116.00	121404012	\$116.00
121394020	\$116.00	121402017	\$116.00	121404013	\$116.00
121394021	\$116.00	121402018	\$116.00	121404014	\$116.00
121394022	\$116.00	121402019	\$116.00	121404015	\$116.00
121394023	\$116.00	121402020	\$116.00	121404016	\$116.00
121394024	\$116.00	121402021	\$116.00	121404017	\$116.00
121394025	\$116.00	121402022	\$116.00	121404018	\$116.00
121394026	\$116.00	121402023	\$116.00	121404019	\$116.00
121394027	\$116.00	121402024	\$116.00	121404020	\$116.00
121394028	\$116.00	121402026	\$116.00	121404021	\$116.00
121394029	\$116.00	121402027	\$116.00	121404022	\$116.00
121394030	\$116.00	121402028	\$116.00	121404023	\$116.00
121394031	\$116.00	121402029	\$116.00	121404024	\$116.00
121394032	\$116.00	121402030	\$116.00	121404025	\$116.00
121394033	\$116.00	121402031	\$116.00	121404026	\$116.00
121394034	\$116.00	121402032	\$116.00	121404027	\$116.00
121394035	\$116.00	121402033	\$116.00	121404028	\$116.00
121394036	\$116.00	121402034	\$116.00	121404029	\$116.00
121394037	\$116.00	121403001	\$116.00	121404030	\$116.00
121394038	\$116.00	121403002	\$116.00	121404031	\$116.00
121394039	\$116.00	121403003	\$116.00	121404032	\$116.00
121401001	\$116.00	121403004	\$116.00	121404033	\$116.00
121401002	\$116.00	121403005	\$116.00	121404034	\$116.00
121401003	\$116.00	121403006	\$116.00	121404035	\$116.00
121401004	\$116.00	121403007	\$116.00	121404036	\$116.00
121401005	\$116.00	121403008	\$116.00	121404037	\$116.00
121401006	\$116.00	121403009	\$116.00	121404038	\$116.00
121401007	\$116.00	121403010	\$116.00	121404039	\$116.00
121402001	\$116.00	121403011	\$116.00	121404040	\$116.00
121402002	\$116.00	121403012	\$116.00	121404041	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121404042	\$116.00	121411029	\$116.00	121421004	\$116.00
121404043	\$116.00	121411030	\$116.00	121421005	\$116.00
121404044	\$116.00	121411031	\$116.00	121421006	\$116.00
121404045	\$116.00	121411032	\$116.00	121421007	\$116.00
121404046	\$116.00	121411033	\$116.00	121421008	\$116.00
121404047	\$116.00	121411034	\$116.00	121421009	\$116.00
121404048	\$116.00	121411035	\$116.00	121421010	\$116.00
121404049	\$116.00	121411036	\$116.00	121421011	\$116.00
121404050	\$116.00	121412001	\$116.00	121421012	\$116.00
121404051	\$116.00	121412002	\$116.00	121421013	\$116.00
121404052	\$116.00	121412003	\$116.00	121421014	\$116.00
121404053	\$116.00	121412004	\$116.00	121421015	\$116.00
121404054	\$116.00	121412005	\$116.00	121421016	\$116.00
121404055	\$116.00	121412006	\$116.00	121421017	\$116.00
121404056	\$116.00	121412007	\$116.00	121422001	\$116.00
121411001	\$116.00	121412008	\$116.00	121422002	\$116.00
121411002	\$116.00	121412009	\$116.00	121422003	\$116.00
121411003	\$116.00	121412010	\$116.00	121422004	\$116.00
121411004	\$116.00	121412011	\$116.00	121422005	\$116.00
121411005	\$116.00	121412012	\$116.00	121422006	\$116.00
121411006	\$116.00	121412013	\$116.00	121422007	\$116.00
121411007	\$116.00	121412014	\$116.00	121422008	\$116.00
121411008	\$116.00	121412015	\$116.00	121422009	\$116.00
121411009	\$116.00	121412016	\$116.00	121422010	\$116.00
121411010	\$116.00	121412017	\$116.00	121422011	\$116.00
121411011	\$116.00	121413001	\$116.00	121422012	\$116.00
121411012	\$116.00	121413002	\$116.00	121422013	\$116.00
121411013	\$116.00	121413003	\$116.00	121422014	\$116.00
121411014	\$116.00	121413004	\$116.00	121422015	\$116.00
121411015	\$116.00	121413005	\$116.00	121422016	\$116.00
121411016	\$116.00	121413006	\$116.00	121422017	\$116.00
121411017	\$116.00	121413007	\$116.00	121422018	\$116.00
121411018	\$116.00	121413008	\$116.00	121422019	\$116.00
121411019	\$116.00	121414001	\$116.00	121422020	\$116.00
121411020	\$116.00	121414002	\$116.00	121422021	\$116.00
121411021	\$116.00	121414003	\$116.00	121422022	\$116.00
121411022	\$116.00	121414004	\$116.00	121422023	\$116.00
121411023	\$116.00	121414005	\$116.00	121422024	\$116.00
121411024	\$116.00	121414006	\$116.00	121422025	\$116.00
121411025	\$116.00	121414007	\$116.00	121422026	\$116.00
121411026	\$116.00	121421001	\$116.00	121422027	\$116.00
121411027	\$116.00	121421002	\$116.00	121422028	\$116.00
121411028	\$116.00	121421003	\$116.00	121422029	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121422030	\$116.00	121451005	\$116.00	121491017	\$116.00
121422031	\$116.00	121451006	\$116.00	121491018	\$116.00
121422032	\$116.00	121451007	\$116.00	121491019	\$116.00
121423001	\$116.00	121451008	\$116.00	121491020	\$116.00
121423002	\$116.00	121451009	\$116.00	121491021	\$116.00
121423003	\$116.00	121451010	\$116.00	121491022	\$116.00
121423004	\$116.00	121451011	\$116.00	121491023	\$116.00
121423005	\$116.00	121451012	\$116.00	121491024	\$116.00
121423006	\$116.00	121451013	\$116.00	121491025	\$116.00
121423007	\$116.00	121451014	\$116.00	121491026	\$116.00
121423008	\$116.00	121451015	\$116.00	121492001	\$116.00
121423009	\$116.00	121452001	\$116.00	121492002	\$116.00
121423010	\$116.00	121452002	\$116.00	121492003	\$116.00
121424001	\$116.00	121452003	\$116.00	121492004	\$116.00
121424002	\$116.00	121452004	\$116.00	121492005	\$116.00
121424003	\$116.00	121452005	\$116.00	121492006	\$116.00
121424004	\$116.00	121452006	\$116.00	121492007	\$116.00
121424005	\$116.00	121452007	\$116.00	121492008	\$116.00
121424006	\$116.00	121452008	\$116.00	121492009	\$116.00
121424007	\$116.00	121452009	\$116.00	121492010	\$116.00
121424008	\$116.00	121452010	\$116.00	121492011	\$116.00
121424009	\$116.00	121452011	\$116.00	121492012	\$116.00
121424010	\$116.00	121452012	\$116.00	121492013	\$116.00
121424011	\$116.00	121452013	\$116.00	121492014	\$116.00
121424012	\$116.00	121452014	\$116.00	121492015	\$116.00
121424013	\$116.00	121452015	\$116.00	121492016	\$116.00
121424014	\$116.00	121452016	\$116.00	121493001	\$116.00
121424015	\$116.00	121491001	\$116.00	121493002	\$116.00
121425001	\$116.00	121491002	\$116.00	121493003	\$116.00
121425002	\$116.00	121491003	\$116.00	121493004	\$116.00
121425003	\$116.00	121491004	\$116.00	121493005	\$116.00
121425004	\$116.00	121491005	\$116.00	121493006	\$116.00
121425005	\$116.00	121491006	\$116.00	121493007	\$116.00
121425006	\$116.00	121491007	\$116.00	121493008	\$116.00
121425007	\$116.00	121491008	\$116.00	121493009	\$116.00
121425008	\$116.00	121491009	\$116.00	121493010	\$116.00
121425009	\$116.00	121491010	\$116.00	121493011	\$116.00
121425010	\$116.00	121491011	\$116.00	121493012	\$116.00
121425011	\$116.00	121491012	\$116.00	121493013	\$116.00
121451001	\$116.00	121491013	\$116.00	121493014	\$116.00
121451002	\$116.00	121491014	\$116.00	121493015	\$116.00
121451003	\$116.00	121491015	\$116.00	121493016	\$116.00
121451004	\$116.00	121491016	\$116.00	121493017	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121493018	\$116.00	121502005	\$116.00	121503033	\$116.00
121493019	\$116.00	121502006	\$116.00	121503034	\$116.00
121493020	\$116.00	121502007	\$116.00	121503035	\$116.00
121493021	\$116.00	121502008	\$116.00	121503036	\$116.00
121493022	\$116.00	121502009	\$116.00	121504001	\$116.00
121493025	\$116.00	121502010	\$116.00	121504002	\$116.00
121493026	\$116.00	121502011	\$116.00	121504003	\$116.00
121493027	\$116.00	121502012	\$116.00	121504004	\$116.00
121493028	\$116.00	121502013	\$116.00	121504005	\$116.00
121493029	\$116.00	121502014	\$116.00	121504006	\$116.00
121493030	\$116.00	121502015	\$116.00	121504007	\$116.00
121493031	\$116.00	121503001	\$116.00	121504008	\$116.00
121493032	\$116.00	121503002	\$116.00	121504009	\$116.00
121493033	\$116.00	121503003	\$116.00	121504010	\$116.00
121493034	\$116.00	121503004	\$116.00	121504011	\$116.00
121493035	\$116.00	121503005	\$116.00	121504012	\$116.00
121493036	\$116.00	121503006	\$116.00	121504013	\$116.00
121493037	\$116.00	121503007	\$116.00	121504014	\$116.00
121493038	\$116.00	121503008	\$116.00	121511001	\$113.36
121493039	\$116.00	121503009	\$116.00	121511002	\$113.36
121493040	\$116.00	121503010	\$116.00	121511003	\$113.36
121493041	\$116.00	121503011	\$116.00	121511004	\$113.36
121493042	\$116.00	121503012	\$116.00	121511005	\$113.36
121493043	\$116.00	121503013	\$116.00	121511006	\$113.36
121493044	\$116.00	121503014	\$116.00	121511007	\$113.36
121493045	\$116.00	121503015	\$116.00	121511008	\$113.36
121493046	\$116.00	121503016	\$116.00	121511009	\$113.36
121501001	\$116.00	121503017	\$116.00	121511010	\$113.36
121501002	\$116.00	121503018	\$116.00	121511011	\$113.36
121501003	\$116.00	121503019	\$116.00	121512001	\$113.36
121501004	\$116.00	121503020	\$116.00	121512002	\$113.36
121501005	\$116.00	121503021	\$116.00	121512003	\$113.36
121501006	\$116.00	121503022	\$116.00	121512004	\$113.36
121501007	\$116.00	121503023	\$116.00	121512005	\$113.36
121501008	\$116.00	121503024	\$116.00	121512006	\$113.36
121501009	\$116.00	121503025	\$116.00	121512007	\$113.36
121501010	\$116.00	121503026	\$116.00	121512008	\$113.36
121501011	\$116.00	121503027	\$116.00	121512009	\$113.36
121501012	\$116.00	121503028	\$116.00	121512010	\$113.36
121502001	\$116.00	121503029	\$116.00	121512011	\$113.36
121502002	\$116.00	121503030	\$116.00	121512012	\$113.36
121502003	\$116.00	121503031	\$116.00	121512013	\$113.36
121502004	\$116.00	121503032	\$116.00	121512014	\$113.36



# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121512015	\$113.36	121512034	\$113.36	121513002	\$113.36
121512016	\$113.36	121512035	\$113.36	121513003	\$113.36
121512017	\$113.36	121512036	\$113.36	121513004	\$113.36
121512018	\$113.36	121512037	\$113.36	121513005	\$113.36
121512019	\$113.36	121512038	\$113.36	121513006	\$113.36
121512020	\$113.36	121512039	\$113.36	121513007	\$113.36
121512022	\$113.36	121512040	\$113.36	121513008	\$113.36
121512023	\$113.36	121512041	\$113.36	121513009	\$113.36
121512024	\$113.36	121512042	\$113.36	121513010	\$113.36
121512025	\$113.36	121512043	\$113.36	121513011	\$113.36
121512026	\$113.36	121512044	\$113.36	121513012	\$113.36
121512027	\$113.36	121512045	\$113.36	121513013	\$113.36
121512028	\$113.36	121512046	\$113.36	121513014	\$113.36
121512029	\$113.36	121512047	\$113.36	121513015	\$113.36
121512030	\$113.36	121512048	\$113.36	121513016	\$113.36
121512031	\$113.36	121512049	\$113.36	121513017	\$113.36
121512032	\$113.36	121512050	\$113.36	121513018	\$113.36
121512033	\$113.36	121513001	\$113.36	121513019	\$113.36
<b>Totals</b>		<b>Parcels 699</b>		<b>Levy \$80,875.44</b>	

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107231001	\$182.12	107234006	\$182.12	107251005	\$182.12
107231002	\$182.12	107240001	\$182.12	107251006	\$182.12
107231003	\$182.12	107240002	\$182.12	107251007	\$182.12
107231004	\$182.12	107240003	\$182.12	107251008	\$182.12
107231005	\$182.12	107240004	\$182.12	107251009	\$182.12
107231006	\$182.12	107240005	\$182.12	107251010	\$182.12
107231007	\$182.12	107240006	\$182.12	107251011	\$182.12
107231008	\$182.12	107240007	\$182.12	107251012	\$182.12
107231009	\$182.12	107240008	\$182.12	107251013	\$182.12
107231010	\$182.12	107240009	\$182.12	107251014	\$182.12
107231011	\$182.12	107240010	\$182.12	107252002	\$182.12
107231012	\$182.12	107240011	\$182.12	107252003	\$182.12
107231013	\$182.12	107240012	\$182.12	107252004	\$182.12
107231014	\$182.12	107240013	\$182.12	107252005	\$182.12
107231015	\$182.12	107240014	\$182.12	107252006	\$182.12
107231016	\$182.12	107240015	\$182.12	107252007	\$182.12
107231017	\$182.12	107240016	\$182.12	107252008	\$182.12
107231018	\$182.12	107240017	\$182.12	107252009	\$182.12
107231019	\$182.12	107240018	\$182.12	107252010	\$182.12
107231020	\$182.12	107240019	\$182.12	107252011	\$182.12
107231021	\$182.12	107240020	\$182.12	107252012	\$182.12
107231022	\$182.12	107240021	\$182.12	107252013	\$182.12
107231023	\$182.12	107240022	\$182.12	107252014	\$182.12
107231024	\$182.12	107240023	\$182.12	107252015	\$182.12
107232001	\$182.12	107240024	\$182.12	107252016	\$182.12
107232002	\$182.12	107240025	\$182.12	107252017	\$182.12
107232003	\$182.12	107240026	\$182.12	107252018	\$182.12
107232004	\$182.12	107240027	\$182.12	107252019	\$182.12
107232005	\$182.12	107240028	\$182.12	107252020	\$182.12
107232006	\$182.12	107240029	\$182.12	107252021	\$182.12
107232007	\$182.12	107240030	\$182.12	107252022	\$182.12
107232008	\$182.12	107240031	\$182.12	107252023	\$182.12
107232009	\$182.12	107240032	\$182.12	107252024	\$182.12
107233005	\$182.12	107240033	\$182.12	107252025	\$182.12
107233006	\$182.12	107240034	\$182.12	107252026	\$182.12
107233007	\$182.12	107240035	\$182.12	107252027	\$182.12
107233008	\$182.12	107240036	\$182.12	107252028	\$182.12
107233009	\$182.12	107240037	\$182.12	107253001	\$182.12
107233010	\$182.12	107240038	\$182.12	107253002	\$182.12
107234001	\$182.12	107240039	\$182.12	107253003	\$182.12
107234002	\$182.12	107251001	\$182.12	107253004	\$182.12
107234003	\$182.12	107251002	\$182.12	107253005	\$182.12
107234004	\$182.12	107251003	\$182.12	107253006	\$182.12
107234005	\$182.12	107251004	\$182.12	107253007	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107253008	\$182.12	107255017	\$182.12	107262022	\$182.12
107253009	\$182.12	107255018	\$182.12	107262023	\$182.12
107253010	\$182.12	107255019	\$182.12	107262024	\$182.12
107253011	\$182.12	107255020	\$182.12	107262025	\$182.12
107253012	\$182.12	107255021	\$182.12	107262026	\$182.12
107253013	\$182.12	107255022	\$182.12	107262027	\$182.12
107253014	\$182.12	107255023	\$182.12	107262028	\$182.12
107253015	\$182.12	107255024	\$182.12	107262029	\$182.12
107253016	\$182.12	107261001	\$182.12	107262030	\$182.12
107254001	\$182.12	107261002	\$182.12	107262031	\$182.12
107254002	\$182.12	107261003	\$182.12	107262032	\$182.12
107254003	\$182.12	107261004	\$182.12	107262033	\$182.12
107254004	\$182.12	107261005	\$182.12	107262034	\$182.12
107254005	\$182.12	107261006	\$182.12	107262035	\$182.12
107254006	\$182.12	107261007	\$182.12	107262036	\$182.12
107254007	\$182.12	107261008	\$182.12	107262039	\$182.12
107254008	\$182.12	107261009	\$182.12	107262040	\$182.12
107254009	\$182.12	107261010	\$182.12	107262041	\$182.12
107254010	\$182.12	107261011	\$182.12	107262042	\$182.12
107254011	\$182.12	107261012	\$182.12	107262043	\$182.12
107254012	\$182.12	107261013	\$182.12	107262044	\$182.12
107254013	\$182.12	107261014	\$182.12	107262045	\$182.12
107254014	\$182.12	107262001	\$182.12	107262046	\$182.12
107254015	\$182.12	107262002	\$182.12	107262047	\$182.12
107254016	\$182.12	107262003	\$182.12	107262048	\$182.12
107254017	\$182.12	107262004	\$182.12	107262049	\$182.12
107254018	\$182.12	107262005	\$182.12	107262050	\$182.12
107255001	\$182.12	107262006	\$182.12	107262051	\$182.12
107255002	\$182.12	107262007	\$182.12	107262052	\$182.12
107255003	\$182.12	107262008	\$182.12	107262053	\$182.12
107255004	\$182.12	107262009	\$182.12	107262054	\$182.12
107255005	\$182.12	107262010	\$182.12	107262055	\$182.12
107255006	\$182.12	107262011	\$182.12	107263001	\$182.12
107255007	\$182.12	107262012	\$182.12	107263002	\$182.12
107255008	\$182.12	107262013	\$182.12	107263003	\$182.12
107255009	\$182.12	107262014	\$182.12	107263004	\$182.12
107255010	\$182.12	107262015	\$182.12	107263005	\$182.12
107255011	\$182.12	107262016	\$182.12	107263006	\$182.12
107255012	\$182.12	107262017	\$182.12	107263007	\$182.12
107255013	\$182.12	107262018	\$182.12	107263008	\$182.12
107255014	\$182.12	107262019	\$182.12	107263009	\$182.12
107255015	\$182.12	107262020	\$182.12	107263010	\$182.12
107255016	\$182.12	107262021	\$182.12	107264001	\$182.12
107264002	\$182.12	107273009	\$182.12	107282019	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107264003	\$182.12	107273010	\$182.12	107282020	\$182.12
107264004	\$182.12	107273011	\$182.12	107282021	\$182.12
107264005	\$182.12	107273012	\$182.12	107282022	\$182.12
107264006	\$182.12	107273013	\$182.12	107282023	\$182.12
107264007	\$182.12	107273014	\$182.12	107282024	\$182.12
107264008	\$182.12	107273015	\$182.12	107282025	\$182.12
107264009	\$182.12	107273016	\$182.12	107282026	\$182.12
107264010	\$182.12	107273017	\$182.12	107282027	\$182.12
107264011	\$182.12	107273018	\$182.12	107282028	\$182.12
107264012	\$182.12	107273019	\$182.12	107282029	\$182.12
107264013	\$182.12	107273020	\$182.12	107282030	\$182.12
107264014	\$182.12	107273021	\$182.12	107282031	\$182.12
107264015	\$182.12	107273022	\$182.12	107282032	\$182.12
107271001	\$182.12	107274001	\$182.12	107282033	\$182.12
107271002	\$182.12	107274002	\$182.12	107282034	\$182.12
107271003	\$182.12	107274003	\$182.12	107282035	\$182.12
107271004	\$182.12	107274004	\$182.12	107282036	\$182.12
107272001	\$182.12	107274005	\$182.12	107282037	\$182.12
107272002	\$182.12	107281001	\$182.12	107282038	\$182.12
107272003	\$182.12	107281002	\$182.12	107282039	\$182.12
107272004	\$182.12	107281003	\$182.12	107282040	\$182.12
107272005	\$182.12	107281004	\$182.12	107283001	\$182.12
107272006	\$182.12	107281005	\$182.12	107283002	\$182.12
107272007	\$182.12	107281006	\$182.12	107283003	\$182.12
107272008	\$182.12	107282001	\$182.12	107283004	\$182.12
107272009	\$182.12	107282002	\$182.12	107283005	\$182.12
107272010	\$182.12	107282003	\$182.12	107283006	\$182.12
107272011	\$182.12	107282004	\$182.12	107283007	\$182.12
107272012	\$182.12	107282005	\$182.12	107283008	\$182.12
107272013	\$182.12	107282006	\$182.12	107283009	\$182.12
107272014	\$182.12	107282007	\$182.12	107283010	\$182.12
107272015	\$182.12	107282008	\$182.12	107283011	\$182.12
107272016	\$182.12	107282009	\$182.12	107283012	\$182.12
107272017	\$182.12	107282010	\$182.12	107283013	\$182.12
107272018	\$182.12	107282011	\$182.12	107284001	\$182.12
107273002	\$182.12	107282012	\$182.12	107284002	\$182.12
107273003	\$182.12	107282013	\$182.12	107284003	\$182.12
107273004	\$182.12	107282014	\$182.12	107284004	\$182.12
107273005	\$182.12	107282015	\$182.12	107284005	\$182.12
107273006	\$182.12	107282016	\$182.12	107284006	\$182.12
107273007	\$182.12	107282017	\$182.12	107284007	\$182.12
107273008	\$182.12	107282018	\$182.12	107284008	\$182.12
107284009	\$182.12	107292035	\$182.12	107302013	\$182.12
107284010	\$182.12	107292036	\$182.12	107302014	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107284011	\$182.12	107292037	\$182.12	107302015	\$182.12
107291001	\$182.12	107292038	\$182.12	107302016	\$182.12
107291002	\$182.12	107292039	\$182.12	107302017	\$182.12
107291003	\$182.12	107292040	\$182.12	107302018	\$182.12
107291004	\$182.12	107292041	\$182.12	107302019	\$182.12
107291005	\$182.12	107292042	\$182.12	107302020	\$182.12
107292001	\$182.12	107292043	\$182.12	107302021	\$182.12
107292002	\$182.12	107292044	\$182.12	107302022	\$182.12
107292003	\$182.12	107292045	\$182.12	107302023	\$182.12
107292004	\$182.12	107292046	\$182.12	107302024	\$182.12
107292005	\$182.12	107292047	\$182.12	107302025	\$182.12
107292006	\$182.12	107292048	\$182.12	107302026	\$182.12
107292007	\$182.12	107292049	\$182.12	107302027	\$182.12
107292008	\$182.12	107292050	\$182.12	107302028	\$182.12
107292009	\$182.12	107292051	\$182.12	107302029	\$182.12
107292010	\$182.12	107292052	\$182.12	107302030	\$182.12
107292011	\$182.12	107292053	\$182.12	107302031	\$182.12
107292012	\$182.12	107292054	\$182.12	107302032	\$182.12
107292013	\$182.12	107292055	\$182.12	107302033	\$182.12
107292014	\$182.12	107292056	\$182.12	107302034	\$182.12
107292015	\$182.12	107292057	\$182.12	107302035	\$182.12
107292016	\$182.12	107292058	\$182.12	107302036	\$182.12
107292017	\$182.12	107301001	\$182.12	107302037	\$182.12
107292018	\$182.12	107301002	\$182.12	107302038	\$182.12
107292019	\$182.12	107301003	\$182.12	107302039	\$182.12
107292020	\$182.12	107301004	\$182.12	107302040	\$182.12
107292021	\$182.12	107301005	\$182.12	107302041	\$182.12
107292022	\$182.12	107301006	\$182.12	107302042	\$182.12
107292023	\$182.12	107302001	\$182.12	107302043	\$182.12
107292024	\$182.12	107302002	\$182.12	107302044	\$182.12
107292025	\$182.12	107302003	\$182.12	107302045	\$182.12
107292026	\$182.12	107302004	\$182.12	107302046	\$182.12
107292027	\$182.12	107302005	\$182.12	107302047	\$182.12
107292028	\$182.12	107302006	\$182.12	107302048	\$182.12
107292029	\$182.12	107302007	\$182.12	107302049	\$182.12
107292030	\$182.12	107302008	\$182.12	107302050	\$182.12
107292031	\$182.12	107302009	\$182.12	107302051	\$182.12
107292032	\$182.12	107302010	\$182.12	107302052	\$182.12
107292033	\$182.12	107302011	\$182.12		
107292034	\$182.12	107302012	\$182.12		

**Totals**

**Parcels 514**

**Levy \$93,609.68**

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115180054	\$6,097.96	115391013	\$40.92	115391056	\$40.92
115180055	\$11,991.30	115391014	\$40.92	115391057	\$40.92
115290033	\$184.16	115391015	\$40.92	115391058	\$40.92
115290034	\$303.52	115391016	\$40.92	115391059	\$40.92
115290035	\$266.00	115391017	\$40.92	115391060	\$40.92
115290036	\$368.32	115391018	\$40.92	115391061	\$40.92
115290044	\$341.04	115391019	\$40.92	115391062	\$40.92
115290045	\$320.58	115391020	\$40.92	115391063	\$40.92
115380008	\$3,008.06	115391021	\$40.92	115391064	\$40.92
115380009	\$129.58	115391022	\$40.92	115392001	\$40.92
115380010	\$3,250.20	115391023	\$40.92	115392002	\$40.92
115380011	\$1,432.40	115391024	\$40.92	115392003	\$40.92
115380012	\$344.46	115391025	\$40.92	115392004	\$40.92
115380013	\$1,425.58	115391026	\$40.92	115392005	\$40.92
115380014	\$221.68	115391027	\$40.92	115392006	\$40.92
115380016	\$419.48	115391028	\$40.92	115392007	\$40.92
115380019	\$920.82	115391029	\$40.92	115392008	\$40.92
115380020	\$150.06	115391030	\$40.92	115392009	\$40.92
115380021	\$296.70	115391031	\$40.92	115392010	\$40.92
115380022	\$279.66	115391032	\$40.92	115392011	\$40.92
115380023	\$327.40	115391033	\$40.92	115392012	\$40.92
115380024	\$439.94	115391034	\$40.92	115392013	\$40.92
115380025	\$896.96	115391035	\$40.92	115392014	\$40.92
115380026	\$668.44	115391036	\$40.92	115392015	\$40.92
115380027	\$194.38	115391037	\$40.92	115392016	\$40.92
115380028	\$753.72	115391038	\$40.92	115392017	\$40.92
115380029	\$1,838.24	115391039	\$40.92	115392018	\$40.92
115380033	\$1,036.78	115391040	\$40.92	115392019	\$40.92
115380034	\$412.66	115391041	\$40.92	115392020	\$40.92
115380035	\$1,330.08	115391042	\$40.92	115392021	\$40.92
115390015	\$20,135.58	115391043	\$40.92	115392022	\$40.92
115391001	\$40.92	115391044	\$40.92	115392023	\$40.92
115391002	\$40.92	115391045	\$40.92	115392024	\$40.92
115391003	\$40.92	115391046	\$40.92	115392026	\$40.92
115391004	\$40.92	115391047	\$40.92	115392027	\$40.92
115391005	\$40.92	115391048	\$40.92	115392028	\$40.92
115391006	\$40.92	115391049	\$40.92	115392029	\$40.92
115391007	\$40.92	115391050	\$40.92	115392030	\$40.92
115391008	\$40.92	115391051	\$40.92	115392031	\$40.92
115391009	\$40.92	115391052	\$40.92	115392032	\$40.92
115391010	\$40.92	115391053	\$40.92	115392033	\$40.92
115391011	\$40.92	115391054	\$40.92	115392034	\$40.92
115391012	\$40.92	115391055	\$40.92	115392035	\$40.92

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115392036	\$40.92	115392080	\$40.92	115393033	\$40.92
115392037	\$40.92	115392081	\$40.92	115393034	\$40.92
115392038	\$40.92	115392082	\$40.92	115393035	\$40.92
115392039	\$40.92	115392083	\$40.92	115393036	\$40.92
115392040	\$40.92	115392084	\$40.92	115393037	\$40.92
115392041	\$40.92	115392085	\$40.92	115393038	\$40.92
115392042	\$40.92	115392086	\$40.92	115393039	\$40.92
115392043	\$40.92	115392087	\$40.92	115393040	\$40.92
115392044	\$40.92	115392088	\$40.92	115393041	\$40.92
115392045	\$40.92	115392089	\$40.92	115393042	\$40.92
115392046	\$40.92	115392090	\$40.92	115393043	\$40.92
115392047	\$40.92	115393001	\$40.92	115393044	\$40.92
115392048	\$40.92	115393002	\$40.92	115393045	\$40.92
115392049	\$40.92	115393003	\$40.92	115393046	\$40.92
115392051	\$40.92	115393004	\$40.92	115393047	\$40.92
115392052	\$40.92	115393005	\$40.92	115393048	\$40.92
115392053	\$40.92	115393006	\$40.92	115393050	\$40.92
115392054	\$40.92	115393007	\$40.92	115393051	\$40.92
115392055	\$40.92	115393008	\$40.92	115393052	\$40.92
115392056	\$40.92	115393009	\$40.92	115393053	\$40.92
115392057	\$40.92	115393010	\$40.92	115393054	\$40.92
115392058	\$40.92	115393011	\$40.92	115393055	\$40.92
115392059	\$40.92	115393012	\$40.92	115393056	\$40.92
115392060	\$40.92	115393013	\$40.92	115393057	\$40.92
115392061	\$40.92	115393014	\$40.92	115393058	\$40.92
115392062	\$40.92	115393015	\$40.92	115393059	\$40.92
115392063	\$40.92	115393016	\$40.92	115393060	\$40.92
115392064	\$40.92	115393017	\$40.92	115393061	\$40.92
115392065	\$40.92	115393018	\$40.92	115393062	\$40.92
115392066	\$40.92	115393019	\$40.92	115393063	\$40.92
115392067	\$40.92	115393020	\$40.92	115393064	\$40.92
115392068	\$40.92	115393021	\$40.92	115393065	\$40.92
115392069	\$40.92	115393022	\$40.92	115393066	\$40.92
115392070	\$40.92	115393023	\$40.92	115393067	\$40.92
115392071	\$40.92	115393024	\$40.92	115393068	\$40.92
115392072	\$40.92	115393025	\$40.92	115393069	\$40.92
115392073	\$40.92	115393026	\$40.92	115393070	\$40.92
115392074	\$40.92	115393027	\$40.92	115393071	\$40.92
115392075	\$40.92	115393028	\$40.92	115393072	\$40.92
115392076	\$40.92	115393029	\$40.92	115393073	\$40.92
115392077	\$40.92	115393030	\$40.92	115393074	\$40.92
115392078	\$40.92	115393031	\$40.92	115393075	\$40.92
115392079	\$40.92	115393032	\$40.92	115393076	\$40.92



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115393077	\$40.92	115394023	\$40.92	115412006	\$68.20
115393078	\$40.92	115394024	\$40.92	115412007	\$68.20
115393079	\$40.92	115394025	\$40.92	115412008	\$68.20
115393080	\$40.92	115394026	\$40.92	115413001	\$68.20
115393081	\$40.92	115394027	\$40.92	115413002	\$68.20
115393082	\$40.92	115394028	\$40.92	115413003	\$68.20
115393083	\$40.92	115394029	\$40.92	115413004	\$68.20
115393084	\$40.92	115394030	\$40.92	115413005	\$68.20
115393085	\$40.92	115394031	\$40.92	115413006	\$68.20
115393086	\$40.92	115394032	\$40.92	115413007	\$68.20
115393087	\$40.92	115394033	\$40.92	115413008	\$68.20
115393088	\$40.92	115394034	\$40.92	115414001	\$68.20
115393089	\$40.92	115394035	\$40.92	115414002	\$68.20
115393090	\$40.92	115394036	\$40.92	115414003	\$68.20
115393091	\$40.92	115394037	\$40.92	115414004	\$68.20
115393092	\$40.92	115394038	\$40.92	115414005	\$68.20
115393093	\$40.92	115394039	\$40.92	115414006	\$68.20
115393094	\$40.92	115394040	\$40.92	115414007	\$68.20
115393095	\$40.92	115394041	\$40.92	115414008	\$68.20
115393096	\$40.92	115394042	\$40.92	115414009	\$68.20
115393097	\$40.92	115394043	\$40.92	115414010	\$68.20
115394001	\$40.92	115394044	\$40.92	115414011	\$68.20
115394002	\$40.92	115394045	\$40.92	115414012	\$68.20
115394003	\$40.92	115394046	\$40.92	115414013	\$68.20
115394004	\$40.92	115394047	\$40.92	115414014	\$68.20
115394005	\$40.92	115394048	\$40.92	115414015	\$68.20
115394006	\$40.92	115411001	\$68.20	115414016	\$68.20
115394007	\$40.92	115411002	\$68.20	115414017	\$68.20
115394008	\$40.92	115411003	\$68.20	115414018	\$68.20
115394009	\$40.92	115411004	\$68.20	115414019	\$68.20
115394010	\$40.92	115411005	\$68.20	115414020	\$68.20
115394011	\$40.92	115411006	\$68.20	115414021	\$68.20
115394012	\$40.92	115411007	\$68.20	115414022	\$68.20
115394013	\$40.92	115411008	\$68.20	115414023	\$68.20
115394014	\$40.92	115411009	\$68.20	115414024	\$68.20
115394015	\$40.92	115411010	\$68.20	115414025	\$68.20
115394016	\$40.92	115411011	\$68.20	115414026	\$68.20
115394017	\$40.92	115411012	\$68.20	115414027	\$68.20
115394018	\$40.92	115412001	\$68.20	115414028	\$68.20
115394019	\$40.92	115412002	\$68.20	115414029	\$68.20
115394020	\$40.92	115412003	\$68.20	115414030	\$68.20
115394021	\$40.92	115412004	\$68.20	115414031	\$68.20
115394022	\$40.92	115412005	\$68.20	115414032	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115414033	\$68.20	115431027	\$68.20	115440007	\$68.20
115414034	\$68.20	115431028	\$68.20	115440008	\$68.20
115414035	\$68.20	115431029	\$68.20	115440009	\$68.20
115414036	\$68.20	115431030	\$68.20	115440010	\$68.20
115414037	\$68.20	115431031	\$68.20	115440011	\$68.20
115414038	\$68.20	115431032	\$68.20	115440012	\$68.20
115414039	\$68.20	115431033	\$68.20	115440013	\$68.20
115414040	\$68.20	115431034	\$68.20	115440014	\$68.20
115414041	\$68.20	115431035	\$68.20	115440015	\$68.20
115414042	\$68.20	115431036	\$68.20	115440016	\$68.20
115414043	\$68.20	115431037	\$68.20	115440017	\$68.20
115414044	\$68.20	115431038	\$68.20	115440018	\$68.20
115414045	\$68.20	115431039	\$68.20	115440019	\$68.20
115414046	\$68.20	115431040	\$68.20	115440020	\$68.20
115414047	\$68.20	115431041	\$68.20	115440021	\$68.20
115414048	\$68.20	115431042	\$68.20	115440022	\$68.20
115414049	\$68.20	115431043	\$68.20	115440023	\$68.20
115431001	\$68.20	115432001	\$68.20	115440024	\$68.20
115431002	\$68.20	115432002	\$68.20	115440025	\$68.20
115431003	\$68.20	115432003	\$68.20	115440026	\$68.20
115431004	\$68.20	115432004	\$68.20	115440027	\$68.20
115431005	\$68.20	115432005	\$68.20	115440028	\$68.20
115431006	\$68.20	115432006	\$68.20	115440029	\$68.20
115431007	\$68.20	115432007	\$68.20	115440030	\$68.20
115431008	\$68.20	115432008	\$68.20	115440031	\$68.20
115431009	\$68.20	115432009	\$68.20	115440032	\$68.20
115431010	\$68.20	115432010	\$68.20	115440033	\$68.20
115431011	\$68.20	115432011	\$68.20	115440034	\$68.20
115431012	\$68.20	115432012	\$68.20	115440035	\$68.20
115431013	\$68.20	115432013	\$68.20	115440036	\$68.20
115431014	\$68.20	115432014	\$68.20	115440037	\$68.20
115431015	\$68.20	115432015	\$68.20	115440038	\$68.20
115431016	\$68.20	115432016	\$68.20	115440039	\$68.20
115431017	\$68.20	115432017	\$68.20	115451001	\$68.20
115431018	\$68.20	115432018	\$68.20	115451002	\$68.20
115431019	\$68.20	115432019	\$68.20	115451003	\$68.20
115431020	\$68.20	115432020	\$68.20	115451004	\$68.20
115431021	\$68.20	115440001	\$68.20	115451005	\$68.20
115431022	\$68.20	115440002	\$68.20	115451006	\$68.20
115431023	\$68.20	115440003	\$68.20	115451007	\$68.20
115431024	\$68.20	115440004	\$68.20	115451008	\$68.20
115431025	\$68.20	115440005	\$68.20	115451009	\$68.20
115431026	\$68.20	115440006	\$68.20	115451010	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115451011	\$68.20	115452014	\$68.20	115462012	\$68.20
115451012	\$68.20	115452015	\$68.20	115462013	\$68.20
115451013	\$68.20	115452016	\$68.20	115462014	\$68.20
115451014	\$68.20	115452017	\$68.20	115462015	\$68.20
115451015	\$68.20	115452018	\$68.20	115462016	\$68.20
115451016	\$68.20	115452019	\$68.20	115462017	\$68.20
115451017	\$68.20	115452020	\$68.20	115462018	\$68.20
115451018	\$68.20	115452021	\$68.20	115462019	\$68.20
115451019	\$68.20	115452022	\$68.20	115462020	\$68.20
115451020	\$68.20	115452023	\$68.20	115462021	\$68.20
115451021	\$68.20	115452024	\$68.20	115462022	\$68.20
115451022	\$68.20	115452025	\$68.20	115462023	\$68.20
115451023	\$68.20	115452026	\$68.20	115462024	\$68.20
115451024	\$68.20	115452027	\$68.20	115462025	\$68.20
115451025	\$68.20	115452028	\$68.20	115462026	\$68.20
115451026	\$68.20	115452029	\$68.20	115462027	\$68.20
115451027	\$68.20	115452030	\$68.20	115462028	\$68.20
115451028	\$68.20	115452031	\$68.20	115462029	\$68.20
115451029	\$68.20	115452032	\$68.20	115462030	\$68.20
115451030	\$68.20	115452033	\$68.20	115462031	\$68.20
115451031	\$68.20	115452034	\$68.20	115462032	\$68.20
115451032	\$68.20	115461001	\$68.20	115463001	\$68.20
115451033	\$68.20	115461002	\$68.20	115463002	\$68.20
115451034	\$68.20	115461003	\$68.20	115463003	\$68.20
115451035	\$68.20	115461004	\$68.20	115463004	\$68.20
115451036	\$68.20	115461005	\$68.20	115463005	\$68.20
115451037	\$68.20	115461006	\$68.20	115463006	\$68.20
115451038	\$68.20	115461007	\$68.20	115463007	\$68.20
115451039	\$68.20	115461008	\$68.20	115463008	\$68.20
115451040	\$68.20	115461009	\$68.20	115463009	\$68.20
115452001	\$68.20	115461010	\$68.20	115463010	\$68.20
115452002	\$68.20	115461011	\$68.20	115463011	\$68.20
115452003	\$68.20	115462001	\$68.20	115463012	\$68.20
115452004	\$68.20	115462002	\$68.20	115463013	\$68.20
115452005	\$68.20	115462003	\$68.20	115463014	\$68.20
115452006	\$68.20	115462004	\$68.20	115463015	\$68.20
115452007	\$68.20	115462005	\$68.20	115463016	\$68.20
115452008	\$68.20	115462006	\$68.20	115463017	\$68.20
115452009	\$68.20	115462007	\$68.20	115463018	\$68.20
115452010	\$68.20	115462008	\$68.20	115463019	\$68.20
115452011	\$68.20	115462009	\$68.20	115463020	\$68.20
115452012	\$68.20	115462010	\$68.20	115463021	\$68.20
115452013	\$68.20	115462011	\$68.20	115463022	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115463023	\$68.20	115471031	\$68.20	115473023	\$68.20
115463024	\$68.20	115471032	\$68.20	115473024	\$68.20
115463025	\$68.20	115471033	\$68.20	115473025	\$68.20
115463026	\$68.20	115471034	\$68.20	115473026	\$68.20
115463027	\$68.20	115471035	\$68.20	115473027	\$68.20
115463028	\$68.20	115471036	\$68.20	115473028	\$68.20
115463029	\$68.20	115471037	\$68.20	115473029	\$68.20
115463030	\$68.20	115471038	\$68.20	115473030	\$68.20
115463031	\$68.20	115471039	\$68.20	115473031	\$68.20
115463032	\$68.20	115472001	\$68.20	115474001	\$68.20
115463033	\$68.20	115472002	\$68.20	115474002	\$68.20
115463034	\$68.20	115472003	\$68.20	115474003	\$68.20
115463035	\$68.20	115472004	\$68.20	115474004	\$68.20
115471001	\$68.20	115472005	\$68.20	115474005	\$68.20
115471002	\$68.20	115472006	\$68.20	115474006	\$68.20
115471003	\$68.20	115472007	\$68.20	115481001	\$68.20
115471004	\$68.20	115472008	\$68.20	115481002	\$68.20
115471005	\$68.20	115472009	\$68.20	115481003	\$68.20
115471006	\$68.20	115472010	\$68.20	115481004	\$68.20
115471007	\$68.20	115472011	\$68.20	115481005	\$68.20
115471008	\$68.20	115472012	\$68.20	115481006	\$68.20
115471009	\$68.20	115473001	\$68.20	115481007	\$68.20
115471010	\$68.20	115473002	\$68.20	115481008	\$68.20
115471011	\$68.20	115473003	\$68.20	115481009	\$68.20
115471012	\$68.20	115473004	\$68.20	115481010	\$68.20
115471013	\$68.20	115473005	\$68.20	115481014	\$68.20
115471014	\$68.20	115473006	\$68.20	115481019	\$68.20
115471015	\$68.20	115473007	\$68.20	115481021	\$68.20
115471016	\$68.20	115473008	\$68.20	115481023	\$68.20
115471017	\$68.20	115473009	\$68.20	115481024	\$68.20
115471018	\$68.20	115473010	\$68.20	115481026	\$68.20
115471019	\$68.20	115473011	\$68.20	115481027	\$68.20
115471020	\$68.20	115473012	\$68.20	115481028	\$68.20
115471021	\$68.20	115473013	\$68.20	115481045	\$68.20
115471022	\$68.20	115473014	\$68.20	115481046	\$68.20
115471023	\$68.20	115473015	\$68.20	115481047	\$68.20
115471024	\$68.20	115473016	\$68.20	115481048	\$68.20
115471025	\$68.20	115473017	\$68.20	115481049	\$68.20
115471026	\$68.20	115473018	\$68.20	115481050	\$68.20
115471027	\$68.20	115473019	\$68.20	115481051	\$68.20
115471028	\$68.20	115473020	\$68.20	115481052	\$68.20
115471029	\$68.20	115473021	\$68.20	115481053	\$68.20
115471030	\$68.20	115473022	\$68.20	115481054	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115482001	\$68.20	115491003	\$68.20	115492031	\$68.20
115482002	\$68.20	115491004	\$68.20	115492032	\$68.20
115482003	\$68.20	115491005	\$68.20	115492033	\$68.20
115482004	\$68.20	115491006	\$68.20	115492034	\$68.20
115482005	\$68.20	115491007	\$68.20	115492035	\$68.20
115482006	\$68.20	115491008	\$68.20	115492036	\$68.20
115482007	\$68.20	115491009	\$68.20	115492037	\$68.20
115482008	\$68.20	115491010	\$68.20	115492038	\$68.20
115482009	\$68.20	115491011	\$68.20	115492039	\$68.20
115482010	\$68.20	115491012	\$68.20	115492040	\$68.20
115482011	\$68.20	115491013	\$68.20	115493001	\$68.20
115482012	\$68.20	115491014	\$68.20	115493002	\$68.20
115482013	\$68.20	115491015	\$68.20	115493003	\$68.20
115482014	\$68.20	115492001	\$68.20	115493004	\$68.20
115482015	\$68.20	115492002	\$68.20	115493005	\$68.20
115482016	\$68.20	115492003	\$68.20	115493006	\$68.20
115482017	\$68.20	115492004	\$68.20	115493007	\$68.20
115482018	\$68.20	115492005	\$68.20	115493008	\$68.20
115482019	\$68.20	115492006	\$68.20	115493009	\$68.20
115482020	\$68.20	115492007	\$68.20	115493010	\$68.20
115482021	\$68.20	115492008	\$68.20	115493011	\$68.20
115482022	\$68.20	115492009	\$68.20	115493012	\$68.20
115482023	\$68.20	115492010	\$68.20	115493013	\$68.20
115482024	\$68.20	115492011	\$68.20	115493014	\$68.20
115482025	\$68.20	115492012	\$68.20	115493015	\$68.20
115482026	\$68.20	115492013	\$68.20	115493016	\$68.20
115482027	\$68.20	115492014	\$68.20	115493017	\$68.20
115482028	\$68.20	115492015	\$68.20	115493018	\$68.20
115482029	\$68.20	115492016	\$68.20	115493019	\$68.20
115482030	\$68.20	115492017	\$68.20	115500002	\$982.22
115482031	\$68.20	115492018	\$68.20	115500004	\$1,309.62
115482032	\$68.20	115492019	\$68.20	115500008	\$1,309.62
115482033	\$68.20	115492020	\$68.20	115500015	\$5,975.18
115482034	\$68.20	115492021	\$68.20	115500016	\$2,619.26
115482035	\$68.20	115492022	\$68.20	115500017	\$1,309.62
115482036	\$68.20	115492023	\$68.20	115521001	\$68.20
115482037	\$68.20	115492024	\$68.20	115521002	\$68.20
115482038	\$68.20	115492025	\$68.20	115521003	\$68.20
115482039	\$68.20	115492026	\$68.20	115521004	\$68.20
115482040	\$68.20	115492027	\$68.20	115521005	\$68.20
115482041	\$68.20	115492028	\$68.20	115521006	\$68.20
115491001	\$68.20	115492029	\$68.20	115521007	\$68.20
115491002	\$68.20	115492030	\$68.20	115521008	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115521009	\$68.20	115531006	\$68.20	115533008	\$68.20
115521010	\$68.20	115531007	\$68.20	115533009	\$68.20
115521011	\$68.20	115531008	\$68.20	115533010	\$68.20
115521012	\$68.20	115531009	\$68.20	115533011	\$68.20
115521013	\$68.20	115531012	\$68.20	115533012	\$68.20
115521014	\$68.20	115532001	\$68.20	115533013	\$68.20
115521015	\$68.20	115532002	\$68.20	115533014	\$68.20
115521016	\$68.20	115532003	\$68.20	115533015	\$68.20
115521017	\$68.20	115532004	\$68.20	115533016	\$68.20
115521018	\$68.20	115532005	\$68.20	115534001	\$68.20
115521019	\$68.20	115532006	\$68.20	115534002	\$68.20
115521020	\$68.20	115532007	\$68.20	115534003	\$68.20
115521021	\$68.20	115532008	\$68.20	115534004	\$68.20
115521022	\$68.20	115532010	\$68.20	115534005	\$68.20
115521023	\$68.20	115532011	\$68.20	115534006	\$68.20
115521024	\$68.20	115532012	\$68.20	115534007	\$68.20
115521025	\$68.20	115532013	\$68.20	115534008	\$68.20
115521026	\$68.20	115532014	\$68.20	115534009	\$68.20
115521027	\$68.20	115532015	\$68.20	115534010	\$68.20
115521028	\$68.20	115532016	\$68.20	115560001	\$68.20
115521030	\$68.20	115532017	\$68.20	115560002	\$68.20
115521031	\$68.20	115532018	\$68.20	115560003	\$68.20
115521032	\$68.20	115532019	\$68.20	115560004	\$68.20
115522001	\$68.20	115532020	\$68.20	115560005	\$68.20
115522003	\$68.20	115532021	\$68.20	115560006	\$68.20
115522004	\$68.20	115532022	\$68.20	115560007	\$68.20
115522005	\$68.20	115532023	\$68.20	115560008	\$68.20
115522006	\$68.20	115532024	\$68.20	115560009	\$68.20
115522007	\$68.20	115532025	\$68.20	115560010	\$68.20
115522008	\$68.20	115532026	\$68.20	115560011	\$68.20
115522009	\$68.20	115532027	\$68.20	115560012	\$68.20
115522010	\$68.20	115532028	\$68.20	115560013	\$68.20
115522011	\$68.20	115532029	\$68.20	115560014	\$68.20
115522012	\$68.20	115532030	\$68.20	115560015	\$68.20
115522013	\$68.20	115532031	\$68.20	115560016	\$68.20
115522014	\$68.20	115532032	\$68.20	115560017	\$68.20
115522015	\$68.20	115533001	\$68.20	115560018	\$68.20
115522016	\$68.20	115533002	\$68.20	115560019	\$68.20
115522017	\$68.20	115533003	\$68.20	115560020	\$68.20
115531002	\$68.20	115533004	\$68.20	115560021	\$68.20
115531003	\$68.20	115533005	\$68.20	115560022	\$68.20
115531004	\$68.20	115533006	\$68.20	115560023	\$68.20
115531005	\$68.20	115533007	\$68.20	115560024	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115560025	\$68.20	115570013	\$68.20	115610003	\$68.20
115560026	\$68.20	115570014	\$68.20	115610004	\$68.20
115560027	\$68.20	115570015	\$68.20	115610005	\$68.20
115560028	\$68.20	115570016	\$68.20	115610006	\$68.20
115560029	\$68.20	115570017	\$68.20	115610007	\$68.20
115560030	\$68.20	115570018	\$68.20	115610008	\$68.20
115560031	\$68.20	115570019	\$68.20	115610009	\$68.20
115560032	\$68.20	115570020	\$68.20	115610010	\$68.20
115560033	\$68.20	115570021	\$68.20	115610011	\$68.20
115560034	\$68.20	115570022	\$68.20	115610012	\$68.20
115560035	\$68.20	115570023	\$68.20	115610013	\$68.20
115560036	\$68.20	115570024	\$68.20	115610014	\$68.20
115560037	\$68.20	115570025	\$68.20	115610015	\$68.20
115560038	\$68.20	115570026	\$68.20	115610016	\$68.20
115560039	\$68.20	115570027	\$68.20	115610017	\$68.20
115560040	\$68.20	115570028	\$68.20	115610018	\$68.20
115560041	\$68.20	115570029	\$68.20	115610019	\$68.20
115560042	\$68.20	115570030	\$68.20	115610020	\$68.20
115560043	\$68.20	115570031	\$68.20	115610021	\$68.20
115560044	\$68.20	115570032	\$68.20	115621001	\$68.20
115560045	\$68.20	115570033	\$68.20	115621002	\$68.20
115560046	\$68.20	115570034	\$68.20	115621003	\$68.20
115560047	\$68.20	115570035	\$68.20	115621004	\$68.20
115560048	\$68.20	115570036	\$68.20	115621005	\$68.20
115560049	\$68.20	115570037	\$68.20	115621006	\$68.20
115560050	\$68.20	115570038	\$68.20	115621007	\$68.20
115560051	\$68.20	115570039	\$68.20	115622001	\$68.20
115560052	\$68.20	115570040	\$68.20	115622002	\$68.20
115560053	\$68.20	115570041	\$68.20	115622003	\$68.20
115560054	\$68.20	115570042	\$68.20	115622004	\$68.20
115560055	\$68.20	115570043	\$68.20	115622005	\$68.20
115570001	\$68.20	115570044	\$68.20	115622006	\$68.20
115570002	\$68.20	115570045	\$68.20	115622007	\$68.20
115570003	\$68.20	115570046	\$68.20	115622008	\$68.20
115570004	\$68.20	115570047	\$68.20	115622009	\$68.20
115570005	\$68.20	115570048	\$68.20	115622010	\$68.20
115570006	\$68.20	115570049	\$68.20	115622011	\$68.20
115570007	\$68.20	115570050	\$68.20	115622012	\$68.20
115570008	\$68.20	115570051	\$68.20	115622013	\$68.20
115570009	\$68.20	115570052	\$68.20	115622014	\$68.20
115570010	\$68.20	115570053	\$68.20	115622015	\$68.20
115570011	\$68.20	115610001	\$68.20	115622016	\$68.20
115570012	\$68.20	115610002	\$68.20	115623001	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115623002	\$68.20	115640007	\$68.20	115651015	\$68.20
115623003	\$68.20	115640008	\$68.20	172010001	\$68.20
115623004	\$68.20	115640009	\$68.20	172010002	\$68.20
115623005	\$68.20	115640010	\$68.20	172010003	\$68.20
115623006	\$68.20	115640011	\$68.20	172010004	\$68.20
115624001	\$68.20	115640012	\$68.20	172010005	\$68.20
115624002	\$68.20	115640013	\$68.20	172010006	\$68.20
115624003	\$68.20	115640014	\$68.20	172010007	\$68.20
115624004	\$68.20	115641001	\$68.20	172010008	\$68.20
115624005	\$68.20	115641002	\$68.20	172010009	\$68.20
115624006	\$68.20	115641003	\$68.20	172010010	\$68.20
115624007	\$68.20	115641004	\$68.20	172010011	\$68.20
115624008	\$68.20	115641005	\$68.20	172010012	\$68.20
115624009	\$68.20	115641006	\$68.20	172010013	\$68.20
115624010	\$68.20	115642001	\$68.20	172010014	\$68.20
115630001	\$68.20	115642002	\$68.20	172010015	\$68.20
115630002	\$68.20	115642003	\$68.20	172010016	\$68.20
115630003	\$68.20	115650001	\$68.20	172010017	\$68.20
115630004	\$68.20	115650002	\$68.20	172010018	\$68.20
115630005	\$68.20	115650003	\$68.20	172010019	\$68.20
115630006	\$68.20	115650004	\$68.20	172010020	\$68.20
115630007	\$68.20	115650005	\$68.20	172010021	\$68.20
115630008	\$68.20	115650006	\$68.20	172010022	\$68.20
115630009	\$68.20	115650007	\$68.20	172010023	\$68.20
115630010	\$68.20	115650008	\$68.20	172010024	\$68.20
115630011	\$68.20	115650009	\$68.20	172010025	\$68.20
115630012	\$68.20	115650010	\$68.20	172010026	\$68.20
115630013	\$68.20	115650011	\$68.20	172010027	\$68.20
115630014	\$68.20	115650012	\$68.20	172010028	\$68.20
115630015	\$68.20	115651001	\$68.20	172010029	\$68.20
115630016	\$68.20	115651002	\$68.20	172010030	\$68.20
115630017	\$68.20	115651003	\$68.20	172010031	\$68.20
115630018	\$68.20	115651004	\$68.20	172010032	\$68.20
115630019	\$68.20	115651005	\$68.20	172010033	\$68.20
115630020	\$68.20	115651006	\$68.20	172010034	\$68.20
115630021	\$68.20	115651007	\$68.20	172010035	\$68.20
115630022	\$68.20	115651008	\$68.20	172010036	\$68.20
115640001	\$68.20	115651009	\$68.20	172010037	\$68.20
115640002	\$68.20	115651010	\$68.20	172010038	\$68.20
115640003	\$68.20	115651011	\$68.20	172010039	\$68.20
115640004	\$68.20	115651012	\$68.20	172010040	\$68.20
115640005	\$68.20	115651013	\$68.20	172010041	\$68.20
115640006	\$68.20	115651014	\$68.20	172010042	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172010043	\$68.20	172021023	\$68.20	172022015	\$68.20
172010044	\$68.20	172021024	\$68.20	172022016	\$68.20
172010045	\$68.20	172021025	\$68.20	172022017	\$68.20
172010046	\$68.20	172021026	\$68.20	172022018	\$68.20
172010047	\$68.20	172021027	\$68.20	172022019	\$68.20
172010048	\$68.20	172021028	\$68.20	172022020	\$68.20
172010049	\$68.20	172021029	\$68.20	172022021	\$68.20
172010050	\$68.20	172021030	\$68.20	172022022	\$68.20
172010051	\$68.20	172021031	\$68.20	172022023	\$68.20
172010052	\$68.20	172021032	\$68.20	172022024	\$68.20
172010053	\$68.20	172021033	\$68.20	172022025	\$68.20
172010054	\$68.20	172021034	\$68.20	172022027	\$68.20
172010055	\$68.20	172021035	\$68.20	172022028	\$68.20
172010056	\$68.20	172021036	\$68.20	172022029	\$68.20
172010057	\$68.20	172021037	\$68.20	172022030	\$68.20
172010058	\$68.20	172021039	\$68.20	172022031	\$68.20
172010059	\$68.20	172021040	\$68.20	172022032	\$68.20
172010060	\$68.20	172021041	\$68.20	172022033	\$68.20
172010061	\$68.20	172021042	\$68.20	172022034	\$68.20
172010062	\$68.20	172021043	\$68.20	172022035	\$68.20
172010063	\$68.20	172021044	\$68.20	172022036	\$68.20
172010064	\$68.20	172021045	\$68.20	172022037	\$68.20
172021001	\$68.20	172021046	\$68.20	172022038	\$68.20
172021002	\$68.20	172021047	\$68.20	172022040	\$68.20
172021003	\$68.20	172021048	\$68.20	172022041	\$68.20
172021004	\$68.20	172021049	\$68.20	172022042	\$68.20
172021005	\$68.20	172021050	\$68.20	172022043	\$68.20
172021006	\$68.20	172021051	\$68.20	172022044	\$68.20
172021007	\$68.20	172021052	\$68.20	172022045	\$68.20
172021008	\$68.20	172021053	\$68.20	172022046	\$68.20
172021009	\$68.20	172022001	\$68.20	172022047	\$68.20
172021010	\$68.20	172022002	\$68.20	172022048	\$68.20
172021011	\$68.20	172022003	\$68.20	172022049	\$68.20
172021012	\$68.20	172022004	\$68.20	172022050	\$68.20
172021013	\$68.20	172022005	\$68.20	172022051	\$68.20
172021014	\$68.20	172022006	\$68.20	172022052	\$68.20
172021015	\$68.20	172022007	\$68.20	172022053	\$68.20
172021016	\$68.20	172022008	\$68.20	172022054	\$68.20
172021017	\$68.20	172022009	\$68.20	172022055	\$68.20
172021018	\$68.20	172022010	\$68.20	172022056	\$68.20
172021020	\$68.20	172022011	\$68.20	172022057	\$68.20
172021021	\$68.20	172022012	\$68.20	172022059	\$68.20
172021022	\$68.20	172022014	\$68.20	172022060	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172022061	\$68.20	172040008	\$163.70	172091005	\$68.20
172022062	\$68.20	172040009	\$163.70	172091006	\$68.20
172022063	\$68.20	172040010	\$163.70	172091007	\$68.20
172022064	\$68.20	172040011	\$163.70	172091008	\$68.20
172022065	\$68.20	172040012	\$163.70	172091009	\$68.20
172022066	\$68.20	172040013	\$163.70	172091010	\$68.20
172022067	\$68.20	172040014	\$163.70	172091011	\$68.20
172022068	\$68.20	172040015	\$163.70	172091012	\$68.20
172022069	\$68.20	172040016	\$163.70	172091013	\$68.20
172022070	\$68.20	172040017	\$163.70	172091014	\$68.20
172022071	\$68.20	172040018	\$163.70	172091015	\$68.20
172022072	\$68.20	172040019	\$163.70	172091016	\$68.20
172022073	\$68.20	172040020	\$163.70	172091017	\$68.20
172022074	\$68.20	172040021	\$163.70	172091018	\$68.20
172022075	\$68.20	172040022	\$163.70	172091019	\$68.20
172022076	\$68.20	172040023	\$163.70	172091020	\$68.20
172022078	\$68.20	172040024	\$163.70	172091021	\$68.20
172022079	\$68.20	172040025	\$163.70	172091022	\$68.20
172022080	\$68.20	172040026	\$163.70	172091023	\$68.20
172022081	\$68.20	172050001	\$126.18	172091024	\$68.20
172022082	\$68.20	172050002	\$98.90	172091025	\$68.20
172022083	\$68.20	172050003	\$109.12	172091026	\$68.20
172022084	\$68.20	172050004	\$95.48	172091027	\$68.20
172022085	\$68.20	172050005	\$702.56	172091028	\$68.20
172022086	\$68.20	172050006	\$1,459.68	172091029	\$68.20
172022087	\$68.20	172050007	\$361.50	172091030	\$68.20
172022088	\$68.20	172090001	\$68.20	172091031	\$68.20
172022089	\$68.20	172090002	\$68.20	172091032	\$68.20
172022091	\$68.20	172090003	\$68.20	172091033	\$68.20
172022092	\$68.20	172090004	\$68.20	172091034	\$68.20
172022093	\$68.20	172090005	\$68.20	172091035	\$68.20
172022094	\$68.20	172090006	\$68.20	172091036	\$68.20
172022095	\$68.20	172090007	\$68.20	172091037	\$68.20
172022096	\$68.20	172090008	\$68.20	172091038	\$68.20
172030001	\$13,260.02	172090009	\$68.20	172092001	\$68.20
172030002	\$13,751.12	172090010	\$68.20	172092002	\$68.20
172040001	\$163.70	172090011	\$68.20	172092003	\$68.20
172040002	\$163.70	172090012	\$68.20	172092004	\$68.20
172040003	\$163.70	172090013	\$68.20	172092005	\$68.20
172040004	\$163.70	172091001	\$68.20	172092006	\$68.20
172040005	\$163.70	172091002	\$68.20	172092007	\$68.20
172040006	\$163.70	172091003	\$68.20	172092008	\$68.20
172040007	\$163.70	172091004	\$68.20	172092009	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172092010	\$68.20	172102013	\$68.20	172130005	\$204.62
172092011	\$68.20	172102014	\$68.20	172130006	\$2,182.72
172092012	\$68.20	172102015	\$68.20	172130007	\$460.40
172092013	\$68.20	172102016	\$68.20	172130008	\$2,319.14
172092014	\$68.20	172102017	\$68.20	172140001	\$6,752.78
172092015	\$68.20	172102018	\$68.20	172140002	\$3,396.84
172092016	\$68.20	172102019	\$68.20	172140003	\$777.58
172092017	\$68.20	172102020	\$68.20	172140004	\$3,857.26
172092018	\$68.20	172102021	\$68.20	172140005	\$184.16
172092019	\$68.20	172102022	\$68.20	172150002	\$68.20
172092020	\$68.20	172103001	\$68.20	172150003	\$68.20
172092021	\$68.20	172103002	\$68.20	172150004	\$68.20
172101001	\$68.20	172103003	\$68.20	172150008	\$68.20
172101002	\$68.20	172103004	\$68.20	172150009	\$68.20
172101003	\$68.20	172103005	\$68.20	172151001	\$68.20
172101004	\$68.20	172103006	\$68.20	172151002	\$68.20
172101005	\$68.20	172103007	\$68.20	172151003	\$68.20
172101006	\$68.20	172103008	\$68.20	172170001	\$68.20
172101007	\$68.20	172103009	\$68.20	172170002	\$68.20
172101008	\$68.20	172103010	\$68.20	172170003	\$68.20
172101009	\$68.20	172103011	\$68.20	172170004	\$68.20
172101010	\$68.20	172103012	\$68.20	172170005	\$68.20
172101011	\$68.20	172103013	\$68.20	172170006	\$68.20
172101012	\$68.20	172103014	\$68.20	172170007	\$68.20
172101013	\$68.20	172103015	\$68.20	172170008	\$68.20
172101014	\$68.20	172103017	\$68.20	172170009	\$68.20
172101015	\$68.20	172103018	\$68.20	172170010	\$68.20
172101016	\$68.20	172103019	\$68.20	172170011	\$68.20
172101017	\$68.20	172103020	\$68.20	172170012	\$68.20
172101018	\$68.20	172103021	\$68.20	172170013	\$68.20
172101019	\$68.20	172121001	\$68.20	172170014	\$68.20
172102001	\$68.20	172121002	\$68.20	172170015	\$68.20
172102002	\$68.20	172121003	\$68.20	172170016	\$68.20
172102003	\$68.20	172121004	\$68.20	172170017	\$68.20
172102004	\$68.20	172121005	\$68.20	172170018	\$68.20
172102005	\$68.20	172121006	\$68.20	172170019	\$68.20
172102006	\$68.20	172121007	\$68.20	172170020	\$68.20
172102007	\$68.20	172121008	\$68.20	172171001	\$68.20
172102008	\$68.20	172121009	\$68.20	172171002	\$68.20
172102009	\$68.20	172130001	\$4,638.28	172171003	\$68.20
172102010	\$68.20	172130002	\$272.84	172171004	\$68.20
172102011	\$68.20	172130003	\$341.04	172171005	\$68.20
172102012	\$68.20	172130004	\$341.04	172171006	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172171007	\$68.20	172181018	\$68.20	172210024	\$68.20
172171008	\$68.20	172181019	\$68.20	172220001	\$68.20
172171009	\$68.20	172181020	\$68.20	172220002	\$68.20
172171010	\$68.20	172181021	\$68.20	172220003	\$68.20
172171011	\$68.20	172181022	\$68.20	172220004	\$68.20
172171012	\$68.20	172182001	\$68.20	172220005	\$68.20
172171013	\$68.20	172182002	\$68.20	172220006	\$68.20
172171014	\$68.20	172182003	\$68.20	172220007	\$68.20
172172001	\$68.20	172182004	\$68.20	172220008	\$68.20
172172002	\$68.20	172182005	\$68.20	172220009	\$68.20
172172003	\$68.20	172182006	\$68.20	172220010	\$68.20
172172004	\$68.20	172182007	\$68.20	172220011	\$68.20
172172005	\$68.20	172182008	\$68.20	172220012	\$68.20
172172006	\$68.20	172182009	\$68.20	172220013	\$68.20
172172007	\$68.20	172182010	\$68.20	172220014	\$68.20
172172008	\$68.20	172182011	\$68.20	172220015	\$68.20
172173001	\$68.20	172182012	\$68.20	172220016	\$68.20
172173002	\$68.20	172182013	\$68.20	172220017	\$68.20
172173003	\$68.20	172182014	\$68.20	172220018	\$68.20
172180001	\$68.20	172182015	\$68.20	172220019	\$68.20
172180002	\$68.20	172210001	\$68.20	172220020	\$68.20
172180003	\$68.20	172210002	\$68.20	172220021	\$68.20
172180004	\$68.20	172210003	\$68.20	172220022	\$68.20
172180005	\$68.20	172210004	\$68.20	172220023	\$68.20
172180006	\$68.20	172210005	\$68.20	172220024	\$68.20
172180007	\$68.20	172210006	\$68.20	172220025	\$68.20
172181001	\$68.20	172210007	\$68.20	172220026	\$68.20
172181002	\$68.20	172210008	\$68.20	172220027	\$68.20
172181003	\$68.20	172210009	\$68.20	172220028	\$68.20
172181004	\$68.20	172210010	\$68.20	172220029	\$68.20
172181005	\$68.20	172210011	\$68.20	172221001	\$68.20
172181006	\$68.20	172210012	\$68.20	172221002	\$68.20
172181007	\$68.20	172210013	\$68.20	172221003	\$68.20
172181008	\$68.20	172210014	\$68.20	172221004	\$68.20
172181009	\$68.20	172210015	\$68.20	172221005	\$68.20
172181010	\$68.20	172210016	\$68.20	172221006	\$68.20
172181011	\$68.20	172210017	\$68.20	172221007	\$68.20
172181012	\$68.20	172210018	\$68.20	172221008	\$68.20
172181013	\$68.20	172210019	\$68.20	172221009	\$68.20
172181014	\$68.20	172210020	\$68.20	172221010	\$68.20
172181015	\$68.20	172210021	\$68.20	172221011	\$68.20
172181016	\$68.20	172210022	\$68.20	172221012	\$68.20
172181017	\$68.20	172210023	\$68.20	172221013	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172221014	\$68.20	172231005	\$68.20	172242001	\$68.20
172221015	\$68.20	172231006	\$68.20	172242002	\$68.20
172221016	\$68.20	172231007	\$68.20	172242003	\$68.20
172221017	\$68.20	172231008	\$68.20	172242004	\$68.20
172221018	\$68.20	172231009	\$68.20	172242005	\$68.20
172221019	\$68.20	172231010	\$68.20	172242006	\$68.20
172221020	\$68.20	172231011	\$68.20	172242007	\$68.20
172221021	\$68.20	172231012	\$68.20	172242008	\$68.20
172221022	\$68.20	172231013	\$68.20	172242009	\$68.20
172221023	\$68.20	172231014	\$68.20	172242010	\$68.20
172221024	\$68.20	172231015	\$68.20	172242011	\$68.20
172221025	\$68.20	172240001	\$68.20	172242012	\$68.20
172221026	\$68.20	172240002	\$68.20	172242013	\$68.20
172221027	\$68.20	172240003	\$68.20	172242014	\$68.20
172221028	\$68.20	172240004	\$68.20	172242015	\$68.20
172230001	\$68.20	172240005	\$68.20	172242016	\$68.20
172230002	\$68.20	172240006	\$68.20	172242017	\$68.20
172230003	\$68.20	172240007	\$68.20	172242018	\$68.20
172230004	\$68.20	172240008	\$68.20	172242019	\$68.20
172230005	\$68.20	172240009	\$68.20	172242020	\$68.20
172230006	\$68.20	172240010	\$68.20	172242021	\$68.20
172230007	\$68.20	172240011	\$68.20	172242022	\$68.20
172230008	\$68.20	172240012	\$68.20	172242023	\$68.20
172230009	\$68.20	172240013	\$68.20	172242024	\$68.20
172230010	\$68.20	172240014	\$68.20	172242025	\$68.20
172230011	\$68.20	172240015	\$68.20	172250001	\$68.20
172230012	\$68.20	172240016	\$68.20	172250002	\$68.20
172230013	\$68.20	172240017	\$68.20	172250003	\$68.20
172230014	\$68.20	172240018	\$68.20	172250004	\$68.20
172230015	\$68.20	172240019	\$68.20	172250005	\$68.20
172230016	\$68.20	172240020	\$68.20	172250006	\$68.20
172230017	\$68.20	172240021	\$68.20	172250007	\$68.20
172230018	\$68.20	172240022	\$68.20	172250008	\$68.20
172230019	\$68.20	172240023	\$68.20	172250009	\$68.20
172230020	\$68.20	172240024	\$68.20	172250010	\$68.20
172230021	\$68.20	172240025	\$68.20	172250011	\$68.20
172230022	\$68.20	172240026	\$68.20	172250012	\$68.20
172230023	\$68.20	172240027	\$68.20	172250013	\$68.20
172230024	\$68.20	172241001	\$68.20	172250014	\$68.20
172231001	\$68.20	172241002	\$68.20	172250015	\$68.20
172231002	\$68.20	172241003	\$68.20	172250016	\$68.20
172231003	\$68.20	172241004	\$68.20	172250017	\$68.20
172231004	\$68.20	172241005	\$68.20	172250018	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172250019	\$68.20	172261005	\$68.20	172263004	\$68.20
172250020	\$68.20	172261006	\$68.20	172263005	\$68.20
172251001	\$68.20	172261007	\$68.20	172263006	\$68.20
172251002	\$68.20	172261008	\$68.20	172263007	\$68.20
172251003	\$68.20	172261009	\$68.20	172263008	\$68.20
172251004	\$68.20	172261010	\$68.20	172263009	\$68.20
172251005	\$68.20	172261011	\$68.20	172263010	\$68.20
172251006	\$68.20	172261012	\$68.20	172263011	\$68.20
172251007	\$68.20	172261013	\$68.20	172263012	\$68.20
172251008	\$68.20	172261014	\$68.20	172263013	\$68.20
172251009	\$68.20	172261015	\$68.20	172263014	\$68.20
172251010	\$68.20	172261016	\$68.20	172263015	\$68.20
172251011	\$68.20	172261017	\$68.20	172263017	\$68.20
172251012	\$68.20	172261018	\$68.20	172263018	\$68.20
172251013	\$68.20	172262001	\$68.20	172263019	\$68.20
172251014	\$68.20	172262002	\$68.20	172263020	\$68.20
172251015	\$68.20	172262003	\$68.20	172263021	\$68.20
172251016	\$68.20	172262004	\$68.20	172263022	\$68.20
172251017	\$68.20	172262005	\$68.20	172263023	\$68.20
172251018	\$68.20	172262006	\$68.20	172263024	\$68.20
172251019	\$68.20	172262007	\$68.20	172263025	\$68.20
172251020	\$68.20	172262008	\$68.20	172263026	\$68.20
172251021	\$68.20	172262009	\$68.20	172263027	\$68.20
172251022	\$68.20	172262010	\$68.20	172263029	\$68.20
172252001	\$68.20	172262011	\$68.20	172270001	\$68.20
172252002	\$68.20	172262012	\$68.20	172270002	\$68.20
172252003	\$68.20	172262013	\$68.20	172270003	\$68.20
172252004	\$68.20	172262014	\$68.20	172270004	\$68.20
172252005	\$68.20	172262015	\$68.20	172270005	\$68.20
172252006	\$68.20	172262016	\$68.20	172270006	\$68.20
172252007	\$68.20	172262017	\$68.20	172270007	\$68.20
172252008	\$68.20	172262018	\$68.20	172270008	\$68.20
172252009	\$68.20	172262019	\$68.20	172270009	\$68.20
172252010	\$68.20	172262020	\$68.20	172270010	\$68.20
172252011	\$68.20	172262021	\$68.20	172270011	\$68.20
172260001	\$68.20	172262022	\$68.20	172270012	\$68.20
172260002	\$68.20	172262023	\$68.20	172270013	\$68.20
172260003	\$68.20	172262024	\$68.20	172270014	\$68.20
172260004	\$68.20	172262025	\$68.20	172270015	\$68.20
172261001	\$68.20	172262026	\$68.20	172270016	\$68.20
172261002	\$68.20	172263001	\$68.20	172270017	\$68.20
172261003	\$68.20	172263002	\$68.20	172270018	\$68.20
172261004	\$68.20	172263003	\$68.20	172270019	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172270020	\$68.20	172271021	\$68.20	172281007	\$68.20
172270021	\$68.20	172271022	\$68.20	172281008	\$68.20
172270022	\$68.20	172271023	\$68.20	172281009	\$68.20
172270023	\$68.20	172271024	\$68.20	172281010	\$68.20
172270024	\$68.20	172271025	\$68.20	172281011	\$68.20
172270025	\$68.20	172271026	\$68.20	172281012	\$68.20
172270026	\$68.20	172271027	\$68.20	172281013	\$68.20
172270027	\$68.20	172271028	\$68.20	172281014	\$68.20
172270028	\$68.20	172271029	\$68.20	172281015	\$68.20
172270029	\$68.20	172272001	\$68.20	172281016	\$68.20
172270030	\$68.20	172272002	\$68.20	172281017	\$68.20
172270031	\$68.20	172272003	\$68.20	172281018	\$68.20
172270032	\$68.20	172272004	\$68.20	172281019	\$68.20
172270033	\$68.20	172272005	\$68.20	172281020	\$68.20
172270034	\$68.20	172272006	\$68.20	172281021	\$68.20
172270035	\$68.20	172280001	\$68.20	172281022	\$68.20
172270036	\$68.20	172280002	\$68.20	172281023	\$68.20
172270037	\$68.20	172280003	\$68.20	172281024	\$68.20
172270038	\$68.20	172280004	\$68.20	172281025	\$68.20
172270039	\$68.20	172280005	\$68.20	172281026	\$68.20
172270040	\$68.20	172280006	\$68.20	172281027	\$68.20
172270041	\$68.20	172280007	\$68.20	172281028	\$68.20
172270042	\$68.20	172280008	\$68.20	172281029	\$68.20
172271001	\$68.20	172280009	\$68.20	172281030	\$68.20
172271002	\$68.20	172280010	\$68.20	172281031	\$68.20
172271003	\$68.20	172280011	\$68.20	172281032	\$68.20
172271004	\$68.20	172280012	\$68.20	172281033	\$68.20
172271005	\$68.20	172280013	\$68.20	172281034	\$68.20
172271006	\$68.20	172280014	\$68.20	172281035	\$68.20
172271007	\$68.20	172280015	\$68.20	172281036	\$68.20
172271008	\$68.20	172280016	\$68.20	172282001	\$68.20
172271009	\$68.20	172280017	\$68.20	172282002	\$68.20
172271010	\$68.20	172280018	\$68.20	172282003	\$68.20
172271011	\$68.20	172280019	\$68.20	172282004	\$68.20
172271012	\$68.20	172280020	\$68.20	172282005	\$68.20
172271013	\$68.20	172280021	\$68.20	172290001	\$68.20
172271014	\$68.20	172280022	\$68.20	172290002	\$68.20
172271015	\$68.20	172281001	\$68.20	172290003	\$68.20
172271016	\$68.20	172281002	\$68.20	172291001	\$68.20
172271017	\$68.20	172281003	\$68.20	172291002	\$68.20
172271018	\$68.20	172281004	\$68.20	172291003	\$68.20
172271019	\$68.20	172281005	\$68.20	172291004	\$68.20
172271020	\$68.20	172281006	\$68.20	172291005	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172291006	\$68.20	172300019	\$68.20	172312007	\$68.20
172291007	\$68.20	172302001	\$68.20	172312008	\$68.20
172291008	\$68.20	172302002	\$68.20	172320001	\$68.20
172291009	\$68.20	172302003	\$68.20	172320002	\$68.20
172291010	\$68.20	172302004	\$68.20	172320003	\$68.20
172291011	\$68.20	172302005	\$68.20	172320004	\$68.20
172291012	\$68.20	172302006	\$68.20	172320005	\$68.20
172291013	\$68.20	172302007	\$68.20	172320006	\$68.20
172291014	\$68.20	172302008	\$68.20	172320007	\$68.20
172291015	\$68.20	172302009	\$68.20	172320008	\$68.20
172291016	\$68.20	172302010	\$68.20	172320009	\$68.20
172291017	\$68.20	172302011	\$68.20	172320010	\$68.20
172291018	\$68.20	172302012	\$68.20	172320011	\$68.20
172291019	\$68.20	172310001	\$68.20	172320012	\$68.20
172291020	\$68.20	172310002	\$68.20	172320013	\$68.20
172291021	\$68.20	172310003	\$68.20	172320014	\$68.20
172291022	\$68.20	172310004	\$68.20	172320015	\$68.20
172291023	\$68.20	172310005	\$68.20	172320016	\$68.20
172291024	\$68.20	172311001	\$68.20	172320017	\$68.20
172291025	\$68.20	172311002	\$68.20	172320018	\$68.20
172291026	\$68.20	172311003	\$68.20	172320019	\$68.20
172291027	\$68.20	172311004	\$68.20	172320020	\$68.20
172291028	\$68.20	172311005	\$68.20	172320021	\$68.20
172291029	\$68.20	172311006	\$68.20	172320022	\$68.20
172291030	\$68.20	172311007	\$68.20	172321001	\$68.20
172291031	\$68.20	172311008	\$68.20	172321002	\$68.20
172291032	\$68.20	172311009	\$68.20	172321003	\$68.20
172291033	\$68.20	172311010	\$68.20	172321004	\$68.20
172300001	\$68.20	172311011	\$68.20	172321005	\$68.20
172300002	\$68.20	172311012	\$68.20	172321006	\$68.20
172300003	\$68.20	172311013	\$68.20	172321007	\$68.20
172300004	\$68.20	172311014	\$68.20	172321008	\$68.20
172300005	\$68.20	172311015	\$68.20	172321009	\$68.20
172300006	\$68.20	172311016	\$68.20	172321010	\$68.20
172300007	\$68.20	172311017	\$68.20	172321011	\$68.20
172300008	\$68.20	172311018	\$68.20	172321012	\$68.20
172300009	\$68.20	172311019	\$68.20	172321013	\$68.20
172300011	\$68.20	172312001	\$68.20	172321014	\$68.20
172300012	\$68.20	172312002	\$68.20	172321015	\$68.20
172300013	\$68.20	172312003	\$68.20	172321016	\$68.20
172300014	\$68.20	172312004	\$68.20	172322001	\$68.20
172300015	\$68.20	172312005	\$68.20	172322002	\$68.20
172300016	\$68.20	172312006	\$68.20	172322003	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172322004	\$68.20	172325012	\$68.20	172330023	\$68.20
172322005	\$68.20	172325013	\$68.20	172330024	\$68.20
172322006	\$68.20	172325014	\$68.20	172330025	\$68.20
172322007	\$68.20	172325015	\$68.20	172330026	\$68.20
172322008	\$68.20	172325016	\$68.20	172330027	\$68.20
172322009	\$68.20	172325017	\$68.20	172330028	\$68.20
172322010	\$68.20	172325018	\$68.20	172330029	\$68.20
172322011	\$68.20	172325019	\$68.20	172330030	\$68.20
172322012	\$68.20	172325020	\$68.20	172330031	\$68.20
172322013	\$68.20	172325021	\$68.20	172330032	\$68.20
172323001	\$68.20	172325022	\$68.20	172330033	\$68.20
172323002	\$68.20	172325023	\$68.20	172330034	\$68.20
172323003	\$68.20	172325024	\$68.20	172330035	\$68.20
172323004	\$68.20	172325025	\$68.20	172330036	\$68.20
172323005	\$68.20	172325026	\$68.20	172330037	\$68.20
172323006	\$68.20	172325027	\$68.20	172330038	\$68.20
172323007	\$68.20	172325028	\$68.20	172330039	\$68.20
172323008	\$68.20	172325029	\$68.20	172330040	\$68.20
172323009	\$68.20	172325030	\$68.20	172330041	\$68.20
172323010	\$68.20	172325031	\$68.20	172330042	\$68.20
172323011	\$68.20	172325032	\$68.20	172330043	\$68.20
172324001	\$68.20	172330001	\$68.20	172330044	\$68.20
172324002	\$68.20	172330002	\$68.20	172330045	\$68.20
172324003	\$68.20	172330003	\$68.20	172330046	\$68.20
172324004	\$68.20	172330004	\$68.20	172330047	\$68.20
172324005	\$68.20	172330005	\$68.20	172330048	\$68.20
172324006	\$68.20	172330006	\$68.20	172330049	\$68.20
172324007	\$68.20	172330007	\$68.20	172330050	\$68.20
172324008	\$68.20	172330008	\$68.20	172330051	\$68.20
172324009	\$68.20	172330009	\$68.20	172330052	\$68.20
172324010	\$68.20	172330010	\$68.20	172330053	\$68.20
172324011	\$68.20	172330011	\$68.20	172330054	\$68.20
172325001	\$68.20	172330012	\$68.20	172330055	\$68.20
172325002	\$68.20	172330013	\$68.20	172330056	\$68.20
172325003	\$68.20	172330014	\$68.20	172331001	\$68.20
172325004	\$68.20	172330015	\$68.20	172331002	\$68.20
172325005	\$68.20	172330016	\$68.20	172331003	\$68.20
172325006	\$68.20	172330017	\$68.20	172331004	\$68.20
172325007	\$68.20	172330018	\$68.20	172331005	\$68.20
172325008	\$68.20	172330019	\$68.20	172331006	\$68.20
172325009	\$68.20	172330020	\$68.20	172331007	\$68.20
172325010	\$68.20	172330021	\$68.20	172331008	\$68.20
172325011	\$68.20	172330022	\$68.20	172340001	\$68.20



## Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172340002	\$68.20	172340045	\$68.20	172351024	\$68.20
172340003	\$68.20	172340046	\$68.20	172351025	\$68.20
172340004	\$68.20	172340047	\$68.20	172351026	\$68.20
172340005	\$68.20	172340048	\$68.20	172351027	\$68.20
172340006	\$68.20	172340049	\$68.20	172351028	\$68.20
172340007	\$68.20	172340050	\$68.20	172351029	\$68.20
172340008	\$68.20	172340051	\$68.20	172351030	\$68.20
172340009	\$68.20	172340052	\$68.20	172351031	\$68.20
172340010	\$68.20	172340053	\$68.20	172351032	\$68.20
172340011	\$68.20	172340054	\$68.20	172351033	\$68.20
172340012	\$68.20	172350001	\$68.20	172351034	\$68.20
172340013	\$68.20	172350002	\$68.20	172351035	\$68.20
172340014	\$68.20	172350003	\$68.20	172351036	\$68.20
172340015	\$68.20	172350004	\$68.20	172351037	\$68.20
172340016	\$68.20	172350005	\$68.20	172351038	\$68.20
172340017	\$68.20	172350006	\$68.20	172351039	\$68.20
172340018	\$68.20	172350007	\$68.20	172351040	\$68.20
172340019	\$68.20	172350008	\$68.20	172351041	\$68.20
172340020	\$68.20	172350009	\$68.20	172351042	\$68.20
172340021	\$68.20	172350011	\$68.20	172351043	\$68.20
172340022	\$68.20	172351001	\$68.20	172351044	\$68.20
172340023	\$68.20	172351002	\$68.20	172351045	\$68.20
172340024	\$68.20	172351003	\$68.20	172351046	\$68.20
172340025	\$68.20	172351004	\$68.20	172351047	\$68.20
172340026	\$68.20	172351005	\$68.20	172351048	\$68.20
172340027	\$68.20	172351006	\$68.20	172351049	\$68.20
172340028	\$68.20	172351007	\$68.20	172351050	\$68.20
172340029	\$68.20	172351008	\$68.20	172351051	\$68.20
172340030	\$68.20	172351009	\$68.20	172351052	\$68.20
172340031	\$68.20	172351010	\$68.20	172351053	\$68.20
172340032	\$68.20	172351011	\$68.20	172351054	\$68.20
172340033	\$68.20	172351012	\$68.20	172351055	\$68.20
172340034	\$68.20	172351013	\$68.20	172351056	\$68.20
172340035	\$68.20	172351014	\$68.20	172351057	\$68.20
172340036	\$68.20	172351015	\$68.20	172351058	\$68.20
172340037	\$68.20	172351016	\$68.20	172351059	\$68.20
172340038	\$68.20	172351017	\$68.20	172351060	\$68.20
172340039	\$68.20	172351018	\$68.20	172351061	\$68.20
172340040	\$68.20	172351019	\$68.20	172351062	\$68.20
172340041	\$68.20	172351020	\$68.20	172351063	\$68.20
172340042	\$68.20	172351021	\$68.20	172351064	\$68.20
172340043	\$68.20	172351022	\$68.20	172351065	\$68.20
172340044	\$68.20	172351023	\$68.20	172351066	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172351067	\$68.20	172362004	\$68.20	172362048	\$68.20
172351068	\$68.20	172362005	\$68.20	172362049	\$68.20
172351069	\$68.20	172362006	\$68.20	172362050	\$68.20
172351070	\$68.20	172362007	\$68.20	172362051	\$68.20
172351071	\$68.20	172362008	\$68.20	172362052	\$68.20
172351072	\$68.20	172362009	\$68.20	172362053	\$68.20
172351073	\$68.20	172362010	\$68.20	172362054	\$68.20
172352001	\$68.20	172362011	\$68.20	172362055	\$68.20
172352002	\$68.20	172362012	\$68.20	172362056	\$68.20
172352003	\$68.20	172362013	\$68.20	172362057	\$68.20
172352004	\$68.20	172362014	\$68.20	172362058	\$68.20
172352005	\$68.20	172362015	\$68.20	172362059	\$68.20
172352006	\$68.20	172362016	\$68.20	172362060	\$68.20
172352007	\$68.20	172362017	\$68.20	172362061	\$68.20
172352008	\$68.20	172362018	\$68.20	172362062	\$68.20
172352009	\$68.20	172362019	\$68.20	172362063	\$68.20
172352010	\$68.20	172362020	\$68.20	172362065	\$68.20
172352011	\$68.20	172362021	\$68.20	172362066	\$68.20
172352012	\$68.20	172362022	\$68.20	172362067	\$68.20
172352013	\$68.20	172362023	\$68.20	172362068	\$68.20
172352014	\$68.20	172362024	\$68.20	172362069	\$68.20
172352015	\$68.20	172362025	\$68.20	172362070	\$68.20
172352016	\$68.20	172362026	\$68.20	172362071	\$68.20
172352017	\$68.20	172362027	\$68.20	172362072	\$68.20
172352018	\$68.20	172362028	\$68.20	172362073	\$68.20
172352019	\$68.20	172362029	\$68.20	172362074	\$68.20
172352020	\$68.20	172362030	\$68.20	172362075	\$68.20
172352021	\$68.20	172362031	\$68.20	172362076	\$68.20
172361007	\$68.20	172362032	\$68.20	172362077	\$68.20
172361008	\$68.20	172362033	\$68.20	172362078	\$68.20
172361009	\$68.20	172362034	\$68.20	172362079	\$68.20
172361010	\$68.20	172362036	\$68.20	172362080	\$68.20
172361011	\$68.20	172362037	\$68.20	172362081	\$68.20
172361012	\$68.20	172362038	\$68.20	172362082	\$68.20
172361013	\$68.20	172362039	\$68.20	172362083	\$68.20
172361014	\$68.20	172362040	\$68.20	172362084	\$68.20
172361015	\$68.20	172362041	\$68.20	172362085	\$68.20
172361016	\$68.20	172362042	\$68.20	172362086	\$68.20
172361017	\$68.20	172362043	\$68.20	172362087	\$68.20
172361018	\$68.20	172362044	\$68.20	172362088	\$68.20
172362001	\$68.20	172362045	\$68.20	172362089	\$68.20
172362002	\$68.20	172362046	\$68.20	172362090	\$68.20
172362003	\$68.20	172362047	\$68.20	172363001	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172363002	\$68.20	172372020	\$68.20	172372068	\$68.20
172363003	\$68.20	172372021	\$68.20	172372069	\$68.20
172363004	\$68.20	172372022	\$68.20	172372070	\$68.20
172363005	\$68.20	172372023	\$68.20	172372071	\$68.20
172363006	\$68.20	172372024	\$68.20	172372072	\$68.20
172363007	\$68.20	172372025	\$68.20	172372074	\$68.20
172363008	\$68.20	172372026	\$68.20	172372075	\$68.20
172363009	\$68.20	172372027	\$68.20	172372076	\$68.20
172363010	\$68.20	172372028	\$68.20	172372077	\$68.20
172363011	\$68.20	172372029	\$68.20	172372078	\$68.20
172363012	\$68.20	172372031	\$68.20	172372079	\$68.20
172363013	\$68.20	172372032	\$68.20	172420002	\$1,507.44
172363014	\$68.20	172372033	\$68.20	172420003	\$306.94
172363015	\$68.20	172372034	\$68.20	172430001	\$68.20
172363016	\$68.20	172372035	\$68.20	172430002	\$68.20
172363017	\$68.20	172372036	\$68.20	172430003	\$68.20
172363018	\$68.20	172372037	\$68.20	172430004	\$68.20
172363019	\$68.20	172372038	\$68.20	172430005	\$68.20
172363020	\$68.20	172372039	\$68.20	172430006	\$68.20
172363021	\$68.20	172372040	\$68.20	172430007	\$68.20
172363022	\$68.20	172372041	\$68.20	172430008	\$68.20
172363023	\$68.20	172372042	\$68.20	172430009	\$68.20
172363024	\$68.20	172372043	\$68.20	172430010	\$68.20
172363025	\$68.20	172372044	\$68.20	172430011	\$68.20
172363026	\$68.20	172372046	\$68.20	172430012	\$68.20
172363027	\$68.20	172372047	\$68.20	172430013	\$68.20
172363028	\$68.20	172372048	\$68.20	172430014	\$68.20
172372001	\$68.20	172372049	\$68.20	172430015	\$68.20
172372002	\$68.20	172372050	\$68.20	172430016	\$68.20
172372003	\$68.20	172372051	\$68.20	172430017	\$68.20
172372004	\$68.20	172372053	\$68.20	172430018	\$68.20
172372005	\$68.20	172372054	\$68.20	172430019	\$68.20
172372007	\$68.20	172372056	\$68.20	172430020	\$68.20
172372008	\$68.20	172372057	\$68.20	172430021	\$68.20
172372009	\$68.20	172372058	\$68.20	172430022	\$68.20
172372011	\$68.20	172372059	\$68.20	172430023	\$68.20
172372012	\$68.20	172372060	\$68.20	172430024	\$68.20
172372013	\$68.20	172372061	\$68.20	172430025	\$68.20
172372014	\$68.20	172372063	\$68.20	172430026	\$68.20
172372015	\$68.20	172372064	\$68.20	172430027	\$68.20
172372016	\$68.20	172372065	\$68.20	172430028	\$68.20
172372017	\$68.20	172372066	\$68.20	172430029	\$68.20
172372019	\$68.20	172372067	\$68.20	172430030	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172430031	\$68.20	172430033	\$68.20	172430035	\$68.20
172430032	\$68.20	172430034	\$68.20	172430036	\$68.20
<b>Totals</b>		<b>Parcels</b>	<b>2,844</b>	<b>Levy</b>	<b>\$315,007.62</b>

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110280037	\$2,112.00	110441048	\$55.00	110443016	\$55.00
110280038	\$2,640.00	110441049	\$55.00	110443017	\$55.00
110280040	\$5,610.00	110441050	\$55.00	110443018	\$55.00
110441001	\$55.00	110441051	\$55.00	110443019	\$55.00
110441002	\$55.00	110441052	\$55.00	110443020	\$55.00
110441003	\$55.00	110441053	\$55.00	110443021	\$55.00
110441004	\$55.00	110441054	\$55.00	110443022	\$55.00
110441005	\$55.00	110441055	\$55.00	110443023	\$55.00
110441006	\$55.00	110441056	\$55.00	110443024	\$55.00
110441007	\$55.00	110441057	\$55.00	110443025	\$55.00
110441008	\$55.00	110441058	\$55.00	110444001	\$55.00
110441009	\$55.00	110441059	\$55.00	110444002	\$55.00
110441010	\$55.00	110441060	\$55.00	110444003	\$55.00
110441011	\$55.00	110441061	\$55.00	110444004	\$55.00
110441012	\$55.00	110441062	\$55.00	110444005	\$55.00
110441013	\$55.00	110441063	\$55.00	110444006	\$55.00
110441014	\$55.00	110441064	\$55.00	110444007	\$55.00
110441015	\$55.00	110441065	\$55.00	110444008	\$55.00
110441016	\$55.00	110442001	\$55.00	110444009	\$55.00
110441017	\$55.00	110442002	\$55.00	110444010	\$55.00
110441018	\$55.00	110442003	\$55.00	110444011	\$55.00
110441019	\$55.00	110442004	\$55.00	110444012	\$55.00
110441020	\$55.00	110442005	\$55.00	110444013	\$55.00
110441021	\$55.00	110442006	\$55.00	110444014	\$55.00
110441022	\$55.00	110442008	\$55.00	110444015	\$55.00
110441023	\$55.00	110442009	\$55.00	110444016	\$55.00
110441024	\$55.00	110442010	\$55.00	110444017	\$55.00
110441025	\$55.00	110442011	\$55.00	110444018	\$55.00
110441026	\$55.00	110442012	\$55.00	110444019	\$55.00
110441032	\$55.00	110442013	\$55.00	110451001	\$55.00
110441033	\$55.00	110443001	\$55.00	110451002	\$55.00
110441034	\$55.00	110443002	\$55.00	110451003	\$55.00
110441035	\$55.00	110443003	\$55.00	110451004	\$55.00
110441036	\$55.00	110443004	\$55.00	110451005	\$55.00
110441037	\$55.00	110443005	\$55.00	110451006	\$55.00
110441038	\$55.00	110443006	\$55.00	110451007	\$55.00
110441039	\$55.00	110443007	\$55.00	110451008	\$55.00
110441040	\$55.00	110443008	\$55.00	110451009	\$55.00
110441041	\$55.00	110443009	\$55.00	110451010	\$55.00
110441042	\$55.00	110443010	\$55.00	110451011	\$55.00
110441045	\$55.00	110443013	\$55.00	110451012	\$55.00
110441046	\$55.00	110443014	\$55.00	110451013	\$55.00
110441047	\$55.00	110443015	\$55.00	110451014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110451015	\$55.00	110461006	\$55.00	110463006	\$55.00
110451016	\$55.00	110461007	\$55.00	110463007	\$55.00
110451017	\$55.00	110461008	\$55.00	110463008	\$55.00
110451018	\$55.00	110461009	\$55.00	110463009	\$55.00
110451019	\$55.00	110461010	\$55.00	110463010	\$55.00
110451020	\$55.00	110461011	\$55.00	110463011	\$55.00
110451021	\$55.00	110461012	\$55.00	110463012	\$55.00
110451022	\$55.00	110461013	\$55.00	110463013	\$55.00
110451023	\$55.00	110461014	\$55.00	110463014	\$55.00
110451024	\$55.00	110461015	\$55.00	110463015	\$55.00
110451025	\$55.00	110461016	\$55.00	110463016	\$55.00
110452001	\$55.00	110461017	\$55.00	110463017	\$55.00
110452002	\$55.00	110461018	\$55.00	110463018	\$55.00
110452003	\$55.00	110461019	\$55.00	110463019	\$55.00
110452004	\$55.00	110461020	\$55.00	110463020	\$55.00
110452005	\$55.00	110461021	\$55.00	110470001	\$10,296.00
110452006	\$55.00	110461022	\$55.00	110481001	\$55.00
110452007	\$55.00	110461023	\$55.00	110481002	\$55.00
110452008	\$55.00	110461024	\$55.00	110481003	\$55.00
110453001	\$55.00	110461025	\$55.00	110481004	\$55.00
110453002	\$55.00	110461026	\$55.00	110481005	\$55.00
110453003	\$55.00	110461027	\$55.00	110481006	\$55.00
110453004	\$55.00	110461028	\$55.00	110481007	\$55.00
110453005	\$55.00	110461029	\$55.00	110481008	\$55.00
110453006	\$55.00	110461030	\$55.00	110481009	\$55.00
110453007	\$55.00	110461031	\$55.00	110481010	\$55.00
110453008	\$55.00	110461032	\$55.00	110481011	\$55.00
110453009	\$55.00	110461033	\$55.00	110481012	\$55.00
110453010	\$55.00	110461034	\$55.00	110481013	\$55.00
110453011	\$55.00	110461035	\$55.00	110481014	\$55.00
110453012	\$55.00	110461036	\$55.00	110481015	\$55.00
110453013	\$55.00	110461037	\$55.00	110481016	\$55.00
110453014	\$55.00	110461038	\$55.00	110481017	\$55.00
110453015	\$55.00	110462001	\$55.00	110481018	\$55.00
110454001	\$55.00	110462002	\$55.00	110481019	\$55.00
110454002	\$55.00	110462003	\$55.00	110481020	\$55.00
110454003	\$55.00	110462004	\$55.00	110481021	\$55.00
110454004	\$55.00	110462005	\$55.00	110481022	\$55.00
110461001	\$55.00	110463001	\$55.00	110481023	\$55.00
110461002	\$55.00	110463002	\$55.00	110481024	\$55.00
110461003	\$55.00	110463003	\$55.00	110481025	\$55.00
110461004	\$55.00	110463004	\$55.00	110481026	\$55.00
110461005	\$55.00	110463005	\$55.00	110481027	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110482001	\$55.00	110483016	\$55.00	110491027	\$55.00
110482002	\$55.00	110483017	\$55.00	110491028	\$55.00
110482003	\$55.00	110483018	\$55.00	110491029	\$55.00
110482004	\$55.00	110483019	\$55.00	110491030	\$55.00
110482005	\$55.00	110483020	\$55.00	110491031	\$55.00
110482006	\$55.00	110483021	\$55.00	110491032	\$55.00
110482007	\$55.00	110483022	\$55.00	110491033	\$55.00
110482008	\$55.00	110483023	\$55.00	110491034	\$55.00
110482009	\$55.00	110483024	\$55.00	110491035	\$55.00
110482010	\$55.00	110483025	\$55.00	110491036	\$55.00
110482011	\$55.00	110483026	\$55.00	110492001	\$55.00
110482012	\$55.00	110483027	\$55.00	110492002	\$55.00
110482013	\$55.00	110483028	\$55.00	110492003	\$55.00
110482014	\$55.00	110483029	\$55.00	110492004	\$55.00
110482015	\$55.00	110483030	\$55.00	110492005	\$55.00
110482016	\$55.00	110483031	\$55.00	110492006	\$55.00
110482017	\$55.00	110483032	\$55.00	110492007	\$55.00
110482018	\$55.00	110491001	\$55.00	110492008	\$55.00
110482019	\$55.00	110491002	\$55.00	110492009	\$55.00
110482020	\$55.00	110491003	\$55.00	110492010	\$55.00
110482021	\$55.00	110491004	\$55.00	110492011	\$55.00
110482022	\$55.00	110491005	\$55.00	110492012	\$55.00
110482023	\$55.00	110491006	\$55.00	110492013	\$55.00
110482024	\$55.00	110491007	\$55.00	110492014	\$55.00
110482025	\$55.00	110491008	\$55.00	110492015	\$55.00
110482026	\$55.00	110491009	\$55.00	110492016	\$55.00
110482027	\$55.00	110491010	\$55.00	110493001	\$55.00
110482028	\$55.00	110491011	\$55.00	110493002	\$55.00
110483001	\$55.00	110491012	\$55.00	110493003	\$55.00
110483002	\$55.00	110491013	\$55.00	110493004	\$55.00
110483003	\$55.00	110491014	\$55.00	110493005	\$55.00
110483004	\$55.00	110491015	\$55.00	110493006	\$55.00
110483005	\$55.00	110491016	\$55.00	110493007	\$55.00
110483006	\$55.00	110491017	\$55.00	110493008	\$55.00
110483007	\$55.00	110491018	\$55.00	110493009	\$55.00
110483008	\$55.00	110491019	\$55.00	110493010	\$55.00
110483009	\$55.00	110491020	\$55.00	110493011	\$55.00
110483010	\$55.00	110491021	\$55.00	110493012	\$55.00
110483011	\$55.00	110491022	\$55.00	110493013	\$55.00
110483012	\$55.00	110491023	\$55.00	110493014	\$55.00
110483013	\$55.00	110491024	\$55.00	110493015	\$55.00
110483014	\$55.00	110491025	\$55.00	110493016	\$55.00
110483015	\$55.00	110491026	\$55.00	110494001	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110494002	\$55.00	110502001	\$55.00	110505002	\$55.00
110494003	\$55.00	110502002	\$55.00	110505003	\$55.00
110494004	\$55.00	110502003	\$55.00	110505004	\$55.00
110494005	\$55.00	110502004	\$55.00	110505005	\$55.00
110494006	\$55.00	110502005	\$55.00	110505006	\$55.00
110494007	\$55.00	110502006	\$55.00	110505007	\$55.00
110494008	\$55.00	110502007	\$55.00	110505008	\$55.00
110494009	\$55.00	110502008	\$55.00	110505009	\$55.00
110494010	\$55.00	110502009	\$55.00	110505010	\$55.00
110494011	\$55.00	110502010	\$55.00	110505011	\$55.00
110494012	\$55.00	110502011	\$55.00	112151001	\$55.00
110494013	\$55.00	110502012	\$55.00	112151002	\$55.00
110494014	\$55.00	110502013	\$55.00	112151003	\$55.00
110494015	\$55.00	110502014	\$55.00	112151004	\$55.00
110494016	\$55.00	110502015	\$55.00	112151005	\$55.00
110494017	\$55.00	110502016	\$55.00	112151006	\$55.00
110494018	\$55.00	110502017	\$55.00	112151007	\$55.00
110494019	\$55.00	110502018	\$55.00	112151008	\$55.00
110494020	\$55.00	110502019	\$55.00	112152001	\$55.00
110495001	\$55.00	110502020	\$55.00	112152002	\$55.00
110495002	\$55.00	110502021	\$55.00	112152003	\$55.00
110495003	\$55.00	110502022	\$55.00	112152004	\$55.00
110495004	\$55.00	110502023	\$55.00	112152005	\$55.00
110495005	\$55.00	110503001	\$55.00	112152006	\$55.00
110495006	\$55.00	110503002	\$55.00	112152007	\$55.00
110495007	\$55.00	110503003	\$55.00	112152008	\$55.00
110495008	\$55.00	110503004	\$55.00	112152009	\$55.00
110495009	\$55.00	110503005	\$55.00	112152010	\$55.00
110495010	\$55.00	110503006	\$55.00	112153001	\$55.00
110495011	\$55.00	110503007	\$55.00	112153002	\$55.00
110495012	\$55.00	110504001	\$55.00	112153003	\$55.00
110495013	\$55.00	110504002	\$55.00	112153004	\$55.00
110501001	\$55.00	110504003	\$55.00	112153005	\$55.00
110501002	\$55.00	110504004	\$55.00	112153006	\$55.00
110501003	\$55.00	110504005	\$55.00	112153007	\$55.00
110501004	\$55.00	110504006	\$55.00	112153008	\$55.00
110501005	\$55.00	110504007	\$55.00	112154001	\$55.00
110501006	\$55.00	110504008	\$55.00	112154002	\$55.00
110501007	\$55.00	110504009	\$55.00	112154003	\$55.00
110501008	\$55.00	110504010	\$55.00	112154004	\$55.00
110501009	\$55.00	110504011	\$55.00	112154005	\$55.00
110501010	\$55.00	110504012	\$55.00	112154006	\$55.00
110501011	\$55.00	110505001	\$55.00	112154007	\$55.00



# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112154008	\$55.00	112163010	\$55.00	112172013	\$55.00
112161003	\$55.00	112163011	\$55.00	112172014	\$55.00
112161004	\$55.00	112163012	\$55.00	112172015	\$55.00
112161005	\$55.00	112163013	\$55.00	112172017	\$55.00
112161006	\$55.00	112163014	\$55.00	112172018	\$55.00
112161007	\$55.00	112163015	\$55.00	112172019	\$55.00
112161008	\$55.00	112163016	\$55.00	112172020	\$55.00
112161009	\$55.00	112164001	\$55.00	112172021	\$55.00
112161010	\$55.00	112164002	\$55.00	112172022	\$55.00
112161011	\$55.00	112164003	\$55.00	112172023	\$55.00
112161012	\$55.00	112164004	\$55.00	112172024	\$55.00
112161013	\$55.00	112165001	\$55.00	112172026	\$55.00
112161014	\$55.00	112165002	\$55.00	112172027	\$55.00
112161015	\$55.00	112171001	\$55.00	112172028	\$55.00
112161016	\$55.00	112171002	\$55.00	112181001	\$55.00
112161017	\$55.00	112171003	\$55.00	112181002	\$55.00
112161018	\$55.00	112171004	\$55.00	112181003	\$55.00
112161019	\$55.00	112171005	\$55.00	112181004	\$55.00
112162001	\$55.00	112171006	\$55.00	112181005	\$55.00
112162002	\$55.00	112171007	\$55.00	112181006	\$55.00
112162003	\$55.00	112171008	\$55.00	112181007	\$55.00
112162004	\$55.00	112171009	\$55.00	112181008	\$55.00
112162005	\$55.00	112171010	\$55.00	112181009	\$55.00
112162006	\$55.00	112171011	\$55.00	112181010	\$55.00
112162007	\$55.00	112171012	\$55.00	112181011	\$55.00
112162008	\$55.00	112171013	\$55.00	112181012	\$55.00
112162009	\$55.00	112171014	\$55.00	112181013	\$55.00
112162010	\$55.00	112171015	\$55.00	112181014	\$55.00
112162011	\$55.00	112171016	\$55.00	112181015	\$55.00
112162012	\$55.00	112171017	\$55.00	112182001	\$55.00
112162013	\$55.00	112171018	\$55.00	112182002	\$55.00
112162014	\$55.00	112172001	\$55.00	112182003	\$55.00
112162015	\$55.00	112172002	\$55.00	112182004	\$55.00
112162016	\$55.00	112172003	\$55.00	112182005	\$55.00
112163001	\$55.00	112172004	\$55.00	112182006	\$55.00
112163002	\$55.00	112172005	\$55.00	112182007	\$55.00
112163003	\$55.00	112172006	\$55.00	112182008	\$55.00
112163004	\$55.00	112172007	\$55.00	112182009	\$55.00
112163005	\$55.00	112172008	\$55.00	112182010	\$55.00
112163006	\$55.00	112172009	\$55.00	112182011	\$55.00
112163007	\$55.00	112172010	\$55.00	112182012	\$55.00
112163008	\$55.00	112172011	\$55.00	112182013	\$55.00
112163009	\$55.00	112172012	\$55.00	112182014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112182015	\$55.00	112192010	\$55.00	112193025	\$55.00
112182016	\$55.00	112192011	\$55.00	112201001	\$55.00
112182017	\$55.00	112192012	\$55.00	112201002	\$55.00
112182018	\$55.00	112192013	\$55.00	112201003	\$55.00
112182019	\$55.00	112192014	\$55.00	112201004	\$55.00
112182020	\$55.00	112192015	\$55.00	112201005	\$55.00
112182021	\$55.00	112192016	\$55.00	112201006	\$55.00
112182022	\$55.00	112192017	\$55.00	112201007	\$55.00
112182023	\$55.00	112192018	\$55.00	112201008	\$55.00
112182024	\$55.00	112192019	\$55.00	112201009	\$55.00
112182025	\$55.00	112192020	\$55.00	112202001	\$55.00
112182026	\$55.00	112192021	\$55.00	112202002	\$55.00
112182027	\$55.00	112192022	\$55.00	112211003	\$55.00
112182028	\$55.00	112192023	\$55.00	112211004	\$55.00
112182029	\$55.00	112192024	\$55.00	112211005	\$55.00
112182030	\$55.00	112192025	\$55.00	112211006	\$55.00
112182031	\$55.00	112192026	\$55.00	112211007	\$55.00
112182032	\$55.00	112192027	\$55.00	112211009	\$55.00
112182033	\$55.00	112192028	\$55.00	112211010	\$55.00
112182034	\$55.00	112193001	\$55.00	112211011	\$55.00
112191001	\$55.00	112193002	\$55.00	112211012	\$55.00
112191002	\$55.00	112193003	\$55.00	112211013	\$55.00
112191003	\$55.00	112193004	\$55.00	112211014	\$55.00
112191004	\$55.00	112193005	\$55.00	112211015	\$55.00
112191005	\$55.00	112193006	\$55.00	112211016	\$55.00
112191006	\$55.00	112193007	\$55.00	112211017	\$55.00
112191007	\$55.00	112193008	\$55.00	112211018	\$55.00
112191008	\$55.00	112193009	\$55.00	112211019	\$55.00
112191009	\$55.00	112193010	\$55.00	112211020	\$55.00
112191010	\$55.00	112193011	\$55.00	112211022	\$55.00
112191011	\$55.00	112193012	\$55.00	112211023	\$55.00
112191012	\$55.00	112193013	\$55.00	112212001	\$55.00
112191013	\$55.00	112193014	\$55.00	112212002	\$55.00
112191014	\$55.00	112193015	\$55.00	112212005	\$55.00
112191015	\$55.00	112193016	\$55.00	112212007	\$55.00
112192001	\$55.00	112193017	\$55.00	112212008	\$55.00
112192002	\$55.00	112193018	\$55.00	112212009	\$55.00
112192003	\$55.00	112193019	\$55.00	112212010	\$55.00
112192005	\$55.00	112193020	\$55.00	112212011	\$55.00
112192006	\$55.00	112193021	\$55.00	112212012	\$55.00
112192007	\$55.00	112193022	\$55.00	112212013	\$55.00
112192008	\$55.00	112193023	\$55.00	112212014	\$55.00
112192009	\$55.00	112193024	\$55.00	112212015	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112212016	\$55.00	112231032	\$55.00	112241004	\$55.00
112212017	\$55.00	112231033	\$55.00	112241005	\$55.00
112212018	\$55.00	112231034	\$55.00	112241006	\$55.00
112212019	\$55.00	112231035	\$55.00	112241007	\$55.00
112212020	\$55.00	112231036	\$55.00	112241008	\$55.00
112212021	\$55.00	112231037	\$55.00	112241010	\$55.00
112212022	\$55.00	112231038	\$55.00	112242002	\$55.00
112212025	\$55.00	112231039	\$55.00	112242003	\$55.00
112212026	\$55.00	112231040	\$55.00	112242004	\$55.00
112212027	\$55.00	112231041	\$55.00	112242005	\$55.00
112213001	\$55.00	112231042	\$55.00	112242006	\$55.00
112213003	\$55.00	112231043	\$55.00	112242007	\$55.00
112231001	\$55.00	112231044	\$55.00	112242008	\$55.00
112231002	\$55.00	112231045	\$55.00	112242009	\$55.00
112231003	\$55.00	112231046	\$55.00	112242010	\$55.00
112231004	\$55.00	112231047	\$55.00	112242011	\$55.00
112231005	\$55.00	112232001	\$55.00	112242012	\$55.00
112231006	\$55.00	112232002	\$55.00	112242013	\$55.00
112231007	\$55.00	112232003	\$55.00	112242014	\$55.00
112231008	\$55.00	112232004	\$55.00	112242015	\$55.00
112231009	\$55.00	112232005	\$55.00	112242016	\$55.00
112231010	\$55.00	112233001	\$55.00	112242017	\$55.00
112231011	\$55.00	112233002	\$55.00	112242018	\$55.00
112231012	\$55.00	112233003	\$55.00	112242019	\$55.00
112231013	\$55.00	112233004	\$55.00	112242023	\$55.00
112231014	\$55.00	112233005	\$55.00	112251001	\$55.00
112231015	\$55.00	112233006	\$55.00	112251002	\$55.00
112231016	\$55.00	112233007	\$55.00	112251003	\$55.00
112231017	\$55.00	112233008	\$55.00	112251004	\$55.00
112231018	\$55.00	112234001	\$55.00	112251005	\$55.00
112231019	\$55.00	112234002	\$55.00	112251006	\$55.00
112231020	\$55.00	112234003	\$55.00	112251007	\$55.00
112231021	\$55.00	112234004	\$55.00	112251008	\$55.00
112231022	\$55.00	112234005	\$55.00	112251009	\$55.00
112231023	\$55.00	112234006	\$55.00	112251010	\$55.00
112231024	\$55.00	112234007	\$55.00	112251011	\$55.00
112231025	\$55.00	112234008	\$55.00	112251012	\$55.00
112231026	\$55.00	112234009	\$55.00	112251013	\$55.00
112231027	\$55.00	112235001	\$55.00	112251014	\$55.00
112231028	\$55.00	112235002	\$55.00	112251015	\$55.00
112231029	\$55.00	112241001	\$55.00	112251016	\$55.00
112231030	\$55.00	112241002	\$55.00	112252001	\$55.00
112231031	\$55.00	112241003	\$55.00	112252002	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112252003	\$55.00	112253030	\$55.00	112272002	\$55.00
112252004	\$55.00	112253031	\$55.00	112272003	\$55.00
112252005	\$55.00	112253032	\$55.00	112272004	\$55.00
112252006	\$55.00	112253033	\$55.00	112272005	\$55.00
112252007	\$55.00	112254001	\$55.00	112272006	\$55.00
112252008	\$55.00	112254002	\$55.00	112273001	\$55.00
112252009	\$55.00	112254003	\$55.00	112273002	\$55.00
112252010	\$55.00	112254004	\$55.00	112273003	\$55.00
112252011	\$55.00	112254005	\$55.00	112273004	\$55.00
112252012	\$55.00	112254006	\$55.00	112273005	\$55.00
112252013	\$55.00	112254007	\$55.00	112273006	\$55.00
112252014	\$55.00	112254008	\$55.00	112273007	\$55.00
112252015	\$55.00	112254009	\$55.00	112273008	\$55.00
112252016	\$55.00	112254010	\$55.00	112273009	\$55.00
112253001	\$55.00	112254011	\$55.00	112273010	\$55.00
112253002	\$55.00	112254012	\$55.00	112273011	\$55.00
112253003	\$55.00	112254013	\$55.00	112273012	\$55.00
112253004	\$55.00	112254014	\$55.00	112273013	\$55.00
112253005	\$55.00	112255001	\$55.00	112273014	\$55.00
112253006	\$55.00	112255002	\$55.00	112273015	\$55.00
112253007	\$55.00	112271001	\$55.00	112273016	\$55.00
112253008	\$55.00	112271002	\$55.00	112273017	\$55.00
112253009	\$55.00	112271003	\$55.00	112273018	\$55.00
112253010	\$55.00	112271004	\$55.00	112273019	\$55.00
112253011	\$55.00	112271005	\$55.00	112273020	\$55.00
112253012	\$55.00	112271006	\$55.00	112273021	\$55.00
112253013	\$55.00	112271007	\$55.00	112273022	\$55.00
112253014	\$55.00	112271008	\$55.00	112273023	\$55.00
112253015	\$55.00	112271009	\$55.00	112273024	\$55.00
112253016	\$55.00	112271010	\$55.00	112273025	\$55.00
112253017	\$55.00	112271011	\$55.00	112273026	\$55.00
112253018	\$55.00	112271012	\$55.00	112273027	\$55.00
112253019	\$55.00	112271013	\$55.00	112273028	\$55.00
112253020	\$55.00	112271015	\$55.00	112273029	\$55.00
112253021	\$55.00	112271016	\$55.00	112273030	\$55.00
112253022	\$55.00	112271017	\$55.00	112273031	\$55.00
112253023	\$55.00	112271018	\$55.00	112274001	\$55.00
112253024	\$55.00	112271019	\$55.00	112274002	\$55.00
112253025	\$55.00	112271020	\$55.00	112274003	\$55.00
112253026	\$55.00	112271021	\$55.00	112274004	\$55.00
112253027	\$55.00	112271022	\$55.00	112274005	\$55.00
112253028	\$55.00	112271023	\$55.00	112274006	\$55.00
112253029	\$55.00	112272001	\$55.00	112274007	\$55.00

## Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112274008	\$55.00	112274018	\$55.00	112274028	\$55.00
112274009	\$55.00	112274019	\$55.00	112274029	\$55.00
112274010	\$55.00	112274020	\$55.00	112274030	\$55.00
112274011	\$55.00	112274021	\$55.00	112274031	\$55.00
112274012	\$55.00	112274022	\$55.00	112341020	\$55.00
112274013	\$55.00	112274023	\$55.00	112341021	\$55.00
112274014	\$55.00	112274024	\$55.00	112341022	\$55.00
112274015	\$55.00	112274025	\$55.00	112341023	\$55.00
112274016	\$55.00	112274026	\$55.00	112341024	\$55.00
112274017	\$55.00	112274027	\$55.00		
<b>Totals</b>		<b>Parcels 1,061</b>		<b>Levy \$78,793.00</b>	

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101301001	\$623.70	101306012	\$623.70	101312006	\$623.70
101301002	\$623.70	101306013	\$623.70	101312007	\$623.70
101301003	\$623.70	101306014	\$623.70	101312008	\$623.70
101301004	\$623.70	101306015	\$623.70	101312009	\$623.70
101301005	\$623.70	101306016	\$623.70	101312010	\$623.70
101301006	\$623.70	101306017	\$623.70	101312011	\$623.70
101301007	\$623.70	101306018	\$623.70	101312012	\$623.70
101302001	\$623.70	101306019	\$623.70	101312013	\$623.70
101302002	\$623.70	101306020	\$623.70	101312014	\$623.70
101302003	\$623.70	101306021	\$623.70	101312015	\$623.70
101302004	\$623.70	101306022	\$623.70	101312016	\$623.70
101302005	\$623.70	101307001	\$623.70	101313001	\$623.70
101302006	\$623.70	101307002	\$623.70	101313002	\$623.70
101302007	\$623.70	101307003	\$623.70	101313003	\$623.70
101303001	\$623.70	101307004	\$623.70	101313004	\$623.70
101303002	\$623.70	101307005	\$623.70	101313005	\$623.70
101303003	\$623.70	101307006	\$623.70	101313006	\$623.70
101303004	\$623.70	101310001	\$623.70	101313007	\$623.70
101303005	\$623.70	101310002	\$623.70	101313008	\$623.70
101303006	\$623.70	101310003	\$623.70	101313009	\$623.70
101303007	\$623.70	101310004	\$623.70	101313010	\$623.70
101303008	\$623.70	101310005	\$623.70	101313011	\$623.70
101304001	\$623.70	101310006	\$623.70	101313012	\$623.70
101304002	\$623.70	101310007	\$623.70	101313013	\$623.70
101304003	\$623.70	101310008	\$623.70	101313014	\$623.70
101304004	\$623.70	101310009	\$623.70	101313015	\$623.70
101304005	\$623.70	101310010	\$623.70	101313016	\$623.70
101304006	\$623.70	101310011	\$623.70	101313017	\$623.70
101304007	\$623.70	101310012	\$623.70	101313018	\$623.70
101305001	\$623.70	101310013	\$623.70	101320001	\$623.70
101305002	\$623.70	101310014	\$623.70	101320002	\$623.70
101305003	\$623.70	101310015	\$623.70	101320003	\$623.70
101306001	\$623.70	101310016	\$623.70	101320004	\$623.70
101306002	\$623.70	101310017	\$623.70	101320005	\$623.70
101306003	\$623.70	101310018	\$623.70	101320006	\$623.70
101306004	\$623.70	101310019	\$623.70	101320007	\$623.70
101306005	\$623.70	101310020	\$623.70	101320008	\$623.70
101306006	\$623.70	101310021	\$623.70	101320009	\$623.70
101306007	\$623.70	101312001	\$623.70	101320010	\$623.70
101306008	\$623.70	101312002	\$623.70	101320011	\$623.70
101306009	\$623.70	101312003	\$623.70	101320012	\$623.70
101306010	\$623.70	101312004	\$623.70	101320013	\$623.70
101306011	\$623.70	101312005	\$623.70	101320014	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101320015	\$623.70	101332023	\$623.70	101342017	\$623.70
101320016	\$623.70	101333001	\$623.70	101342018	\$623.70
101320017	\$623.70	101333002	\$623.70	101343001	\$623.70
101320018	\$623.70	101333003	\$623.70	101343002	\$623.70
101331001	\$623.70	101333004	\$623.70	101343003	\$623.70
101331002	\$623.70	101333005	\$623.70	101343004	\$623.70
101331003	\$623.70	101333006	\$623.70	101343005	\$623.70
101331004	\$623.70	101333007	\$623.70	101343006	\$623.70
101331005	\$623.70	101333008	\$623.70	101343007	\$623.70
101331006	\$623.70	101333009	\$623.70	101343008	\$623.70
101331007	\$623.70	101334001	\$623.70	101343009	\$623.70
101331008	\$623.70	101334002	\$623.70	101344001	\$623.70
101331009	\$623.70	101334003	\$623.70	101344002	\$623.70
101331010	\$623.70	101341001	\$623.70	101344003	\$623.70
101331011	\$623.70	101341002	\$623.70	101344004	\$623.70
101331012	\$623.70	101341003	\$623.70	101344005	\$623.70
101331013	\$623.70	101341004	\$623.70	101344006	\$623.70
101331014	\$623.70	101341005	\$623.70	101344007	\$623.70
101331015	\$623.70	101341006	\$623.70	101344008	\$623.70
101331016	\$623.70	101341007	\$623.70	101344009	\$623.70
101331017	\$623.70	101341008	\$623.70	101344010	\$623.70
101332001	\$623.70	101341009	\$623.70	101344011	\$623.70
101332002	\$623.70	101341010	\$623.70	101344012	\$623.70
101332003	\$623.70	101341011	\$623.70	101344013	\$623.70
101332004	\$623.70	101341012	\$623.70	101344014	\$623.70
101332005	\$623.70	101341013	\$623.70	101344015	\$623.70
101332006	\$623.70	101341014	\$623.70	101344016	\$623.70
101332007	\$623.70	101342001	\$623.70	101344017	\$623.70
101332008	\$623.70	101342002	\$623.70	101344018	\$623.70
101332009	\$623.70	101342003	\$623.70	101380001	\$623.70
101332010	\$623.70	101342004	\$623.70	101380002	\$623.70
101332011	\$623.70	101342005	\$623.70	101380003	\$623.70
101332012	\$623.70	101342006	\$623.70	101380004	\$623.70
101332013	\$623.70	101342007	\$623.70	101380005	\$623.70
101332014	\$623.70	101342008	\$623.70	101380006	\$623.70
101332015	\$623.70	101342009	\$623.70	101380007	\$623.70
101332016	\$623.70	101342010	\$623.70	101380008	\$623.70
101332017	\$623.70	101342011	\$623.70	101380013	\$623.70
101332018	\$623.70	101342012	\$623.70	101380014	\$623.70
101332019	\$623.70	101342013	\$623.70	101380015	\$623.70
101332020	\$623.70	101342014	\$623.70	101380016	\$623.70
101332021	\$623.70	101342015	\$623.70	101380017	\$623.70
101332022	\$623.70	101342016	\$623.70	101391001	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101391002	\$623.70	102361013	\$623.70	102361057	\$623.70
101391003	\$623.70	102361014	\$623.70	102361058	\$623.70
101391004	\$623.70	102361015	\$623.70	102361059	\$623.70
101391005	\$623.70	102361016	\$623.70	102361060	\$623.70
101391006	\$623.70	102361017	\$623.70	102361061	\$623.70
101391007	\$623.70	102361018	\$623.70	102361062	\$623.70
101391008	\$623.70	102361019	\$623.70	102361063	\$623.70
101391009	\$623.70	102361020	\$623.70	102361064	\$623.70
101391010	\$623.70	102361021	\$623.70	102361065	\$623.70
101391011	\$623.70	102361022	\$623.70	102361066	\$623.70
101392001	\$623.70	102361023	\$623.70	102361067	\$623.70
101392002	\$623.70	102361024	\$623.70	102361068	\$623.70
101392003	\$623.70	102361025	\$623.70	102361069	\$623.70
101392004	\$623.70	102361026	\$623.70	102361070	\$623.70
101392005	\$623.70	102361027	\$623.70	102361071	\$623.70
101440001	\$1,247.42	102361028	\$623.70	102361072	\$623.70
101440002	\$1,247.42	102361029	\$623.70	102361073	\$623.70
101440003	\$1,247.42	102361030	\$623.70	102361074	\$623.70
101440004	\$1,247.42	102361031	\$623.70	102361075	\$623.70
101440005	\$1,247.42	102361032	\$623.70	102361076	\$623.70
101440006	\$1,247.42	102361033	\$623.70	102361077	\$623.70
101440007	\$1,247.42	102361034	\$623.70	102361078	\$623.70
101440008	\$1,247.42	102361035	\$623.70	102361079	\$623.70
101440009	\$1,247.42	102361036	\$623.70	102361080	\$623.70
101440010	\$1,247.42	102361038	\$623.70	102361081	\$623.70
101440011	\$1,247.42	102361039	\$623.70	102361083	\$623.70
101440013	\$2,494.84	102361040	\$623.70	102361084	\$623.70
101440014	\$2,650.76	102361041	\$623.70	102361085	\$623.70
101440018	\$1,247.42	102361042	\$623.70	102361086	\$623.70
101440019	\$1,216.22	102361043	\$623.70	102361087	\$623.70
101440020	\$15,468.00	102361044	\$623.70	102361088	\$623.70
102361001	\$623.70	102361045	\$623.70	102361089	\$623.70
102361002	\$623.70	102361046	\$623.70	102361090	\$623.70
102361003	\$623.70	102361047	\$623.70	102362001	\$623.70
102361004	\$623.70	102361048	\$623.70	102362002	\$623.70
102361005	\$623.70	102361049	\$623.70	102362003	\$623.70
102361006	\$623.70	102361050	\$623.70	102362004	\$623.70
102361007	\$623.70	102361051	\$623.70	102362005	\$623.70
102361008	\$623.70	102361052	\$623.70	102362006	\$623.70
102361009	\$623.70	102361053	\$623.70	102362007	\$623.70
102361010	\$623.70	102361054	\$623.70	102362008	\$623.70
102361011	\$623.70	102361055	\$623.70	102362009	\$623.70
102361012	\$623.70	102361056	\$623.70	102362010	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102362011	\$623.70	102391001	\$623.70	102391044	\$623.70
102362012	\$623.70	102391002	\$623.70	102391045	\$623.70
102362013	\$623.70	102391003	\$623.70	102391046	\$623.70
102362014	\$623.70	102391004	\$623.70	102391047	\$623.70
102362015	\$623.70	102391005	\$623.70	102391048	\$623.70
102362016	\$623.70	102391006	\$623.70	102391049	\$623.70
102362017	\$623.70	102391007	\$623.70	102391050	\$623.70
102362018	\$623.70	102391008	\$623.70	102391051	\$623.70
102362019	\$623.70	102391009	\$623.70	102391052	\$623.70
102362020	\$623.70	102391010	\$623.70	102391053	\$623.70
102362021	\$623.70	102391011	\$623.70	102391054	\$623.70
102362022	\$623.70	102391012	\$623.70	102391055	\$623.70
102362023	\$623.70	102391013	\$623.70	102391056	\$623.70
102362024	\$623.70	102391014	\$623.70	102391057	\$623.70
102362026	\$623.70	102391015	\$623.70	102391058	\$623.70
102362027	\$623.70	102391016	\$623.70	102391059	\$623.70
102362028	\$623.70	102391017	\$623.70	102391060	\$623.70
102362029	\$623.70	102391018	\$623.70	102391061	\$623.70
102362030	\$623.70	102391019	\$623.70	102391062	\$623.70
102362031	\$623.70	102391020	\$623.70	102391063	\$623.70
102362032	\$623.70	102391021	\$623.70	102391064	\$623.70
102362033	\$623.70	102391022	\$623.70	102391065	\$623.70
102380020	\$112,267.80	102391023	\$623.70	102391066	\$623.70
102380051	\$34,304.04	102391024	\$623.70	102391067	\$623.70
102381001	\$623.70	102391025	\$623.70	102391068	\$623.70
102381002	\$623.70	102391026	\$623.70	102391069	\$623.70
102381003	\$623.70	102391027	\$623.70	102391070	\$623.70
102381004	\$623.70	102391028	\$623.70	102391071	\$623.70
102381005	\$623.70	102391029	\$623.70	102391072	\$623.70
102381006	\$623.70	102391030	\$623.70	102392001	\$623.70
102381007	\$623.70	102391031	\$623.70	102392002	\$623.70
102381008	\$623.70	102391032	\$623.70	102392003	\$623.70
102381009	\$623.70	102391033	\$623.70	102392004	\$623.70
102381010	\$623.70	102391034	\$623.70	102392005	\$623.70
102381011	\$623.70	102391035	\$623.70	102392006	\$623.70
102381012	\$623.70	102391036	\$623.70	102392007	\$623.70
102381013	\$623.70	102391037	\$623.70	102392008	\$623.70
102381014	\$623.70	102391038	\$623.70	102392009	\$623.70
102381015	\$623.70	102391039	\$623.70	102392010	\$623.70
102381016	\$623.70	102391040	\$623.70	102392011	\$623.70
102381017	\$623.70	102391041	\$623.70	102392012	\$623.70
102381018	\$623.70	102391042	\$623.70	102392013	\$623.70
102381019	\$623.70	102391043	\$623.70	102392014	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102392015	\$623.70	102392058	\$623.70	102393039	\$623.70
102392016	\$623.70	102392059	\$623.70	102393040	\$623.70
102392017	\$623.70	102392060	\$623.70	102393041	\$623.70
102392018	\$623.70	102392061	\$623.70	102393042	\$623.70
102392019	\$623.70	102392062	\$623.70	102393043	\$623.70
102392020	\$623.70	102393001	\$623.70	102393044	\$623.70
102392021	\$623.70	102393002	\$623.70	102393045	\$623.70
102392022	\$623.70	102393003	\$623.70	102393046	\$623.70
102392023	\$623.70	102393004	\$623.70	102393047	\$623.70
102392024	\$623.70	102393005	\$623.70	102393048	\$623.70
102392025	\$623.70	102393006	\$623.70	102393049	\$623.70
102392026	\$623.70	102393007	\$623.70	102393050	\$623.70
102392027	\$623.70	102393008	\$623.70	102393051	\$623.70
102392028	\$623.70	102393009	\$623.70	102393052	\$623.70
102392029	\$623.70	102393010	\$623.70	102393053	\$623.70
102392030	\$623.70	102393011	\$623.70	102393054	\$623.70
102392031	\$623.70	102393012	\$623.70	102393055	\$623.70
102392032	\$623.70	102393013	\$623.70	102393056	\$623.70
102392033	\$623.70	102393014	\$623.70	102393057	\$623.70
102392034	\$623.70	102393015	\$623.70	102393058	\$623.70
102392035	\$623.70	102393016	\$623.70	102393059	\$623.70
102392036	\$623.70	102393017	\$623.70	102393060	\$623.70
102392037	\$623.70	102393018	\$623.70	102393061	\$623.70
102392038	\$623.70	102393019	\$623.70	102393062	\$623.70
102392039	\$623.70	102393020	\$623.70	102393063	\$623.70
102392040	\$623.70	102393021	\$623.70	102393064	\$623.70
102392041	\$623.70	102393022	\$623.70	102394001	\$623.70
102392042	\$623.70	102393023	\$623.70	102394002	\$623.70
102392043	\$623.70	102393024	\$623.70	102394003	\$623.70
102392044	\$623.70	102393025	\$623.70	102394004	\$623.70
102392045	\$623.70	102393026	\$623.70	102394005	\$623.70
102392046	\$623.70	102393027	\$623.70	102394006	\$623.70
102392047	\$623.70	102393028	\$623.70	102394007	\$623.70
102392048	\$623.70	102393029	\$623.70	102394008	\$623.70
102392049	\$623.70	102393030	\$623.70	102394009	\$623.70
102392050	\$623.70	102393031	\$623.70	102394010	\$623.70
102392051	\$623.70	102393032	\$623.70	102394011	\$623.70
102392052	\$623.70	102393033	\$623.70	102394012	\$623.70
102392053	\$623.70	102393034	\$623.70	102394013	\$623.70
102392054	\$623.70	102393035	\$623.70	102394014	\$623.70
102392055	\$623.70	102393036	\$623.70	102394015	\$623.70
102392056	\$623.70	102393037	\$623.70	102394016	\$623.70
102392057	\$623.70	102393038	\$623.70	102394017	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102394018	\$623.70	102394061	\$623.70	102431008	\$623.70
102394019	\$623.70	102394062	\$623.70	102431009	\$623.70
102394020	\$623.70	102394063	\$623.70	102431010	\$623.70
102394021	\$623.70	102394064	\$623.70	102431011	\$623.70
102394022	\$623.70	102394065	\$623.70	102431012	\$623.70
102394023	\$623.70	102394066	\$623.70	102432001	\$623.70
102394024	\$623.70	102394067	\$623.70	102432002	\$623.70
102394025	\$623.70	102394068	\$623.70	102432003	\$623.70
102394026	\$623.70	102394069	\$623.70	102432004	\$623.70
102394027	\$623.70	102394070	\$623.70	102432005	\$623.70
102394028	\$623.70	102394071	\$623.70	102432006	\$623.70
102394029	\$623.70	102394072	\$623.70	102432007	\$623.70
102394030	\$623.70	102394073	\$623.70	102432009	\$623.70
102394031	\$623.70	102394074	\$623.70	102432010	\$623.70
102394032	\$623.70	102394075	\$623.70	102432016	\$623.70
102394033	\$623.70	102394076	\$623.70	102433001	\$623.70
102394034	\$623.70	102394077	\$623.70	102433002	\$623.70
102394035	\$623.70	102394078	\$623.70	102433003	\$623.70
102394036	\$623.70	102394079	\$623.70	102433004	\$623.70
102394037	\$623.70	102394080	\$623.70	102433005	\$623.70
102394038	\$623.70	102394081	\$623.70	102433006	\$623.70
102394039	\$623.70	102394082	\$623.70	102433007	\$623.70
102394040	\$623.70	102394083	\$623.70	102433008	\$623.70
102394041	\$623.70	102394084	\$623.70	102433009	\$623.70
102394042	\$623.70	102394085	\$623.70	102433010	\$623.70
102394043	\$623.70	102394086	\$623.70	102433011	\$623.70
102394044	\$623.70	102394087	\$623.70	102433012	\$623.70
102394045	\$623.70	102394088	\$623.70	102433013	\$623.70
102394046	\$623.70	102394089	\$623.70	102433014	\$623.70
102394047	\$623.70	102394090	\$623.70	102441001	\$623.70
102394048	\$623.70	102394091	\$623.70	102441002	\$623.70
102394049	\$623.70	102394092	\$623.70	102441003	\$623.70
102394050	\$623.70	102394093	\$623.70	102441004	\$623.70
102394051	\$623.70	102394094	\$623.70	102441005	\$623.70
102394052	\$623.70	102394095	\$623.70	102441006	\$623.70
102394053	\$623.70	102394096	\$623.70	102441007	\$623.70
102394054	\$623.70	102431001	\$623.70	102441008	\$623.70
102394055	\$623.70	102431002	\$623.70	102441009	\$623.70
102394056	\$623.70	102431003	\$623.70	102441010	\$623.70
102394057	\$623.70	102431004	\$623.70	102441011	\$623.70
102394058	\$623.70	102431005	\$623.70	102441012	\$623.70
102394059	\$623.70	102431006	\$623.70	102441013	\$623.70
102394060	\$623.70	102431007	\$623.70	102441014	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102441015	\$623.70	102443002	\$623.70	102451005	\$623.70
102441016	\$623.70	102443003	\$623.70	102452001	\$623.70
102441017	\$623.70	102443004	\$623.70	102452002	\$623.70
102442001	\$623.70	102443005	\$623.70	102452003	\$623.70
102442002	\$623.70	102443006	\$623.70	102452004	\$623.70
102442003	\$623.70	102443007	\$623.70	102452005	\$623.70
102442004	\$623.70	102443008	\$623.70	102452006	\$623.70
102442005	\$623.70	102443009	\$623.70	102452007	\$623.70
102442006	\$623.70	102443010	\$623.70	102452008	\$623.70
102442007	\$623.70	102443011	\$623.70	102452009	\$623.70
102442008	\$623.70	102443012	\$623.70	102452010	\$623.70
102442009	\$623.70	102443013	\$623.70	102452011	\$623.70
102442010	\$623.70	102443014	\$623.70	102461001	\$623.70
102442011	\$623.70	102443015	\$623.70	102461002	\$623.70
102442012	\$623.70	102443016	\$623.70	102461003	\$623.70
102442013	\$623.70	102443017	\$623.70	102461004	\$623.70
102442014	\$623.70	102443018	\$623.70	102461005	\$623.70
102442015	\$623.70	102443019	\$623.70	102461006	\$623.70
102442016	\$623.70	102443020	\$623.70	102461007	\$623.70
102442017	\$623.70	102443021	\$623.70	102461008	\$623.70
102442018	\$623.70	102443022	\$623.70	102461009	\$623.70
102442019	\$623.70	102443023	\$623.70	102461010	\$623.70
102442020	\$623.70	102443024	\$623.70	102461011	\$623.70
102442021	\$623.70	102443025	\$623.70	102461012	\$623.70
102442022	\$623.70	102443026	\$623.70	102461013	\$623.70
102442023	\$623.70	102443027	\$623.70	102461014	\$623.70
102442024	\$623.70	102443028	\$623.70	102461015	\$623.70
102442025	\$623.70	102443029	\$623.70	102461016	\$623.70
102442026	\$623.70	102443030	\$623.70	102461017	\$623.70
102442027	\$623.70	102443031	\$623.70	102461018	\$623.70
102442028	\$623.70	102443032	\$623.70	102461019	\$623.70
102442029	\$623.70	102443033	\$623.70	102461020	\$623.70
102442030	\$623.70	102443034	\$623.70	102461021	\$623.70
102442031	\$623.70	102443035	\$623.70	102461022	\$623.70
102442032	\$623.70	102443036	\$623.70	102461023	\$623.70
102442033	\$623.70	102443037	\$623.70	102461024	\$623.70
102442034	\$623.70	102443038	\$623.70	102461025	\$623.70
102442035	\$623.70	102443039	\$623.70	102461026	\$623.70
102442036	\$623.70	102443040	\$623.70	102461027	\$623.70
102442037	\$623.70	102451001	\$623.70	102461028	\$623.70
102442038	\$623.70	102451002	\$623.70	102461029	\$623.70
102442039	\$623.70	102451003	\$623.70	102461030	\$623.70
102443001	\$623.70	102451004	\$623.70	102461031	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102462001	\$623.70	102474002	\$623.70	102482013	\$623.70
102462002	\$623.70	102474003	\$623.70	102482014	\$623.70
102462003	\$623.70	102474004	\$623.70	102482015	\$623.70
102462004	\$623.70	102474005	\$623.70	102482016	\$623.70
102462005	\$623.70	102474006	\$623.70	102482017	\$623.70
102462006	\$623.70	102474007	\$623.70	102482018	\$623.70
102462007	\$623.70	102474008	\$623.70	102482019	\$623.70
102471001	\$623.70	102474009	\$623.70	102482020	\$623.70
102472001	\$623.70	102474010	\$623.70	102482021	\$623.70
102472002	\$623.70	102474011	\$623.70	102482022	\$623.70
102472003	\$623.70	102474012	\$623.70	102482023	\$623.70
102472004	\$623.70	102474013	\$623.70	102482024	\$623.70
102472005	\$623.70	102474014	\$623.70	102482025	\$623.70
102472006	\$623.70	102474015	\$623.70	102483001	\$623.70
102472007	\$623.70	102474016	\$623.70	102483002	\$623.70
102472008	\$623.70	102474017	\$623.70	102483003	\$623.70
102472009	\$623.70	102475001	\$623.70	102483004	\$623.70
102472010	\$623.70	102475002	\$623.70	102483005	\$623.70
102472011	\$623.70	102475003	\$623.70	102483006	\$623.70
102472012	\$623.70	102475004	\$623.70	102483007	\$623.70
102473001	\$623.70	102475005	\$623.70	102483008	\$623.70
102473002	\$623.70	102476001	\$623.70	102483009	\$623.70
102473003	\$623.70	102476002	\$623.70	102483010	\$623.70
102473004	\$623.70	102481001	\$623.70	102484001	\$623.70
102473005	\$623.70	102481002	\$623.70	102484002	\$623.70
102473006	\$623.70	102481003	\$623.70	102484003	\$623.70
102473007	\$623.70	102481004	\$623.70	102484004	\$623.70
102473008	\$623.70	102481005	\$623.70	102484005	\$623.70
102473009	\$623.70	102481006	\$623.70	102484006	\$623.70
102473010	\$623.70	102481007	\$623.70	102484007	\$623.70
102473011	\$623.70	102481008	\$623.70	102484008	\$623.70
102473012	\$623.70	102482001	\$623.70	102484009	\$623.70
102473013	\$623.70	102482002	\$623.70	102484010	\$623.70
102473014	\$623.70	102482003	\$623.70	102484011	\$623.70
102473015	\$623.70	102482004	\$623.70	102484012	\$623.70
102473016	\$623.70	102482005	\$623.70	102484013	\$623.70
102473017	\$623.70	102482006	\$623.70	102484014	\$623.70
102473018	\$623.70	102482007	\$623.70	102484015	\$623.70
102473019	\$623.70	102482008	\$623.70	102484016	\$623.70
102473020	\$623.70	102482009	\$623.70	102484017	\$623.70
102473021	\$623.70	102482010	\$623.70	102484018	\$623.70
102473022	\$623.70	102482011	\$623.70	102484019	\$623.70
102474001	\$623.70	102482012	\$623.70	102484020	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102484021	\$623.70	102512013	\$623.70	102521031	\$623.70
102484022	\$623.70	102512014	\$623.70	102521032	\$623.70
102484023	\$623.70	102512015	\$623.70	102521033	\$623.70
102511001	\$623.70	102512016	\$623.70	102521036	\$623.70
102511002	\$623.70	102512017	\$623.70	102521037	\$623.70
102511003	\$623.70	102512018	\$623.70	102521038	\$623.70
102511004	\$623.70	102512019	\$623.70	102521039	\$623.70
102511005	\$623.70	102512020	\$623.70	102521040	\$623.70
102511006	\$623.70	102512021	\$623.70	102521041	\$623.70
102511007	\$623.70	102512022	\$623.70	102521042	\$623.70
102511008	\$623.70	102512023	\$623.70	102521043	\$623.70
102511009	\$623.70	102512024	\$623.70	102521044	\$623.70
102511010	\$623.70	102512025	\$623.70	102521045	\$623.70
102511011	\$623.70	102512026	\$623.70	102521046	\$623.70
102511012	\$623.70	102512027	\$623.70	102521047	\$623.70
102511013	\$623.70	102512028	\$623.70	102521048	\$623.70
102511014	\$623.70	102512029	\$623.70	102521050	\$623.70
102511015	\$623.70	102512030	\$623.70	102521051	\$623.70
102511016	\$623.70	102512031	\$623.70	102521052	\$623.70
102511017	\$623.70	102512032	\$623.70	102521053	\$623.70
102511018	\$623.70	102521001	\$623.70	102521054	\$623.70
102511019	\$623.70	102521002	\$623.70	102521055	\$623.70
102511020	\$623.70	102521003	\$623.70	102521056	\$623.70
102511021	\$623.70	102521004	\$623.70	102521057	\$623.70
102511022	\$623.70	102521005	\$623.70	102521058	\$623.70
102511023	\$623.70	102521008	\$623.70	102522001	\$623.70
102511024	\$623.70	102521009	\$623.70	102522002	\$623.70
102511025	\$623.70	102521010	\$623.70	102522003	\$623.70
102511026	\$623.70	102521011	\$623.70	102522004	\$623.70
102511027	\$623.70	102521012	\$623.70	102522005	\$623.70
102511028	\$623.70	102521013	\$623.70	102522006	\$623.70
102512001	\$623.70	102521014	\$623.70	102522007	\$623.70
102512002	\$623.70	102521015	\$623.70	102522008	\$623.70
102512003	\$623.70	102521016	\$623.70	102522009	\$623.70
102512004	\$623.70	102521021	\$623.70	102522010	\$623.70
102512005	\$623.70	102521022	\$623.70	102522011	\$623.70
102512006	\$623.70	102521023	\$623.70	102522012	\$623.70
102512007	\$623.70	102521024	\$623.70	102522013	\$623.70
102512008	\$623.70	102521025	\$623.70	102522014	\$623.70
102512009	\$623.70	102521027	\$623.70	102522015	\$623.70
102512010	\$623.70	102521028	\$623.70	102522016	\$623.70
102512011	\$623.70	102521029	\$623.70	102522017	\$623.70
102512012	\$623.70	102521030	\$623.70	102522018	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102522019	\$623.70	102532003	\$623.70	102541003	\$623.70
102522020	\$623.70	102532004	\$623.70	102541009	\$623.70
102522021	\$623.70	102532005	\$623.70	102541010	\$623.70
102531008	\$623.70	102532006	\$623.70	102541011	\$623.70
102531009	\$623.70	102532007	\$623.70	102541012	\$623.70
102531010	\$623.70	102532008	\$623.70	102541013	\$623.70
102531011	\$623.70	102532009	\$623.70	102541014	\$623.70
102531012	\$623.70	102532010	\$623.70	102541015	\$623.70
102531013	\$623.70	102532011	\$623.70	102541016	\$623.70
102531014	\$623.70	102532012	\$623.70	102541017	\$623.70
102531015	\$623.70	102532013	\$623.70	102541018	\$623.70
102531016	\$623.70	102532014	\$623.70	102541019	\$623.70
102531017	\$623.70	102532015	\$623.70	102541020	\$623.70
102531018	\$623.70	102532016	\$623.70	102541021	\$623.70
102531019	\$623.70	102532017	\$623.70	102541022	\$623.70
102531020	\$623.70	102532018	\$623.70	102541023	\$623.70
102531021	\$623.70	102532019	\$623.70	102541024	\$623.70
102531022	\$623.70	102532020	\$623.70	102541025	\$623.70
102531023	\$623.70	102532021	\$623.70	102541026	\$623.70
102531024	\$623.70	102532022	\$623.70	102541027	\$623.70
102531025	\$623.70	102532023	\$623.70	102541028	\$623.70
102531026	\$623.70	102532024	\$623.70	102541029	\$623.70
102531027	\$623.70	102532025	\$623.70	102541030	\$623.70
102531028	\$623.70	102532026	\$623.70	102541031	\$623.70
102531029	\$623.70	102532027	\$623.70	102541032	\$623.70
102531030	\$623.70	102532028	\$623.70	102541033	\$623.70
102531031	\$623.70	102532029	\$623.70	102541034	\$623.70
102531032	\$623.70	102532030	\$623.70	102541035	\$623.70
102531033	\$623.70	102532031	\$623.70	102541036	\$623.70
102531034	\$623.70	102532032	\$623.70	102541037	\$623.70
102531035	\$623.70	102532033	\$623.70	102541038	\$623.70
102531036	\$623.70	102532034	\$623.70	102541039	\$623.70
102531037	\$623.70	102532035	\$623.70	102541040	\$623.70
102531039	\$623.70	102532036	\$623.70	102541041	\$623.70
102531041	\$623.70	102532037	\$623.70	102541042	\$623.70
102531043	\$623.70	102532038	\$623.70	102541043	\$623.70
102531045	\$623.70	102532039	\$623.70	102541044	\$623.70
102531047	\$623.70	102532044	\$623.70	102541045	\$623.70
102531049	\$623.70	102532045	\$623.70	102541046	\$623.70
102531054	\$623.70	102532046	\$623.70	102541047	\$623.70
102531055	\$623.70	102532047	\$623.70	102541048	\$623.70
102532001	\$623.70	102541001	\$623.70	102541049	\$623.70
102532002	\$623.70	102541002	\$623.70	102541050	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102541051	\$623.70	102543002	\$623.70	102551031	\$623.70
102541052	\$623.70	102543003	\$623.70	102551032	\$623.70
102542001	\$623.70	102543004	\$623.70	102551033	\$623.70
102542002	\$623.70	102543005	\$623.70	102551034	\$623.70
102542003	\$623.70	102543006	\$623.70	102552003	\$623.70
102542004	\$623.70	102543007	\$623.70	102552004	\$623.70
102542005	\$623.70	102543008	\$623.70	102552005	\$623.70
102542006	\$623.70	102543009	\$623.70	102552006	\$623.70
102542007	\$623.70	102543010	\$623.70	102552007	\$623.70
102542008	\$623.70	102543011	\$623.70	102552008	\$623.70
102542009	\$623.70	102543012	\$623.70	102552009	\$623.70
102542010	\$623.70	102543013	\$623.70	102552010	\$623.70
102542011	\$623.70	102543014	\$623.70	102552011	\$623.70
102542012	\$623.70	102551001	\$623.70	102552012	\$623.70
102542013	\$623.70	102551002	\$623.70	102552013	\$623.70
102542014	\$623.70	102551003	\$623.70	102552014	\$623.70
102542015	\$623.70	102551004	\$623.70	102552015	\$623.70
102542016	\$623.70	102551005	\$623.70	102552016	\$623.70
102542017	\$623.70	102551006	\$623.70	102552017	\$623.70
102542018	\$623.70	102551007	\$623.70	102552018	\$623.70
102542019	\$623.70	102551008	\$623.70	102552019	\$623.70
102542020	\$623.70	102551009	\$623.70	102552020	\$623.70
102542021	\$623.70	102551010	\$623.70	102552021	\$623.70
102542022	\$623.70	102551011	\$623.70	102552022	\$623.70
102542023	\$623.70	102551012	\$623.70	102552023	\$623.70
102542024	\$623.70	102551013	\$623.70	102552024	\$623.70
102542025	\$623.70	102551014	\$623.70	102552025	\$623.70
102542026	\$623.70	102551015	\$623.70	102552026	\$623.70
102542027	\$623.70	102551016	\$623.70	102552027	\$623.70
102542028	\$623.70	102551017	\$623.70	102552028	\$623.70
102542029	\$623.70	102551018	\$623.70	102552029	\$623.70
102542030	\$623.70	102551019	\$623.70	102552030	\$623.70
102542031	\$623.70	102551020	\$623.70	102552031	\$623.70
102542032	\$623.70	102551021	\$623.70	102552032	\$623.70
102542033	\$623.70	102551022	\$623.70	102552036	\$623.70
102542034	\$623.70	102551023	\$623.70	102552037	\$623.70
102542035	\$623.70	102551024	\$623.70	102561001	\$623.70
102542036	\$623.70	102551025	\$623.70	102561002	\$623.70
102542037	\$623.70	102551026	\$623.70	102561003	\$623.70
102542038	\$623.70	102551027	\$623.70	102561004	\$623.70
102542039	\$623.70	102551028	\$623.70	102561005	\$623.70
102542040	\$623.70	102551029	\$623.70	102561006	\$623.70
102543001	\$623.70	102551030	\$623.70	102561007	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102561008	\$623.70	102562010	\$623.70	102572015	\$623.70
102561009	\$623.70	102562011	\$623.70	102572016	\$623.70
102561010	\$623.70	102562012	\$623.70	102572017	\$623.70
102561011	\$623.70	102562013	\$623.70	102572018	\$623.70
102561012	\$623.70	102562014	\$623.70	102572019	\$623.70
102561013	\$623.70	102562015	\$623.70	102572020	\$623.70
102561014	\$623.70	102562016	\$623.70	102572021	\$623.70
102561015	\$623.70	102562017	\$623.70	102572022	\$623.70
102561016	\$623.70	102562018	\$623.70	102572023	\$623.70
102561017	\$623.70	102562019	\$623.70	102572024	\$623.70
102561018	\$623.70	102562020	\$623.70	102572025	\$623.70
102561019	\$623.70	102562021	\$623.70	102572026	\$623.70
102561020	\$623.70	102562022	\$623.70	102572027	\$623.70
102561021	\$623.70	102562023	\$623.70	102572028	\$623.70
102561022	\$623.70	102562024	\$623.70	102572029	\$623.70
102561023	\$623.70	102562025	\$623.70	102572030	\$623.70
102561024	\$623.70	102562026	\$623.70	102572031	\$623.70
102561025	\$623.70	102571001	\$623.70	102572032	\$623.70
102561026	\$623.70	102571002	\$623.70	102572033	\$623.70
102561027	\$623.70	102571003	\$623.70	102572034	\$623.70
102561028	\$623.70	102571004	\$623.70	102572035	\$623.70
102561029	\$623.70	102571005	\$623.70	102572036	\$623.70
102561030	\$623.70	102571006	\$623.70	102573001	\$623.70
102561031	\$623.70	102571007	\$623.70	102573002	\$623.70
102561032	\$623.70	102571008	\$623.70	102573003	\$623.70
102561033	\$623.70	102571009	\$623.70	102573004	\$623.70
102561034	\$623.70	102571010	\$623.70	102573005	\$623.70
102561035	\$623.70	102571011	\$623.70	102573006	\$623.70
102561036	\$623.70	102571012	\$623.70	102573007	\$623.70
102561037	\$623.70	102572001	\$623.70	102573008	\$623.70
102561038	\$623.70	102572002	\$623.70	102573009	\$623.70
102561039	\$623.70	102572003	\$623.70	102573010	\$623.70
102561040	\$623.70	102572004	\$623.70	102573011	\$623.70
102561041	\$623.70	102572005	\$623.70	102573012	\$623.70
102562001	\$623.70	102572006	\$623.70	102573013	\$623.70
102562002	\$623.70	102572007	\$623.70	102573014	\$623.70
102562003	\$623.70	102572008	\$623.70	102573015	\$623.70
102562004	\$623.70	102572009	\$623.70	102573016	\$623.70
102562005	\$623.70	102572010	\$623.70	102573017	\$623.70
102562006	\$623.70	102572011	\$623.70	102573018	\$623.70
102562007	\$623.70	102572012	\$623.70	102573019	\$623.70
102562008	\$623.70	102572013	\$623.70	102573020	\$623.70
102562009	\$623.70	102572014	\$623.70	102573021	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102573022	\$623.70	102580044	\$623.70	102592001	\$623.70
102573023	\$623.70	102580045	\$623.70	102592002	\$623.70
102573024	\$623.70	102580046	\$623.70	102592003	\$623.70
102573025	\$623.70	102580047	\$623.70	102592004	\$623.70
102580001	\$623.70	102580048	\$623.70	102592005	\$623.70
102580002	\$623.70	102580049	\$623.70	102592006	\$623.70
102580003	\$623.70	102580050	\$623.70	102592007	\$623.70
102580004	\$623.70	102580051	\$623.70	102592008	\$623.70
102580005	\$623.70	102580052	\$623.70	102593001	\$623.70
102580006	\$623.70	102580053	\$623.70	102593002	\$623.70
102580011	\$623.70	102580054	\$623.70	102593003	\$623.70
102580012	\$623.70	102580055	\$623.70	102593004	\$623.70
102580013	\$623.70	102580056	\$623.70	102593005	\$623.70
102580014	\$623.70	102580057	\$623.70	102593006	\$623.70
102580015	\$623.70	102580058	\$623.70	102593007	\$623.70
102580016	\$623.70	102580059	\$623.70	102593008	\$623.70
102580017	\$623.70	102580060	\$623.70	102593009	\$623.70
102580018	\$623.70	102580061	\$623.70	102593010	\$623.70
102580019	\$623.70	102580062	\$623.70	102593011	\$623.70
102580020	\$623.70	102580063	\$623.70	102593012	\$623.70
102580021	\$623.70	102580064	\$623.70	102593013	\$623.70
102580022	\$623.70	102580065	\$623.70	102593014	\$623.70
102580023	\$623.70	102580066	\$623.70	102593015	\$623.70
102580024	\$623.70	102580070	\$623.70	102593016	\$623.70
102580025	\$623.70	102580071	\$623.70	102593017	\$623.70
102580026	\$623.70	102580072	\$623.70	102593018	\$623.70
102580027	\$623.70	102580073	\$623.70	102593019	\$623.70
102580028	\$623.70	102591001	\$623.70	102593020	\$623.70
102580029	\$623.70	102591002	\$623.70	102593021	\$623.70
102580030	\$623.70	102591003	\$623.70	102593022	\$623.70
102580031	\$623.70	102591004	\$623.70	102593023	\$623.70
102580032	\$623.70	102591005	\$623.70	102593024	\$623.70
102580033	\$623.70	102591006	\$623.70	102593025	\$623.70
102580034	\$623.70	102591007	\$623.70	102593026	\$623.70
102580035	\$623.70	102591008	\$623.70	102593027	\$623.70
102580036	\$623.70	102591009	\$623.70	102593028	\$623.70
102580037	\$623.70	102591010	\$623.70	102593029	\$623.70
102580038	\$623.70	102591011	\$623.70	102593030	\$623.70
102580039	\$623.70	102591012	\$623.70	102594001	\$623.70
102580040	\$623.70	102591013	\$623.70	102594002	\$623.70
102580041	\$623.70	102591014	\$623.70	102594003	\$623.70
102580042	\$623.70	102591015	\$623.70	102594004	\$623.70
102580043	\$623.70	102591016	\$623.70	102594005	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102594006	\$623.70	102602004	\$623.70	102611016	\$623.70
102594007	\$623.70	102602005	\$623.70	102611017	\$623.70
102594008	\$623.70	102602006	\$623.70	102611019	\$623.70
102594009	\$623.70	102602007	\$623.70	102611020	\$623.70
102594010	\$623.70	102602008	\$623.70	102611024	\$623.70
102594011	\$623.70	102602009	\$623.70	102611026	\$623.70
102595001	\$623.70	102602010	\$623.70	102611027	\$623.70
102595002	\$623.70	102602011	\$623.70	102611028	\$623.70
102595003	\$623.70	102602012	\$623.70	102611029	\$623.70
102601001	\$623.70	102602013	\$623.70	102612001	\$623.70
102601002	\$623.70	102602014	\$623.70	102612002	\$623.70
102601003	\$623.70	102602016	\$623.70	102612003	\$623.70
102601004	\$623.70	102602017	\$623.70	102612004	\$623.70
102601005	\$623.70	102602018	\$623.70	102612005	\$623.70
102601006	\$623.70	102602019	\$623.70	102612006	\$623.70
102601007	\$623.70	102602020	\$623.70	102612007	\$623.70
102601008	\$623.70	102602021	\$623.70	102612008	\$623.70
102601009	\$623.70	102602022	\$623.70	102612009	\$623.70
102601010	\$623.70	102602023	\$623.70	102612010	\$623.70
102601011	\$623.70	102602024	\$623.70	102612011	\$623.70
102601012	\$623.70	102602025	\$623.70	102612012	\$623.70
102601013	\$623.70	102602026	\$623.70	102612013	\$623.70
102601014	\$623.70	102602027	\$623.70	102612014	\$623.70
102601015	\$623.70	102602028	\$623.70	102612015	\$623.70
102601016	\$623.70	102602029	\$623.70	102612016	\$623.70
102601017	\$623.70	102602030	\$623.70	102612017	\$623.70
102601018	\$623.70	102602031	\$623.70	102612018	\$623.70
102601019	\$623.70	102602033	\$623.70	102613001	\$623.70
102601020	\$623.70	102611001	\$623.70	102613002	\$623.70
102601021	\$623.70	102611002	\$623.70	102613003	\$623.70
102601022	\$623.70	102611003	\$623.70	102613004	\$623.70
102601023	\$623.70	102611004	\$623.70	102613005	\$623.70
102601024	\$623.70	102611005	\$623.70	102613006	\$623.70
102601025	\$623.70	102611006	\$623.70	102613007	\$623.70
102601026	\$623.70	102611007	\$623.70	102613008	\$623.70
102601027	\$623.70	102611008	\$623.70	102613009	\$623.70
102601028	\$623.70	102611009	\$623.70	102613010	\$623.70
102601029	\$623.70	102611010	\$623.70	102613011	\$623.70
102601030	\$623.70	102611011	\$623.70	102613012	\$623.70
102601031	\$623.70	102611012	\$623.70	102613013	\$623.70
102602001	\$623.70	102611013	\$623.70	102613014	\$623.70
102602002	\$623.70	102611014	\$623.70	102613015	\$623.70
102602003	\$623.70	102611015	\$623.70	102613016	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102613017	\$623.70	102621037	\$623.70	102630016	\$623.70
102613018	\$623.70	102621038	\$623.70	102630017	\$623.70
102613019	\$623.70	102621039	\$623.70	102630018	\$623.70
102613020	\$623.70	102621040	\$623.70	102630019	\$623.70
102613021	\$623.70	102621041	\$623.70	102630020	\$623.70
102613022	\$623.70	102621042	\$623.70	102630022	\$623.70
102613023	\$623.70	102621043	\$623.70	102630023	\$623.70
102621001	\$623.70	102621044	\$623.70	102630024	\$623.70
102621002	\$623.70	102622001	\$623.70	102630026	\$623.70
102621003	\$623.70	102622002	\$623.70	102630027	\$623.70
102621004	\$623.70	102622003	\$623.70	102630028	\$623.70
102621005	\$623.70	102622004	\$623.70	102630031	\$623.70
102621006	\$623.70	102622005	\$623.70	102630032	\$623.70
102621007	\$623.70	102622006	\$623.70	102630034	\$623.70
102621008	\$623.70	102622007	\$623.70	102641001	\$623.70
102621009	\$623.70	102622008	\$623.70	102641002	\$623.70
102621010	\$623.70	102622009	\$623.70	102641003	\$623.70
102621011	\$623.70	102622010	\$623.70	102641004	\$623.70
102621012	\$623.70	102623001	\$623.70	102641005	\$623.70
102621013	\$623.70	102623002	\$623.70	102641006	\$623.70
102621014	\$623.70	102623003	\$623.70	102641009	\$623.70
102621015	\$623.70	102623004	\$623.70	102641010	\$623.70
102621016	\$623.70	102623007	\$623.70	102641011	\$623.70
102621017	\$623.70	102623008	\$623.70	102641012	\$623.70
102621018	\$623.70	102623009	\$623.70	102641013	\$623.70
102621019	\$623.70	102623012	\$623.70	102641014	\$623.70
102621020	\$623.70	102623013	\$623.70	102641015	\$623.70
102621021	\$623.70	102623014	\$623.70	102641016	\$623.70
102621022	\$623.70	102623015	\$623.70	102641017	\$623.70
102621023	\$623.70	102630002	\$623.70	102641018	\$623.70
102621024	\$623.70	102630003	\$623.70	102641020	\$623.70
102621025	\$623.70	102630004	\$623.70	102642004	\$623.70
102621026	\$623.70	102630005	\$623.70	102642008	\$623.70
102621027	\$623.70	102630006	\$623.70	102643001	\$623.70
102621028	\$623.70	102630007	\$623.70	102643002	\$623.70
102621029	\$623.70	102630008	\$623.70	102643003	\$623.70
102621030	\$623.70	102630009	\$623.70	102643004	\$623.70
102621031	\$623.70	102630010	\$623.70	102643005	\$623.70
102621032	\$623.70	102630011	\$623.70	102643006	\$623.70
102621033	\$623.70	102630012	\$623.70	102643007	\$623.70
102621034	\$623.70	102630013	\$623.70	102643008	\$623.70
102621035	\$623.70	102630014	\$623.70	102643009	\$623.70
102621036	\$623.70	102630015	\$623.70	102643010	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102643011	\$623.70	102661022	\$623.70	102663012	\$623.70
102643012	\$623.70	102661023	\$623.70	102664001	\$623.70
102643013	\$623.70	102661024	\$623.70	102664002	\$623.70
102643014	\$623.70	102661025	\$623.70	102664003	\$623.70
102643015	\$623.70	102661026	\$623.70	102664004	\$623.70
102643016	\$623.70	102661027	\$623.70	102664005	\$623.70
102651003	\$623.70	102661028	\$623.70	102664006	\$623.70
102651005	\$623.70	102661029	\$623.70	102664007	\$623.70
102651006	\$623.70	102661030	\$623.70	102664008	\$623.70
102651008	\$623.70	102662001	\$623.70	102664009	\$623.70
102651009	\$623.70	102662002	\$623.70	102664010	\$623.70
102651010	\$623.70	102662003	\$623.70	102664011	\$623.70
102651011	\$623.70	102662004	\$623.70	102664012	\$623.70
102651012	\$623.70	102662005	\$623.70	102664013	\$623.70
102651013	\$623.70	102662006	\$623.70	102664014	\$623.70
102651014	\$623.70	102662007	\$623.70	102664015	\$623.70
102651015	\$623.70	102662008	\$623.70	102664016	\$623.70
102651016	\$623.70	102662009	\$623.70	102664017	\$623.70
102651017	\$623.70	102662010	\$623.70	102664018	\$623.70
102651018	\$623.70	102662011	\$623.70	102664019	\$623.70
102651027	\$623.70	102662012	\$623.70	102664020	\$623.70
102651029	\$623.70	102662013	\$623.70	102664021	\$623.70
102651030	\$623.70	102662014	\$623.70	102664022	\$623.70
102651031	\$623.70	102662015	\$623.70	102664023	\$623.70
102652001	\$623.70	102662016	\$623.70	102671002	\$623.70
102652004	\$623.70	102662017	\$623.70	102671003	\$623.70
102652005	\$623.70	102662018	\$623.70	102671004	\$623.70
102652006	\$623.70	102662019	\$623.70	102671005	\$623.70
102652007	\$623.70	102662020	\$623.70	102671010	\$623.70
102652008	\$623.70	102662021	\$623.70	102671011	\$623.70
102652009	\$623.70	102662022	\$623.70	102671012	\$623.70
102652010	\$623.70	102662023	\$623.70	102671013	\$623.70
102652011	\$623.70	102663001	\$623.70	102671014	\$623.70
102652012	\$623.70	102663002	\$623.70	102671019	\$623.70
102652013	\$623.70	102663003	\$623.70	102671020	\$623.70
102652017	\$623.70	102663004	\$623.70	102671021	\$623.70
102652019	\$623.70	102663005	\$623.70	102671022	\$623.70
102661016	\$623.70	102663006	\$623.70	102671023	\$623.70
102661017	\$623.70	102663007	\$623.70	102671024	\$623.70
102661018	\$623.70	102663008	\$623.70	102671025	\$623.70
102661019	\$623.70	102663009	\$623.70	102671026	\$623.70
102661020	\$623.70	102663010	\$623.70	102671027	\$623.70
102661021	\$623.70	102663011	\$623.70	102671028	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102671029	\$623.70	102673008	\$623.70	102681006	\$623.70
102671030	\$623.70	102673009	\$623.70	102681007	\$623.70
102671031	\$623.70	102673010	\$623.70	102681008	\$623.70
102671032	\$623.70	102673011	\$623.70	102681009	\$623.70
102672001	\$623.70	102673012	\$623.70	102681010	\$623.70
102672002	\$623.70	102673013	\$623.70	102681011	\$623.70
102672003	\$623.70	102673014	\$623.70	102681012	\$623.70
102672004	\$623.70	102673015	\$623.70	102682001	\$623.70
102672005	\$623.70	102674001	\$623.70	102682002	\$623.70
102672006	\$623.70	102674002	\$623.70	102682003	\$623.70
102672007	\$623.70	102674003	\$623.70	102682004	\$623.70
102672008	\$623.70	102674004	\$623.70	102682005	\$623.70
102672009	\$623.70	102674005	\$623.70	102682006	\$623.70
102672010	\$623.70	102674006	\$623.70	102682007	\$623.70
102672011	\$623.70	102674007	\$623.70	102682008	\$623.70
102672012	\$623.70	102674008	\$623.70	102682009	\$623.70
102672013	\$623.70	102674009	\$623.70	102682010	\$623.70
102672014	\$623.70	102674010	\$623.70	102682011	\$623.70
102672015	\$623.70	102674011	\$623.70	102682015	\$623.70
102672016	\$623.70	102674012	\$623.70	102682016	\$623.70
102672017	\$623.70	102674013	\$623.70	102682017	\$623.70
102672018	\$623.70	102674014	\$623.70	102682018	\$623.70
102672019	\$623.70	102674015	\$623.70	102682019	\$623.70
102672020	\$623.70	102674016	\$623.70	102682020	\$623.70
102672021	\$623.70	102674017	\$623.70	102682021	\$623.70
102672022	\$623.70	102674019	\$623.70	102682022	\$623.70
102672023	\$623.70	102674020	\$623.70	102682023	\$623.70
102672024	\$623.70	102675001	\$623.70	102682024	\$623.70
102672025	\$623.70	102675002	\$623.70	102682025	\$623.70
102672026	\$623.70	102675003	\$623.70	102682026	\$623.70
102672027	\$623.70	102675004	\$623.70	102682027	\$623.70
102672028	\$623.70	102675005	\$623.70	102683001	\$623.70
102672029	\$623.70	102675006	\$623.70	102683002	\$623.70
102672030	\$623.70	102675007	\$623.70	102683003	\$623.70
102672031	\$623.70	102675008	\$623.70	102683004	\$623.70
102672032	\$623.70	102675009	\$623.70	102683005	\$623.70
102673001	\$623.70	102675010	\$623.70	102683006	\$623.70
102673002	\$623.70	102675011	\$623.70	102683007	\$623.70
102673003	\$623.70	102681001	\$623.70	102683008	\$623.70
102673004	\$623.70	102681002	\$623.70	102683009	\$623.70
102673005	\$623.70	102681003	\$623.70	102683010	\$623.70
102673006	\$623.70	102681004	\$623.70	102683011	\$623.70
102673007	\$623.70	102681005	\$623.70	102683012	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102683013	\$623.70	102685020	\$623.70	102692017	\$623.70
102683014	\$623.70	102685021	\$623.70	102692018	\$623.70
102683015	\$623.70	102685022	\$623.70	102692019	\$623.70
102683016	\$623.70	102685023	\$623.70	102692020	\$623.70
102683017	\$623.70	102685024	\$623.70	102692021	\$623.70
102683018	\$623.70	102685025	\$623.70	102692022	\$623.70
102683019	\$623.70	102685026	\$623.70	102692023	\$623.70
102683020	\$623.70	102685027	\$623.70	102692024	\$623.70
102683021	\$623.70	102691001	\$623.70	102692025	\$623.70
102683022	\$623.70	102691002	\$623.70	102692026	\$623.70
102684001	\$623.70	102691003	\$623.70	102692027	\$623.70
102684002	\$623.70	102691005	\$623.70	102692028	\$623.70
102684003	\$623.70	102691006	\$623.70	102692029	\$623.70
102684004	\$623.70	102691007	\$623.70	102692030	\$623.70
102684005	\$623.70	102691008	\$623.70	102692031	\$623.70
102684006	\$623.70	102691009	\$623.70	102692032	\$623.70
102684007	\$623.70	102691010	\$623.70	102692033	\$623.70
102684008	\$623.70	102691011	\$623.70	102692034	\$623.70
102684009	\$623.70	102691012	\$623.70	102692035	\$623.70
102684010	\$623.70	102691013	\$623.70	102692036	\$623.70
102684011	\$623.70	102691014	\$623.70	102692037	\$623.70
102684012	\$623.70	102691015	\$623.70	102692038	\$623.70
102684013	\$623.70	102691016	\$623.70	102692039	\$623.70
102684014	\$623.70	102691017	\$623.70	102692040	\$623.70
102685001	\$623.70	102691018	\$623.70	102693001	\$623.70
102685002	\$623.70	102691019	\$623.70	102693002	\$623.70
102685003	\$623.70	102691020	\$623.70	102693003	\$623.70
102685004	\$623.70	102692001	\$623.70	102693004	\$623.70
102685005	\$623.70	102692002	\$623.70	102693005	\$623.70
102685006	\$623.70	102692003	\$623.70	102693006	\$623.70
102685007	\$623.70	102692004	\$623.70	102693007	\$623.70
102685008	\$623.70	102692005	\$623.70	102693008	\$623.70
102685009	\$623.70	102692006	\$623.70	102693009	\$623.70
102685010	\$623.70	102692007	\$623.70	102693010	\$623.70
102685011	\$623.70	102692008	\$623.70	102693011	\$623.70
102685012	\$623.70	102692009	\$623.70	102693012	\$623.70
102685013	\$623.70	102692010	\$623.70	102693013	\$623.70
102685014	\$623.70	102692011	\$623.70	102693014	\$623.70
102685015	\$623.70	102692012	\$623.70	102693015	\$623.70
102685016	\$623.70	102692013	\$623.70	102694001	\$623.70
102685017	\$623.70	102692014	\$623.70	102694002	\$623.70
102685018	\$623.70	102692015	\$623.70	102694003	\$623.70
102685019	\$623.70	102692016	\$623.70	102694004	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102694005	\$623.70	102703006	\$623.70	102711006	\$623.70
102694006	\$623.70	102703007	\$623.70	102711007	\$623.70
102694007	\$623.70	102703008	\$623.70	102711008	\$623.70
102694008	\$623.70	102703009	\$623.70	102711009	\$623.70
102694009	\$623.70	102703010	\$623.70	102711010	\$623.70
102694010	\$623.70	102703011	\$623.70	102711011	\$623.70
102694011	\$623.70	102703012	\$623.70	102711012	\$623.70
102694012	\$623.70	102703013	\$623.70	102711013	\$623.70
102695001	\$623.70	102703014	\$623.70	102711014	\$623.70
102695002	\$623.70	102703015	\$623.70	102711015	\$623.70
102695003	\$623.70	102703016	\$623.70	102711016	\$623.70
102695004	\$623.70	102703017	\$623.70	102711017	\$623.70
102695005	\$623.70	102703018	\$623.70	102711018	\$623.70
102695006	\$623.70	102703019	\$623.70	102711019	\$623.70
102695007	\$623.70	102703020	\$623.70	102711020	\$623.70
102695008	\$623.70	102703021	\$623.70	102711021	\$623.70
102696001	\$623.70	102703022	\$623.70	102711022	\$623.70
102696002	\$623.70	102703023	\$623.70	102711023	\$623.70
102696003	\$623.70	102704001	\$623.70	102711024	\$623.70
102696004	\$623.70	102704002	\$623.70	102711025	\$623.70
102701001	\$623.70	102704003	\$623.70	102711026	\$623.70
102701002	\$623.70	102704004	\$623.70	102711027	\$623.70
102701003	\$623.70	102704005	\$623.70	102711028	\$623.70
102701004	\$623.70	102704006	\$623.70	102711029	\$623.70
102701006	\$623.70	102704007	\$623.70	102711030	\$623.70
102701007	\$623.70	102704008	\$623.70	102711031	\$623.70
102701008	\$623.70	102704009	\$623.70	102712001	\$623.70
102702001	\$623.70	102704010	\$623.70	102712002	\$623.70
102702002	\$623.70	102704011	\$623.70	102712003	\$623.70
102702003	\$623.70	102704012	\$623.70	102712004	\$623.70
102702004	\$623.70	102704013	\$623.70	102712005	\$623.70
102702005	\$623.70	102704014	\$623.70	102712006	\$623.70
102702006	\$623.70	102704015	\$623.70	102712007	\$623.70
102702007	\$623.70	102704016	\$623.70	102712008	\$623.70
102702008	\$623.70	102704017	\$623.70	102712009	\$623.70
102702009	\$623.70	102704018	\$623.70	102712010	\$623.70
102702010	\$623.70	102704019	\$623.70	102712011	\$623.70
102702011	\$623.70	102704020	\$623.70	102712012	\$623.70
102703001	\$623.70	102711001	\$623.70	102712013	\$623.70
102703002	\$623.70	102711002	\$623.70	102712014	\$623.70
102703003	\$623.70	102711003	\$623.70	102713001	\$623.70
102703004	\$623.70	102711004	\$623.70	102713002	\$623.70
102703005	\$623.70	102711005	\$623.70	102713003	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102713004	\$623.70	102714031	\$623.70	102722004	\$623.70
102713005	\$623.70	102714032	\$623.70	102722005	\$623.70
102713006	\$623.70	102721001	\$623.70	102723001	\$623.70
102713007	\$623.70	102721002	\$623.70	102723002	\$623.70
102713008	\$623.70	102721003	\$623.70	102723003	\$623.70
102713009	\$623.70	102721004	\$623.70	102723004	\$623.70
102713010	\$623.70	102721005	\$623.70	102723005	\$623.70
102713011	\$623.70	102721006	\$623.70	102723006	\$623.70
102713012	\$623.70	102721007	\$623.70	102723007	\$623.70
102713013	\$623.70	102721008	\$623.70	102730001	\$623.70
102713014	\$623.70	102721009	\$623.70	102730002	\$623.70
102713015	\$623.70	102721010	\$623.70	102730003	\$623.70
102713016	\$623.70	102721011	\$623.70	102730004	\$623.70
102714001	\$623.70	102721012	\$623.70	102730005	\$623.70
102714002	\$623.70	102721013	\$623.70	102730006	\$623.70
102714003	\$623.70	102721014	\$623.70	102730007	\$623.70
102714004	\$623.70	102721015	\$623.70	102730008	\$623.70
102714005	\$623.70	102721016	\$623.70	102730009	\$623.70
102714006	\$623.70	102721017	\$623.70	102730010	\$623.70
102714007	\$623.70	102721018	\$623.70	102730011	\$623.70
102714008	\$623.70	102721019	\$623.70	102730012	\$623.70
102714009	\$623.70	102721020	\$623.70	102730013	\$623.70
102714010	\$623.70	102721021	\$623.70	102730014	\$623.70
102714011	\$623.70	102721022	\$623.70	102730015	\$623.70
102714012	\$623.70	102721023	\$623.70	102730016	\$623.70
102714013	\$623.70	102721024	\$623.70	102730017	\$623.70
102714014	\$623.70	102721025	\$623.70	102730018	\$623.70
102714015	\$623.70	102721026	\$623.70	102730019	\$623.70
102714016	\$623.70	102721027	\$623.70	102730020	\$623.70
102714017	\$623.70	102721028	\$623.70	102730021	\$623.70
102714018	\$623.70	102721029	\$623.70	102730022	\$623.70
102714019	\$623.70	102721030	\$623.70	102730023	\$623.70
102714020	\$623.70	102721031	\$623.70	102730024	\$623.70
102714021	\$623.70	102721032	\$623.70	102730025	\$623.70
102714022	\$623.70	102721033	\$623.70	102730026	\$623.70
102714023	\$623.70	102721034	\$623.70	102730027	\$623.70
102714024	\$623.70	102721035	\$623.70	102730028	\$623.70
102714025	\$623.70	102721036	\$623.70	102730029	\$623.70
102714026	\$623.70	102721037	\$623.70	102730030	\$623.70
102714027	\$623.70	102721038	\$623.70	102730031	\$623.70
102714028	\$623.70	102722001	\$623.70	102730032	\$623.70
102714029	\$623.70	102722002	\$623.70	102730033	\$623.70
102714030	\$623.70	102722003	\$623.70	102730034	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102730035	\$623.70	102742027	\$623.70	102750019	\$623.70
102730036	\$623.70	102742028	\$623.70	102750020	\$623.70
102730037	\$623.70	102742029	\$623.70	102750021	\$623.70
102730038	\$623.70	102742030	\$623.70	102750022	\$623.70
102730039	\$623.70	102742031	\$623.70	102750023	\$623.70
102730040	\$623.70	102742034	\$623.70	102750024	\$623.70
102730041	\$623.70	102742035	\$623.70	102750025	\$623.70
102730042	\$623.70	102742036	\$623.70	102750026	\$623.70
102730043	\$623.70	102742037	\$623.70	102750027	\$623.70
102730044	\$623.70	102742038	\$623.70	102750028	\$623.70
102730045	\$623.70	102742039	\$623.70	102750029	\$623.70
102730046	\$623.70	102742040	\$623.70	102750030	\$623.70
102730047	\$623.70	102742041	\$623.70	102750031	\$623.70
102730048	\$623.70	102742042	\$623.70	102750032	\$623.70
102730049	\$623.70	102742043	\$623.70	102750033	\$623.70
102730050	\$623.70	102742044	\$623.70	102750034	\$623.70
102730051	\$623.70	102742045	\$623.70	102750035	\$623.70
102730052	\$623.70	102742046	\$623.70	102750036	\$623.70
102730053	\$623.70	102742047	\$623.70	102760003	\$623.70
102730054	\$623.70	102742048	\$623.70	102760018	\$623.70
102730055	\$623.70	102742049	\$623.70	102760019	\$623.70
102730056	\$623.70	102742050	\$623.70	102760020	\$623.70
102730057	\$623.70	102742051	\$623.70	102760021	\$623.70
102730058	\$623.70	102742057	\$623.70	102760023	\$623.70
102730059	\$623.70	102742059	\$623.70	102760024	\$623.70
102730060	\$623.70	102750001	\$623.70	102760025	\$623.70
102730061	\$623.70	102750002	\$623.70	102771001	\$623.70
102730062	\$623.70	102750003	\$623.70	102771002	\$623.70
102730063	\$623.70	102750004	\$623.70	102771003	\$623.70
102730064	\$623.70	102750005	\$623.70	102771004	\$623.70
102730065	\$623.70	102750006	\$623.70	102771005	\$623.70
102730066	\$623.70	102750007	\$623.70	102771006	\$623.70
102730067	\$623.70	102750008	\$623.70	102771007	\$623.70
102730068	\$623.70	102750009	\$623.70	102771008	\$623.70
102730069	\$623.70	102750010	\$623.70	102771009	\$623.70
102730070	\$623.70	102750011	\$623.70	102771010	\$623.70
102730071	\$623.70	102750012	\$623.70	102771011	\$623.70
102730072	\$623.70	102750013	\$623.70	102771012	\$623.70
102742021	\$623.70	102750014	\$623.70	102771013	\$623.70
102742022	\$623.70	102750015	\$623.70	102771014	\$623.70
102742023	\$623.70	102750016	\$623.70	102771015	\$623.70
102742025	\$623.70	102750017	\$623.70	102771016	\$623.70
102742026	\$623.70	102750018	\$623.70	102771017	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102771018	\$623.70	102772005	\$623.70	102773032	\$623.70
102771019	\$623.70	102772006	\$623.70	102773033	\$623.70
102771020	\$623.70	102772007	\$623.70	102773034	\$623.70
102771021	\$623.70	102772008	\$623.70	102774001	\$623.70
102771022	\$623.70	102772009	\$623.70	102774002	\$623.70
102771023	\$623.70	102772010	\$623.70	102774003	\$623.70
102771024	\$623.70	102772011	\$623.70	102774004	\$623.70
102771025	\$623.70	102772012	\$623.70	102774005	\$623.70
102771026	\$623.70	102772013	\$623.70	102774006	\$623.70
102771027	\$623.70	102772014	\$623.70	102774007	\$623.70
102771028	\$623.70	102772015	\$623.70	102774008	\$623.70
102771029	\$623.70	102772016	\$623.70	102774009	\$623.70
102771030	\$623.70	102773001	\$623.70	102774010	\$623.70
102771031	\$623.70	102773002	\$623.70	102774013	\$623.70
102771032	\$623.70	102773003	\$623.70	102774014	\$623.70
102771033	\$623.70	102773004	\$623.70	102774015	\$623.70
102771034	\$623.70	102773005	\$623.70	102774017	\$623.70
102771035	\$623.70	102773006	\$623.70	102774018	\$623.70
102771036	\$623.70	102773007	\$623.70	102774019	\$623.70
102771037	\$623.70	102773008	\$623.70	102774020	\$623.70
102771038	\$623.70	102773009	\$623.70	102774021	\$623.70
102771039	\$623.70	102773010	\$623.70	102774022	\$623.70
102771040	\$623.70	102773011	\$623.70	102774023	\$623.70
102771041	\$623.70	102773012	\$623.70	102774024	\$623.70
102771042	\$623.70	102773013	\$623.70	102774025	\$623.70
102771043	\$623.70	102773014	\$623.70	102774026	\$623.70
102771044	\$623.70	102773015	\$623.70	102774027	\$623.70
102771045	\$623.70	102773016	\$623.70	102774028	\$623.70
102771046	\$623.70	102773017	\$623.70	102774031	\$623.70
102771047	\$623.70	102773018	\$623.70	102774032	\$623.70
102771048	\$623.70	102773019	\$623.70	102774033	\$623.70
102771049	\$623.70	102773020	\$623.70	102791001	\$623.70
102771050	\$623.70	102773021	\$623.70	102791002	\$623.70
102771051	\$623.70	102773022	\$623.70	102791003	\$623.70
102771052	\$623.70	102773023	\$623.70	102791004	\$623.70
102771053	\$623.70	102773024	\$623.70	102791005	\$623.70
102771054	\$623.70	102773025	\$623.70	102791006	\$623.70
102771055	\$623.70	102773026	\$623.70	102791007	\$623.70
102771056	\$623.70	102773027	\$623.70	102791008	\$623.70
102772001	\$623.70	102773028	\$623.70	102792001	\$623.70
102772002	\$623.70	102773029	\$623.70	102792002	\$623.70
102772003	\$623.70	102773030	\$623.70	102792003	\$623.70
102772004	\$623.70	102773031	\$623.70	102792004	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102792005	\$623.70	102802011	\$623.70	102811022	\$623.70
102792006	\$623.70	102802012	\$623.70	102811023	\$623.70
102792007	\$623.70	102802013	\$623.70	102811024	\$623.70
102792008	\$623.70	102802014	\$623.70	102811025	\$623.70
102792009	\$623.70	102802015	\$623.70	102812001	\$623.70
102792010	\$623.70	102802016	\$623.70	102830002	\$107,777.08
102792011	\$623.70	102802017	\$623.70	102830006	\$4,521.88
102792012	\$623.70	102802018	\$623.70	102830007	\$9,636.30
102792013	\$623.70	102802019	\$623.70	102830008	\$11,507.44
102792014	\$623.70	102802020	\$623.70	102830009	\$2,463.64
102792015	\$623.70	102802021	\$623.70	102830010	\$1,995.86
102792016	\$623.70	102811001	\$623.70	102830011	\$3,586.32
102792017	\$623.70	102811002	\$623.70	102830012	\$6,237.10
102792018	\$623.70	102811004	\$623.70	112120001	\$623.70
102801005	\$623.70	102811005	\$623.70	112120002	\$623.70
102801008	\$623.70	102811006	\$623.70	112120003	\$623.70
102801009	\$623.70	102811007	\$623.70	112120004	\$623.70
102801010	\$623.70	102811008	\$623.70	112120005	\$623.70
102801011	\$623.70	102811009	\$623.70	112120006	\$623.70
102802001	\$623.70	102811010	\$623.70	112120007	\$623.70
102802002	\$623.70	102811011	\$623.70	112120008	\$623.70
102802003	\$623.70	102811013	\$623.70	112120009	\$623.70
102802004	\$623.70	102811015	\$623.70	112120010	\$623.70
102802005	\$623.70	102811016	\$623.70	112120011	\$623.70
102802006	\$623.70	102811017	\$623.70	112120012	\$623.70
102802007	\$623.70	102811018	\$623.70	112120013	\$623.70
102802008	\$623.70	102811019	\$623.70	112120014	\$623.70
102802009	\$623.70	102811020	\$623.70	112120015	\$623.70
102802010	\$623.70	102811021	\$623.70	112120016	\$623.70

**Totals**

**Parcels 2,925**

**Levy \$2,139,202.62**

# Assessment Roll

68-2294 - LMD 84-2 Zone 14  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115541001	\$255.32	115543002	\$255.32	115552012	\$255.32
115541002	\$255.32	115543003	\$255.32	115552013	\$255.32
115541003	\$255.32	115543004	\$255.32	115552014	\$255.32
115541004	\$255.32	115543005	\$255.32	122210035	\$1,314.96
115541005	\$255.32	115543006	\$255.32	122210053	\$255.32
115541006	\$255.32	115543007	\$255.32	122210056	\$255.32
115541007	\$255.32	115543008	\$255.32	122210057	\$255.32
115541008	\$255.32	115543009	\$255.32	122210058	\$255.32
115541009	\$255.32	115543010	\$255.32	122210059	\$255.32
115541010	\$255.32	115543011	\$255.32	122210060	\$255.32
115541011	\$255.32	115543012	\$255.32	122210061	\$255.32
115541012	\$255.32	115543013	\$255.32	122210072	\$255.32
115541013	\$255.32	115543014	\$255.32	122210073	\$255.32
115541014	\$255.32	115543015	\$255.32	122210075	\$255.32
115541015	\$255.32	115543016	\$255.32	122210076	\$255.32
115541016	\$255.32	115543017	\$255.32	122210080	\$255.32
115541017	\$255.32	115543018	\$255.32	122210082	\$255.32
115541018	\$255.32	115551001	\$255.32	122210083	\$255.32
115541019	\$255.32	115551002	\$255.32	122210084	\$255.32
115541020	\$255.32	115551003	\$255.32	122251001	\$255.32
115541021	\$255.32	115551004	\$255.32	122251002	\$255.32
115541022	\$255.32	115551005	\$255.32	122251003	\$255.32
115541023	\$255.32	115551006	\$255.32	122251004	\$255.32
115541024	\$255.32	115551007	\$255.32	122251005	\$255.32
115541025	\$255.32	115551008	\$255.32	122251006	\$255.32
115541026	\$255.32	115551009	\$255.32	122251007	\$255.32
115541027	\$255.32	115551010	\$255.32	122251008	\$255.32
115541028	\$255.32	115551011	\$255.32	122251009	\$255.32
115542001	\$255.32	115551012	\$255.32	122251010	\$255.32
115542002	\$255.32	115551013	\$255.32	122251011	\$255.32
115542003	\$255.32	115551014	\$255.32	122251012	\$255.32
115542004	\$255.32	115551015	\$255.32	122251013	\$255.32
115542005	\$255.32	115552001	\$255.32	122251014	\$255.32
115542006	\$255.32	115552002	\$255.32	122251015	\$255.32
115542007	\$255.32	115552003	\$255.32	122251016	\$255.32
115542008	\$255.32	115552004	\$255.32	122251017	\$255.32
115542009	\$255.32	115552005	\$255.32	122251018	\$255.32
115542010	\$255.32	115552006	\$255.32	122251019	\$255.32
115542011	\$255.32	115552007	\$255.32	122251020	\$255.32
115542012	\$255.32	115552008	\$255.32	122251021	\$255.32
115542013	\$255.32	115552009	\$255.32	122251022	\$255.32
115542014	\$255.32	115552010	\$255.32	122251024	\$255.32
115543001	\$255.32	115552011	\$255.32	122251025	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122251026	\$255.32	122251070	\$255.32	122252034	\$255.32
122251027	\$255.32	122251071	\$255.32	122252035	\$255.32
122251028	\$255.32	122251072	\$255.32	122252036	\$255.32
122251029	\$255.32	122251073	\$255.32	122252037	\$255.32
122251030	\$255.32	122251074	\$255.32	122252038	\$255.32
122251031	\$255.32	122251075	\$255.32	122252039	\$255.32
122251032	\$255.32	122251076	\$255.32	122252040	\$255.32
122251033	\$255.32	122251077	\$255.32	122252041	\$255.32
122251034	\$255.32	122251078	\$255.32	122252042	\$255.32
122251035	\$255.32	122251079	\$255.32	122252043	\$255.32
122251036	\$255.32	122251080	\$255.32	122253001	\$255.32
122251037	\$255.32	122252001	\$255.32	122253002	\$255.32
122251038	\$255.32	122252002	\$255.32	122253003	\$255.32
122251039	\$255.32	122252003	\$255.32	122253004	\$255.32
122251040	\$255.32	122252004	\$255.32	122253005	\$255.32
122251041	\$255.32	122252005	\$255.32	122253006	\$255.32
122251042	\$255.32	122252006	\$255.32	122253007	\$255.32
122251043	\$255.32	122252007	\$255.32	122253009	\$255.32
122251044	\$255.32	122252008	\$255.32	122253010	\$255.32
122251045	\$255.32	122252009	\$255.32	122253011	\$255.32
122251046	\$255.32	122252010	\$255.32	122253012	\$255.32
122251047	\$255.32	122252011	\$255.32	122253013	\$255.32
122251048	\$255.32	122252012	\$255.32	122253014	\$255.32
122251049	\$255.32	122252013	\$255.32	122253015	\$255.32
122251051	\$255.32	122252014	\$255.32	122253016	\$255.32
122251052	\$255.32	122252015	\$255.32	122253017	\$255.32
122251053	\$255.32	122252016	\$255.32	122253018	\$255.32
122251054	\$255.32	122252017	\$255.32	122253019	\$255.32
122251055	\$255.32	122252018	\$255.32	122253020	\$255.32
122251056	\$255.32	122252020	\$255.32	122253021	\$255.32
122251057	\$255.32	122252021	\$255.32	122253022	\$255.32
122251058	\$255.32	122252022	\$255.32	122253023	\$255.32
122251059	\$255.32	122252023	\$255.32	122253024	\$255.32
122251060	\$255.32	122252024	\$255.32	122253025	\$255.32
122251061	\$255.32	122252025	\$255.32	122253026	\$255.32
122251062	\$255.32	122252026	\$255.32	122253027	\$255.32
122251063	\$255.32	122252027	\$255.32	122253028	\$255.32
122251064	\$255.32	122252028	\$255.32	122253029	\$255.32
122251065	\$255.32	122252029	\$255.32	122253030	\$255.32
122251066	\$255.32	122252030	\$255.32	122253031	\$255.32
122251067	\$255.32	122252031	\$255.32	122253032	\$255.32
122251068	\$255.32	122252032	\$255.32	122253033	\$255.32
122251069	\$255.32	122252033	\$255.32	122253035	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122253036	\$255.32	122261021	\$255.32	122262028	\$255.32
122253037	\$255.32	122261022	\$255.32	122262029	\$255.32
122253038	\$255.32	122261023	\$255.32	122262030	\$255.32
122253039	\$255.32	122261024	\$255.32	122271001	\$255.32
122253040	\$255.32	122261025	\$255.32	122271002	\$255.32
122253041	\$255.32	122261026	\$255.32	122271003	\$255.32
122253042	\$255.32	122261027	\$255.32	122271004	\$255.32
122253043	\$255.32	122261028	\$255.32	122271005	\$255.32
122253044	\$255.32	122261029	\$255.32	122271006	\$255.32
122253045	\$255.32	122261030	\$255.32	122271007	\$255.32
122253046	\$255.32	122261031	\$255.32	122271008	\$255.32
122253047	\$255.32	122261033	\$255.32	122271009	\$255.32
122253048	\$255.32	122261034	\$255.32	122271010	\$255.32
122253049	\$255.32	122261035	\$255.32	122271011	\$255.32
122253050	\$255.32	122261036	\$255.32	122271012	\$255.32
122253051	\$255.32	122261037	\$255.32	122271013	\$255.32
122253052	\$255.32	122262001	\$255.32	122271014	\$255.32
122253053	\$255.32	122262002	\$255.32	122271015	\$255.32
122253054	\$255.32	122262003	\$255.32	122271016	\$255.32
122253055	\$255.32	122262004	\$255.32	122271017	\$255.32
122253056	\$255.32	122262005	\$255.32	122271018	\$255.32
122253057	\$255.32	122262006	\$255.32	122271020	\$255.32
122253058	\$255.32	122262007	\$255.32	122271021	\$255.32
122261001	\$255.32	122262008	\$255.32	122271022	\$255.32
122261002	\$255.32	122262009	\$255.32	122271023	\$255.32
122261003	\$255.32	122262010	\$255.32	122271024	\$255.32
122261004	\$255.32	122262011	\$255.32	122271025	\$255.32
122261005	\$255.32	122262012	\$255.32	122271026	\$255.32
122261006	\$255.32	122262013	\$255.32	122271027	\$255.32
122261007	\$255.32	122262014	\$255.32	122271028	\$255.32
122261008	\$255.32	122262015	\$255.32	122271029	\$255.32
122261009	\$255.32	122262016	\$255.32	122271030	\$255.32
122261010	\$255.32	122262017	\$255.32	122271031	\$255.32
122261011	\$255.32	122262018	\$255.32	122271032	\$255.32
122261012	\$255.32	122262019	\$255.32	122271033	\$255.32
122261013	\$255.32	122262020	\$255.32	122271034	\$255.32
122261014	\$255.32	122262021	\$255.32	122271035	\$255.32
122261015	\$255.32	122262022	\$255.32	122271036	\$255.32
122261016	\$255.32	122262023	\$255.32	122271037	\$255.32
122261017	\$255.32	122262024	\$255.32	122271038	\$255.32
122261018	\$255.32	122262025	\$255.32	122271039	\$255.32
122261019	\$255.32	122262026	\$255.32	122271040	\$255.32
122261020	\$255.32	122262027	\$255.32	122271041	\$255.32



## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122271042	\$255.32	122272020	\$255.32	122282018	\$255.32
122271043	\$255.32	122272021	\$255.32	122282019	\$255.32
122271045	\$255.32	122272022	\$255.32	122282020	\$255.32
122271046	\$255.32	122272023	\$255.32	122282021	\$255.32
122271047	\$255.32	122281001	\$255.32	122282022	\$255.32
122271048	\$255.32	122281002	\$255.32	122282023	\$255.32
122271049	\$255.32	122281003	\$255.32	122282024	\$255.32
122271050	\$255.32	122281004	\$255.32	122291001	\$255.32
122271051	\$255.32	122281005	\$255.32	122291002	\$255.32
122271052	\$255.32	122281006	\$255.32	122291003	\$255.32
122271053	\$255.32	122281007	\$255.32	122291004	\$255.32
122271054	\$255.32	122281008	\$255.32	122291005	\$255.32
122271055	\$255.32	122281009	\$255.32	122291006	\$255.32
122271056	\$255.32	122281010	\$255.32	122291007	\$255.32
122271057	\$255.32	122281011	\$255.32	122291008	\$255.32
122271058	\$255.32	122281012	\$255.32	122291009	\$255.32
122271059	\$255.32	122281013	\$255.32	122291010	\$255.32
122271060	\$255.32	122281014	\$255.32	122291011	\$255.32
122271061	\$255.32	122281017	\$255.32	122291012	\$255.32
122271062	\$255.32	122281020	\$255.32	122291013	\$255.32
122271063	\$255.32	122281021	\$255.32	122291014	\$255.32
122271064	\$255.32	122281022	\$255.32	122291015	\$255.32
122271065	\$255.32	122281023	\$255.32	122291016	\$255.32
122271066	\$255.32	122281026	\$255.32	122291017	\$255.32
122272001	\$255.32	122281027	\$255.32	122291018	\$255.32
122272002	\$255.32	122281028	\$255.32	122292001	\$255.32
122272003	\$255.32	122281029	\$255.32	122292002	\$255.32
122272004	\$255.32	122281031	\$255.32	122292003	\$255.32
122272005	\$255.32	122281032	\$255.32	122292004	\$255.32
122272006	\$255.32	122281033	\$255.32	122292005	\$255.32
122272007	\$255.32	122282001	\$255.32	122292006	\$255.32
122272008	\$255.32	122282002	\$255.32	122292007	\$255.32
122272009	\$255.32	122282003	\$255.32	122292008	\$255.32
122272010	\$255.32	122282004	\$255.32	122311001	\$255.32
122272011	\$255.32	122282005	\$255.32	122311002	\$255.32
122272012	\$255.32	122282006	\$255.32	122311003	\$255.32
122272013	\$255.32	122282007	\$255.32	122311004	\$255.32
122272014	\$255.32	122282008	\$255.32	122311005	\$255.32
122272015	\$255.32	122282009	\$255.32	122311006	\$255.32
122272016	\$255.32	122282010	\$255.32	122311007	\$255.32
122272017	\$255.32	122282015	\$255.32	122311008	\$255.32
122272018	\$255.32	122282016	\$255.32	122311009	\$255.32
122272019	\$255.32	122282017	\$255.32	122311010	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122311011	\$255.32	122323005	\$255.32	122340003	\$255.32
122311012	\$255.32	122323006	\$255.32	122340004	\$255.32
122311013	\$255.32	122323007	\$255.32	122340005	\$255.32
122311014	\$255.32	122323008	\$255.32	122340006	\$255.32
122311015	\$255.32	122323009	\$255.32	122340007	\$255.32
122311016	\$255.32	122323010	\$255.32	122340008	\$255.32
122311017	\$255.32	122331001	\$255.32	122340009	\$255.32
122311018	\$255.32	122331002	\$255.32	122340010	\$255.32
122311019	\$255.32	122331003	\$255.32	122340011	\$255.32
122311020	\$255.32	122331004	\$255.32	122340012	\$255.32
122311021	\$255.32	122331005	\$255.32	122340013	\$255.32
122312001	\$255.32	122331006	\$255.32	122340014	\$255.32
122312002	\$255.32	122331007	\$255.32	122340015	\$255.32
122312003	\$255.32	122331008	\$255.32	122340016	\$255.32
122312004	\$255.32	122331009	\$255.32	122340017	\$255.32
122312005	\$255.32	122331010	\$255.32	122340018	\$255.32
122312006	\$255.32	122331011	\$255.32	122340019	\$255.32
122312007	\$255.32	122331012	\$255.32	122340020	\$255.32
122312008	\$255.32	122331013	\$255.32	122340021	\$255.32
122312009	\$255.32	122332001	\$255.32	122340022	\$255.32
122312010	\$255.32	122332002	\$255.32	122340023	\$255.32
122312011	\$255.32	122332003	\$255.32	122340024	\$255.32
122321001	\$255.32	122332004	\$255.32	122340025	\$255.32
122321002	\$255.32	122332005	\$255.32	122340026	\$255.32
122321003	\$255.32	122332006	\$255.32	122340036	\$255.32
122321004	\$255.32	122332007	\$255.32	122340037	\$255.32
122321005	\$255.32	122332008	\$255.32	122340038	\$255.32
122321006	\$255.32	122332009	\$255.32	122340042	\$255.32
122321007	\$255.32	122332010	\$255.32	122340043	\$255.32
122321008	\$255.32	122332011	\$255.32	122340044	\$255.32
122321009	\$255.32	122332012	\$255.32	122340045	\$255.32
122321010	\$255.32	122332013	\$255.32	122340046	\$255.32
122321011	\$255.32	122332014	\$255.32	122340047	\$255.32
122321012	\$255.32	122332015	\$255.32	122340048	\$255.32
122322001	\$255.32	122332016	\$255.32	122340049	\$255.32
122322002	\$255.32	122332017	\$255.32	122340050	\$255.32
122322003	\$255.32	122332018	\$255.32	122351005	\$255.32
122322004	\$255.32	122332019	\$255.32	122351006	\$255.32
122322005	\$255.32	122332020	\$255.32	122351011	\$255.32
122323001	\$255.32	122332021	\$255.32	122351012	\$255.32
122323002	\$255.32	122332022	\$255.32	122351013	\$255.32
122323003	\$255.32	122340001	\$255.32	122351014	\$255.32
122323004	\$255.32	122340002	\$255.32	122351015	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122351016	\$255.32	122361012	\$255.32	122371020	\$255.32
122351017	\$255.32	122361013	\$255.32	122372001	\$255.32
122351018	\$255.32	122361014	\$255.32	122372002	\$255.32
122351019	\$255.32	122361015	\$255.32	122372003	\$255.32
122351020	\$255.32	122361017	\$255.32	122372004	\$255.32
122351021	\$255.32	122361018	\$255.32	122372005	\$255.32
122351034	\$255.32	122361019	\$255.32	122372006	\$255.32
122351035	\$255.32	122361021	\$255.32	122372007	\$255.32
122351036	\$255.32	122361022	\$255.32	122372008	\$255.32
122351037	\$255.32	122362001	\$255.32	122372009	\$255.32
122351038	\$255.32	122362002	\$255.32	122372014	\$255.32
122351039	\$255.32	122362003	\$255.32	122372015	\$255.32
122351040	\$255.32	122362009	\$255.32	122372016	\$255.32
122351041	\$255.32	122362010	\$255.32	122372017	\$255.32
122351042	\$255.32	122362011	\$255.32	122372018	\$255.32
122351043	\$255.32	122362012	\$255.32	122372019	\$255.32
122351044	\$255.32	122362013	\$255.32	122372020	\$255.32
122351045	\$255.32	122363009	\$255.32	122372021	\$255.32
122351046	\$255.32	122363011	\$255.32	122372022	\$255.32
122351047	\$255.32	122363012	\$255.32	122372023	\$255.32
122351048	\$255.32	122363013	\$255.32	122372024	\$255.32
122351049	\$255.32	122363014	\$255.32	122372025	\$255.32
122351050	\$255.32	122363015	\$255.32	122372026	\$255.32
122352001	\$255.32	122363016	\$255.32	122372027	\$255.32
122352002	\$255.32	122363017	\$255.32	122372028	\$255.32
122352003	\$255.32	122363018	\$255.32	122372029	\$255.32
122352004	\$255.32	122371001	\$255.32	122372030	\$255.32
122352005	\$255.32	122371002	\$255.32	122372031	\$255.32
122352006	\$255.32	122371003	\$255.32	122372032	\$255.32
122352015	\$255.32	122371004	\$255.32	122372033	\$255.32
122352016	\$255.32	122371005	\$255.32	122372034	\$255.32
122352017	\$255.32	122371006	\$255.32	122372035	\$255.32
122352018	\$255.32	122371007	\$255.32	122372036	\$255.32
122352019	\$255.32	122371008	\$255.32	122373001	\$255.32
122352020	\$255.32	122371009	\$255.32	122373002	\$255.32
122352021	\$255.32	122371012	\$255.32	122373003	\$255.32
122352022	\$255.32	122371013	\$255.32	122373004	\$255.32
122361001	\$255.32	122371014	\$255.32	122373005	\$255.32
122361002	\$255.32	122371015	\$255.32	122373006	\$255.32
122361008	\$255.32	122371016	\$255.32	122373007	\$255.32
122361009	\$255.32	122371017	\$255.32	122373008	\$255.32
122361010	\$255.32	122371018	\$255.32	122373009	\$255.32
122361011	\$255.32	122371019	\$255.32	122373010	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122381001	\$255.32	122382035	\$255.32	122410002	\$255.32
122381004	\$255.32	122382036	\$255.32	122410003	\$255.32
122381005	\$255.32	122383001	\$255.32	122410004	\$255.32
122381006	\$255.32	122383002	\$255.32	122410007	\$9,255.88
122381007	\$255.32	122383003	\$255.32	122411001	\$153.20
122381008	\$255.32	122383004	\$255.32	122411002	\$153.20
122381009	\$255.32	122383005	\$255.32	122411003	\$153.20
122381010	\$255.32	122391001	\$255.32	122411004	\$153.20
122381011	\$255.32	122391002	\$255.32	122411005	\$153.20
122382001	\$255.32	122391003	\$255.32	122411006	\$153.20
122382002	\$255.32	122391004	\$255.32	122411007	\$153.20
122382003	\$255.32	122392001	\$255.32	122411008	\$153.20
122382004	\$255.32	122392002	\$255.32	122411009	\$153.20
122382005	\$255.32	122392003	\$255.32	122411010	\$153.20
122382006	\$255.32	122392004	\$255.32	122411011	\$153.20
122382007	\$255.32	122392005	\$255.32	122411012	\$153.20
122382008	\$255.32	122392006	\$255.32	122411013	\$153.20
122382009	\$255.32	122392007	\$255.32	122411014	\$153.20
122382010	\$255.32	122392008	\$255.32	122411015	\$153.20
122382011	\$255.32	122392009	\$255.32	122411016	\$153.20
122382012	\$255.32	122392010	\$255.32	122411017	\$153.20
122382013	\$255.32	122392011	\$255.32	122411018	\$153.20
122382014	\$255.32	122392012	\$255.32	122411019	\$153.20
122382015	\$255.32	122393001	\$255.32	122411020	\$153.20
122382016	\$255.32	122393002	\$255.32	122411021	\$153.20
122382017	\$255.32	122393003	\$255.32	122411022	\$153.20
122382018	\$255.32	122393004	\$255.32	122411023	\$153.20
122382019	\$255.32	122393005	\$255.32	122411024	\$153.20
122382020	\$255.32	122393006	\$255.32	122411025	\$153.20
122382021	\$255.32	122393007	\$255.32	122411026	\$153.20
122382022	\$255.32	122393008	\$255.32	122411027	\$153.20
122382023	\$255.32	122393009	\$255.32	122411028	\$153.20
122382024	\$255.32	122393010	\$255.32	122411029	\$153.20
122382025	\$255.32	122393011	\$255.32	122411030	\$153.20
122382026	\$255.32	122393012	\$255.32	122411032	\$153.20
122382027	\$255.32	122393013	\$255.32	122411033	\$153.20
122382028	\$255.32	122393014	\$255.32	122411034	\$153.20
122382029	\$255.32	122393015	\$255.32	122411035	\$153.20
122382030	\$255.32	122393016	\$255.32	122411036	\$153.20
122382031	\$255.32	122393017	\$255.32	122411037	\$153.20
122382032	\$255.32	122393018	\$255.32	122411038	\$153.20
122382033	\$255.32	122393019	\$255.32	122411039	\$153.20
122382034	\$255.32	122393020	\$255.32	122411040	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122411041	\$153.20	122412020	\$153.20	122412063	\$153.20
122411042	\$153.20	122412021	\$153.20	122412064	\$153.20
122411043	\$153.20	122412022	\$153.20	122412065	\$153.20
122411044	\$153.20	122412023	\$153.20	122412066	\$153.20
122411045	\$153.20	122412024	\$153.20	122412067	\$153.20
122411046	\$153.20	122412025	\$153.20	122412068	\$153.20
122411047	\$153.20	122412026	\$153.20	122412069	\$153.20
122411048	\$153.20	122412027	\$153.20	122412070	\$153.20
122411049	\$153.20	122412028	\$153.20	122412071	\$153.20
122411050	\$153.20	122412029	\$153.20	122412072	\$153.20
122411051	\$153.20	122412030	\$153.20	122413001	\$153.20
122411052	\$153.20	122412031	\$153.20	122413002	\$153.20
122411053	\$153.20	122412032	\$153.20	122413003	\$153.20
122411054	\$153.20	122412033	\$153.20	122413004	\$153.20
122411055	\$153.20	122412034	\$153.20	122413005	\$153.20
122411056	\$153.20	122412035	\$153.20	122413006	\$153.20
122411057	\$153.20	122412036	\$153.20	122413007	\$153.20
122411058	\$153.20	122412037	\$153.20	122413008	\$153.20
122411059	\$153.20	122412038	\$153.20	122413009	\$153.20
122411060	\$153.20	122412039	\$153.20	122413010	\$153.20
122411061	\$153.20	122412040	\$153.20	122413011	\$153.20
122411062	\$153.20	122412041	\$153.20	122413012	\$153.20
122411063	\$153.20	122412042	\$153.20	122413013	\$153.20
122411064	\$153.20	122412043	\$153.20	122413014	\$153.20
122412001	\$153.20	122412044	\$153.20	122413015	\$153.20
122412002	\$153.20	122412045	\$153.20	122413016	\$153.20
122412003	\$153.20	122412046	\$153.20	122413017	\$153.20
122412004	\$153.20	122412047	\$153.20	122413018	\$153.20
122412005	\$153.20	122412048	\$153.20	122413019	\$153.20
122412006	\$153.20	122412049	\$153.20	122413020	\$153.20
122412007	\$153.20	122412050	\$153.20	122413021	\$153.20
122412008	\$153.20	122412051	\$153.20	122413022	\$153.20
122412009	\$153.20	122412052	\$153.20	122413023	\$153.20
122412010	\$153.20	122412053	\$153.20	122413024	\$153.20
122412011	\$153.20	122412054	\$153.20	122413025	\$153.20
122412012	\$153.20	122412055	\$153.20	122413026	\$153.20
122412013	\$153.20	122412056	\$153.20	122413027	\$153.20
122412014	\$153.20	122412057	\$153.20	122413028	\$153.20
122412015	\$153.20	122412058	\$153.20	122413029	\$153.20
122412016	\$153.20	122412059	\$153.20	122413030	\$153.20
122412017	\$153.20	122412060	\$153.20	122413031	\$153.20
122412018	\$153.20	122412061	\$153.20	122413032	\$153.20
122412019	\$153.20	122412062	\$153.20	122413033	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122413034	\$153.20	122414005	\$153.20	122414048	\$153.20
122413035	\$153.20	122414006	\$153.20	122414049	\$153.20
122413036	\$153.20	122414007	\$153.20	122414050	\$153.20
122413037	\$153.20	122414008	\$153.20	122414051	\$153.20
122413038	\$153.20	122414009	\$153.20	122414052	\$153.20
122413039	\$153.20	122414010	\$153.20	122414053	\$153.20
122413040	\$153.20	122414011	\$153.20	122414054	\$153.20
122413041	\$153.20	122414012	\$153.20	122414055	\$153.20
122413042	\$153.20	122414013	\$153.20	122414056	\$153.20
122413043	\$153.20	122414014	\$153.20	122414057	\$153.20
122413044	\$153.20	122414015	\$153.20	122414058	\$153.20
122413045	\$153.20	122414016	\$153.20	122414059	\$153.20
122413046	\$153.20	122414017	\$153.20	122414060	\$153.20
122413047	\$153.20	122414018	\$153.20	122414061	\$153.20
122413048	\$153.20	122414019	\$153.20	122414062	\$153.20
122413049	\$153.20	122414020	\$153.20	122414063	\$153.20
122413050	\$153.20	122414021	\$153.20	122414064	\$153.20
122413051	\$153.20	122414022	\$153.20	122414065	\$153.20
122413052	\$153.20	122414023	\$153.20	122414066	\$153.20
122413053	\$153.20	122414024	\$153.20	122414067	\$153.20
122413054	\$153.20	122414025	\$153.20	122414068	\$153.20
122413055	\$153.20	122414026	\$153.20	122414069	\$153.20
122413056	\$153.20	122414027	\$153.20	122414070	\$153.20
122413057	\$153.20	122414028	\$153.20	122414071	\$153.20
122413058	\$153.20	122414029	\$153.20	122414072	\$153.20
122413059	\$153.20	122414030	\$153.20	122415001	\$153.20
122413060	\$153.20	122414031	\$153.20	122415002	\$153.20
122413061	\$153.20	122414032	\$153.20	122415003	\$153.20
122413062	\$153.20	122414033	\$153.20	122415004	\$153.20
122413063	\$153.20	122414034	\$153.20	122415005	\$153.20
122413064	\$153.20	122414035	\$153.20	122415006	\$153.20
122413065	\$153.20	122414036	\$153.20	122415007	\$153.20
122413066	\$153.20	122414037	\$153.20	122415008	\$153.20
122413067	\$153.20	122414038	\$153.20	122415009	\$153.20
122413068	\$153.20	122414039	\$153.20	122415010	\$153.20
122413069	\$153.20	122414040	\$153.20	122415011	\$153.20
122413070	\$153.20	122414041	\$153.20	122415012	\$153.20
122413071	\$153.20	122414042	\$153.20	122415013	\$153.20
122413072	\$153.20	122414043	\$153.20	122415014	\$153.20
122414001	\$153.20	122414044	\$153.20	122415015	\$153.20
122414002	\$153.20	122414045	\$153.20	122415016	\$153.20
122414003	\$153.20	122414046	\$153.20	122415017	\$153.20
122414004	\$153.20	122414047	\$153.20	122415018	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122415019	\$153.20	122415062	\$153.20	122415105	\$153.20
122415020	\$153.20	122415063	\$153.20	122415106	\$153.20
122415021	\$153.20	122415064	\$153.20	122415107	\$153.20
122415022	\$153.20	122415065	\$153.20	122415108	\$153.20
122415023	\$153.20	122415066	\$153.20	122415109	\$153.20
122415024	\$153.20	122415067	\$153.20	122415110	\$153.20
122415025	\$153.20	122415068	\$153.20	122415111	\$153.20
122415026	\$153.20	122415069	\$153.20	122415112	\$153.20
122415027	\$153.20	122415070	\$153.20	122421001	\$255.32
122415028	\$153.20	122415071	\$153.20	122421002	\$255.32
122415029	\$153.20	122415072	\$153.20	122421003	\$255.32
122415030	\$153.20	122415073	\$153.20	122421004	\$255.32
122415031	\$153.20	122415074	\$153.20	122421005	\$255.32
122415032	\$153.20	122415075	\$153.20	122421006	\$255.32
122415033	\$153.20	122415076	\$153.20	122421007	\$255.32
122415034	\$153.20	122415077	\$153.20	122421008	\$255.32
122415035	\$153.20	122415078	\$153.20	122421009	\$255.32
122415036	\$153.20	122415079	\$153.20	122421010	\$255.32
122415037	\$153.20	122415080	\$153.20	122421011	\$255.32
122415038	\$153.20	122415081	\$153.20	122421012	\$255.32
122415039	\$153.20	122415082	\$153.20	122421013	\$255.32
122415040	\$153.20	122415083	\$153.20	122421017	\$255.32
122415041	\$153.20	122415084	\$153.20	122421018	\$255.32
122415042	\$153.20	122415085	\$153.20	122421019	\$255.32
122415043	\$153.20	122415086	\$153.20	122421020	\$255.32
122415044	\$153.20	122415087	\$153.20	122421021	\$255.32
122415045	\$153.20	122415088	\$153.20	122421022	\$255.32
122415046	\$153.20	122415089	\$153.20	122421023	\$255.32
122415047	\$153.20	122415090	\$153.20	122421024	\$255.32
122415048	\$153.20	122415091	\$153.20	122421025	\$255.32
122415049	\$153.20	122415092	\$153.20	122421026	\$255.32
122415050	\$153.20	122415093	\$153.20	122421027	\$255.32
122415051	\$153.20	122415094	\$153.20	122421028	\$255.32
122415052	\$153.20	122415095	\$153.20	122421029	\$255.32
122415053	\$153.20	122415096	\$153.20	122421030	\$255.32
122415054	\$153.20	122415097	\$153.20	122421031	\$255.32
122415055	\$153.20	122415098	\$153.20	122421032	\$255.32
122415056	\$153.20	122415099	\$153.20	122421033	\$255.32
122415057	\$153.20	122415100	\$153.20	122421034	\$255.32
122415058	\$153.20	122415101	\$153.20	122421035	\$255.32
122415059	\$153.20	122415102	\$153.20	122421036	\$255.32
122415060	\$153.20	122415103	\$153.20	122421037	\$255.32
122415061	\$153.20	122415104	\$153.20	122421038	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122421040	\$255.32	122422024	\$255.32	122432003	\$255.32
122421041	\$255.32	122422025	\$255.32	122432004	\$255.32
122421042	\$255.32	122422026	\$255.32	122432005	\$255.32
122421043	\$255.32	122422027	\$255.32	122432006	\$255.32
122421044	\$255.32	122431001	\$255.32	122432007	\$255.32
122421045	\$255.32	122431002	\$255.32	122432008	\$255.32
122421046	\$255.32	122431003	\$255.32	122432009	\$255.32
122421047	\$255.32	122431004	\$255.32	122433001	\$255.32
122421048	\$255.32	122431005	\$255.32	122433002	\$255.32
122421049	\$255.32	122431006	\$255.32	122433003	\$255.32
122421050	\$255.32	122431007	\$255.32	122433004	\$255.32
122421051	\$255.32	122431008	\$255.32	122433005	\$255.32
122421052	\$255.32	122431009	\$255.32	122433006	\$255.32
122421053	\$255.32	122431010	\$255.32	122433007	\$255.32
122421054	\$255.32	122431011	\$255.32	122433008	\$255.32
122421055	\$255.32	122431012	\$255.32	122433009	\$255.32
122421056	\$255.32	122431013	\$255.32	122433010	\$255.32
122421057	\$255.32	122431014	\$255.32	122433011	\$255.32
122421058	\$255.32	122431015	\$255.32	122433012	\$255.32
122421059	\$255.32	122431016	\$255.32	122433013	\$255.32
122422001	\$255.32	122431017	\$255.32	122433014	\$255.32
122422002	\$255.32	122431018	\$255.32	122433015	\$255.32
122422003	\$255.32	122431019	\$255.32	122433016	\$255.32
122422004	\$255.32	122431020	\$255.32	122433017	\$255.32
122422005	\$255.32	122431021	\$255.32	122433018	\$255.32
122422006	\$255.32	122431022	\$255.32	122433019	\$255.32
122422007	\$255.32	122431023	\$255.32	122433020	\$255.32
122422008	\$255.32	122431024	\$255.32	122433021	\$255.32
122422009	\$255.32	122431025	\$255.32	122441001	\$255.32
122422010	\$255.32	122431026	\$255.32	122441002	\$255.32
122422011	\$255.32	122431027	\$255.32	122441003	\$255.32
122422012	\$255.32	122431028	\$255.32	122441004	\$255.32
122422013	\$255.32	122431029	\$255.32	122441005	\$255.32
122422014	\$255.32	122431030	\$255.32	122441006	\$255.32
122422015	\$255.32	122431031	\$255.32	122441007	\$255.32
122422016	\$255.32	122431032	\$255.32	122441008	\$255.32
122422017	\$255.32	122431033	\$255.32	122441009	\$255.32
122422018	\$255.32	122431034	\$255.32	122441010	\$255.32
122422019	\$255.32	122431035	\$255.32	122441011	\$255.32
122422020	\$255.32	122431036	\$255.32	122441012	\$255.32
122422021	\$255.32	122431037	\$255.32	122441013	\$255.32
122422022	\$255.32	122432001	\$255.32	122441014	\$255.32
122422023	\$255.32	122432002	\$255.32	122441015	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122441016	\$255.32	122441061	\$255.32	122462007	\$255.32
122441017	\$255.32	122441062	\$255.32	122462008	\$255.32
122441018	\$255.32	122441063	\$255.32	122462009	\$255.32
122441019	\$255.32	122441064	\$255.32	122462010	\$255.32
122441020	\$255.32	122441065	\$255.32	122462011	\$255.32
122441021	\$255.32	122441066	\$255.32	122462012	\$255.32
122441023	\$255.32	122441067	\$255.32	122462013	\$255.32
122441024	\$255.32	122441068	\$255.32	122462014	\$255.32
122441025	\$255.32	122441069	\$255.32	122462015	\$255.32
122441026	\$255.32	122441070	\$255.32	122462016	\$255.32
122441027	\$255.32	122441071	\$255.32	122471001	\$255.32
122441028	\$255.32	122441072	\$255.32	122471002	\$255.32
122441029	\$255.32	122441073	\$255.32	122471003	\$255.32
122441030	\$255.32	122441074	\$255.32	122471004	\$255.32
122441031	\$255.32	122441075	\$255.32	122471005	\$255.32
122441032	\$255.32	122441076	\$255.32	122471006	\$255.32
122441033	\$255.32	122451001	\$255.32	122471007	\$255.32
122441034	\$255.32	122451002	\$255.32	122471008	\$255.32
122441035	\$255.32	122451003	\$255.32	122471009	\$255.32
122441036	\$255.32	122451004	\$255.32	122471010	\$255.32
122441037	\$255.32	122451005	\$255.32	122471011	\$255.32
122441038	\$255.32	122451006	\$255.32	122471012	\$255.32
122441039	\$255.32	122451007	\$255.32	122472001	\$255.32
122441040	\$255.32	122451008	\$255.32	122472002	\$255.32
122441041	\$255.32	122451009	\$255.32	122472003	\$255.32
122441042	\$255.32	122451010	\$255.32	122472004	\$255.32
122441043	\$255.32	122451011	\$255.32	122472005	\$255.32
122441044	\$255.32	122451012	\$255.32	122472006	\$255.32
122441045	\$255.32	122451013	\$255.32	122472007	\$255.32
122441046	\$255.32	122451014	\$255.32	122472008	\$255.32
122441047	\$255.32	122451015	\$255.32	122472009	\$255.32
122441048	\$255.32	122452001	\$255.32	122472010	\$255.32
122441049	\$255.32	122452002	\$255.32	122472011	\$255.32
122441050	\$255.32	122452003	\$255.32	122472012	\$255.32
122441052	\$255.32	122452004	\$255.32	122472013	\$255.32
122441053	\$255.32	122461001	\$255.32	122472014	\$255.32
122441054	\$255.32	122461002	\$255.32	122472015	\$255.32
122441055	\$255.32	122462001	\$255.32	122472016	\$255.32
122441056	\$255.32	122462002	\$255.32	122472017	\$255.32
122441057	\$255.32	122462003	\$255.32	122472018	\$255.32
122441058	\$255.32	122462004	\$255.32	122472019	\$255.32
122441059	\$255.32	122462005	\$255.32	122481001	\$255.32
122441060	\$255.32	122462006	\$255.32	122481002	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122481003	\$255.32	122500006	\$255.32	122521006	\$255.32
122481004	\$255.32	122500007	\$255.32	122521007	\$255.32
122481005	\$255.32	122500008	\$255.32	122521008	\$255.32
122481006	\$255.32	122500009	\$255.32	122521009	\$255.32
122481007	\$255.32	122500010	\$255.32	122521010	\$255.32
122481008	\$255.32	122500011	\$255.32	122521011	\$255.32
122481009	\$255.32	122500012	\$255.32	122521012	\$255.32
122482001	\$255.32	122511001	\$255.32	122521013	\$255.32
122482002	\$255.32	122511002	\$255.32	122521014	\$255.32
122482003	\$255.32	122511003	\$255.32	122521015	\$255.32
122482004	\$255.32	122511004	\$255.32	122521016	\$255.32
122483001	\$255.32	122511005	\$255.32	122521017	\$255.32
122483002	\$255.32	122511006	\$255.32	122521018	\$255.32
122483003	\$255.32	122511007	\$255.32	122521019	\$255.32
122483004	\$255.32	122511008	\$255.32	122521020	\$255.32
122483005	\$255.32	122511009	\$255.32	122522001	\$255.32
122483006	\$255.32	122511010	\$255.32	122522002	\$255.32
122483007	\$255.32	122511011	\$255.32	122522003	\$255.32
122483008	\$255.32	122511012	\$255.32	122522004	\$255.32
122483009	\$255.32	122511013	\$255.32	122522005	\$255.32
122483010	\$255.32	122511014	\$255.32	122522006	\$255.32
122491001	\$255.32	122511015	\$255.32	122522007	\$255.32
122491002	\$255.32	122511016	\$255.32	122531001	\$255.32
122491003	\$255.32	122511017	\$255.32	122531002	\$255.32
122491004	\$255.32	122511018	\$255.32	122531003	\$255.32
122491005	\$255.32	122511019	\$255.32	122531004	\$255.32
122491006	\$255.32	122511020	\$255.32	122531005	\$255.32
122491007	\$255.32	122511021	\$255.32	122531006	\$255.32
122491008	\$255.32	122511022	\$255.32	122531007	\$255.32
122491009	\$255.32	122511023	\$255.32	122531008	\$255.32
122491010	\$255.32	122511024	\$255.32	122531009	\$255.32
122492001	\$255.32	122512001	\$255.32	122531010	\$255.32
122492002	\$255.32	122512002	\$255.32	122531011	\$255.32
122492003	\$255.32	122512003	\$255.32	122531012	\$255.32
122492004	\$255.32	122512004	\$255.32	122531013	\$255.32
122492005	\$255.32	122512005	\$255.32	122531014	\$255.32
122492006	\$255.32	122512006	\$255.32	122531015	\$255.32
122492007	\$255.32	122512007	\$255.32	122531016	\$255.32
122500001	\$255.32	122521001	\$255.32	122531017	\$255.32
122500002	\$255.32	122521002	\$255.32	122531018	\$255.32
122500003	\$255.32	122521003	\$255.32	122531020	\$255.32
122500004	\$255.32	122521004	\$255.32	122531021	\$255.32
122500005	\$255.32	122521005	\$255.32	122531022	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122531023	\$255.32	122541006	\$255.32	122551004	\$255.32
122531024	\$255.32	122541007	\$255.32	122551005	\$255.32
122531025	\$255.32	122541008	\$255.32	122551006	\$255.32
122531026	\$255.32	122541009	\$255.32	122551007	\$255.32
122531027	\$255.32	122541010	\$255.32	122551008	\$255.32
122531028	\$255.32	122541011	\$255.32	122551009	\$255.32
122531029	\$255.32	122541012	\$255.32	122551011	\$255.32
122531030	\$255.32	122541013	\$255.32	122551012	\$255.32
122531031	\$255.32	122541014	\$255.32	122551013	\$255.32
122531032	\$255.32	122541015	\$255.32	122551015	\$255.32
122531033	\$255.32	122541016	\$255.32	122551016	\$255.32
122531034	\$255.32	122541017	\$255.32	122551017	\$255.32
122532001	\$255.32	122541019	\$255.32	122551018	\$255.32
122532002	\$255.32	122541020	\$255.32	122551019	\$255.32
122532003	\$255.32	122541021	\$255.32	122551020	\$255.32
122532004	\$255.32	122541022	\$255.32	122551021	\$255.32
122532005	\$255.32	122541023	\$255.32	122551022	\$255.32
122532006	\$255.32	122541024	\$255.32	122551024	\$255.32
122532007	\$255.32	122541025	\$255.32	122551025	\$255.32
122532008	\$255.32	122541026	\$255.32	122551026	\$255.32
122532009	\$255.32	122541027	\$255.32	122551028	\$255.32
122532010	\$255.32	122541028	\$255.32	122551029	\$255.32
122532011	\$255.32	122541029	\$255.32	122551030	\$255.32
122532012	\$255.32	122541031	\$255.32	122551031	\$255.32
122532013	\$255.32	122541032	\$255.32	122551032	\$255.32
122532015	\$255.32	122541033	\$255.32	122551033	\$255.32
122532016	\$255.32	122541034	\$255.32	122551034	\$255.32
122532017	\$255.32	122541035	\$255.32	122551035	\$255.32
122532018	\$255.32	122541036	\$255.32	122551036	\$255.32
122532019	\$255.32	122541037	\$255.32	122551038	\$255.32
122532020	\$255.32	122541038	\$255.32	122551039	\$255.32
122532021	\$255.32	122541039	\$255.32	122551040	\$255.32
122532022	\$255.32	122541040	\$255.32	122551041	\$255.32
122532023	\$255.32	122541041	\$255.32	122551042	\$255.32
122532024	\$255.32	122541042	\$255.32	122551043	\$255.32
122532025	\$255.32	122541043	\$255.32	122551044	\$255.32
122532026	\$255.32	122541044	\$255.32	122551045	\$255.32
122532027	\$255.32	122541045	\$255.32	122551046	\$255.32
122541001	\$255.32	122541046	\$255.32	122551047	\$255.32
122541002	\$255.32	122541047	\$255.32	122551049	\$255.32
122541003	\$255.32	122551001	\$255.32	122551050	\$255.32
122541004	\$255.32	122551002	\$255.32	122551052	\$255.32
122541005	\$255.32	122551003	\$255.32	122551053	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122551054	\$255.32	122552019	\$255.32	122562014	\$255.32
122551055	\$255.32	122552020	\$255.32	122562015	\$255.32
122551056	\$255.32	122552021	\$255.32	122562016	\$255.32
122551057	\$255.32	122552022	\$255.32	122562017	\$255.32
122551059	\$255.32	122552023	\$255.32	122562018	\$255.32
122551060	\$255.32	122552024	\$255.32	122562019	\$255.32
122551061	\$255.32	122552025	\$255.32	122562021	\$255.32
122551062	\$255.32	122552026	\$255.32	122562022	\$255.32
122551063	\$255.32	122552027	\$255.32	122562023	\$255.32
122551064	\$255.32	122561002	\$255.32	122562024	\$255.32
122551066	\$255.32	122561003	\$255.32	122562025	\$255.32
122551067	\$255.32	122561004	\$255.32	122562026	\$255.32
122551068	\$255.32	122561006	\$255.32	122562027	\$255.32
122551069	\$255.32	122561007	\$255.32	122562028	\$255.32
122551070	\$255.32	122561008	\$255.32	122562029	\$255.32
122551071	\$255.32	122561009	\$255.32	122562030	\$255.32
122551072	\$255.32	122561010	\$255.32	122562032	\$255.32
122551073	\$255.32	122561011	\$255.32	122562033	\$255.32
122551074	\$255.32	122561012	\$255.32	122562034	\$255.32
122551076	\$255.32	122561013	\$255.32	122562035	\$255.32
122551077	\$255.32	122561014	\$255.32	122562036	\$255.32
122551078	\$255.32	122561016	\$255.32	122562037	\$255.32
122551079	\$255.32	122561017	\$255.32	122562038	\$255.32
122551080	\$255.32	122561018	\$255.32	122562039	\$255.32
122551081	\$255.32	122561019	\$255.32	122562040	\$255.32
122551082	\$255.32	122561020	\$255.32	122562041	\$255.32
122552001	\$255.32	122561021	\$255.32	122562042	\$255.32
122552002	\$255.32	122561023	\$255.32	122670029	\$592.88
122552003	\$255.32	122561024	\$255.32	122670031	\$7,559.42
122552004	\$255.32	122561025	\$255.32	122670032	\$49.40
122552005	\$255.32	122561026	\$255.32	122670033	\$135.86
122552006	\$255.32	122562001	\$255.32	122670034	\$704.06
122552007	\$255.32	122562002	\$255.32	122670035	\$172.92
122552008	\$255.32	122562003	\$255.32	122670036	\$1,963.96
122552009	\$255.32	122562004	\$255.32	122670037	\$1,296.96
122552010	\$255.32	122562005	\$255.32	122670038	\$4,743.16
122552011	\$255.32	122562006	\$255.32	122670039	\$716.40
122552012	\$255.32	122562007	\$255.32	122670040	\$3,322.68
122552013	\$255.32	122562009	\$255.32	122670043	\$852.28
122552014	\$255.32	122562010	\$255.32	122670048	\$247.04
122552015	\$255.32	122562011	\$255.32	122670049	\$247.04
122552016	\$255.32	122562012	\$255.32	122670050	\$247.04
122552017	\$255.32	122562013	\$255.32	122680001	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122680002	\$255.32	122680045	\$255.32	123340020	\$255.32
122680003	\$255.32	122680046	\$255.32	123340021	\$255.32
122680004	\$255.32	122680047	\$255.32	123340022	\$255.32
122680005	\$255.32	122680049	\$255.32	123340023	\$255.32
122680006	\$255.32	122680050	\$255.32	123340024	\$255.32
122680007	\$255.32	122680051	\$255.32	123340025	\$255.32
122680008	\$255.32	122680052	\$255.32	123340026	\$255.32
122680009	\$255.32	122680053	\$255.32	123340027	\$255.32
122680010	\$255.32	122680054	\$255.32	123340028	\$255.32
122680011	\$255.32	122680055	\$255.32	123340029	\$255.32
122680012	\$255.32	122680056	\$255.32	123340030	\$255.32
122680013	\$255.32	122680057	\$255.32	123340031	\$255.32
122680014	\$255.32	122680058	\$255.32	123340032	\$255.32
122680015	\$255.32	122680059	\$255.32	123340033	\$255.32
122680016	\$255.32	122680060	\$255.32	123340034	\$255.32
122680017	\$255.32	122680061	\$255.32	123340035	\$255.32
122680018	\$255.32	122680062	\$255.32	123340036	\$255.32
122680019	\$255.32	122680063	\$255.32	123361001	\$255.32
122680020	\$255.32	122680064	\$255.32	123361002	\$255.32
122680021	\$255.32	122680065	\$255.32	123361003	\$255.32
122680022	\$255.32	122680066	\$255.32	123361004	\$255.32
122680023	\$255.32	123330006	\$255.32	123361005	\$255.32
122680024	\$255.32	123330030	\$255.32	123361006	\$255.32
122680025	\$255.32	123330031	\$255.32	123361007	\$255.32
122680026	\$255.32	123340001	\$255.32	123361008	\$255.32
122680027	\$255.32	123340002	\$255.32	123361009	\$255.32
122680028	\$255.32	123340003	\$255.32	123361010	\$255.32
122680029	\$255.32	123340004	\$255.32	123361011	\$255.32
122680030	\$255.32	123340005	\$255.32	123361012	\$255.32
122680031	\$255.32	123340006	\$255.32	123361013	\$255.32
122680032	\$255.32	123340007	\$255.32	123361014	\$255.32
122680033	\$255.32	123340008	\$255.32	123361015	\$255.32
122680034	\$255.32	123340009	\$255.32	123361016	\$255.32
122680035	\$255.32	123340010	\$255.32	123361017	\$255.32
122680036	\$255.32	123340011	\$255.32	123361018	\$255.32
122680037	\$255.32	123340012	\$255.32	123361019	\$255.32
122680038	\$255.32	123340013	\$255.32	123361020	\$255.32
122680039	\$255.32	123340014	\$255.32	123361021	\$255.32
122680040	\$255.32	123340015	\$255.32	123361022	\$255.32
122680041	\$255.32	123340016	\$255.32	123361023	\$255.32
122680042	\$255.32	123340017	\$255.32	123361024	\$255.32
122680043	\$255.32	123340018	\$255.32	123361025	\$255.32
122680044	\$255.32	123340019	\$255.32	123361026	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123361027	\$255.32	123371002	\$255.32	123372018	\$255.32
123361028	\$255.32	123371003	\$255.32	123372019	\$255.32
123361029	\$255.32	123371004	\$255.32	123372020	\$255.32
123361030	\$255.32	123371005	\$255.32	123372021	\$255.32
123361031	\$255.32	123371006	\$255.32	123372022	\$255.32
123361032	\$255.32	123371007	\$255.32	123372023	\$255.32
123361033	\$255.32	123371008	\$255.32	123372024	\$255.32
123361034	\$255.32	123371009	\$255.32	123372025	\$255.32
123361035	\$255.32	123371010	\$255.32	123372026	\$255.32
123361036	\$255.32	123371011	\$255.32	123372027	\$255.32
123361037	\$255.32	123371012	\$255.32	123372028	\$255.32
123361038	\$255.32	123371013	\$255.32	123372029	\$255.32
123361039	\$255.32	123371014	\$255.32	123372030	\$255.32
123361040	\$255.32	123371015	\$255.32	123373001	\$255.32
123361041	\$255.32	123371016	\$255.32	123373002	\$255.32
123361042	\$255.32	123371017	\$255.32	123373003	\$255.32
123361043	\$255.32	123371018	\$255.32	123373004	\$255.32
123361044	\$255.32	123371019	\$255.32	123373005	\$255.32
123361045	\$255.32	123371020	\$255.32	123373006	\$255.32
123361046	\$255.32	123371021	\$255.32	123373007	\$255.32
123362001	\$255.32	123371022	\$255.32	123373008	\$255.32
123362002	\$255.32	123371023	\$255.32	123373009	\$255.32
123362003	\$255.32	123371024	\$255.32	123373010	\$255.32
123362004	\$255.32	123371025	\$255.32	123373011	\$255.32
123362005	\$255.32	123371026	\$255.32	123374001	\$255.32
123362006	\$255.32	123371027	\$255.32	123374002	\$255.32
123362007	\$255.32	123372001	\$255.32	123374003	\$255.32
123362008	\$255.32	123372002	\$255.32	123374004	\$255.32
123362009	\$255.32	123372003	\$255.32	123374005	\$255.32
123362010	\$255.32	123372004	\$255.32	123374006	\$255.32
123362011	\$255.32	123372005	\$255.32	123374007	\$255.32
123362012	\$255.32	123372006	\$255.32	123374008	\$255.32
123362013	\$255.32	123372007	\$255.32	123374009	\$255.32
123362014	\$255.32	123372008	\$255.32	123374010	\$255.32
123362015	\$255.32	123372009	\$255.32	123374011	\$255.32
123362016	\$255.32	123372010	\$255.32	123374012	\$255.32
123362017	\$255.32	123372011	\$255.32	123374013	\$255.32
123362018	\$255.32	123372012	\$255.32	123374014	\$255.32
123362019	\$255.32	123372013	\$255.32	123374015	\$255.32
123362020	\$255.32	123372014	\$255.32	123374016	\$255.32
123362021	\$255.32	123372015	\$255.32	123374017	\$255.32
123362022	\$255.32	123372016	\$255.32	123374018	\$255.32
123371001	\$255.32	123372017	\$255.32	123381001	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123381002	\$255.32	168330003	\$255.32	172080022	\$255.32
123381003	\$255.32	168330004	\$255.32	172080023	\$255.32
123381004	\$255.32	168330006	\$255.32	172080024	\$255.32
123381005	\$255.32	168330007	\$255.32	172080025	\$255.32
123381006	\$255.32	168330008	\$255.32	172080026	\$255.32
123381007	\$255.32	168330009	\$255.32	172080027	\$255.32
123381008	\$255.32	168330013	\$510.66	172080028	\$255.32
123381009	\$255.32	172060002	\$255.32	172080029	\$255.32
123382001	\$255.32	172060003	\$255.32	172080030	\$255.32
123382002	\$255.32	172060004	\$255.32	172080031	\$255.32
123382003	\$255.32	172061001	\$255.32	172080032	\$255.32
123382004	\$255.32	172061002	\$255.32	172080033	\$255.32
123382007	\$255.32	172061003	\$255.32	172080034	\$255.32
123382008	\$255.32	172061004	\$255.32	172081001	\$255.32
123382009	\$255.32	172061005	\$255.32	172081002	\$255.32
123382010	\$255.32	172061006	\$255.32	172081003	\$255.32
123382011	\$255.32	172061007	\$255.32	172081004	\$255.32
123382012	\$255.32	172061008	\$255.32	172081005	\$255.32
123382013	\$255.32	172061009	\$255.32	172081006	\$255.32
123382014	\$255.32	172061010	\$255.32	172081007	\$255.32
123382015	\$255.32	172061011	\$255.32	172081008	\$255.32
123382016	\$255.32	172061012	\$255.32	172081009	\$255.32
123382017	\$255.32	172080001	\$255.32	172081010	\$255.32
123382018	\$255.32	172080002	\$255.32	172081011	\$255.32
123382019	\$255.32	172080003	\$255.32	172081012	\$255.32
123382020	\$255.32	172080004	\$255.32	172081013	\$255.32
123382021	\$255.32	172080005	\$255.32	172081014	\$255.32
123382022	\$255.32	172080006	\$255.32	172081015	\$255.32
123382023	\$255.32	172080007	\$255.32	172081016	\$255.32
123382024	\$255.32	172080008	\$255.32	172081017	\$255.32
123382025	\$255.32	172080009	\$255.32	172081018	\$255.32
123382026	\$255.32	172080010	\$255.32	172081019	\$255.32
123382027	\$255.32	172080011	\$255.32	172082001	\$255.32
123382028	\$255.32	172080012	\$255.32	172082002	\$255.32
123382029	\$255.32	172080013	\$255.32	172082003	\$255.32
123382030	\$255.32	172080014	\$255.32	172082004	\$255.32
123382031	\$255.32	172080015	\$255.32	172082005	\$255.32
123382032	\$255.32	172080016	\$255.32	172082006	\$255.32
123382033	\$255.32	172080017	\$255.32	172082007	\$255.32
123382034	\$255.32	172080018	\$255.32	172082008	\$255.32
123382035	\$255.32	172080019	\$255.32	172440001	\$255.32
123382036	\$255.32	172080020	\$255.32	172440002	\$255.32
123382038	\$255.32	172080021	\$255.32	172440003	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172440004	\$255.32	172440012	\$255.32	172440020	\$255.32
172440005	\$255.32	172440013	\$255.32	172440021	\$255.32
172440006	\$255.32	172440014	\$255.32	172440022	\$255.32
172440007	\$255.32	172440015	\$255.32	172440023	\$255.32
172440008	\$255.32	172440016	\$255.32	172440024	\$255.32
172440009	\$255.32	172440017	\$255.32	172440025	\$255.32
172440010	\$255.32	172440018	\$255.32		
172440011	\$255.32	172440019	\$255.32		
<b>Totals</b>		<b>Parcels 2,344</b>		<b>Levy \$587,878.00</b>	

## Assessment Roll

68-2295 - LMD 84-2 Zone 15

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102400004	\$992.22	102400038	\$575.20	102400088	\$287.60
102400006	\$841.22	102400039	\$934.70	102400089	\$3,821.48
102400023	\$816.06	102400040	\$719.00	102400092	\$704.62
102400026	\$75.48	102400078	\$560.82	102400094	\$665.06
102400029	\$359.50	102400080	\$704.62	102410005	\$801.68
102400030	\$445.78	102400081	\$2,671.08	102410007	\$1,757.94
102400031	\$463.74	102400082	\$956.26	102410010	\$395.44
102400032	\$391.84	102400083	\$546.44	102410011	\$452.96
102400033	\$639.90	102400084	\$1,269.02	102410012	\$1,344.52
102400034	\$571.60	102400086	\$1,998.82		
102400037	\$503.30	102400087	\$287.60		
<b>Totals</b>		<b>Parcels 31</b>		<b>Levy</b>	<b>\$27,555.50</b>



# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121431008	\$110.00	121441011	\$110.00	121461019	\$110.00
121431009	\$110.00	121441012	\$110.00	121461020	\$110.00
121431010	\$110.00	121442004	\$110.00	121461021	\$110.00
121431011	\$110.00	121442005	\$110.00	121461022	\$110.00
121431012	\$110.00	121442006	\$110.00	121461023	\$110.00
121431013	\$110.00	121442007	\$110.00	121461024	\$110.00
121431014	\$110.00	121442008	\$110.00	121461025	\$110.00
121431015	\$110.00	121443001	\$110.00	121461026	\$110.00
121431016	\$110.00	121443002	\$110.00	121461027	\$110.00
121431017	\$110.00	121443003	\$110.00	121461028	\$110.00
121431018	\$110.00	121443004	\$110.00	121461029	\$110.00
121431019	\$110.00	121443005	\$110.00	121461030	\$110.00
121432001	\$110.00	121443006	\$110.00	121461031	\$110.00
121432002	\$110.00	121443012	\$110.00	121462001	\$110.00
121432003	\$110.00	121443013	\$110.00	121462002	\$110.00
121432004	\$110.00	121443014	\$110.00	121462003	\$110.00
121432005	\$110.00	121443015	\$110.00	121462004	\$110.00
121432006	\$110.00	121443016	\$110.00	121462005	\$110.00
121432015	\$110.00	121443017	\$110.00	121462006	\$110.00
121432016	\$110.00	121443018	\$110.00	121462007	\$110.00
121432017	\$110.00	121443019	\$110.00	121462008	\$110.00
121432018	\$110.00	121443020	\$110.00	121462009	\$110.00
121432019	\$110.00	121443021	\$110.00	121462010	\$110.00
121432020	\$110.00	121443022	\$110.00	121462011	\$110.00
121432021	\$110.00	121443023	\$110.00	121462012	\$110.00
121432022	\$110.00	121461001	\$110.00	121462013	\$110.00
121433009	\$110.00	121461002	\$110.00	121462014	\$110.00
121433010	\$110.00	121461003	\$110.00	121462015	\$110.00
121433011	\$110.00	121461004	\$110.00	121462016	\$110.00
121433012	\$110.00	121461005	\$110.00	121463001	\$110.00
121433013	\$110.00	121461006	\$110.00	121463002	\$110.00
121433014	\$110.00	121461007	\$110.00	121463003	\$110.00
121433015	\$110.00	121461008	\$110.00	121463004	\$110.00
121433016	\$110.00	121461009	\$110.00	121463005	\$110.00
121433017	\$110.00	121461010	\$110.00	121463006	\$110.00
121441001	\$110.00	121461011	\$110.00	121463007	\$110.00
121441002	\$110.00	121461012	\$110.00	121463008	\$110.00
121441003	\$110.00	121461013	\$110.00	121463009	\$110.00
121441004	\$110.00	121461014	\$110.00	121463010	\$110.00
121441007	\$110.00	121461015	\$110.00	121463011	\$110.00
121441008	\$110.00	121461016	\$110.00	121464003	\$110.00
121441009	\$110.00	121461017	\$110.00	121464004	\$110.00
121441010	\$110.00	121461018	\$110.00	121464005	\$110.00

# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121464006	\$110.00	121472007	\$110.00	121481012	\$110.00
121464007	\$110.00	121472008	\$110.00	121481013	\$110.00
121464008	\$110.00	121472009	\$110.00	121481014	\$110.00
121464009	\$110.00	121472010	\$110.00	121482001	\$110.00
121464010	\$110.00	121472011	\$110.00	121482002	\$110.00
121464011	\$110.00	121472012	\$110.00	121482003	\$110.00
121464012	\$110.00	121472013	\$110.00	121482004	\$110.00
121464013	\$110.00	121472014	\$110.00	121482008	\$110.00
121464014	\$110.00	121472015	\$110.00	121482009	\$110.00
121464015	\$110.00	121472016	\$110.00	121482010	\$110.00
121464016	\$110.00	121472017	\$110.00	121482011	\$110.00
121464017	\$110.00	121472018	\$110.00	121482012	\$110.00
121471001	\$110.00	121472019	\$110.00	121482013	\$110.00
121471002	\$110.00	121481001	\$110.00	121482014	\$110.00
121471003	\$110.00	121481002	\$110.00	121482015	\$110.00
121471004	\$110.00	121481003	\$110.00	121482016	\$110.00
121471005	\$110.00	121481004	\$110.00	121482017	\$110.00
121471007	\$110.00	121481005	\$110.00	121482018	\$110.00
121472001	\$110.00	121481006	\$110.00	121482019	\$110.00
121472002	\$110.00	121481007	\$110.00	121482020	\$110.00
121472003	\$110.00	121481008	\$110.00	121482021	\$110.00
121472004	\$110.00	121481009	\$110.00	121482023	\$110.00
121472005	\$110.00	121481010	\$110.00	121482024	\$110.00
121472006	\$110.00	121481011	\$110.00	121482025	\$110.00
<b>Totals</b>		<b>Parcels 201</b>		<b>Levy \$22,110.00</b>	

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119060018	\$271.14	119061048	\$54.22	119490036	\$100.00
119060020	\$375.06	119061050	\$54.22	119490037	\$100.00
119060022	\$347.96	119061051	\$54.22	119490038	\$100.00
119061001	\$54.22	119061052	\$54.22	119490039	\$100.00
119061002	\$54.22	119061053	\$54.22	119490040	\$100.00
119061003	\$54.22	119061054	\$54.22	119490041	\$100.00
119061004	\$54.22	119061055	\$54.22	119490042	\$100.00
119061005	\$54.22	119061056	\$54.22	119490043	\$100.00
119061006	\$54.22	119490001	\$100.00	119490044	\$100.00
119061007	\$54.22	119490002	\$100.00	119490045	\$100.00
119061008	\$54.22	119490003	\$100.00	119490046	\$100.00
119061009	\$54.22	119490004	\$100.00	119490047	\$100.00
119061010	\$54.22	119490005	\$100.00	119490048	\$100.00
119061011	\$54.22	119490006	\$100.00	119490049	\$100.00
119061013	\$54.22	119490007	\$100.00	119490050	\$100.00
119061014	\$54.22	119490008	\$100.00	119490051	\$100.00
119061015	\$54.22	119490009	\$100.00	119490052	\$100.00
119061018	\$54.22	119490010	\$100.00	119490053	\$100.00
119061019	\$54.22	119490011	\$100.00	119490054	\$100.00
119061020	\$54.22	119490012	\$100.00	119490055	\$100.00
119061021	\$54.22	119490013	\$100.00	119490056	\$100.00
119061022	\$54.22	119490014	\$100.00	119490057	\$100.00
119061023	\$54.22	119490015	\$100.00	119490058	\$100.00
119061025	\$54.22	119490016	\$100.00	119490059	\$100.00
119061026	\$54.22	119490017	\$100.00	119490060	\$100.00
119061027	\$54.22	119490018	\$100.00	119490061	\$100.00
119061028	\$54.22	119490019	\$100.00	119490062	\$100.00
119061029	\$54.22	119490020	\$100.00	119490063	\$100.00
119061030	\$54.22	119490021	\$100.00	119490064	\$100.00
119061031	\$54.22	119490022	\$100.00	119490066	\$100.00
119061033	\$54.22	119490023	\$100.00	119490067	\$100.00
119061034	\$54.22	119490024	\$100.00	119490068	\$100.00
119061035	\$54.22	119490025	\$100.00	119490069	\$100.00
119061036	\$54.22	119490026	\$100.00	119490070	\$100.00
119061037	\$54.22	119490027	\$100.00	119490071	\$100.00
119061038	\$54.22	119490028	\$100.00	119490072	\$100.00
119061039	\$54.22	119490029	\$100.00	119490073	\$100.00
119061041	\$54.22	119490030	\$100.00	119511001	\$100.00
119061043	\$54.22	119490031	\$100.00	119511002	\$100.00
119061044	\$54.22	119490032	\$100.00	119511003	\$100.00
119061045	\$54.22	119490033	\$100.00	119511004	\$100.00
119061046	\$54.22	119490034	\$100.00	119511005	\$100.00
119061047	\$54.22	119490035	\$100.00	119511006	\$100.00

## Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119511007	\$100.00	119514004	\$100.00	119523001	\$100.00
119512001	\$100.00	119515001	\$100.00	119523002	\$100.00
119512002	\$100.00	119515002	\$100.00	119523003	\$100.00
119512003	\$100.00	119515003	\$100.00	119523004	\$100.00
119512004	\$100.00	119515004	\$100.00	119523005	\$100.00
119512005	\$100.00	119521001	\$100.00	119523006	\$100.00
119512006	\$100.00	119521002	\$100.00	119523007	\$100.00
119512007	\$100.00	119521003	\$100.00	119523008	\$100.00
119512008	\$100.00	119521004	\$100.00	119530001	\$100.00
119512009	\$100.00	119521005	\$100.00	119530002	\$100.00
119512011	\$100.00	119521006	\$100.00	119530003	\$100.00
119512012	\$100.00	119521007	\$100.00	119530004	\$100.00
119512013	\$100.00	119521008	\$100.00	119530008	\$100.00
119512014	\$100.00	119521009	\$100.00	119530009	\$100.00
119512015	\$100.00	119521011	\$100.00	119530010	\$100.00
119512016	\$100.00	119521012	\$100.00	119530011	\$100.00
119512017	\$100.00	119521013	\$100.00	119530012	\$100.00
119512018	\$100.00	119521014	\$100.00	119530013	\$100.00
119512019	\$100.00	119521015	\$100.00	119530015	\$100.00
119512020	\$100.00	119521016	\$100.00	119530016	\$100.00
119512021	\$100.00	119521017	\$100.00	119530017	\$100.00
119512022	\$100.00	119521018	\$100.00	119530018	\$100.00
119512023	\$100.00	119521019	\$100.00	119530019	\$100.00
119512024	\$100.00	119521020	\$100.00	119530020	\$100.00
119512025	\$100.00	119521021	\$100.00	119530021	\$100.00
119512026	\$100.00	119521022	\$100.00	119530022	\$100.00
119512027	\$100.00	119521023	\$100.00	119530023	\$100.00
119512028	\$100.00	119521024	\$100.00	119530025	\$100.00
119512029	\$100.00	119522001	\$100.00	119530026	\$100.00
119512030	\$100.00	119522002	\$100.00	119530028	\$100.00
119513001	\$100.00	119522003	\$100.00	119530029	\$100.00
119513002	\$100.00	119522004	\$100.00	119530030	\$100.00
119513003	\$100.00	119522005	\$100.00	119530031	\$100.00
119513004	\$100.00	119522006	\$100.00	119530032	\$100.00
119513005	\$100.00	119522007	\$100.00	119530033	\$100.00
119513006	\$100.00	119522008	\$100.00	119530034	\$100.00
119513007	\$100.00	119522009	\$100.00	119530035	\$100.00
119513008	\$100.00	119522010	\$100.00	119530036	\$100.00
119513009	\$100.00	119522011	\$100.00	119530038	\$100.00
119513010	\$100.00	119522012	\$100.00	119530039	\$100.00
119514001	\$100.00	119522013	\$100.00	119530040	\$100.00
119514002	\$100.00	119522014	\$100.00	119530041	\$100.00
119514003	\$100.00	119522015	\$100.00	119530042	\$100.00

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119530044	\$100.00	119540035	\$100.00	119550022	\$100.00
119530047	\$100.00	119540037	\$100.00	119550023	\$100.00
119530048	\$100.00	119540038	\$100.00	119550024	\$100.00
119530049	\$100.00	119540039	\$100.00	119550025	\$100.00
119530052	\$100.00	119540040	\$100.00	119550026	\$100.00
119530053	\$100.00	119540041	\$100.00	119550027	\$100.00
119540001	\$100.00	119540042	\$100.00	119550028	\$100.00
119540002	\$100.00	119540043	\$100.00	119550029	\$100.00
119540003	\$100.00	119540044	\$100.00	119550030	\$100.00
119540004	\$100.00	119540045	\$100.00	119550031	\$100.00
119540006	\$100.00	119540046	\$100.00	119550032	\$100.00
119540007	\$100.00	119540047	\$100.00	119550033	\$100.00
119540008	\$100.00	119540048	\$100.00	119550034	\$100.00
119540009	\$100.00	119540049	\$100.00	119550035	\$100.00
119540010	\$100.00	119540050	\$100.00	119550036	\$100.00
119540011	\$100.00	119540051	\$100.00	119550037	\$100.00
119540012	\$100.00	119540052	\$100.00	119550039	\$100.00
119540013	\$100.00	119540053	\$100.00	119550040	\$100.00
119540014	\$100.00	119540054	\$100.00	119550041	\$100.00
119540015	\$100.00	119540055	\$100.00	119550042	\$100.00
119540016	\$100.00	119540056	\$100.00	119550043	\$100.00
119540017	\$100.00	119540057	\$100.00	119550044	\$100.00
119540018	\$100.00	119550001	\$100.00	119550045	\$100.00
119540019	\$100.00	119550002	\$100.00	119550046	\$100.00
119540020	\$100.00	119550003	\$100.00	119550047	\$100.00
119540021	\$100.00	119550004	\$100.00	119550048	\$100.00
119540022	\$100.00	119550005	\$100.00	119550049	\$100.00
119540023	\$100.00	119550006	\$100.00	119550050	\$100.00
119540024	\$100.00	119550007	\$100.00	119550051	\$100.00
119540026	\$100.00	119550008	\$100.00	119550052	\$100.00
119540027	\$100.00	119550009	\$100.00	119550053	\$100.00
119540028	\$100.00	119550015	\$100.00	119550054	\$100.00
119540029	\$100.00	119550016	\$100.00	119550055	\$100.00
119540030	\$100.00	119550017	\$100.00	119550056	\$100.00
119540031	\$100.00	119550018	\$100.00	119550062	\$100.00
119540032	\$100.00	119550019	\$100.00	119550063	\$100.00
119540033	\$100.00	119550020	\$100.00	119550064	\$100.00
119540034	\$100.00	119550021	\$100.00		
<b>Totals</b>		<b>Parcels 371</b>		<b>Levy \$35,596.72</b>	

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108042008	\$126.00	108080042	\$126.00	108090024	\$126.00
108042009	\$126.00	108080043	\$126.00	108090025	\$126.00
108042010	\$126.00	108080044	\$126.00	108090026	\$126.00
108042011	\$126.00	108080045	\$126.00	108090029	\$126.00
108080001	\$126.00	108080046	\$126.00	108090030	\$126.00
108080002	\$126.00	108080047	\$126.00	108090031	\$126.00
108080003	\$126.00	108080049	\$126.00	108090032	\$126.00
108080004	\$126.00	108080050	\$126.00	108090033	\$126.00
108080005	\$126.00	108080051	\$126.00	108090034	\$126.00
108080006	\$126.00	108080052	\$126.00	108090035	\$126.00
108080007	\$126.00	108080053	\$126.00	108090036	\$126.00
108080008	\$126.00	108080054	\$126.00	108090037	\$126.00
108080009	\$126.00	108080055	\$126.00	108090038	\$126.00
108080010	\$126.00	108080057	\$126.00	108090039	\$126.00
108080011	\$126.00	108080058	\$126.00	108090040	\$126.00
108080012	\$126.00	108080059	\$126.00	108090041	\$126.00
108080013	\$126.00	108080060	\$126.00	108090052	\$126.00
108080014	\$126.00	108080061	\$126.00	108090053	\$126.00
108080015	\$126.00	108080062	\$126.00	108090054	\$126.00
108080016	\$126.00	108080063	\$126.00	108090055	\$126.00
108080018	\$126.00	108090001	\$126.00	108090056	\$126.00
108080019	\$126.00	108090002	\$126.00	108090057	\$126.00
108080020	\$126.00	108090003	\$126.00	108090058	\$126.00
108080021	\$126.00	108090004	\$126.00	108090059	\$126.00
108080022	\$126.00	108090005	\$126.00	108090060	\$126.00
108080023	\$126.00	108090006	\$126.00	108090061	\$126.00
108080024	\$126.00	108090007	\$126.00	108090062	\$126.00
108080025	\$126.00	108090008	\$126.00	108090063	\$126.00
108080026	\$126.00	108090009	\$126.00	108090064	\$126.00
108080027	\$126.00	108090010	\$126.00	108090065	\$126.00
108080028	\$126.00	108090011	\$126.00	108090066	\$126.00
108080029	\$126.00	108090012	\$126.00	108090067	\$126.00
108080030	\$126.00	108090013	\$126.00	108090068	\$126.00
108080031	\$126.00	108090014	\$126.00	108090069	\$126.00
108080032	\$126.00	108090015	\$126.00	108090070	\$126.00
108080033	\$126.00	108090016	\$126.00	108090071	\$126.00
108080035	\$126.00	108090017	\$126.00	108090072	\$126.00
108080036	\$126.00	108090018	\$126.00	108090073	\$126.00
108080037	\$126.00	108090019	\$126.00	108100001	\$126.00
108080038	\$126.00	108090020	\$126.00	108100002	\$126.00
108080039	\$126.00	108090021	\$126.00	108100003	\$126.00
108080040	\$126.00	108090022	\$126.00	108100004	\$126.00
108080041	\$126.00	108090023	\$126.00	108100005	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108100006	\$126.00	108100054	\$126.00	108110039	\$126.00
108100007	\$126.00	108100055	\$126.00	108110040	\$126.00
108100009	\$126.00	108100056	\$126.00	108110041	\$126.00
108100010	\$126.00	108100057	\$126.00	108110042	\$126.00
108100011	\$126.00	108100058	\$126.00	108110043	\$126.00
108100012	\$126.00	108110001	\$126.00	108110044	\$126.00
108100013	\$126.00	108110002	\$126.00	108110045	\$126.00
108100014	\$126.00	108110003	\$126.00	108110046	\$126.00
108100016	\$126.00	108110004	\$126.00	108110047	\$126.00
108100017	\$126.00	108110005	\$126.00	108110048	\$126.00
108100018	\$126.00	108110006	\$126.00	108110049	\$126.00
108100019	\$126.00	108110007	\$126.00	108110050	\$126.00
108100020	\$126.00	108110008	\$126.00	108110051	\$126.00
108100021	\$126.00	108110009	\$126.00	108110052	\$126.00
108100022	\$126.00	108110010	\$126.00	108121001	\$126.00
108100023	\$126.00	108110011	\$126.00	108121002	\$126.00
108100024	\$126.00	108110012	\$126.00	108121003	\$126.00
108100025	\$126.00	108110013	\$126.00	108121004	\$126.00
108100026	\$126.00	108110014	\$126.00	108121005	\$126.00
108100027	\$126.00	108110015	\$126.00	108121006	\$126.00
108100028	\$126.00	108110016	\$126.00	108121007	\$126.00
108100029	\$126.00	108110017	\$126.00	108121008	\$126.00
108100030	\$126.00	108110018	\$126.00	108121009	\$126.00
108100031	\$126.00	108110019	\$126.00	108121010	\$126.00
108100032	\$126.00	108110020	\$126.00	108121011	\$126.00
108100034	\$126.00	108110021	\$126.00	108121012	\$126.00
108100035	\$126.00	108110022	\$126.00	108121013	\$126.00
108100036	\$126.00	108110023	\$126.00	108121014	\$126.00
108100037	\$126.00	108110024	\$126.00	108121015	\$126.00
108100038	\$126.00	108110025	\$126.00	108121016	\$126.00
108100039	\$126.00	108110026	\$126.00	108121017	\$126.00
108100040	\$126.00	108110027	\$126.00	108121018	\$126.00
108100041	\$126.00	108110028	\$126.00	108121019	\$126.00
108100042	\$126.00	108110029	\$126.00	108121020	\$126.00
108100043	\$126.00	108110030	\$126.00	108121021	\$126.00
108100044	\$126.00	108110031	\$126.00	108121022	\$126.00
108100047	\$126.00	108110032	\$126.00	108121023	\$126.00
108100048	\$126.00	108110033	\$126.00	108121024	\$126.00
108100049	\$126.00	108110034	\$126.00	108121025	\$126.00
108100050	\$126.00	108110035	\$126.00	108121026	\$126.00
108100051	\$126.00	108110036	\$126.00	108121027	\$126.00
108100052	\$126.00	108110037	\$126.00	108121028	\$126.00
108100053	\$126.00	108110038	\$126.00	108121029	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108121030	\$126.00	108141020	\$126.00	108153014	\$126.00
108121031	\$126.00	108141021	\$126.00	108153015	\$126.00
108121032	\$126.00	108142001	\$126.00	108153016	\$126.00
108121033	\$126.00	108142002	\$126.00	108153017	\$126.00
108121034	\$126.00	108142003	\$126.00	108153018	\$126.00
108121035	\$126.00	108143001	\$126.00	108153019	\$126.00
108121036	\$126.00	108143002	\$126.00	108153020	\$126.00
108121037	\$126.00	108143003	\$126.00	108153021	\$126.00
108121038	\$126.00	108143004	\$126.00	108153022	\$126.00
108121039	\$126.00	108143005	\$126.00	108153023	\$126.00
108121040	\$126.00	108143006	\$126.00	108153024	\$126.00
108121041	\$126.00	108143007	\$126.00	108153025	\$126.00
108121042	\$126.00	108143008	\$126.00	108161001	\$126.00
108122001	\$126.00	108143009	\$126.00	108161002	\$126.00
108122002	\$126.00	108143010	\$126.00	108161003	\$126.00
108122003	\$126.00	108143011	\$126.00	108161004	\$126.00
108122004	\$126.00	108143012	\$126.00	108161005	\$126.00
108122005	\$126.00	108143013	\$126.00	108161006	\$126.00
108122006	\$126.00	108143014	\$126.00	108161007	\$126.00
108122007	\$126.00	108151001	\$126.00	108161008	\$126.00
108122008	\$126.00	108151002	\$126.00	108161009	\$126.00
108122009	\$126.00	108151003	\$126.00	108161010	\$126.00
108122010	\$126.00	108151004	\$126.00	108161011	\$126.00
108122011	\$126.00	108151005	\$126.00	108161012	\$126.00
108141001	\$126.00	108151006	\$126.00	108161013	\$126.00
108141002	\$126.00	108151007	\$126.00	108161014	\$126.00
108141003	\$126.00	108151008	\$126.00	108161015	\$126.00
108141004	\$126.00	108152001	\$126.00	108161016	\$126.00
108141005	\$126.00	108152002	\$126.00	108161017	\$126.00
108141006	\$126.00	108152003	\$126.00	108162001	\$126.00
108141007	\$126.00	108153001	\$126.00	108162002	\$126.00
108141008	\$126.00	108153002	\$126.00	108162003	\$126.00
108141009	\$126.00	108153003	\$126.00	108162004	\$126.00
108141010	\$126.00	108153004	\$126.00	108162005	\$126.00
108141011	\$126.00	108153005	\$126.00	108162006	\$126.00
108141012	\$126.00	108153006	\$126.00	108162007	\$126.00
108141013	\$126.00	108153007	\$126.00	108162008	\$126.00
108141014	\$126.00	108153008	\$126.00	108163001	\$126.00
108141015	\$126.00	108153009	\$126.00	108163002	\$126.00
108141016	\$126.00	108153010	\$126.00	108163003	\$126.00
108141017	\$126.00	108153011	\$126.00	108163004	\$126.00
108141018	\$126.00	108153012	\$126.00	108163005	\$126.00
108141019	\$126.00	108153013	\$126.00	108163006	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108164001	\$126.00	108172018	\$126.00	108182019	\$126.00
108164002	\$126.00	108172019	\$126.00	108182020	\$126.00
108164003	\$126.00	108172020	\$126.00	108182021	\$126.00
108164004	\$126.00	108172021	\$126.00	108182022	\$126.00
108164005	\$126.00	108172022	\$126.00	108182023	\$126.00
108164006	\$126.00	108172023	\$126.00	108182024	\$126.00
108164007	\$126.00	108172024	\$126.00	108182025	\$126.00
108164008	\$126.00	108172025	\$126.00	108182026	\$126.00
108164009	\$126.00	108172026	\$126.00	108182027	\$126.00
108164010	\$126.00	108181001	\$126.00	108191001	\$126.00
108164011	\$126.00	108181002	\$126.00	108191002	\$126.00
108164012	\$126.00	108181003	\$126.00	108191003	\$126.00
108164013	\$126.00	108181004	\$126.00	108191004	\$126.00
108164014	\$126.00	108181005	\$126.00	108191005	\$126.00
108164015	\$126.00	108181006	\$126.00	108191006	\$126.00
108164016	\$126.00	108181007	\$126.00	108191007	\$126.00
108164017	\$126.00	108181008	\$126.00	108191008	\$126.00
108164018	\$126.00	108181009	\$126.00	108191009	\$126.00
108171001	\$126.00	108181010	\$126.00	108191010	\$126.00
108171002	\$126.00	108181011	\$126.00	108191011	\$126.00
108171003	\$126.00	108181012	\$126.00	108191012	\$126.00
108171004	\$126.00	108181013	\$126.00	108191013	\$126.00
108171005	\$126.00	108181014	\$126.00	108191014	\$126.00
108171006	\$126.00	108181015	\$126.00	108191015	\$126.00
108171007	\$126.00	108181016	\$126.00	108191016	\$126.00
108171008	\$126.00	108182001	\$126.00	108191017	\$126.00
108172001	\$126.00	108182002	\$126.00	108191018	\$126.00
108172002	\$126.00	108182003	\$126.00	108191019	\$126.00
108172003	\$126.00	108182004	\$126.00	108191020	\$126.00
108172004	\$126.00	108182005	\$126.00	108191021	\$126.00
108172005	\$126.00	108182006	\$126.00	108191022	\$126.00
108172006	\$126.00	108182007	\$126.00	108191023	\$126.00
108172007	\$126.00	108182008	\$126.00	108192001	\$126.00
108172008	\$126.00	108182009	\$126.00	108192002	\$126.00
108172009	\$126.00	108182010	\$126.00	108192003	\$126.00
108172010	\$126.00	108182011	\$126.00	108192004	\$126.00
108172011	\$126.00	108182012	\$126.00	108192005	\$126.00
108172012	\$126.00	108182013	\$126.00	108192006	\$126.00
108172013	\$126.00	108182014	\$126.00	108192007	\$126.00
108172014	\$126.00	108182015	\$126.00	108192008	\$126.00
108172015	\$126.00	108182016	\$126.00	108192009	\$126.00
108172016	\$126.00	108182017	\$126.00	108192010	\$126.00
108172017	\$126.00	108182018	\$126.00	108192011	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108192012	\$126.00	108211001	\$126.00	108221013	\$126.00
108192013	\$126.00	108211002	\$126.00	108222001	\$126.00
108201001	\$126.00	108211003	\$126.00	108222002	\$126.00
108201002	\$126.00	108211004	\$126.00	108222003	\$126.00
108201003	\$126.00	108211005	\$126.00	108222004	\$126.00
108201004	\$126.00	108211006	\$126.00	108222005	\$126.00
108201005	\$126.00	108211007	\$126.00	108222006	\$126.00
108201006	\$126.00	108211008	\$126.00	108222007	\$126.00
108201007	\$126.00	108211009	\$126.00	108222008	\$126.00
108201008	\$126.00	108211010	\$126.00	108222009	\$126.00
108201009	\$126.00	108211011	\$126.00	108222010	\$126.00
108201010	\$126.00	108212001	\$126.00	108222011	\$126.00
108201011	\$126.00	108212002	\$126.00	108222012	\$126.00
108201012	\$126.00	108212003	\$126.00	108222013	\$126.00
108201013	\$126.00	108212004	\$126.00	108222014	\$126.00
108201014	\$126.00	108212005	\$126.00	108222015	\$126.00
108201015	\$126.00	108212006	\$126.00	108222016	\$126.00
108202002	\$126.00	108212007	\$126.00	108222017	\$126.00
108202003	\$126.00	108212008	\$126.00	108222018	\$126.00
108202004	\$126.00	108212009	\$126.00	108222019	\$126.00
108202005	\$126.00	108212010	\$126.00	108222020	\$126.00
108202006	\$126.00	108212011	\$126.00	108222021	\$126.00
108202007	\$126.00	108212012	\$126.00	108222022	\$126.00
108202008	\$126.00	108212013	\$126.00	108222023	\$126.00
108202009	\$126.00	108212014	\$126.00	108231001	\$126.00
108202010	\$126.00	108212015	\$126.00	108231002	\$126.00
108202011	\$126.00	108212016	\$126.00	108231003	\$126.00
108202012	\$126.00	108212017	\$126.00	108231004	\$126.00
108202013	\$126.00	108212018	\$126.00	108231005	\$126.00
108202014	\$126.00	108212019	\$126.00	108231006	\$126.00
108202015	\$126.00	108212020	\$126.00	108231007	\$126.00
108202016	\$126.00	108221001	\$126.00	108231008	\$126.00
108202017	\$126.00	108221002	\$126.00	108231009	\$126.00
108202018	\$126.00	108221003	\$126.00	108231010	\$126.00
108202019	\$126.00	108221004	\$126.00	108231011	\$126.00
108202020	\$126.00	108221005	\$126.00	108231012	\$126.00
108202021	\$126.00	108221006	\$126.00	108231013	\$126.00
108202022	\$126.00	108221007	\$126.00	108231014	\$126.00
108202023	\$126.00	108221008	\$126.00	108231015	\$126.00
108202024	\$126.00	108221009	\$126.00	108231016	\$126.00
108202025	\$126.00	108221010	\$126.00	108231017	\$126.00
108202026	\$126.00	108221011	\$126.00	108231018	\$126.00
108202027	\$126.00	108221012	\$126.00	108231019	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108232001	\$126.00	108260019	\$126.00	108261017	\$126.00
108232002	\$126.00	108260020	\$126.00	108261018	\$126.00
108232003	\$126.00	108260021	\$126.00	108261019	\$126.00
108232004	\$126.00	108260022	\$126.00	108261020	\$126.00
108232005	\$126.00	108260023	\$126.00	108261021	\$126.00
108232006	\$126.00	108260024	\$126.00	108261022	\$126.00
108232007	\$126.00	108260025	\$126.00	108261023	\$126.00
108232008	\$126.00	108260026	\$126.00	108261024	\$126.00
108232009	\$126.00	108260027	\$126.00	108261025	\$126.00
108232010	\$126.00	108260028	\$126.00	108261026	\$126.00
108232011	\$126.00	108260029	\$126.00	108261027	\$126.00
108232012	\$126.00	108260030	\$126.00	108261029	\$126.00
108232013	\$126.00	108260031	\$126.00	108261030	\$126.00
108232014	\$126.00	108260032	\$126.00	108261031	\$126.00
108232015	\$126.00	108260033	\$126.00	108261032	\$126.00
108232016	\$126.00	108260034	\$126.00	108261033	\$126.00
108232017	\$126.00	108260035	\$126.00	108261034	\$126.00
108232018	\$126.00	108260036	\$126.00	108261035	\$126.00
108232019	\$126.00	108260037	\$126.00	108261036	\$126.00
108232020	\$126.00	108260038	\$126.00	108261037	\$126.00
108233001	\$126.00	108260039	\$126.00	108261039	\$126.00
108233002	\$126.00	108260040	\$126.00	108261040	\$126.00
108233003	\$126.00	108260041	\$126.00	108261041	\$126.00
108233004	\$126.00	108260042	\$126.00	108261042	\$126.00
108233005	\$126.00	108260043	\$126.00	108261043	\$126.00
108233006	\$126.00	108260044	\$126.00	108291001	\$126.00
108233007	\$126.00	108260045	\$126.00	108291002	\$126.00
108234001	\$126.00	108260046	\$126.00	108291003	\$126.00
108234002	\$126.00	108261001	\$126.00	108291004	\$126.00
108234003	\$126.00	108261002	\$126.00	108291005	\$126.00
108234004	\$126.00	108261003	\$126.00	108291006	\$126.00
108234005	\$126.00	108261004	\$126.00	108291007	\$126.00
108234006	\$126.00	108261005	\$126.00	108291008	\$126.00
108234007	\$126.00	108261006	\$126.00	108291009	\$126.00
108234008	\$126.00	108261007	\$126.00	108291010	\$126.00
108234009	\$126.00	108261008	\$126.00	108291011	\$126.00
108234010	\$126.00	108261009	\$126.00	108291012	\$126.00
108260013	\$126.00	108261010	\$126.00	108291013	\$126.00
108260014	\$126.00	108261011	\$126.00	108291014	\$126.00
108260015	\$126.00	108261012	\$126.00	108291015	\$126.00
108260016	\$126.00	108261013	\$126.00	108291016	\$126.00
108260017	\$126.00	108261014	\$126.00	108291017	\$126.00
108260018	\$126.00	108261015	\$126.00	108291018	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108291019	\$126.00	108300013	\$126.00	108311016	\$126.00
108291020	\$126.00	108300014	\$126.00	108311017	\$126.00
108291021	\$126.00	108300015	\$126.00	108311018	\$126.00
108291022	\$126.00	108300016	\$126.00	108312001	\$126.00
108291023	\$126.00	108300017	\$126.00	108312002	\$126.00
108291024	\$126.00	108300018	\$126.00	108312003	\$126.00
108291025	\$126.00	108300019	\$126.00	108312004	\$126.00
108291026	\$126.00	108300020	\$126.00	108312005	\$126.00
108291027	\$126.00	108300021	\$126.00	108312006	\$126.00
108292001	\$126.00	108300022	\$126.00	108312007	\$126.00
108292002	\$126.00	108300023	\$126.00	108312008	\$126.00
108292003	\$126.00	108300024	\$126.00	108312009	\$126.00
108292004	\$126.00	108300025	\$126.00	108312010	\$126.00
108292005	\$126.00	108300026	\$126.00	108312011	\$126.00
108292006	\$126.00	108300027	\$126.00	108312012	\$126.00
108292007	\$126.00	108300028	\$126.00	108312013	\$126.00
108292008	\$126.00	108300029	\$126.00	108312014	\$126.00
108292009	\$126.00	108300030	\$126.00	108312015	\$126.00
108292010	\$126.00	108300031	\$126.00	108312016	\$126.00
108292011	\$126.00	108300032	\$126.00	108312017	\$126.00
108292012	\$126.00	108300033	\$126.00	108312018	\$126.00
108292013	\$126.00	108300034	\$126.00	108341002	\$126.00
108292014	\$126.00	108300035	\$126.00	108341006	\$126.00
108292015	\$126.00	108300036	\$126.00	108341007	\$126.00
108292016	\$126.00	108300037	\$126.00	108341008	\$126.00
108292017	\$126.00	108300038	\$126.00	108341009	\$126.00
108292018	\$126.00	108300039	\$126.00	108341010	\$126.00
108292019	\$126.00	108300040	\$126.00	108341011	\$126.00
108292020	\$126.00	108311001	\$126.00	108341012	\$126.00
108292021	\$126.00	108311002	\$126.00	108341013	\$126.00
108292022	\$126.00	108311003	\$126.00	108341014	\$126.00
108300001	\$126.00	108311004	\$126.00	108341015	\$126.00
108300002	\$126.00	108311005	\$126.00	108341016	\$126.00
108300003	\$126.00	108311006	\$126.00	108341017	\$126.00
108300004	\$126.00	108311007	\$126.00	108341018	\$126.00
108300005	\$126.00	108311008	\$126.00	108341019	\$126.00
108300006	\$126.00	108311009	\$126.00	108341020	\$126.00
108300007	\$126.00	108311010	\$126.00	108341021	\$126.00
108300008	\$126.00	108311011	\$126.00	108341025	\$126.00
108300009	\$126.00	108311012	\$126.00	108341027	\$126.00
108300010	\$126.00	108311013	\$126.00	108342001	\$126.00
108300011	\$126.00	108311014	\$126.00	108342002	\$126.00
108300012	\$126.00	108311015	\$126.00	108342003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108342004	\$126.00	108351016	\$126.00	108361001	\$126.00
108342005	\$126.00	108351017	\$126.00	108361002	\$126.00
108342006	\$126.00	108351018	\$126.00	108361003	\$126.00
108342007	\$126.00	108352001	\$126.00	108361004	\$126.00
108342008	\$126.00	108352002	\$126.00	108361005	\$126.00
108342009	\$126.00	108352003	\$126.00	108361006	\$126.00
108342010	\$126.00	108352004	\$126.00	108361007	\$126.00
108342012	\$126.00	108352005	\$126.00	108361008	\$126.00
108342013	\$126.00	108352006	\$126.00	108361009	\$126.00
108342014	\$126.00	108352007	\$126.00	108361010	\$126.00
108342015	\$126.00	108352008	\$126.00	108361011	\$126.00
108342016	\$126.00	108352009	\$126.00	108361012	\$126.00
108342017	\$126.00	108352010	\$126.00	108361013	\$126.00
108342018	\$126.00	108353001	\$126.00	108361014	\$126.00
108342019	\$126.00	108353002	\$126.00	108361015	\$126.00
108342020	\$126.00	108353003	\$126.00	108362001	\$126.00
108342021	\$126.00	108353004	\$126.00	108362002	\$126.00
108342022	\$126.00	108353005	\$126.00	108362003	\$126.00
108342023	\$126.00	108353006	\$126.00	108362004	\$126.00
108342024	\$126.00	108353007	\$126.00	108362005	\$126.00
108342025	\$126.00	108353008	\$126.00	108362006	\$126.00
108342028	\$126.00	108353009	\$126.00	108362007	\$126.00
108342029	\$126.00	108353010	\$126.00	108362008	\$126.00
108342030	\$126.00	108353011	\$126.00	108362009	\$126.00
108342031	\$126.00	108353012	\$126.00	108362010	\$126.00
108342032	\$126.00	108353013	\$126.00	108362011	\$126.00
108342033	\$126.00	108353014	\$126.00	108362012	\$126.00
108342034	\$126.00	108353015	\$126.00	108362013	\$126.00
108351001	\$126.00	108353016	\$126.00	108362014	\$126.00
108351002	\$126.00	108353017	\$126.00	108363001	\$126.00
108351003	\$126.00	108353018	\$126.00	108363002	\$126.00
108351004	\$126.00	108353019	\$126.00	108363003	\$126.00
108351005	\$126.00	108353020	\$126.00	108363004	\$126.00
108351006	\$126.00	108353021	\$126.00	108363005	\$126.00
108351007	\$126.00	108353022	\$126.00	108363006	\$126.00
108351008	\$126.00	108353023	\$126.00	108363007	\$126.00
108351009	\$126.00	108353024	\$126.00	108363008	\$126.00
108351010	\$126.00	108353025	\$126.00	108363009	\$126.00
108351011	\$126.00	108353026	\$126.00	108363010	\$126.00
108351012	\$126.00	108353027	\$126.00	108363011	\$126.00
108351013	\$126.00	108353028	\$126.00	108363012	\$126.00
108351014	\$126.00	108353029	\$126.00	108363013	\$126.00
108351015	\$126.00	108353030	\$126.00	108363014	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108363015	\$126.00	108372028	\$126.00	108391005	\$126.00
108363016	\$126.00	108372029	\$126.00	108391006	\$126.00
108371001	\$126.00	108372030	\$126.00	108391007	\$126.00
108371002	\$126.00	108372031	\$126.00	108391008	\$126.00
108371003	\$126.00	108372032	\$126.00	108391009	\$126.00
108371004	\$126.00	108372033	\$126.00	108391010	\$126.00
108371005	\$126.00	108372034	\$126.00	108391011	\$126.00
108371006	\$126.00	108372035	\$126.00	108391012	\$126.00
108371007	\$126.00	108372036	\$126.00	108391013	\$126.00
108371008	\$126.00	108372037	\$126.00	108391014	\$126.00
108371009	\$126.00	108372038	\$126.00	108392001	\$126.00
108371010	\$126.00	108372039	\$126.00	108392002	\$126.00
108371011	\$126.00	108372040	\$126.00	108392003	\$126.00
108371012	\$126.00	108372041	\$126.00	108392004	\$126.00
108371013	\$126.00	108381001	\$126.00	108392005	\$126.00
108371014	\$126.00	108381002	\$126.00	108392006	\$126.00
108372001	\$126.00	108381003	\$126.00	108392007	\$126.00
108372002	\$126.00	108381004	\$126.00	108392008	\$126.00
108372003	\$126.00	108382001	\$126.00	108392009	\$126.00
108372004	\$126.00	108382002	\$126.00	108392010	\$126.00
108372005	\$126.00	108382003	\$126.00	108392011	\$126.00
108372006	\$126.00	108382004	\$126.00	108401001	\$126.00
108372007	\$126.00	108382005	\$126.00	108401002	\$126.00
108372008	\$126.00	108383001	\$126.00	108401003	\$126.00
108372009	\$126.00	108383002	\$126.00	108401004	\$126.00
108372010	\$126.00	108383003	\$126.00	108401005	\$126.00
108372011	\$126.00	108383004	\$126.00	108401006	\$126.00
108372012	\$126.00	108383005	\$126.00	108401007	\$126.00
108372013	\$126.00	108383006	\$126.00	108401008	\$126.00
108372014	\$126.00	108384001	\$126.00	108401009	\$126.00
108372015	\$126.00	108384002	\$126.00	108401010	\$126.00
108372016	\$126.00	108384003	\$126.00	108401011	\$126.00
108372017	\$126.00	108384004	\$126.00	108401012	\$126.00
108372018	\$126.00	108384005	\$126.00	108401013	\$126.00
108372019	\$126.00	108384006	\$126.00	108401014	\$126.00
108372020	\$126.00	108384007	\$126.00	108401015	\$126.00
108372021	\$126.00	108384008	\$126.00	108401017	\$126.00
108372022	\$126.00	108384009	\$126.00	108401018	\$126.00
108372023	\$126.00	108384010	\$126.00	108401019	\$126.00
108372024	\$126.00	108391001	\$126.00	108401020	\$126.00
108372025	\$126.00	108391002	\$126.00	108401021	\$126.00
108372026	\$126.00	108391003	\$126.00	108401022	\$126.00
108372027	\$126.00	108391004	\$126.00	108401023	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108401024	\$126.00	108401070	\$126.00	108411025	\$126.00
108401025	\$126.00	108401071	\$126.00	108411026	\$126.00
108401026	\$126.00	108401072	\$126.00	108411027	\$126.00
108401027	\$126.00	108401073	\$126.00	108411028	\$126.00
108401028	\$126.00	108401074	\$126.00	108411029	\$126.00
108401029	\$126.00	108401075	\$126.00	108411030	\$126.00
108401030	\$126.00	108401076	\$126.00	108411031	\$126.00
108401032	\$126.00	108401077	\$126.00	108411032	\$126.00
108401033	\$126.00	108401078	\$126.00	108411033	\$126.00
108401034	\$126.00	108410001	\$126.00	108411034	\$126.00
108401035	\$126.00	108410002	\$126.00	108411035	\$126.00
108401036	\$126.00	108410003	\$126.00	108411036	\$126.00
108401037	\$126.00	108410004	\$126.00	108411038	\$126.00
108401038	\$126.00	108410005	\$126.00	108411039	\$126.00
108401039	\$126.00	108410006	\$126.00	108411040	\$126.00
108401040	\$126.00	108410007	\$126.00	108411041	\$126.00
108401041	\$126.00	108410008	\$126.00	108411042	\$126.00
108401042	\$126.00	108410009	\$126.00	108411043	\$126.00
108401043	\$126.00	108410010	\$126.00	108411044	\$126.00
108401044	\$126.00	108410011	\$126.00	108411045	\$126.00
108401045	\$126.00	108411001	\$126.00	108411046	\$126.00
108401046	\$126.00	108411002	\$126.00	108411048	\$126.00
108401048	\$126.00	108411003	\$126.00	108411049	\$126.00
108401049	\$126.00	108411004	\$126.00	108411050	\$126.00
108401050	\$126.00	108411005	\$126.00	108411051	\$126.00
108401051	\$126.00	108411006	\$126.00	108421001	\$126.00
108401052	\$126.00	108411007	\$126.00	108421002	\$126.00
108401053	\$126.00	108411008	\$126.00	108421003	\$126.00
108401054	\$126.00	108411009	\$126.00	108421004	\$126.00
108401055	\$126.00	108411010	\$126.00	108421005	\$126.00
108401056	\$126.00	108411011	\$126.00	108421006	\$126.00
108401057	\$126.00	108411012	\$126.00	108421007	\$126.00
108401058	\$126.00	108411013	\$126.00	108421008	\$126.00
108401059	\$126.00	108411014	\$126.00	108421009	\$126.00
108401060	\$126.00	108411015	\$126.00	108421010	\$126.00
108401061	\$126.00	108411016	\$126.00	108421011	\$126.00
108401062	\$126.00	108411017	\$126.00	108421012	\$126.00
108401064	\$126.00	108411019	\$126.00	108421013	\$126.00
108401065	\$126.00	108411020	\$126.00	108421014	\$126.00
108401066	\$126.00	108411021	\$126.00	108421015	\$126.00
108401067	\$126.00	108411022	\$126.00	108421016	\$126.00
108401068	\$126.00	108411023	\$126.00	108421017	\$126.00
108401069	\$126.00	108411024	\$126.00	108421018	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108421019	\$126.00	108441024	\$126.00	108461035	\$126.00
108421020	\$126.00	108441025	\$126.00	108461037	\$126.00
108421021	\$126.00	108441026	\$126.00	108461038	\$126.00
108421023	\$126.00	108441027	\$126.00	108461039	\$126.00
108421024	\$126.00	108441028	\$126.00	108461040	\$126.00
108421025	\$126.00	108441029	\$126.00	108461041	\$126.00
108421026	\$126.00	108441030	\$126.00	108461042	\$126.00
108421027	\$126.00	108441031	\$126.00	108461043	\$126.00
108421028	\$126.00	108441032	\$126.00	108461044	\$126.00
108421029	\$126.00	108441033	\$126.00	108461045	\$126.00
108421030	\$126.00	108461001	\$126.00	108461046	\$126.00
108421031	\$126.00	108461002	\$126.00	108461047	\$126.00
108421032	\$126.00	108461003	\$126.00	108461048	\$126.00
108421033	\$126.00	108461004	\$126.00	108461049	\$126.00
108421034	\$126.00	108461005	\$126.00	108461050	\$126.00
108421035	\$126.00	108461006	\$126.00	108461051	\$126.00
108421036	\$126.00	108461007	\$126.00	108461052	\$126.00
108421037	\$126.00	108461008	\$126.00	108461053	\$126.00
108421038	\$126.00	108461009	\$126.00	108461054	\$126.00
108421039	\$126.00	108461010	\$126.00	108461056	\$126.00
108421040	\$126.00	108461011	\$126.00	108461057	\$126.00
108441001	\$126.00	108461012	\$126.00	108461058	\$126.00
108441002	\$126.00	108461013	\$126.00	108461059	\$126.00
108441003	\$126.00	108461014	\$126.00	108461060	\$126.00
108441004	\$126.00	108461015	\$126.00	108461061	\$126.00
108441005	\$126.00	108461016	\$126.00	108461062	\$126.00
108441006	\$126.00	108461017	\$126.00	108461063	\$126.00
108441007	\$126.00	108461018	\$126.00	108461064	\$126.00
108441008	\$126.00	108461019	\$126.00	108461065	\$126.00
108441009	\$126.00	108461021	\$126.00	108461066	\$126.00
108441010	\$126.00	108461022	\$126.00	108461067	\$126.00
108441011	\$126.00	108461023	\$126.00	108461068	\$126.00
108441012	\$126.00	108461024	\$126.00	108461069	\$126.00
108441013	\$126.00	108461025	\$126.00	108461070	\$126.00
108441014	\$126.00	108461026	\$126.00	108462001	\$126.00
108441015	\$126.00	108461027	\$126.00	108462002	\$126.00
108441017	\$126.00	108461028	\$126.00	108462003	\$126.00
108441018	\$126.00	108461029	\$126.00	108462004	\$126.00
108441019	\$126.00	108461030	\$126.00	108462005	\$126.00
108441020	\$126.00	108461031	\$126.00	108462006	\$126.00
108441021	\$126.00	108461032	\$126.00	108462007	\$126.00
108441022	\$126.00	108461033	\$126.00	108462008	\$126.00
108441023	\$126.00	108461034	\$126.00	108462009	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108462010	\$126.00	108504010	\$126.00	112303004	\$126.00
108462011	\$126.00	108504011	\$126.00	112303005	\$126.00
108462012	\$126.00	108504012	\$126.00	112303006	\$126.00
108462013	\$126.00	112301001	\$126.00	112303007	\$126.00
108462014	\$126.00	112301002	\$126.00	112303008	\$126.00
108462016	\$126.00	112301003	\$126.00	112303009	\$126.00
108462017	\$126.00	112301004	\$126.00	112303010	\$126.00
108462018	\$126.00	112301005	\$126.00	112303012	\$126.00
108462019	\$126.00	112301006	\$126.00	112303013	\$126.00
108462020	\$126.00	112301007	\$126.00	112303014	\$126.00
108462021	\$126.00	112301008	\$126.00	112303015	\$126.00
108462022	\$126.00	112301009	\$126.00	112303016	\$126.00
108462023	\$126.00	112301010	\$126.00	112303017	\$126.00
108462024	\$126.00	112301011	\$126.00	112303018	\$126.00
108462025	\$126.00	112301013	\$126.00	112303019	\$126.00
108462026	\$126.00	112301014	\$126.00	112303020	\$126.00
108462027	\$126.00	112301016	\$126.00	112303021	\$126.00
108462028	\$126.00	112301017	\$126.00	112303022	\$126.00
108462029	\$126.00	112301018	\$126.00	112303023	\$126.00
108462030	\$126.00	112301019	\$126.00	112303024	\$126.00
108462031	\$126.00	112301020	\$126.00	112303025	\$126.00
108462032	\$126.00	112301021	\$126.00	112303026	\$126.00
108501015	\$126.00	112301022	\$126.00	112341002	\$126.00
108501016	\$126.00	112301023	\$126.00	112341003	\$126.00
108501017	\$126.00	112301024	\$126.00	112341004	\$126.00
108501018	\$126.00	112301025	\$126.00	112341005	\$126.00
108501019	\$126.00	112301027	\$126.00	112341006	\$126.00
108501020	\$126.00	112301028	\$126.00	112341007	\$126.00
108501021	\$126.00	112301029	\$126.00	112341008	\$126.00
108501022	\$126.00	112301030	\$126.00	112341009	\$126.00
108501023	\$126.00	112301031	\$126.00	112341010	\$126.00
108501024	\$126.00	112302001	\$126.00	112341019	\$126.00
108501025	\$126.00	112302002	\$126.00	112341026	\$126.00
108501026	\$126.00	112302003	\$126.00	112342006	\$126.00
108504001	\$126.00	112302004	\$126.00	112342007	\$126.00
108504002	\$126.00	112302005	\$126.00	112342008	\$126.00
108504003	\$126.00	112302006	\$126.00	112342009	\$126.00
108504004	\$126.00	112302008	\$126.00	112342010	\$126.00
108504005	\$126.00	112302009	\$126.00	112342011	\$126.00
108504006	\$126.00	112302010	\$126.00	112342012	\$126.00
108504007	\$126.00	112303001	\$126.00	112342013	\$126.00
108504008	\$126.00	112303002	\$126.00	112342016	\$126.00
108504009	\$126.00	112303003	\$126.00	112342017	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112342018	\$126.00	112352016	\$126.00	112382013	\$126.00
112342019	\$126.00	112352017	\$126.00	112382014	\$126.00
112342020	\$126.00	112352018	\$126.00	112382015	\$126.00
112342021	\$126.00	112352019	\$126.00	112382016	\$126.00
112342028	\$126.00	112360002	\$126.00	112382017	\$126.00
112342034	\$126.00	112360003	\$126.00	112382018	\$126.00
112342035	\$126.00	112360004	\$126.00	112382019	\$126.00
112342038	\$126.00	112360006	\$126.00	112382020	\$126.00
112342039	\$126.00	112360007	\$126.00	112382026	\$126.00
112342040	\$126.00	112360008	\$126.00	112382027	\$126.00
112342041	\$126.00	112360009	\$126.00	112382028	\$126.00
112342042	\$126.00	112360010	\$126.00	112382029	\$126.00
112351002	\$126.00	112360011	\$126.00	112382030	\$126.00
112351003	\$126.00	112360020	\$126.00	112382031	\$126.00
112351004	\$126.00	112360028	\$126.00	112382032	\$126.00
112351005	\$126.00	112360031	\$126.00	112382033	\$126.00
112351006	\$126.00	112381001	\$126.00	113071001	\$126.00
112351007	\$126.00	112381002	\$126.00	113071002	\$126.00
112351009	\$126.00	112381003	\$126.00	113071003	\$126.00
112351010	\$126.00	112381004	\$126.00	113071004	\$126.00
112351011	\$126.00	112381005	\$126.00	113071005	\$126.00
112351012	\$126.00	112381006	\$126.00	113071006	\$126.00
112351013	\$126.00	112381007	\$126.00	113071007	\$126.00
112351014	\$126.00	112381008	\$126.00	113071008	\$126.00
112351015	\$126.00	112381009	\$126.00	113071009	\$126.00
112351016	\$126.00	112381010	\$126.00	113071010	\$126.00
112351018	\$126.00	112381011	\$126.00	113071011	\$126.00
112351019	\$126.00	112381012	\$126.00	113071012	\$126.00
112351020	\$126.00	112381013	\$126.00	113071013	\$126.00
112351021	\$126.00	112381014	\$126.00	113071014	\$126.00
112351022	\$126.00	112381015	\$126.00	113071015	\$126.00
112351023	\$126.00	112382001	\$126.00	113071016	\$126.00
112351030	\$126.00	112382002	\$126.00	113071017	\$126.00
112351036	\$126.00	112382003	\$126.00	113071018	\$126.00
112351037	\$126.00	112382004	\$126.00	113071019	\$126.00
112351038	\$126.00	112382005	\$126.00	113071020	\$126.00
112352006	\$126.00	112382006	\$126.00	113071021	\$126.00
112352007	\$126.00	112382007	\$126.00	113071022	\$126.00
112352008	\$126.00	112382008	\$126.00	113071023	\$126.00
112352009	\$126.00	112382009	\$126.00	113071024	\$126.00
112352010	\$126.00	112382010	\$126.00	113071025	\$126.00
112352011	\$126.00	112382011	\$126.00	113071026	\$126.00
112352015	\$126.00	112382012	\$126.00	113071027	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113071028	\$126.00	113072026	\$126.00	113080037	\$126.00
113071029	\$126.00	113072027	\$126.00	113080038	\$126.00
113071030	\$126.00	113072028	\$126.00	113091001	\$126.00
113071031	\$126.00	113072029	\$126.00	113091002	\$126.00
113071032	\$126.00	113072030	\$126.00	113091003	\$126.00
113071033	\$126.00	113072031	\$126.00	113091004	\$126.00
113071034	\$126.00	113072032	\$126.00	113091005	\$126.00
113071035	\$126.00	113080001	\$126.00	113091006	\$126.00
113071036	\$126.00	113080002	\$126.00	113091007	\$126.00
113071037	\$126.00	113080003	\$126.00	113091008	\$126.00
113071038	\$126.00	113080004	\$126.00	113091009	\$126.00
113071039	\$126.00	113080005	\$126.00	113091010	\$126.00
113071040	\$126.00	113080006	\$126.00	113091011	\$126.00
113071041	\$126.00	113080007	\$126.00	113091012	\$126.00
113071042	\$126.00	113080008	\$126.00	113091013	\$126.00
113071043	\$126.00	113080009	\$126.00	113091014	\$126.00
113071044	\$126.00	113080010	\$126.00	113091015	\$126.00
113071046	\$126.00	113080011	\$126.00	113091016	\$126.00
113072001	\$126.00	113080012	\$126.00	113091017	\$126.00
113072002	\$126.00	113080013	\$126.00	113091018	\$126.00
113072003	\$126.00	113080014	\$126.00	113091019	\$126.00
113072004	\$126.00	113080015	\$126.00	113091020	\$126.00
113072005	\$126.00	113080016	\$126.00	113091021	\$126.00
113072006	\$126.00	113080017	\$126.00	113091022	\$126.00
113072007	\$126.00	113080018	\$126.00	113091023	\$126.00
113072008	\$126.00	113080019	\$126.00	113091024	\$126.00
113072009	\$126.00	113080020	\$126.00	113091025	\$126.00
113072010	\$126.00	113080021	\$126.00	113091026	\$126.00
113072011	\$126.00	113080022	\$126.00	113091027	\$126.00
113072012	\$126.00	113080023	\$126.00	113092001	\$126.00
113072013	\$126.00	113080024	\$126.00	113092002	\$126.00
113072014	\$126.00	113080025	\$126.00	113092003	\$126.00
113072015	\$126.00	113080026	\$126.00	113092004	\$126.00
113072016	\$126.00	113080027	\$126.00	113092005	\$126.00
113072017	\$126.00	113080028	\$126.00	113092006	\$126.00
113072018	\$126.00	113080029	\$126.00	113092007	\$126.00
113072019	\$126.00	113080030	\$126.00	113092008	\$126.00
113072020	\$126.00	113080031	\$126.00	113093002	\$126.00
113072021	\$126.00	113080032	\$126.00	113093003	\$126.00
113072022	\$126.00	113080033	\$126.00	113093004	\$126.00
113072023	\$126.00	113080034	\$126.00	113093005	\$126.00
113072024	\$126.00	113080035	\$126.00	113093006	\$126.00
113072025	\$126.00	113080036	\$126.00	113093007	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113094001	\$126.00	113111014	\$126.00	113124004	\$126.00
113094002	\$126.00	113111015	\$126.00	113124005	\$126.00
113094003	\$126.00	113111016	\$126.00	113124006	\$126.00
113094004	\$126.00	113111017	\$126.00	113124007	\$126.00
113094005	\$126.00	113111018	\$126.00	113124008	\$126.00
113094006	\$126.00	113112001	\$126.00	113131001	\$126.00
113094007	\$126.00	113112002	\$126.00	113131002	\$126.00
113094008	\$126.00	113112003	\$126.00	113131003	\$126.00
113094009	\$126.00	113112004	\$126.00	113131004	\$126.00
113094010	\$126.00	113112005	\$126.00	113131005	\$126.00
113094011	\$126.00	113112006	\$126.00	113131006	\$126.00
113094012	\$126.00	113121001	\$126.00	113131007	\$126.00
113094013	\$126.00	113121002	\$126.00	113131008	\$126.00
113094014	\$126.00	113121003	\$126.00	113131009	\$126.00
113094015	\$126.00	113121004	\$126.00	113131010	\$126.00
113094016	\$126.00	113121005	\$126.00	113131011	\$126.00
113094017	\$126.00	113121006	\$126.00	113131012	\$126.00
113094018	\$126.00	113121007	\$126.00	113131013	\$126.00
113094019	\$126.00	113121010	\$126.00	113132001	\$126.00
113094020	\$126.00	113122001	\$126.00	113132002	\$126.00
113094021	\$126.00	113122002	\$126.00	113132003	\$126.00
113094022	\$126.00	113122003	\$126.00	113132004	\$126.00
113094023	\$126.00	113122004	\$126.00	113132005	\$126.00
113094024	\$126.00	113122005	\$126.00	113132006	\$126.00
113094025	\$126.00	113122006	\$126.00	113132007	\$126.00
113094026	\$126.00	113122007	\$126.00	113132008	\$126.00
113094027	\$126.00	113122008	\$126.00	113132009	\$126.00
113094028	\$126.00	113123001	\$126.00	113132010	\$126.00
113094029	\$126.00	113123002	\$126.00	113132011	\$126.00
113094030	\$126.00	113123003	\$126.00	113133001	\$126.00
113111001	\$126.00	113123004	\$126.00	113133002	\$126.00
113111002	\$126.00	113123005	\$126.00	113133003	\$126.00
113111003	\$126.00	113123006	\$126.00	113133004	\$126.00
113111004	\$126.00	113123007	\$126.00	113133005	\$126.00
113111005	\$126.00	113123010	\$126.00	113133011	\$126.00
113111006	\$126.00	113123011	\$126.00	113133013	\$126.00
113111007	\$126.00	113123012	\$126.00	113133014	\$126.00
113111008	\$126.00	113123013	\$126.00	113133015	\$126.00
113111009	\$126.00	113123014	\$126.00	113133016	\$126.00
113111010	\$126.00	113123015	\$126.00	113133017	\$126.00
113111011	\$126.00	113124001	\$126.00	113134001	\$126.00
113111012	\$126.00	113124002	\$126.00	113134002	\$126.00
113111013	\$126.00	113124003	\$126.00	113134003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113134004	\$126.00	113150039	\$126.00	113170003	\$126.00
113134005	\$126.00	113150041	\$126.00	113170004	\$126.00
113140015	\$126.00	113150042	\$126.00	113170005	\$126.00
113140016	\$126.00	113150043	\$126.00	113170006	\$126.00
113140017	\$126.00	113150044	\$126.00	113170007	\$126.00
113140018	\$126.00	113150045	\$126.00	113170008	\$126.00
113150001	\$126.00	113150046	\$126.00	113170009	\$126.00
113150002	\$126.00	113150047	\$126.00	113170010	\$126.00
113150003	\$126.00	113150048	\$126.00	113170011	\$126.00
113150004	\$126.00	113150049	\$126.00	113170012	\$126.00
113150005	\$126.00	113150050	\$126.00	113170013	\$126.00
113150006	\$126.00	113150051	\$126.00	113170014	\$126.00
113150007	\$126.00	113150052	\$126.00	113170015	\$126.00
113150008	\$126.00	113150054	\$126.00	113170016	\$126.00
113150009	\$126.00	113150055	\$126.00	113170017	\$126.00
113150010	\$126.00	113150056	\$126.00	113170018	\$126.00
113150011	\$126.00	113150057	\$126.00	113170019	\$126.00
113150012	\$126.00	113150058	\$126.00	113170020	\$126.00
113150013	\$126.00	113150059	\$126.00	113170021	\$126.00
113150014	\$126.00	113150060	\$126.00	113170022	\$126.00
113150015	\$126.00	113150061	\$126.00	113170023	\$126.00
113150016	\$126.00	113150062	\$126.00	113170024	\$126.00
113150017	\$126.00	113150063	\$126.00	113170025	\$126.00
113150018	\$126.00	113150064	\$126.00	113170027	\$126.00
113150019	\$126.00	113150065	\$126.00	113170028	\$126.00
113150020	\$126.00	113150066	\$126.00	113170029	\$126.00
113150022	\$126.00	113150067	\$126.00	113170030	\$126.00
113150023	\$126.00	113150068	\$126.00	113170031	\$126.00
113150024	\$126.00	113150069	\$126.00	113170032	\$126.00
113150025	\$126.00	113150070	\$126.00	113170033	\$126.00
113150026	\$126.00	113150071	\$126.00	113170034	\$126.00
113150027	\$126.00	113150072	\$126.00	113170035	\$126.00
113150028	\$126.00	113150073	\$126.00	113170036	\$126.00
113150029	\$126.00	113150074	\$126.00	113170037	\$126.00
113150030	\$126.00	113150075	\$126.00	113170038	\$126.00
113150031	\$126.00	113150076	\$126.00	113170039	\$126.00
113150032	\$126.00	113150077	\$126.00	113170040	\$126.00
113150033	\$126.00	113150078	\$126.00	113170041	\$126.00
113150034	\$126.00	113150079	\$126.00	113170042	\$126.00
113150035	\$126.00	113150080	\$126.00	113170043	\$126.00
113150036	\$126.00	113150081	\$126.00	113170044	\$126.00
113150037	\$126.00	113170001	\$126.00	113181002	\$126.00
113150038	\$126.00	113170002	\$126.00	113181003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113181004	\$126.00	113192008	\$126.00	113202021	\$126.00
113181005	\$126.00	113192009	\$126.00	113202022	\$126.00
113181006	\$126.00	113192010	\$126.00	113202023	\$126.00
113181007	\$126.00	113192011	\$126.00	113202024	\$126.00
113181008	\$126.00	113192012	\$126.00	113202025	\$126.00
113181009	\$126.00	113192013	\$126.00	113202026	\$126.00
113181010	\$126.00	113192014	\$126.00	113203001	\$126.00
113182001	\$126.00	113192015	\$126.00	113203002	\$126.00
113182002	\$126.00	113192016	\$126.00	113203003	\$126.00
113182003	\$126.00	113192017	\$126.00	113203004	\$126.00
113182004	\$126.00	113192018	\$126.00	113204001	\$126.00
113182005	\$126.00	113201001	\$126.00	113204002	\$126.00
113182006	\$126.00	113201002	\$126.00	113204003	\$126.00
113182007	\$126.00	113201003	\$126.00	113204004	\$126.00
113182008	\$126.00	113201004	\$126.00	113204005	\$126.00
113182009	\$126.00	113201005	\$126.00	113204006	\$126.00
113182010	\$126.00	113201006	\$126.00	113211001	\$126.00
113182011	\$126.00	113201007	\$126.00	113211002	\$126.00
113182012	\$126.00	113201008	\$126.00	113211003	\$126.00
113182013	\$126.00	113201009	\$126.00	113211004	\$126.00
113182014	\$126.00	113201010	\$126.00	113211005	\$126.00
113182015	\$126.00	113201011	\$126.00	113211006	\$126.00
113182016	\$126.00	113201012	\$126.00	113211007	\$126.00
113182017	\$126.00	113202001	\$126.00	113211008	\$126.00
113182018	\$126.00	113202002	\$126.00	113211009	\$126.00
113182019	\$126.00	113202003	\$126.00	113211010	\$126.00
113183001	\$126.00	113202004	\$126.00	113211011	\$126.00
113183002	\$126.00	113202005	\$126.00	113211012	\$126.00
113183003	\$126.00	113202006	\$126.00	113211013	\$126.00
113183004	\$126.00	113202007	\$126.00	113211014	\$126.00
113183005	\$126.00	113202008	\$126.00	113211015	\$126.00
113191001	\$126.00	113202009	\$126.00	113211016	\$126.00
113191002	\$126.00	113202010	\$126.00	113211017	\$126.00
113191003	\$126.00	113202011	\$126.00	113212001	\$126.00
113191004	\$126.00	113202012	\$126.00	113212002	\$126.00
113191005	\$126.00	113202013	\$126.00	113212003	\$126.00
113192001	\$126.00	113202014	\$126.00	113212004	\$126.00
113192002	\$126.00	113202015	\$126.00	113212005	\$126.00
113192003	\$126.00	113202016	\$126.00	113212006	\$126.00
113192004	\$126.00	113202017	\$126.00	113212007	\$126.00
113192005	\$126.00	113202018	\$126.00	113212008	\$126.00
113192006	\$126.00	113202019	\$126.00	113212009	\$126.00
113192007	\$126.00	113202020	\$126.00	113212010	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113212011	\$126.00	113222029	\$126.00	113241007	\$126.00
113212012	\$126.00	113231001	\$126.00	113241008	\$126.00
113212013	\$126.00	113231002	\$126.00	113241009	\$126.00
113212014	\$126.00	113231003	\$126.00	113241010	\$126.00
113212015	\$126.00	113231004	\$126.00	113241011	\$126.00
113212016	\$126.00	113231005	\$126.00	113241012	\$126.00
113221001	\$126.00	113231006	\$126.00	113241013	\$126.00
113221002	\$126.00	113231007	\$126.00	113242001	\$126.00
113221003	\$126.00	113231008	\$126.00	113242002	\$126.00
113221004	\$126.00	113232001	\$126.00	113242003	\$126.00
113221005	\$126.00	113232002	\$126.00	113242004	\$126.00
113221006	\$126.00	113232003	\$126.00	113242005	\$126.00
113221007	\$126.00	113232004	\$126.00	113242006	\$126.00
113221008	\$126.00	113232005	\$126.00	113242007	\$126.00
113221009	\$126.00	113232006	\$126.00	113242008	\$126.00
113221010	\$126.00	113232007	\$126.00	113242009	\$126.00
113221011	\$126.00	113232008	\$126.00	113242010	\$126.00
113221012	\$126.00	113232009	\$126.00	113242011	\$126.00
113222001	\$126.00	113232010	\$126.00	113242012	\$126.00
113222002	\$126.00	113232011	\$126.00	113242013	\$126.00
113222003	\$126.00	113233001	\$126.00	113242014	\$126.00
113222004	\$126.00	113233002	\$126.00	113242015	\$126.00
113222005	\$126.00	113233003	\$126.00	113242016	\$126.00
113222006	\$126.00	113233004	\$126.00	113242017	\$126.00
113222007	\$126.00	113233005	\$126.00	113242018	\$126.00
113222009	\$126.00	113233006	\$126.00	113242019	\$126.00
113222010	\$126.00	113233007	\$126.00	113242020	\$126.00
113222011	\$126.00	113233008	\$126.00	113242021	\$126.00
113222012	\$126.00	113233009	\$126.00	113242022	\$126.00
113222013	\$126.00	113233010	\$126.00	113242023	\$126.00
113222014	\$126.00	113233011	\$126.00	113242024	\$126.00
113222015	\$126.00	113233012	\$126.00	113242025	\$126.00
113222016	\$126.00	113233013	\$126.00	113242026	\$126.00
113222017	\$126.00	113233014	\$126.00	113242027	\$126.00
113222018	\$126.00	113233015	\$126.00	113242028	\$126.00
113222019	\$126.00	113233016	\$126.00	113242029	\$126.00
113222022	\$126.00	113233017	\$126.00	113243001	\$126.00
113222023	\$126.00	113241001	\$126.00	113243002	\$126.00
113222024	\$126.00	113241002	\$126.00	113243003	\$126.00
113222025	\$126.00	113241003	\$126.00	113243004	\$126.00
113222026	\$126.00	113241004	\$126.00	113243005	\$126.00
113222027	\$126.00	113241005	\$126.00	113243006	\$126.00
113222028	\$126.00	113241006	\$126.00	113243007	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113243008	\$126.00	113262011	\$126.00	113321013	\$126.00
113243009	\$126.00	113262012	\$126.00	113321014	\$126.00
113243010	\$126.00	113262013	\$126.00	113321015	\$126.00
113261001	\$126.00	113262014	\$126.00	113321016	\$126.00
113261002	\$126.00	113262015	\$126.00	113321017	\$126.00
113261003	\$126.00	113262016	\$126.00	113321018	\$126.00
113261004	\$126.00	113262017	\$126.00	113321019	\$126.00
113261005	\$126.00	113262018	\$126.00	113321020	\$126.00
113261006	\$126.00	113262019	\$126.00	113321021	\$126.00
113261007	\$126.00	113262020	\$126.00	113321022	\$126.00
113261008	\$126.00	113262021	\$126.00	113321023	\$126.00
113261009	\$126.00	113263001	\$126.00	113321024	\$126.00
113261010	\$126.00	113263002	\$126.00	113321025	\$126.00
113261011	\$126.00	113263003	\$126.00	113321026	\$126.00
113261012	\$126.00	113263004	\$126.00	113321027	\$126.00
113261013	\$126.00	113263005	\$126.00	113322001	\$126.00
113261014	\$126.00	113263006	\$126.00	113322002	\$126.00
113261015	\$126.00	113263007	\$126.00	113322003	\$126.00
113261016	\$126.00	113263008	\$126.00	113322004	\$126.00
113261017	\$126.00	113263009	\$126.00	113322005	\$126.00
113261018	\$126.00	113263010	\$126.00	113322006	\$126.00
113261019	\$126.00	113264001	\$126.00	113322007	\$126.00
113261020	\$126.00	113264002	\$126.00	113322008	\$126.00
113261021	\$126.00	113264003	\$126.00	113322009	\$126.00
113261022	\$126.00	113264004	\$126.00	113322010	\$126.00
113261023	\$126.00	113264005	\$126.00	113322011	\$126.00
113261024	\$126.00	113264006	\$126.00	113322012	\$126.00
113261025	\$126.00	113264007	\$126.00	113322013	\$126.00
113261026	\$126.00	113264008	\$126.00	113322014	\$126.00
113261027	\$126.00	113264009	\$126.00	113322015	\$126.00
113261028	\$126.00	113264010	\$126.00	113322016	\$126.00
113261029	\$126.00	113321001	\$126.00	113322017	\$126.00
113261030	\$126.00	113321002	\$126.00	113322018	\$126.00
113262001	\$126.00	113321003	\$126.00	113371001	\$126.00
113262002	\$126.00	113321004	\$126.00	113371002	\$126.00
113262003	\$126.00	113321005	\$126.00	113371003	\$126.00
113262004	\$126.00	113321006	\$126.00	113371004	\$126.00
113262005	\$126.00	113321007	\$126.00	113371005	\$126.00
113262006	\$126.00	113321008	\$126.00	113371006	\$126.00
113262007	\$126.00	113321009	\$126.00	113371007	\$126.00
113262008	\$126.00	113321010	\$126.00	113371008	\$126.00
113262009	\$126.00	113321011	\$126.00	113371009	\$126.00
113262010	\$126.00	113321012	\$126.00	113371010	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113371011	\$126.00	113372015	\$126.00	113383009	\$126.00
113371012	\$126.00	113372016	\$126.00	113383010	\$126.00
113371013	\$126.00	113372017	\$126.00	113383011	\$126.00
113371014	\$126.00	113372018	\$126.00	113383012	\$126.00
113371015	\$126.00	113372019	\$126.00	113383013	\$126.00
113371016	\$126.00	113372020	\$126.00	113383014	\$126.00
113371017	\$126.00	113372021	\$126.00	113391001	\$126.00
113371018	\$126.00	113372022	\$126.00	113391002	\$126.00
113371019	\$126.00	113372023	\$126.00	113391003	\$126.00
113371020	\$126.00	113372024	\$126.00	113391004	\$126.00
113371021	\$126.00	113372025	\$126.00	113391005	\$126.00
113371022	\$126.00	113372026	\$126.00	113391006	\$126.00
113371023	\$126.00	113381001	\$126.00	113391007	\$126.00
113371024	\$126.00	113381002	\$126.00	113391008	\$126.00
113371025	\$126.00	113381003	\$126.00	113391009	\$126.00
113371026	\$126.00	113381004	\$126.00	113391010	\$126.00
113371027	\$126.00	113381005	\$126.00	113391011	\$126.00
113371028	\$126.00	113381006	\$126.00	113391012	\$126.00
113371029	\$126.00	113381007	\$126.00	113391015	\$126.00
113371030	\$126.00	113381008	\$126.00	113391016	\$126.00
113371031	\$126.00	113381009	\$126.00	113391017	\$126.00
113371032	\$126.00	113381010	\$126.00	113391018	\$126.00
113371033	\$126.00	113382001	\$126.00	113391019	\$126.00
113371034	\$126.00	113382002	\$126.00	113391020	\$126.00
113371035	\$126.00	113382003	\$126.00	113391021	\$126.00
113371036	\$126.00	113382004	\$126.00	113391022	\$126.00
113371037	\$126.00	113382005	\$126.00	113392001	\$126.00
113371038	\$126.00	113382006	\$126.00	113392002	\$126.00
113371039	\$126.00	113382007	\$126.00	113392003	\$126.00
113372001	\$126.00	113382008	\$126.00	113392004	\$126.00
113372002	\$126.00	113382009	\$126.00	113392007	\$126.00
113372003	\$126.00	113382010	\$126.00	113392008	\$126.00
113372004	\$126.00	113382011	\$126.00	113392009	\$126.00
113372005	\$126.00	113382012	\$126.00	113392010	\$126.00
113372006	\$126.00	113382013	\$126.00	113392011	\$126.00
113372007	\$126.00	113383001	\$126.00	113392012	\$126.00
113372008	\$126.00	113383002	\$126.00	113392013	\$126.00
113372009	\$126.00	113383003	\$126.00	113392014	\$126.00
113372010	\$126.00	113383004	\$126.00	113392015	\$126.00
113372011	\$126.00	113383005	\$126.00	113392016	\$126.00
113372012	\$126.00	113383006	\$126.00	113392017	\$126.00
113372013	\$126.00	113383007	\$126.00	113392018	\$126.00
113372014	\$126.00	113383008	\$126.00	113392019	\$126.00

## Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113393001	\$126.00	113401036	\$126.00	113402043	\$126.00
113393002	\$126.00	113402001	\$126.00	113402044	\$126.00
113393003	\$126.00	113402002	\$126.00	113402045	\$126.00
113393004	\$126.00	113402003	\$126.00	113402046	\$126.00
113393005	\$126.00	113402004	\$126.00	113402047	\$126.00
113393006	\$126.00	113402005	\$126.00	113402048	\$126.00
113393007	\$126.00	113402006	\$126.00	113402049	\$126.00
113393008	\$126.00	113402007	\$126.00	113402050	\$126.00
113393009	\$126.00	113402008	\$126.00	113403001	\$126.00
113401001	\$126.00	113402009	\$126.00	113410001	\$126.00
113401002	\$126.00	113402010	\$126.00	113410002	\$126.00
113401003	\$126.00	113402011	\$126.00	113410003	\$126.00
113401004	\$126.00	113402012	\$126.00	113410004	\$126.00
113401005	\$126.00	113402013	\$126.00	113410005	\$126.00
113401006	\$126.00	113402014	\$126.00	113410006	\$126.00
113401007	\$126.00	113402015	\$126.00	113410007	\$126.00
113401008	\$126.00	113402016	\$126.00	113410008	\$126.00
113401009	\$126.00	113402017	\$126.00	113410009	\$126.00
113401010	\$126.00	113402018	\$126.00	113410010	\$126.00
113401011	\$126.00	113402019	\$126.00	113410011	\$126.00
113401012	\$126.00	113402020	\$126.00	113410012	\$126.00
113401013	\$126.00	113402021	\$126.00	113410013	\$126.00
113401014	\$126.00	113402022	\$126.00	113410014	\$126.00
113401015	\$126.00	113402023	\$126.00	113410015	\$126.00
113401017	\$126.00	113402024	\$126.00	113410016	\$126.00
113401018	\$126.00	113402025	\$126.00	113410017	\$126.00
113401019	\$126.00	113402026	\$126.00	113410018	\$126.00
113401020	\$126.00	113402027	\$126.00	113410019	\$126.00
113401021	\$126.00	113402028	\$126.00	113410020	\$126.00
113401022	\$126.00	113402029	\$126.00	113410021	\$126.00
113401023	\$126.00	113402030	\$126.00	113410022	\$126.00
113401024	\$126.00	113402031	\$126.00	113410023	\$126.00
113401025	\$126.00	113402032	\$126.00	113410024	\$126.00
113401026	\$126.00	113402033	\$126.00	113410025	\$126.00
113401027	\$126.00	113402034	\$126.00	113410026	\$126.00
113401028	\$126.00	113402035	\$126.00	113410029	\$126.00
113401029	\$126.00	113402036	\$126.00	113410030	\$126.00
113401030	\$126.00	113402037	\$126.00	113410031	\$126.00
113401031	\$126.00	113402038	\$126.00	113410032	\$126.00
113401032	\$126.00	113402039	\$126.00	113410033	\$126.00
113401033	\$126.00	113402040	\$126.00	113410034	\$126.00
113401034	\$126.00	113402041	\$126.00	113410035	\$126.00
113401035	\$126.00	113402042	\$126.00	113410036	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113410037	\$126.00	116290065	\$126.00	120032021	\$126.00
113410038	\$126.00	116290066	\$126.00	120032022	\$126.00
113410039	\$126.00	116310011	\$126.00	120032023	\$126.00
113410040	\$126.00	116310012	\$126.00	120032024	\$126.00
113410041	\$126.00	116310065	\$126.00	120032025	\$126.00
113410042	\$126.00	116310067	\$126.00	120033001	\$126.00
113410043	\$126.00	116320009	\$126.00	120033002	\$126.00
113410044	\$126.00	116320012	\$126.00	120033003	\$126.00
113410045	\$126.00	116320031	\$126.00	120033004	\$126.00
113410046	\$126.00	116320032	\$126.00	120033005	\$126.00
113410047	\$126.00	120031001	\$126.00	120033006	\$126.00
113410048	\$126.00	120031002	\$126.00	120033007	\$126.00
113410052	\$126.00	120031003	\$126.00	120033008	\$126.00
113410053	\$126.00	120031004	\$126.00	120033009	\$126.00
113410054	\$126.00	120031005	\$126.00	120033010	\$126.00
113410055	\$126.00	120031006	\$126.00	120033011	\$126.00
113410056	\$126.00	120031007	\$126.00	120033012	\$126.00
113410057	\$126.00	120031008	\$126.00	120033013	\$126.00
113410058	\$126.00	120031009	\$126.00	120033014	\$126.00
113410059	\$126.00	120031010	\$126.00	120033015	\$126.00
113410060	\$126.00	120031011	\$126.00	120033016	\$126.00
113410061	\$126.00	120031012	\$126.00	120033017	\$126.00
113410062	\$126.00	120031013	\$126.00	120033018	\$126.00
113410063	\$126.00	120032001	\$126.00	120033019	\$126.00
113410064	\$126.00	120032002	\$126.00	120033020	\$126.00
113410065	\$126.00	120032003	\$126.00	120034001	\$126.00
113410066	\$126.00	120032004	\$126.00	120034002	\$126.00
113410067	\$126.00	120032005	\$126.00	120034003	\$126.00
113410068	\$126.00	120032006	\$126.00	120034004	\$126.00
113410069	\$126.00	120032007	\$126.00	120034005	\$126.00
113410070	\$126.00	120032008	\$126.00	120034006	\$126.00
113410071	\$126.00	120032009	\$126.00	120034008	\$126.00
113410072	\$126.00	120032010	\$126.00	120034009	\$126.00
113410073	\$126.00	120032011	\$126.00	120034010	\$126.00
113410074	\$126.00	120032012	\$126.00	120034011	\$126.00
113410075	\$126.00	120032013	\$126.00	120034012	\$126.00
114210001	\$126.00	120032014	\$126.00	120034013	\$126.00
114210002	\$126.00	120032015	\$126.00	120034015	\$126.00
114210010	\$126.00	120032016	\$126.00	120034016	\$126.00
114210011	\$126.00	120032017	\$126.00	120034017	\$126.00
114210012	\$126.00	120032018	\$126.00	120034018	\$126.00
116290063	\$126.00	120032019	\$126.00	120034019	\$126.00
116290064	\$126.00	120032020	\$126.00	120034020	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120034021	\$126.00	120054008	\$126.00	120060035	\$126.00
120034022	\$126.00	120054009	\$126.00	120060036	\$126.00
120034023	\$126.00	120054010	\$126.00	120060037	\$126.00
120034024	\$126.00	120054011	\$126.00	120060038	\$126.00
120034025	\$126.00	120054012	\$126.00	120060039	\$126.00
120034026	\$126.00	120054013	\$126.00	120060040	\$126.00
120034027	\$126.00	120054014	\$126.00	120060041	\$126.00
120034028	\$126.00	120054015	\$126.00	120060042	\$126.00
120034029	\$126.00	120054016	\$126.00	120060044	\$126.00
120034030	\$126.00	120060001	\$126.00	120060045	\$126.00
120034031	\$126.00	120060002	\$126.00	120060046	\$126.00
120034032	\$126.00	120060003	\$126.00	120060047	\$126.00
120034033	\$126.00	120060004	\$126.00	120060048	\$126.00
120034034	\$126.00	120060005	\$126.00	120060049	\$126.00
120034035	\$126.00	120060006	\$126.00	120060050	\$126.00
120051009	\$126.00	120060007	\$126.00	120060051	\$126.00
120051010	\$126.00	120060008	\$126.00	120060052	\$126.00
120051011	\$126.00	120060009	\$126.00	120060053	\$126.00
120051012	\$126.00	120060010	\$126.00	120060054	\$126.00
120051013	\$126.00	120060011	\$126.00	120060055	\$126.00
120051014	\$126.00	120060012	\$126.00	120060056	\$126.00
120051015	\$126.00	120060013	\$126.00	120060057	\$126.00
120052001	\$126.00	120060014	\$126.00	120060058	\$126.00
120052002	\$126.00	120060015	\$126.00	120060060	\$126.00
120052003	\$126.00	120060016	\$126.00	120060061	\$126.00
120052004	\$126.00	120060017	\$126.00	120060062	\$126.00
120052005	\$126.00	120060018	\$126.00	120060063	\$126.00
120052006	\$126.00	120060019	\$126.00	120060064	\$126.00
120052007	\$126.00	120060020	\$126.00	120060065	\$126.00
120053001	\$126.00	120060021	\$126.00	120060066	\$126.00
120053002	\$126.00	120060022	\$126.00	120060067	\$126.00
120053003	\$126.00	120060023	\$126.00	120060068	\$126.00
120053004	\$126.00	120060024	\$126.00	120060069	\$126.00
120053005	\$126.00	120060025	\$126.00	120060070	\$126.00
120053006	\$126.00	120060026	\$126.00	120060071	\$126.00
120053007	\$126.00	120060027	\$126.00	120060072	\$126.00
120053008	\$126.00	120060028	\$126.00	120060073	\$126.00
120054001	\$126.00	120060029	\$126.00	120060074	\$126.00
120054002	\$126.00	120060030	\$126.00	120100001	\$126.00
120054003	\$126.00	120060031	\$126.00	120100002	\$126.00
120054004	\$126.00	120060032	\$126.00	120100003	\$126.00
120054006	\$126.00	120060033	\$126.00	120100004	\$126.00
120054007	\$126.00	120060034	\$126.00	120100005	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120100006	\$126.00	120111024	\$126.00	120121022	\$126.00
120100007	\$126.00	120112011	\$126.00	120121023	\$126.00
120100008	\$126.00	120112012	\$126.00	120121024	\$126.00
120100009	\$126.00	120112013	\$126.00	120121025	\$126.00
120100010	\$126.00	120112014	\$126.00	120122001	\$126.00
120100011	\$126.00	120112015	\$126.00	120122002	\$126.00
120100012	\$126.00	120112019	\$126.00	120122003	\$126.00
120100013	\$126.00	120112020	\$126.00	120122004	\$126.00
120100014	\$126.00	120112021	\$126.00	120122005	\$126.00
120100015	\$126.00	120112022	\$126.00	120122006	\$126.00
120100016	\$126.00	120112023	\$126.00	120122007	\$126.00
120100017	\$126.00	120113001	\$126.00	120122008	\$126.00
120100018	\$126.00	120113002	\$126.00	120122009	\$126.00
120100019	\$126.00	120113003	\$126.00	120122010	\$126.00
120100020	\$126.00	120113004	\$126.00	120122011	\$126.00
120100021	\$126.00	120113005	\$126.00	120122012	\$126.00
120100022	\$126.00	120113006	\$126.00	120122013	\$126.00
120100023	\$126.00	120113007	\$126.00	120122014	\$126.00
120100024	\$126.00	120113008	\$126.00	120122015	\$126.00
120100025	\$126.00	120113009	\$126.00	120122016	\$126.00
120100026	\$126.00	120113010	\$126.00	120122017	\$126.00
120100027	\$126.00	120113011	\$126.00	120122018	\$126.00
120100028	\$126.00	120121001	\$126.00	120122019	\$126.00
120100029	\$126.00	120121002	\$126.00	120122020	\$126.00
120100030	\$126.00	120121003	\$126.00	120122021	\$126.00
120100031	\$126.00	120121004	\$126.00	120122022	\$126.00
120100032	\$126.00	120121005	\$126.00	120122023	\$126.00
120100033	\$126.00	120121006	\$126.00	120122024	\$126.00
120100034	\$126.00	120121007	\$126.00	120122025	\$126.00
120100035	\$126.00	120121008	\$126.00	120122026	\$126.00
120100036	\$126.00	120121009	\$126.00	120123002	\$126.00
120100037	\$126.00	120121010	\$126.00	120123003	\$126.00
120100038	\$126.00	120121011	\$126.00	120123004	\$126.00
120100040	\$126.00	120121012	\$126.00	120123005	\$126.00
120111011	\$126.00	120121013	\$126.00	120123006	\$126.00
120111012	\$126.00	120121014	\$126.00	120123007	\$126.00
120111017	\$126.00	120121015	\$126.00	120123008	\$126.00
120111018	\$126.00	120121016	\$126.00	120123009	\$126.00
120111019	\$126.00	120121017	\$126.00	120123011	\$126.00
120111020	\$126.00	120121018	\$126.00	120123012	\$126.00
120111021	\$126.00	120121019	\$126.00	120123013	\$126.00
120111022	\$126.00	120121020	\$126.00	120123014	\$126.00
120111023	\$126.00	120121021	\$126.00	120123015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120123016	\$126.00	120143001	\$126.00	120151002	\$126.00
120123017	\$126.00	120143002	\$126.00	120151003	\$126.00
120123018	\$126.00	120143003	\$126.00	120151004	\$126.00
120123019	\$126.00	120143004	\$126.00	120151005	\$126.00
120123020	\$126.00	120143005	\$126.00	120151006	\$126.00
120123021	\$126.00	120143006	\$126.00	120151007	\$126.00
120123022	\$126.00	120143007	\$126.00	120151008	\$126.00
120123024	\$126.00	120143009	\$126.00	120151009	\$126.00
120123027	\$126.00	120143010	\$126.00	120151013	\$126.00
120141002	\$126.00	120144001	\$126.00	120151014	\$126.00
120141003	\$126.00	120144002	\$126.00	120151015	\$126.00
120141004	\$126.00	120144003	\$126.00	120151016	\$126.00
120141005	\$126.00	120144004	\$126.00	120151017	\$126.00
120141006	\$126.00	120144005	\$126.00	120151018	\$126.00
120141007	\$126.00	120144006	\$126.00	120151019	\$126.00
120141008	\$126.00	120144007	\$126.00	120151020	\$126.00
120141009	\$126.00	120144008	\$126.00	120151021	\$126.00
120141010	\$126.00	120144009	\$126.00	120151022	\$126.00
120141011	\$126.00	120144010	\$126.00	120151023	\$126.00
120141012	\$126.00	120144011	\$126.00	120151024	\$126.00
120141013	\$126.00	120144012	\$126.00	120151025	\$126.00
120141014	\$126.00	120144013	\$126.00	120151026	\$126.00
120141015	\$126.00	120144014	\$126.00	120151027	\$126.00
120141016	\$126.00	120144015	\$126.00	120151028	\$126.00
120141017	\$126.00	120144016	\$126.00	120151029	\$126.00
120141018	\$126.00	120144017	\$126.00	120151030	\$126.00
120141019	\$126.00	120144018	\$126.00	120151031	\$126.00
120141020	\$126.00	120144019	\$126.00	120151032	\$126.00
120141021	\$126.00	120144020	\$126.00	120151033	\$126.00
120141022	\$126.00	120145001	\$126.00	120152001	\$126.00
120142001	\$126.00	120145002	\$126.00	120152002	\$126.00
120142002	\$126.00	120145003	\$126.00	120152004	\$126.00
120142003	\$126.00	120145004	\$126.00	120152005	\$126.00
120142004	\$126.00	120145005	\$126.00	120152006	\$126.00
120142005	\$126.00	120145006	\$126.00	120152007	\$126.00
120142006	\$126.00	120145007	\$126.00	120152008	\$126.00
120142007	\$126.00	120145008	\$126.00	120152009	\$126.00
120142008	\$126.00	120145009	\$126.00	120152010	\$126.00
120142009	\$126.00	120145010	\$126.00	120152011	\$126.00
120142010	\$126.00	120145011	\$126.00	120152012	\$126.00
120142011	\$126.00	120145012	\$126.00	120152013	\$126.00
120142012	\$126.00	120145013	\$126.00	120152014	\$126.00
120142013	\$126.00	120151001	\$126.00	120152015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120153001	\$126.00	120162012	\$126.00	120171020	\$126.00
120153002	\$126.00	120162013	\$126.00	120171021	\$126.00
120153003	\$126.00	120162014	\$126.00	120171022	\$126.00
120153004	\$126.00	120162015	\$126.00	120171023	\$126.00
120153005	\$126.00	120162016	\$126.00	120171024	\$126.00
120153006	\$126.00	120162017	\$126.00	120171025	\$126.00
120153007	\$126.00	120162018	\$126.00	120171026	\$126.00
120153008	\$126.00	120162019	\$126.00	120171027	\$126.00
120153009	\$126.00	120162020	\$126.00	120171028	\$126.00
120153010	\$126.00	120162021	\$126.00	120171029	\$126.00
120153011	\$126.00	120162022	\$126.00	120171030	\$126.00
120153012	\$126.00	120162023	\$126.00	120171031	\$126.00
120153013	\$126.00	120162024	\$126.00	120171035	\$126.00
120153014	\$126.00	120162025	\$126.00	120171036	\$126.00
120153015	\$126.00	120162026	\$126.00	120171037	\$126.00
120153016	\$126.00	120162027	\$126.00	120171038	\$126.00
120153017	\$126.00	120162028	\$126.00	120171039	\$126.00
120153018	\$126.00	120162029	\$126.00	120171040	\$126.00
120153019	\$126.00	120162030	\$126.00	120171041	\$126.00
120153020	\$126.00	120162031	\$126.00	120171042	\$126.00
120153021	\$126.00	120162032	\$126.00	120171043	\$126.00
120153022	\$126.00	120162033	\$126.00	120172001	\$126.00
120153023	\$126.00	120162034	\$126.00	120172002	\$126.00
120153024	\$126.00	120162035	\$126.00	120172003	\$126.00
120161001	\$126.00	120171001	\$126.00	120172004	\$126.00
120161002	\$126.00	120171002	\$126.00	120172005	\$126.00
120161003	\$126.00	120171003	\$126.00	120172006	\$126.00
120161004	\$126.00	120171004	\$126.00	120181001	\$126.00
120161005	\$126.00	120171005	\$126.00	120181002	\$126.00
120161006	\$126.00	120171006	\$126.00	120181003	\$126.00
120161007	\$126.00	120171007	\$126.00	120181004	\$126.00
120161008	\$126.00	120171008	\$126.00	120181005	\$126.00
120162001	\$126.00	120171009	\$126.00	120181006	\$126.00
120162002	\$126.00	120171010	\$126.00	120181007	\$126.00
120162003	\$126.00	120171011	\$126.00	120181008	\$126.00
120162004	\$126.00	120171012	\$126.00	120181009	\$126.00
120162005	\$126.00	120171013	\$126.00	120181010	\$126.00
120162006	\$126.00	120171014	\$126.00	120181011	\$126.00
120162007	\$126.00	120171015	\$126.00	120181012	\$126.00
120162008	\$126.00	120171016	\$126.00	120181013	\$126.00
120162009	\$126.00	120171017	\$126.00	120181014	\$126.00
120162010	\$126.00	120171018	\$126.00	120181015	\$126.00
120162011	\$126.00	120171019	\$126.00	120181016	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120181017	\$126.00	120210016	\$126.00	120223005	\$126.00
120181018	\$126.00	120210017	\$126.00	120223006	\$126.00
120181019	\$126.00	120210018	\$126.00	120223007	\$126.00
120181020	\$126.00	120210019	\$126.00	120223008	\$126.00
120181021	\$126.00	120210020	\$126.00	120223009	\$126.00
120181022	\$126.00	120210021	\$126.00	120223010	\$126.00
120181023	\$126.00	120210022	\$126.00	120231001	\$126.00
120181024	\$126.00	120210023	\$126.00	120231002	\$126.00
120181025	\$126.00	120210024	\$126.00	120231003	\$126.00
120181026	\$126.00	120210025	\$126.00	120231004	\$126.00
120181027	\$126.00	120221001	\$126.00	120231005	\$126.00
120181028	\$126.00	120221002	\$126.00	120231006	\$126.00
120181029	\$126.00	120221003	\$126.00	120231007	\$126.00
120182002	\$126.00	120221004	\$126.00	120231008	\$126.00
120182003	\$126.00	120221005	\$126.00	120231009	\$126.00
120182004	\$126.00	120221006	\$126.00	120232001	\$126.00
120182005	\$126.00	120221007	\$126.00	120232002	\$126.00
120182006	\$126.00	120221008	\$126.00	120232003	\$126.00
120182007	\$126.00	120221009	\$126.00	120232004	\$126.00
120182008	\$126.00	120221010	\$126.00	120232005	\$126.00
120182009	\$126.00	120221011	\$126.00	120232006	\$126.00
120182010	\$126.00	120221012	\$126.00	120232007	\$126.00
120182011	\$126.00	120221013	\$126.00	120232008	\$126.00
120182012	\$126.00	120221014	\$126.00	120232009	\$126.00
120182013	\$126.00	120221015	\$126.00	120232010	\$126.00
120182014	\$126.00	120222001	\$126.00	120232011	\$126.00
120182015	\$126.00	120222002	\$126.00	120232012	\$126.00
120182016	\$126.00	120222003	\$126.00	120232013	\$126.00
120210001	\$126.00	120222004	\$126.00	120232014	\$126.00
120210002	\$126.00	120222005	\$126.00	120232015	\$126.00
120210003	\$126.00	120222006	\$126.00	120232016	\$126.00
120210004	\$126.00	120222007	\$126.00	120232017	\$126.00
120210005	\$126.00	120222008	\$126.00	120232018	\$126.00
120210006	\$126.00	120222009	\$126.00	120232019	\$126.00
120210007	\$126.00	120222010	\$126.00	120232020	\$126.00
120210008	\$126.00	120222011	\$126.00	120232021	\$126.00
120210009	\$126.00	120222012	\$126.00	120241001	\$126.00
120210010	\$126.00	120222013	\$126.00	120241002	\$126.00
120210011	\$126.00	120222014	\$126.00	120241003	\$126.00
120210012	\$126.00	120223001	\$126.00	120241004	\$126.00
120210013	\$126.00	120223002	\$126.00	120241005	\$126.00
120210014	\$126.00	120223003	\$126.00	120241006	\$126.00
120210015	\$126.00	120223004	\$126.00	120241007	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120241008	\$126.00	120260016	\$126.00	120321002	\$126.00
120242001	\$126.00	120260017	\$126.00	120321003	\$126.00
120242002	\$126.00	120260018	\$126.00	120321004	\$126.00
120242003	\$126.00	120260019	\$126.00	120321005	\$126.00
120242004	\$126.00	120260020	\$126.00	120321006	\$126.00
120242005	\$126.00	120260021	\$126.00	120321013	\$126.00
120242006	\$126.00	120260022	\$126.00	120321014	\$126.00
120242007	\$126.00	120260023	\$126.00	120321015	\$126.00
120242008	\$126.00	120260024	\$126.00	120321016	\$126.00
120242009	\$126.00	120260025	\$126.00	120321017	\$126.00
120242010	\$126.00	120260026	\$126.00	120321018	\$126.00
120250001	\$126.00	120260027	\$126.00	120321019	\$126.00
120250002	\$126.00	120260028	\$126.00	120321020	\$126.00
120250003	\$126.00	120260029	\$126.00	120321021	\$126.00
120250004	\$126.00	120311001	\$126.00	120321022	\$126.00
120250005	\$126.00	120311002	\$126.00	120321023	\$126.00
120250006	\$126.00	120311003	\$126.00	120321024	\$126.00
120250007	\$126.00	120311004	\$126.00	120321025	\$126.00
120250008	\$126.00	120311005	\$126.00	120321026	\$126.00
120250009	\$126.00	120311006	\$126.00	120321027	\$126.00
120250010	\$126.00	120311007	\$126.00	120321030	\$126.00
120250011	\$126.00	120311008	\$126.00	120321031	\$126.00
120250012	\$126.00	120311009	\$126.00	120321032	\$126.00
120250013	\$126.00	120311010	\$126.00	120322001	\$126.00
120250014	\$126.00	120311011	\$126.00	120322002	\$126.00
120250015	\$126.00	120312001	\$126.00	120322003	\$126.00
120250016	\$126.00	120312004	\$126.00	120322004	\$126.00
120250017	\$126.00	120312005	\$126.00	120322005	\$126.00
120250029	\$126.00	120312006	\$126.00	120322006	\$126.00
120260001	\$126.00	120312007	\$126.00	120322007	\$126.00
120260002	\$126.00	120312008	\$126.00	120322008	\$126.00
120260003	\$126.00	120312009	\$126.00	120322009	\$126.00
120260004	\$126.00	120312014	\$126.00	120322010	\$126.00
120260005	\$126.00	120312015	\$126.00	120322015	\$126.00
120260006	\$126.00	120312016	\$126.00	120322016	\$126.00
120260008	\$126.00	120312017	\$126.00	120322018	\$126.00
120260009	\$126.00	120312018	\$126.00	120322019	\$126.00
120260010	\$126.00	120312019	\$126.00	120351001	\$126.00
120260011	\$126.00	120312023	\$126.00	120351002	\$126.00
120260012	\$126.00	120312024	\$126.00	120351003	\$126.00
120260013	\$126.00	120312025	\$126.00	120351004	\$126.00
120260014	\$126.00	120312026	\$126.00	120352001	\$126.00
120260015	\$126.00	120321001	\$126.00	120352002	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120352003	\$126.00	120381008	\$126.00	120381039	\$126.00
120352004	\$126.00	120381009	\$126.00	120381040	\$126.00
120352005	\$126.00	120381010	\$126.00	120381041	\$126.00
120352007	\$126.00	120381011	\$126.00	120381042	\$126.00
120353001	\$126.00	120381012	\$126.00	120381043	\$126.00
120353002	\$126.00	120381014	\$126.00	120381044	\$126.00
120353003	\$126.00	120381015	\$126.00	120381046	\$126.00
120353004	\$126.00	120381016	\$126.00	120381047	\$126.00
120353005	\$126.00	120381017	\$126.00	120381048	\$126.00
120353006	\$126.00	120381018	\$126.00	120381049	\$126.00
120353007	\$126.00	120381020	\$126.00	120381051	\$126.00
120353008	\$126.00	120381021	\$126.00	120381053	\$126.00
120353009	\$126.00	120381022	\$126.00	120381054	\$126.00
120353010	\$126.00	120381023	\$126.00	120381055	\$126.00
120353011	\$126.00	120381024	\$126.00	120381057	\$126.00
120353012	\$126.00	120381025	\$126.00	120381058	\$126.00
120360001	\$126.00	120381027	\$126.00	120381059	\$126.00
120360002	\$126.00	120381028	\$126.00	120381060	\$126.00
120360003	\$126.00	120381029	\$126.00	120381061	\$126.00
120360004	\$126.00	120381030	\$126.00	120381062	\$126.00
120381001	\$126.00	120381031	\$126.00	120381063	\$126.00
120381002	\$126.00	120381032	\$126.00	120381064	\$126.00
120381003	\$126.00	120381034	\$126.00	120381065	\$126.00
120381005	\$126.00	120381035	\$126.00	120381067	\$126.00
120381006	\$126.00	120381036	\$126.00	120381069	\$126.00
120381007	\$126.00	120381038	\$126.00	120381070	\$126.00
<b>Totals</b>		<b>Parcels 3,690</b>		<b>Levy \$464,940.00</b>	

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114040019	\$415.22	114071034	\$415.22	114081028	\$415.22
114040020	\$415.22	114071035	\$415.22	114081029	\$415.22
114070014	\$2,346.04	114071036	\$415.22	114081030	\$415.22
114070015	\$747.40	114071037	\$415.22	114081031	\$415.22
114070016	\$13,619.54	114071038	\$415.22	114081032	\$415.22
114070017	\$1,847.76	114071039	\$415.22	114081033	\$415.22
114070018	\$1,577.86	114071041	\$415.22	114081035	\$415.22
114070019	\$622.84	114071042	\$415.22	114081036	\$415.22
114070020	\$4,899.70	114071043	\$415.22	114081037	\$415.22
114070021	\$4,775.14	114071044	\$415.22	114081038	\$415.22
114070022	\$1,017.30	114071045	\$415.22	114081039	\$415.22
114070039	\$10,795.98	114071046	\$415.22	114081040	\$415.22
114070040	\$415.22	114071047	\$415.22	114081041	\$415.22
114071001	\$415.22	114071048	\$415.22	114082001	\$415.22
114071002	\$415.22	114071050	\$415.22	114082002	\$415.22
114071003	\$415.22	114071051	\$415.22	114082003	\$415.22
114071004	\$415.22	114071052	\$415.22	114082004	\$415.22
114071005	\$415.22	114071053	\$415.22	114082005	\$415.22
114071006	\$415.22	114071054	\$415.22	114082006	\$415.22
114071008	\$415.22	114071055	\$415.22	114082007	\$415.22
114071009	\$415.22	114081001	\$415.22	114082008	\$415.22
114071010	\$415.22	114081002	\$415.22	114082009	\$415.22
114071011	\$415.22	114081003	\$415.22	114082010	\$415.22
114071012	\$415.22	114081005	\$415.22	114082011	\$415.22
114071013	\$415.22	114081006	\$415.22	114082013	\$415.22
114071014	\$415.22	114081007	\$415.22	114082014	\$415.22
114071015	\$415.22	114081009	\$415.22	114082015	\$415.22
114071016	\$415.22	114081010	\$415.22	114082016	\$415.22
114071017	\$415.22	114081012	\$415.22	114082017	\$415.22
114071018	\$415.22	114081013	\$415.22	114082019	\$415.22
114071019	\$415.22	114081014	\$415.22	114082020	\$415.22
114071020	\$415.22	114081015	\$415.22	114082022	\$415.22
114071021	\$415.22	114081016	\$415.22	114082023	\$415.22
114071023	\$415.22	114081017	\$415.22	114082024	\$415.22
114071024	\$415.22	114081018	\$415.22	114082025	\$415.22
114071025	\$415.22	114081019	\$415.22	114082027	\$415.22
114071026	\$415.22	114081020	\$415.22	114082028	\$415.22
114071027	\$415.22	114081021	\$415.22	114082029	\$415.22
114071028	\$415.22	114081022	\$415.22	114083001	\$415.22
114071029	\$415.22	114081023	\$415.22	114083002	\$415.22
114071030	\$415.22	114081025	\$415.22	114083003	\$415.22
114071032	\$415.22	114081026	\$415.22	114083004	\$415.22
114071033	\$415.22	114081027	\$415.22	114083005	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114083006	\$415.22	114083055	\$415.22	114091004	\$415.22
114083007	\$415.22	114083056	\$415.22	114091005	\$415.22
114083008	\$415.22	114083057	\$415.22	114091006	\$415.22
114083009	\$415.22	114083058	\$415.22	114091007	\$415.22
114083010	\$415.22	114083059	\$415.22	114091008	\$415.22
114083011	\$415.22	114083060	\$415.22	114091009	\$415.22
114083012	\$415.22	114083061	\$415.22	114091010	\$415.22
114083014	\$415.22	114083062	\$415.22	114091012	\$415.22
114083015	\$415.22	114083064	\$415.22	114091013	\$415.22
114083016	\$415.22	114083065	\$415.22	114091014	\$415.22
114083017	\$415.22	114083066	\$415.22	114091015	\$415.22
114083018	\$415.22	114083067	\$415.22	114091016	\$415.22
114083019	\$415.22	114083068	\$415.22	114091017	\$415.22
114083020	\$415.22	114083069	\$415.22	114091018	\$415.22
114083021	\$415.22	114083070	\$415.22	114091020	\$415.22
114083022	\$415.22	114083071	\$415.22	114091021	\$415.22
114083023	\$415.22	114083072	\$415.22	114091022	\$415.22
114083025	\$415.22	114083073	\$415.22	114091023	\$415.22
114083026	\$415.22	114083075	\$415.22	114091024	\$415.22
114083027	\$415.22	114083076	\$415.22	114091025	\$415.22
114083028	\$415.22	114083077	\$415.22	114091026	\$415.22
114083029	\$415.22	114083078	\$415.22	114091028	\$415.22
114083030	\$415.22	114083080	\$415.22	114091029	\$415.22
114083031	\$415.22	114083081	\$415.22	114091030	\$415.22
114083032	\$415.22	114083082	\$415.22	114091031	\$415.22
114083034	\$415.22	114083083	\$415.22	114091032	\$415.22
114083035	\$415.22	114083084	\$415.22	114091033	\$415.22
114083036	\$415.22	114083085	\$415.22	114091034	\$415.22
114083037	\$415.22	114083086	\$415.22	114091036	\$415.22
114083038	\$415.22	114083087	\$415.22	114091037	\$415.22
114083039	\$415.22	114083089	\$415.22	114091038	\$415.22
114083040	\$415.22	114083090	\$415.22	114091039	\$415.22
114083041	\$415.22	114083091	\$415.22	114091041	\$415.22
114083043	\$415.22	114083092	\$415.22	114091042	\$415.22
114083044	\$415.22	114083093	\$415.22	114091043	\$415.22
114083046	\$415.22	114083094	\$415.22	114111001	\$415.22
114083047	\$415.22	114083095	\$415.22	114111002	\$415.22
114083048	\$415.22	114083096	\$415.22	114111003	\$415.22
114083049	\$415.22	114083097	\$415.22	114111004	\$415.22
114083050	\$415.22	114083098	\$415.22	114111005	\$415.22
114083051	\$415.22	114091001	\$415.22	114111006	\$415.22
114083052	\$415.22	114091002	\$415.22	114111007	\$415.22
114083053	\$415.22	114091003	\$415.22	114111008	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114111009	\$415.22	114114007	\$415.22	114123009	\$415.22
114111010	\$415.22	114114008	\$415.22	114123010	\$415.22
114111011	\$415.22	114114009	\$415.22	114123011	\$415.22
114111012	\$415.22	114114010	\$415.22	114123012	\$415.22
114111013	\$415.22	114114011	\$415.22	114123013	\$415.22
114112001	\$415.22	114114012	\$415.22	114123014	\$415.22
114112002	\$415.22	114114013	\$415.22	114123015	\$415.22
114112003	\$415.22	114114014	\$415.22	114123016	\$415.22
114112004	\$415.22	114114015	\$415.22	114130005	\$415.22
114112005	\$415.22	114114016	\$415.22	114130006	\$415.22
114112006	\$415.22	114114017	\$415.22	114130007	\$415.22
114112007	\$415.22	114114018	\$415.22	114130008	\$415.22
114112008	\$415.22	114114019	\$415.22	114130009	\$415.22
114112009	\$415.22	114114020	\$415.22	114230002	\$415.22
114112010	\$415.22	114114021	\$415.22	114230003	\$415.22
114112011	\$415.22	114121001	\$415.22	114230004	\$415.22
114112012	\$415.22	114121002	\$415.22	114230005	\$415.22
114113001	\$415.22	114121003	\$415.22	114230006	\$415.22
114113002	\$415.22	114121004	\$415.22	114230007	\$415.22
114113003	\$415.22	114121005	\$415.22	114230008	\$415.22
114113004	\$415.22	114121006	\$415.22	114230009	\$415.22
114113005	\$415.22	114121007	\$415.22	114230010	\$415.22
114113006	\$415.22	114121008	\$415.22	114230011	\$415.22
114113007	\$415.22	114121009	\$415.22	114230012	\$415.22
114113008	\$415.22	114121010	\$415.22	114230013	\$415.22
114113009	\$415.22	114122001	\$415.22	114230014	\$415.22
114113010	\$415.22	114122002	\$415.22	114230015	\$415.22
114113011	\$415.22	114122003	\$415.22	114230016	\$415.22
114113012	\$415.22	114122004	\$415.22	114230017	\$415.22
114113013	\$415.22	114122005	\$415.22	114230018	\$415.22
114113014	\$415.22	114122006	\$415.22	114230019	\$415.22
114113015	\$415.22	114122007	\$415.22	114230020	\$415.22
114113016	\$415.22	114122008	\$415.22	114230021	\$415.22
114113017	\$415.22	114122009	\$415.22	114230022	\$415.22
114113018	\$415.22	114122010	\$415.22	114230023	\$415.22
114113019	\$415.22	114123001	\$415.22	114230024	\$415.22
114113020	\$415.22	114123002	\$415.22	114230025	\$415.22
114114001	\$415.22	114123003	\$415.22	114230026	\$415.22
114114002	\$415.22	114123004	\$415.22	114230027	\$415.22
114114003	\$415.22	114123005	\$415.22	114230028	\$415.22
114114004	\$415.22	114123006	\$415.22	114230030	\$415.22
114114005	\$415.22	114123007	\$415.22	114230031	\$415.22
114114006	\$415.22	114123008	\$415.22	114230032	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114230033	\$415.22	114242002	\$415.22	114251009	\$415.22
114230034	\$415.22	114242003	\$415.22	114251010	\$415.22
114230035	\$415.22	114242004	\$415.22	114251011	\$415.22
114230036	\$415.22	114242005	\$415.22	114252001	\$415.22
114230037	\$415.22	114242006	\$415.22	114252002	\$415.22
114230038	\$415.22	114242007	\$415.22	114252003	\$415.22
114230039	\$415.22	114242008	\$415.22	114252004	\$415.22
114230041	\$415.22	114242009	\$415.22	114252005	\$415.22
114230042	\$415.22	114242010	\$415.22	114252006	\$415.22
114230043	\$415.22	114242011	\$415.22	114252007	\$415.22
114230044	\$415.22	114242012	\$415.22	114252008	\$415.22
114230045	\$415.22	114242013	\$415.22	114252009	\$415.22
114230046	\$415.22	114242014	\$415.22	114252010	\$415.22
114230047	\$415.22	114242015	\$415.22	114252011	\$415.22
114230048	\$415.22	114242016	\$415.22	114252012	\$415.22
114230049	\$415.22	114242017	\$415.22	114252013	\$415.22
114230050	\$415.22	114242018	\$415.22	114252017	\$415.22
114230051	\$415.22	114242019	\$415.22	114252018	\$415.22
114230052	\$415.22	114242020	\$415.22	114252019	\$415.22
114230053	\$415.22	114242021	\$415.22	114253001	\$415.22
114230054	\$415.22	114242022	\$415.22	114253002	\$415.22
114230055	\$415.22	114242023	\$415.22	114253003	\$415.22
114230056	\$415.22	114242024	\$415.22	114253004	\$415.22
114230057	\$415.22	114242025	\$415.22	114253005	\$415.22
114230058	\$415.22	114243001	\$415.22	114253006	\$415.22
114230059	\$415.22	114243002	\$415.22	114253007	\$415.22
114230060	\$415.22	114243003	\$415.22	114253008	\$415.22
114230061	\$415.22	114243004	\$415.22	114253009	\$415.22
114241001	\$415.22	114243005	\$415.22	114253010	\$415.22
114241002	\$415.22	114243006	\$415.22	114253011	\$415.22
114241003	\$415.22	114243007	\$415.22	114253012	\$415.22
114241004	\$415.22	114243008	\$415.22	114253013	\$415.22
114241005	\$415.22	114243009	\$415.22	114253014	\$415.22
114241006	\$415.22	114243011	\$415.22	114253015	\$415.22
114241007	\$415.22	114243012	\$415.22	114253016	\$415.22
114241008	\$415.22	114251001	\$415.22	114253017	\$415.22
114241009	\$415.22	114251002	\$415.22	114253018	\$415.22
114241010	\$415.22	114251003	\$415.22	114261002	\$415.22
114241011	\$415.22	114251004	\$415.22	114261003	\$415.22
114241012	\$415.22	114251005	\$415.22	114261004	\$415.22
114241013	\$415.22	114251006	\$415.22	114261005	\$415.22
114241014	\$415.22	114251007	\$415.22	114261006	\$415.22
114242001	\$415.22	114251008	\$415.22	114261007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114261008	\$415.22	114263009	\$415.22	114272020	\$415.22
114261009	\$415.22	114263010	\$415.22	114272021	\$415.22
114261010	\$415.22	114263011	\$415.22	114272022	\$415.22
114261011	\$415.22	114271001	\$415.22	114272023	\$415.22
114261012	\$415.22	114271003	\$415.22	114272024	\$415.22
114261013	\$415.22	114271004	\$415.22	114272025	\$415.22
114261015	\$415.22	114271005	\$415.22	114272026	\$415.22
114261016	\$415.22	114271006	\$415.22	114272027	\$415.22
114261017	\$415.22	114271007	\$415.22	114272028	\$415.22
114261018	\$415.22	114271008	\$415.22	114272029	\$415.22
114261019	\$415.22	114271009	\$415.22	114273001	\$415.22
114261020	\$415.22	114271010	\$415.22	114273002	\$415.22
114261021	\$415.22	114271011	\$415.22	114273003	\$415.22
114261022	\$415.22	114271012	\$415.22	114273004	\$415.22
114262001	\$415.22	114271013	\$415.22	114273005	\$415.22
114262002	\$415.22	114271014	\$415.22	114273006	\$415.22
114262003	\$415.22	114271015	\$415.22	114273007	\$415.22
114262004	\$415.22	114271016	\$415.22	114273008	\$415.22
114262005	\$415.22	114271017	\$415.22	114273009	\$415.22
114262006	\$415.22	114271018	\$415.22	114273010	\$415.22
114262007	\$415.22	114271019	\$415.22	114281001	\$415.22
114262008	\$415.22	114271020	\$415.22	114281002	\$415.22
114262009	\$415.22	114271021	\$415.22	114281003	\$415.22
114262010	\$415.22	114271022	\$415.22	114281004	\$415.22
114262011	\$415.22	114272001	\$415.22	114281005	\$415.22
114262012	\$415.22	114272002	\$415.22	114281006	\$415.22
114262013	\$415.22	114272003	\$415.22	114281007	\$415.22
114262014	\$415.22	114272004	\$415.22	114281008	\$415.22
114262015	\$415.22	114272005	\$415.22	114281009	\$415.22
114262016	\$415.22	114272006	\$415.22	114281010	\$415.22
114262017	\$415.22	114272007	\$415.22	114281011	\$415.22
114262018	\$415.22	114272008	\$415.22	114281012	\$415.22
114262019	\$415.22	114272009	\$415.22	114281013	\$415.22
114262020	\$415.22	114272010	\$415.22	114281014	\$415.22
114262021	\$415.22	114272011	\$415.22	114281015	\$415.22
114263001	\$415.22	114272012	\$415.22	114281016	\$415.22
114263002	\$415.22	114272013	\$415.22	114281017	\$415.22
114263003	\$415.22	114272014	\$415.22	114281018	\$415.22
114263004	\$415.22	114272015	\$415.22	114281019	\$415.22
114263005	\$415.22	114272016	\$415.22	114281020	\$415.22
114263006	\$415.22	114272017	\$415.22	114281021	\$415.22
114263007	\$415.22	114272018	\$415.22	114281022	\$415.22
114263008	\$415.22	114272019	\$415.22	114281023	\$415.22



## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114281024	\$415.22	114292021	\$415.22	114301015	\$415.22
114281025	\$415.22	114292022	\$415.22	114301016	\$415.22
114281031	\$415.22	114293001	\$415.22	114301017	\$415.22
114281032	\$415.22	114293002	\$415.22	114301018	\$415.22
114282001	\$415.22	114293003	\$415.22	114301019	\$415.22
114282002	\$415.22	114293004	\$415.22	114301020	\$415.22
114282003	\$415.22	114293005	\$415.22	114301021	\$415.22
114282004	\$415.22	114293006	\$415.22	114301022	\$415.22
114282005	\$415.22	114293007	\$415.22	114301023	\$415.22
114282006	\$415.22	114293008	\$415.22	114301024	\$415.22
114282007	\$415.22	114293009	\$415.22	114301025	\$415.22
114282008	\$415.22	114293010	\$415.22	114301026	\$415.22
114291001	\$415.22	114293011	\$415.22	114301027	\$415.22
114291002	\$415.22	114293012	\$415.22	114301028	\$415.22
114291003	\$415.22	114293013	\$415.22	114301029	\$415.22
114291004	\$415.22	114293014	\$415.22	114301030	\$415.22
114291005	\$415.22	114293015	\$415.22	114301031	\$415.22
114291006	\$415.22	114293016	\$415.22	114301032	\$415.22
114291007	\$415.22	114293017	\$415.22	114301033	\$415.22
114291008	\$415.22	114293018	\$415.22	114301034	\$415.22
114291009	\$415.22	114293019	\$415.22	114301035	\$415.22
114291010	\$415.22	114293020	\$415.22	114301036	\$415.22
114291011	\$415.22	114293021	\$415.22	114301037	\$415.22
114292001	\$415.22	114293022	\$415.22	114301038	\$415.22
114292002	\$415.22	114293023	\$415.22	114302001	\$415.22
114292003	\$415.22	114293024	\$415.22	114302002	\$415.22
114292004	\$415.22	114293025	\$415.22	114302003	\$415.22
114292005	\$415.22	114293026	\$415.22	114303001	\$415.22
114292006	\$415.22	114293027	\$415.22	114303002	\$415.22
114292007	\$415.22	114301001	\$415.22	114303003	\$415.22
114292008	\$415.22	114301002	\$415.22	114303004	\$415.22
114292009	\$415.22	114301003	\$415.22	114303005	\$415.22
114292010	\$415.22	114301004	\$415.22	114303006	\$415.22
114292011	\$415.22	114301005	\$415.22	114303007	\$415.22
114292012	\$415.22	114301006	\$415.22	114303008	\$415.22
114292013	\$415.22	114301007	\$415.22	114303009	\$415.22
114292014	\$415.22	114301008	\$415.22	114303010	\$415.22
114292015	\$415.22	114301009	\$415.22	114303011	\$415.22
114292016	\$415.22	114301010	\$415.22	114303012	\$415.22
114292017	\$415.22	114301011	\$415.22	114303013	\$415.22
114292018	\$415.22	114301012	\$415.22	114303014	\$415.22
114292019	\$415.22	114301013	\$415.22	114303015	\$415.22
114292020	\$415.22	114301014	\$415.22	114303016	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114303017	\$415.22	114311030	\$415.22	114321005	\$415.22
114303018	\$415.22	114311031	\$415.22	114321006	\$415.22
114303019	\$415.22	114311032	\$415.22	114321007	\$415.22
114303020	\$415.22	114311033	\$415.22	114321008	\$415.22
114303021	\$415.22	114311034	\$415.22	114321009	\$415.22
114303022	\$415.22	114311036	\$415.22	114321010	\$415.22
114303023	\$415.22	114311037	\$415.22	114321011	\$415.22
114303024	\$415.22	114311038	\$415.22	114321012	\$415.22
114303025	\$415.22	114311039	\$415.22	114321013	\$415.22
114303026	\$415.22	114311040	\$415.22	114321014	\$415.22
114303027	\$415.22	114311041	\$415.22	114321015	\$415.22
114303028	\$415.22	114311042	\$415.22	114321016	\$415.22
114303029	\$415.22	114311043	\$415.22	114321017	\$415.22
114303030	\$415.22	114311044	\$415.22	114321018	\$415.22
114303031	\$415.22	114311045	\$415.22	114321019	\$415.22
114303032	\$415.22	114311046	\$415.22	114321020	\$415.22
114311001	\$415.22	114311048	\$415.22	114321021	\$415.22
114311002	\$415.22	114311049	\$415.22	114321022	\$415.22
114311003	\$415.22	114311050	\$415.22	114321023	\$415.22
114311004	\$415.22	114311051	\$415.22	114321024	\$415.22
114311005	\$415.22	114311052	\$415.22	114321025	\$415.22
114311006	\$415.22	114311053	\$415.22	114321026	\$415.22
114311007	\$415.22	114311054	\$415.22	114321027	\$415.22
114311008	\$415.22	114311055	\$415.22	114321028	\$415.22
114311009	\$415.22	114311056	\$415.22	114321029	\$415.22
114311010	\$415.22	114311057	\$415.22	114322001	\$415.22
114311011	\$415.22	114311058	\$415.22	114322002	\$415.22
114311012	\$415.22	114311059	\$415.22	114322003	\$415.22
114311013	\$415.22	114311060	\$415.22	114322004	\$415.22
114311015	\$415.22	114311061	\$415.22	114322005	\$415.22
114311016	\$415.22	114311062	\$415.22	114322006	\$415.22
114311017	\$415.22	114311064	\$415.22	114322007	\$415.22
114311018	\$415.22	114311065	\$415.22	114322008	\$415.22
114311019	\$415.22	114311066	\$415.22	114322009	\$415.22
114311020	\$415.22	114311067	\$415.22	114322010	\$415.22
114311021	\$415.22	114311068	\$415.22	114322011	\$415.22
114311022	\$415.22	114311069	\$415.22	114322012	\$415.22
114311023	\$415.22	114311070	\$415.22	114322013	\$415.22
114311024	\$415.22	114311071	\$415.22	114322014	\$415.22
114311025	\$415.22	114311072	\$415.22	114322015	\$415.22
114311027	\$415.22	114311073	\$415.22	114322016	\$415.22
114311028	\$415.22	114321001	\$415.22	114322017	\$415.22
114311029	\$415.22	114321002	\$415.22	114322018	\$415.22

## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114322019	\$415.22	114332004	\$415.22	114340026	\$415.22
114322020	\$415.22	114332005	\$415.22	114340027	\$415.22
114322021	\$415.22	114332006	\$415.22	114340028	\$415.22
114322022	\$415.22	114332007	\$415.22	114340029	\$415.22
114323001	\$415.22	114332008	\$415.22	114350001	\$415.22
114323002	\$415.22	114332009	\$415.22	114350002	\$415.22
114323003	\$415.22	114332010	\$415.22	114350003	\$415.22
114323004	\$415.22	114332011	\$415.22	114350004	\$415.22
114323005	\$415.22	114332012	\$415.22	114350005	\$415.22
114323006	\$415.22	114332013	\$415.22	114350006	\$415.22
114323007	\$415.22	114332014	\$415.22	114350007	\$415.22
114323008	\$415.22	114332015	\$415.22	114350008	\$415.22
114323009	\$415.22	114332016	\$415.22	114350009	\$415.22
114323010	\$415.22	114332017	\$415.22	114350010	\$415.22
114323011	\$415.22	114332018	\$415.22	114350011	\$415.22
114323012	\$415.22	114332019	\$415.22	114350012	\$415.22
114323013	\$415.22	114332020	\$415.22	114350013	\$415.22
114323014	\$415.22	114332021	\$415.22	114350014	\$415.22
114323015	\$415.22	114332022	\$415.22	114350015	\$415.22
114323016	\$415.22	114332023	\$415.22	114350016	\$415.22
114323017	\$415.22	114340001	\$415.22	114350017	\$415.22
114331001	\$415.22	114340002	\$415.22	114350018	\$415.22
114331002	\$415.22	114340003	\$415.22	114350019	\$415.22
114331003	\$415.22	114340004	\$415.22	114350020	\$415.22
114331004	\$415.22	114340005	\$415.22	114350021	\$415.22
114331005	\$415.22	114340006	\$415.22	114350022	\$415.22
114331006	\$415.22	114340007	\$415.22	114350023	\$415.22
114331007	\$415.22	114340008	\$415.22	114350024	\$415.22
114331008	\$415.22	114340009	\$415.22	114350025	\$415.22
114331009	\$415.22	114340010	\$415.22	114350026	\$415.22
114331010	\$415.22	114340011	\$415.22	114350027	\$415.22
114331011	\$415.22	114340012	\$415.22	114350028	\$415.22
114331012	\$415.22	114340013	\$415.22	114350029	\$415.22
114331013	\$415.22	114340014	\$415.22	114350030	\$415.22
114331014	\$415.22	114340015	\$415.22	114350031	\$415.22
114331015	\$415.22	114340016	\$415.22	114350032	\$415.22
114331017	\$415.22	114340017	\$415.22	114350033	\$415.22
114331018	\$415.22	114340018	\$415.22	114350034	\$415.22
114331019	\$415.22	114340019	\$415.22	114350035	\$415.22
114331020	\$415.22	114340020	\$415.22	114350036	\$415.22
114332001	\$415.22	114340021	\$415.22	114350037	\$415.22
114332002	\$415.22	114340022	\$415.22	114350038	\$415.22
114332003	\$415.22	114340025	\$415.22	114350039	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114350040	\$415.22	114362013	\$415.22	114381008	\$415.22
114350041	\$415.22	114362014	\$415.22	114381009	\$415.22
114350042	\$415.22	114362015	\$415.22	114381010	\$415.22
114350043	\$415.22	114362016	\$415.22	114381011	\$415.22
114350044	\$415.22	114362017	\$415.22	114381012	\$415.22
114350045	\$415.22	114362018	\$415.22	114381013	\$415.22
114350046	\$415.22	114371001	\$415.22	114381014	\$415.22
114361001	\$415.22	114371002	\$415.22	114381015	\$415.22
114361002	\$415.22	114371003	\$415.22	114381016	\$415.22
114361003	\$415.22	114371004	\$415.22	114381018	\$415.22
114361004	\$415.22	114371005	\$415.22	114381019	\$415.22
114361005	\$415.22	114371006	\$415.22	114381020	\$415.22
114361006	\$415.22	114371007	\$415.22	114381021	\$415.22
114361007	\$415.22	114371008	\$415.22	114381023	\$415.22
114361008	\$415.22	114371009	\$415.22	114381024	\$415.22
114361009	\$415.22	114371010	\$415.22	114381025	\$415.22
114361010	\$415.22	114371011	\$415.22	114381026	\$415.22
114361011	\$415.22	114371012	\$415.22	114381027	\$415.22
114361012	\$415.22	114371013	\$415.22	114381028	\$415.22
114361013	\$415.22	114371014	\$415.22	114381029	\$415.22
114361014	\$415.22	114371015	\$415.22	114381030	\$415.22
114361015	\$415.22	114371016	\$415.22	114382001	\$415.22
114361016	\$415.22	114371017	\$415.22	114382002	\$415.22
114361017	\$415.22	114371018	\$415.22	114382003	\$415.22
114361018	\$415.22	114371019	\$415.22	114382004	\$415.22
114361019	\$415.22	114371020	\$415.22	114382005	\$415.22
114361020	\$415.22	114371021	\$415.22	114382006	\$415.22
114361023	\$415.22	114371022	\$415.22	114382007	\$415.22
114361024	\$415.22	114372001	\$415.22	114382008	\$415.22
114361025	\$415.22	114372002	\$415.22	114382010	\$415.22
114361026	\$415.22	114372003	\$415.22	114382011	\$415.22
114362001	\$415.22	114372004	\$415.22	114382012	\$415.22
114362002	\$415.22	114372005	\$415.22	114382013	\$415.22
114362003	\$415.22	114372006	\$415.22	114382014	\$415.22
114362004	\$415.22	114372007	\$415.22	114382015	\$415.22
114362005	\$415.22	114372008	\$415.22	114382016	\$415.22
114362006	\$415.22	114372009	\$415.22	114382017	\$415.22
114362007	\$415.22	114381001	\$415.22	114382018	\$415.22
114362008	\$415.22	114381002	\$415.22	114382020	\$415.22
114362009	\$415.22	114381003	\$415.22	114382021	\$415.22
114362010	\$415.22	114381004	\$415.22	114382022	\$415.22
114362011	\$415.22	114381005	\$415.22	114382023	\$415.22
114362012	\$415.22	114381006	\$415.22	114382024	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114382026	\$415.22	114401001	\$415.22	114410008	\$415.22
114382027	\$415.22	114401002	\$415.22	114410009	\$415.22
114382028	\$415.22	114401003	\$415.22	114410010	\$415.22
114382029	\$415.22	114401004	\$415.22	114410011	\$415.22
114382030	\$415.22	114401005	\$415.22	114410012	\$415.22
114382031	\$415.22	114401006	\$415.22	114410013	\$415.22
114382033	\$415.22	114401007	\$415.22	114410014	\$415.22
114382034	\$415.22	114401008	\$415.22	114410015	\$415.22
114382035	\$415.22	114401009	\$415.22	114410016	\$415.22
114382036	\$415.22	114401010	\$415.22	114410017	\$415.22
114382038	\$415.22	114401012	\$415.22	114410018	\$415.22
114382039	\$415.22	114401013	\$415.22	114410019	\$415.22
114382040	\$415.22	114401014	\$415.22	114410020	\$415.22
114382041	\$415.22	114401015	\$415.22	114410021	\$415.22
114382042	\$415.22	114401016	\$415.22	114410022	\$415.22
114382043	\$415.22	114401018	\$415.22	114410023	\$415.22
114382045	\$415.22	114401019	\$415.22	114410024	\$415.22
114382046	\$415.22	114401020	\$415.22	114410025	\$415.22
114382047	\$415.22	114401021	\$415.22	114410026	\$415.22
114382048	\$415.22	114401022	\$415.22	114410027	\$415.22
114382049	\$415.22	114401023	\$415.22	114410028	\$415.22
114382050	\$415.22	114401024	\$415.22	114410029	\$415.22
114382052	\$415.22	114401026	\$415.22	114410030	\$415.22
114382053	\$415.22	114401027	\$415.22	114410031	\$415.22
114382054	\$415.22	114401028	\$415.22	114410032	\$415.22
114382055	\$415.22	114401030	\$415.22	114410033	\$415.22
114382056	\$415.22	114401031	\$415.22	114410034	\$415.22
114382057	\$415.22	114401032	\$415.22	114410035	\$415.22
114382059	\$415.22	114401033	\$415.22	114410036	\$415.22
114382060	\$415.22	114401035	\$415.22	114410037	\$415.22
114382061	\$415.22	114401036	\$415.22	114410038	\$415.22
114382062	\$415.22	114401037	\$415.22	114410039	\$415.22
114382064	\$415.22	114401038	\$415.22	114410040	\$415.22
114382065	\$415.22	114401039	\$415.22	114410041	\$415.22
114382067	\$415.22	114401040	\$415.22	114410042	\$415.22
114382068	\$415.22	114401041	\$415.22	114410043	\$415.22
114390001	\$415.22	114410001	\$415.22	114410044	\$415.22
114390002	\$415.22	114410002	\$415.22	114410045	\$415.22
114390003	\$415.22	114410003	\$415.22	114410046	\$415.22
114390004	\$415.22	114410004	\$415.22	114410047	\$415.22
114390005	\$415.22	114410005	\$415.22	114410048	\$415.22
114390006	\$415.22	114410006	\$415.22	114410049	\$415.22
114390007	\$415.22	114410007	\$415.22	114410050	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114410051	\$415.22	114423001	\$415.22	114432006	\$415.22
114410052	\$415.22	114423002	\$415.22	114432007	\$415.22
114410053	\$415.22	114423003	\$415.22	114432008	\$415.22
114410054	\$415.22	114423004	\$415.22	114432009	\$415.22
114410055	\$415.22	114423005	\$415.22	114432010	\$415.22
114410056	\$415.22	114423006	\$415.22	114432011	\$415.22
114410057	\$415.22	114423007	\$415.22	114432012	\$415.22
114421001	\$415.22	114423008	\$415.22	114432013	\$415.22
114421002	\$415.22	114423009	\$415.22	114432014	\$415.22
114421003	\$415.22	114423010	\$415.22	114432015	\$415.22
114421004	\$415.22	114423011	\$415.22	114432016	\$415.22
114421005	\$415.22	114423012	\$415.22	114432017	\$415.22
114421006	\$415.22	114423013	\$415.22	114432018	\$415.22
114421007	\$415.22	114423014	\$415.22	114432019	\$415.22
114421008	\$415.22	114423015	\$415.22	114432020	\$415.22
114421009	\$415.22	114423018	\$415.22	114432021	\$415.22
114421010	\$415.22	114423019	\$415.22	114432022	\$415.22
114421011	\$415.22	114423020	\$415.22	114432023	\$415.22
114421012	\$415.22	114423021	\$415.22	114432024	\$415.22
114421013	\$415.22	114423022	\$415.22	114432026	\$415.22
114421014	\$415.22	114423023	\$415.22	114432027	\$415.22
114421015	\$415.22	114423024	\$415.22	114432028	\$415.22
114421016	\$415.22	114431001	\$415.22	114432029	\$415.22
114421017	\$415.22	114431002	\$415.22	114432030	\$415.22
114421018	\$415.22	114431003	\$415.22	114432032	\$415.22
114421019	\$415.22	114431004	\$415.22	114441001	\$415.22
114421020	\$415.22	114431005	\$415.22	114441002	\$415.22
114421021	\$415.22	114431006	\$415.22	114441003	\$415.22
114421022	\$415.22	114431007	\$415.22	114441004	\$415.22
114422001	\$415.22	114431008	\$415.22	114441005	\$415.22
114422002	\$415.22	114431009	\$415.22	114441006	\$415.22
114422003	\$415.22	114431010	\$415.22	114441007	\$415.22
114422004	\$415.22	114431011	\$415.22	114441008	\$415.22
114422005	\$415.22	114431012	\$415.22	114441009	\$415.22
114422006	\$415.22	114431013	\$415.22	114441010	\$415.22
114422007	\$415.22	114431014	\$415.22	114441011	\$415.22
114422008	\$415.22	114431015	\$415.22	114442001	\$415.22
114422009	\$415.22	114431016	\$415.22	114442002	\$415.22
114422010	\$415.22	114431017	\$415.22	114442003	\$415.22
114422011	\$415.22	114432002	\$415.22	114442004	\$415.22
114422012	\$415.22	114432003	\$415.22	114442005	\$415.22
114422013	\$415.22	114432004	\$415.22	114442006	\$415.22
114422014	\$415.22	114432005	\$415.22	114442007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114442008	\$415.22	114452010	\$415.22	114453029	\$415.22
114442009	\$415.22	114452011	\$415.22	114461001	\$415.22
114442010	\$415.22	114452012	\$415.22	114461002	\$415.22
114442011	\$415.22	114452013	\$415.22	114461003	\$415.22
114442012	\$415.22	114452014	\$415.22	114461004	\$415.22
114442013	\$415.22	114452015	\$415.22	114461005	\$415.22
114442014	\$415.22	114452016	\$415.22	114461006	\$415.22
114442015	\$415.22	114452017	\$415.22	114462001	\$415.22
114442016	\$415.22	114452018	\$415.22	114462002	\$415.22
114442017	\$415.22	114452019	\$415.22	114462003	\$415.22
114442018	\$415.22	114452020	\$415.22	114462004	\$415.22
114443001	\$415.22	114452021	\$415.22	114462005	\$415.22
114443002	\$415.22	114452022	\$415.22	114462006	\$415.22
114443003	\$415.22	114452023	\$415.22	114462007	\$415.22
114443004	\$415.22	114452024	\$415.22	114462008	\$415.22
114443005	\$415.22	114452025	\$415.22	114462009	\$415.22
114443006	\$415.22	114452026	\$415.22	114462010	\$415.22
114443007	\$415.22	114453001	\$415.22	114462011	\$415.22
114443008	\$415.22	114453002	\$415.22	114462012	\$415.22
114443009	\$415.22	114453003	\$415.22	114463001	\$415.22
114443010	\$415.22	114453004	\$415.22	114463002	\$415.22
114443011	\$415.22	114453005	\$415.22	114463004	\$415.22
114443015	\$415.22	114453006	\$415.22	114463005	\$415.22
114443016	\$415.22	114453007	\$415.22	114463006	\$415.22
114443017	\$415.22	114453008	\$415.22	114463007	\$415.22
114443018	\$415.22	114453009	\$415.22	114463008	\$415.22
114451001	\$415.22	114453010	\$415.22	114463009	\$415.22
114451002	\$415.22	114453011	\$415.22	114463010	\$415.22
114451003	\$415.22	114453012	\$415.22	114463011	\$415.22
114451004	\$415.22	114453013	\$415.22	114463012	\$415.22
114451005	\$415.22	114453014	\$415.22	114463013	\$415.22
114451006	\$415.22	114453015	\$415.22	114463014	\$415.22
114451007	\$415.22	114453016	\$415.22	114463015	\$415.22
114451008	\$415.22	114453017	\$415.22	114463016	\$415.22
114452001	\$415.22	114453018	\$415.22	114463017	\$415.22
114452002	\$415.22	114453019	\$415.22	114463018	\$415.22
114452003	\$415.22	114453020	\$415.22	114463019	\$415.22
114452004	\$415.22	114453023	\$415.22	114463020	\$415.22
114452005	\$415.22	114453024	\$415.22	114463021	\$415.22
114452006	\$415.22	114453025	\$415.22	114463022	\$415.22
114452007	\$415.22	114453026	\$415.22	114463023	\$415.22
114452008	\$415.22	114453027	\$415.22	114464001	\$415.22
114452009	\$415.22	114453028	\$415.22	114464002	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114464003	\$415.22	114471025	\$415.22	114481008	\$415.22
114464004	\$415.22	114471026	\$415.22	114481009	\$415.22
114464005	\$415.22	114471027	\$415.22	114481010	\$415.22
114464006	\$415.22	114471028	\$415.22	114481011	\$415.22
114465001	\$415.22	114472001	\$415.22	114481012	\$415.22
114465002	\$415.22	114472002	\$415.22	114481013	\$415.22
114465003	\$415.22	114472003	\$415.22	114481014	\$415.22
114465004	\$415.22	114472004	\$415.22	114481015	\$415.22
114466001	\$415.22	114472005	\$415.22	114481016	\$415.22
114466002	\$415.22	114472006	\$415.22	114481018	\$415.22
114466003	\$415.22	114472007	\$415.22	114481019	\$415.22
114466004	\$415.22	114472008	\$415.22	114481020	\$415.22
114466005	\$415.22	114472009	\$415.22	114481021	\$415.22
114466006	\$415.22	114472010	\$415.22	114481022	\$415.22
114466007	\$415.22	114472011	\$415.22	114481023	\$415.22
114466008	\$415.22	114472012	\$415.22	114481024	\$415.22
114466009	\$415.22	114472013	\$415.22	114481025	\$415.22
114466010	\$415.22	114472014	\$415.22	114481026	\$415.22
114466011	\$415.22	114472015	\$415.22	114481027	\$415.22
114471001	\$415.22	114472016	\$415.22	114481028	\$415.22
114471002	\$415.22	114472017	\$415.22	114481030	\$415.22
114471003	\$415.22	114472018	\$415.22	114481031	\$415.22
114471004	\$415.22	114472019	\$415.22	114481033	\$415.22
114471005	\$415.22	114472020	\$415.22	114481034	\$415.22
114471006	\$415.22	114472021	\$415.22	114481035	\$415.22
114471007	\$415.22	114472022	\$415.22	114481036	\$415.22
114471008	\$415.22	114472023	\$415.22	114481037	\$415.22
114471009	\$415.22	114472024	\$415.22	114481039	\$415.22
114471010	\$415.22	114473001	\$415.22	114481040	\$415.22
114471011	\$415.22	114473002	\$415.22	114481041	\$415.22
114471012	\$415.22	114473003	\$415.22	114481042	\$415.22
114471013	\$415.22	114473004	\$415.22	114481044	\$415.22
114471014	\$415.22	114473005	\$415.22	114481045	\$415.22
114471015	\$415.22	114473006	\$415.22	114481046	\$415.22
114471016	\$415.22	114473007	\$415.22	114481047	\$415.22
114471017	\$415.22	114473008	\$415.22	114481048	\$415.22
114471018	\$415.22	114473009	\$415.22	114481049	\$415.22
114471019	\$415.22	114481001	\$415.22	114481051	\$415.22
114471020	\$415.22	114481002	\$415.22	114481052	\$415.22
114471021	\$415.22	114481003	\$415.22	114481053	\$415.22
114471022	\$415.22	114481004	\$415.22	114481054	\$415.22
114471023	\$415.22	114481005	\$415.22	114481055	\$415.22
114471024	\$415.22	114481006	\$415.22	114481057	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114481058	\$415.22	114491008	\$415.22	114491059	\$415.22
114481059	\$415.22	114491009	\$415.22	114491060	\$415.22
114481060	\$415.22	114491010	\$415.22	114511001	\$415.22
114481061	\$415.22	114491011	\$415.22	114511002	\$415.22
114481063	\$415.22	114491013	\$415.22	114511003	\$415.22
114481064	\$415.22	114491014	\$415.22	114511004	\$415.22
114481065	\$415.22	114491015	\$415.22	114511005	\$415.22
114481066	\$415.22	114491017	\$415.22	114511006	\$415.22
114481067	\$415.22	114491018	\$415.22	114511007	\$415.22
114481068	\$415.22	114491019	\$415.22	114511008	\$415.22
114481069	\$415.22	114491021	\$415.22	114511009	\$415.22
114481071	\$415.22	114491022	\$415.22	114511010	\$415.22
114481072	\$415.22	114491023	\$415.22	114511012	\$415.22
114481073	\$415.22	114491024	\$415.22	114511013	\$415.22
114481074	\$415.22	114491025	\$415.22	114511014	\$415.22
114481075	\$415.22	114491026	\$415.22	114511015	\$415.22
114481076	\$415.22	114491027	\$415.22	114511016	\$415.22
114481077	\$415.22	114491028	\$415.22	114511017	\$415.22
114481078	\$415.22	114491029	\$415.22	114511018	\$415.22
114481079	\$415.22	114491031	\$415.22	114511019	\$415.22
114481080	\$415.22	114491032	\$415.22	114511021	\$415.22
114481082	\$415.22	114491033	\$415.22	114511022	\$415.22
114481083	\$415.22	114491035	\$415.22	114511023	\$415.22
114481084	\$415.22	114491036	\$415.22	114511024	\$415.22
114481085	\$415.22	114491037	\$415.22	114511026	\$415.22
114481086	\$415.22	114491039	\$415.22	114511027	\$415.22
114481087	\$415.22	114491040	\$415.22	114511028	\$415.22
114481088	\$415.22	114491041	\$415.22	114511029	\$415.22
114481090	\$415.22	114491042	\$415.22	114511030	\$415.22
114481091	\$415.22	114491044	\$415.22	114511031	\$415.22
114481092	\$415.22	114491045	\$415.22	114511032	\$415.22
114481093	\$415.22	114491046	\$415.22	114511033	\$415.22
114481094	\$415.22	114491047	\$415.22	114511035	\$415.22
114481095	\$415.22	114491048	\$415.22	114511036	\$415.22
114481096	\$415.22	114491050	\$415.22	114511037	\$415.22
114481097	\$415.22	114491051	\$415.22	114511038	\$415.22
114481098	\$415.22	114491052	\$415.22	114511039	\$415.22
114491001	\$415.22	114491053	\$415.22	114511040	\$415.22
114491002	\$415.22	114491054	\$415.22	114511042	\$415.22
114491003	\$415.22	114491055	\$415.22	114511043	\$415.22
114491004	\$415.22	114491056	\$415.22	114511044	\$415.22
114491005	\$415.22	114491057	\$415.22	114511045	\$415.22
114491007	\$415.22	114491058	\$415.22	114511046	\$415.22



## Assessment Roll

68-2300 - LMD 84-2 Zone 20  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114521001	\$415.22	114521050	\$415.22	114531016	\$415.22
114521002	\$415.22	114521051	\$415.22	114531017	\$415.22
114521003	\$415.22	114521052	\$415.22	114531018	\$415.22
114521004	\$415.22	114521054	\$415.22	114531020	\$415.22
114521005	\$415.22	114521055	\$415.22	114531021	\$415.22
114521006	\$415.22	114521056	\$415.22	114531022	\$415.22
114521007	\$415.22	114521057	\$415.22	114531024	\$415.22
114521008	\$415.22	114521058	\$415.22	114531025	\$415.22
114521009	\$415.22	114521059	\$415.22	114531026	\$415.22
114521010	\$415.22	114521060	\$415.22	114531027	\$415.22
114521012	\$415.22	114521061	\$415.22	114531028	\$415.22
114521013	\$415.22	114521063	\$415.22	114531030	\$415.22
114521014	\$415.22	114521064	\$415.22	114531031	\$415.22
114521015	\$415.22	114521065	\$415.22	114531032	\$415.22
114521016	\$415.22	114521066	\$415.22	114531033	\$415.22
114521018	\$415.22	114521067	\$415.22	114531034	\$415.22
114521019	\$415.22	114521068	\$415.22	114531036	\$415.22
114521021	\$415.22	114521069	\$415.22	114531037	\$415.22
114521022	\$415.22	114521070	\$415.22	114531039	\$415.22
114521024	\$415.22	114521072	\$415.22	114531040	\$415.22
114521025	\$415.22	114521073	\$415.22	114531041	\$415.22
114521026	\$415.22	114521074	\$415.22	114531042	\$415.22
114521027	\$415.22	114521075	\$415.22	114531043	\$415.22
114521028	\$415.22	114521076	\$415.22	114531044	\$415.22
114521029	\$415.22	114521077	\$415.22	114531046	\$415.22
114521030	\$415.22	114521078	\$415.22	114531047	\$415.22
114521031	\$415.22	114521080	\$415.22	114531049	\$415.22
114521033	\$415.22	114521081	\$415.22	114531050	\$415.22
114521034	\$415.22	114521082	\$415.22	114531051	\$415.22
114521035	\$415.22	114521083	\$415.22	114531053	\$415.22
114521036	\$415.22	114531001	\$415.22	114531055	\$415.22
114521037	\$415.22	114531002	\$415.22	114531056	\$415.22
114521038	\$415.22	114531003	\$415.22	114531057	\$415.22
114521039	\$415.22	114531004	\$415.22	114531058	\$415.22
114521040	\$415.22	114531005	\$415.22	114531059	\$415.22
114521041	\$415.22	114531006	\$415.22	114531060	\$415.22
114521043	\$415.22	114531008	\$415.22	114531061	\$415.22
114521044	\$415.22	114531009	\$415.22	114531063	\$415.22
114521045	\$415.22	114531010	\$415.22	114531064	\$415.22
114521046	\$415.22	114531011	\$415.22	114531065	\$415.22
114521047	\$415.22	114531012	\$415.22	114531066	\$415.22
114521048	\$415.22	114531013	\$415.22	114531067	\$415.22
114521049	\$415.22	114531015	\$415.22	114531068	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114531069	\$415.22	114532026	\$415.22	114541034	\$415.22
114531071	\$415.22	114532027	\$415.22	114541035	\$415.22
114531072	\$415.22	114532028	\$415.22	114541036	\$415.22
114531073	\$415.22	114532029	\$415.22	114541037	\$415.22
114531074	\$415.22	114532030	\$415.22	114541038	\$415.22
114531075	\$415.22	114532031	\$415.22	114541039	\$415.22
114531076	\$415.22	114532032	\$415.22	114541040	\$415.22
114531078	\$415.22	114532033	\$415.22	114541042	\$415.22
114531079	\$415.22	114532034	\$415.22	114541043	\$415.22
114531080	\$415.22	114532035	\$415.22	114541044	\$415.22
114531081	\$415.22	114532036	\$415.22	114541045	\$415.22
114531083	\$415.22	114532037	\$415.22	114541046	\$415.22
114531085	\$415.22	114532038	\$415.22	114551001	\$415.22
114531086	\$415.22	114532039	\$415.22	114551002	\$415.22
114531087	\$415.22	114532041	\$415.22	114551003	\$415.22
114531089	\$415.22	114532042	\$415.22	114551005	\$415.22
114531090	\$415.22	114541001	\$415.22	114551006	\$415.22
114531091	\$415.22	114541002	\$415.22	114551007	\$415.22
114531092	\$415.22	114541003	\$415.22	114551008	\$415.22
114532001	\$415.22	114541004	\$415.22	114551010	\$415.22
114532002	\$415.22	114541005	\$415.22	114551011	\$415.22
114532003	\$415.22	114541007	\$415.22	114551012	\$415.22
114532004	\$415.22	114541008	\$415.22	114551013	\$415.22
114532005	\$415.22	114541009	\$415.22	114551014	\$415.22
114532006	\$415.22	114541010	\$415.22	114551015	\$415.22
114532007	\$415.22	114541011	\$415.22	114551017	\$415.22
114532008	\$415.22	114541013	\$415.22	114551018	\$415.22
114532009	\$415.22	114541014	\$415.22	114551019	\$415.22
114532010	\$415.22	114541015	\$415.22	114551020	\$415.22
114532011	\$415.22	114541016	\$415.22	114551021	\$415.22
114532012	\$415.22	114541017	\$415.22	114551022	\$415.22
114532013	\$415.22	114541019	\$415.22	114551023	\$415.22
114532014	\$415.22	114541020	\$415.22	114551025	\$415.22
114532015	\$415.22	114541021	\$415.22	114551026	\$415.22
114532016	\$415.22	114541022	\$415.22	114551027	\$415.22
114532017	\$415.22	114541023	\$415.22	114551028	\$415.22
114532018	\$415.22	114541024	\$415.22	114551029	\$415.22
114532020	\$415.22	114541026	\$415.22	114551030	\$415.22
114532021	\$415.22	114541027	\$415.22	114551031	\$415.22
114532022	\$415.22	114541029	\$415.22	114551032	\$415.22
114532023	\$415.22	114541030	\$415.22	114551033	\$415.22
114532024	\$415.22	114541031	\$415.22	114551035	\$415.22
114532025	\$415.22	114541032	\$415.22	114551036	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114551037	\$415.22	114571042	\$415.22	114572006	\$415.22
114551038	\$415.22	114571043	\$415.22	114572007	\$415.22
114551039	\$415.22	114571045	\$415.22	114572009	\$415.22
114551040	\$415.22	114571046	\$415.22	114572010	\$415.22
114551041	\$415.22	114571047	\$415.22	114572011	\$415.22
114560007	\$415.22	114571048	\$415.22	114572012	\$415.22
114560008	\$415.22	114571049	\$415.22	114572014	\$415.22
114560009	\$415.22	114571050	\$415.22	114572015	\$415.22
114560010	\$415.22	114571051	\$415.22	114572016	\$415.22
114560020	\$415.22	114571052	\$415.22	114572017	\$415.22
114560021	\$415.22	114571054	\$415.22	114572018	\$415.22
114571001	\$415.22	114571055	\$415.22	114572020	\$415.22
114571002	\$415.22	114571056	\$415.22	114572021	\$415.22
114571003	\$415.22	114571057	\$415.22	114572022	\$415.22
114571005	\$415.22	114571059	\$415.22	114572023	\$415.22
114571006	\$415.22	114571060	\$415.22	114572025	\$415.22
114571007	\$415.22	114571062	\$415.22	114572026	\$415.22
114571008	\$415.22	114571063	\$415.22	114572027	\$415.22
114571010	\$415.22	114571064	\$415.22	114572028	\$415.22
114571011	\$415.22	114571065	\$415.22	114572029	\$415.22
114571012	\$415.22	114571066	\$415.22	114572030	\$415.22
114571014	\$415.22	114571067	\$415.22	114572031	\$415.22
114571016	\$415.22	114571068	\$415.22	114572033	\$415.22
114571017	\$415.22	114571069	\$415.22	114572034	\$415.22
114571018	\$415.22	114571070	\$415.22	114572036	\$415.22
114571020	\$415.22	114571072	\$415.22	114572037	\$415.22
114571021	\$415.22	114571073	\$415.22	114572038	\$415.22
114571023	\$415.22	114571074	\$415.22	114581001	\$415.22
114571024	\$415.22	114571075	\$415.22	114581002	\$415.22
114571025	\$415.22	114571076	\$415.22	114581003	\$415.22
114571026	\$415.22	114571077	\$415.22	114581004	\$415.22
114571027	\$415.22	114571079	\$415.22	114581005	\$415.22
114571028	\$415.22	114571081	\$415.22	114581006	\$415.22
114571029	\$415.22	114571082	\$415.22	114581007	\$415.22
114571030	\$415.22	114571083	\$415.22	114581008	\$415.22
114571031	\$415.22	114571084	\$415.22	114581010	\$415.22
114571032	\$415.22	114571085	\$415.22	114581011	\$415.22
114571034	\$415.22	114571086	\$415.22	114581012	\$415.22
114571035	\$415.22	114572001	\$415.22	114581013	\$415.22
114571037	\$415.22	114572002	\$415.22	114581014	\$415.22
114571039	\$415.22	114572003	\$415.22	114581015	\$415.22
114571040	\$415.22	114572004	\$415.22	114581016	\$415.22
114571041	\$415.22	114572005	\$415.22	114581017	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114581019	\$415.22	114581070	\$415.22	114591036	\$415.22
114581020	\$415.22	114581071	\$415.22	114591037	\$415.22
114581021	\$415.22	114581072	\$415.22	114592001	\$415.22
114581023	\$415.22	114581073	\$415.22	114592002	\$415.22
114581024	\$415.22	114581074	\$415.22	114592003	\$415.22
114581025	\$415.22	114581075	\$415.22	114592004	\$415.22
114581026	\$415.22	114581076	\$415.22	114592005	\$415.22
114581027	\$415.22	114581077	\$415.22	114592006	\$415.22
114581028	\$415.22	114581078	\$415.22	114592007	\$415.22
114581029	\$415.22	114581079	\$415.22	114592008	\$415.22
114581031	\$415.22	114591001	\$415.22	114592009	\$415.22
114581032	\$415.22	114591002	\$415.22	114592010	\$415.22
114581033	\$415.22	114591003	\$415.22	114592011	\$415.22
114581034	\$415.22	114591004	\$415.22	114592012	\$415.22
114581035	\$415.22	114591005	\$415.22	114592013	\$415.22
114581036	\$415.22	114591006	\$415.22	114592014	\$415.22
114581037	\$415.22	114591007	\$415.22	114592015	\$415.22
114581039	\$415.22	114591008	\$415.22	114592016	\$415.22
114581040	\$415.22	114591010	\$415.22	114592017	\$415.22
114581041	\$415.22	114591011	\$415.22	114592018	\$415.22
114581042	\$415.22	114591012	\$415.22	114592019	\$415.22
114581044	\$415.22	114591013	\$415.22	114592020	\$415.22
114581045	\$415.22	114591014	\$415.22	114592021	\$415.22
114581046	\$415.22	114591015	\$415.22	114592022	\$415.22
114581047	\$415.22	114591016	\$415.22	114592023	\$415.22
114581048	\$415.22	114591017	\$415.22	114592024	\$415.22
114581049	\$415.22	114591018	\$415.22	114601001	\$415.22
114581050	\$415.22	114591019	\$415.22	114601002	\$415.22
114581052	\$415.22	114591020	\$415.22	114601003	\$415.22
114581053	\$415.22	114591021	\$415.22	114601004	\$415.22
114581054	\$415.22	114591022	\$415.22	114601005	\$415.22
114581055	\$415.22	114591023	\$415.22	114601006	\$415.22
114581057	\$415.22	114591024	\$415.22	114601007	\$415.22
114581058	\$415.22	114591025	\$415.22	114601008	\$415.22
114581059	\$415.22	114591026	\$415.22	114601009	\$415.22
114581060	\$415.22	114591027	\$415.22	114601010	\$415.22
114581062	\$415.22	114591028	\$415.22	114601011	\$415.22
114581063	\$415.22	114591029	\$415.22	114601012	\$415.22
114581064	\$415.22	114591030	\$415.22	114601013	\$415.22
114581065	\$415.22	114591031	\$415.22	114601014	\$415.22
114581066	\$415.22	114591032	\$415.22	114601015	\$415.22
114581067	\$415.22	114591033	\$415.22	114601016	\$415.22
114581068	\$415.22	114591035	\$415.22	114601017	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114603001	\$415.22	116171008	\$415.22	116181010	\$415.22
114603002	\$415.22	116171011	\$415.22	116181011	\$415.22
114603003	\$415.22	116171012	\$415.22	116181012	\$415.22
114603004	\$415.22	116171013	\$415.22	116181013	\$415.22
114603005	\$415.22	116171014	\$415.22	116181014	\$415.22
114603006	\$415.22	116171015	\$415.22	116182001	\$415.22
114603007	\$415.22	116171016	\$415.22	116182002	\$415.22
114603008	\$415.22	116171017	\$415.22	116182003	\$415.22
114603009	\$415.22	116171018	\$415.22	116182004	\$415.22
114603010	\$415.22	116171019	\$415.22	116182005	\$415.22
114603011	\$415.22	116171020	\$415.22	116182006	\$415.22
114603012	\$415.22	116172001	\$415.22	116182007	\$415.22
114603013	\$415.22	116172002	\$415.22	116182008	\$415.22
114603014	\$415.22	116172003	\$415.22	116182009	\$415.22
114603015	\$415.22	116172004	\$415.22	116182010	\$415.22
114603016	\$415.22	116172005	\$415.22	116182011	\$415.22
114603017	\$415.22	116172006	\$415.22	116182012	\$415.22
114603018	\$415.22	116172007	\$415.22	116191001	\$415.22
114603019	\$415.22	116172008	\$415.22	116191002	\$415.22
114611001	\$415.22	116172009	\$415.22	116191003	\$415.22
114611002	\$415.22	116172010	\$415.22	116191004	\$415.22
114611003	\$415.22	116172011	\$415.22	116191005	\$415.22
114611004	\$415.22	116172012	\$415.22	116191006	\$415.22
114611005	\$415.22	116172013	\$415.22	116191007	\$415.22
114611006	\$415.22	116172014	\$415.22	116191008	\$415.22
114612001	\$415.22	116172015	\$415.22	116192001	\$415.22
114612002	\$415.22	116172016	\$415.22	116192002	\$415.22
114612003	\$415.22	116172017	\$415.22	116192003	\$415.22
114612004	\$415.22	116172018	\$415.22	116192004	\$415.22
114612005	\$415.22	116172019	\$415.22	116192006	\$415.22
114612006	\$415.22	116172020	\$415.22	116192007	\$415.22
114612007	\$415.22	116172021	\$415.22	116192008	\$415.22
114612008	\$415.22	116172022	\$415.22	116192009	\$415.22
114612009	\$415.22	116172023	\$415.22	116192010	\$415.22
114612010	\$415.22	116181001	\$415.22	116192011	\$415.22
114612011	\$415.22	116181002	\$415.22	116192012	\$415.22
116171001	\$415.22	116181003	\$415.22	116192013	\$415.22
116171002	\$415.22	116181004	\$415.22	116192014	\$415.22
116171003	\$415.22	116181005	\$415.22	116192015	\$415.22
116171004	\$415.22	116181006	\$415.22	116192016	\$415.22
116171005	\$415.22	116181007	\$415.22	116192017	\$415.22
116171006	\$415.22	116181008	\$415.22	116192018	\$415.22
116171007	\$415.22	116181009	\$415.22	116192019	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116192020	\$415.22	116201007	\$415.22	116202010	\$415.22
116192021	\$415.22	116201008	\$415.22	116202011	\$415.22
116192022	\$415.22	116201009	\$415.22	116202012	\$415.22
116192023	\$415.22	116201010	\$415.22	116202013	\$415.22
116192024	\$415.22	116202003	\$415.22	116202014	\$415.22
116201001	\$415.22	116202004	\$415.22	116202015	\$415.22
116201002	\$415.22	116202005	\$415.22	116202016	\$415.22
116201003	\$415.22	116202006	\$415.22	116202023	\$415.22
116201004	\$415.22	116202007	\$415.22	275100003	\$415.22
116201005	\$415.22	116202008	\$415.22		
116201006	\$415.22	116202009	\$415.22		
<b>Totals</b>		<b>Parcels 2,482</b>		<b>Levy \$1,068,673.40</b>	

# APPENDIX B

## Assessment Diagrams



SPICER CONSULTING  
G R O U P





## Landscape Maintenance District No. 84 - 2

### ZONE 1







## Landscape Maintenance District No. 84 - 2 ZONE 2





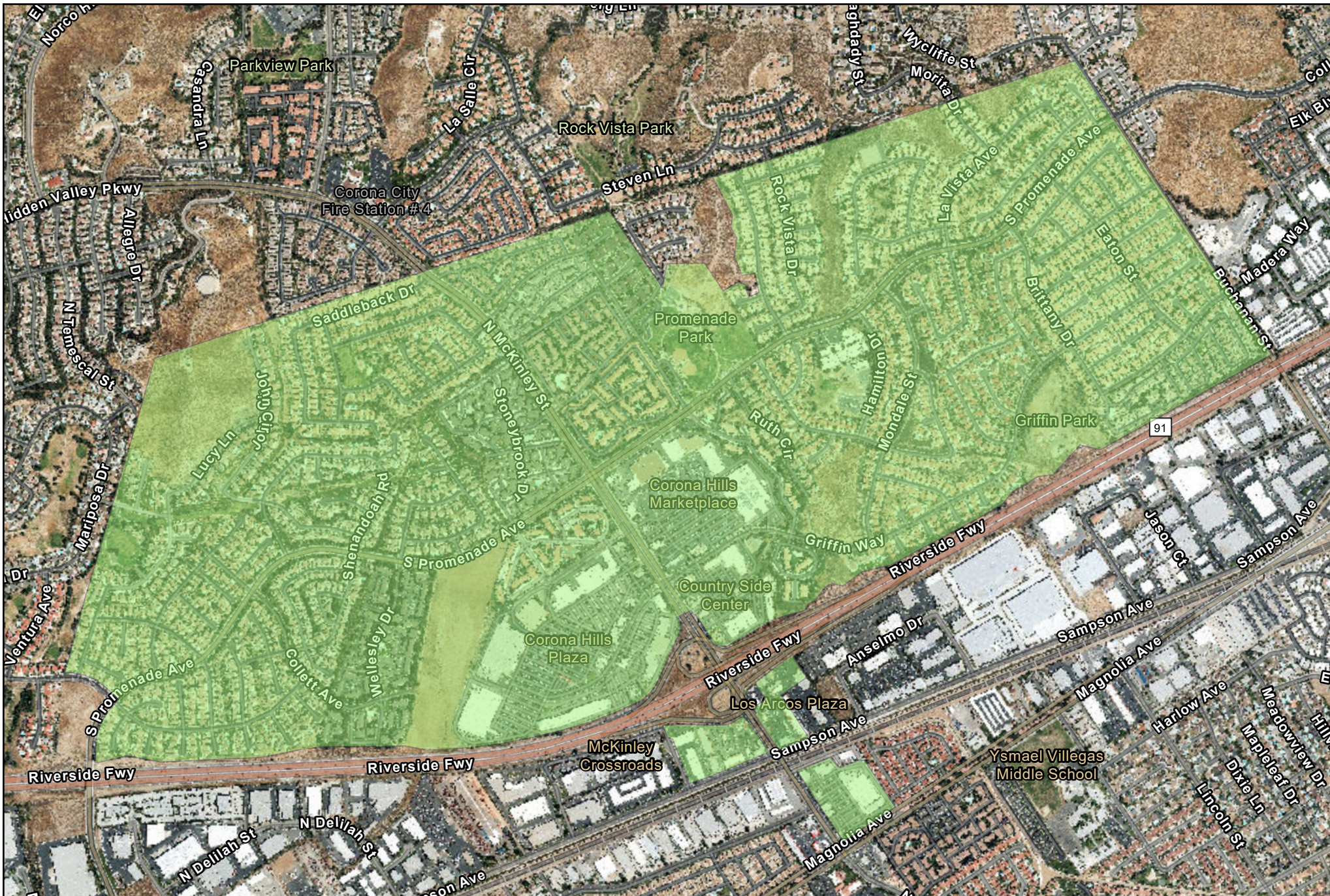


## Landscape Maintenance District No. 84 - 2

### ZONE 4







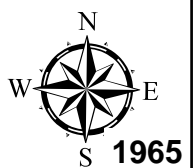
## Landscape Maintenance District No. 84 - 2 ZONE 6







# Landscape Maintenance District No. 84 - 2 ZONE 7



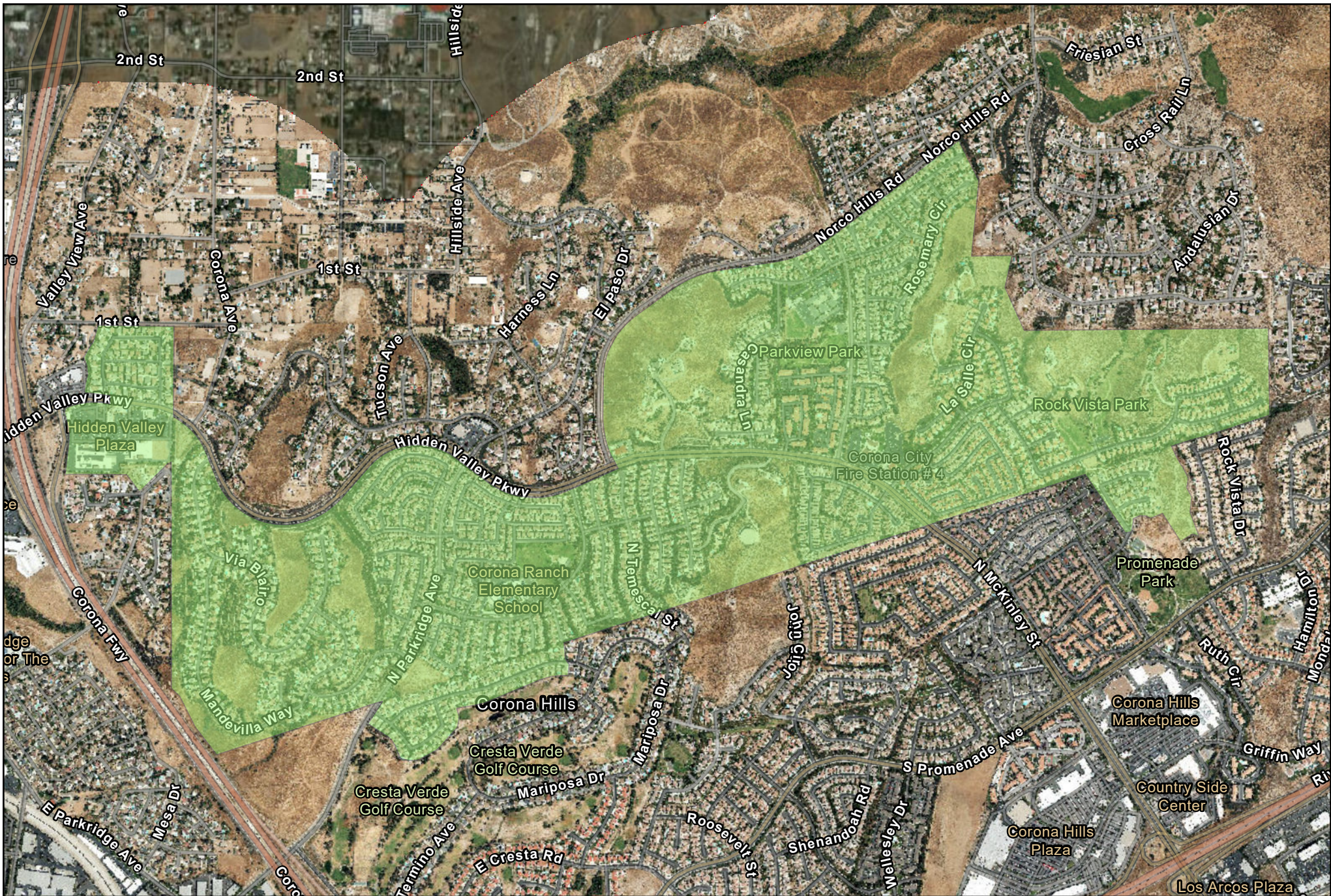




# Landscape Maintenance District No. 84 - 2 ZONE 10



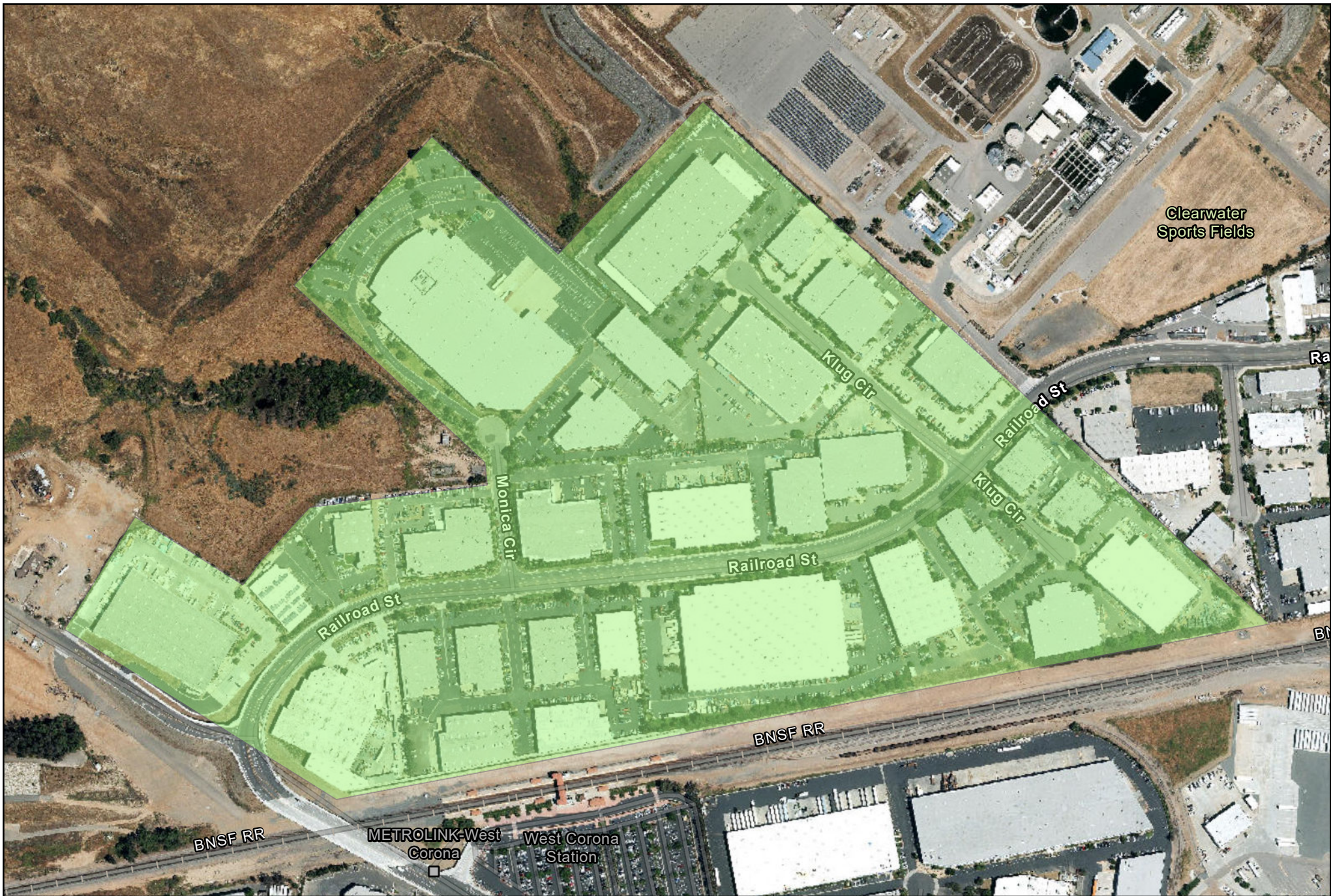




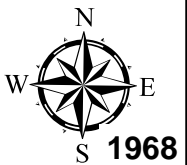
**Landscape Maintenance District No. 84 - 2**  
**ZONE 14**







**Landscape Maintenance District No. 84 - 2**  
**ZONE 15**







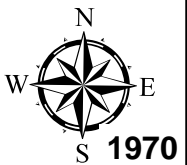
**Landscape Maintenance District No. 84 - 2**  
**ZONE 17**



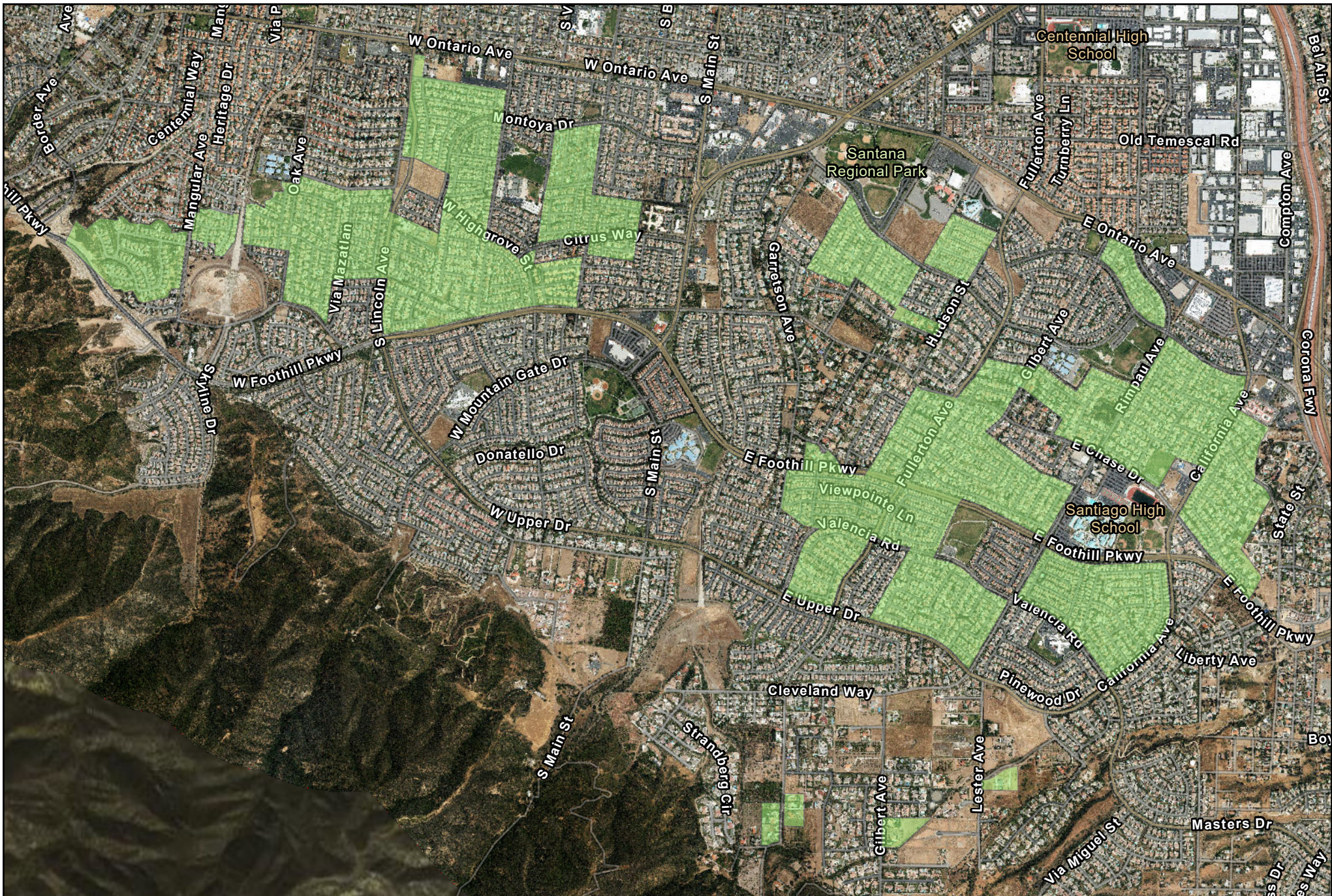




**Landscape Maintenance District No. 84 - 2**  
**ZONE 18**





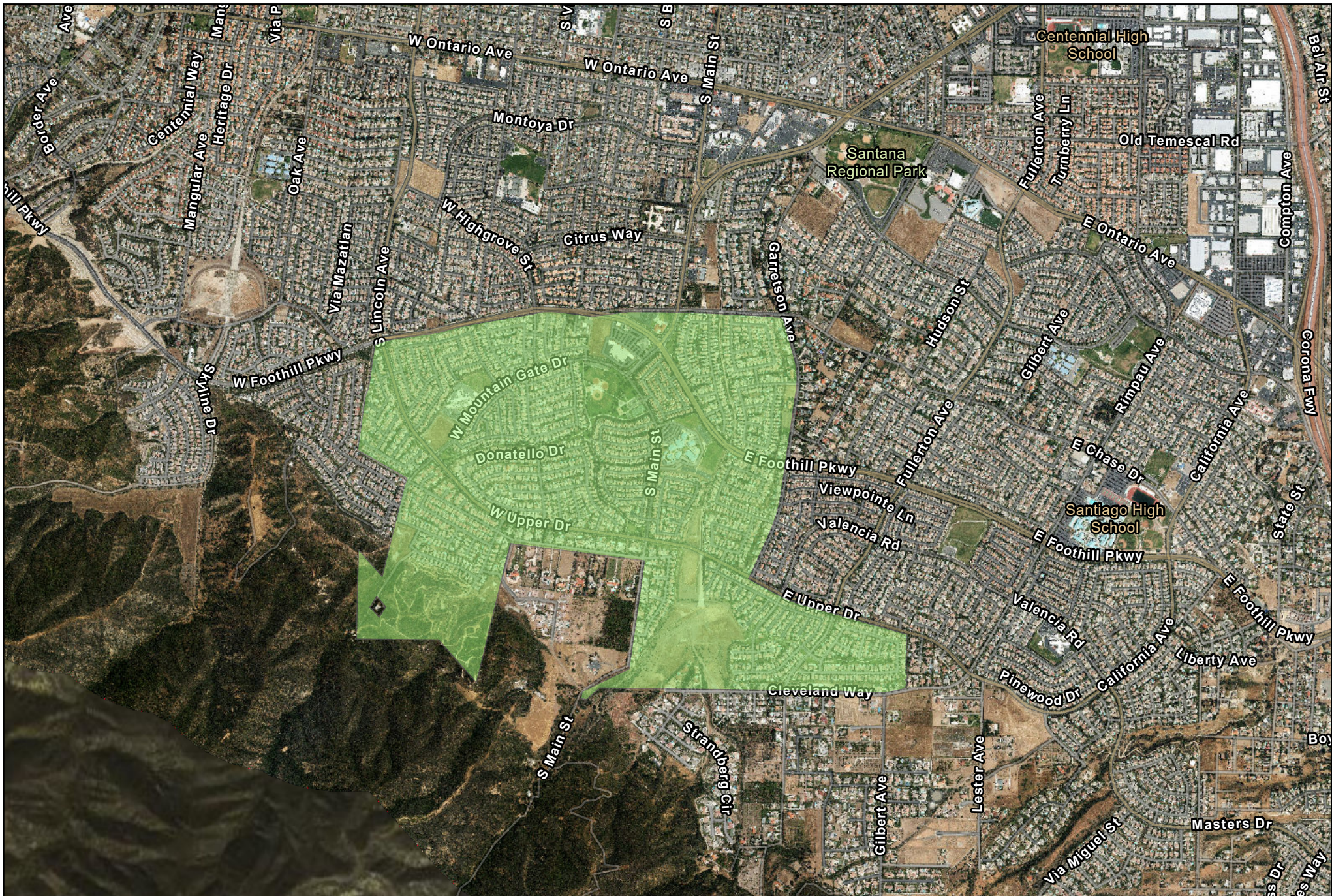


## Landscape Maintenance District No. 84 - 2

### ZONE 19

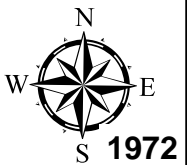






## Landscape Maintenance District No. 84 - 2

### ZONE 20





# APPENDIX C

## Capital Improvement Projects



SPIKER CONSULTING  
G R O U P

The Community Services Department is developing a master plan for each zone that would include capital projects, operational activities, and revenue requirements to meet the objectives and service levels desired. Revenue requirements are set to cover annual operating costs and build reserves over time to perform focused capital replacements year over year, or large capital replacements in one anticipated year. Projects will be brought before City Council for approval as they are developed through the master plan. Zone specific projects are listed below:

#### *Zone 1 Capital Project*

In Fiscal Year 2012, all turf was removed and replaced with decomposed granite and trees on drip irrigation. Constituents have expressed a desire to add more color to the area, and so funds will be used to add in some additional vegetation. Future projects will be developed through the master plan process referenced above.

#### *Zone 2 Capital Project*

In Fiscal Year 2018, Zone 2 retrofitted approximately 28,000 square feet of landscaping, consisting of parkway turf removal and replanting and irrigation retrofit of the medians along Corydon Street. Future projects will be developed through the master plan process referenced above.

#### *Zone 4 Capital Project*

Zone 4 had 7,000 square feet of parkway turf along Ontario Avenue removed and replaced with low-water use plants and high-efficiency irrigation in Fiscal Year 2018. In future years, upon build-up of reserves, the City will re-bid the previously designed areas along Fullerton Avenues and Old Temescal Road. Future projects will be developed through the master plan process referenced above.

#### *Zone 6 Capital Project*

In Fiscal Year 2018, the medians along Promenade Avenue in Zone 6 received in-fill planting. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 7 Capital Project*

The 62,780 square feet of landscaping renovation for Zone 7 was completed in Fiscal Year 2018. The landscape renovation project in Zone 7 parkways along Ontario Avenue from Oak to Mangular Avenues was completed in Fiscal Year 2019. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 10 Capital Projects*

The first year landscape renovation project in Zone 10 was completed by the end of the Fiscal Year 2018. This project renovated approximately 125,000 square feet of landscaping for Year 1 of Zone 10's ten-year capital improvement plan.

The parkways along the south side of Oakridge Drive were completed in FY 2020. The Oakridge portion of the project renovated 12,400 square feet of parkways, totaling \$105,000. Year 2 construction was completed during FY 2021. This project rehabilitated 63,745 square feet of slope areas and parkways, including the removal of ice plant, installation of low-precipitation rotary nozzles and acacia for slope stability. Additionally, a new irrigation controller, decomposed granite and bench seating was installed in an open space area along Rutland Drive. The total project cost was \$711,551.15.

Additionally, the City of Corona contracted with Ninyo & Moore, a geotechnical and environmental sciences consulting firm, to further examine several slope areas in Zone 10, Areas 55, 89, and 272. These areas were previously observed to have some surficial slope erosion and damage to concrete drainage ditches which required more investigation. After receiving the report from Ninyo & Moore, the City focused in on an area behind two homes located along Dominguez Rancho Road based on Ninyo & Moore's findings. The City subsequently requested a more detailed report, including soils sampling and testing, focused on this area from a company named GeoTek, Inc. GeoTek's findings indicate that future remediation actions will be necessary on the slope in this area, however, the slope itself at its base is stable. The City is currently working with an engineering design firm, Hunsaker and Associates, for design services based upon GeoTek's recommendations. Cost estimates are unavailable at this time, since the final design solution is unknown.

#### *Zone 14 Capital Projects*

Just over 23,000 square feet of turf was removed from the parkways along Hidden Valley Parkway in Zone 14 and replaced with drip irrigation and low-water use plants in Fiscal Year 2018. In Fiscal Year 2020, the turf removal from parkways on Hidden Valley

Parkway continued from the current project limits all the way to the Zone 14 boundary near Ranch Vista Road. This area totals almost 47,000 square feet, and cost approximately \$370,000. Additional areas for turf removal projects will continue to be identified for future projects. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

#### *Zone 15 Capital Projects*

The project to remove and re-landscape the turf along both sides of Railroad was completed in Fiscal Year 2018.

#### *Zone 17 Capital Projects*

13,629 square feet of landscaping for Zone 17 was renovated in Fiscal Year 2018. The turf was removed and replaced with an efficient drip system and low water use plant materials. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 18 Capital Projects*

Zone 18 parkways and monument area at the corner of River Road and Lincoln Avenue, totaling 24,569 square feet of landscaping, were renovated to include water-efficient plants, drip irrigation, in addition to some cobblestone hardscape, in Fiscal Year 2018. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 19 Capital Projects*

The City continues to look for opportunities to help reduce expenses for the zone, such as rebates for landscaping renovations and low-interest loans. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 20 Capital Projects*

Approximately 68,700 square feet of landscaping was renovated in Zone 20 in Fiscal Year 2018. Planned projects for the greenbelt area include: installing additional pet waste stations, replacing lighting as needed, developing a schedule for bench and picnic table replacement and completing these replacements, replacing fitness equipment, and replacing trash cans. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

\*All rebate funding for the various zones has been received by Fiscal Year 2020.

## Zone 10 Slope Maintenance Prioritization

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
133	1690 OAKRIDGE DR	3,195.26	3	1	Complete		
53	1691 OAKRIDGE DR	64,682.45	3	1	Complete		
65	1691 OAKRIDGE DR	11,287.38	3	1	Complete		
267	1305 OAKRIDGE DR	7,888.40	5	1	Complete		
286	1690 OAKRIDGE DR	13,091.00	7	1	Complete		
164	1691 OAKRIDGE DR	969.03	9	1	Complete		
76	1305 OAKRIDGE DR	97,523.62	11	1	Complete		
97	1305 OAKRIDGE DR	27,409.66	11	1	Complete		
268	1305 OAKRIDGE DR	16,830.93	11	1	Complete		
129	1690 OAKRIDGE DR	138,377.16	11	1	Complete		
166	1690 OAKRIDGE DR	51,101.87	11	1	Complete		
115	1691 OAKRIDGE DR	129,243.74	11	1	Complete		
167	1691 OAKRIDGE DR	10,920.96	11	1	Complete		
118	1305 OAKRIDGE DR	168.00	12	1	Complete		
102	1690 OAKRIDGE DR	3,338.00	12	1	Complete		
141	1690 OAKRIDGE DR	5,401.00	12	1	Complete		
114	1691 OAKRIDGE DR	6,908.00	12	1	Complete		
52	1691 OAKRIDGE DR	241.00	12	1	Complete		
121	1691 OAKRIDGE DR	132.00	12	1	Complete		
150	1691 OAKRIDGE DR	167.00	12	1	Complete		
165	1691 OAKRIDGE DR	212.00	12	1	Complete		
280		67,400.76	4	1.5	Not Irrigated		
269	1588 SAN PONTE	19,960.47	2	2	Complete		
271	1208 DOMINGUEZ RANCH RD	16,679.64	3	2	Complete		
270	1588 SAN PONTE	23,616.44	3	2	Complete		
21	3786 GREEN RIVER RD A	23,616.44	3	2	Complete		
1	825 HIGHLAND VIEW DR	93,375.95	3	2	Complete		
44	1208 DOMINGUEZ RANCH RD	48,077.57	5	2	Complete		
281	825 HIGHLAND VIEW DR	248,977.00	6	2	Complete		
272	1208 DOMINGUEZ RANCH RD	17,987.41	9	2	Complete		
86	1588 SAN PONTE	67,886.30	10	2	Complete		
7	3786 GREEN RIVER RD A	203,956.15	11	2	Construction		
20	1208 DOMINGUEZ RANCH RD	44,105.23	12	2	Complete		
49	1208 DOMINGUEZ RANCH RD	590.00	12	2	Complete		
60	1208 DOMINGUEZ RANCH RD	605.00	12	2	Complete		
63	1250 CANYON CREST DR	917.00	12	2	Complete		
71	1250 CANYON CREST DR	5,931.00	12	2	Complete		
74	1250 CANYON CREST DR	148.00	12	2	Complete		
81	1250 CANYON CREST DR	1,132.00	12	2	Complete		
83	1250 CANYON CREST DR	1,303.00	12	2	Complete		
93	1250 CANYON CREST DR	1,343.00	12	2	Complete		
130	1588 SAN PONTE	1,522.00	12	2	Complete		
3	825 HIGHLAND VIEW DR	572.00	12	2	Complete		
4	825 HIGHLAND VIEW DR	1,097.00	12	2	Complete		
289	1554 BALDY VIEW CI	4,486.00	3	3	Design	\$2.00	\$8,972.00
259	1554 BALDY VIEW CI	19,752.22	3	3	Design	\$2.00	\$39,504.44

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
265	3692 ALVARADO CI	5,507.45	3	3	Design	\$2.00	\$11,014.90
148	1151 SERFAS CLUB DR	103,390.70	5	3	Design	\$2.00	\$206,781.40
254	1554 BALDY VIEW CI	2,271.90	5	3	Design	\$2.00	\$4,543.80
82	3260 GREEN RIVER RD	96,772.78	5	3	Design	\$2.00	\$193,545.56
266	3692 ALVARADO CI	25,898.84	5	3	Design	\$2.00	\$51,797.69
283	4194 GREEN RIVER RD	17,311.00	5	3	Design	\$2.00	\$34,622.00
273	4194 GREEN RIVER RD	11,079.13	5	3	Design	\$2.00	\$22,158.25
196	1554 BALDY VIEW CI	41,577.72	6	3	Design	\$2.00	\$83,155.43
253	1554 BALDY VIEW CI	12,320.77	6	3	Design	\$2.00	\$24,641.53
25	2828 RIDGELINE DR	69,244.77	6	3	Design	\$2.00	\$138,489.54
41	4194 GREEN RIVER RD	35,466.54	6	3	Design	\$2.00	\$70,933.08
220	1554 BALDY VIEW CI	9,463.84	7	3	Design	\$2.00	\$18,927.69
108	1151 SERFAS CLUB DR	51,632.54	8	3	Design	\$2.00	\$103,265.08
244	1151 SERFAS CLUB DR	25,279.48	9	3	Design	\$2.00	\$50,558.97
13	4194 GREEN RIVER RD	6,315.64	9	3	Design	\$2.00	\$12,631.28
200	1554 BALDY VIEW CI	3,675.86	10	3	Design	\$2.00	\$7,351.71
119	3692 ALVARADO CI	158,666.54	10	3	Design	\$2.00	\$317,333.07
192	1554 BALDY VIEW CI	43,823.08	11	3	Design	\$2.00	\$87,646.16
199	1554 BALDY VIEW CI	43,341.46	11	3	Design	\$2.00	\$86,682.92
106	1151 SERFAS CLUB DR	9,776.00	12	3	Design	\$2.00	\$19,552.00
151	3692 ALVARADO CI	441.00	12	3	Design	\$2.00	\$882.00
10	4194 GREEN RIVER RD	1,113.00	12	3	Design	\$2.00	\$2,226.00
11	4194 GREEN RIVER RD	626.00	12	3	Design	\$2.00	\$1,252.00
227	1611 MONTANA RANCH RD	11,103.57	3	4			
242	3787 GREEN RIVER RD A	19,404.22	3	4			
282	2997 JUNIPER DR	17,518.00	4	4			
109	1172 SAN LORENZO LN	1,425.00	5	4			
120	1172 SAN LORENZO LN	334.00	6	4			
225	1611 MONTANA RANCH RD	11,558.63	6	4			
2	2997 JUNIPER DR	357,052.16	6	4			
116	1172 SAN LORENZO LN	588.00	7	4			
213	1611 MONTANA RANCH RD	33,894.98	7	4			
226	1611 MONTANA RANCH RD	25,324.24	8	4			
0	3787 GREEN RIVER RD A	309,614.97	9	4			
241	3787 GREEN RIVER RD A	65,031.78	9	4			
222	1611 MONTANA RANCH RD	7,270.63	11	4			
252	1611 MONTANA RANCH RD	5,080.69	11	4			
204	1611 MONTANA RANCH RD	4,886.00	12	4			
212	1611 MONTANA RANCH RD	760.00	12	4			
214	1611 MONTANA RANCH RD	1,147.32	12	4			
248	1665 CALLE DEL ORO	11,003.78	3	5			
245	1660 PASEO GRANDE	31,526.14	5	5			
288	2950 WILDERNESS CI	6,266.00	5	5			
75	2830 RIDGELINE DR	112,960.29	7	5			
246	1660 PASEO GRANDE	20,423.09	8	5			
218	1665 CALLE DEL ORO	57,816.52	8	5			



Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
247	1660 PASEO GRANDE	45,442.36	9	5			
249	1665 CALLE DEL ORO	6,542.60	9	5			
250	1665 CALLE DEL ORO	8,781.19	9	5			
209	2950 WILDERNESS CI	27,806.01	9	5			
195	2950 WILDERNESS CI	8,268.92	10	5			
191	1660 PASEO GRANDE	59,342.44	11	5			
210	1660 PASEO GRANDE	8,434.00	11	5			
240	1660 PASEO GRANDE	1,185.00	11	5			
232	1665 CALLE DEL ORO	1,103.00	11	5			
236	1665 CALLE DEL ORO	881.00	11	5			
284	2830 RIDGELINE DR	95,493.00	11	5			
243	2830 RIDGELINE DR	87,938.07	11	5			
180	2950 WILDERNESS CI	1,237.00	11	5			
181	2950 WILDERNESS CI	15,168.62	11	5			
190	2950 WILDERNESS CI	971.00	11	5			
193	2950 WILDERNESS CI	2,297.00	11	5			
194	2950 WILDERNESS CI	805.00	11	5			
197	2950 WILDERNESS CI	1,856.00	11	5			
198	2950 WILDERNESS CI	5,293.29	11	5			
205	2950 WILDERNESS CI	1,126.17	11	5			
206	2950 WILDERNESS CI	551.00	11	5			
207	2950 WILDERNESS CI	2,225.71	11	5			
261	2950 WILDERNESS CI	3,905.08	11	5			
262	2950 WILDERNESS CI	4,333.23	11	5			
107	1120 SERFAS CLUB DR	8,777.66	5	6			
46	1036 REDBERRY LN	20,949.71	6	6			
55	1036 REDBERRY LN	22,407.43	6	6			
258	2890 GREEN RIVER RD	104,312.22	7	6			
35	1036 REDBERRY LN	1,974.18	9	6			
38	1036 REDBERRY LN	55,676.26	9	6			
275	1036 REDBERRY LN	1,511.61	9	6			
276	1036 REDBERRY LN	13,609.38	9	6			
285	2890 GREEN RIVER RD	22,386.00	9	6			
125	2890 GREEN RIVER RD	172,423.94	9	6			
175	2890 GREEN RIVER RD	27,728.94	9	6			
39	1036 REDBERRY LN	2,522.00	11	6			
73	1036 REDBERRY LN	841.00	11	6			
103	1120 SERFAS CLUB DR	16,692.00	11	6			
113	1120 SERFAS CLUB DR	23,054.69	11	6			
144	1120 SERFAS CLUB DR	1,629.00	11	6			
169	1120 SERFAS CLUB DR	1,214.00	11	6			
168	2890 GREEN RIVER RD	227.00	11	6			
257	2820 GREEN RIVER RD #A	78,232.68	7	7			
264	3258 GREEN RIVER RD	8,010.89	8	7			
80	3261 GREEN RIVER RD	44,342.45	8	7			
28	3695 GREEN RIVER RD	50,706.07	8	7			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
68	3258 GREEN RIVER RD	9,128.15	9	7			
90	3258 GREEN RIVER RD	4,340.99	9	7			
96	3258 GREEN RIVER RD	21,692.30	9	7			
112	3258 GREEN RIVER RD	25,095.72	9	7			
104	3261 GREEN RIVER RD	1,982.77	9	7			
29	3695 GREEN RIVER RD	15,631.53	9	7			
171	3950 SAN RAMON	2,229.99	9	7			
178	3950 SAN RAMON	49,481.00	9	7			
155	2820 GREEN RIVER RD #A	99,537.06	10	7			
274	3695 GREEN RIVER RD	27,013.74	11	7			
87	3258 GREEN RIVER RD	760.00	12	7			
89	3258 GREEN RIVER RD	728.00	12	7			
138	3258 GREEN RIVER RD	242.00	12	7			
69	3261 GREEN RIVER RD	15,894.16	12	7			
77	3261 GREEN RIVER RD	606.00	12	7			
78	3261 GREEN RIVER RD	760.00	12	7			
278	3261 GREEN RIVER RD	2,546.38	12	7			
279	3261 GREEN RIVER RD	878.18	12	7			
30	3695 GREEN RIVER RD	2,400.00	12	7			
43	3695 GREEN RIVER RD	5,103.00	12	7			
61	3695 GREEN RIVER RD	2,082.37	12	7			
62	3695 GREEN RIVER RD	1,291.00	12	7			
70	3695 GREEN RIVER RD	2,075.00	12	7			
173	3950 SAN RAMON	1,729.00	12	7			
174	3950 SAN RAMON	264.00	12	7			
176	3950 SAN RAMON	327.00	12	7			
177	3950 SAN RAMON	1,904.00	12	7			
187	1598 MONTANA RANCH RD	156,015.03	7	8			
217	1625 CALLE DEL ORO	40,851.44	7	8			
251	1625 CALLE DEL ORO	23,496.80	8	8			
48	1242 DOMINGUEZ RANCH RD	17,468.69	9	8			
208	1598 MONTANA RANCH RD	29,304.08	9	8			
219	1598 MONTANA RANCH RD	19,873.11	9	8			
277	1598 MONTANA RANCH RD	112,046.11	9	8			
64	2831 RIDGELINE DR	22,128.68	9	8			
287	3059 DIAMOND VIEW CI	79,444.00	9	8			
147	3059 DIAMOND VIEW CI	124,151.28	9	8			
260	3059 DIAMOND VIEW CI	13,469.38	9	8			
255	2598 GREEN RIVER RD	54,796.70	10	8			
160	2820 GREEN RIVER RD #B	2,383.15	10	8			
183	2598 GREEN RIVER RD	158,465.93	11	8			
163	2820 GREEN RIVER RD #B	15,641.23	11	8			
47	1242 DOMINGUEZ RANCH RD	537.00	12	8			
211	1598 MONTANA RANCH RD	4,320.00	12	8			
215	1625 CALLE DEL ORO	1,661.58	12	8			
216	1625 CALLE DEL ORO	502.00	12	8			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
221	1625 CALLE DEL ORO	1,847.00	12	8			
231	1625 CALLE DEL ORO	523.00	12	8			
95	2820 GREEN RIVER RD #B	5,516.00	12	8			
111	2820 GREEN RIVER RD #B	3,214.00	12	8			
131	2820 GREEN RIVER RD #B	171.00	12	8			
134	2820 GREEN RIVER RD #B	764.00	12	8			
137	2820 GREEN RIVER RD #B	377.00	12	8			
142	2820 GREEN RIVER RD #B	1,074.00	12	8			
153	2820 GREEN RIVER RD #B	1,051.00	12	8			
159	2820 GREEN RIVER RD #B	632.00	12	8			
162	2820 GREEN RIVER RD #B	4,262.00	12	8			
172	2820 GREEN RIVER RD #B	2,768.00	12	8			
56	2831 RIDGELINE DR	2,353.00	12	8			
184	3059 DIAMOND VIEW CI	304.00	12	8			
22	975 HIGHLAND VIEW DR	2,058.27	6	9			
101	1250 CANYON CREST DR	1,600.00	9	9			
51	1250 CANYON CREST DR	278,585.04	9	9			
98	1251 CANYON CREST DR	59,353.27	9	9			
203	2210 GREEN RIVER RD	26,668.80	9	9			
234	2210 GREEN RIVER RD	10,908.72	9	9			
256	2210 GREEN RIVER RD	7,268.20	9	9			
19	975 HIGHLAND VIEW DR	10,521.92	9	9			
92	1251 CANYON CREST DR	21,612.06	11	9			
235	2210 GREEN RIVER RD	38,820.39	11	9			
239	2210 GREEN RIVER RD	46,560.87	11	9			
67	1251 CANYON CREST DR	1,163.00	12	9			
79	1251 CANYON CREST DR	223.00	12	9			
84	1251 CANYON CREST DR	547.00	12	9			
85	1251 CANYON CREST DR	11,034.17	12	9			
263	1251 CANYON CREST DR	12,872.17	12	9			
201	2210 GREEN RIVER RD	1,260.00	12	9			
202	2210 GREEN RIVER RD	4,306.00	12	9			
223	2210 GREEN RIVER RD	730.00	12	9			
224	2210 GREEN RIVER RD	1,032.00	12	9			
230	2210 GREEN RIVER RD	1,836.82	12	9			
18	975 HIGHLAND VIEW DR	807.00	12	9			
24	975 HIGHLAND VIEW DR	1,673.00	12	9			
26	975 HIGHLAND VIEW DR	4,718.00	12	9			
186	2451 GREEN RIVER RD	1,480.78	9	10			
33	3787 GREEN RIVER RD B	2,169.06	9	10			
94	1143 RIDGELINE DR	1,402.85	10	10			
237	2081 GREEN RIVER RD	7,021.70	11	10			
40	3005 RIDGELINE DR	1,271.33	11	10			
9	3786 GREEN RIVER RD B	19,465.56	11	10			
17	3786 GREEN RIVER RD B	24,543.92	11	10			
50		318.00	12	10			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
139		771.00	12	10			
99	1143 RIDGELINE DR	3,261.00	12	10			
127	1143 RIDGELINE DR	611.00	12	10			
233	2081 GREEN RIVER RD	5,221.00	12	10			
182	2451 GREEN RIVER RD	2,118.00	12	10			
185	2451 GREEN RIVER RD	1,603.00	12	10			
188	2451 GREEN RIVER RD	14,546.00	12	10			
189	2451 GREEN RIVER RD	8,496.00	12	10			
228	2451 GREEN RIVER RD	648.00	12	10			
229	2451 GREEN RIVER RD	1,928.00	12	10			
238	2451 GREEN RIVER RD	1,635.00	12	10			
91	2817 GREEN RIVER RD	4,367.00	12	10			
105	2817 GREEN RIVER RD	723.00	12	10			
110	2817 GREEN RIVER RD	1,243.00	12	10			
117	2817 GREEN RIVER RD	424.00	12	10			
123	2817 GREEN RIVER RD	169.00	12	10			
124	2817 GREEN RIVER RD	3,799.00	12	10			
161	2817 GREEN RIVER RD	1,725.00	12	10			
170	2817 GREEN RIVER RD	1,587.00	12	10			
179	2817 GREEN RIVER RD	447.00	12	10			
27	2825 RIDGELINE DR	5,242.00	12	10			
31	2825 RIDGELINE DR	2,442.00	12	10			
32	2825 RIDGELINE DR	3,374.00	12	10			
34	2825 RIDGELINE DR	611.00	12	10			
37	2825 RIDGELINE DR	6,887.00	12	10			
42	2825 RIDGELINE DR	9,051.00	12	10			
45	2825 RIDGELINE DR	3,773.00	12	10			
54	2825 RIDGELINE DR	5,146.00	12	10			
57	2825 RIDGELINE DR	6,883.00	12	10			
72	2825 RIDGELINE DR	773.00	12	10			
100	2825 RIDGELINE DR	2,399.00	12	10			
122	2825 RIDGELINE DR	42.00	12	10			
126	2825 RIDGELINE DR	518.00	12	10			
128	2825 RIDGELINE DR	719.00	12	10			
132	2825 RIDGELINE DR	9.00	12	10			
135	2825 RIDGELINE DR	9.00	12	10			
136	2825 RIDGELINE DR	329.00	12	10			
140	2825 RIDGELINE DR	9.00	12	10			
143	2825 RIDGELINE DR	9.00	12	10			
145	2825 RIDGELINE DR	936.00	12	10			
146	2825 RIDGELINE DR	9.00	12	10			
149	2825 RIDGELINE DR	9.00	12	10			
152	2825 RIDGELINE DR	9.00	12	10			
154	2825 RIDGELINE DR	9.00	12	10			
156	2825 RIDGELINE DR	411.00	12	10			
157	2825 RIDGELINE DR	9.00	12	10			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
158	2825 RIDGELINE DR	9.00	12	10			
36	3005 RIDGELINE DR	7,243.00	12	10			
6	3786 GREEN RIVER RD B	16,648.00	12	10			
58	3786 GREEN RIVER RD B	282.00	12	10			
59	3786 GREEN RIVER RD B	725.00	12	10			
66	3786 GREEN RIVER RD B	2,974.00	12	10			
88	3786 GREEN RIVER RD B	1,702.00	12	10			
5	3787 GREEN RIVER RD B	14,569.00	12	10			
8	3787 GREEN RIVER RD B	12,014.00	12	10			
15	3787 GREEN RIVER RD B	3,190.00	12	10			
23	3787 GREEN RIVER RD B	5,271.00	12	10			
12	4192 GREEN RIVER RD	684.00	12	10			
14	4192 GREEN RIVER RD	4,667.00	12	10			
16	4192 GREEN RIVER RD	1,792.00	12	10			



SPIKER CONSULTING  
GROUP

## **RESOLUTION NO. 2021-061**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, CONFIRMING THE DIAGRAM AND ASSESSMENT WITHIN ZONE 6 OF LANDSCAPE MAINTENANCE DISTRICT NO. 84-2 FOR FISCAL YEAR 2022**

**WHEREAS**, on June 2, 2021, the City Council of the City of Corona (the “City Council”) adopted Resolution No. 2021-040, a resolution of intention pursuant to Section 22624 of the Streets and Highways Code, which among other things, scheduled a public hearing on the levy and collection of assessments on the lots and parcels of the assessable property within Zone 6 of Landscape Maintenance District No. 84-2 (the “District”) for Fiscal Year 2022 pursuant to the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the Streets and Highways Code (the “Act”) for 6:30 p.m. on July 7, 2021, in the City Council Chambers of the City of Corona, at 400 South Vicentia Avenue, Corona, California; and

**WHEREAS**, notice of said hearing was duly published as required by Sections 22552 and 22553 of said Act; and

**WHEREAS**, at the time and place of said hearing, as set forth in said resolution of intention, the City Council held the hearing and afforded all interested persons an opportunity to be heard, and considered all oral statements and all written protests or communications made or filed by any interested persons, and at the conclusion of said hearing determined that a majority protest, to wit: written protests filed and not withdrawn by property owners owning more than 50 percent of the area of assessable land within the District, had not been received.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Findings and Approval of Final Report.** The City Council find that:

- (a) The foregoing recitals are true and correct;
- (b) Compliance has been maintained with all of the applicable requirements of the Act;
- (c) A majority protest to the levy and collection of the proposed assessment has not been filed;
- (d) The City Council may therefore proceed to confirm the boundary and assessment for the District for Fiscal Year 2022, and order levy and collection of the assessment;
- (e) The assessment proposed to be levied on the lots and parcels of assessable property within the District for the maintenance and servicing of public landscaping and appurtenant facilities during Fiscal Year 2022, as contained in the Final Annual Engineer’s Report

as it pertains to Zone 6, prepared by Spicer Consulting Group, LLC on file with the City Clerk (the “Report”), are based on the proportionate special benefit derived by such lots and parcels from the availability of such public landscaping and appurtenant facilities;

(f) The proportionate special benefit derived by each such lot or parcel has been determined in relationship to the entirety of the cost of the maintenance and servicing of such public landscaping and appurtenant facilities;

(g) Such assessments do not exceed the reasonable cost of the proportional special benefit conferred on each such lot and parcel;

(h) Such assessments will not be increased over the amounts previously approved by the electors of the District or as otherwise permitted by the Act and Article XIID of the California Constitution; and

(i) Based on the foregoing and the full record before the City Council, the Report as whole and each part thereof are finally approved and confirmed.

**SECTION 2. Levy of Assessment.** Pursuant to Section 22631 of the Streets and Highways Code, the adoption of this resolution constitutes the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District during Fiscal Year 2022, as contained in the Report, and such assessment is hereby levied. The City Clerk is directed to file a certified copy of this resolution together with the diagram and assessment contained in the Report with the County Auditor of the County of Riverside, who, pursuant to Section 22645 of the Streets and Highways Code, shall enter on the County Assessment Roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the said assessment.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at its regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



Staff Report

---

**File #:** 21-0649

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Public Hearing confirming the diagram and assessment within Zone 19 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution is the last step of the annual proceedings for the levy and collection of the special assessment for Zone 19 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022. The City Council will conduct a public hearing to afford all interested parties an opportunity to make verbal or written comments on the proposed annual assessment.

At the conclusion of the hearing, it is recommended that the City Council adopt the said resolution confirming the diagram and assessments for the District for Fiscal Year 2022, which will constitute the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District, in accordance with the Streets and Highways Code.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-062, confirming the diagram and assessment within Zone 19 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**BACKGROUND & HISTORY:**

Zone 19 of Landscape Maintenance District No. 84-2 ("LMD 84-2" or "District") was established in accordance with the provisions of the Landscaping and Lighting Act of 1972 (the "1972 Act") in 1986. The purpose of the District is to provide landscape maintenance and operating services for the public landscaping and appurtenant facilities within the District's boundaries.

The annual assessments proposed to be levied within the District will pay for the maintenance of parks, slopes, parkways, and open spaces during Fiscal Year 2022. Services provided include all necessary operations, administration, capital replacements, and maintenance required to keep the

above-mentioned improvements in a healthy and satisfactory working condition.

**ANALYSIS:**

The State of California Street and Highways Code Section 22500 requires an annual review of the assessments levied by the assessment districts formed under the 1972 Act. In order to levy and collect special assessments within such districts, Engineer's Reports must be prepared, which provide details on the improvements that are maintained and the estimated budgets for each district.

On May 5, 2021, the City Council adopted Resolution No. 2021-026, to initiate the proceedings to levy and collect assessments for the District for Fiscal Year 2022, appointed Spicer Consulting Group, LLC as the engineer of record, and ordered the preparation of an Engineer's Report for the District.

On June 2, 2021, the City Council adopted Resolution No. 2021-041, to declare the City's intention to levy and collect assessments within the District for Fiscal Year 2022, approve the preliminary Engineer's Report (the "Preliminary Report"), and provide a notice of public hearing to consider the proposed assessments. A notice of public hearing was published in the local newspaper on June 9, 2021.

Attached is the final Engineer's Report (the "Report") as it pertains to the District, which is consistent with the Preliminary Report. The Report includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the boundaries of the District. The Report also provides an analysis of the District's financial status.

**FINANCIAL IMPACT:**

The cost of operation, servicing and maintenance of the District will be funded by the assessments levied and collected within the District. For Fiscal Year 2022, it is projected that the current year assessment revenues will be insufficient to cover the operating costs for Zone 19 of the District during the same fiscal period, which will be covered by a one-time contribution from the operating reserves and a proposed inter-fund loan from the Dwelling Development Tax Fund (if needed, based on year-end actual fund balances).

The proposed levy for Fiscal Year 2022 is the same as the Fiscal Year 2021 levy, which will result in no increase to the parcels in the District. The District was formed with no escalator included in the method of apportionment. Staff will continue to analyze the District's financials annually to determine options to maintain operations.

Below is an overview of the District's estimated assessment revenues and proposed expenditures for Fiscal Year 2022. Detailed information can be found in the attached Report.

District	Estimated Costs	Estimated Assessment Revenue	Estimated Excess/(Deficit)	Actual Assessment YOY % Change
LMD 84-2, Zone 19	559,682	464,940	(94,742)	0.00%

**ENVIRONMENTAL ANALYSIS:**

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely declares the City's intent to levy and collect assessments within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

**Attachments:**

1. Exhibit 1 - FY 2022 LMD 84-2 Engineer's Report, as it pertains to the District.
2. Exhibit 2 - Resolution No. 2021-062

# CITY OF CORONA

Landscaping Maintenance District No. 84-2



FISCAL YEAR 2022

FINAL ENGINEERS REPORT



SPICER CONSULTING  
G R O U P

# Table of Contents

---

## **Sections**

i. Introduction	i
1. Plans and Specifications	1
2. Fiscal Year 2022 Cost Estimate	7
3. Method of Apportionment of Assessment	19
4. Engineer's Signature	27
5. Assessment Roll	28
6. Assessment Diagrams	29

## **Tables**

### Budgets

Table 2-1 Benefit Zone 1	7
Table 2-2 Benefit Zone 2	8
Table 2-3 Benefit Zone 4	9
Table 2-4 Benefit Zone 6	10
Table 2-5 Benefit Zone 7	11
Table 2-6 Benefit Zone 10	12
Table 2-7 Benefit Zone 14	13
Table 2-8 Benefit Zone 15	14
Table 2-9 Benefit Zone 17	15
Table 2-10 Benefit Zone 18	16
Table 2-11 Benefit Zone 19	17
Table 2-12 Benefit Zone 20	18
Table 3-1 Annexations	20
Table 4-1 Proposed Assessment Summary	26

## **Appendices**

Appendix A – Assessment Rolls

Appendix B – Assessment Diagrams

Appendix C – Capital Improvement Projects

AGENCY: CITY OF CORONA  
PROJECT: LANDSCAPE MAINTENANCE DISTRICT NO. 84-2  
TO: CITY COUNCIL  
CITY OF CORONA  
STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Corona (the "City"), State of California, submitted herewith is the Engineer's Report (the "Report") for the Landscape Maintenance District No. 84-2, consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972" (the "Act"), as amended, commencing with Section 22500, and which is in accordance with Resolution Nos. 2021-025, 026, and 027 adopted by the City of Corona City Council, Riverside County, California ordering preparation of the Report for Landscape Maintenance District No. 84-2 ("LMD No. 84-2" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2021 to June 30, 2022.

- Section 1** PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing and proposed improvements and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2** A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3** A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4** An ENGINEER'S SIGNATURE certifying the filing of the Engineer's Report, together with the Assessment Roll and Assessment Diagram.
- Section 5** ASSESSMENT ROLLS showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram. The Assessment Rolls can be found in Appendix A.
- Section 6** The ASSESSMENT DIAGRAMS of the District. Said Diagrams shall show the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagrams can be found in Appendix B.

LMD No. 84-2 consists of 12 Benefit Zones that were all formed in 1986. The types of services provided for Zones 1, 2, 4, 6, 7, 10, 14, 15, and 17 through 20 are the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, fitness circuit equipment, pathway lighting, green space and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacements, and maintenance required to keep the above-mentioned improvements in a healthy, vigorous, and satisfactory working condition. The above maintenance and services may be referred to herein as the "Landscape Improvements". Below is a description of each Zone within the boundaries of the District.

#### Description of the Boundaries and Improvement Services of LMD No. 84-2

**Benefit Zone 1** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the west parkway of Lincoln Avenue adjacent to the benefit zone. The improvements were required by the conditions of approval for Tract No. 19288 and Tract No.'s 19288-1 through 19288-5.

**Benefit Zone 2** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the buffer zone along the westerly boundary of the open space designated as Lot "A" within Tract No. 19981 and the Corydon Street parkways. Also to be maintained are the access road and the natural open space of Lot "A." The improvements were required by the condition of approval for Tract No. 19981.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and open space lot (Lot "A"), within Tract No. 20515. The improvements were required by the condition of approval for Tract No. 20515.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and Lot "C" of Tract No. 21354. The improvements were required by the condition of approval for Tract No. 21354.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street, Tract No.'s 27305-1 through 27305-9, and incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 4** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ Parkway irrigation system, trees, and ground cover along Ontario and Fullerton Avenues and Old Temescal Road within the benefit zone. The improvements were required by the condition of approval for Tract No. 19480.
- ◆ Parkway irrigation system, trees, and ground cover adjacent to the following tracts and along Old Temescal Road and Ontario, Fullerton, and Rimpau Avenues. The improvements were required by the condition of approval for Tract No.'s 19690, 19690-1, and 19690-2.
- ◆ Parkway irrigation system, trees, and ground cover along Old Temescal Road and Fullerton and Rimpau Avenues within the benefit zone. The improvements were required by the condition of approval for Tract No. 19688.
- ◆ Parkway irrigation system, trees, ground cover, and sidewalk within the 12-foot parkways adjacent to Tract No. 22961, along Old Temescal Road and Rimpau Avenue. The improvements were required by the condition of approval for Tract No. 22961.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 6** includes all property within Assessment District No. 79-2, located north and south of Route 91 between Cresta Verde and Buchanan Street. The improvements consist of maintaining the following irrigation systems, trees, and ground cover along the following:

- ◆ McKinley Street median between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line (approximately 200 feet north of Mt. Humpries Street).
- ◆ Promenade Avenue median between 2,000 feet west of McKinley Street and 1,300 feet east of McKinley Street.
- ◆ Parkway and streetscape landscaping along McKinley Street, between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line, except on the west side between Sampson Avenue and Magnolia Avenue.
- ◆ Parkway and streetscape landscaping along Promenade Avenue between the Riverside Freeway and Buchanan Street.
- ◆ Parkway and streetscape landscaping along portions of Buchanan Street adjacent to the area known as Westfield Corona and from Wimbledon Drive to the north boundary of said area.



- ◆ Parkway and streetscape landscaping along the north side of Wimbledon Drive from Buchanan Street to Surry Circle; north side of Dartmouth Street from Buchanan Street to Chelsea Way; both sides of Eaton Street between Coventry Way and Astoria; and both sides of Brittany Drive between Newcastle and Promenade Avenue.
- ◆ Parkway and adjacent slope irrigation, trees, and ground cover along the east side of Mondale Street, between Kennedy Drive and Promenade Avenue; open space Lots 79 and 80 of Tract No. 21213; and the slopes adjacent to the Riverside Freeway. The improvements were required by the conditions of approval for Tract No. 21213.
- ◆ Parkway irrigation, trees, and ground cover along the north side of Cresta Road between Harding Road and Promenade Avenue and the southwest side of Collett Avenue between Coolidge Street and Promenade Avenue as were required by the conditions of approval for Tract No. 19191.
- ◆ Parkway irrigation, trees, and ground cover along the west side of Collett Avenue between Promenade Avenue, and 400 feet southwest of Cresta Road as were required by the conditions of approval for Tract No. 19666.
- ◆ Parkway irrigation and ground cover along the northeast side of Cresta Avenue, along Lots 31 through 34 of Tract No. 19191-2.
- ◆ Natural conditions within open space Lots 69, 83, 84, and 126 of Tract No. 20775.
- ◆ The irrigation system and landscape improvements within Lots D and E of Tract No. 23454 and Lots C, D, and E of Parcel Map No. 23376.
- ◆ The irrigation system and landscaping within the parkway along the northwesterly side of Buchanan Street from the south side of Dartmouth Street to the north side of Wimbledon Drive. The improvements were required by the condition of approval for Tract No. 24129 and Parcel Map No. 24041.
- ◆ The irrigation system and landscaping within the median and parkway along McKinley Street and adjacent to Assessor Parcel Numbers 172-420-002 and 172-420-003. The improvements were required by the condition of approval for Assessor Parcel Numbers 172-420-002 and 172-420-003.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 29876.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.
- ◆ The improvements are required as set forth by Specific Plan "SP 81-2" and were constructed both under Assessment District No. 79-2, City of Corona, State of California and as conditions of approval for various developments.

*Benefit Zone 7* improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover constructed as part of the detention basin within Lot 142 of Tract No. 20966; and the parkway and slope landscaping along Ontario Avenue. The improvements were required by the condition of approval for Tract No.'s 20818, 21720, and 20966.
- ◆ The irrigation system, trees, and ground cover as part of the detention basin within Lot 1 of Tract No. 19159-1.
- ◆ The irrigation system and landscape improvements within the common lots adjacent to Ontario Avenue and within Tract No.'s 21203 and 21720.
- ◆ Decorative block wall and landscaping in the ten-foot wide landscaping lot along Via Pacifica.
- ◆ Landscape pockets and landscaping within the decorative wall along Citron Street, between Via Pacifica and the Oak Street Channel.
- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 22535 and along Ontario Avenue, and slope easements located within Lots 1, 27, and 28 of Tract No. 22535.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

*Benefit Zone 10* includes two distinct areas that are within Specific Plan "SP 85-2", as approved by the Corona City Council on September 18, 1985. The improvements to be maintained consist of the following:

- ◆ Parkway irrigation system, trees, and ground cover along both sides of Green River Drive, Ridgeline Drive, Serfas Club Drive, Paseo Grande, Montana Ranch Road, and Palisades Drive. Also to be maintained are the lots designated for open space and

the fuel modification zone, including erosion control, plant replacement, and landscaping debris cleanup. The improvements were required by the condition of approval for Tract No. 20872.

- ◆ The irrigation system, trees, and ground cover within the common area designated as Lot No. 17, Tract No. 12166. The improvements were required by the condition of approval for Tract No. 12166.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 14** improvements were a condition of approval for Tract No.'s 20796 and 22579 and consist of maintaining irrigation systems, trees, and ground cover along the following:

- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets.
- ◆ Flood control detention basins.
- ◆ The above improvements were required as set forth by the Woodlake Specific Plan "SP 85-3" approved by the Corona City Council on November 20, 1985 and by the condition of approval for Map No. 20796.
- ◆ The irrigation system and landscaping within Lots A through D, Tract No. 22579 and those portions of the Hidden Valley Parkway within Tract No. 22579. The improvements were required by the condition of approval for said tract.
- ◆ The irrigation system and landscaping within Lots F and I, Tract No. 25249. The improvements were required by the condition of approval for Tract No. 25249.
- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets. The improvements were required by the conditions of approval for Tract No. 29595.
- ◆ Median, parkway, and streetscape landscaping along Stevens Drive. The improvements were required by the conditions of approval for Parcel Map No. 33533.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 15** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover of the parkway along the public right-of-way within Tract No. 20006. The improvements were required by the condition of approval for said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 17** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 21355 and along Stagecoach Road; slope easements located within Lots 1 through 6 and 192 through 205; and the westerly parkway on Stagecoach Road from the southerly boundary of Tract No. 21355 to Corydon Street.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 18** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No.'s 24716 & 32195; Assessor Parcel Numbers 119-060-018; 119-060-020; and 119-060-022; and along River Road (including the center median area); Lincoln Avenue and Harrington Street; and the riparian habitat area within and adjoining that portion of the Norco Channel within said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 19** consists of various developments within South Corona for which the improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping in accordance with the South Corona Community Facilities Plan. These improvements are also referred to as the "South Corona Streetscapes," and includes parkways, medians, and dedications to the City of Corona from past and future South Corona development.
- ◆ The irrigation system and landscaping within Lots A and B, Parcel Map No. 22908, and the portion of the westerly Lincoln Avenue parkway fronting said map.
- ◆ The irrigation system and landscaping within the easterly Mangular Avenue parkway adjacent to Tract No. 24118.

- ◆ The irrigation system and landscaping within the easterly parkway along Oak Avenue, the northeasterly parkway along Chase Drive, adjacent to Tract No. 23434, and within Lots L, M, O, P, Q, R, S, T, and U of Tract No. 23434.
- ◆ The irrigation system and landscaping within Lots F and G of Tract No. 22707 and that portion of the westerly Mangular Avenue parkway adjacent to said map.
- ◆ The irrigation system and landscaping within Lots A and B of Tract No. 20971 and that portion of Fullerton Avenue (formerly Garretson Avenue) parkway fronting said map.
- ◆ The irrigation system and landscaping within Lots A, K, and L, Tract No. 24326 and the parkways adjacent to said tract and along Chicago Street and Citrus Way. The improvements were required by the condition of approval for Tract No. 24326.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 23861 and along California Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23401-1 and 23401-2, and along California and Chase Avenues; and the bike path adjacent to said tracts and along Chase Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25009 and along Foothill Parkway, Highgrove Street, and Lot F of Tract No. 25009.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24533, along the east side of Lincoln Avenue, north side of Foothill Parkway, and west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24271 and along the west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and J of Tract No. 27199, and the parkways adjacent to said tract and along the north side of Santana Way.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 26807, 25466, and 25652C, and along the east side of Fullerton Avenue (formerly Garretson Avenue), south side of Foothill Parkway, both sides of Valencia Avenue, and the north side of Upper Drive.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 25817 and along the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within Lots D, E, F, and I of Tract No. 26012-1 and the parkways adjacent to Tract No.'s 26012-1 and 26012, along the east side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and E, Tract No. 26903-1 and the parkways adjacent to said tract and along the north side of Chase Drive and the east side of Fullerton Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27504, along the north side of Chase Drive and the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25887, along the north side of Chase Drive and the west side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within parkways on Fullerton and Gilbert Avenues adjacent to Parcel Map 24234, all within Annexation No. 37.
- ◆ The irrigation system and landscaping within parkways north of Encanto Street and west of Hudson Avenue adjacent to Tract No. 26062, all within Annexation No. 40.
- ◆ The irrigation system and landscaping within parkways adjacent to Parcel Map 26695 located east of Gilbert Avenue, all within Annexation No. 45.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25466 and 25466-1 and along the north side of Upper Drive and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 52.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27802, along the north side of Foothill Parkway and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 53.
- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No. 25311R and along the south side of Chase Drive and the north side of Foothill Parkway, all in Annexation No. 54.

- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27916-1, 27916-2, and 27916-3, along the east side of Lincoln Avenue, all in Annexation No. 55.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23956, 23956-1, and 23956-2, along the west side of Kellogg Avenue, all in Annexation No. 56.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27860 along the north side of Foothill Parkway, all in Annexation No. 57.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24272 and Tract No.'s 24272-1 through 24272-8, along the east and west sides of Lincoln Avenue, and along the west side of Buena Vista Avenue, all in Annexation No. 58; and the irrigation system and landscaping within parkways adjacent to Tract No. 25690, along the west side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26117-1, along the north side of Foothill Parkway, all in Annexation No. 59.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25571 and 25571-1 and along the north and south side of Citrus Way, all in Annexation No. 60.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27833, 27833-1, and 27833-2, along the west side of Fullerton Avenue, all in Annexation No. 61.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25315, 25315-1, 25315-2, and 25315-3, along the east side of Kellogg Avenue and the south side of Santana Way, all in Annexation No. 62.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 24077, 24077-1, 24077-2, and 24077-3, all in Annexation No. 63.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25396, along the east side of Rimpau Avenue, and along the west side of California Avenue, all in Annexation No. 64.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24840, along the south side of Valencia Avenue and north side of Upper Drive, all in Annexation No. 65.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 28177 and 28177-1, and along the south side of Foothill Parkway, the east side of Rimpau Avenue, and the north side of Valencia Avenue, all in Annexation No. 66.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25310R, along the south side of Chase Drive, the east side of Fullerton Avenue, and the north side of Foothill Parkway, all in Annexation No. 67.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25468, 25468-1, 25468-2, and 25468-3, along the south side of Foothill Parkway and the west side of California Avenue, all in Annexation No. 68.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26058 and along the south side of Chase Drive and the west side of Fullerton Avenue, all in Annexation No. 69.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 26978 and along the east side of Lincoln Avenue, all in Annexation No. 70.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26238, along the south side of Taber Road, and along the west side of California Avenue, all in Annexation No. 71.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 28180, along the south side of Ontario Avenue and the west side of Rimpau Avenue, all in Annexation No. 73.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25917R-1, all in Annexation No. 74.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26807-R, along the east side of Fullerton Avenue, the north side of Valencia Road, and the south side of Foothill Parkway, all in Annexation No. 75.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 20** consists of the Mountain Gate Specific Plan and its Amendment ("SPA90-09") Area for which improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkways and medians of the arterial and collector streets, including the additional landscape lots that are proposed to be dedicated along a number of the major streets.
- ◆ The structure and exterior face of the project theme walls located along the major arterial and collector streets in the planned community.
- ◆ Entry monuments and special landscape areas located at the major project entries, secondary project entries, individual subdivision entries, and special landscape areas identified on the Mountain Gate landscape master plan.
- ◆ The landscaping, bicycle paths, recreational improvements, and open space areas which may be developed and dedicated to the public within the designated estate residential cluster development areas, exclusive of public park areas.
- ◆ The designated fuel modification areas in the hillside overlay zone of Planning Area 26.
- ◆ Other improvements which may be accepted by the City Council for maintenance by the landscape maintenance district.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

### Changes in Benefit Zone Boundaries

During the lifetime of the District, several changes have occurred that affect the boundaries of the benefit zones. The plans and specifications for the changes are on file with the City of Corona.

1. Due to the nature, location, and extent of the improvements it has been determined that some benefit zones received the same degree of benefit. Accordingly, these benefit zones have been eliminated by consolidating them with other zones, as follows:
  - ◆ Benefit Zone 8 was consolidated into Benefit Zone 7.
  - ◆ Benefit Zone 9 and 13 were consolidated into Benefit Zone 4.
  - ◆ Benefit Zone 11 was consolidated into Benefit Zone 10.
2. Four benefit zones were eliminated for the following reasons:
  - ◆ Benefit Zones 3 and 5 have been eliminated because the interim detention basins are no longer necessary due to the installation of storm drains.
  - ◆ Benefit Zone 12 has been eliminated because improvements formerly maintained by the City are now maintained by the Cresta Verde Golf Course.
  - ◆ Benefit Zone 16 has been eliminated because the interim detention basin is no longer necessary due to the Oak Street Channel improvement. The property maintenance has been turned over to the underlying property owner and all affected property owners were notified of the levy being discontinued.
3. Due to the nature, location, and extent of the improvements, the Mountain Gate Specific Plan Area was detached from Benefit Zone 19 to establish Benefit Zone 20.

The cost of servicing, maintaining, repairing, and replacing the actual improvements as described in the Plans and Specifications are summarized as follows:

*Table 2-1*  
*Benefit Zone 1 - Budget*

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$1,688	\$1,691
Maintenance Inspection and Administration	\$1,729	\$946
Utilities	\$700	\$700
<b>Total Direct Costs</b>	<b>\$4,117</b>	<b>\$3,337</b>
<b>Indirect Costs</b>		
County Admin	\$170	\$170
City Personnel/Overhead	\$99	\$102
Engineering Costs	\$22	\$22
<b>Total Indirect Costs</b>	<b>\$291</b>	<b>\$294</b>
<b>Total Costs</b>	<b>\$4,408</b>	<b>\$3,631</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$261)	\$516
<b>Total Adjustments</b>	<b>(\$261)</b>	<b>\$516</b>
<b>Total Assessment</b>	<b>\$4,147</b>	<b>\$4,147</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$2,204	\$1,816
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$2,204</b>	<b>\$1,816</b>
Beginning Capital Replacement Reserve	\$19,650	\$20,039
Reserve Collection	\$0	\$516
Reserve Contribution	(\$261)	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$19,390</b>	<b>\$20,555</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$516 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 1.



Table 2-2  
Benefit Zone 2 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$24,157	\$24,211
Maintenance Inspection and Administration	\$13,823	\$12,813
Utilities	\$49,714	\$49,714
<b>Total Direct Costs</b>	<b>\$87,694</b>	<b>\$86,738</b>
<b>Indirect Costs</b>		
County Admin	\$451	\$451
City Personnel/Overhead	\$1,825	\$1,891
Engineering Costs	\$390	\$390
<b>Total Indirect Costs</b>	<b>\$2,666</b>	<b>\$2,732</b>
<b>Total Costs</b>	<b>\$90,360</b>	<b>\$89,470</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$9,067)	(\$8,177)
General Benefit <sup>(1)</sup>	(\$209)	(\$209)
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$9,276)</b>	<b>(\$8,386)</b>
<b>Total Assessment</b>	<b>\$81,084</b>	<b>\$81,084</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$45,180	\$44,735
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$45,180</b>	<b>\$44,735</b>
Beginning Capital Replacement Reserve	\$25,086	\$41,429
Reserve Collection	\$0	\$0
Reserve Contribution	(\$9,067)	(\$8,177)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$16,019</b>	<b>\$33,252</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 76.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$8,177 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 2.

Table 2-3  
Benefit Zone 4 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$28,145	\$32,503
Maintenance Inspection and Administration	\$14,921	\$14,223
Utilities	\$31,051	\$31,051
<b>Total Direct Costs</b>	<b>\$74,117</b>	<b>\$77,777</b>
<b>Indirect Costs</b>		
County Admin	\$300	\$300
City Personnel/Overhead	\$2,174	\$2,294
Engineering Costs	\$442	\$442
<b>Total Indirect Costs</b>	<b>\$2,916</b>	<b>\$3,036</b>
<b>Total Costs</b>	<b>\$77,033</b>	<b>\$80,813</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$16,582	\$12,802
<b>Total Adjustments</b>	<b>\$16,582</b>	<b>\$12,802</b>
<b>Total Assessment</b>	<b>\$93,615</b>	<b>\$93,615</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$38,517	\$40,407
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$38,517</b>	<b>\$40,407</b>
Beginning Capital Replacement Reserve	\$165,524	\$179,798
Reserve Collection	\$16,582	\$12,802
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$182,106</b>	<b>\$192,600</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$12,802 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 4.



Table 2-4  
Benefit Zone 6 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$179,187	\$179,371
Maintenance Inspection and Administration	\$50,236	\$48,894
Utilities	\$103,865	\$103,865
<b>Total Direct Costs</b>	<b>\$333,288</b>	<b>\$332,130</b>
<b>Indirect Costs</b>		
County Admin	\$1,200	\$1,100
City Personnel/Overhead	\$7,461	\$7,717
Engineering Costs	\$1,518	\$1,518
<b>Total Indirect Costs</b>	<b>\$10,179</b>	<b>\$10,335</b>
<b>Total Costs</b>	<b>\$343,467</b>	<b>\$342,465</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$28,432)	(\$27,430)
<b>Total Adjustments</b>	<b>(\$28,432)</b>	<b>(\$27,430)</b>
<b>Total Assessment</b>	<b>\$315,035</b>	<b>\$315,035</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$171,734	\$171,233
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$171,734</b>	<b>\$171,233</b>
Beginning Capital Replacement Reserve	\$247,236	\$264,500
Reserve Collection	\$0	\$0
Reserve Contribution	(\$28,432)	(\$27,430)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$218,804</b>	<b>\$237,070</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,430 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 6.

Table 2-5  
Benefit Zone 7 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$37,758	\$37,804
Maintenance Inspection and Administration	\$13,665	\$12,703
Utilities	\$19,651	\$19,656
<b>Total Direct Costs</b>	<b>\$71,074</b>	<b>\$70,163</b>
<b>Indirect Costs</b>		
County Admin	\$500	\$500
City Personnel/Overhead	\$1,867	\$1,931
Engineering Costs	\$378	\$378
<b>Total Indirect Costs</b>	<b>\$2,745</b>	<b>\$2,809</b>
<b>Total Costs</b>	<b>\$73,819</b>	<b>\$72,972</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$4,974	\$5,821
<b>Total Adjustments</b>	<b>\$4,974</b>	<b>\$5,821</b>
<b>Total Assessment</b>	<b>\$78,793</b>	<b>\$78,793</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,910	\$36,486
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$36,910</b>	<b>\$36,486</b>
Beginning Capital Replacement Reserve	\$51,381	\$94,556
Reserve Collection	\$4,974	\$5,821
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$56,355</b>	<b>\$100,377</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$5,821 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 7.

Table 2-6  
Benefit Zone 10 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$653,543	\$672,156
Maintenance Inspection and Administration	\$309,586	\$310,487
Utilities	\$311,070	\$311,070
<b>Total Direct Costs</b>	<b>\$1,274,199</b>	<b>\$1,293,713</b>
<b>Indirect Costs</b>		
County Admin	\$1,300	\$1,300
City Personnel/Overhead	\$50,667	\$52,403
Engineering Costs	\$10,126	\$10,126
<b>Total Indirect Costs</b>	<b>\$62,093</b>	<b>\$63,829</b>
<b>Total Costs</b>	<b>\$1,336,292</b>	<b>\$1,357,542</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$808,307	\$781,724
<b>Total Adjustments</b>	<b>\$808,307</b>	<b>\$781,724</b>
<b>Total Assessment</b>	<b>\$2,144,599</b>	<b>\$2,139,266</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$668,146	\$678,771
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$668,146</b>	<b>\$678,771</b>
Beginning Capital Replacement Reserve	\$4,327,332	\$5,548,198
Reserve Collection	\$808,307	\$781,724
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$5,135,638</b>	<b>\$6,329,922</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$781,724 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. The City is currently working with a landscape architect on the Year 3 cycle of the 10-year renovation plan for Zone 10. The Year 2 project was completed in August 2020.

Table 2-7  
Benefit Zone 14 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$207,715	\$208,057
Maintenance Inspection and Administration	\$84,749	\$84,431
Utilities	\$85,140	\$85,140
Debt Service	\$0	\$0
<b>Total Direct Costs</b>	<b>\$377,604</b>	<b>\$377,628</b>
<b>Indirect Costs</b>		
County Admin	\$1,000	\$1,000
City Personnel/Overhead	\$13,924	\$14,401
Engineering Costs	\$2,832	\$2,832
<b>Total Indirect Costs</b>	<b>\$17,756</b>	<b>\$18,233</b>
<b>Total Costs</b>	<b>\$395,360</b>	<b>\$395,861</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$194,070	\$193,569
General Benefit <sup>(1)</sup>	(\$767)	(\$767)
<b>Total Adjustments</b>	<b>\$193,303</b>	<b>\$192,802</b>
<b>Total Assessment</b>	<b>\$588,663</b>	<b>\$588,663</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$197,680	\$197,931
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$197,680</b>	<b>\$197,931</b>
Beginning Capital Replacement Reserve	\$973,674	\$1,261,799
Reserve Collection	\$194,070	\$193,569
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$1,167,744</b>	<b>\$1,455,368</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 78.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$193,569 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 14.

Table 2-8  
Benefit Zone 15 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$18,138	\$18,145
Maintenance Inspection and Administration	\$5,815	\$4,686
Utilities	\$2,400	\$2,400
<b>Total Direct Costs</b>	<b>\$26,353</b>	<b>\$25,231</b>
<b>Indirect Costs</b>		
County Admin	\$130	\$130
City Personnel/Overhead	\$634	\$675
Engineering Costs	\$130	\$130
<b>Total Indirect Costs</b>	<b>\$894</b>	<b>\$935</b>
<b>Total Costs</b>	<b>\$27,247</b>	<b>\$26,166</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$309	\$1,390
<b>Total Adjustments</b>	<b>\$309</b>	<b>\$1,390</b>
<b>Total Assessment</b>	<b>\$27,556</b>	<b>\$27,556</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$13,624	\$13,083
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$13,624</b>	<b>\$13,083</b>
Beginning Capital Replacement Reserve	\$59,118	\$61,895
Reserve Collection	\$309	\$1,390
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$59,427</b>	<b>\$63,284</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$1,390 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 15.

Table 2-9  
Benefit Zone 17 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$22,874	\$24,887
Maintenance Inspection and Administration	\$5,131	\$4,134
Utilities	\$4,361	\$4,362
<b>Total Direct Costs</b>	<b>\$32,366</b>	<b>\$33,383</b>
<b>Indirect Costs</b>		
County Admin	\$215	\$215
City Personnel/Overhead	\$509	\$527
Engineering Costs	\$106	\$106
<b>Total Indirect Costs</b>	<b>\$830</b>	<b>\$848</b>
<b>Total Costs</b>	<b>\$33,196</b>	<b>\$34,231</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$3,971)	(\$11,859)
Capital Replacement Reserve	(\$7,115)	(\$262)
<b>Total Adjustments</b>	<b>(\$11,086)</b>	<b>(\$12,121)</b>
<b>Total Assessment</b>	<b>\$22,110</b>	<b>\$22,110</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$16,598	\$17,116
Reserve Collection	\$0	\$0
Reserve Contribution	(\$3,971)	(\$11,859)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$12,627</b>	<b>\$5,256</b>
Beginning Capital Replacement Reserve	\$7,115	\$262
Reserve Collection	\$0	\$0
Reserve Contribution	(\$7,115)	(\$262)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$11,859 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$262 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 17.

Table 2-10  
Benefit Zone 18 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$41,979	\$44,836
Maintenance Inspection and Administration	\$8,511	\$6,474
Utilities	\$11,216	\$11,216
<b>Total Direct Costs</b>	<b>\$61,706</b>	<b>\$62,526</b>
<b>Indirect Costs</b>		
County Admin	\$286	\$286
City Personnel/Overhead	\$808	\$837
Engineering Costs	\$172	\$172
<b>Total Indirect Costs</b>	<b>\$1,266</b>	<b>\$1,295</b>
<b>Total Costs</b>	<b>\$62,972</b>	<b>\$63,821</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$26,609)	(\$27,458)
General Benefit <sup>(1)</sup>	(\$383)	(\$383)
<b>Total Adjustments</b>	<b>(\$26,992)</b>	<b>(\$27,841)</b>
<b>Total Assessment</b>	<b>\$35,980</b>	<b>\$35,980</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$31,486	\$31,911
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$31,486</b>	<b>\$31,911</b>
Beginning Capital Replacement Reserve	\$62,358	\$34,127
Reserve Collection	\$0	\$0
Reserve Contribution	(\$26,609)	(\$27,458)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$35,748</b>	<b>\$6,669</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation Nos. 80 & 81.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,458 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 18.

Table 2-11  
Benefit Zone 19 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$230,362	\$230,633
Maintenance Inspection and Administration	\$74,003	\$72,891
Utilities	\$241,128	\$241,128
<b>Total Direct Costs</b>	<b>\$545,493</b>	<b>\$544,652</b>
<b>Indirect Costs</b>		
County Admin	\$1,558	\$1,458
City Personnel/Overhead	\$10,954	\$11,332
Engineering Costs	\$2,240	\$2,240
<b>Total Indirect Costs</b>	<b>\$14,752</b>	<b>\$15,030</b>
<b>Total Costs</b>	<b>\$560,245</b>	<b>\$559,682</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$95,305)	(\$94,742)
Capital Replacement Reserve	\$0	\$0
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$95,305)</b>	<b>(\$94,742)</b>
<b>Total Assessment</b>	<b>\$464,940</b>	<b>\$464,940</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,343	(\$40,258)
Reserve Collection	\$0	\$0
Reserve Contribution	(\$95,305)	(\$94,742)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>(\$58,962)</b>	<b>(\$135,000)</b>
Beginning Capital Replacement Reserve	\$0	\$0
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$94,742 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. There are no anticipated major Capital Improvement Projects planned for Zone 19.



Table 2-12  
Benefit Zone 20 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$311,503	\$315,390
Maintenance Inspection and Administration	\$154,777	\$154,085
Utilities	\$282,768	\$282,768
<b>Total Direct Costs</b>	<b>\$749,048</b>	<b>\$752,243</b>
<b>Indirect Costs</b>		
County Admin	\$767	\$767
City Personnel/Overhead	\$25,545	\$26,412
Engineering Costs	\$5,147	\$5,147
<b>Total Indirect Costs</b>	<b>\$31,459</b>	<b>\$32,326</b>
<b>Total Costs</b>	<b>\$780,507</b>	<b>\$784,569</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$288,191	\$284,129
<b>Total Adjustments</b>	<b>\$288,191</b>	<b>\$284,129</b>
<b>Total Assessment</b>	<b>\$1,068,698</b>	<b>\$1,068,698</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$390,254	\$392,285
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$390,254</b>	<b>\$392,285</b>
Beginning Capital Replacement Reserve	\$1,463,568	\$1,858,225
Reserve Collection	\$288,191	\$284,129
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$1,751,759</b>	<b>\$2,142,354</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$284,129 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 20.

### Proposition 218 Compliance

On November 5, 1996 California voters approved Proposition 218, entitled the "Right to Vote on Taxes Act," which added Article XIII D to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new substantive and procedural requirements for the formation and administration of assessment districts. Proposition 218 provides that all existing, new, or increased assessments must comply with Proposition 218's new substantive and procedural requirements unless the assessment is "grandfathered" as one of the four categories of assessments that existed on or before November 6, 1996 and is therefore exempted from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Two of the four categories of assessments that are "grandfathered" under Proposition 218 and are relevant to the District are:

1. Any assessment imposed exclusively to finance the capital cost or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control.
2. Any assessments levied pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment was initially imposed.

For purposes of applying the first exception, Proposition 218 does not define the term "streets"; however, based upon the opinions of public agency officials, attorneys and assessment engineers, as well as language in the Proposition 218 Omnibus Implementation Act (Government Code §§ 53750 et seq.) and the court's reasoning in *Howard Jarvis Taxpayers Association v. City of Riverside*, 73 Cal.App.4<sup>th</sup> 679 (1999), it has been determined that the term "streets" includes median and parkway landscaping, traffic signals, safety lighting, and street lighting, and all other public improvements located within the street right-of-way, since assessments for these types of improvements are traditionally appropriate, non-abusive special assessments. The improvements and services financed by LMD No. 84-2 constitute physical parts of the right-of-way in which the street is located, contribute to road and sidewalk safety, and provide for drainage and treatment of runoff. Therefore, the assessments levied by LMD No. 84-2 (other than the assessments for the Post Proposition 218 Annexations, defined below) are grandfathered under the first exception, and thus the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit, do not apply.

The second exception to the application of Proposition 218 also applies to LMD No. 84-2, because the District was initiated by a petition signed by the property owners within the District boundaries at the time it was formed and, therefore, the assessments are exempt from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Even if assessments are initially "grandfathered" under Proposition 218 and thus exempt from the substantive and procedural requirements of Proposition 218, if the assessments are increased in the future the City will need to comply with the provisions of Proposition 218 for that portion of the increased assessment formula (e.g., CPI increase). Additionally, although the assessments levied within LMD No. 84-2 are considered "grandfathered", the City has determined that it is appropriate to ensure that the assessments levied against properties that were annexed to LMD No. 84-2 after the passage of Proposition 218 comply with the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit. The City has identified the following annexations to LMD No. 84-2 as annexations that were approved after the passage of Proposition 218 (collectively "Post 218 Annexations"):

Table 3-1  
Annexations

Annexation Year	Annexation Number	Zone	Property Annexed
2013	85	20	TT 34760
2013	84	10	TT 35590R
2007	83	14	PM 33761
2006	82	14	PM 33533
2005	81	18	TR 32195
2005	80	18	APN 119-060-018, -020, -022
2004	79	14	TR 29595
2001	78	14	PM 30197
2001	77	6	TR 29876
1997	76	2	TR 27305-8, -9

Proposition 218 defines "assessment" as "any levy or charge upon real property by an agency for a special benefit conferred upon the real property," (California Constitution, Article XIII D, §2(b)). A special assessment, sometimes called a "benefit assessment," is a charge generally levied upon parcels of real property to pay for benefits the parcels receive from local improvements. Special assessments are levied according to statutory authority granted by the Legislature or, in some instances, local charters. Distinguishing among taxes, fees and assessments can be difficult and often depends on the context in which the distinction is made. For example, taxes, assessments, and property-related fees all may be imposed on property. The key feature that distinguishes an assessment from a tax, fee, or charge is the existence of a special benefit to real property. Without identifying a special benefit, there can be no assessment.

### Distinguishing General and Special Benefit

Proposition 218 added a set of procedures and requirements which a local government must follow to levy an assessment. In addition to notice, hearing, and assessment ballot proceedings, Proposition 218 provides that "only special benefits are assessable" and requires a local government to "separate the general benefits from the special benefits conferred on a parcel."

There is no statutory definition or judicially approved formula for calculating general benefit. For purposes of this Report, general benefits are benefits from improvements or services that are not special in nature, are not particular and distinct, and are not over and above the benefits received by other properties. Proposition 218 defines "special benefit" as "a particular and distinct benefit over and above general benefits conferred on real property located in the District or to the public at large. General enhancement of property value does not constitute 'special benefit'."

By its nature, most every public improvement financed through an assessment district contains an element of public benefit. The test is: does there exist, with relation to the improvement, a special benefit to the property assessed? The law requires that the portion of the cost of the improvements which benefits the public generally (i.e., general benefits) be separated from the portion of the cost of the improvements which specially benefits assessed properties (i.e., special benefits).

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report.

## General Benefit

### *Post 218 Annexations*

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, the City has determined that the Landscape Improvements maintained within the Post 218 Annexations by each benefit zone (other than the Nominal General Benefit Annexations, defined and discussed below) provide negligible general public benefit in that each benefit zone is comprised of separate and discrete neighborhoods for which the Landscape Improvements were installed. The Landscape Improvements do not extend beyond the perimeter of the boundary of each of those discrete neighborhoods. Additionally, other than the Nominal General Benefit Annexations discussed below, the improvements financed by LMD No. 84-2 for the Post 218 Annexations do not include any Landscape Improvements in the parkway areas fronting each discrete neighborhood. In other words, all of the Landscape Improvements financed by LMD No. 84-2 for the Post 218 Annexations are located entirely within the interior areas of the developments that comprise and are included in the Post 218 Annexations.

As further explained in the Direct and Special Benefit section, the Landscape Improvements within the Post 218 Annexations provide a direct advantage only to the properties that are within the boundaries of each discrete neighborhood/benefit zone. Although the discrete neighborhoods that comprise each benefit zone could be accessed by the public at large, the Landscape Improvements within the Post 218 Annexations that are financed by LMD No. 84-2 were specifically designed, located and created to provide additional and improved public resources exclusively for real property within the Post 218 Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views and other special benefit factors discussed below under Direct and Special Benefit. Moreover, since all properties within each benefit zone have equal access and opportunity to enjoy the Landscape Improvements within the Post 218 Annexations that are financed by District assessments, all properties within each benefit zone benefit equally from the Landscape Improvements and the costs and expenses for the landscaping maintenance and services are appropriately apportioned on a per parcel or a per acre basis. Based upon the foregoing, the City has concluded that there is no measurable general benefit associated with the Landscape Improvements financed with the assessments levied against properties within the Post 218 Annexations (other than the Nominal General Benefit Annexations discussed below).

### *Nominal General Benefit Annexations*

In reviewing the location and extent of the specific landscaped areas and improvements within the Post 218 Annexations that are funded by the District assessments and the proximity and relationship to properties to be assessed, it has been determined that the following annexation areas include landscape improvements within the parkway areas fronting the developments that comprise and are included in the Post 218 Annexations: Annexation 76 to Zone 2 (TR 27305-8 & 9), Annexation 78 to Zone 14 (PM 30197), Annexation 80 to Zone 18 (APN Nos. 119-060-18, -020, -022), and Annexation 81 to Zone 18 (TR 32195) (collectively, "Nominal General Benefit Annexations"). At the time of annexation of these developments, the improvements to be financed by the District assessments were considered local improvements that were required to be installed in connection with the development of properties within these annexation areas. Similar to the Post 218 Annexations, the Landscape Improvements within the Nominal General Benefit Annexations that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large.

Similar to the Post 218 Annexations, the majority of the Landscape Improvements (see discussion below regarding the Landscape Improvements within frontage parkway areas) provided and maintained within the Nominal General Benefit Annexations do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises the annexation area and are located entirely within the interior areas of the developments that comprise and are included in the Nominal General Benefit Annexations. As such, the interior Landscape Improvements within the Nominal General Benefit Annexations provide a direct advantage only to the properties that are within the boundaries of each annexation area. Although the developments that comprise and are included in the Nominal General Benefit Annexations could be accessed by the public at large, the Landscape Improvements within these annexation areas that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views, and other special benefit factors discussed in the Direct and Special Benefit section.

However, as indicated above, the assessments levied within the Nominal General Benefit Annexations also provide and maintain Landscape Improvements within the parkway areas fronting the developments that comprise and are included in the Nominal General Benefit Annexations. Since these parkway areas are readily accessible and viewable by the public at large, there may be some general benefit enjoyed by the general public as a result of the Landscape Improvements located and maintained in these parkway areas. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within the Nominal General Benefit Annexations at the enhanced level or standard that the Landscape Improvements are currently provided and maintained. The maintenance, upkeep, and repair of such parkway Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. As such, the maintenance of the Landscape Improvements within the parkway areas fronting each annexation area to the current enhanced level and standard of maintenance has a direct and particular impact or special benefit only on those properties within the Nominal General Benefit Annexations and any maintenance or services beyond that which is required to ensure the safety and protection of the general public and property, has no identifiable benefit to the public at large or properties outside these annexations. The general benefit derived from the maintenance of the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations can be quantified as the cost that the City would incur to provide the minimal level of maintenance and services necessary for public health and safety. The costs incurred to maintain the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations over and above this minimum level of service would provide a direct advantage only to the properties within the Nominal General Benefit Annexations and is considered to be a special benefit.

In the absence of the assessments levied by LMD No. 84-2, the City would typically provide only weed abatement and erosion control services for parkway areas. These services would typically be provided twice annually. This level of service provides for public safety and avoids negative impacts on adjacent roadways and vehicles traveling on those roadways, but results in a far less visually pleasing environment than is created with the enhanced level of service currently provided to the parkway areas within the Nominal General Benefit Annexations. The cost to provide the baseline weed abatement and erosion control level of service is approximately \$0.02 per square foot, twice a year, for parkway areas. The general benefit is determined by multiplying the weed abatement and erosion control service costs by the square footage of these parkway areas. Since the baseline services, unlike the enhanced level of service that is provided as a result of the District assessments, provide some benefits to the general public and to the neighborhoods outside of the benefit zones, the cost of providing this baseline service is treated as the cost of general benefits from landscape maintenance services. Utilizing these per square foot costs and the square footages of the parkway areas in the Nominal General Benefit Annexations, the current estimated general benefit costs calculated for the frontage parkway areas within Annexation 76 to Zone 2 is \$209.09, within Annexation 78 to Zone 14 is \$766.66, and within Annexation Zones 80 and 81 to Zone 18 is \$382.80. These general benefit costs are identified as the "General Benefit Contribution" in the applicable Zone budgets in Section 2 (Cost Estimate) of this Report and will be credited to those properties included within the Nominal General Benefit Annexations. Funding for these general benefit costs will be provided by the City's General Fund.

### Direct and Special Benefit

The types of services provided within LMD No. 84-2 is the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacement and maintenance required to keep the above-mentioned improvements in a healthy, vigorous and satisfactory working condition.

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, particular direct and special benefit is provided by the Landscape Improvements which include, but are not limited to, enhanced aesthetics of areas within the benefit zones providing additional desirability for potential buyers, a more pleasant environment to walk, drive, live, and work for property owners in addition to controlling dust and potential erosion. The primary function of these Landscape Improvements and related amenities is to serve as an aesthetically pleasing enhancement and green space for the benefit of the immediately surrounding development within the individual benefit zones for which the improvements were constructed and installed. These improvements are an integral part of the physical environment of parcels within the benefit zones, and if the improvements were not properly maintained, it is these parcels that would be negatively affected. In addition, the landscape improvements serve as a physical buffer as well as a sound reduction or buffer between the roadways and the properties in the



benefit zones, as well as a physical buffer and openness between properties within the benefit zones. The improvements installed in connection with the development of the parcels constituting the benefit zones would not be necessary or required without the development of those parcels within the District.

The assessment revenue derived from real property in each benefit zone is expended only on the Landscape Improvements in that benefit zone. The Landscape Improvements are located in close proximity to the real property within each benefit zone that is subject to the assessments and provide a direct advantage to the property in the benefit zone in that the improvements funded by the assessments are directly provided only to the real property in each benefit zone. Other than the Nominal General Benefit Annexations, the Landscape Improvements do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises a benefit zone and are located entirely within the interior areas of each neighborhood. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within LMD No. 84-2 and the maintenance, upkeep, and repair of such Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. Therefore, the assessments provide and fund Landscape Improvements that are over and above what otherwise would be provided. The fact that the Landscape Improvements are over and above what otherwise would be provided, combined with the unique proximity and access to the Landscape Improvements enjoyed by real property within LMD No. 84-2, demonstrates that the assessments provide a direct advantage and special benefit to real property within LMD No. 84-2.

### Method of Apportionment

Pursuant to the Landscaping and Lighting Act of 1972 and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements shall be identified and the proportionate special benefit derived by each identified parcel shall be determined in relationship to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

To proportionally allocate special benefit to each parcel, it is necessary to correlate each property's proportional benefit to other properties that benefit from the improvements and services being funded: In order to do this, the assessment methodology assigns each parcel a number of benefit units based on its land use. One benefit unit is defined as the special benefit allocable to a single family home.

**Single Family Residential Property** - The method of apportionment assigns each fully subdivided single family residential dwelling one benefit unit.

**Multi-Family Residential Property** - This land use classification identifies residential developments that typically have 60% fewer people per dwelling unit than single family residential property and therefore have been assigned to 0.60 benefit unit, per dwelling.

**Commercial Property** - The method of apportionment assigns benefit units by multiplying the overall acreage by five benefit units per acre, (based on the typical number of residential property in an acre of typical development).

**Benefit Zones 1, 2, 4, 7, 15, 17, and 18** - Prior to total development and the recordation of tract maps, the benefit will be assessed according to the number of lots, units, or acreage within the tentative tract map.

**Benefit Zone 6** - As development occurs and prior to total development, each undeveloped parcel will be assessed the number of projected benefit units in accordance with SP 81-2.

**Benefit Zone 10** - Currently, there are approximately 0.97 acres of undeveloped property and one parcel classified as reserved development within this zone. The Assessor's Parcel Number is 102-370-009.

A reserved development designation was assigned to Assessor's Parcel Number 102-370-009 under SP 85-2. Other than for mining purposes, development of Assessor's Parcel Number 102-370-009, approximately 80 acres, is not anticipated at this time.

**Benefit Zone 14** - SP 85-3 (Tract No. 20796) and Tract No. 22579 created approximately 2,553 residential units of varying densities and 12.3 acres of commercial support. The updated total projected build-out is approximately 2,350 units. This benefit zone is at near build-out status and nearly all benefit units have been assessed.

**Benefit Zone 19** - Benefit Zone 19 consists of various developments within South Corona. The method of assessment is based on approximately 3,700 benefit units with a residential dwelling equal to one benefit unit.

**Benefit Zone 20** - SPA90-09 proposes 3,248 residential units of varying densities, 15.1 acres of commercial developments, and 15.8 acres of quasi-public land use. Currently, there are 2,754 residential units, 10.1 acres of commercial development, and 6.91 acres of quasi-public land use. At the present time the benefit zone maintains 62.47 acres of landscaping.

### Prior Proposition 218 Proceedings for Rate Increase

**Benefit Zone 1** – In 2001, due to increased maintenance costs and low reserves, a special election was held to increase Benefit Zone 1 from \$22.54 per assessment unit to \$33.54 per assessment unit (an \$11.00 increase per assessment unit). The proposed increase failed to receive a majority ballot approval. Consequently, the trees and turf suffered considerably due to the lack of irrigation. Maintenance and operating service costs were reduced to eliminate tree trimming, replacement, and any landscape enhancement. In 2012, the turfgrass was removed and decomposed granite ("DG") was installed to help further reduce maintenance costs.

**Benefit Zone 4** - After a failed election in 2002, the City received many complaints from property owners within Benefit Zone 4 due to the condition of the landscape. Therefore, the City again conducted a special election pursuant to the provisions of Proposition 218 for Benefit Zone 4 in July of 2003. The proposed increase for Benefit Zone 4 was from \$75.00 to \$138.00 (\$63.00 per assessment unit). In order to provide sufficient funds from the levy and collection of assessments within the benefit zone in future Fiscal Years to pay increasing costs due to inflation, it was proposed that the assessments levied on assessable parcels of property in Benefit Zone 4 should be subject to annual increases in future years, commencing in Fiscal Year 2007, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario ("CPI") or three percent (3%), whichever is less. Benefit Zone 4 received a favorable majority vote and the charge per assessment unit was increased from \$75.00 to \$138.00 commencing in Fiscal Year 2007. The maximum assessment per benefit unit for Benefit Zone 4 will escalate three and zero one hundredths percent (3.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$192.55.

**Benefit Zone 10** - After a failed election in 2007, the City received many complaints from property owners within Benefit Zone 10 due to the condition of the landscape. On April 2, 2008, the City Council, in response to input from residents, approved a petition and re-ballot process to allow for property owners to re-vote. The procedure required signed petitions from at least 25% of the properties within the benefit zone to trigger a re-vote. This requisite equated to approximately 725 signed petitions from the record property owners indicating their intended support of the proposed annual levy increase from \$335.61 to \$540.00 per assessment unit. Benefit Zone 10 met the required minimum number of petitions favoring the re-ballot process, and a public hearing on the proposed levy increase was scheduled for June 18, 2008. Benefit Zone 10 received a favorable majority vote and the charge per assessment unit was increased for Fiscal Year 2009. The rate per assessment unit for Benefit Zone 10, is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2012, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per benefit unit, for Benefit Zone 10 will escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum charge assessment per benefit unit \$648.54.

**Benefit Zone 14** - After two failed elections, the irrigation and maintenance in Benefit Zone 14 was reduced due to lack of funding, causing the landscape areas to deteriorate. In order to revitalize declined areas and keep up with inflation and rising costs, this benefit zone underwent a third Proposition 218 ballot proceeding on August 28, 2007. Benefit Zone 14 received a favorable majority vote and the charge per benefit unit was increased from \$100 to \$230 in Fiscal Year 2009. The rate per benefit unit for Benefit Zone 14 is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2013, by the percent increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per unit for Benefit Zone 14, escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$270.81.

The landscaped and irrigated areas increased to approximately 31.44 acres in Fiscal Year 2009 and due to the increase in the assessment, a phased capital improvement program was implemented to revitalize areas that had been subjected to previous years' cutbacks. This phased program started in Fiscal Year 2009 with the first year's allocation of approximately \$636,000. Of this amount, \$450,000 was borrowed from Fund 289, to be paid back over 10 years at 4.2% interest. The loan was paid in full in Fiscal Year 2019.

**Benefit Zone 19** - The 1996-97 Notice of Public Meeting and Hearing noticed (and subsequently confirmed by the City Council) a \$7.00 per benefit unit per Fiscal Year increase from \$107.00 to a maximum of \$126.00 per year. Therefore, Fiscal Year 2015 and future years' annual levy for maintenance expenses will be the same as the prior Fiscal Year 2014 levy of \$126.00 per benefit unit (at the maximum). Since this benefit zone is lacking an inflation factor in its assessment methodology the maintenance costs will continue

to increase while the revenues remain the same, causing this benefit zone's deficit to increase annually. A Proposition 218 Ballot proceeding will be necessary for this benefit zone in order to eliminate the deficit and replenish the reserves.

**Benefit Zone 20** - After a failed election, Benefit Zone 20 property owners met the City's requisite of 621 signed petitions that triggered a re-vote on August 6, 2008 to increase the annual rate per benefit unit from \$180.00 to \$360.00 and to be subject to an inflationary factor in future Fiscal Years, commencing Fiscal Year 2011, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. Due to the approved measure, the added revenue from the increase allows Zone 20 to keep up with the rising costs in labor, utilities, plant materials, and irrigation parts and implement a much needed Capital Improvement and/or Plant Rehabilitation Program which began in Fiscal Year 2009. The maximum charge assessment per benefit unit for Benefit Zone 20 escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$440.39.

### Reserves Outlook

After reviewing all of the benefit zones within the District, it is apparent that a majority of the benefit zones have the ability to generate reserves. However, Benefit Zones 2, 6, 17, 18, and 19 continue to draw on reserve funds at an increasing rate primarily as result of the increase in utility costs and the absence of an annual inflator for the assessment rates. Measures have been taken to reduce operating costs through turf removal projects for Zones 2 and 17, see Appendix C. It will be necessary to conduct Proposition 218 Assessment Ballot proceedings for Benefit Zones 17 and 19 in the next few years for the benefit zones to be self-sustaining. Currently, Benefit Zones 1, 4, 7, 10, 14, 15, and 20 are building their reserve funds.



**Whereas**, on May 5th, 2021 the City Council, under the Act, adopted its Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report for Landscape Maintenance District No. 84-2.

**Whereas**, the Resolution of Initiation directed Spicer Consulting Group, LLC. to prepare and file a Report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained; an estimate of the costs of the maintenance, operations, and servicing of the improvements for LMD No. 84-2 for the referenced Fiscal Year; a diagram for LMD No. 84-2 showing the area and properties to be assessed; and an assessment of the estimated costs of the maintenance, operations, and servicing the improvements, assessing the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

**Now Therefore**, the following assessment is made to cover the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within LMD No. 84-2 in proportion to the special benefit received.

### Estimated Benefit Assessments

Each of the parcels within the benefit zones listed below has been deemed to receive proportional special benefit from the maintenance and operation of the improvements within that benefit zone. The percentage change in allowable Fiscal Year 2022 assessment from the allowable Fiscal Year 2021 assessment is as follows:

*Table 4-1  
Proposed Assessment Summary*

Zone	Estimated Charge FY 2022	Estimated Benefit Units	Maximum Assessment per BU FY 2021	Maximum Assessment per BU FY 2022	Maximum Assessment Rate Change (%)	Actual Assessment per BU FY 2022
Benefit Zone 1	\$4,147.36	184.00	\$22.54	\$22.54	0.00%	\$22.54
Benefit Zone 2 <sup>1</sup>	\$81,084.00	699.00	\$116.00	\$116.00	0.00%	\$116.00
Benefit Zone 4	\$93,614.82	514.00	\$186.94	\$192.55	3.00%	\$182.13
Benefit Zone 6	\$315,034.71	4,618.60	\$68.21	\$68.21	0.00%	\$68.21
Benefit Zone 7	\$78,793.00	1,432.60	\$55.00	\$55.00	0.00%	\$55.00
Benefit Zone 10	\$2,139,266.04	3,429.85	\$635.81	\$648.53	2.00%	\$623.72
Benefit Zone 14 <sup>2</sup>	\$588,663.32	2,305.50	\$265.49	\$270.80	2.00%	\$255.33
Benefit Zone 15	\$27,555.68	383.25	\$106.90	\$106.90	0.00%	\$71.90
Benefit Zone 17	\$22,110.00	201.00	\$110.00	\$110.00	0.00%	\$110.00
Benefit Zone 18 <sup>3</sup>	\$35,980.00	359.80	\$100.00	\$100.00	0.00%	\$100.00
Benefit Zone 19	\$464,940.00	3,690.00	\$126.00	\$126.00	0.00%	\$126.00
Benefit Zone 20	\$1,068,698.21	2,573.75	\$431.75	\$440.39	2.00%	\$415.23

<sup>1</sup> The Estimated Charge does not include the \$209 of General Benefit.

<sup>2</sup> The Estimated Charge does not include the \$766 of General Benefit.

<sup>3</sup> The Estimated Charge does not include the \$382 of General Benefit.

Executed this 7th day of July 2021.



A handwritten signature in blue ink, appearing to read "Francisco Martinez Jr.", written over a horizontal line.

FRANCISCO MARTINEZ JR  
PROFESSIONAL CIVIL ENGINEER NO. 84640  
ENGINEER OF WORK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, by adoption of Resolution No. 2021-\_\_\_\_ by City Council.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Corona, California on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are referenced in Appendix A of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the City Council.

The District boundary coincides with the boundary of the parcels included within the District as of the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

Reference is made to the County Assessor's Roll and Maps for a detailed description of the lines and dimensions of any lot or parcel. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

An Assessment Diagram for each Zone is attached hereto in Appendix B, showing the boundaries of LMD No. 84-2 and the boundaries of each Benefit Zone established within the District as the same existed at the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

# APPENDIX A

## Assessment Rolls



SPIKER CONSULTING  
G R O U P

# Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119140007	\$22.54	119462033	\$22.54	119471013	\$22.54
119140008	\$22.54	119462034	\$22.54	119471014	\$22.54
119140009	\$22.54	119462035	\$22.54	119471015	\$22.54
119140010	\$22.54	119462036	\$22.54	119471016	\$22.54
119140011	\$22.54	119462037	\$22.54	119471017	\$22.54
119140012	\$22.54	119462038	\$22.54	119471018	\$22.54
119140013	\$22.54	119462048	\$22.54	119471019	\$22.54
119461003	\$22.54	119462050	\$22.54	119472001	\$22.54
119461004	\$22.54	119462052	\$22.54	119472002	\$22.54
119461005	\$22.54	119462053	\$22.54	119472003	\$22.54
119461006	\$22.54	119463003	\$22.54	119472004	\$22.54
119461007	\$22.54	119463004	\$22.54	119472005	\$22.54
119461008	\$22.54	119463005	\$22.54	119472006	\$22.54
119461009	\$22.54	119463006	\$22.54	119473001	\$22.54
119461010	\$22.54	119463010	\$22.54	119473002	\$22.54
119461011	\$22.54	119463011	\$22.54	119473003	\$22.54
119462002	\$22.54	119463012	\$22.54	119473004	\$22.54
119462003	\$22.54	119463013	\$22.54	119473005	\$22.54
119462004	\$22.54	119463014	\$22.54	119473006	\$22.54
119462005	\$22.54	119463015	\$22.54	119473007	\$22.54
119462006	\$22.54	119463016	\$22.54	119474001	\$22.54
119462007	\$22.54	119463017	\$22.54	119474002	\$22.54
119462012	\$22.54	119463018	\$22.54	119474003	\$22.54
119462013	\$22.54	119463019	\$22.54	119474004	\$22.54
119462014	\$22.54	119463020	\$22.54	119474005	\$22.54
119462015	\$22.54	119464001	\$22.54	119474006	\$22.54
119462016	\$22.54	119464002	\$22.54	119474007	\$22.54
119462017	\$22.54	119464003	\$22.54	119474008	\$22.54
119462018	\$22.54	119464004	\$22.54	119474009	\$22.54
119462019	\$22.54	119464005	\$22.54	119474010	\$22.54
119462020	\$22.54	119464006	\$22.54	119474011	\$22.54
119462021	\$22.54	119464007	\$22.54	119474012	\$22.54
119462022	\$22.54	119464008	\$22.54	119474013	\$22.54
119462023	\$22.54	119465001	\$22.54	119475001	\$22.54
119462024	\$22.54	119465002	\$22.54	119475002	\$22.54
119462025	\$22.54	119465003	\$22.54	119475003	\$22.54
119462026	\$22.54	119471006	\$22.54	119475004	\$22.54
119462027	\$22.54	119471007	\$22.54	119475005	\$22.54
119462028	\$22.54	119471008	\$22.54	119475006	\$22.54
119462029	\$22.54	119471009	\$22.54	119475007	\$22.54
119462030	\$22.54	119471010	\$22.54	119481001	\$22.54
119462031	\$22.54	119471011	\$22.54	119481002	\$22.54
119462032	\$22.54	119471012	\$22.54	119481003	\$22.54

## Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119482005	\$22.54	119483007	\$22.54	119484005	\$22.54
119482006	\$22.54	119483008	\$22.54	119484006	\$22.54
119482007	\$22.54	119483009	\$22.54	119484007	\$22.54
119482008	\$22.54	119483010	\$22.54	119485001	\$22.54
119482009	\$22.54	119483011	\$22.54	119485002	\$22.54
119482010	\$22.54	119483012	\$22.54	119485003	\$22.54
119482011	\$22.54	119483013	\$22.54	119485004	\$22.54
119482012	\$22.54	119483014	\$22.54	119485005	\$22.54
119482013	\$22.54	119483015	\$22.54	119485006	\$22.54
119482014	\$22.54	119483016	\$22.54	119485007	\$22.54
119482015	\$22.54	119483017	\$22.54	119485008	\$22.54
119482016	\$22.54	119483018	\$22.54	119485009	\$22.54
119482017	\$22.54	119483019	\$22.54	119485010	\$22.54
119482018	\$22.54	119483022	\$22.54	119486001	\$22.54
119482019	\$22.54	119483023	\$22.54	119486002	\$22.54
119483003	\$22.54	119484001	\$22.54	119486003	\$22.54
119483004	\$22.54	119484002	\$22.54	119486004	\$22.54
119483005	\$22.54	119484003	\$22.54		
119483006	\$22.54	119484004	\$22.54		
<b>Totals</b>		<b>Parcels 184</b>		<b>Levy \$4,147.36</b>	

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121384001	\$116.00	121391009	\$116.00	121393003	\$116.00
121384002	\$116.00	121391010	\$116.00	121393004	\$116.00
121384003	\$116.00	121391011	\$116.00	121393005	\$116.00
121384004	\$116.00	121391012	\$116.00	121393006	\$116.00
121384005	\$116.00	121391013	\$116.00	121393007	\$116.00
121384006	\$116.00	121391014	\$116.00	121393008	\$116.00
121384007	\$116.00	121391015	\$116.00	121393009	\$116.00
121384008	\$116.00	121392001	\$116.00	121393010	\$116.00
121384009	\$116.00	121392002	\$116.00	121393011	\$116.00
121384010	\$116.00	121392003	\$116.00	121393012	\$116.00
121384011	\$116.00	121392004	\$116.00	121393013	\$116.00
121384012	\$116.00	121392005	\$116.00	121393014	\$116.00
121384013	\$116.00	121392007	\$116.00	121393015	\$116.00
121384014	\$116.00	121392008	\$116.00	121393016	\$116.00
121384015	\$116.00	121392009	\$116.00	121393017	\$116.00
121384016	\$116.00	121392010	\$116.00	121393018	\$116.00
121384017	\$116.00	121392011	\$116.00	121393019	\$116.00
121384018	\$116.00	121392012	\$116.00	121393020	\$116.00
121384019	\$116.00	121392013	\$116.00	121393021	\$116.00
121384020	\$116.00	121392014	\$116.00	121393022	\$116.00
121385001	\$116.00	121392015	\$116.00	121393023	\$116.00
121385002	\$116.00	121392016	\$116.00	121393024	\$116.00
121385003	\$116.00	121392017	\$116.00	121393025	\$116.00
121385004	\$116.00	121392018	\$116.00	121393026	\$116.00
121385005	\$116.00	121392019	\$116.00	121393027	\$116.00
121385006	\$116.00	121392020	\$116.00	121393028	\$116.00
121385007	\$116.00	121392021	\$116.00	121393029	\$116.00
121385008	\$116.00	121392022	\$116.00	121393030	\$116.00
121385009	\$116.00	121392023	\$116.00	121393031	\$116.00
121385010	\$116.00	121392024	\$116.00	121393032	\$116.00
121385011	\$116.00	121392025	\$116.00	121393033	\$116.00
121385012	\$116.00	121392026	\$116.00	121393034	\$116.00
121385013	\$116.00	121392027	\$116.00	121393035	\$116.00
121385014	\$116.00	121392028	\$116.00	121393036	\$116.00
121385015	\$116.00	121392029	\$116.00	121393037	\$116.00
121391001	\$116.00	121392030	\$116.00	121393038	\$116.00
121391002	\$116.00	121392031	\$116.00	121393039	\$116.00
121391003	\$116.00	121392032	\$116.00	121393040	\$116.00
121391004	\$116.00	121392033	\$116.00	121394001	\$116.00
121391005	\$116.00	121392034	\$116.00	121394002	\$116.00
121391006	\$116.00	121392035	\$116.00	121394003	\$116.00
121391007	\$116.00	121393001	\$116.00	121394004	\$116.00
121391008	\$116.00	121393002	\$116.00	121394005	\$116.00



# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121394006	\$116.00	121402003	\$116.00	121403013	\$116.00
121394007	\$116.00	121402004	\$116.00	121403014	\$116.00
121394008	\$116.00	121402005	\$116.00	121404001	\$116.00
121394009	\$116.00	121402006	\$116.00	121404002	\$116.00
121394010	\$116.00	121402007	\$116.00	121404003	\$116.00
121394011	\$116.00	121402008	\$116.00	121404004	\$116.00
121394012	\$116.00	121402009	\$116.00	121404005	\$116.00
121394013	\$116.00	121402010	\$116.00	121404006	\$116.00
121394014	\$116.00	121402011	\$116.00	121404007	\$116.00
121394015	\$116.00	121402012	\$116.00	121404008	\$116.00
121394016	\$116.00	121402013	\$116.00	121404009	\$116.00
121394017	\$116.00	121402014	\$116.00	121404010	\$116.00
121394018	\$116.00	121402015	\$116.00	121404011	\$116.00
121394019	\$116.00	121402016	\$116.00	121404012	\$116.00
121394020	\$116.00	121402017	\$116.00	121404013	\$116.00
121394021	\$116.00	121402018	\$116.00	121404014	\$116.00
121394022	\$116.00	121402019	\$116.00	121404015	\$116.00
121394023	\$116.00	121402020	\$116.00	121404016	\$116.00
121394024	\$116.00	121402021	\$116.00	121404017	\$116.00
121394025	\$116.00	121402022	\$116.00	121404018	\$116.00
121394026	\$116.00	121402023	\$116.00	121404019	\$116.00
121394027	\$116.00	121402024	\$116.00	121404020	\$116.00
121394028	\$116.00	121402026	\$116.00	121404021	\$116.00
121394029	\$116.00	121402027	\$116.00	121404022	\$116.00
121394030	\$116.00	121402028	\$116.00	121404023	\$116.00
121394031	\$116.00	121402029	\$116.00	121404024	\$116.00
121394032	\$116.00	121402030	\$116.00	121404025	\$116.00
121394033	\$116.00	121402031	\$116.00	121404026	\$116.00
121394034	\$116.00	121402032	\$116.00	121404027	\$116.00
121394035	\$116.00	121402033	\$116.00	121404028	\$116.00
121394036	\$116.00	121402034	\$116.00	121404029	\$116.00
121394037	\$116.00	121403001	\$116.00	121404030	\$116.00
121394038	\$116.00	121403002	\$116.00	121404031	\$116.00
121394039	\$116.00	121403003	\$116.00	121404032	\$116.00
121401001	\$116.00	121403004	\$116.00	121404033	\$116.00
121401002	\$116.00	121403005	\$116.00	121404034	\$116.00
121401003	\$116.00	121403006	\$116.00	121404035	\$116.00
121401004	\$116.00	121403007	\$116.00	121404036	\$116.00
121401005	\$116.00	121403008	\$116.00	121404037	\$116.00
121401006	\$116.00	121403009	\$116.00	121404038	\$116.00
121401007	\$116.00	121403010	\$116.00	121404039	\$116.00
121402001	\$116.00	121403011	\$116.00	121404040	\$116.00
121402002	\$116.00	121403012	\$116.00	121404041	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121404042	\$116.00	121411029	\$116.00	121421004	\$116.00
121404043	\$116.00	121411030	\$116.00	121421005	\$116.00
121404044	\$116.00	121411031	\$116.00	121421006	\$116.00
121404045	\$116.00	121411032	\$116.00	121421007	\$116.00
121404046	\$116.00	121411033	\$116.00	121421008	\$116.00
121404047	\$116.00	121411034	\$116.00	121421009	\$116.00
121404048	\$116.00	121411035	\$116.00	121421010	\$116.00
121404049	\$116.00	121411036	\$116.00	121421011	\$116.00
121404050	\$116.00	121412001	\$116.00	121421012	\$116.00
121404051	\$116.00	121412002	\$116.00	121421013	\$116.00
121404052	\$116.00	121412003	\$116.00	121421014	\$116.00
121404053	\$116.00	121412004	\$116.00	121421015	\$116.00
121404054	\$116.00	121412005	\$116.00	121421016	\$116.00
121404055	\$116.00	121412006	\$116.00	121421017	\$116.00
121404056	\$116.00	121412007	\$116.00	121422001	\$116.00
121411001	\$116.00	121412008	\$116.00	121422002	\$116.00
121411002	\$116.00	121412009	\$116.00	121422003	\$116.00
121411003	\$116.00	121412010	\$116.00	121422004	\$116.00
121411004	\$116.00	121412011	\$116.00	121422005	\$116.00
121411005	\$116.00	121412012	\$116.00	121422006	\$116.00
121411006	\$116.00	121412013	\$116.00	121422007	\$116.00
121411007	\$116.00	121412014	\$116.00	121422008	\$116.00
121411008	\$116.00	121412015	\$116.00	121422009	\$116.00
121411009	\$116.00	121412016	\$116.00	121422010	\$116.00
121411010	\$116.00	121412017	\$116.00	121422011	\$116.00
121411011	\$116.00	121413001	\$116.00	121422012	\$116.00
121411012	\$116.00	121413002	\$116.00	121422013	\$116.00
121411013	\$116.00	121413003	\$116.00	121422014	\$116.00
121411014	\$116.00	121413004	\$116.00	121422015	\$116.00
121411015	\$116.00	121413005	\$116.00	121422016	\$116.00
121411016	\$116.00	121413006	\$116.00	121422017	\$116.00
121411017	\$116.00	121413007	\$116.00	121422018	\$116.00
121411018	\$116.00	121413008	\$116.00	121422019	\$116.00
121411019	\$116.00	121414001	\$116.00	121422020	\$116.00
121411020	\$116.00	121414002	\$116.00	121422021	\$116.00
121411021	\$116.00	121414003	\$116.00	121422022	\$116.00
121411022	\$116.00	121414004	\$116.00	121422023	\$116.00
121411023	\$116.00	121414005	\$116.00	121422024	\$116.00
121411024	\$116.00	121414006	\$116.00	121422025	\$116.00
121411025	\$116.00	121414007	\$116.00	121422026	\$116.00
121411026	\$116.00	121421001	\$116.00	121422027	\$116.00
121411027	\$116.00	121421002	\$116.00	121422028	\$116.00
121411028	\$116.00	121421003	\$116.00	121422029	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121422030	\$116.00	121451005	\$116.00	121491017	\$116.00
121422031	\$116.00	121451006	\$116.00	121491018	\$116.00
121422032	\$116.00	121451007	\$116.00	121491019	\$116.00
121423001	\$116.00	121451008	\$116.00	121491020	\$116.00
121423002	\$116.00	121451009	\$116.00	121491021	\$116.00
121423003	\$116.00	121451010	\$116.00	121491022	\$116.00
121423004	\$116.00	121451011	\$116.00	121491023	\$116.00
121423005	\$116.00	121451012	\$116.00	121491024	\$116.00
121423006	\$116.00	121451013	\$116.00	121491025	\$116.00
121423007	\$116.00	121451014	\$116.00	121491026	\$116.00
121423008	\$116.00	121451015	\$116.00	121492001	\$116.00
121423009	\$116.00	121452001	\$116.00	121492002	\$116.00
121423010	\$116.00	121452002	\$116.00	121492003	\$116.00
121424001	\$116.00	121452003	\$116.00	121492004	\$116.00
121424002	\$116.00	121452004	\$116.00	121492005	\$116.00
121424003	\$116.00	121452005	\$116.00	121492006	\$116.00
121424004	\$116.00	121452006	\$116.00	121492007	\$116.00
121424005	\$116.00	121452007	\$116.00	121492008	\$116.00
121424006	\$116.00	121452008	\$116.00	121492009	\$116.00
121424007	\$116.00	121452009	\$116.00	121492010	\$116.00
121424008	\$116.00	121452010	\$116.00	121492011	\$116.00
121424009	\$116.00	121452011	\$116.00	121492012	\$116.00
121424010	\$116.00	121452012	\$116.00	121492013	\$116.00
121424011	\$116.00	121452013	\$116.00	121492014	\$116.00
121424012	\$116.00	121452014	\$116.00	121492015	\$116.00
121424013	\$116.00	121452015	\$116.00	121492016	\$116.00
121424014	\$116.00	121452016	\$116.00	121493001	\$116.00
121424015	\$116.00	121491001	\$116.00	121493002	\$116.00
121425001	\$116.00	121491002	\$116.00	121493003	\$116.00
121425002	\$116.00	121491003	\$116.00	121493004	\$116.00
121425003	\$116.00	121491004	\$116.00	121493005	\$116.00
121425004	\$116.00	121491005	\$116.00	121493006	\$116.00
121425005	\$116.00	121491006	\$116.00	121493007	\$116.00
121425006	\$116.00	121491007	\$116.00	121493008	\$116.00
121425007	\$116.00	121491008	\$116.00	121493009	\$116.00
121425008	\$116.00	121491009	\$116.00	121493010	\$116.00
121425009	\$116.00	121491010	\$116.00	121493011	\$116.00
121425010	\$116.00	121491011	\$116.00	121493012	\$116.00
121425011	\$116.00	121491012	\$116.00	121493013	\$116.00
121451001	\$116.00	121491013	\$116.00	121493014	\$116.00
121451002	\$116.00	121491014	\$116.00	121493015	\$116.00
121451003	\$116.00	121491015	\$116.00	121493016	\$116.00
121451004	\$116.00	121491016	\$116.00	121493017	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121493018	\$116.00	121502005	\$116.00	121503033	\$116.00
121493019	\$116.00	121502006	\$116.00	121503034	\$116.00
121493020	\$116.00	121502007	\$116.00	121503035	\$116.00
121493021	\$116.00	121502008	\$116.00	121503036	\$116.00
121493022	\$116.00	121502009	\$116.00	121504001	\$116.00
121493025	\$116.00	121502010	\$116.00	121504002	\$116.00
121493026	\$116.00	121502011	\$116.00	121504003	\$116.00
121493027	\$116.00	121502012	\$116.00	121504004	\$116.00
121493028	\$116.00	121502013	\$116.00	121504005	\$116.00
121493029	\$116.00	121502014	\$116.00	121504006	\$116.00
121493030	\$116.00	121502015	\$116.00	121504007	\$116.00
121493031	\$116.00	121503001	\$116.00	121504008	\$116.00
121493032	\$116.00	121503002	\$116.00	121504009	\$116.00
121493033	\$116.00	121503003	\$116.00	121504010	\$116.00
121493034	\$116.00	121503004	\$116.00	121504011	\$116.00
121493035	\$116.00	121503005	\$116.00	121504012	\$116.00
121493036	\$116.00	121503006	\$116.00	121504013	\$116.00
121493037	\$116.00	121503007	\$116.00	121504014	\$116.00
121493038	\$116.00	121503008	\$116.00	121511001	\$113.36
121493039	\$116.00	121503009	\$116.00	121511002	\$113.36
121493040	\$116.00	121503010	\$116.00	121511003	\$113.36
121493041	\$116.00	121503011	\$116.00	121511004	\$113.36
121493042	\$116.00	121503012	\$116.00	121511005	\$113.36
121493043	\$116.00	121503013	\$116.00	121511006	\$113.36
121493044	\$116.00	121503014	\$116.00	121511007	\$113.36
121493045	\$116.00	121503015	\$116.00	121511008	\$113.36
121493046	\$116.00	121503016	\$116.00	121511009	\$113.36
121501001	\$116.00	121503017	\$116.00	121511010	\$113.36
121501002	\$116.00	121503018	\$116.00	121511011	\$113.36
121501003	\$116.00	121503019	\$116.00	121512001	\$113.36
121501004	\$116.00	121503020	\$116.00	121512002	\$113.36
121501005	\$116.00	121503021	\$116.00	121512003	\$113.36
121501006	\$116.00	121503022	\$116.00	121512004	\$113.36
121501007	\$116.00	121503023	\$116.00	121512005	\$113.36
121501008	\$116.00	121503024	\$116.00	121512006	\$113.36
121501009	\$116.00	121503025	\$116.00	121512007	\$113.36
121501010	\$116.00	121503026	\$116.00	121512008	\$113.36
121501011	\$116.00	121503027	\$116.00	121512009	\$113.36
121501012	\$116.00	121503028	\$116.00	121512010	\$113.36
121502001	\$116.00	121503029	\$116.00	121512011	\$113.36
121502002	\$116.00	121503030	\$116.00	121512012	\$113.36
121502003	\$116.00	121503031	\$116.00	121512013	\$113.36
121502004	\$116.00	121503032	\$116.00	121512014	\$113.36

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121512015	\$113.36	121512034	\$113.36	121513002	\$113.36
121512016	\$113.36	121512035	\$113.36	121513003	\$113.36
121512017	\$113.36	121512036	\$113.36	121513004	\$113.36
121512018	\$113.36	121512037	\$113.36	121513005	\$113.36
121512019	\$113.36	121512038	\$113.36	121513006	\$113.36
121512020	\$113.36	121512039	\$113.36	121513007	\$113.36
121512022	\$113.36	121512040	\$113.36	121513008	\$113.36
121512023	\$113.36	121512041	\$113.36	121513009	\$113.36
121512024	\$113.36	121512042	\$113.36	121513010	\$113.36
121512025	\$113.36	121512043	\$113.36	121513011	\$113.36
121512026	\$113.36	121512044	\$113.36	121513012	\$113.36
121512027	\$113.36	121512045	\$113.36	121513013	\$113.36
121512028	\$113.36	121512046	\$113.36	121513014	\$113.36
121512029	\$113.36	121512047	\$113.36	121513015	\$113.36
121512030	\$113.36	121512048	\$113.36	121513016	\$113.36
121512031	\$113.36	121512049	\$113.36	121513017	\$113.36
121512032	\$113.36	121512050	\$113.36	121513018	\$113.36
121512033	\$113.36	121513001	\$113.36	121513019	\$113.36
<b>Totals</b>		<b>Parcels 699</b>		<b>Levy \$80,875.44</b>	

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107231001	\$182.12	107234006	\$182.12	107251005	\$182.12
107231002	\$182.12	107240001	\$182.12	107251006	\$182.12
107231003	\$182.12	107240002	\$182.12	107251007	\$182.12
107231004	\$182.12	107240003	\$182.12	107251008	\$182.12
107231005	\$182.12	107240004	\$182.12	107251009	\$182.12
107231006	\$182.12	107240005	\$182.12	107251010	\$182.12
107231007	\$182.12	107240006	\$182.12	107251011	\$182.12
107231008	\$182.12	107240007	\$182.12	107251012	\$182.12
107231009	\$182.12	107240008	\$182.12	107251013	\$182.12
107231010	\$182.12	107240009	\$182.12	107251014	\$182.12
107231011	\$182.12	107240010	\$182.12	107252002	\$182.12
107231012	\$182.12	107240011	\$182.12	107252003	\$182.12
107231013	\$182.12	107240012	\$182.12	107252004	\$182.12
107231014	\$182.12	107240013	\$182.12	107252005	\$182.12
107231015	\$182.12	107240014	\$182.12	107252006	\$182.12
107231016	\$182.12	107240015	\$182.12	107252007	\$182.12
107231017	\$182.12	107240016	\$182.12	107252008	\$182.12
107231018	\$182.12	107240017	\$182.12	107252009	\$182.12
107231019	\$182.12	107240018	\$182.12	107252010	\$182.12
107231020	\$182.12	107240019	\$182.12	107252011	\$182.12
107231021	\$182.12	107240020	\$182.12	107252012	\$182.12
107231022	\$182.12	107240021	\$182.12	107252013	\$182.12
107231023	\$182.12	107240022	\$182.12	107252014	\$182.12
107231024	\$182.12	107240023	\$182.12	107252015	\$182.12
107232001	\$182.12	107240024	\$182.12	107252016	\$182.12
107232002	\$182.12	107240025	\$182.12	107252017	\$182.12
107232003	\$182.12	107240026	\$182.12	107252018	\$182.12
107232004	\$182.12	107240027	\$182.12	107252019	\$182.12
107232005	\$182.12	107240028	\$182.12	107252020	\$182.12
107232006	\$182.12	107240029	\$182.12	107252021	\$182.12
107232007	\$182.12	107240030	\$182.12	107252022	\$182.12
107232008	\$182.12	107240031	\$182.12	107252023	\$182.12
107232009	\$182.12	107240032	\$182.12	107252024	\$182.12
107233005	\$182.12	107240033	\$182.12	107252025	\$182.12
107233006	\$182.12	107240034	\$182.12	107252026	\$182.12
107233007	\$182.12	107240035	\$182.12	107252027	\$182.12
107233008	\$182.12	107240036	\$182.12	107252028	\$182.12
107233009	\$182.12	107240037	\$182.12	107253001	\$182.12
107233010	\$182.12	107240038	\$182.12	107253002	\$182.12
107234001	\$182.12	107240039	\$182.12	107253003	\$182.12
107234002	\$182.12	107251001	\$182.12	107253004	\$182.12
107234003	\$182.12	107251002	\$182.12	107253005	\$182.12
107234004	\$182.12	107251003	\$182.12	107253006	\$182.12
107234005	\$182.12	107251004	\$182.12	107253007	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107253008	\$182.12	107255017	\$182.12	107262022	\$182.12
107253009	\$182.12	107255018	\$182.12	107262023	\$182.12
107253010	\$182.12	107255019	\$182.12	107262024	\$182.12
107253011	\$182.12	107255020	\$182.12	107262025	\$182.12
107253012	\$182.12	107255021	\$182.12	107262026	\$182.12
107253013	\$182.12	107255022	\$182.12	107262027	\$182.12
107253014	\$182.12	107255023	\$182.12	107262028	\$182.12
107253015	\$182.12	107255024	\$182.12	107262029	\$182.12
107253016	\$182.12	107261001	\$182.12	107262030	\$182.12
107254001	\$182.12	107261002	\$182.12	107262031	\$182.12
107254002	\$182.12	107261003	\$182.12	107262032	\$182.12
107254003	\$182.12	107261004	\$182.12	107262033	\$182.12
107254004	\$182.12	107261005	\$182.12	107262034	\$182.12
107254005	\$182.12	107261006	\$182.12	107262035	\$182.12
107254006	\$182.12	107261007	\$182.12	107262036	\$182.12
107254007	\$182.12	107261008	\$182.12	107262039	\$182.12
107254008	\$182.12	107261009	\$182.12	107262040	\$182.12
107254009	\$182.12	107261010	\$182.12	107262041	\$182.12
107254010	\$182.12	107261011	\$182.12	107262042	\$182.12
107254011	\$182.12	107261012	\$182.12	107262043	\$182.12
107254012	\$182.12	107261013	\$182.12	107262044	\$182.12
107254013	\$182.12	107261014	\$182.12	107262045	\$182.12
107254014	\$182.12	107262001	\$182.12	107262046	\$182.12
107254015	\$182.12	107262002	\$182.12	107262047	\$182.12
107254016	\$182.12	107262003	\$182.12	107262048	\$182.12
107254017	\$182.12	107262004	\$182.12	107262049	\$182.12
107254018	\$182.12	107262005	\$182.12	107262050	\$182.12
107255001	\$182.12	107262006	\$182.12	107262051	\$182.12
107255002	\$182.12	107262007	\$182.12	107262052	\$182.12
107255003	\$182.12	107262008	\$182.12	107262053	\$182.12
107255004	\$182.12	107262009	\$182.12	107262054	\$182.12
107255005	\$182.12	107262010	\$182.12	107262055	\$182.12
107255006	\$182.12	107262011	\$182.12	107263001	\$182.12
107255007	\$182.12	107262012	\$182.12	107263002	\$182.12
107255008	\$182.12	107262013	\$182.12	107263003	\$182.12
107255009	\$182.12	107262014	\$182.12	107263004	\$182.12
107255010	\$182.12	107262015	\$182.12	107263005	\$182.12
107255011	\$182.12	107262016	\$182.12	107263006	\$182.12
107255012	\$182.12	107262017	\$182.12	107263007	\$182.12
107255013	\$182.12	107262018	\$182.12	107263008	\$182.12
107255014	\$182.12	107262019	\$182.12	107263009	\$182.12
107255015	\$182.12	107262020	\$182.12	107263010	\$182.12
107255016	\$182.12	107262021	\$182.12	107264001	\$182.12
107264002	\$182.12	107273009	\$182.12	107282019	\$182.12



# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107264003	\$182.12	107273010	\$182.12	107282020	\$182.12
107264004	\$182.12	107273011	\$182.12	107282021	\$182.12
107264005	\$182.12	107273012	\$182.12	107282022	\$182.12
107264006	\$182.12	107273013	\$182.12	107282023	\$182.12
107264007	\$182.12	107273014	\$182.12	107282024	\$182.12
107264008	\$182.12	107273015	\$182.12	107282025	\$182.12
107264009	\$182.12	107273016	\$182.12	107282026	\$182.12
107264010	\$182.12	107273017	\$182.12	107282027	\$182.12
107264011	\$182.12	107273018	\$182.12	107282028	\$182.12
107264012	\$182.12	107273019	\$182.12	107282029	\$182.12
107264013	\$182.12	107273020	\$182.12	107282030	\$182.12
107264014	\$182.12	107273021	\$182.12	107282031	\$182.12
107264015	\$182.12	107273022	\$182.12	107282032	\$182.12
107271001	\$182.12	107274001	\$182.12	107282033	\$182.12
107271002	\$182.12	107274002	\$182.12	107282034	\$182.12
107271003	\$182.12	107274003	\$182.12	107282035	\$182.12
107271004	\$182.12	107274004	\$182.12	107282036	\$182.12
107272001	\$182.12	107274005	\$182.12	107282037	\$182.12
107272002	\$182.12	107281001	\$182.12	107282038	\$182.12
107272003	\$182.12	107281002	\$182.12	107282039	\$182.12
107272004	\$182.12	107281003	\$182.12	107282040	\$182.12
107272005	\$182.12	107281004	\$182.12	107283001	\$182.12
107272006	\$182.12	107281005	\$182.12	107283002	\$182.12
107272007	\$182.12	107281006	\$182.12	107283003	\$182.12
107272008	\$182.12	107282001	\$182.12	107283004	\$182.12
107272009	\$182.12	107282002	\$182.12	107283005	\$182.12
107272010	\$182.12	107282003	\$182.12	107283006	\$182.12
107272011	\$182.12	107282004	\$182.12	107283007	\$182.12
107272012	\$182.12	107282005	\$182.12	107283008	\$182.12
107272013	\$182.12	107282006	\$182.12	107283009	\$182.12
107272014	\$182.12	107282007	\$182.12	107283010	\$182.12
107272015	\$182.12	107282008	\$182.12	107283011	\$182.12
107272016	\$182.12	107282009	\$182.12	107283012	\$182.12
107272017	\$182.12	107282010	\$182.12	107283013	\$182.12
107272018	\$182.12	107282011	\$182.12	107284001	\$182.12
107273002	\$182.12	107282012	\$182.12	107284002	\$182.12
107273003	\$182.12	107282013	\$182.12	107284003	\$182.12
107273004	\$182.12	107282014	\$182.12	107284004	\$182.12
107273005	\$182.12	107282015	\$182.12	107284005	\$182.12
107273006	\$182.12	107282016	\$182.12	107284006	\$182.12
107273007	\$182.12	107282017	\$182.12	107284007	\$182.12
107273008	\$182.12	107282018	\$182.12	107284008	\$182.12
107284009	\$182.12	107292035	\$182.12	107302013	\$182.12
107284010	\$182.12	107292036	\$182.12	107302014	\$182.12



## Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107284011	\$182.12	107292037	\$182.12	107302015	\$182.12
107291001	\$182.12	107292038	\$182.12	107302016	\$182.12
107291002	\$182.12	107292039	\$182.12	107302017	\$182.12
107291003	\$182.12	107292040	\$182.12	107302018	\$182.12
107291004	\$182.12	107292041	\$182.12	107302019	\$182.12
107291005	\$182.12	107292042	\$182.12	107302020	\$182.12
107292001	\$182.12	107292043	\$182.12	107302021	\$182.12
107292002	\$182.12	107292044	\$182.12	107302022	\$182.12
107292003	\$182.12	107292045	\$182.12	107302023	\$182.12
107292004	\$182.12	107292046	\$182.12	107302024	\$182.12
107292005	\$182.12	107292047	\$182.12	107302025	\$182.12
107292006	\$182.12	107292048	\$182.12	107302026	\$182.12
107292007	\$182.12	107292049	\$182.12	107302027	\$182.12
107292008	\$182.12	107292050	\$182.12	107302028	\$182.12
107292009	\$182.12	107292051	\$182.12	107302029	\$182.12
107292010	\$182.12	107292052	\$182.12	107302030	\$182.12
107292011	\$182.12	107292053	\$182.12	107302031	\$182.12
107292012	\$182.12	107292054	\$182.12	107302032	\$182.12
107292013	\$182.12	107292055	\$182.12	107302033	\$182.12
107292014	\$182.12	107292056	\$182.12	107302034	\$182.12
107292015	\$182.12	107292057	\$182.12	107302035	\$182.12
107292016	\$182.12	107292058	\$182.12	107302036	\$182.12
107292017	\$182.12	107301001	\$182.12	107302037	\$182.12
107292018	\$182.12	107301002	\$182.12	107302038	\$182.12
107292019	\$182.12	107301003	\$182.12	107302039	\$182.12
107292020	\$182.12	107301004	\$182.12	107302040	\$182.12
107292021	\$182.12	107301005	\$182.12	107302041	\$182.12
107292022	\$182.12	107301006	\$182.12	107302042	\$182.12
107292023	\$182.12	107302001	\$182.12	107302043	\$182.12
107292024	\$182.12	107302002	\$182.12	107302044	\$182.12
107292025	\$182.12	107302003	\$182.12	107302045	\$182.12
107292026	\$182.12	107302004	\$182.12	107302046	\$182.12
107292027	\$182.12	107302005	\$182.12	107302047	\$182.12
107292028	\$182.12	107302006	\$182.12	107302048	\$182.12
107292029	\$182.12	107302007	\$182.12	107302049	\$182.12
107292030	\$182.12	107302008	\$182.12	107302050	\$182.12
107292031	\$182.12	107302009	\$182.12	107302051	\$182.12
107292032	\$182.12	107302010	\$182.12	107302052	\$182.12
107292033	\$182.12	107302011	\$182.12		
107292034	\$182.12	107302012	\$182.12		

**Totals**

**Parcels 514**

**Levy \$93,609.68**

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115180054	\$6,097.96	115391013	\$40.92	115391056	\$40.92
115180055	\$11,991.30	115391014	\$40.92	115391057	\$40.92
115290033	\$184.16	115391015	\$40.92	115391058	\$40.92
115290034	\$303.52	115391016	\$40.92	115391059	\$40.92
115290035	\$266.00	115391017	\$40.92	115391060	\$40.92
115290036	\$368.32	115391018	\$40.92	115391061	\$40.92
115290044	\$341.04	115391019	\$40.92	115391062	\$40.92
115290045	\$320.58	115391020	\$40.92	115391063	\$40.92
115380008	\$3,008.06	115391021	\$40.92	115391064	\$40.92
115380009	\$129.58	115391022	\$40.92	115392001	\$40.92
115380010	\$3,250.20	115391023	\$40.92	115392002	\$40.92
115380011	\$1,432.40	115391024	\$40.92	115392003	\$40.92
115380012	\$344.46	115391025	\$40.92	115392004	\$40.92
115380013	\$1,425.58	115391026	\$40.92	115392005	\$40.92
115380014	\$221.68	115391027	\$40.92	115392006	\$40.92
115380016	\$419.48	115391028	\$40.92	115392007	\$40.92
115380019	\$920.82	115391029	\$40.92	115392008	\$40.92
115380020	\$150.06	115391030	\$40.92	115392009	\$40.92
115380021	\$296.70	115391031	\$40.92	115392010	\$40.92
115380022	\$279.66	115391032	\$40.92	115392011	\$40.92
115380023	\$327.40	115391033	\$40.92	115392012	\$40.92
115380024	\$439.94	115391034	\$40.92	115392013	\$40.92
115380025	\$896.96	115391035	\$40.92	115392014	\$40.92
115380026	\$668.44	115391036	\$40.92	115392015	\$40.92
115380027	\$194.38	115391037	\$40.92	115392016	\$40.92
115380028	\$753.72	115391038	\$40.92	115392017	\$40.92
115380029	\$1,838.24	115391039	\$40.92	115392018	\$40.92
115380033	\$1,036.78	115391040	\$40.92	115392019	\$40.92
115380034	\$412.66	115391041	\$40.92	115392020	\$40.92
115380035	\$1,330.08	115391042	\$40.92	115392021	\$40.92
115390015	\$20,135.58	115391043	\$40.92	115392022	\$40.92
115391001	\$40.92	115391044	\$40.92	115392023	\$40.92
115391002	\$40.92	115391045	\$40.92	115392024	\$40.92
115391003	\$40.92	115391046	\$40.92	115392026	\$40.92
115391004	\$40.92	115391047	\$40.92	115392027	\$40.92
115391005	\$40.92	115391048	\$40.92	115392028	\$40.92
115391006	\$40.92	115391049	\$40.92	115392029	\$40.92
115391007	\$40.92	115391050	\$40.92	115392030	\$40.92
115391008	\$40.92	115391051	\$40.92	115392031	\$40.92
115391009	\$40.92	115391052	\$40.92	115392032	\$40.92
115391010	\$40.92	115391053	\$40.92	115392033	\$40.92
115391011	\$40.92	115391054	\$40.92	115392034	\$40.92
115391012	\$40.92	115391055	\$40.92	115392035	\$40.92

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115392036	\$40.92	115392080	\$40.92	115393033	\$40.92
115392037	\$40.92	115392081	\$40.92	115393034	\$40.92
115392038	\$40.92	115392082	\$40.92	115393035	\$40.92
115392039	\$40.92	115392083	\$40.92	115393036	\$40.92
115392040	\$40.92	115392084	\$40.92	115393037	\$40.92
115392041	\$40.92	115392085	\$40.92	115393038	\$40.92
115392042	\$40.92	115392086	\$40.92	115393039	\$40.92
115392043	\$40.92	115392087	\$40.92	115393040	\$40.92
115392044	\$40.92	115392088	\$40.92	115393041	\$40.92
115392045	\$40.92	115392089	\$40.92	115393042	\$40.92
115392046	\$40.92	115392090	\$40.92	115393043	\$40.92
115392047	\$40.92	115393001	\$40.92	115393044	\$40.92
115392048	\$40.92	115393002	\$40.92	115393045	\$40.92
115392049	\$40.92	115393003	\$40.92	115393046	\$40.92
115392051	\$40.92	115393004	\$40.92	115393047	\$40.92
115392052	\$40.92	115393005	\$40.92	115393048	\$40.92
115392053	\$40.92	115393006	\$40.92	115393050	\$40.92
115392054	\$40.92	115393007	\$40.92	115393051	\$40.92
115392055	\$40.92	115393008	\$40.92	115393052	\$40.92
115392056	\$40.92	115393009	\$40.92	115393053	\$40.92
115392057	\$40.92	115393010	\$40.92	115393054	\$40.92
115392058	\$40.92	115393011	\$40.92	115393055	\$40.92
115392059	\$40.92	115393012	\$40.92	115393056	\$40.92
115392060	\$40.92	115393013	\$40.92	115393057	\$40.92
115392061	\$40.92	115393014	\$40.92	115393058	\$40.92
115392062	\$40.92	115393015	\$40.92	115393059	\$40.92
115392063	\$40.92	115393016	\$40.92	115393060	\$40.92
115392064	\$40.92	115393017	\$40.92	115393061	\$40.92
115392065	\$40.92	115393018	\$40.92	115393062	\$40.92
115392066	\$40.92	115393019	\$40.92	115393063	\$40.92
115392067	\$40.92	115393020	\$40.92	115393064	\$40.92
115392068	\$40.92	115393021	\$40.92	115393065	\$40.92
115392069	\$40.92	115393022	\$40.92	115393066	\$40.92
115392070	\$40.92	115393023	\$40.92	115393067	\$40.92
115392071	\$40.92	115393024	\$40.92	115393068	\$40.92
115392072	\$40.92	115393025	\$40.92	115393069	\$40.92
115392073	\$40.92	115393026	\$40.92	115393070	\$40.92
115392074	\$40.92	115393027	\$40.92	115393071	\$40.92
115392075	\$40.92	115393028	\$40.92	115393072	\$40.92
115392076	\$40.92	115393029	\$40.92	115393073	\$40.92
115392077	\$40.92	115393030	\$40.92	115393074	\$40.92
115392078	\$40.92	115393031	\$40.92	115393075	\$40.92
115392079	\$40.92	115393032	\$40.92	115393076	\$40.92

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115393077	\$40.92	115394023	\$40.92	115412006	\$68.20
115393078	\$40.92	115394024	\$40.92	115412007	\$68.20
115393079	\$40.92	115394025	\$40.92	115412008	\$68.20
115393080	\$40.92	115394026	\$40.92	115413001	\$68.20
115393081	\$40.92	115394027	\$40.92	115413002	\$68.20
115393082	\$40.92	115394028	\$40.92	115413003	\$68.20
115393083	\$40.92	115394029	\$40.92	115413004	\$68.20
115393084	\$40.92	115394030	\$40.92	115413005	\$68.20
115393085	\$40.92	115394031	\$40.92	115413006	\$68.20
115393086	\$40.92	115394032	\$40.92	115413007	\$68.20
115393087	\$40.92	115394033	\$40.92	115413008	\$68.20
115393088	\$40.92	115394034	\$40.92	115414001	\$68.20
115393089	\$40.92	115394035	\$40.92	115414002	\$68.20
115393090	\$40.92	115394036	\$40.92	115414003	\$68.20
115393091	\$40.92	115394037	\$40.92	115414004	\$68.20
115393092	\$40.92	115394038	\$40.92	115414005	\$68.20
115393093	\$40.92	115394039	\$40.92	115414006	\$68.20
115393094	\$40.92	115394040	\$40.92	115414007	\$68.20
115393095	\$40.92	115394041	\$40.92	115414008	\$68.20
115393096	\$40.92	115394042	\$40.92	115414009	\$68.20
115393097	\$40.92	115394043	\$40.92	115414010	\$68.20
115394001	\$40.92	115394044	\$40.92	115414011	\$68.20
115394002	\$40.92	115394045	\$40.92	115414012	\$68.20
115394003	\$40.92	115394046	\$40.92	115414013	\$68.20
115394004	\$40.92	115394047	\$40.92	115414014	\$68.20
115394005	\$40.92	115394048	\$40.92	115414015	\$68.20
115394006	\$40.92	115411001	\$68.20	115414016	\$68.20
115394007	\$40.92	115411002	\$68.20	115414017	\$68.20
115394008	\$40.92	115411003	\$68.20	115414018	\$68.20
115394009	\$40.92	115411004	\$68.20	115414019	\$68.20
115394010	\$40.92	115411005	\$68.20	115414020	\$68.20
115394011	\$40.92	115411006	\$68.20	115414021	\$68.20
115394012	\$40.92	115411007	\$68.20	115414022	\$68.20
115394013	\$40.92	115411008	\$68.20	115414023	\$68.20
115394014	\$40.92	115411009	\$68.20	115414024	\$68.20
115394015	\$40.92	115411010	\$68.20	115414025	\$68.20
115394016	\$40.92	115411011	\$68.20	115414026	\$68.20
115394017	\$40.92	115411012	\$68.20	115414027	\$68.20
115394018	\$40.92	115412001	\$68.20	115414028	\$68.20
115394019	\$40.92	115412002	\$68.20	115414029	\$68.20
115394020	\$40.92	115412003	\$68.20	115414030	\$68.20
115394021	\$40.92	115412004	\$68.20	115414031	\$68.20
115394022	\$40.92	115412005	\$68.20	115414032	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115414033	\$68.20	115431027	\$68.20	115440007	\$68.20
115414034	\$68.20	115431028	\$68.20	115440008	\$68.20
115414035	\$68.20	115431029	\$68.20	115440009	\$68.20
115414036	\$68.20	115431030	\$68.20	115440010	\$68.20
115414037	\$68.20	115431031	\$68.20	115440011	\$68.20
115414038	\$68.20	115431032	\$68.20	115440012	\$68.20
115414039	\$68.20	115431033	\$68.20	115440013	\$68.20
115414040	\$68.20	115431034	\$68.20	115440014	\$68.20
115414041	\$68.20	115431035	\$68.20	115440015	\$68.20
115414042	\$68.20	115431036	\$68.20	115440016	\$68.20
115414043	\$68.20	115431037	\$68.20	115440017	\$68.20
115414044	\$68.20	115431038	\$68.20	115440018	\$68.20
115414045	\$68.20	115431039	\$68.20	115440019	\$68.20
115414046	\$68.20	115431040	\$68.20	115440020	\$68.20
115414047	\$68.20	115431041	\$68.20	115440021	\$68.20
115414048	\$68.20	115431042	\$68.20	115440022	\$68.20
115414049	\$68.20	115431043	\$68.20	115440023	\$68.20
115431001	\$68.20	115432001	\$68.20	115440024	\$68.20
115431002	\$68.20	115432002	\$68.20	115440025	\$68.20
115431003	\$68.20	115432003	\$68.20	115440026	\$68.20
115431004	\$68.20	115432004	\$68.20	115440027	\$68.20
115431005	\$68.20	115432005	\$68.20	115440028	\$68.20
115431006	\$68.20	115432006	\$68.20	115440029	\$68.20
115431007	\$68.20	115432007	\$68.20	115440030	\$68.20
115431008	\$68.20	115432008	\$68.20	115440031	\$68.20
115431009	\$68.20	115432009	\$68.20	115440032	\$68.20
115431010	\$68.20	115432010	\$68.20	115440033	\$68.20
115431011	\$68.20	115432011	\$68.20	115440034	\$68.20
115431012	\$68.20	115432012	\$68.20	115440035	\$68.20
115431013	\$68.20	115432013	\$68.20	115440036	\$68.20
115431014	\$68.20	115432014	\$68.20	115440037	\$68.20
115431015	\$68.20	115432015	\$68.20	115440038	\$68.20
115431016	\$68.20	115432016	\$68.20	115440039	\$68.20
115431017	\$68.20	115432017	\$68.20	115451001	\$68.20
115431018	\$68.20	115432018	\$68.20	115451002	\$68.20
115431019	\$68.20	115432019	\$68.20	115451003	\$68.20
115431020	\$68.20	115432020	\$68.20	115451004	\$68.20
115431021	\$68.20	115440001	\$68.20	115451005	\$68.20
115431022	\$68.20	115440002	\$68.20	115451006	\$68.20
115431023	\$68.20	115440003	\$68.20	115451007	\$68.20
115431024	\$68.20	115440004	\$68.20	115451008	\$68.20
115431025	\$68.20	115440005	\$68.20	115451009	\$68.20
115431026	\$68.20	115440006	\$68.20	115451010	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115451011	\$68.20	115452014	\$68.20	115462012	\$68.20
115451012	\$68.20	115452015	\$68.20	115462013	\$68.20
115451013	\$68.20	115452016	\$68.20	115462014	\$68.20
115451014	\$68.20	115452017	\$68.20	115462015	\$68.20
115451015	\$68.20	115452018	\$68.20	115462016	\$68.20
115451016	\$68.20	115452019	\$68.20	115462017	\$68.20
115451017	\$68.20	115452020	\$68.20	115462018	\$68.20
115451018	\$68.20	115452021	\$68.20	115462019	\$68.20
115451019	\$68.20	115452022	\$68.20	115462020	\$68.20
115451020	\$68.20	115452023	\$68.20	115462021	\$68.20
115451021	\$68.20	115452024	\$68.20	115462022	\$68.20
115451022	\$68.20	115452025	\$68.20	115462023	\$68.20
115451023	\$68.20	115452026	\$68.20	115462024	\$68.20
115451024	\$68.20	115452027	\$68.20	115462025	\$68.20
115451025	\$68.20	115452028	\$68.20	115462026	\$68.20
115451026	\$68.20	115452029	\$68.20	115462027	\$68.20
115451027	\$68.20	115452030	\$68.20	115462028	\$68.20
115451028	\$68.20	115452031	\$68.20	115462029	\$68.20
115451029	\$68.20	115452032	\$68.20	115462030	\$68.20
115451030	\$68.20	115452033	\$68.20	115462031	\$68.20
115451031	\$68.20	115452034	\$68.20	115462032	\$68.20
115451032	\$68.20	115461001	\$68.20	115463001	\$68.20
115451033	\$68.20	115461002	\$68.20	115463002	\$68.20
115451034	\$68.20	115461003	\$68.20	115463003	\$68.20
115451035	\$68.20	115461004	\$68.20	115463004	\$68.20
115451036	\$68.20	115461005	\$68.20	115463005	\$68.20
115451037	\$68.20	115461006	\$68.20	115463006	\$68.20
115451038	\$68.20	115461007	\$68.20	115463007	\$68.20
115451039	\$68.20	115461008	\$68.20	115463008	\$68.20
115451040	\$68.20	115461009	\$68.20	115463009	\$68.20
115452001	\$68.20	115461010	\$68.20	115463010	\$68.20
115452002	\$68.20	115461011	\$68.20	115463011	\$68.20
115452003	\$68.20	115462001	\$68.20	115463012	\$68.20
115452004	\$68.20	115462002	\$68.20	115463013	\$68.20
115452005	\$68.20	115462003	\$68.20	115463014	\$68.20
115452006	\$68.20	115462004	\$68.20	115463015	\$68.20
115452007	\$68.20	115462005	\$68.20	115463016	\$68.20
115452008	\$68.20	115462006	\$68.20	115463017	\$68.20
115452009	\$68.20	115462007	\$68.20	115463018	\$68.20
115452010	\$68.20	115462008	\$68.20	115463019	\$68.20
115452011	\$68.20	115462009	\$68.20	115463020	\$68.20
115452012	\$68.20	115462010	\$68.20	115463021	\$68.20
115452013	\$68.20	115462011	\$68.20	115463022	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115463023	\$68.20	115471031	\$68.20	115473023	\$68.20
115463024	\$68.20	115471032	\$68.20	115473024	\$68.20
115463025	\$68.20	115471033	\$68.20	115473025	\$68.20
115463026	\$68.20	115471034	\$68.20	115473026	\$68.20
115463027	\$68.20	115471035	\$68.20	115473027	\$68.20
115463028	\$68.20	115471036	\$68.20	115473028	\$68.20
115463029	\$68.20	115471037	\$68.20	115473029	\$68.20
115463030	\$68.20	115471038	\$68.20	115473030	\$68.20
115463031	\$68.20	115471039	\$68.20	115473031	\$68.20
115463032	\$68.20	115472001	\$68.20	115474001	\$68.20
115463033	\$68.20	115472002	\$68.20	115474002	\$68.20
115463034	\$68.20	115472003	\$68.20	115474003	\$68.20
115463035	\$68.20	115472004	\$68.20	115474004	\$68.20
115471001	\$68.20	115472005	\$68.20	115474005	\$68.20
115471002	\$68.20	115472006	\$68.20	115474006	\$68.20
115471003	\$68.20	115472007	\$68.20	115481001	\$68.20
115471004	\$68.20	115472008	\$68.20	115481002	\$68.20
115471005	\$68.20	115472009	\$68.20	115481003	\$68.20
115471006	\$68.20	115472010	\$68.20	115481004	\$68.20
115471007	\$68.20	115472011	\$68.20	115481005	\$68.20
115471008	\$68.20	115472012	\$68.20	115481006	\$68.20
115471009	\$68.20	115473001	\$68.20	115481007	\$68.20
115471010	\$68.20	115473002	\$68.20	115481008	\$68.20
115471011	\$68.20	115473003	\$68.20	115481009	\$68.20
115471012	\$68.20	115473004	\$68.20	115481010	\$68.20
115471013	\$68.20	115473005	\$68.20	115481014	\$68.20
115471014	\$68.20	115473006	\$68.20	115481019	\$68.20
115471015	\$68.20	115473007	\$68.20	115481021	\$68.20
115471016	\$68.20	115473008	\$68.20	115481023	\$68.20
115471017	\$68.20	115473009	\$68.20	115481024	\$68.20
115471018	\$68.20	115473010	\$68.20	115481026	\$68.20
115471019	\$68.20	115473011	\$68.20	115481027	\$68.20
115471020	\$68.20	115473012	\$68.20	115481028	\$68.20
115471021	\$68.20	115473013	\$68.20	115481045	\$68.20
115471022	\$68.20	115473014	\$68.20	115481046	\$68.20
115471023	\$68.20	115473015	\$68.20	115481047	\$68.20
115471024	\$68.20	115473016	\$68.20	115481048	\$68.20
115471025	\$68.20	115473017	\$68.20	115481049	\$68.20
115471026	\$68.20	115473018	\$68.20	115481050	\$68.20
115471027	\$68.20	115473019	\$68.20	115481051	\$68.20
115471028	\$68.20	115473020	\$68.20	115481052	\$68.20
115471029	\$68.20	115473021	\$68.20	115481053	\$68.20
115471030	\$68.20	115473022	\$68.20	115481054	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115482001	\$68.20	115491003	\$68.20	115492031	\$68.20
115482002	\$68.20	115491004	\$68.20	115492032	\$68.20
115482003	\$68.20	115491005	\$68.20	115492033	\$68.20
115482004	\$68.20	115491006	\$68.20	115492034	\$68.20
115482005	\$68.20	115491007	\$68.20	115492035	\$68.20
115482006	\$68.20	115491008	\$68.20	115492036	\$68.20
115482007	\$68.20	115491009	\$68.20	115492037	\$68.20
115482008	\$68.20	115491010	\$68.20	115492038	\$68.20
115482009	\$68.20	115491011	\$68.20	115492039	\$68.20
115482010	\$68.20	115491012	\$68.20	115492040	\$68.20
115482011	\$68.20	115491013	\$68.20	115493001	\$68.20
115482012	\$68.20	115491014	\$68.20	115493002	\$68.20
115482013	\$68.20	115491015	\$68.20	115493003	\$68.20
115482014	\$68.20	115492001	\$68.20	115493004	\$68.20
115482015	\$68.20	115492002	\$68.20	115493005	\$68.20
115482016	\$68.20	115492003	\$68.20	115493006	\$68.20
115482017	\$68.20	115492004	\$68.20	115493007	\$68.20
115482018	\$68.20	115492005	\$68.20	115493008	\$68.20
115482019	\$68.20	115492006	\$68.20	115493009	\$68.20
115482020	\$68.20	115492007	\$68.20	115493010	\$68.20
115482021	\$68.20	115492008	\$68.20	115493011	\$68.20
115482022	\$68.20	115492009	\$68.20	115493012	\$68.20
115482023	\$68.20	115492010	\$68.20	115493013	\$68.20
115482024	\$68.20	115492011	\$68.20	115493014	\$68.20
115482025	\$68.20	115492012	\$68.20	115493015	\$68.20
115482026	\$68.20	115492013	\$68.20	115493016	\$68.20
115482027	\$68.20	115492014	\$68.20	115493017	\$68.20
115482028	\$68.20	115492015	\$68.20	115493018	\$68.20
115482029	\$68.20	115492016	\$68.20	115493019	\$68.20
115482030	\$68.20	115492017	\$68.20	115500002	\$982.22
115482031	\$68.20	115492018	\$68.20	115500004	\$1,309.62
115482032	\$68.20	115492019	\$68.20	115500008	\$1,309.62
115482033	\$68.20	115492020	\$68.20	115500015	\$5,975.18
115482034	\$68.20	115492021	\$68.20	115500016	\$2,619.26
115482035	\$68.20	115492022	\$68.20	115500017	\$1,309.62
115482036	\$68.20	115492023	\$68.20	115521001	\$68.20
115482037	\$68.20	115492024	\$68.20	115521002	\$68.20
115482038	\$68.20	115492025	\$68.20	115521003	\$68.20
115482039	\$68.20	115492026	\$68.20	115521004	\$68.20
115482040	\$68.20	115492027	\$68.20	115521005	\$68.20
115482041	\$68.20	115492028	\$68.20	115521006	\$68.20
115491001	\$68.20	115492029	\$68.20	115521007	\$68.20
115491002	\$68.20	115492030	\$68.20	115521008	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115521009	\$68.20	115531006	\$68.20	115533008	\$68.20
115521010	\$68.20	115531007	\$68.20	115533009	\$68.20
115521011	\$68.20	115531008	\$68.20	115533010	\$68.20
115521012	\$68.20	115531009	\$68.20	115533011	\$68.20
115521013	\$68.20	115531012	\$68.20	115533012	\$68.20
115521014	\$68.20	115532001	\$68.20	115533013	\$68.20
115521015	\$68.20	115532002	\$68.20	115533014	\$68.20
115521016	\$68.20	115532003	\$68.20	115533015	\$68.20
115521017	\$68.20	115532004	\$68.20	115533016	\$68.20
115521018	\$68.20	115532005	\$68.20	115534001	\$68.20
115521019	\$68.20	115532006	\$68.20	115534002	\$68.20
115521020	\$68.20	115532007	\$68.20	115534003	\$68.20
115521021	\$68.20	115532008	\$68.20	115534004	\$68.20
115521022	\$68.20	115532010	\$68.20	115534005	\$68.20
115521023	\$68.20	115532011	\$68.20	115534006	\$68.20
115521024	\$68.20	115532012	\$68.20	115534007	\$68.20
115521025	\$68.20	115532013	\$68.20	115534008	\$68.20
115521026	\$68.20	115532014	\$68.20	115534009	\$68.20
115521027	\$68.20	115532015	\$68.20	115534010	\$68.20
115521028	\$68.20	115532016	\$68.20	115560001	\$68.20
115521030	\$68.20	115532017	\$68.20	115560002	\$68.20
115521031	\$68.20	115532018	\$68.20	115560003	\$68.20
115521032	\$68.20	115532019	\$68.20	115560004	\$68.20
115522001	\$68.20	115532020	\$68.20	115560005	\$68.20
115522003	\$68.20	115532021	\$68.20	115560006	\$68.20
115522004	\$68.20	115532022	\$68.20	115560007	\$68.20
115522005	\$68.20	115532023	\$68.20	115560008	\$68.20
115522006	\$68.20	115532024	\$68.20	115560009	\$68.20
115522007	\$68.20	115532025	\$68.20	115560010	\$68.20
115522008	\$68.20	115532026	\$68.20	115560011	\$68.20
115522009	\$68.20	115532027	\$68.20	115560012	\$68.20
115522010	\$68.20	115532028	\$68.20	115560013	\$68.20
115522011	\$68.20	115532029	\$68.20	115560014	\$68.20
115522012	\$68.20	115532030	\$68.20	115560015	\$68.20
115522013	\$68.20	115532031	\$68.20	115560016	\$68.20
115522014	\$68.20	115532032	\$68.20	115560017	\$68.20
115522015	\$68.20	115533001	\$68.20	115560018	\$68.20
115522016	\$68.20	115533002	\$68.20	115560019	\$68.20
115522017	\$68.20	115533003	\$68.20	115560020	\$68.20
115531002	\$68.20	115533004	\$68.20	115560021	\$68.20
115531003	\$68.20	115533005	\$68.20	115560022	\$68.20
115531004	\$68.20	115533006	\$68.20	115560023	\$68.20
115531005	\$68.20	115533007	\$68.20	115560024	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115560025	\$68.20	115570013	\$68.20	115610003	\$68.20
115560026	\$68.20	115570014	\$68.20	115610004	\$68.20
115560027	\$68.20	115570015	\$68.20	115610005	\$68.20
115560028	\$68.20	115570016	\$68.20	115610006	\$68.20
115560029	\$68.20	115570017	\$68.20	115610007	\$68.20
115560030	\$68.20	115570018	\$68.20	115610008	\$68.20
115560031	\$68.20	115570019	\$68.20	115610009	\$68.20
115560032	\$68.20	115570020	\$68.20	115610010	\$68.20
115560033	\$68.20	115570021	\$68.20	115610011	\$68.20
115560034	\$68.20	115570022	\$68.20	115610012	\$68.20
115560035	\$68.20	115570023	\$68.20	115610013	\$68.20
115560036	\$68.20	115570024	\$68.20	115610014	\$68.20
115560037	\$68.20	115570025	\$68.20	115610015	\$68.20
115560038	\$68.20	115570026	\$68.20	115610016	\$68.20
115560039	\$68.20	115570027	\$68.20	115610017	\$68.20
115560040	\$68.20	115570028	\$68.20	115610018	\$68.20
115560041	\$68.20	115570029	\$68.20	115610019	\$68.20
115560042	\$68.20	115570030	\$68.20	115610020	\$68.20
115560043	\$68.20	115570031	\$68.20	115610021	\$68.20
115560044	\$68.20	115570032	\$68.20	115621001	\$68.20
115560045	\$68.20	115570033	\$68.20	115621002	\$68.20
115560046	\$68.20	115570034	\$68.20	115621003	\$68.20
115560047	\$68.20	115570035	\$68.20	115621004	\$68.20
115560048	\$68.20	115570036	\$68.20	115621005	\$68.20
115560049	\$68.20	115570037	\$68.20	115621006	\$68.20
115560050	\$68.20	115570038	\$68.20	115621007	\$68.20
115560051	\$68.20	115570039	\$68.20	115622001	\$68.20
115560052	\$68.20	115570040	\$68.20	115622002	\$68.20
115560053	\$68.20	115570041	\$68.20	115622003	\$68.20
115560054	\$68.20	115570042	\$68.20	115622004	\$68.20
115560055	\$68.20	115570043	\$68.20	115622005	\$68.20
115570001	\$68.20	115570044	\$68.20	115622006	\$68.20
115570002	\$68.20	115570045	\$68.20	115622007	\$68.20
115570003	\$68.20	115570046	\$68.20	115622008	\$68.20
115570004	\$68.20	115570047	\$68.20	115622009	\$68.20
115570005	\$68.20	115570048	\$68.20	115622010	\$68.20
115570006	\$68.20	115570049	\$68.20	115622011	\$68.20
115570007	\$68.20	115570050	\$68.20	115622012	\$68.20
115570008	\$68.20	115570051	\$68.20	115622013	\$68.20
115570009	\$68.20	115570052	\$68.20	115622014	\$68.20
115570010	\$68.20	115570053	\$68.20	115622015	\$68.20
115570011	\$68.20	115610001	\$68.20	115622016	\$68.20
115570012	\$68.20	115610002	\$68.20	115623001	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115623002	\$68.20	115640007	\$68.20	115651015	\$68.20
115623003	\$68.20	115640008	\$68.20	172010001	\$68.20
115623004	\$68.20	115640009	\$68.20	172010002	\$68.20
115623005	\$68.20	115640010	\$68.20	172010003	\$68.20
115623006	\$68.20	115640011	\$68.20	172010004	\$68.20
115624001	\$68.20	115640012	\$68.20	172010005	\$68.20
115624002	\$68.20	115640013	\$68.20	172010006	\$68.20
115624003	\$68.20	115640014	\$68.20	172010007	\$68.20
115624004	\$68.20	115641001	\$68.20	172010008	\$68.20
115624005	\$68.20	115641002	\$68.20	172010009	\$68.20
115624006	\$68.20	115641003	\$68.20	172010010	\$68.20
115624007	\$68.20	115641004	\$68.20	172010011	\$68.20
115624008	\$68.20	115641005	\$68.20	172010012	\$68.20
115624009	\$68.20	115641006	\$68.20	172010013	\$68.20
115624010	\$68.20	115642001	\$68.20	172010014	\$68.20
115630001	\$68.20	115642002	\$68.20	172010015	\$68.20
115630002	\$68.20	115642003	\$68.20	172010016	\$68.20
115630003	\$68.20	115650001	\$68.20	172010017	\$68.20
115630004	\$68.20	115650002	\$68.20	172010018	\$68.20
115630005	\$68.20	115650003	\$68.20	172010019	\$68.20
115630006	\$68.20	115650004	\$68.20	172010020	\$68.20
115630007	\$68.20	115650005	\$68.20	172010021	\$68.20
115630008	\$68.20	115650006	\$68.20	172010022	\$68.20
115630009	\$68.20	115650007	\$68.20	172010023	\$68.20
115630010	\$68.20	115650008	\$68.20	172010024	\$68.20
115630011	\$68.20	115650009	\$68.20	172010025	\$68.20
115630012	\$68.20	115650010	\$68.20	172010026	\$68.20
115630013	\$68.20	115650011	\$68.20	172010027	\$68.20
115630014	\$68.20	115650012	\$68.20	172010028	\$68.20
115630015	\$68.20	115651001	\$68.20	172010029	\$68.20
115630016	\$68.20	115651002	\$68.20	172010030	\$68.20
115630017	\$68.20	115651003	\$68.20	172010031	\$68.20
115630018	\$68.20	115651004	\$68.20	172010032	\$68.20
115630019	\$68.20	115651005	\$68.20	172010033	\$68.20
115630020	\$68.20	115651006	\$68.20	172010034	\$68.20
115630021	\$68.20	115651007	\$68.20	172010035	\$68.20
115630022	\$68.20	115651008	\$68.20	172010036	\$68.20
115640001	\$68.20	115651009	\$68.20	172010037	\$68.20
115640002	\$68.20	115651010	\$68.20	172010038	\$68.20
115640003	\$68.20	115651011	\$68.20	172010039	\$68.20
115640004	\$68.20	115651012	\$68.20	172010040	\$68.20
115640005	\$68.20	115651013	\$68.20	172010041	\$68.20
115640006	\$68.20	115651014	\$68.20	172010042	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172010043	\$68.20	172021023	\$68.20	172022015	\$68.20
172010044	\$68.20	172021024	\$68.20	172022016	\$68.20
172010045	\$68.20	172021025	\$68.20	172022017	\$68.20
172010046	\$68.20	172021026	\$68.20	172022018	\$68.20
172010047	\$68.20	172021027	\$68.20	172022019	\$68.20
172010048	\$68.20	172021028	\$68.20	172022020	\$68.20
172010049	\$68.20	172021029	\$68.20	172022021	\$68.20
172010050	\$68.20	172021030	\$68.20	172022022	\$68.20
172010051	\$68.20	172021031	\$68.20	172022023	\$68.20
172010052	\$68.20	172021032	\$68.20	172022024	\$68.20
172010053	\$68.20	172021033	\$68.20	172022025	\$68.20
172010054	\$68.20	172021034	\$68.20	172022027	\$68.20
172010055	\$68.20	172021035	\$68.20	172022028	\$68.20
172010056	\$68.20	172021036	\$68.20	172022029	\$68.20
172010057	\$68.20	172021037	\$68.20	172022030	\$68.20
172010058	\$68.20	172021039	\$68.20	172022031	\$68.20
172010059	\$68.20	172021040	\$68.20	172022032	\$68.20
172010060	\$68.20	172021041	\$68.20	172022033	\$68.20
172010061	\$68.20	172021042	\$68.20	172022034	\$68.20
172010062	\$68.20	172021043	\$68.20	172022035	\$68.20
172010063	\$68.20	172021044	\$68.20	172022036	\$68.20
172010064	\$68.20	172021045	\$68.20	172022037	\$68.20
172021001	\$68.20	172021046	\$68.20	172022038	\$68.20
172021002	\$68.20	172021047	\$68.20	172022040	\$68.20
172021003	\$68.20	172021048	\$68.20	172022041	\$68.20
172021004	\$68.20	172021049	\$68.20	172022042	\$68.20
172021005	\$68.20	172021050	\$68.20	172022043	\$68.20
172021006	\$68.20	172021051	\$68.20	172022044	\$68.20
172021007	\$68.20	172021052	\$68.20	172022045	\$68.20
172021008	\$68.20	172021053	\$68.20	172022046	\$68.20
172021009	\$68.20	172022001	\$68.20	172022047	\$68.20
172021010	\$68.20	172022002	\$68.20	172022048	\$68.20
172021011	\$68.20	172022003	\$68.20	172022049	\$68.20
172021012	\$68.20	172022004	\$68.20	172022050	\$68.20
172021013	\$68.20	172022005	\$68.20	172022051	\$68.20
172021014	\$68.20	172022006	\$68.20	172022052	\$68.20
172021015	\$68.20	172022007	\$68.20	172022053	\$68.20
172021016	\$68.20	172022008	\$68.20	172022054	\$68.20
172021017	\$68.20	172022009	\$68.20	172022055	\$68.20
172021018	\$68.20	172022010	\$68.20	172022056	\$68.20
172021020	\$68.20	172022011	\$68.20	172022057	\$68.20
172021021	\$68.20	172022012	\$68.20	172022059	\$68.20
172021022	\$68.20	172022014	\$68.20	172022060	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172022061	\$68.20	172040008	\$163.70	172091005	\$68.20
172022062	\$68.20	172040009	\$163.70	172091006	\$68.20
172022063	\$68.20	172040010	\$163.70	172091007	\$68.20
172022064	\$68.20	172040011	\$163.70	172091008	\$68.20
172022065	\$68.20	172040012	\$163.70	172091009	\$68.20
172022066	\$68.20	172040013	\$163.70	172091010	\$68.20
172022067	\$68.20	172040014	\$163.70	172091011	\$68.20
172022068	\$68.20	172040015	\$163.70	172091012	\$68.20
172022069	\$68.20	172040016	\$163.70	172091013	\$68.20
172022070	\$68.20	172040017	\$163.70	172091014	\$68.20
172022071	\$68.20	172040018	\$163.70	172091015	\$68.20
172022072	\$68.20	172040019	\$163.70	172091016	\$68.20
172022073	\$68.20	172040020	\$163.70	172091017	\$68.20
172022074	\$68.20	172040021	\$163.70	172091018	\$68.20
172022075	\$68.20	172040022	\$163.70	172091019	\$68.20
172022076	\$68.20	172040023	\$163.70	172091020	\$68.20
172022078	\$68.20	172040024	\$163.70	172091021	\$68.20
172022079	\$68.20	172040025	\$163.70	172091022	\$68.20
172022080	\$68.20	172040026	\$163.70	172091023	\$68.20
172022081	\$68.20	172050001	\$126.18	172091024	\$68.20
172022082	\$68.20	172050002	\$98.90	172091025	\$68.20
172022083	\$68.20	172050003	\$109.12	172091026	\$68.20
172022084	\$68.20	172050004	\$95.48	172091027	\$68.20
172022085	\$68.20	172050005	\$702.56	172091028	\$68.20
172022086	\$68.20	172050006	\$1,459.68	172091029	\$68.20
172022087	\$68.20	172050007	\$361.50	172091030	\$68.20
172022088	\$68.20	172090001	\$68.20	172091031	\$68.20
172022089	\$68.20	172090002	\$68.20	172091032	\$68.20
172022091	\$68.20	172090003	\$68.20	172091033	\$68.20
172022092	\$68.20	172090004	\$68.20	172091034	\$68.20
172022093	\$68.20	172090005	\$68.20	172091035	\$68.20
172022094	\$68.20	172090006	\$68.20	172091036	\$68.20
172022095	\$68.20	172090007	\$68.20	172091037	\$68.20
172022096	\$68.20	172090008	\$68.20	172091038	\$68.20
172030001	\$13,260.02	172090009	\$68.20	172092001	\$68.20
172030002	\$13,751.12	172090010	\$68.20	172092002	\$68.20
172040001	\$163.70	172090011	\$68.20	172092003	\$68.20
172040002	\$163.70	172090012	\$68.20	172092004	\$68.20
172040003	\$163.70	172090013	\$68.20	172092005	\$68.20
172040004	\$163.70	172091001	\$68.20	172092006	\$68.20
172040005	\$163.70	172091002	\$68.20	172092007	\$68.20
172040006	\$163.70	172091003	\$68.20	172092008	\$68.20
172040007	\$163.70	172091004	\$68.20	172092009	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172092010	\$68.20	172102013	\$68.20	172130005	\$204.62
172092011	\$68.20	172102014	\$68.20	172130006	\$2,182.72
172092012	\$68.20	172102015	\$68.20	172130007	\$460.40
172092013	\$68.20	172102016	\$68.20	172130008	\$2,319.14
172092014	\$68.20	172102017	\$68.20	172140001	\$6,752.78
172092015	\$68.20	172102018	\$68.20	172140002	\$3,396.84
172092016	\$68.20	172102019	\$68.20	172140003	\$777.58
172092017	\$68.20	172102020	\$68.20	172140004	\$3,857.26
172092018	\$68.20	172102021	\$68.20	172140005	\$184.16
172092019	\$68.20	172102022	\$68.20	172150002	\$68.20
172092020	\$68.20	172103001	\$68.20	172150003	\$68.20
172092021	\$68.20	172103002	\$68.20	172150004	\$68.20
172101001	\$68.20	172103003	\$68.20	172150008	\$68.20
172101002	\$68.20	172103004	\$68.20	172150009	\$68.20
172101003	\$68.20	172103005	\$68.20	172151001	\$68.20
172101004	\$68.20	172103006	\$68.20	172151002	\$68.20
172101005	\$68.20	172103007	\$68.20	172151003	\$68.20
172101006	\$68.20	172103008	\$68.20	172170001	\$68.20
172101007	\$68.20	172103009	\$68.20	172170002	\$68.20
172101008	\$68.20	172103010	\$68.20	172170003	\$68.20
172101009	\$68.20	172103011	\$68.20	172170004	\$68.20
172101010	\$68.20	172103012	\$68.20	172170005	\$68.20
172101011	\$68.20	172103013	\$68.20	172170006	\$68.20
172101012	\$68.20	172103014	\$68.20	172170007	\$68.20
172101013	\$68.20	172103015	\$68.20	172170008	\$68.20
172101014	\$68.20	172103017	\$68.20	172170009	\$68.20
172101015	\$68.20	172103018	\$68.20	172170010	\$68.20
172101016	\$68.20	172103019	\$68.20	172170011	\$68.20
172101017	\$68.20	172103020	\$68.20	172170012	\$68.20
172101018	\$68.20	172103021	\$68.20	172170013	\$68.20
172101019	\$68.20	172121001	\$68.20	172170014	\$68.20
172102001	\$68.20	172121002	\$68.20	172170015	\$68.20
172102002	\$68.20	172121003	\$68.20	172170016	\$68.20
172102003	\$68.20	172121004	\$68.20	172170017	\$68.20
172102004	\$68.20	172121005	\$68.20	172170018	\$68.20
172102005	\$68.20	172121006	\$68.20	172170019	\$68.20
172102006	\$68.20	172121007	\$68.20	172170020	\$68.20
172102007	\$68.20	172121008	\$68.20	172171001	\$68.20
172102008	\$68.20	172121009	\$68.20	172171002	\$68.20
172102009	\$68.20	172130001	\$4,638.28	172171003	\$68.20
172102010	\$68.20	172130002	\$272.84	172171004	\$68.20
172102011	\$68.20	172130003	\$341.04	172171005	\$68.20
172102012	\$68.20	172130004	\$341.04	172171006	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172171007	\$68.20	172181018	\$68.20	172210024	\$68.20
172171008	\$68.20	172181019	\$68.20	172220001	\$68.20
172171009	\$68.20	172181020	\$68.20	172220002	\$68.20
172171010	\$68.20	172181021	\$68.20	172220003	\$68.20
172171011	\$68.20	172181022	\$68.20	172220004	\$68.20
172171012	\$68.20	172182001	\$68.20	172220005	\$68.20
172171013	\$68.20	172182002	\$68.20	172220006	\$68.20
172171014	\$68.20	172182003	\$68.20	172220007	\$68.20
172172001	\$68.20	172182004	\$68.20	172220008	\$68.20
172172002	\$68.20	172182005	\$68.20	172220009	\$68.20
172172003	\$68.20	172182006	\$68.20	172220010	\$68.20
172172004	\$68.20	172182007	\$68.20	172220011	\$68.20
172172005	\$68.20	172182008	\$68.20	172220012	\$68.20
172172006	\$68.20	172182009	\$68.20	172220013	\$68.20
172172007	\$68.20	172182010	\$68.20	172220014	\$68.20
172172008	\$68.20	172182011	\$68.20	172220015	\$68.20
172173001	\$68.20	172182012	\$68.20	172220016	\$68.20
172173002	\$68.20	172182013	\$68.20	172220017	\$68.20
172173003	\$68.20	172182014	\$68.20	172220018	\$68.20
172180001	\$68.20	172182015	\$68.20	172220019	\$68.20
172180002	\$68.20	172210001	\$68.20	172220020	\$68.20
172180003	\$68.20	172210002	\$68.20	172220021	\$68.20
172180004	\$68.20	172210003	\$68.20	172220022	\$68.20
172180005	\$68.20	172210004	\$68.20	172220023	\$68.20
172180006	\$68.20	172210005	\$68.20	172220024	\$68.20
172180007	\$68.20	172210006	\$68.20	172220025	\$68.20
172181001	\$68.20	172210007	\$68.20	172220026	\$68.20
172181002	\$68.20	172210008	\$68.20	172220027	\$68.20
172181003	\$68.20	172210009	\$68.20	172220028	\$68.20
172181004	\$68.20	172210010	\$68.20	172220029	\$68.20
172181005	\$68.20	172210011	\$68.20	172221001	\$68.20
172181006	\$68.20	172210012	\$68.20	172221002	\$68.20
172181007	\$68.20	172210013	\$68.20	172221003	\$68.20
172181008	\$68.20	172210014	\$68.20	172221004	\$68.20
172181009	\$68.20	172210015	\$68.20	172221005	\$68.20
172181010	\$68.20	172210016	\$68.20	172221006	\$68.20
172181011	\$68.20	172210017	\$68.20	172221007	\$68.20
172181012	\$68.20	172210018	\$68.20	172221008	\$68.20
172181013	\$68.20	172210019	\$68.20	172221009	\$68.20
172181014	\$68.20	172210020	\$68.20	172221010	\$68.20
172181015	\$68.20	172210021	\$68.20	172221011	\$68.20
172181016	\$68.20	172210022	\$68.20	172221012	\$68.20
172181017	\$68.20	172210023	\$68.20	172221013	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172221014	\$68.20	172231005	\$68.20	172242001	\$68.20
172221015	\$68.20	172231006	\$68.20	172242002	\$68.20
172221016	\$68.20	172231007	\$68.20	172242003	\$68.20
172221017	\$68.20	172231008	\$68.20	172242004	\$68.20
172221018	\$68.20	172231009	\$68.20	172242005	\$68.20
172221019	\$68.20	172231010	\$68.20	172242006	\$68.20
172221020	\$68.20	172231011	\$68.20	172242007	\$68.20
172221021	\$68.20	172231012	\$68.20	172242008	\$68.20
172221022	\$68.20	172231013	\$68.20	172242009	\$68.20
172221023	\$68.20	172231014	\$68.20	172242010	\$68.20
172221024	\$68.20	172231015	\$68.20	172242011	\$68.20
172221025	\$68.20	172240001	\$68.20	172242012	\$68.20
172221026	\$68.20	172240002	\$68.20	172242013	\$68.20
172221027	\$68.20	172240003	\$68.20	172242014	\$68.20
172221028	\$68.20	172240004	\$68.20	172242015	\$68.20
172230001	\$68.20	172240005	\$68.20	172242016	\$68.20
172230002	\$68.20	172240006	\$68.20	172242017	\$68.20
172230003	\$68.20	172240007	\$68.20	172242018	\$68.20
172230004	\$68.20	172240008	\$68.20	172242019	\$68.20
172230005	\$68.20	172240009	\$68.20	172242020	\$68.20
172230006	\$68.20	172240010	\$68.20	172242021	\$68.20
172230007	\$68.20	172240011	\$68.20	172242022	\$68.20
172230008	\$68.20	172240012	\$68.20	172242023	\$68.20
172230009	\$68.20	172240013	\$68.20	172242024	\$68.20
172230010	\$68.20	172240014	\$68.20	172242025	\$68.20
172230011	\$68.20	172240015	\$68.20	172250001	\$68.20
172230012	\$68.20	172240016	\$68.20	172250002	\$68.20
172230013	\$68.20	172240017	\$68.20	172250003	\$68.20
172230014	\$68.20	172240018	\$68.20	172250004	\$68.20
172230015	\$68.20	172240019	\$68.20	172250005	\$68.20
172230016	\$68.20	172240020	\$68.20	172250006	\$68.20
172230017	\$68.20	172240021	\$68.20	172250007	\$68.20
172230018	\$68.20	172240022	\$68.20	172250008	\$68.20
172230019	\$68.20	172240023	\$68.20	172250009	\$68.20
172230020	\$68.20	172240024	\$68.20	172250010	\$68.20
172230021	\$68.20	172240025	\$68.20	172250011	\$68.20
172230022	\$68.20	172240026	\$68.20	172250012	\$68.20
172230023	\$68.20	172240027	\$68.20	172250013	\$68.20
172230024	\$68.20	172241001	\$68.20	172250014	\$68.20
172231001	\$68.20	172241002	\$68.20	172250015	\$68.20
172231002	\$68.20	172241003	\$68.20	172250016	\$68.20
172231003	\$68.20	172241004	\$68.20	172250017	\$68.20
172231004	\$68.20	172241005	\$68.20	172250018	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172250019	\$68.20	172261005	\$68.20	172263004	\$68.20
172250020	\$68.20	172261006	\$68.20	172263005	\$68.20
172251001	\$68.20	172261007	\$68.20	172263006	\$68.20
172251002	\$68.20	172261008	\$68.20	172263007	\$68.20
172251003	\$68.20	172261009	\$68.20	172263008	\$68.20
172251004	\$68.20	172261010	\$68.20	172263009	\$68.20
172251005	\$68.20	172261011	\$68.20	172263010	\$68.20
172251006	\$68.20	172261012	\$68.20	172263011	\$68.20
172251007	\$68.20	172261013	\$68.20	172263012	\$68.20
172251008	\$68.20	172261014	\$68.20	172263013	\$68.20
172251009	\$68.20	172261015	\$68.20	172263014	\$68.20
172251010	\$68.20	172261016	\$68.20	172263015	\$68.20
172251011	\$68.20	172261017	\$68.20	172263017	\$68.20
172251012	\$68.20	172261018	\$68.20	172263018	\$68.20
172251013	\$68.20	172262001	\$68.20	172263019	\$68.20
172251014	\$68.20	172262002	\$68.20	172263020	\$68.20
172251015	\$68.20	172262003	\$68.20	172263021	\$68.20
172251016	\$68.20	172262004	\$68.20	172263022	\$68.20
172251017	\$68.20	172262005	\$68.20	172263023	\$68.20
172251018	\$68.20	172262006	\$68.20	172263024	\$68.20
172251019	\$68.20	172262007	\$68.20	172263025	\$68.20
172251020	\$68.20	172262008	\$68.20	172263026	\$68.20
172251021	\$68.20	172262009	\$68.20	172263027	\$68.20
172251022	\$68.20	172262010	\$68.20	172263029	\$68.20
172252001	\$68.20	172262011	\$68.20	172270001	\$68.20
172252002	\$68.20	172262012	\$68.20	172270002	\$68.20
172252003	\$68.20	172262013	\$68.20	172270003	\$68.20
172252004	\$68.20	172262014	\$68.20	172270004	\$68.20
172252005	\$68.20	172262015	\$68.20	172270005	\$68.20
172252006	\$68.20	172262016	\$68.20	172270006	\$68.20
172252007	\$68.20	172262017	\$68.20	172270007	\$68.20
172252008	\$68.20	172262018	\$68.20	172270008	\$68.20
172252009	\$68.20	172262019	\$68.20	172270009	\$68.20
172252010	\$68.20	172262020	\$68.20	172270010	\$68.20
172252011	\$68.20	172262021	\$68.20	172270011	\$68.20
172260001	\$68.20	172262022	\$68.20	172270012	\$68.20
172260002	\$68.20	172262023	\$68.20	172270013	\$68.20
172260003	\$68.20	172262024	\$68.20	172270014	\$68.20
172260004	\$68.20	172262025	\$68.20	172270015	\$68.20
172261001	\$68.20	172262026	\$68.20	172270016	\$68.20
172261002	\$68.20	172263001	\$68.20	172270017	\$68.20
172261003	\$68.20	172263002	\$68.20	172270018	\$68.20
172261004	\$68.20	172263003	\$68.20	172270019	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172270020	\$68.20	172271021	\$68.20	172281007	\$68.20
172270021	\$68.20	172271022	\$68.20	172281008	\$68.20
172270022	\$68.20	172271023	\$68.20	172281009	\$68.20
172270023	\$68.20	172271024	\$68.20	172281010	\$68.20
172270024	\$68.20	172271025	\$68.20	172281011	\$68.20
172270025	\$68.20	172271026	\$68.20	172281012	\$68.20
172270026	\$68.20	172271027	\$68.20	172281013	\$68.20
172270027	\$68.20	172271028	\$68.20	172281014	\$68.20
172270028	\$68.20	172271029	\$68.20	172281015	\$68.20
172270029	\$68.20	172272001	\$68.20	172281016	\$68.20
172270030	\$68.20	172272002	\$68.20	172281017	\$68.20
172270031	\$68.20	172272003	\$68.20	172281018	\$68.20
172270032	\$68.20	172272004	\$68.20	172281019	\$68.20
172270033	\$68.20	172272005	\$68.20	172281020	\$68.20
172270034	\$68.20	172272006	\$68.20	172281021	\$68.20
172270035	\$68.20	172280001	\$68.20	172281022	\$68.20
172270036	\$68.20	172280002	\$68.20	172281023	\$68.20
172270037	\$68.20	172280003	\$68.20	172281024	\$68.20
172270038	\$68.20	172280004	\$68.20	172281025	\$68.20
172270039	\$68.20	172280005	\$68.20	172281026	\$68.20
172270040	\$68.20	172280006	\$68.20	172281027	\$68.20
172270041	\$68.20	172280007	\$68.20	172281028	\$68.20
172270042	\$68.20	172280008	\$68.20	172281029	\$68.20
172271001	\$68.20	172280009	\$68.20	172281030	\$68.20
172271002	\$68.20	172280010	\$68.20	172281031	\$68.20
172271003	\$68.20	172280011	\$68.20	172281032	\$68.20
172271004	\$68.20	172280012	\$68.20	172281033	\$68.20
172271005	\$68.20	172280013	\$68.20	172281034	\$68.20
172271006	\$68.20	172280014	\$68.20	172281035	\$68.20
172271007	\$68.20	172280015	\$68.20	172281036	\$68.20
172271008	\$68.20	172280016	\$68.20	172282001	\$68.20
172271009	\$68.20	172280017	\$68.20	172282002	\$68.20
172271010	\$68.20	172280018	\$68.20	172282003	\$68.20
172271011	\$68.20	172280019	\$68.20	172282004	\$68.20
172271012	\$68.20	172280020	\$68.20	172282005	\$68.20
172271013	\$68.20	172280021	\$68.20	172290001	\$68.20
172271014	\$68.20	172280022	\$68.20	172290002	\$68.20
172271015	\$68.20	172281001	\$68.20	172290003	\$68.20
172271016	\$68.20	172281002	\$68.20	172291001	\$68.20
172271017	\$68.20	172281003	\$68.20	172291002	\$68.20
172271018	\$68.20	172281004	\$68.20	172291003	\$68.20
172271019	\$68.20	172281005	\$68.20	172291004	\$68.20
172271020	\$68.20	172281006	\$68.20	172291005	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172291006	\$68.20	172300019	\$68.20	172312007	\$68.20
172291007	\$68.20	172302001	\$68.20	172312008	\$68.20
172291008	\$68.20	172302002	\$68.20	172320001	\$68.20
172291009	\$68.20	172302003	\$68.20	172320002	\$68.20
172291010	\$68.20	172302004	\$68.20	172320003	\$68.20
172291011	\$68.20	172302005	\$68.20	172320004	\$68.20
172291012	\$68.20	172302006	\$68.20	172320005	\$68.20
172291013	\$68.20	172302007	\$68.20	172320006	\$68.20
172291014	\$68.20	172302008	\$68.20	172320007	\$68.20
172291015	\$68.20	172302009	\$68.20	172320008	\$68.20
172291016	\$68.20	172302010	\$68.20	172320009	\$68.20
172291017	\$68.20	172302011	\$68.20	172320010	\$68.20
172291018	\$68.20	172302012	\$68.20	172320011	\$68.20
172291019	\$68.20	172310001	\$68.20	172320012	\$68.20
172291020	\$68.20	172310002	\$68.20	172320013	\$68.20
172291021	\$68.20	172310003	\$68.20	172320014	\$68.20
172291022	\$68.20	172310004	\$68.20	172320015	\$68.20
172291023	\$68.20	172310005	\$68.20	172320016	\$68.20
172291024	\$68.20	172311001	\$68.20	172320017	\$68.20
172291025	\$68.20	172311002	\$68.20	172320018	\$68.20
172291026	\$68.20	172311003	\$68.20	172320019	\$68.20
172291027	\$68.20	172311004	\$68.20	172320020	\$68.20
172291028	\$68.20	172311005	\$68.20	172320021	\$68.20
172291029	\$68.20	172311006	\$68.20	172320022	\$68.20
172291030	\$68.20	172311007	\$68.20	172321001	\$68.20
172291031	\$68.20	172311008	\$68.20	172321002	\$68.20
172291032	\$68.20	172311009	\$68.20	172321003	\$68.20
172291033	\$68.20	172311010	\$68.20	172321004	\$68.20
172300001	\$68.20	172311011	\$68.20	172321005	\$68.20
172300002	\$68.20	172311012	\$68.20	172321006	\$68.20
172300003	\$68.20	172311013	\$68.20	172321007	\$68.20
172300004	\$68.20	172311014	\$68.20	172321008	\$68.20
172300005	\$68.20	172311015	\$68.20	172321009	\$68.20
172300006	\$68.20	172311016	\$68.20	172321010	\$68.20
172300007	\$68.20	172311017	\$68.20	172321011	\$68.20
172300008	\$68.20	172311018	\$68.20	172321012	\$68.20
172300009	\$68.20	172311019	\$68.20	172321013	\$68.20
172300011	\$68.20	172312001	\$68.20	172321014	\$68.20
172300012	\$68.20	172312002	\$68.20	172321015	\$68.20
172300013	\$68.20	172312003	\$68.20	172321016	\$68.20
172300014	\$68.20	172312004	\$68.20	172322001	\$68.20
172300015	\$68.20	172312005	\$68.20	172322002	\$68.20
172300016	\$68.20	172312006	\$68.20	172322003	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172322004	\$68.20	172325012	\$68.20	172330023	\$68.20
172322005	\$68.20	172325013	\$68.20	172330024	\$68.20
172322006	\$68.20	172325014	\$68.20	172330025	\$68.20
172322007	\$68.20	172325015	\$68.20	172330026	\$68.20
172322008	\$68.20	172325016	\$68.20	172330027	\$68.20
172322009	\$68.20	172325017	\$68.20	172330028	\$68.20
172322010	\$68.20	172325018	\$68.20	172330029	\$68.20
172322011	\$68.20	172325019	\$68.20	172330030	\$68.20
172322012	\$68.20	172325020	\$68.20	172330031	\$68.20
172322013	\$68.20	172325021	\$68.20	172330032	\$68.20
172323001	\$68.20	172325022	\$68.20	172330033	\$68.20
172323002	\$68.20	172325023	\$68.20	172330034	\$68.20
172323003	\$68.20	172325024	\$68.20	172330035	\$68.20
172323004	\$68.20	172325025	\$68.20	172330036	\$68.20
172323005	\$68.20	172325026	\$68.20	172330037	\$68.20
172323006	\$68.20	172325027	\$68.20	172330038	\$68.20
172323007	\$68.20	172325028	\$68.20	172330039	\$68.20
172323008	\$68.20	172325029	\$68.20	172330040	\$68.20
172323009	\$68.20	172325030	\$68.20	172330041	\$68.20
172323010	\$68.20	172325031	\$68.20	172330042	\$68.20
172323011	\$68.20	172325032	\$68.20	172330043	\$68.20
172324001	\$68.20	172330001	\$68.20	172330044	\$68.20
172324002	\$68.20	172330002	\$68.20	172330045	\$68.20
172324003	\$68.20	172330003	\$68.20	172330046	\$68.20
172324004	\$68.20	172330004	\$68.20	172330047	\$68.20
172324005	\$68.20	172330005	\$68.20	172330048	\$68.20
172324006	\$68.20	172330006	\$68.20	172330049	\$68.20
172324007	\$68.20	172330007	\$68.20	172330050	\$68.20
172324008	\$68.20	172330008	\$68.20	172330051	\$68.20
172324009	\$68.20	172330009	\$68.20	172330052	\$68.20
172324010	\$68.20	172330010	\$68.20	172330053	\$68.20
172324011	\$68.20	172330011	\$68.20	172330054	\$68.20
172325001	\$68.20	172330012	\$68.20	172330055	\$68.20
172325002	\$68.20	172330013	\$68.20	172330056	\$68.20
172325003	\$68.20	172330014	\$68.20	172331001	\$68.20
172325004	\$68.20	172330015	\$68.20	172331002	\$68.20
172325005	\$68.20	172330016	\$68.20	172331003	\$68.20
172325006	\$68.20	172330017	\$68.20	172331004	\$68.20
172325007	\$68.20	172330018	\$68.20	172331005	\$68.20
172325008	\$68.20	172330019	\$68.20	172331006	\$68.20
172325009	\$68.20	172330020	\$68.20	172331007	\$68.20
172325010	\$68.20	172330021	\$68.20	172331008	\$68.20
172325011	\$68.20	172330022	\$68.20	172340001	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172340002	\$68.20	172340045	\$68.20	172351024	\$68.20
172340003	\$68.20	172340046	\$68.20	172351025	\$68.20
172340004	\$68.20	172340047	\$68.20	172351026	\$68.20
172340005	\$68.20	172340048	\$68.20	172351027	\$68.20
172340006	\$68.20	172340049	\$68.20	172351028	\$68.20
172340007	\$68.20	172340050	\$68.20	172351029	\$68.20
172340008	\$68.20	172340051	\$68.20	172351030	\$68.20
172340009	\$68.20	172340052	\$68.20	172351031	\$68.20
172340010	\$68.20	172340053	\$68.20	172351032	\$68.20
172340011	\$68.20	172340054	\$68.20	172351033	\$68.20
172340012	\$68.20	172350001	\$68.20	172351034	\$68.20
172340013	\$68.20	172350002	\$68.20	172351035	\$68.20
172340014	\$68.20	172350003	\$68.20	172351036	\$68.20
172340015	\$68.20	172350004	\$68.20	172351037	\$68.20
172340016	\$68.20	172350005	\$68.20	172351038	\$68.20
172340017	\$68.20	172350006	\$68.20	172351039	\$68.20
172340018	\$68.20	172350007	\$68.20	172351040	\$68.20
172340019	\$68.20	172350008	\$68.20	172351041	\$68.20
172340020	\$68.20	172350009	\$68.20	172351042	\$68.20
172340021	\$68.20	172350011	\$68.20	172351043	\$68.20
172340022	\$68.20	172351001	\$68.20	172351044	\$68.20
172340023	\$68.20	172351002	\$68.20	172351045	\$68.20
172340024	\$68.20	172351003	\$68.20	172351046	\$68.20
172340025	\$68.20	172351004	\$68.20	172351047	\$68.20
172340026	\$68.20	172351005	\$68.20	172351048	\$68.20
172340027	\$68.20	172351006	\$68.20	172351049	\$68.20
172340028	\$68.20	172351007	\$68.20	172351050	\$68.20
172340029	\$68.20	172351008	\$68.20	172351051	\$68.20
172340030	\$68.20	172351009	\$68.20	172351052	\$68.20
172340031	\$68.20	172351010	\$68.20	172351053	\$68.20
172340032	\$68.20	172351011	\$68.20	172351054	\$68.20
172340033	\$68.20	172351012	\$68.20	172351055	\$68.20
172340034	\$68.20	172351013	\$68.20	172351056	\$68.20
172340035	\$68.20	172351014	\$68.20	172351057	\$68.20
172340036	\$68.20	172351015	\$68.20	172351058	\$68.20
172340037	\$68.20	172351016	\$68.20	172351059	\$68.20
172340038	\$68.20	172351017	\$68.20	172351060	\$68.20
172340039	\$68.20	172351018	\$68.20	172351061	\$68.20
172340040	\$68.20	172351019	\$68.20	172351062	\$68.20
172340041	\$68.20	172351020	\$68.20	172351063	\$68.20
172340042	\$68.20	172351021	\$68.20	172351064	\$68.20
172340043	\$68.20	172351022	\$68.20	172351065	\$68.20
172340044	\$68.20	172351023	\$68.20	172351066	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172351067	\$68.20	172362004	\$68.20	172362048	\$68.20
172351068	\$68.20	172362005	\$68.20	172362049	\$68.20
172351069	\$68.20	172362006	\$68.20	172362050	\$68.20
172351070	\$68.20	172362007	\$68.20	172362051	\$68.20
172351071	\$68.20	172362008	\$68.20	172362052	\$68.20
172351072	\$68.20	172362009	\$68.20	172362053	\$68.20
172351073	\$68.20	172362010	\$68.20	172362054	\$68.20
172352001	\$68.20	172362011	\$68.20	172362055	\$68.20
172352002	\$68.20	172362012	\$68.20	172362056	\$68.20
172352003	\$68.20	172362013	\$68.20	172362057	\$68.20
172352004	\$68.20	172362014	\$68.20	172362058	\$68.20
172352005	\$68.20	172362015	\$68.20	172362059	\$68.20
172352006	\$68.20	172362016	\$68.20	172362060	\$68.20
172352007	\$68.20	172362017	\$68.20	172362061	\$68.20
172352008	\$68.20	172362018	\$68.20	172362062	\$68.20
172352009	\$68.20	172362019	\$68.20	172362063	\$68.20
172352010	\$68.20	172362020	\$68.20	172362065	\$68.20
172352011	\$68.20	172362021	\$68.20	172362066	\$68.20
172352012	\$68.20	172362022	\$68.20	172362067	\$68.20
172352013	\$68.20	172362023	\$68.20	172362068	\$68.20
172352014	\$68.20	172362024	\$68.20	172362069	\$68.20
172352015	\$68.20	172362025	\$68.20	172362070	\$68.20
172352016	\$68.20	172362026	\$68.20	172362071	\$68.20
172352017	\$68.20	172362027	\$68.20	172362072	\$68.20
172352018	\$68.20	172362028	\$68.20	172362073	\$68.20
172352019	\$68.20	172362029	\$68.20	172362074	\$68.20
172352020	\$68.20	172362030	\$68.20	172362075	\$68.20
172352021	\$68.20	172362031	\$68.20	172362076	\$68.20
172361007	\$68.20	172362032	\$68.20	172362077	\$68.20
172361008	\$68.20	172362033	\$68.20	172362078	\$68.20
172361009	\$68.20	172362034	\$68.20	172362079	\$68.20
172361010	\$68.20	172362036	\$68.20	172362080	\$68.20
172361011	\$68.20	172362037	\$68.20	172362081	\$68.20
172361012	\$68.20	172362038	\$68.20	172362082	\$68.20
172361013	\$68.20	172362039	\$68.20	172362083	\$68.20
172361014	\$68.20	172362040	\$68.20	172362084	\$68.20
172361015	\$68.20	172362041	\$68.20	172362085	\$68.20
172361016	\$68.20	172362042	\$68.20	172362086	\$68.20
172361017	\$68.20	172362043	\$68.20	172362087	\$68.20
172361018	\$68.20	172362044	\$68.20	172362088	\$68.20
172362001	\$68.20	172362045	\$68.20	172362089	\$68.20
172362002	\$68.20	172362046	\$68.20	172362090	\$68.20
172362003	\$68.20	172362047	\$68.20	172363001	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172363002	\$68.20	172372020	\$68.20	172372068	\$68.20
172363003	\$68.20	172372021	\$68.20	172372069	\$68.20
172363004	\$68.20	172372022	\$68.20	172372070	\$68.20
172363005	\$68.20	172372023	\$68.20	172372071	\$68.20
172363006	\$68.20	172372024	\$68.20	172372072	\$68.20
172363007	\$68.20	172372025	\$68.20	172372074	\$68.20
172363008	\$68.20	172372026	\$68.20	172372075	\$68.20
172363009	\$68.20	172372027	\$68.20	172372076	\$68.20
172363010	\$68.20	172372028	\$68.20	172372077	\$68.20
172363011	\$68.20	172372029	\$68.20	172372078	\$68.20
172363012	\$68.20	172372031	\$68.20	172372079	\$68.20
172363013	\$68.20	172372032	\$68.20	172420002	\$1,507.44
172363014	\$68.20	172372033	\$68.20	172420003	\$306.94
172363015	\$68.20	172372034	\$68.20	172430001	\$68.20
172363016	\$68.20	172372035	\$68.20	172430002	\$68.20
172363017	\$68.20	172372036	\$68.20	172430003	\$68.20
172363018	\$68.20	172372037	\$68.20	172430004	\$68.20
172363019	\$68.20	172372038	\$68.20	172430005	\$68.20
172363020	\$68.20	172372039	\$68.20	172430006	\$68.20
172363021	\$68.20	172372040	\$68.20	172430007	\$68.20
172363022	\$68.20	172372041	\$68.20	172430008	\$68.20
172363023	\$68.20	172372042	\$68.20	172430009	\$68.20
172363024	\$68.20	172372043	\$68.20	172430010	\$68.20
172363025	\$68.20	172372044	\$68.20	172430011	\$68.20
172363026	\$68.20	172372046	\$68.20	172430012	\$68.20
172363027	\$68.20	172372047	\$68.20	172430013	\$68.20
172363028	\$68.20	172372048	\$68.20	172430014	\$68.20
172372001	\$68.20	172372049	\$68.20	172430015	\$68.20
172372002	\$68.20	172372050	\$68.20	172430016	\$68.20
172372003	\$68.20	172372051	\$68.20	172430017	\$68.20
172372004	\$68.20	172372053	\$68.20	172430018	\$68.20
172372005	\$68.20	172372054	\$68.20	172430019	\$68.20
172372007	\$68.20	172372056	\$68.20	172430020	\$68.20
172372008	\$68.20	172372057	\$68.20	172430021	\$68.20
172372009	\$68.20	172372058	\$68.20	172430022	\$68.20
172372011	\$68.20	172372059	\$68.20	172430023	\$68.20
172372012	\$68.20	172372060	\$68.20	172430024	\$68.20
172372013	\$68.20	172372061	\$68.20	172430025	\$68.20
172372014	\$68.20	172372063	\$68.20	172430026	\$68.20
172372015	\$68.20	172372064	\$68.20	172430027	\$68.20
172372016	\$68.20	172372065	\$68.20	172430028	\$68.20
172372017	\$68.20	172372066	\$68.20	172430029	\$68.20
172372019	\$68.20	172372067	\$68.20	172430030	\$68.20

## Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172430031	\$68.20	172430033	\$68.20	172430035	\$68.20
172430032	\$68.20	172430034	\$68.20	172430036	\$68.20
Totals		Parcels	2,844	Levy	\$315,007.62



# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110280037	\$2,112.00	110441048	\$55.00	110443016	\$55.00
110280038	\$2,640.00	110441049	\$55.00	110443017	\$55.00
110280040	\$5,610.00	110441050	\$55.00	110443018	\$55.00
110441001	\$55.00	110441051	\$55.00	110443019	\$55.00
110441002	\$55.00	110441052	\$55.00	110443020	\$55.00
110441003	\$55.00	110441053	\$55.00	110443021	\$55.00
110441004	\$55.00	110441054	\$55.00	110443022	\$55.00
110441005	\$55.00	110441055	\$55.00	110443023	\$55.00
110441006	\$55.00	110441056	\$55.00	110443024	\$55.00
110441007	\$55.00	110441057	\$55.00	110443025	\$55.00
110441008	\$55.00	110441058	\$55.00	110444001	\$55.00
110441009	\$55.00	110441059	\$55.00	110444002	\$55.00
110441010	\$55.00	110441060	\$55.00	110444003	\$55.00
110441011	\$55.00	110441061	\$55.00	110444004	\$55.00
110441012	\$55.00	110441062	\$55.00	110444005	\$55.00
110441013	\$55.00	110441063	\$55.00	110444006	\$55.00
110441014	\$55.00	110441064	\$55.00	110444007	\$55.00
110441015	\$55.00	110441065	\$55.00	110444008	\$55.00
110441016	\$55.00	110442001	\$55.00	110444009	\$55.00
110441017	\$55.00	110442002	\$55.00	110444010	\$55.00
110441018	\$55.00	110442003	\$55.00	110444011	\$55.00
110441019	\$55.00	110442004	\$55.00	110444012	\$55.00
110441020	\$55.00	110442005	\$55.00	110444013	\$55.00
110441021	\$55.00	110442006	\$55.00	110444014	\$55.00
110441022	\$55.00	110442008	\$55.00	110444015	\$55.00
110441023	\$55.00	110442009	\$55.00	110444016	\$55.00
110441024	\$55.00	110442010	\$55.00	110444017	\$55.00
110441025	\$55.00	110442011	\$55.00	110444018	\$55.00
110441026	\$55.00	110442012	\$55.00	110444019	\$55.00
110441032	\$55.00	110442013	\$55.00	110451001	\$55.00
110441033	\$55.00	110443001	\$55.00	110451002	\$55.00
110441034	\$55.00	110443002	\$55.00	110451003	\$55.00
110441035	\$55.00	110443003	\$55.00	110451004	\$55.00
110441036	\$55.00	110443004	\$55.00	110451005	\$55.00
110441037	\$55.00	110443005	\$55.00	110451006	\$55.00
110441038	\$55.00	110443006	\$55.00	110451007	\$55.00
110441039	\$55.00	110443007	\$55.00	110451008	\$55.00
110441040	\$55.00	110443008	\$55.00	110451009	\$55.00
110441041	\$55.00	110443009	\$55.00	110451010	\$55.00
110441042	\$55.00	110443010	\$55.00	110451011	\$55.00
110441045	\$55.00	110443013	\$55.00	110451012	\$55.00
110441046	\$55.00	110443014	\$55.00	110451013	\$55.00
110441047	\$55.00	110443015	\$55.00	110451014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110451015	\$55.00	110461006	\$55.00	110463006	\$55.00
110451016	\$55.00	110461007	\$55.00	110463007	\$55.00
110451017	\$55.00	110461008	\$55.00	110463008	\$55.00
110451018	\$55.00	110461009	\$55.00	110463009	\$55.00
110451019	\$55.00	110461010	\$55.00	110463010	\$55.00
110451020	\$55.00	110461011	\$55.00	110463011	\$55.00
110451021	\$55.00	110461012	\$55.00	110463012	\$55.00
110451022	\$55.00	110461013	\$55.00	110463013	\$55.00
110451023	\$55.00	110461014	\$55.00	110463014	\$55.00
110451024	\$55.00	110461015	\$55.00	110463015	\$55.00
110451025	\$55.00	110461016	\$55.00	110463016	\$55.00
110452001	\$55.00	110461017	\$55.00	110463017	\$55.00
110452002	\$55.00	110461018	\$55.00	110463018	\$55.00
110452003	\$55.00	110461019	\$55.00	110463019	\$55.00
110452004	\$55.00	110461020	\$55.00	110463020	\$55.00
110452005	\$55.00	110461021	\$55.00	110470001	\$10,296.00
110452006	\$55.00	110461022	\$55.00	110481001	\$55.00
110452007	\$55.00	110461023	\$55.00	110481002	\$55.00
110452008	\$55.00	110461024	\$55.00	110481003	\$55.00
110453001	\$55.00	110461025	\$55.00	110481004	\$55.00
110453002	\$55.00	110461026	\$55.00	110481005	\$55.00
110453003	\$55.00	110461027	\$55.00	110481006	\$55.00
110453004	\$55.00	110461028	\$55.00	110481007	\$55.00
110453005	\$55.00	110461029	\$55.00	110481008	\$55.00
110453006	\$55.00	110461030	\$55.00	110481009	\$55.00
110453007	\$55.00	110461031	\$55.00	110481010	\$55.00
110453008	\$55.00	110461032	\$55.00	110481011	\$55.00
110453009	\$55.00	110461033	\$55.00	110481012	\$55.00
110453010	\$55.00	110461034	\$55.00	110481013	\$55.00
110453011	\$55.00	110461035	\$55.00	110481014	\$55.00
110453012	\$55.00	110461036	\$55.00	110481015	\$55.00
110453013	\$55.00	110461037	\$55.00	110481016	\$55.00
110453014	\$55.00	110461038	\$55.00	110481017	\$55.00
110453015	\$55.00	110462001	\$55.00	110481018	\$55.00
110454001	\$55.00	110462002	\$55.00	110481019	\$55.00
110454002	\$55.00	110462003	\$55.00	110481020	\$55.00
110454003	\$55.00	110462004	\$55.00	110481021	\$55.00
110454004	\$55.00	110462005	\$55.00	110481022	\$55.00
110461001	\$55.00	110463001	\$55.00	110481023	\$55.00
110461002	\$55.00	110463002	\$55.00	110481024	\$55.00
110461003	\$55.00	110463003	\$55.00	110481025	\$55.00
110461004	\$55.00	110463004	\$55.00	110481026	\$55.00
110461005	\$55.00	110463005	\$55.00	110481027	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110482001	\$55.00	110483016	\$55.00	110491027	\$55.00
110482002	\$55.00	110483017	\$55.00	110491028	\$55.00
110482003	\$55.00	110483018	\$55.00	110491029	\$55.00
110482004	\$55.00	110483019	\$55.00	110491030	\$55.00
110482005	\$55.00	110483020	\$55.00	110491031	\$55.00
110482006	\$55.00	110483021	\$55.00	110491032	\$55.00
110482007	\$55.00	110483022	\$55.00	110491033	\$55.00
110482008	\$55.00	110483023	\$55.00	110491034	\$55.00
110482009	\$55.00	110483024	\$55.00	110491035	\$55.00
110482010	\$55.00	110483025	\$55.00	110491036	\$55.00
110482011	\$55.00	110483026	\$55.00	110492001	\$55.00
110482012	\$55.00	110483027	\$55.00	110492002	\$55.00
110482013	\$55.00	110483028	\$55.00	110492003	\$55.00
110482014	\$55.00	110483029	\$55.00	110492004	\$55.00
110482015	\$55.00	110483030	\$55.00	110492005	\$55.00
110482016	\$55.00	110483031	\$55.00	110492006	\$55.00
110482017	\$55.00	110483032	\$55.00	110492007	\$55.00
110482018	\$55.00	110491001	\$55.00	110492008	\$55.00
110482019	\$55.00	110491002	\$55.00	110492009	\$55.00
110482020	\$55.00	110491003	\$55.00	110492010	\$55.00
110482021	\$55.00	110491004	\$55.00	110492011	\$55.00
110482022	\$55.00	110491005	\$55.00	110492012	\$55.00
110482023	\$55.00	110491006	\$55.00	110492013	\$55.00
110482024	\$55.00	110491007	\$55.00	110492014	\$55.00
110482025	\$55.00	110491008	\$55.00	110492015	\$55.00
110482026	\$55.00	110491009	\$55.00	110492016	\$55.00
110482027	\$55.00	110491010	\$55.00	110493001	\$55.00
110482028	\$55.00	110491011	\$55.00	110493002	\$55.00
110483001	\$55.00	110491012	\$55.00	110493003	\$55.00
110483002	\$55.00	110491013	\$55.00	110493004	\$55.00
110483003	\$55.00	110491014	\$55.00	110493005	\$55.00
110483004	\$55.00	110491015	\$55.00	110493006	\$55.00
110483005	\$55.00	110491016	\$55.00	110493007	\$55.00
110483006	\$55.00	110491017	\$55.00	110493008	\$55.00
110483007	\$55.00	110491018	\$55.00	110493009	\$55.00
110483008	\$55.00	110491019	\$55.00	110493010	\$55.00
110483009	\$55.00	110491020	\$55.00	110493011	\$55.00
110483010	\$55.00	110491021	\$55.00	110493012	\$55.00
110483011	\$55.00	110491022	\$55.00	110493013	\$55.00
110483012	\$55.00	110491023	\$55.00	110493014	\$55.00
110483013	\$55.00	110491024	\$55.00	110493015	\$55.00
110483014	\$55.00	110491025	\$55.00	110493016	\$55.00
110483015	\$55.00	110491026	\$55.00	110494001	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110494002	\$55.00	110502001	\$55.00	110505002	\$55.00
110494003	\$55.00	110502002	\$55.00	110505003	\$55.00
110494004	\$55.00	110502003	\$55.00	110505004	\$55.00
110494005	\$55.00	110502004	\$55.00	110505005	\$55.00
110494006	\$55.00	110502005	\$55.00	110505006	\$55.00
110494007	\$55.00	110502006	\$55.00	110505007	\$55.00
110494008	\$55.00	110502007	\$55.00	110505008	\$55.00
110494009	\$55.00	110502008	\$55.00	110505009	\$55.00
110494010	\$55.00	110502009	\$55.00	110505010	\$55.00
110494011	\$55.00	110502010	\$55.00	110505011	\$55.00
110494012	\$55.00	110502011	\$55.00	112151001	\$55.00
110494013	\$55.00	110502012	\$55.00	112151002	\$55.00
110494014	\$55.00	110502013	\$55.00	112151003	\$55.00
110494015	\$55.00	110502014	\$55.00	112151004	\$55.00
110494016	\$55.00	110502015	\$55.00	112151005	\$55.00
110494017	\$55.00	110502016	\$55.00	112151006	\$55.00
110494018	\$55.00	110502017	\$55.00	112151007	\$55.00
110494019	\$55.00	110502018	\$55.00	112151008	\$55.00
110494020	\$55.00	110502019	\$55.00	112152001	\$55.00
110495001	\$55.00	110502020	\$55.00	112152002	\$55.00
110495002	\$55.00	110502021	\$55.00	112152003	\$55.00
110495003	\$55.00	110502022	\$55.00	112152004	\$55.00
110495004	\$55.00	110502023	\$55.00	112152005	\$55.00
110495005	\$55.00	110503001	\$55.00	112152006	\$55.00
110495006	\$55.00	110503002	\$55.00	112152007	\$55.00
110495007	\$55.00	110503003	\$55.00	112152008	\$55.00
110495008	\$55.00	110503004	\$55.00	112152009	\$55.00
110495009	\$55.00	110503005	\$55.00	112152010	\$55.00
110495010	\$55.00	110503006	\$55.00	112153001	\$55.00
110495011	\$55.00	110503007	\$55.00	112153002	\$55.00
110495012	\$55.00	110504001	\$55.00	112153003	\$55.00
110495013	\$55.00	110504002	\$55.00	112153004	\$55.00
110501001	\$55.00	110504003	\$55.00	112153005	\$55.00
110501002	\$55.00	110504004	\$55.00	112153006	\$55.00
110501003	\$55.00	110504005	\$55.00	112153007	\$55.00
110501004	\$55.00	110504006	\$55.00	112153008	\$55.00
110501005	\$55.00	110504007	\$55.00	112154001	\$55.00
110501006	\$55.00	110504008	\$55.00	112154002	\$55.00
110501007	\$55.00	110504009	\$55.00	112154003	\$55.00
110501008	\$55.00	110504010	\$55.00	112154004	\$55.00
110501009	\$55.00	110504011	\$55.00	112154005	\$55.00
110501010	\$55.00	110504012	\$55.00	112154006	\$55.00
110501011	\$55.00	110505001	\$55.00	112154007	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112154008	\$55.00	112163010	\$55.00	112172013	\$55.00
112161003	\$55.00	112163011	\$55.00	112172014	\$55.00
112161004	\$55.00	112163012	\$55.00	112172015	\$55.00
112161005	\$55.00	112163013	\$55.00	112172017	\$55.00
112161006	\$55.00	112163014	\$55.00	112172018	\$55.00
112161007	\$55.00	112163015	\$55.00	112172019	\$55.00
112161008	\$55.00	112163016	\$55.00	112172020	\$55.00
112161009	\$55.00	112164001	\$55.00	112172021	\$55.00
112161010	\$55.00	112164002	\$55.00	112172022	\$55.00
112161011	\$55.00	112164003	\$55.00	112172023	\$55.00
112161012	\$55.00	112164004	\$55.00	112172024	\$55.00
112161013	\$55.00	112165001	\$55.00	112172026	\$55.00
112161014	\$55.00	112165002	\$55.00	112172027	\$55.00
112161015	\$55.00	112171001	\$55.00	112172028	\$55.00
112161016	\$55.00	112171002	\$55.00	112181001	\$55.00
112161017	\$55.00	112171003	\$55.00	112181002	\$55.00
112161018	\$55.00	112171004	\$55.00	112181003	\$55.00
112161019	\$55.00	112171005	\$55.00	112181004	\$55.00
112162001	\$55.00	112171006	\$55.00	112181005	\$55.00
112162002	\$55.00	112171007	\$55.00	112181006	\$55.00
112162003	\$55.00	112171008	\$55.00	112181007	\$55.00
112162004	\$55.00	112171009	\$55.00	112181008	\$55.00
112162005	\$55.00	112171010	\$55.00	112181009	\$55.00
112162006	\$55.00	112171011	\$55.00	112181010	\$55.00
112162007	\$55.00	112171012	\$55.00	112181011	\$55.00
112162008	\$55.00	112171013	\$55.00	112181012	\$55.00
112162009	\$55.00	112171014	\$55.00	112181013	\$55.00
112162010	\$55.00	112171015	\$55.00	112181014	\$55.00
112162011	\$55.00	112171016	\$55.00	112181015	\$55.00
112162012	\$55.00	112171017	\$55.00	112182001	\$55.00
112162013	\$55.00	112171018	\$55.00	112182002	\$55.00
112162014	\$55.00	112172001	\$55.00	112182003	\$55.00
112162015	\$55.00	112172002	\$55.00	112182004	\$55.00
112162016	\$55.00	112172003	\$55.00	112182005	\$55.00
112163001	\$55.00	112172004	\$55.00	112182006	\$55.00
112163002	\$55.00	112172005	\$55.00	112182007	\$55.00
112163003	\$55.00	112172006	\$55.00	112182008	\$55.00
112163004	\$55.00	112172007	\$55.00	112182009	\$55.00
112163005	\$55.00	112172008	\$55.00	112182010	\$55.00
112163006	\$55.00	112172009	\$55.00	112182011	\$55.00
112163007	\$55.00	112172010	\$55.00	112182012	\$55.00
112163008	\$55.00	112172011	\$55.00	112182013	\$55.00
112163009	\$55.00	112172012	\$55.00	112182014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112182015	\$55.00	112192010	\$55.00	112193025	\$55.00
112182016	\$55.00	112192011	\$55.00	112201001	\$55.00
112182017	\$55.00	112192012	\$55.00	112201002	\$55.00
112182018	\$55.00	112192013	\$55.00	112201003	\$55.00
112182019	\$55.00	112192014	\$55.00	112201004	\$55.00
112182020	\$55.00	112192015	\$55.00	112201005	\$55.00
112182021	\$55.00	112192016	\$55.00	112201006	\$55.00
112182022	\$55.00	112192017	\$55.00	112201007	\$55.00
112182023	\$55.00	112192018	\$55.00	112201008	\$55.00
112182024	\$55.00	112192019	\$55.00	112201009	\$55.00
112182025	\$55.00	112192020	\$55.00	112202001	\$55.00
112182026	\$55.00	112192021	\$55.00	112202002	\$55.00
112182027	\$55.00	112192022	\$55.00	112211003	\$55.00
112182028	\$55.00	112192023	\$55.00	112211004	\$55.00
112182029	\$55.00	112192024	\$55.00	112211005	\$55.00
112182030	\$55.00	112192025	\$55.00	112211006	\$55.00
112182031	\$55.00	112192026	\$55.00	112211007	\$55.00
112182032	\$55.00	112192027	\$55.00	112211009	\$55.00
112182033	\$55.00	112192028	\$55.00	112211010	\$55.00
112182034	\$55.00	112193001	\$55.00	112211011	\$55.00
112191001	\$55.00	112193002	\$55.00	112211012	\$55.00
112191002	\$55.00	112193003	\$55.00	112211013	\$55.00
112191003	\$55.00	112193004	\$55.00	112211014	\$55.00
112191004	\$55.00	112193005	\$55.00	112211015	\$55.00
112191005	\$55.00	112193006	\$55.00	112211016	\$55.00
112191006	\$55.00	112193007	\$55.00	112211017	\$55.00
112191007	\$55.00	112193008	\$55.00	112211018	\$55.00
112191008	\$55.00	112193009	\$55.00	112211019	\$55.00
112191009	\$55.00	112193010	\$55.00	112211020	\$55.00
112191010	\$55.00	112193011	\$55.00	112211022	\$55.00
112191011	\$55.00	112193012	\$55.00	112211023	\$55.00
112191012	\$55.00	112193013	\$55.00	112212001	\$55.00
112191013	\$55.00	112193014	\$55.00	112212002	\$55.00
112191014	\$55.00	112193015	\$55.00	112212005	\$55.00
112191015	\$55.00	112193016	\$55.00	112212007	\$55.00
112192001	\$55.00	112193017	\$55.00	112212008	\$55.00
112192002	\$55.00	112193018	\$55.00	112212009	\$55.00
112192003	\$55.00	112193019	\$55.00	112212010	\$55.00
112192005	\$55.00	112193020	\$55.00	112212011	\$55.00
112192006	\$55.00	112193021	\$55.00	112212012	\$55.00
112192007	\$55.00	112193022	\$55.00	112212013	\$55.00
112192008	\$55.00	112193023	\$55.00	112212014	\$55.00
112192009	\$55.00	112193024	\$55.00	112212015	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112212016	\$55.00	112231032	\$55.00	112241004	\$55.00
112212017	\$55.00	112231033	\$55.00	112241005	\$55.00
112212018	\$55.00	112231034	\$55.00	112241006	\$55.00
112212019	\$55.00	112231035	\$55.00	112241007	\$55.00
112212020	\$55.00	112231036	\$55.00	112241008	\$55.00
112212021	\$55.00	112231037	\$55.00	112241010	\$55.00
112212022	\$55.00	112231038	\$55.00	112242002	\$55.00
112212025	\$55.00	112231039	\$55.00	112242003	\$55.00
112212026	\$55.00	112231040	\$55.00	112242004	\$55.00
112212027	\$55.00	112231041	\$55.00	112242005	\$55.00
112213001	\$55.00	112231042	\$55.00	112242006	\$55.00
112213003	\$55.00	112231043	\$55.00	112242007	\$55.00
112231001	\$55.00	112231044	\$55.00	112242008	\$55.00
112231002	\$55.00	112231045	\$55.00	112242009	\$55.00
112231003	\$55.00	112231046	\$55.00	112242010	\$55.00
112231004	\$55.00	112231047	\$55.00	112242011	\$55.00
112231005	\$55.00	112232001	\$55.00	112242012	\$55.00
112231006	\$55.00	112232002	\$55.00	112242013	\$55.00
112231007	\$55.00	112232003	\$55.00	112242014	\$55.00
112231008	\$55.00	112232004	\$55.00	112242015	\$55.00
112231009	\$55.00	112232005	\$55.00	112242016	\$55.00
112231010	\$55.00	112233001	\$55.00	112242017	\$55.00
112231011	\$55.00	112233002	\$55.00	112242018	\$55.00
112231012	\$55.00	112233003	\$55.00	112242019	\$55.00
112231013	\$55.00	112233004	\$55.00	112242023	\$55.00
112231014	\$55.00	112233005	\$55.00	112251001	\$55.00
112231015	\$55.00	112233006	\$55.00	112251002	\$55.00
112231016	\$55.00	112233007	\$55.00	112251003	\$55.00
112231017	\$55.00	112233008	\$55.00	112251004	\$55.00
112231018	\$55.00	112234001	\$55.00	112251005	\$55.00
112231019	\$55.00	112234002	\$55.00	112251006	\$55.00
112231020	\$55.00	112234003	\$55.00	112251007	\$55.00
112231021	\$55.00	112234004	\$55.00	112251008	\$55.00
112231022	\$55.00	112234005	\$55.00	112251009	\$55.00
112231023	\$55.00	112234006	\$55.00	112251010	\$55.00
112231024	\$55.00	112234007	\$55.00	112251011	\$55.00
112231025	\$55.00	112234008	\$55.00	112251012	\$55.00
112231026	\$55.00	112234009	\$55.00	112251013	\$55.00
112231027	\$55.00	112235001	\$55.00	112251014	\$55.00
112231028	\$55.00	112235002	\$55.00	112251015	\$55.00
112231029	\$55.00	112241001	\$55.00	112251016	\$55.00
112231030	\$55.00	112241002	\$55.00	112252001	\$55.00
112231031	\$55.00	112241003	\$55.00	112252002	\$55.00



# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112252003	\$55.00	112253030	\$55.00	112272002	\$55.00
112252004	\$55.00	112253031	\$55.00	112272003	\$55.00
112252005	\$55.00	112253032	\$55.00	112272004	\$55.00
112252006	\$55.00	112253033	\$55.00	112272005	\$55.00
112252007	\$55.00	112254001	\$55.00	112272006	\$55.00
112252008	\$55.00	112254002	\$55.00	112273001	\$55.00
112252009	\$55.00	112254003	\$55.00	112273002	\$55.00
112252010	\$55.00	112254004	\$55.00	112273003	\$55.00
112252011	\$55.00	112254005	\$55.00	112273004	\$55.00
112252012	\$55.00	112254006	\$55.00	112273005	\$55.00
112252013	\$55.00	112254007	\$55.00	112273006	\$55.00
112252014	\$55.00	112254008	\$55.00	112273007	\$55.00
112252015	\$55.00	112254009	\$55.00	112273008	\$55.00
112252016	\$55.00	112254010	\$55.00	112273009	\$55.00
112253001	\$55.00	112254011	\$55.00	112273010	\$55.00
112253002	\$55.00	112254012	\$55.00	112273011	\$55.00
112253003	\$55.00	112254013	\$55.00	112273012	\$55.00
112253004	\$55.00	112254014	\$55.00	112273013	\$55.00
112253005	\$55.00	112255001	\$55.00	112273014	\$55.00
112253006	\$55.00	112255002	\$55.00	112273015	\$55.00
112253007	\$55.00	112271001	\$55.00	112273016	\$55.00
112253008	\$55.00	112271002	\$55.00	112273017	\$55.00
112253009	\$55.00	112271003	\$55.00	112273018	\$55.00
112253010	\$55.00	112271004	\$55.00	112273019	\$55.00
112253011	\$55.00	112271005	\$55.00	112273020	\$55.00
112253012	\$55.00	112271006	\$55.00	112273021	\$55.00
112253013	\$55.00	112271007	\$55.00	112273022	\$55.00
112253014	\$55.00	112271008	\$55.00	112273023	\$55.00
112253015	\$55.00	112271009	\$55.00	112273024	\$55.00
112253016	\$55.00	112271010	\$55.00	112273025	\$55.00
112253017	\$55.00	112271011	\$55.00	112273026	\$55.00
112253018	\$55.00	112271012	\$55.00	112273027	\$55.00
112253019	\$55.00	112271013	\$55.00	112273028	\$55.00
112253020	\$55.00	112271015	\$55.00	112273029	\$55.00
112253021	\$55.00	112271016	\$55.00	112273030	\$55.00
112253022	\$55.00	112271017	\$55.00	112273031	\$55.00
112253023	\$55.00	112271018	\$55.00	112274001	\$55.00
112253024	\$55.00	112271019	\$55.00	112274002	\$55.00
112253025	\$55.00	112271020	\$55.00	112274003	\$55.00
112253026	\$55.00	112271021	\$55.00	112274004	\$55.00
112253027	\$55.00	112271022	\$55.00	112274005	\$55.00
112253028	\$55.00	112271023	\$55.00	112274006	\$55.00
112253029	\$55.00	112272001	\$55.00	112274007	\$55.00



## Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112274008	\$55.00	112274018	\$55.00	112274028	\$55.00
112274009	\$55.00	112274019	\$55.00	112274029	\$55.00
112274010	\$55.00	112274020	\$55.00	112274030	\$55.00
112274011	\$55.00	112274021	\$55.00	112274031	\$55.00
112274012	\$55.00	112274022	\$55.00	112341020	\$55.00
112274013	\$55.00	112274023	\$55.00	112341021	\$55.00
112274014	\$55.00	112274024	\$55.00	112341022	\$55.00
112274015	\$55.00	112274025	\$55.00	112341023	\$55.00
112274016	\$55.00	112274026	\$55.00	112341024	\$55.00
112274017	\$55.00	112274027	\$55.00		
<b>Totals</b>		<b>Parcels 1,061</b>		<b>Levy \$78,793.00</b>	

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101301001	\$623.70	101306012	\$623.70	101312006	\$623.70
101301002	\$623.70	101306013	\$623.70	101312007	\$623.70
101301003	\$623.70	101306014	\$623.70	101312008	\$623.70
101301004	\$623.70	101306015	\$623.70	101312009	\$623.70
101301005	\$623.70	101306016	\$623.70	101312010	\$623.70
101301006	\$623.70	101306017	\$623.70	101312011	\$623.70
101301007	\$623.70	101306018	\$623.70	101312012	\$623.70
101302001	\$623.70	101306019	\$623.70	101312013	\$623.70
101302002	\$623.70	101306020	\$623.70	101312014	\$623.70
101302003	\$623.70	101306021	\$623.70	101312015	\$623.70
101302004	\$623.70	101306022	\$623.70	101312016	\$623.70
101302005	\$623.70	101307001	\$623.70	101313001	\$623.70
101302006	\$623.70	101307002	\$623.70	101313002	\$623.70
101302007	\$623.70	101307003	\$623.70	101313003	\$623.70
101303001	\$623.70	101307004	\$623.70	101313004	\$623.70
101303002	\$623.70	101307005	\$623.70	101313005	\$623.70
101303003	\$623.70	101307006	\$623.70	101313006	\$623.70
101303004	\$623.70	101310001	\$623.70	101313007	\$623.70
101303005	\$623.70	101310002	\$623.70	101313008	\$623.70
101303006	\$623.70	101310003	\$623.70	101313009	\$623.70
101303007	\$623.70	101310004	\$623.70	101313010	\$623.70
101303008	\$623.70	101310005	\$623.70	101313011	\$623.70
101304001	\$623.70	101310006	\$623.70	101313012	\$623.70
101304002	\$623.70	101310007	\$623.70	101313013	\$623.70
101304003	\$623.70	101310008	\$623.70	101313014	\$623.70
101304004	\$623.70	101310009	\$623.70	101313015	\$623.70
101304005	\$623.70	101310010	\$623.70	101313016	\$623.70
101304006	\$623.70	101310011	\$623.70	101313017	\$623.70
101304007	\$623.70	101310012	\$623.70	101313018	\$623.70
101305001	\$623.70	101310013	\$623.70	101320001	\$623.70
101305002	\$623.70	101310014	\$623.70	101320002	\$623.70
101305003	\$623.70	101310015	\$623.70	101320003	\$623.70
101306001	\$623.70	101310016	\$623.70	101320004	\$623.70
101306002	\$623.70	101310017	\$623.70	101320005	\$623.70
101306003	\$623.70	101310018	\$623.70	101320006	\$623.70
101306004	\$623.70	101310019	\$623.70	101320007	\$623.70
101306005	\$623.70	101310020	\$623.70	101320008	\$623.70
101306006	\$623.70	101310021	\$623.70	101320009	\$623.70
101306007	\$623.70	101312001	\$623.70	101320010	\$623.70
101306008	\$623.70	101312002	\$623.70	101320011	\$623.70
101306009	\$623.70	101312003	\$623.70	101320012	\$623.70
101306010	\$623.70	101312004	\$623.70	101320013	\$623.70
101306011	\$623.70	101312005	\$623.70	101320014	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101320015	\$623.70	101332023	\$623.70	101342017	\$623.70
101320016	\$623.70	101333001	\$623.70	101342018	\$623.70
101320017	\$623.70	101333002	\$623.70	101343001	\$623.70
101320018	\$623.70	101333003	\$623.70	101343002	\$623.70
101331001	\$623.70	101333004	\$623.70	101343003	\$623.70
101331002	\$623.70	101333005	\$623.70	101343004	\$623.70
101331003	\$623.70	101333006	\$623.70	101343005	\$623.70
101331004	\$623.70	101333007	\$623.70	101343006	\$623.70
101331005	\$623.70	101333008	\$623.70	101343007	\$623.70
101331006	\$623.70	101333009	\$623.70	101343008	\$623.70
101331007	\$623.70	101334001	\$623.70	101343009	\$623.70
101331008	\$623.70	101334002	\$623.70	101344001	\$623.70
101331009	\$623.70	101334003	\$623.70	101344002	\$623.70
101331010	\$623.70	101341001	\$623.70	101344003	\$623.70
101331011	\$623.70	101341002	\$623.70	101344004	\$623.70
101331012	\$623.70	101341003	\$623.70	101344005	\$623.70
101331013	\$623.70	101341004	\$623.70	101344006	\$623.70
101331014	\$623.70	101341005	\$623.70	101344007	\$623.70
101331015	\$623.70	101341006	\$623.70	101344008	\$623.70
101331016	\$623.70	101341007	\$623.70	101344009	\$623.70
101331017	\$623.70	101341008	\$623.70	101344010	\$623.70
101332001	\$623.70	101341009	\$623.70	101344011	\$623.70
101332002	\$623.70	101341010	\$623.70	101344012	\$623.70
101332003	\$623.70	101341011	\$623.70	101344013	\$623.70
101332004	\$623.70	101341012	\$623.70	101344014	\$623.70
101332005	\$623.70	101341013	\$623.70	101344015	\$623.70
101332006	\$623.70	101341014	\$623.70	101344016	\$623.70
101332007	\$623.70	101342001	\$623.70	101344017	\$623.70
101332008	\$623.70	101342002	\$623.70	101344018	\$623.70
101332009	\$623.70	101342003	\$623.70	101380001	\$623.70
101332010	\$623.70	101342004	\$623.70	101380002	\$623.70
101332011	\$623.70	101342005	\$623.70	101380003	\$623.70
101332012	\$623.70	101342006	\$623.70	101380004	\$623.70
101332013	\$623.70	101342007	\$623.70	101380005	\$623.70
101332014	\$623.70	101342008	\$623.70	101380006	\$623.70
101332015	\$623.70	101342009	\$623.70	101380007	\$623.70
101332016	\$623.70	101342010	\$623.70	101380008	\$623.70
101332017	\$623.70	101342011	\$623.70	101380013	\$623.70
101332018	\$623.70	101342012	\$623.70	101380014	\$623.70
101332019	\$623.70	101342013	\$623.70	101380015	\$623.70
101332020	\$623.70	101342014	\$623.70	101380016	\$623.70
101332021	\$623.70	101342015	\$623.70	101380017	\$623.70
101332022	\$623.70	101342016	\$623.70	101391001	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101391002	\$623.70	102361013	\$623.70	102361057	\$623.70
101391003	\$623.70	102361014	\$623.70	102361058	\$623.70
101391004	\$623.70	102361015	\$623.70	102361059	\$623.70
101391005	\$623.70	102361016	\$623.70	102361060	\$623.70
101391006	\$623.70	102361017	\$623.70	102361061	\$623.70
101391007	\$623.70	102361018	\$623.70	102361062	\$623.70
101391008	\$623.70	102361019	\$623.70	102361063	\$623.70
101391009	\$623.70	102361020	\$623.70	102361064	\$623.70
101391010	\$623.70	102361021	\$623.70	102361065	\$623.70
101391011	\$623.70	102361022	\$623.70	102361066	\$623.70
101392001	\$623.70	102361023	\$623.70	102361067	\$623.70
101392002	\$623.70	102361024	\$623.70	102361068	\$623.70
101392003	\$623.70	102361025	\$623.70	102361069	\$623.70
101392004	\$623.70	102361026	\$623.70	102361070	\$623.70
101392005	\$623.70	102361027	\$623.70	102361071	\$623.70
101440001	\$1,247.42	102361028	\$623.70	102361072	\$623.70
101440002	\$1,247.42	102361029	\$623.70	102361073	\$623.70
101440003	\$1,247.42	102361030	\$623.70	102361074	\$623.70
101440004	\$1,247.42	102361031	\$623.70	102361075	\$623.70
101440005	\$1,247.42	102361032	\$623.70	102361076	\$623.70
101440006	\$1,247.42	102361033	\$623.70	102361077	\$623.70
101440007	\$1,247.42	102361034	\$623.70	102361078	\$623.70
101440008	\$1,247.42	102361035	\$623.70	102361079	\$623.70
101440009	\$1,247.42	102361036	\$623.70	102361080	\$623.70
101440010	\$1,247.42	102361038	\$623.70	102361081	\$623.70
101440011	\$1,247.42	102361039	\$623.70	102361083	\$623.70
101440013	\$2,494.84	102361040	\$623.70	102361084	\$623.70
101440014	\$2,650.76	102361041	\$623.70	102361085	\$623.70
101440018	\$1,247.42	102361042	\$623.70	102361086	\$623.70
101440019	\$1,216.22	102361043	\$623.70	102361087	\$623.70
101440020	\$15,468.00	102361044	\$623.70	102361088	\$623.70
102361001	\$623.70	102361045	\$623.70	102361089	\$623.70
102361002	\$623.70	102361046	\$623.70	102361090	\$623.70
102361003	\$623.70	102361047	\$623.70	102362001	\$623.70
102361004	\$623.70	102361048	\$623.70	102362002	\$623.70
102361005	\$623.70	102361049	\$623.70	102362003	\$623.70
102361006	\$623.70	102361050	\$623.70	102362004	\$623.70
102361007	\$623.70	102361051	\$623.70	102362005	\$623.70
102361008	\$623.70	102361052	\$623.70	102362006	\$623.70
102361009	\$623.70	102361053	\$623.70	102362007	\$623.70
102361010	\$623.70	102361054	\$623.70	102362008	\$623.70
102361011	\$623.70	102361055	\$623.70	102362009	\$623.70
102361012	\$623.70	102361056	\$623.70	102362010	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102362011	\$623.70	102391001	\$623.70	102391044	\$623.70
102362012	\$623.70	102391002	\$623.70	102391045	\$623.70
102362013	\$623.70	102391003	\$623.70	102391046	\$623.70
102362014	\$623.70	102391004	\$623.70	102391047	\$623.70
102362015	\$623.70	102391005	\$623.70	102391048	\$623.70
102362016	\$623.70	102391006	\$623.70	102391049	\$623.70
102362017	\$623.70	102391007	\$623.70	102391050	\$623.70
102362018	\$623.70	102391008	\$623.70	102391051	\$623.70
102362019	\$623.70	102391009	\$623.70	102391052	\$623.70
102362020	\$623.70	102391010	\$623.70	102391053	\$623.70
102362021	\$623.70	102391011	\$623.70	102391054	\$623.70
102362022	\$623.70	102391012	\$623.70	102391055	\$623.70
102362023	\$623.70	102391013	\$623.70	102391056	\$623.70
102362024	\$623.70	102391014	\$623.70	102391057	\$623.70
102362026	\$623.70	102391015	\$623.70	102391058	\$623.70
102362027	\$623.70	102391016	\$623.70	102391059	\$623.70
102362028	\$623.70	102391017	\$623.70	102391060	\$623.70
102362029	\$623.70	102391018	\$623.70	102391061	\$623.70
102362030	\$623.70	102391019	\$623.70	102391062	\$623.70
102362031	\$623.70	102391020	\$623.70	102391063	\$623.70
102362032	\$623.70	102391021	\$623.70	102391064	\$623.70
102362033	\$623.70	102391022	\$623.70	102391065	\$623.70
102380020	\$112,267.80	102391023	\$623.70	102391066	\$623.70
102380051	\$34,304.04	102391024	\$623.70	102391067	\$623.70
102381001	\$623.70	102391025	\$623.70	102391068	\$623.70
102381002	\$623.70	102391026	\$623.70	102391069	\$623.70
102381003	\$623.70	102391027	\$623.70	102391070	\$623.70
102381004	\$623.70	102391028	\$623.70	102391071	\$623.70
102381005	\$623.70	102391029	\$623.70	102391072	\$623.70
102381006	\$623.70	102391030	\$623.70	102392001	\$623.70
102381007	\$623.70	102391031	\$623.70	102392002	\$623.70
102381008	\$623.70	102391032	\$623.70	102392003	\$623.70
102381009	\$623.70	102391033	\$623.70	102392004	\$623.70
102381010	\$623.70	102391034	\$623.70	102392005	\$623.70
102381011	\$623.70	102391035	\$623.70	102392006	\$623.70
102381012	\$623.70	102391036	\$623.70	102392007	\$623.70
102381013	\$623.70	102391037	\$623.70	102392008	\$623.70
102381014	\$623.70	102391038	\$623.70	102392009	\$623.70
102381015	\$623.70	102391039	\$623.70	102392010	\$623.70
102381016	\$623.70	102391040	\$623.70	102392011	\$623.70
102381017	\$623.70	102391041	\$623.70	102392012	\$623.70
102381018	\$623.70	102391042	\$623.70	102392013	\$623.70
102381019	\$623.70	102391043	\$623.70	102392014	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102392015	\$623.70	102392058	\$623.70	102393039	\$623.70
102392016	\$623.70	102392059	\$623.70	102393040	\$623.70
102392017	\$623.70	102392060	\$623.70	102393041	\$623.70
102392018	\$623.70	102392061	\$623.70	102393042	\$623.70
102392019	\$623.70	102392062	\$623.70	102393043	\$623.70
102392020	\$623.70	102393001	\$623.70	102393044	\$623.70
102392021	\$623.70	102393002	\$623.70	102393045	\$623.70
102392022	\$623.70	102393003	\$623.70	102393046	\$623.70
102392023	\$623.70	102393004	\$623.70	102393047	\$623.70
102392024	\$623.70	102393005	\$623.70	102393048	\$623.70
102392025	\$623.70	102393006	\$623.70	102393049	\$623.70
102392026	\$623.70	102393007	\$623.70	102393050	\$623.70
102392027	\$623.70	102393008	\$623.70	102393051	\$623.70
102392028	\$623.70	102393009	\$623.70	102393052	\$623.70
102392029	\$623.70	102393010	\$623.70	102393053	\$623.70
102392030	\$623.70	102393011	\$623.70	102393054	\$623.70
102392031	\$623.70	102393012	\$623.70	102393055	\$623.70
102392032	\$623.70	102393013	\$623.70	102393056	\$623.70
102392033	\$623.70	102393014	\$623.70	102393057	\$623.70
102392034	\$623.70	102393015	\$623.70	102393058	\$623.70
102392035	\$623.70	102393016	\$623.70	102393059	\$623.70
102392036	\$623.70	102393017	\$623.70	102393060	\$623.70
102392037	\$623.70	102393018	\$623.70	102393061	\$623.70
102392038	\$623.70	102393019	\$623.70	102393062	\$623.70
102392039	\$623.70	102393020	\$623.70	102393063	\$623.70
102392040	\$623.70	102393021	\$623.70	102393064	\$623.70
102392041	\$623.70	102393022	\$623.70	102394001	\$623.70
102392042	\$623.70	102393023	\$623.70	102394002	\$623.70
102392043	\$623.70	102393024	\$623.70	102394003	\$623.70
102392044	\$623.70	102393025	\$623.70	102394004	\$623.70
102392045	\$623.70	102393026	\$623.70	102394005	\$623.70
102392046	\$623.70	102393027	\$623.70	102394006	\$623.70
102392047	\$623.70	102393028	\$623.70	102394007	\$623.70
102392048	\$623.70	102393029	\$623.70	102394008	\$623.70
102392049	\$623.70	102393030	\$623.70	102394009	\$623.70
102392050	\$623.70	102393031	\$623.70	102394010	\$623.70
102392051	\$623.70	102393032	\$623.70	102394011	\$623.70
102392052	\$623.70	102393033	\$623.70	102394012	\$623.70
102392053	\$623.70	102393034	\$623.70	102394013	\$623.70
102392054	\$623.70	102393035	\$623.70	102394014	\$623.70
102392055	\$623.70	102393036	\$623.70	102394015	\$623.70
102392056	\$623.70	102393037	\$623.70	102394016	\$623.70
102392057	\$623.70	102393038	\$623.70	102394017	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102394018	\$623.70	102394061	\$623.70	102431008	\$623.70
102394019	\$623.70	102394062	\$623.70	102431009	\$623.70
102394020	\$623.70	102394063	\$623.70	102431010	\$623.70
102394021	\$623.70	102394064	\$623.70	102431011	\$623.70
102394022	\$623.70	102394065	\$623.70	102431012	\$623.70
102394023	\$623.70	102394066	\$623.70	102432001	\$623.70
102394024	\$623.70	102394067	\$623.70	102432002	\$623.70
102394025	\$623.70	102394068	\$623.70	102432003	\$623.70
102394026	\$623.70	102394069	\$623.70	102432004	\$623.70
102394027	\$623.70	102394070	\$623.70	102432005	\$623.70
102394028	\$623.70	102394071	\$623.70	102432006	\$623.70
102394029	\$623.70	102394072	\$623.70	102432007	\$623.70
102394030	\$623.70	102394073	\$623.70	102432009	\$623.70
102394031	\$623.70	102394074	\$623.70	102432010	\$623.70
102394032	\$623.70	102394075	\$623.70	102432016	\$623.70
102394033	\$623.70	102394076	\$623.70	102433001	\$623.70
102394034	\$623.70	102394077	\$623.70	102433002	\$623.70
102394035	\$623.70	102394078	\$623.70	102433003	\$623.70
102394036	\$623.70	102394079	\$623.70	102433004	\$623.70
102394037	\$623.70	102394080	\$623.70	102433005	\$623.70
102394038	\$623.70	102394081	\$623.70	102433006	\$623.70
102394039	\$623.70	102394082	\$623.70	102433007	\$623.70
102394040	\$623.70	102394083	\$623.70	102433008	\$623.70
102394041	\$623.70	102394084	\$623.70	102433009	\$623.70
102394042	\$623.70	102394085	\$623.70	102433010	\$623.70
102394043	\$623.70	102394086	\$623.70	102433011	\$623.70
102394044	\$623.70	102394087	\$623.70	102433012	\$623.70
102394045	\$623.70	102394088	\$623.70	102433013	\$623.70
102394046	\$623.70	102394089	\$623.70	102433014	\$623.70
102394047	\$623.70	102394090	\$623.70	102441001	\$623.70
102394048	\$623.70	102394091	\$623.70	102441002	\$623.70
102394049	\$623.70	102394092	\$623.70	102441003	\$623.70
102394050	\$623.70	102394093	\$623.70	102441004	\$623.70
102394051	\$623.70	102394094	\$623.70	102441005	\$623.70
102394052	\$623.70	102394095	\$623.70	102441006	\$623.70
102394053	\$623.70	102394096	\$623.70	102441007	\$623.70
102394054	\$623.70	102431001	\$623.70	102441008	\$623.70
102394055	\$623.70	102431002	\$623.70	102441009	\$623.70
102394056	\$623.70	102431003	\$623.70	102441010	\$623.70
102394057	\$623.70	102431004	\$623.70	102441011	\$623.70
102394058	\$623.70	102431005	\$623.70	102441012	\$623.70
102394059	\$623.70	102431006	\$623.70	102441013	\$623.70
102394060	\$623.70	102431007	\$623.70	102441014	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102441015	\$623.70	102443002	\$623.70	102451005	\$623.70
102441016	\$623.70	102443003	\$623.70	102452001	\$623.70
102441017	\$623.70	102443004	\$623.70	102452002	\$623.70
102442001	\$623.70	102443005	\$623.70	102452003	\$623.70
102442002	\$623.70	102443006	\$623.70	102452004	\$623.70
102442003	\$623.70	102443007	\$623.70	102452005	\$623.70
102442004	\$623.70	102443008	\$623.70	102452006	\$623.70
102442005	\$623.70	102443009	\$623.70	102452007	\$623.70
102442006	\$623.70	102443010	\$623.70	102452008	\$623.70
102442007	\$623.70	102443011	\$623.70	102452009	\$623.70
102442008	\$623.70	102443012	\$623.70	102452010	\$623.70
102442009	\$623.70	102443013	\$623.70	102452011	\$623.70
102442010	\$623.70	102443014	\$623.70	102461001	\$623.70
102442011	\$623.70	102443015	\$623.70	102461002	\$623.70
102442012	\$623.70	102443016	\$623.70	102461003	\$623.70
102442013	\$623.70	102443017	\$623.70	102461004	\$623.70
102442014	\$623.70	102443018	\$623.70	102461005	\$623.70
102442015	\$623.70	102443019	\$623.70	102461006	\$623.70
102442016	\$623.70	102443020	\$623.70	102461007	\$623.70
102442017	\$623.70	102443021	\$623.70	102461008	\$623.70
102442018	\$623.70	102443022	\$623.70	102461009	\$623.70
102442019	\$623.70	102443023	\$623.70	102461010	\$623.70
102442020	\$623.70	102443024	\$623.70	102461011	\$623.70
102442021	\$623.70	102443025	\$623.70	102461012	\$623.70
102442022	\$623.70	102443026	\$623.70	102461013	\$623.70
102442023	\$623.70	102443027	\$623.70	102461014	\$623.70
102442024	\$623.70	102443028	\$623.70	102461015	\$623.70
102442025	\$623.70	102443029	\$623.70	102461016	\$623.70
102442026	\$623.70	102443030	\$623.70	102461017	\$623.70
102442027	\$623.70	102443031	\$623.70	102461018	\$623.70
102442028	\$623.70	102443032	\$623.70	102461019	\$623.70
102442029	\$623.70	102443033	\$623.70	102461020	\$623.70
102442030	\$623.70	102443034	\$623.70	102461021	\$623.70
102442031	\$623.70	102443035	\$623.70	102461022	\$623.70
102442032	\$623.70	102443036	\$623.70	102461023	\$623.70
102442033	\$623.70	102443037	\$623.70	102461024	\$623.70
102442034	\$623.70	102443038	\$623.70	102461025	\$623.70
102442035	\$623.70	102443039	\$623.70	102461026	\$623.70
102442036	\$623.70	102443040	\$623.70	102461027	\$623.70
102442037	\$623.70	102451001	\$623.70	102461028	\$623.70
102442038	\$623.70	102451002	\$623.70	102461029	\$623.70
102442039	\$623.70	102451003	\$623.70	102461030	\$623.70
102443001	\$623.70	102451004	\$623.70	102461031	\$623.70



## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102462001	\$623.70	102474002	\$623.70	102482013	\$623.70
102462002	\$623.70	102474003	\$623.70	102482014	\$623.70
102462003	\$623.70	102474004	\$623.70	102482015	\$623.70
102462004	\$623.70	102474005	\$623.70	102482016	\$623.70
102462005	\$623.70	102474006	\$623.70	102482017	\$623.70
102462006	\$623.70	102474007	\$623.70	102482018	\$623.70
102462007	\$623.70	102474008	\$623.70	102482019	\$623.70
102471001	\$623.70	102474009	\$623.70	102482020	\$623.70
102472001	\$623.70	102474010	\$623.70	102482021	\$623.70
102472002	\$623.70	102474011	\$623.70	102482022	\$623.70
102472003	\$623.70	102474012	\$623.70	102482023	\$623.70
102472004	\$623.70	102474013	\$623.70	102482024	\$623.70
102472005	\$623.70	102474014	\$623.70	102482025	\$623.70
102472006	\$623.70	102474015	\$623.70	102483001	\$623.70
102472007	\$623.70	102474016	\$623.70	102483002	\$623.70
102472008	\$623.70	102474017	\$623.70	102483003	\$623.70
102472009	\$623.70	102475001	\$623.70	102483004	\$623.70
102472010	\$623.70	102475002	\$623.70	102483005	\$623.70
102472011	\$623.70	102475003	\$623.70	102483006	\$623.70
102472012	\$623.70	102475004	\$623.70	102483007	\$623.70
102473001	\$623.70	102475005	\$623.70	102483008	\$623.70
102473002	\$623.70	102476001	\$623.70	102483009	\$623.70
102473003	\$623.70	102476002	\$623.70	102483010	\$623.70
102473004	\$623.70	102481001	\$623.70	102484001	\$623.70
102473005	\$623.70	102481002	\$623.70	102484002	\$623.70
102473006	\$623.70	102481003	\$623.70	102484003	\$623.70
102473007	\$623.70	102481004	\$623.70	102484004	\$623.70
102473008	\$623.70	102481005	\$623.70	102484005	\$623.70
102473009	\$623.70	102481006	\$623.70	102484006	\$623.70
102473010	\$623.70	102481007	\$623.70	102484007	\$623.70
102473011	\$623.70	102481008	\$623.70	102484008	\$623.70
102473012	\$623.70	102482001	\$623.70	102484009	\$623.70
102473013	\$623.70	102482002	\$623.70	102484010	\$623.70
102473014	\$623.70	102482003	\$623.70	102484011	\$623.70
102473015	\$623.70	102482004	\$623.70	102484012	\$623.70
102473016	\$623.70	102482005	\$623.70	102484013	\$623.70
102473017	\$623.70	102482006	\$623.70	102484014	\$623.70
102473018	\$623.70	102482007	\$623.70	102484015	\$623.70
102473019	\$623.70	102482008	\$623.70	102484016	\$623.70
102473020	\$623.70	102482009	\$623.70	102484017	\$623.70
102473021	\$623.70	102482010	\$623.70	102484018	\$623.70
102473022	\$623.70	102482011	\$623.70	102484019	\$623.70
102474001	\$623.70	102482012	\$623.70	102484020	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102484021	\$623.70	102512013	\$623.70	102521031	\$623.70
102484022	\$623.70	102512014	\$623.70	102521032	\$623.70
102484023	\$623.70	102512015	\$623.70	102521033	\$623.70
102511001	\$623.70	102512016	\$623.70	102521036	\$623.70
102511002	\$623.70	102512017	\$623.70	102521037	\$623.70
102511003	\$623.70	102512018	\$623.70	102521038	\$623.70
102511004	\$623.70	102512019	\$623.70	102521039	\$623.70
102511005	\$623.70	102512020	\$623.70	102521040	\$623.70
102511006	\$623.70	102512021	\$623.70	102521041	\$623.70
102511007	\$623.70	102512022	\$623.70	102521042	\$623.70
102511008	\$623.70	102512023	\$623.70	102521043	\$623.70
102511009	\$623.70	102512024	\$623.70	102521044	\$623.70
102511010	\$623.70	102512025	\$623.70	102521045	\$623.70
102511011	\$623.70	102512026	\$623.70	102521046	\$623.70
102511012	\$623.70	102512027	\$623.70	102521047	\$623.70
102511013	\$623.70	102512028	\$623.70	102521048	\$623.70
102511014	\$623.70	102512029	\$623.70	102521050	\$623.70
102511015	\$623.70	102512030	\$623.70	102521051	\$623.70
102511016	\$623.70	102512031	\$623.70	102521052	\$623.70
102511017	\$623.70	102512032	\$623.70	102521053	\$623.70
102511018	\$623.70	102521001	\$623.70	102521054	\$623.70
102511019	\$623.70	102521002	\$623.70	102521055	\$623.70
102511020	\$623.70	102521003	\$623.70	102521056	\$623.70
102511021	\$623.70	102521004	\$623.70	102521057	\$623.70
102511022	\$623.70	102521005	\$623.70	102521058	\$623.70
102511023	\$623.70	102521008	\$623.70	102522001	\$623.70
102511024	\$623.70	102521009	\$623.70	102522002	\$623.70
102511025	\$623.70	102521010	\$623.70	102522003	\$623.70
102511026	\$623.70	102521011	\$623.70	102522004	\$623.70
102511027	\$623.70	102521012	\$623.70	102522005	\$623.70
102511028	\$623.70	102521013	\$623.70	102522006	\$623.70
102512001	\$623.70	102521014	\$623.70	102522007	\$623.70
102512002	\$623.70	102521015	\$623.70	102522008	\$623.70
102512003	\$623.70	102521016	\$623.70	102522009	\$623.70
102512004	\$623.70	102521021	\$623.70	102522010	\$623.70
102512005	\$623.70	102521022	\$623.70	102522011	\$623.70
102512006	\$623.70	102521023	\$623.70	102522012	\$623.70
102512007	\$623.70	102521024	\$623.70	102522013	\$623.70
102512008	\$623.70	102521025	\$623.70	102522014	\$623.70
102512009	\$623.70	102521027	\$623.70	102522015	\$623.70
102512010	\$623.70	102521028	\$623.70	102522016	\$623.70
102512011	\$623.70	102521029	\$623.70	102522017	\$623.70
102512012	\$623.70	102521030	\$623.70	102522018	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102522019	\$623.70	102532003	\$623.70	102541003	\$623.70
102522020	\$623.70	102532004	\$623.70	102541009	\$623.70
102522021	\$623.70	102532005	\$623.70	102541010	\$623.70
102531008	\$623.70	102532006	\$623.70	102541011	\$623.70
102531009	\$623.70	102532007	\$623.70	102541012	\$623.70
102531010	\$623.70	102532008	\$623.70	102541013	\$623.70
102531011	\$623.70	102532009	\$623.70	102541014	\$623.70
102531012	\$623.70	102532010	\$623.70	102541015	\$623.70
102531013	\$623.70	102532011	\$623.70	102541016	\$623.70
102531014	\$623.70	102532012	\$623.70	102541017	\$623.70
102531015	\$623.70	102532013	\$623.70	102541018	\$623.70
102531016	\$623.70	102532014	\$623.70	102541019	\$623.70
102531017	\$623.70	102532015	\$623.70	102541020	\$623.70
102531018	\$623.70	102532016	\$623.70	102541021	\$623.70
102531019	\$623.70	102532017	\$623.70	102541022	\$623.70
102531020	\$623.70	102532018	\$623.70	102541023	\$623.70
102531021	\$623.70	102532019	\$623.70	102541024	\$623.70
102531022	\$623.70	102532020	\$623.70	102541025	\$623.70
102531023	\$623.70	102532021	\$623.70	102541026	\$623.70
102531024	\$623.70	102532022	\$623.70	102541027	\$623.70
102531025	\$623.70	102532023	\$623.70	102541028	\$623.70
102531026	\$623.70	102532024	\$623.70	102541029	\$623.70
102531027	\$623.70	102532025	\$623.70	102541030	\$623.70
102531028	\$623.70	102532026	\$623.70	102541031	\$623.70
102531029	\$623.70	102532027	\$623.70	102541032	\$623.70
102531030	\$623.70	102532028	\$623.70	102541033	\$623.70
102531031	\$623.70	102532029	\$623.70	102541034	\$623.70
102531032	\$623.70	102532030	\$623.70	102541035	\$623.70
102531033	\$623.70	102532031	\$623.70	102541036	\$623.70
102531034	\$623.70	102532032	\$623.70	102541037	\$623.70
102531035	\$623.70	102532033	\$623.70	102541038	\$623.70
102531036	\$623.70	102532034	\$623.70	102541039	\$623.70
102531037	\$623.70	102532035	\$623.70	102541040	\$623.70
102531039	\$623.70	102532036	\$623.70	102541041	\$623.70
102531041	\$623.70	102532037	\$623.70	102541042	\$623.70
102531043	\$623.70	102532038	\$623.70	102541043	\$623.70
102531045	\$623.70	102532039	\$623.70	102541044	\$623.70
102531047	\$623.70	102532044	\$623.70	102541045	\$623.70
102531049	\$623.70	102532045	\$623.70	102541046	\$623.70
102531054	\$623.70	102532046	\$623.70	102541047	\$623.70
102531055	\$623.70	102532047	\$623.70	102541048	\$623.70
102532001	\$623.70	102541001	\$623.70	102541049	\$623.70
102532002	\$623.70	102541002	\$623.70	102541050	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102541051	\$623.70	102543002	\$623.70	102551031	\$623.70
102541052	\$623.70	102543003	\$623.70	102551032	\$623.70
102542001	\$623.70	102543004	\$623.70	102551033	\$623.70
102542002	\$623.70	102543005	\$623.70	102551034	\$623.70
102542003	\$623.70	102543006	\$623.70	102552003	\$623.70
102542004	\$623.70	102543007	\$623.70	102552004	\$623.70
102542005	\$623.70	102543008	\$623.70	102552005	\$623.70
102542006	\$623.70	102543009	\$623.70	102552006	\$623.70
102542007	\$623.70	102543010	\$623.70	102552007	\$623.70
102542008	\$623.70	102543011	\$623.70	102552008	\$623.70
102542009	\$623.70	102543012	\$623.70	102552009	\$623.70
102542010	\$623.70	102543013	\$623.70	102552010	\$623.70
102542011	\$623.70	102543014	\$623.70	102552011	\$623.70
102542012	\$623.70	102551001	\$623.70	102552012	\$623.70
102542013	\$623.70	102551002	\$623.70	102552013	\$623.70
102542014	\$623.70	102551003	\$623.70	102552014	\$623.70
102542015	\$623.70	102551004	\$623.70	102552015	\$623.70
102542016	\$623.70	102551005	\$623.70	102552016	\$623.70
102542017	\$623.70	102551006	\$623.70	102552017	\$623.70
102542018	\$623.70	102551007	\$623.70	102552018	\$623.70
102542019	\$623.70	102551008	\$623.70	102552019	\$623.70
102542020	\$623.70	102551009	\$623.70	102552020	\$623.70
102542021	\$623.70	102551010	\$623.70	102552021	\$623.70
102542022	\$623.70	102551011	\$623.70	102552022	\$623.70
102542023	\$623.70	102551012	\$623.70	102552023	\$623.70
102542024	\$623.70	102551013	\$623.70	102552024	\$623.70
102542025	\$623.70	102551014	\$623.70	102552025	\$623.70
102542026	\$623.70	102551015	\$623.70	102552026	\$623.70
102542027	\$623.70	102551016	\$623.70	102552027	\$623.70
102542028	\$623.70	102551017	\$623.70	102552028	\$623.70
102542029	\$623.70	102551018	\$623.70	102552029	\$623.70
102542030	\$623.70	102551019	\$623.70	102552030	\$623.70
102542031	\$623.70	102551020	\$623.70	102552031	\$623.70
102542032	\$623.70	102551021	\$623.70	102552032	\$623.70
102542033	\$623.70	102551022	\$623.70	102552036	\$623.70
102542034	\$623.70	102551023	\$623.70	102552037	\$623.70
102542035	\$623.70	102551024	\$623.70	102561001	\$623.70
102542036	\$623.70	102551025	\$623.70	102561002	\$623.70
102542037	\$623.70	102551026	\$623.70	102561003	\$623.70
102542038	\$623.70	102551027	\$623.70	102561004	\$623.70
102542039	\$623.70	102551028	\$623.70	102561005	\$623.70
102542040	\$623.70	102551029	\$623.70	102561006	\$623.70
102543001	\$623.70	102551030	\$623.70	102561007	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102561008	\$623.70	102562010	\$623.70	102572015	\$623.70
102561009	\$623.70	102562011	\$623.70	102572016	\$623.70
102561010	\$623.70	102562012	\$623.70	102572017	\$623.70
102561011	\$623.70	102562013	\$623.70	102572018	\$623.70
102561012	\$623.70	102562014	\$623.70	102572019	\$623.70
102561013	\$623.70	102562015	\$623.70	102572020	\$623.70
102561014	\$623.70	102562016	\$623.70	102572021	\$623.70
102561015	\$623.70	102562017	\$623.70	102572022	\$623.70
102561016	\$623.70	102562018	\$623.70	102572023	\$623.70
102561017	\$623.70	102562019	\$623.70	102572024	\$623.70
102561018	\$623.70	102562020	\$623.70	102572025	\$623.70
102561019	\$623.70	102562021	\$623.70	102572026	\$623.70
102561020	\$623.70	102562022	\$623.70	102572027	\$623.70
102561021	\$623.70	102562023	\$623.70	102572028	\$623.70
102561022	\$623.70	102562024	\$623.70	102572029	\$623.70
102561023	\$623.70	102562025	\$623.70	102572030	\$623.70
102561024	\$623.70	102562026	\$623.70	102572031	\$623.70
102561025	\$623.70	102571001	\$623.70	102572032	\$623.70
102561026	\$623.70	102571002	\$623.70	102572033	\$623.70
102561027	\$623.70	102571003	\$623.70	102572034	\$623.70
102561028	\$623.70	102571004	\$623.70	102572035	\$623.70
102561029	\$623.70	102571005	\$623.70	102572036	\$623.70
102561030	\$623.70	102571006	\$623.70	102573001	\$623.70
102561031	\$623.70	102571007	\$623.70	102573002	\$623.70
102561032	\$623.70	102571008	\$623.70	102573003	\$623.70
102561033	\$623.70	102571009	\$623.70	102573004	\$623.70
102561034	\$623.70	102571010	\$623.70	102573005	\$623.70
102561035	\$623.70	102571011	\$623.70	102573006	\$623.70
102561036	\$623.70	102571012	\$623.70	102573007	\$623.70
102561037	\$623.70	102572001	\$623.70	102573008	\$623.70
102561038	\$623.70	102572002	\$623.70	102573009	\$623.70
102561039	\$623.70	102572003	\$623.70	102573010	\$623.70
102561040	\$623.70	102572004	\$623.70	102573011	\$623.70
102561041	\$623.70	102572005	\$623.70	102573012	\$623.70
102562001	\$623.70	102572006	\$623.70	102573013	\$623.70
102562002	\$623.70	102572007	\$623.70	102573014	\$623.70
102562003	\$623.70	102572008	\$623.70	102573015	\$623.70
102562004	\$623.70	102572009	\$623.70	102573016	\$623.70
102562005	\$623.70	102572010	\$623.70	102573017	\$623.70
102562006	\$623.70	102572011	\$623.70	102573018	\$623.70
102562007	\$623.70	102572012	\$623.70	102573019	\$623.70
102562008	\$623.70	102572013	\$623.70	102573020	\$623.70
102562009	\$623.70	102572014	\$623.70	102573021	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102573022	\$623.70	102580044	\$623.70	102592001	\$623.70
102573023	\$623.70	102580045	\$623.70	102592002	\$623.70
102573024	\$623.70	102580046	\$623.70	102592003	\$623.70
102573025	\$623.70	102580047	\$623.70	102592004	\$623.70
102580001	\$623.70	102580048	\$623.70	102592005	\$623.70
102580002	\$623.70	102580049	\$623.70	102592006	\$623.70
102580003	\$623.70	102580050	\$623.70	102592007	\$623.70
102580004	\$623.70	102580051	\$623.70	102592008	\$623.70
102580005	\$623.70	102580052	\$623.70	102593001	\$623.70
102580006	\$623.70	102580053	\$623.70	102593002	\$623.70
102580011	\$623.70	102580054	\$623.70	102593003	\$623.70
102580012	\$623.70	102580055	\$623.70	102593004	\$623.70
102580013	\$623.70	102580056	\$623.70	102593005	\$623.70
102580014	\$623.70	102580057	\$623.70	102593006	\$623.70
102580015	\$623.70	102580058	\$623.70	102593007	\$623.70
102580016	\$623.70	102580059	\$623.70	102593008	\$623.70
102580017	\$623.70	102580060	\$623.70	102593009	\$623.70
102580018	\$623.70	102580061	\$623.70	102593010	\$623.70
102580019	\$623.70	102580062	\$623.70	102593011	\$623.70
102580020	\$623.70	102580063	\$623.70	102593012	\$623.70
102580021	\$623.70	102580064	\$623.70	102593013	\$623.70
102580022	\$623.70	102580065	\$623.70	102593014	\$623.70
102580023	\$623.70	102580066	\$623.70	102593015	\$623.70
102580024	\$623.70	102580070	\$623.70	102593016	\$623.70
102580025	\$623.70	102580071	\$623.70	102593017	\$623.70
102580026	\$623.70	102580072	\$623.70	102593018	\$623.70
102580027	\$623.70	102580073	\$623.70	102593019	\$623.70
102580028	\$623.70	102591001	\$623.70	102593020	\$623.70
102580029	\$623.70	102591002	\$623.70	102593021	\$623.70
102580030	\$623.70	102591003	\$623.70	102593022	\$623.70
102580031	\$623.70	102591004	\$623.70	102593023	\$623.70
102580032	\$623.70	102591005	\$623.70	102593024	\$623.70
102580033	\$623.70	102591006	\$623.70	102593025	\$623.70
102580034	\$623.70	102591007	\$623.70	102593026	\$623.70
102580035	\$623.70	102591008	\$623.70	102593027	\$623.70
102580036	\$623.70	102591009	\$623.70	102593028	\$623.70
102580037	\$623.70	102591010	\$623.70	102593029	\$623.70
102580038	\$623.70	102591011	\$623.70	102593030	\$623.70
102580039	\$623.70	102591012	\$623.70	102594001	\$623.70
102580040	\$623.70	102591013	\$623.70	102594002	\$623.70
102580041	\$623.70	102591014	\$623.70	102594003	\$623.70
102580042	\$623.70	102591015	\$623.70	102594004	\$623.70
102580043	\$623.70	102591016	\$623.70	102594005	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102594006	\$623.70	102602004	\$623.70	102611016	\$623.70
102594007	\$623.70	102602005	\$623.70	102611017	\$623.70
102594008	\$623.70	102602006	\$623.70	102611019	\$623.70
102594009	\$623.70	102602007	\$623.70	102611020	\$623.70
102594010	\$623.70	102602008	\$623.70	102611024	\$623.70
102594011	\$623.70	102602009	\$623.70	102611026	\$623.70
102595001	\$623.70	102602010	\$623.70	102611027	\$623.70
102595002	\$623.70	102602011	\$623.70	102611028	\$623.70
102595003	\$623.70	102602012	\$623.70	102611029	\$623.70
102601001	\$623.70	102602013	\$623.70	102612001	\$623.70
102601002	\$623.70	102602014	\$623.70	102612002	\$623.70
102601003	\$623.70	102602016	\$623.70	102612003	\$623.70
102601004	\$623.70	102602017	\$623.70	102612004	\$623.70
102601005	\$623.70	102602018	\$623.70	102612005	\$623.70
102601006	\$623.70	102602019	\$623.70	102612006	\$623.70
102601007	\$623.70	102602020	\$623.70	102612007	\$623.70
102601008	\$623.70	102602021	\$623.70	102612008	\$623.70
102601009	\$623.70	102602022	\$623.70	102612009	\$623.70
102601010	\$623.70	102602023	\$623.70	102612010	\$623.70
102601011	\$623.70	102602024	\$623.70	102612011	\$623.70
102601012	\$623.70	102602025	\$623.70	102612012	\$623.70
102601013	\$623.70	102602026	\$623.70	102612013	\$623.70
102601014	\$623.70	102602027	\$623.70	102612014	\$623.70
102601015	\$623.70	102602028	\$623.70	102612015	\$623.70
102601016	\$623.70	102602029	\$623.70	102612016	\$623.70
102601017	\$623.70	102602030	\$623.70	102612017	\$623.70
102601018	\$623.70	102602031	\$623.70	102612018	\$623.70
102601019	\$623.70	102602033	\$623.70	102613001	\$623.70
102601020	\$623.70	102611001	\$623.70	102613002	\$623.70
102601021	\$623.70	102611002	\$623.70	102613003	\$623.70
102601022	\$623.70	102611003	\$623.70	102613004	\$623.70
102601023	\$623.70	102611004	\$623.70	102613005	\$623.70
102601024	\$623.70	102611005	\$623.70	102613006	\$623.70
102601025	\$623.70	102611006	\$623.70	102613007	\$623.70
102601026	\$623.70	102611007	\$623.70	102613008	\$623.70
102601027	\$623.70	102611008	\$623.70	102613009	\$623.70
102601028	\$623.70	102611009	\$623.70	102613010	\$623.70
102601029	\$623.70	102611010	\$623.70	102613011	\$623.70
102601030	\$623.70	102611011	\$623.70	102613012	\$623.70
102601031	\$623.70	102611012	\$623.70	102613013	\$623.70
102602001	\$623.70	102611013	\$623.70	102613014	\$623.70
102602002	\$623.70	102611014	\$623.70	102613015	\$623.70
102602003	\$623.70	102611015	\$623.70	102613016	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102613017	\$623.70	102621037	\$623.70	102630016	\$623.70
102613018	\$623.70	102621038	\$623.70	102630017	\$623.70
102613019	\$623.70	102621039	\$623.70	102630018	\$623.70
102613020	\$623.70	102621040	\$623.70	102630019	\$623.70
102613021	\$623.70	102621041	\$623.70	102630020	\$623.70
102613022	\$623.70	102621042	\$623.70	102630022	\$623.70
102613023	\$623.70	102621043	\$623.70	102630023	\$623.70
102621001	\$623.70	102621044	\$623.70	102630024	\$623.70
102621002	\$623.70	102622001	\$623.70	102630026	\$623.70
102621003	\$623.70	102622002	\$623.70	102630027	\$623.70
102621004	\$623.70	102622003	\$623.70	102630028	\$623.70
102621005	\$623.70	102622004	\$623.70	102630031	\$623.70
102621006	\$623.70	102622005	\$623.70	102630032	\$623.70
102621007	\$623.70	102622006	\$623.70	102630034	\$623.70
102621008	\$623.70	102622007	\$623.70	102641001	\$623.70
102621009	\$623.70	102622008	\$623.70	102641002	\$623.70
102621010	\$623.70	102622009	\$623.70	102641003	\$623.70
102621011	\$623.70	102622010	\$623.70	102641004	\$623.70
102621012	\$623.70	102623001	\$623.70	102641005	\$623.70
102621013	\$623.70	102623002	\$623.70	102641006	\$623.70
102621014	\$623.70	102623003	\$623.70	102641009	\$623.70
102621015	\$623.70	102623004	\$623.70	102641010	\$623.70
102621016	\$623.70	102623007	\$623.70	102641011	\$623.70
102621017	\$623.70	102623008	\$623.70	102641012	\$623.70
102621018	\$623.70	102623009	\$623.70	102641013	\$623.70
102621019	\$623.70	102623012	\$623.70	102641014	\$623.70
102621020	\$623.70	102623013	\$623.70	102641015	\$623.70
102621021	\$623.70	102623014	\$623.70	102641016	\$623.70
102621022	\$623.70	102623015	\$623.70	102641017	\$623.70
102621023	\$623.70	102630002	\$623.70	102641018	\$623.70
102621024	\$623.70	102630003	\$623.70	102641020	\$623.70
102621025	\$623.70	102630004	\$623.70	102642004	\$623.70
102621026	\$623.70	102630005	\$623.70	102642008	\$623.70
102621027	\$623.70	102630006	\$623.70	102643001	\$623.70
102621028	\$623.70	102630007	\$623.70	102643002	\$623.70
102621029	\$623.70	102630008	\$623.70	102643003	\$623.70
102621030	\$623.70	102630009	\$623.70	102643004	\$623.70
102621031	\$623.70	102630010	\$623.70	102643005	\$623.70
102621032	\$623.70	102630011	\$623.70	102643006	\$623.70
102621033	\$623.70	102630012	\$623.70	102643007	\$623.70
102621034	\$623.70	102630013	\$623.70	102643008	\$623.70
102621035	\$623.70	102630014	\$623.70	102643009	\$623.70
102621036	\$623.70	102630015	\$623.70	102643010	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102643011	\$623.70	102661022	\$623.70	102663012	\$623.70
102643012	\$623.70	102661023	\$623.70	102664001	\$623.70
102643013	\$623.70	102661024	\$623.70	102664002	\$623.70
102643014	\$623.70	102661025	\$623.70	102664003	\$623.70
102643015	\$623.70	102661026	\$623.70	102664004	\$623.70
102643016	\$623.70	102661027	\$623.70	102664005	\$623.70
102651003	\$623.70	102661028	\$623.70	102664006	\$623.70
102651005	\$623.70	102661029	\$623.70	102664007	\$623.70
102651006	\$623.70	102661030	\$623.70	102664008	\$623.70
102651008	\$623.70	102662001	\$623.70	102664009	\$623.70
102651009	\$623.70	102662002	\$623.70	102664010	\$623.70
102651010	\$623.70	102662003	\$623.70	102664011	\$623.70
102651011	\$623.70	102662004	\$623.70	102664012	\$623.70
102651012	\$623.70	102662005	\$623.70	102664013	\$623.70
102651013	\$623.70	102662006	\$623.70	102664014	\$623.70
102651014	\$623.70	102662007	\$623.70	102664015	\$623.70
102651015	\$623.70	102662008	\$623.70	102664016	\$623.70
102651016	\$623.70	102662009	\$623.70	102664017	\$623.70
102651017	\$623.70	102662010	\$623.70	102664018	\$623.70
102651018	\$623.70	102662011	\$623.70	102664019	\$623.70
102651027	\$623.70	102662012	\$623.70	102664020	\$623.70
102651029	\$623.70	102662013	\$623.70	102664021	\$623.70
102651030	\$623.70	102662014	\$623.70	102664022	\$623.70
102651031	\$623.70	102662015	\$623.70	102664023	\$623.70
102652001	\$623.70	102662016	\$623.70	102671002	\$623.70
102652004	\$623.70	102662017	\$623.70	102671003	\$623.70
102652005	\$623.70	102662018	\$623.70	102671004	\$623.70
102652006	\$623.70	102662019	\$623.70	102671005	\$623.70
102652007	\$623.70	102662020	\$623.70	102671010	\$623.70
102652008	\$623.70	102662021	\$623.70	102671011	\$623.70
102652009	\$623.70	102662022	\$623.70	102671012	\$623.70
102652010	\$623.70	102662023	\$623.70	102671013	\$623.70
102652011	\$623.70	102663001	\$623.70	102671014	\$623.70
102652012	\$623.70	102663002	\$623.70	102671019	\$623.70
102652013	\$623.70	102663003	\$623.70	102671020	\$623.70
102652017	\$623.70	102663004	\$623.70	102671021	\$623.70
102652019	\$623.70	102663005	\$623.70	102671022	\$623.70
102661016	\$623.70	102663006	\$623.70	102671023	\$623.70
102661017	\$623.70	102663007	\$623.70	102671024	\$623.70
102661018	\$623.70	102663008	\$623.70	102671025	\$623.70
102661019	\$623.70	102663009	\$623.70	102671026	\$623.70
102661020	\$623.70	102663010	\$623.70	102671027	\$623.70
102661021	\$623.70	102663011	\$623.70	102671028	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102671029	\$623.70	102673008	\$623.70	102681006	\$623.70
102671030	\$623.70	102673009	\$623.70	102681007	\$623.70
102671031	\$623.70	102673010	\$623.70	102681008	\$623.70
102671032	\$623.70	102673011	\$623.70	102681009	\$623.70
102672001	\$623.70	102673012	\$623.70	102681010	\$623.70
102672002	\$623.70	102673013	\$623.70	102681011	\$623.70
102672003	\$623.70	102673014	\$623.70	102681012	\$623.70
102672004	\$623.70	102673015	\$623.70	102682001	\$623.70
102672005	\$623.70	102674001	\$623.70	102682002	\$623.70
102672006	\$623.70	102674002	\$623.70	102682003	\$623.70
102672007	\$623.70	102674003	\$623.70	102682004	\$623.70
102672008	\$623.70	102674004	\$623.70	102682005	\$623.70
102672009	\$623.70	102674005	\$623.70	102682006	\$623.70
102672010	\$623.70	102674006	\$623.70	102682007	\$623.70
102672011	\$623.70	102674007	\$623.70	102682008	\$623.70
102672012	\$623.70	102674008	\$623.70	102682009	\$623.70
102672013	\$623.70	102674009	\$623.70	102682010	\$623.70
102672014	\$623.70	102674010	\$623.70	102682011	\$623.70
102672015	\$623.70	102674011	\$623.70	102682015	\$623.70
102672016	\$623.70	102674012	\$623.70	102682016	\$623.70
102672017	\$623.70	102674013	\$623.70	102682017	\$623.70
102672018	\$623.70	102674014	\$623.70	102682018	\$623.70
102672019	\$623.70	102674015	\$623.70	102682019	\$623.70
102672020	\$623.70	102674016	\$623.70	102682020	\$623.70
102672021	\$623.70	102674017	\$623.70	102682021	\$623.70
102672022	\$623.70	102674019	\$623.70	102682022	\$623.70
102672023	\$623.70	102674020	\$623.70	102682023	\$623.70
102672024	\$623.70	102675001	\$623.70	102682024	\$623.70
102672025	\$623.70	102675002	\$623.70	102682025	\$623.70
102672026	\$623.70	102675003	\$623.70	102682026	\$623.70
102672027	\$623.70	102675004	\$623.70	102682027	\$623.70
102672028	\$623.70	102675005	\$623.70	102683001	\$623.70
102672029	\$623.70	102675006	\$623.70	102683002	\$623.70
102672030	\$623.70	102675007	\$623.70	102683003	\$623.70
102672031	\$623.70	102675008	\$623.70	102683004	\$623.70
102672032	\$623.70	102675009	\$623.70	102683005	\$623.70
102673001	\$623.70	102675010	\$623.70	102683006	\$623.70
102673002	\$623.70	102675011	\$623.70	102683007	\$623.70
102673003	\$623.70	102681001	\$623.70	102683008	\$623.70
102673004	\$623.70	102681002	\$623.70	102683009	\$623.70
102673005	\$623.70	102681003	\$623.70	102683010	\$623.70
102673006	\$623.70	102681004	\$623.70	102683011	\$623.70
102673007	\$623.70	102681005	\$623.70	102683012	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102683013	\$623.70	102685020	\$623.70	102692017	\$623.70
102683014	\$623.70	102685021	\$623.70	102692018	\$623.70
102683015	\$623.70	102685022	\$623.70	102692019	\$623.70
102683016	\$623.70	102685023	\$623.70	102692020	\$623.70
102683017	\$623.70	102685024	\$623.70	102692021	\$623.70
102683018	\$623.70	102685025	\$623.70	102692022	\$623.70
102683019	\$623.70	102685026	\$623.70	102692023	\$623.70
102683020	\$623.70	102685027	\$623.70	102692024	\$623.70
102683021	\$623.70	102691001	\$623.70	102692025	\$623.70
102683022	\$623.70	102691002	\$623.70	102692026	\$623.70
102684001	\$623.70	102691003	\$623.70	102692027	\$623.70
102684002	\$623.70	102691005	\$623.70	102692028	\$623.70
102684003	\$623.70	102691006	\$623.70	102692029	\$623.70
102684004	\$623.70	102691007	\$623.70	102692030	\$623.70
102684005	\$623.70	102691008	\$623.70	102692031	\$623.70
102684006	\$623.70	102691009	\$623.70	102692032	\$623.70
102684007	\$623.70	102691010	\$623.70	102692033	\$623.70
102684008	\$623.70	102691011	\$623.70	102692034	\$623.70
102684009	\$623.70	102691012	\$623.70	102692035	\$623.70
102684010	\$623.70	102691013	\$623.70	102692036	\$623.70
102684011	\$623.70	102691014	\$623.70	102692037	\$623.70
102684012	\$623.70	102691015	\$623.70	102692038	\$623.70
102684013	\$623.70	102691016	\$623.70	102692039	\$623.70
102684014	\$623.70	102691017	\$623.70	102692040	\$623.70
102685001	\$623.70	102691018	\$623.70	102693001	\$623.70
102685002	\$623.70	102691019	\$623.70	102693002	\$623.70
102685003	\$623.70	102691020	\$623.70	102693003	\$623.70
102685004	\$623.70	102692001	\$623.70	102693004	\$623.70
102685005	\$623.70	102692002	\$623.70	102693005	\$623.70
102685006	\$623.70	102692003	\$623.70	102693006	\$623.70
102685007	\$623.70	102692004	\$623.70	102693007	\$623.70
102685008	\$623.70	102692005	\$623.70	102693008	\$623.70
102685009	\$623.70	102692006	\$623.70	102693009	\$623.70
102685010	\$623.70	102692007	\$623.70	102693010	\$623.70
102685011	\$623.70	102692008	\$623.70	102693011	\$623.70
102685012	\$623.70	102692009	\$623.70	102693012	\$623.70
102685013	\$623.70	102692010	\$623.70	102693013	\$623.70
102685014	\$623.70	102692011	\$623.70	102693014	\$623.70
102685015	\$623.70	102692012	\$623.70	102693015	\$623.70
102685016	\$623.70	102692013	\$623.70	102694001	\$623.70
102685017	\$623.70	102692014	\$623.70	102694002	\$623.70
102685018	\$623.70	102692015	\$623.70	102694003	\$623.70
102685019	\$623.70	102692016	\$623.70	102694004	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102694005	\$623.70	102703006	\$623.70	102711006	\$623.70
102694006	\$623.70	102703007	\$623.70	102711007	\$623.70
102694007	\$623.70	102703008	\$623.70	102711008	\$623.70
102694008	\$623.70	102703009	\$623.70	102711009	\$623.70
102694009	\$623.70	102703010	\$623.70	102711010	\$623.70
102694010	\$623.70	102703011	\$623.70	102711011	\$623.70
102694011	\$623.70	102703012	\$623.70	102711012	\$623.70
102694012	\$623.70	102703013	\$623.70	102711013	\$623.70
102695001	\$623.70	102703014	\$623.70	102711014	\$623.70
102695002	\$623.70	102703015	\$623.70	102711015	\$623.70
102695003	\$623.70	102703016	\$623.70	102711016	\$623.70
102695004	\$623.70	102703017	\$623.70	102711017	\$623.70
102695005	\$623.70	102703018	\$623.70	102711018	\$623.70
102695006	\$623.70	102703019	\$623.70	102711019	\$623.70
102695007	\$623.70	102703020	\$623.70	102711020	\$623.70
102695008	\$623.70	102703021	\$623.70	102711021	\$623.70
102696001	\$623.70	102703022	\$623.70	102711022	\$623.70
102696002	\$623.70	102703023	\$623.70	102711023	\$623.70
102696003	\$623.70	102704001	\$623.70	102711024	\$623.70
102696004	\$623.70	102704002	\$623.70	102711025	\$623.70
102701001	\$623.70	102704003	\$623.70	102711026	\$623.70
102701002	\$623.70	102704004	\$623.70	102711027	\$623.70
102701003	\$623.70	102704005	\$623.70	102711028	\$623.70
102701004	\$623.70	102704006	\$623.70	102711029	\$623.70
102701006	\$623.70	102704007	\$623.70	102711030	\$623.70
102701007	\$623.70	102704008	\$623.70	102711031	\$623.70
102701008	\$623.70	102704009	\$623.70	102712001	\$623.70
102702001	\$623.70	102704010	\$623.70	102712002	\$623.70
102702002	\$623.70	102704011	\$623.70	102712003	\$623.70
102702003	\$623.70	102704012	\$623.70	102712004	\$623.70
102702004	\$623.70	102704013	\$623.70	102712005	\$623.70
102702005	\$623.70	102704014	\$623.70	102712006	\$623.70
102702006	\$623.70	102704015	\$623.70	102712007	\$623.70
102702007	\$623.70	102704016	\$623.70	102712008	\$623.70
102702008	\$623.70	102704017	\$623.70	102712009	\$623.70
102702009	\$623.70	102704018	\$623.70	102712010	\$623.70
102702010	\$623.70	102704019	\$623.70	102712011	\$623.70
102702011	\$623.70	102704020	\$623.70	102712012	\$623.70
102703001	\$623.70	102711001	\$623.70	102712013	\$623.70
102703002	\$623.70	102711002	\$623.70	102712014	\$623.70
102703003	\$623.70	102711003	\$623.70	102713001	\$623.70
102703004	\$623.70	102711004	\$623.70	102713002	\$623.70
102703005	\$623.70	102711005	\$623.70	102713003	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102713004	\$623.70	102714031	\$623.70	102722004	\$623.70
102713005	\$623.70	102714032	\$623.70	102722005	\$623.70
102713006	\$623.70	102721001	\$623.70	102723001	\$623.70
102713007	\$623.70	102721002	\$623.70	102723002	\$623.70
102713008	\$623.70	102721003	\$623.70	102723003	\$623.70
102713009	\$623.70	102721004	\$623.70	102723004	\$623.70
102713010	\$623.70	102721005	\$623.70	102723005	\$623.70
102713011	\$623.70	102721006	\$623.70	102723006	\$623.70
102713012	\$623.70	102721007	\$623.70	102723007	\$623.70
102713013	\$623.70	102721008	\$623.70	102730001	\$623.70
102713014	\$623.70	102721009	\$623.70	102730002	\$623.70
102713015	\$623.70	102721010	\$623.70	102730003	\$623.70
102713016	\$623.70	102721011	\$623.70	102730004	\$623.70
102714001	\$623.70	102721012	\$623.70	102730005	\$623.70
102714002	\$623.70	102721013	\$623.70	102730006	\$623.70
102714003	\$623.70	102721014	\$623.70	102730007	\$623.70
102714004	\$623.70	102721015	\$623.70	102730008	\$623.70
102714005	\$623.70	102721016	\$623.70	102730009	\$623.70
102714006	\$623.70	102721017	\$623.70	102730010	\$623.70
102714007	\$623.70	102721018	\$623.70	102730011	\$623.70
102714008	\$623.70	102721019	\$623.70	102730012	\$623.70
102714009	\$623.70	102721020	\$623.70	102730013	\$623.70
102714010	\$623.70	102721021	\$623.70	102730014	\$623.70
102714011	\$623.70	102721022	\$623.70	102730015	\$623.70
102714012	\$623.70	102721023	\$623.70	102730016	\$623.70
102714013	\$623.70	102721024	\$623.70	102730017	\$623.70
102714014	\$623.70	102721025	\$623.70	102730018	\$623.70
102714015	\$623.70	102721026	\$623.70	102730019	\$623.70
102714016	\$623.70	102721027	\$623.70	102730020	\$623.70
102714017	\$623.70	102721028	\$623.70	102730021	\$623.70
102714018	\$623.70	102721029	\$623.70	102730022	\$623.70
102714019	\$623.70	102721030	\$623.70	102730023	\$623.70
102714020	\$623.70	102721031	\$623.70	102730024	\$623.70
102714021	\$623.70	102721032	\$623.70	102730025	\$623.70
102714022	\$623.70	102721033	\$623.70	102730026	\$623.70
102714023	\$623.70	102721034	\$623.70	102730027	\$623.70
102714024	\$623.70	102721035	\$623.70	102730028	\$623.70
102714025	\$623.70	102721036	\$623.70	102730029	\$623.70
102714026	\$623.70	102721037	\$623.70	102730030	\$623.70
102714027	\$623.70	102721038	\$623.70	102730031	\$623.70
102714028	\$623.70	102722001	\$623.70	102730032	\$623.70
102714029	\$623.70	102722002	\$623.70	102730033	\$623.70
102714030	\$623.70	102722003	\$623.70	102730034	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102730035	\$623.70	102742027	\$623.70	102750019	\$623.70
102730036	\$623.70	102742028	\$623.70	102750020	\$623.70
102730037	\$623.70	102742029	\$623.70	102750021	\$623.70
102730038	\$623.70	102742030	\$623.70	102750022	\$623.70
102730039	\$623.70	102742031	\$623.70	102750023	\$623.70
102730040	\$623.70	102742034	\$623.70	102750024	\$623.70
102730041	\$623.70	102742035	\$623.70	102750025	\$623.70
102730042	\$623.70	102742036	\$623.70	102750026	\$623.70
102730043	\$623.70	102742037	\$623.70	102750027	\$623.70
102730044	\$623.70	102742038	\$623.70	102750028	\$623.70
102730045	\$623.70	102742039	\$623.70	102750029	\$623.70
102730046	\$623.70	102742040	\$623.70	102750030	\$623.70
102730047	\$623.70	102742041	\$623.70	102750031	\$623.70
102730048	\$623.70	102742042	\$623.70	102750032	\$623.70
102730049	\$623.70	102742043	\$623.70	102750033	\$623.70
102730050	\$623.70	102742044	\$623.70	102750034	\$623.70
102730051	\$623.70	102742045	\$623.70	102750035	\$623.70
102730052	\$623.70	102742046	\$623.70	102750036	\$623.70
102730053	\$623.70	102742047	\$623.70	102760003	\$623.70
102730054	\$623.70	102742048	\$623.70	102760018	\$623.70
102730055	\$623.70	102742049	\$623.70	102760019	\$623.70
102730056	\$623.70	102742050	\$623.70	102760020	\$623.70
102730057	\$623.70	102742051	\$623.70	102760021	\$623.70
102730058	\$623.70	102742057	\$623.70	102760023	\$623.70
102730059	\$623.70	102742059	\$623.70	102760024	\$623.70
102730060	\$623.70	102750001	\$623.70	102760025	\$623.70
102730061	\$623.70	102750002	\$623.70	102771001	\$623.70
102730062	\$623.70	102750003	\$623.70	102771002	\$623.70
102730063	\$623.70	102750004	\$623.70	102771003	\$623.70
102730064	\$623.70	102750005	\$623.70	102771004	\$623.70
102730065	\$623.70	102750006	\$623.70	102771005	\$623.70
102730066	\$623.70	102750007	\$623.70	102771006	\$623.70
102730067	\$623.70	102750008	\$623.70	102771007	\$623.70
102730068	\$623.70	102750009	\$623.70	102771008	\$623.70
102730069	\$623.70	102750010	\$623.70	102771009	\$623.70
102730070	\$623.70	102750011	\$623.70	102771010	\$623.70
102730071	\$623.70	102750012	\$623.70	102771011	\$623.70
102730072	\$623.70	102750013	\$623.70	102771012	\$623.70
102742021	\$623.70	102750014	\$623.70	102771013	\$623.70
102742022	\$623.70	102750015	\$623.70	102771014	\$623.70
102742023	\$623.70	102750016	\$623.70	102771015	\$623.70
102742025	\$623.70	102750017	\$623.70	102771016	\$623.70
102742026	\$623.70	102750018	\$623.70	102771017	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102771018	\$623.70	102772005	\$623.70	102773032	\$623.70
102771019	\$623.70	102772006	\$623.70	102773033	\$623.70
102771020	\$623.70	102772007	\$623.70	102773034	\$623.70
102771021	\$623.70	102772008	\$623.70	102774001	\$623.70
102771022	\$623.70	102772009	\$623.70	102774002	\$623.70
102771023	\$623.70	102772010	\$623.70	102774003	\$623.70
102771024	\$623.70	102772011	\$623.70	102774004	\$623.70
102771025	\$623.70	102772012	\$623.70	102774005	\$623.70
102771026	\$623.70	102772013	\$623.70	102774006	\$623.70
102771027	\$623.70	102772014	\$623.70	102774007	\$623.70
102771028	\$623.70	102772015	\$623.70	102774008	\$623.70
102771029	\$623.70	102772016	\$623.70	102774009	\$623.70
102771030	\$623.70	102773001	\$623.70	102774010	\$623.70
102771031	\$623.70	102773002	\$623.70	102774013	\$623.70
102771032	\$623.70	102773003	\$623.70	102774014	\$623.70
102771033	\$623.70	102773004	\$623.70	102774015	\$623.70
102771034	\$623.70	102773005	\$623.70	102774017	\$623.70
102771035	\$623.70	102773006	\$623.70	102774018	\$623.70
102771036	\$623.70	102773007	\$623.70	102774019	\$623.70
102771037	\$623.70	102773008	\$623.70	102774020	\$623.70
102771038	\$623.70	102773009	\$623.70	102774021	\$623.70
102771039	\$623.70	102773010	\$623.70	102774022	\$623.70
102771040	\$623.70	102773011	\$623.70	102774023	\$623.70
102771041	\$623.70	102773012	\$623.70	102774024	\$623.70
102771042	\$623.70	102773013	\$623.70	102774025	\$623.70
102771043	\$623.70	102773014	\$623.70	102774026	\$623.70
102771044	\$623.70	102773015	\$623.70	102774027	\$623.70
102771045	\$623.70	102773016	\$623.70	102774028	\$623.70
102771046	\$623.70	102773017	\$623.70	102774031	\$623.70
102771047	\$623.70	102773018	\$623.70	102774032	\$623.70
102771048	\$623.70	102773019	\$623.70	102774033	\$623.70
102771049	\$623.70	102773020	\$623.70	102791001	\$623.70
102771050	\$623.70	102773021	\$623.70	102791002	\$623.70
102771051	\$623.70	102773022	\$623.70	102791003	\$623.70
102771052	\$623.70	102773023	\$623.70	102791004	\$623.70
102771053	\$623.70	102773024	\$623.70	102791005	\$623.70
102771054	\$623.70	102773025	\$623.70	102791006	\$623.70
102771055	\$623.70	102773026	\$623.70	102791007	\$623.70
102771056	\$623.70	102773027	\$623.70	102791008	\$623.70
102772001	\$623.70	102773028	\$623.70	102792001	\$623.70
102772002	\$623.70	102773029	\$623.70	102792002	\$623.70
102772003	\$623.70	102773030	\$623.70	102792003	\$623.70
102772004	\$623.70	102773031	\$623.70	102792004	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102792005	\$623.70	102802011	\$623.70	102811022	\$623.70
102792006	\$623.70	102802012	\$623.70	102811023	\$623.70
102792007	\$623.70	102802013	\$623.70	102811024	\$623.70
102792008	\$623.70	102802014	\$623.70	102811025	\$623.70
102792009	\$623.70	102802015	\$623.70	102812001	\$623.70
102792010	\$623.70	102802016	\$623.70	102830002	\$107,777.08
102792011	\$623.70	102802017	\$623.70	102830006	\$4,521.88
102792012	\$623.70	102802018	\$623.70	102830007	\$9,636.30
102792013	\$623.70	102802019	\$623.70	102830008	\$11,507.44
102792014	\$623.70	102802020	\$623.70	102830009	\$2,463.64
102792015	\$623.70	102802021	\$623.70	102830010	\$1,995.86
102792016	\$623.70	102811001	\$623.70	102830011	\$3,586.32
102792017	\$623.70	102811002	\$623.70	102830012	\$6,237.10
102792018	\$623.70	102811004	\$623.70	112120001	\$623.70
102801005	\$623.70	102811005	\$623.70	112120002	\$623.70
102801008	\$623.70	102811006	\$623.70	112120003	\$623.70
102801009	\$623.70	102811007	\$623.70	112120004	\$623.70
102801010	\$623.70	102811008	\$623.70	112120005	\$623.70
102801011	\$623.70	102811009	\$623.70	112120006	\$623.70
102802001	\$623.70	102811010	\$623.70	112120007	\$623.70
102802002	\$623.70	102811011	\$623.70	112120008	\$623.70
102802003	\$623.70	102811013	\$623.70	112120009	\$623.70
102802004	\$623.70	102811015	\$623.70	112120010	\$623.70
102802005	\$623.70	102811016	\$623.70	112120011	\$623.70
102802006	\$623.70	102811017	\$623.70	112120012	\$623.70
102802007	\$623.70	102811018	\$623.70	112120013	\$623.70
102802008	\$623.70	102811019	\$623.70	112120014	\$623.70
102802009	\$623.70	102811020	\$623.70	112120015	\$623.70
102802010	\$623.70	102811021	\$623.70	112120016	\$623.70

**Totals**

**Parcels 2,925**

**Levy \$2,139,202.62**



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115541001	\$255.32	115543002	\$255.32	115552012	\$255.32
115541002	\$255.32	115543003	\$255.32	115552013	\$255.32
115541003	\$255.32	115543004	\$255.32	115552014	\$255.32
115541004	\$255.32	115543005	\$255.32	122210035	\$1,314.96
115541005	\$255.32	115543006	\$255.32	122210053	\$255.32
115541006	\$255.32	115543007	\$255.32	122210056	\$255.32
115541007	\$255.32	115543008	\$255.32	122210057	\$255.32
115541008	\$255.32	115543009	\$255.32	122210058	\$255.32
115541009	\$255.32	115543010	\$255.32	122210059	\$255.32
115541010	\$255.32	115543011	\$255.32	122210060	\$255.32
115541011	\$255.32	115543012	\$255.32	122210061	\$255.32
115541012	\$255.32	115543013	\$255.32	122210072	\$255.32
115541013	\$255.32	115543014	\$255.32	122210073	\$255.32
115541014	\$255.32	115543015	\$255.32	122210075	\$255.32
115541015	\$255.32	115543016	\$255.32	122210076	\$255.32
115541016	\$255.32	115543017	\$255.32	122210080	\$255.32
115541017	\$255.32	115543018	\$255.32	122210082	\$255.32
115541018	\$255.32	115551001	\$255.32	122210083	\$255.32
115541019	\$255.32	115551002	\$255.32	122210084	\$255.32
115541020	\$255.32	115551003	\$255.32	122251001	\$255.32
115541021	\$255.32	115551004	\$255.32	122251002	\$255.32
115541022	\$255.32	115551005	\$255.32	122251003	\$255.32
115541023	\$255.32	115551006	\$255.32	122251004	\$255.32
115541024	\$255.32	115551007	\$255.32	122251005	\$255.32
115541025	\$255.32	115551008	\$255.32	122251006	\$255.32
115541026	\$255.32	115551009	\$255.32	122251007	\$255.32
115541027	\$255.32	115551010	\$255.32	122251008	\$255.32
115541028	\$255.32	115551011	\$255.32	122251009	\$255.32
115542001	\$255.32	115551012	\$255.32	122251010	\$255.32
115542002	\$255.32	115551013	\$255.32	122251011	\$255.32
115542003	\$255.32	115551014	\$255.32	122251012	\$255.32
115542004	\$255.32	115551015	\$255.32	122251013	\$255.32
115542005	\$255.32	115552001	\$255.32	122251014	\$255.32
115542006	\$255.32	115552002	\$255.32	122251015	\$255.32
115542007	\$255.32	115552003	\$255.32	122251016	\$255.32
115542008	\$255.32	115552004	\$255.32	122251017	\$255.32
115542009	\$255.32	115552005	\$255.32	122251018	\$255.32
115542010	\$255.32	115552006	\$255.32	122251019	\$255.32
115542011	\$255.32	115552007	\$255.32	122251020	\$255.32
115542012	\$255.32	115552008	\$255.32	122251021	\$255.32
115542013	\$255.32	115552009	\$255.32	122251022	\$255.32
115542014	\$255.32	115552010	\$255.32	122251024	\$255.32
115543001	\$255.32	115552011	\$255.32	122251025	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122251026	\$255.32	122251070	\$255.32	122252034	\$255.32
122251027	\$255.32	122251071	\$255.32	122252035	\$255.32
122251028	\$255.32	122251072	\$255.32	122252036	\$255.32
122251029	\$255.32	122251073	\$255.32	122252037	\$255.32
122251030	\$255.32	122251074	\$255.32	122252038	\$255.32
122251031	\$255.32	122251075	\$255.32	122252039	\$255.32
122251032	\$255.32	122251076	\$255.32	122252040	\$255.32
122251033	\$255.32	122251077	\$255.32	122252041	\$255.32
122251034	\$255.32	122251078	\$255.32	122252042	\$255.32
122251035	\$255.32	122251079	\$255.32	122252043	\$255.32
122251036	\$255.32	122251080	\$255.32	122253001	\$255.32
122251037	\$255.32	122252001	\$255.32	122253002	\$255.32
122251038	\$255.32	122252002	\$255.32	122253003	\$255.32
122251039	\$255.32	122252003	\$255.32	122253004	\$255.32
122251040	\$255.32	122252004	\$255.32	122253005	\$255.32
122251041	\$255.32	122252005	\$255.32	122253006	\$255.32
122251042	\$255.32	122252006	\$255.32	122253007	\$255.32
122251043	\$255.32	122252007	\$255.32	122253009	\$255.32
122251044	\$255.32	122252008	\$255.32	122253010	\$255.32
122251045	\$255.32	122252009	\$255.32	122253011	\$255.32
122251046	\$255.32	122252010	\$255.32	122253012	\$255.32
122251047	\$255.32	122252011	\$255.32	122253013	\$255.32
122251048	\$255.32	122252012	\$255.32	122253014	\$255.32
122251049	\$255.32	122252013	\$255.32	122253015	\$255.32
122251051	\$255.32	122252014	\$255.32	122253016	\$255.32
122251052	\$255.32	122252015	\$255.32	122253017	\$255.32
122251053	\$255.32	122252016	\$255.32	122253018	\$255.32
122251054	\$255.32	122252017	\$255.32	122253019	\$255.32
122251055	\$255.32	122252018	\$255.32	122253020	\$255.32
122251056	\$255.32	122252020	\$255.32	122253021	\$255.32
122251057	\$255.32	122252021	\$255.32	122253022	\$255.32
122251058	\$255.32	122252022	\$255.32	122253023	\$255.32
122251059	\$255.32	122252023	\$255.32	122253024	\$255.32
122251060	\$255.32	122252024	\$255.32	122253025	\$255.32
122251061	\$255.32	122252025	\$255.32	122253026	\$255.32
122251062	\$255.32	122252026	\$255.32	122253027	\$255.32
122251063	\$255.32	122252027	\$255.32	122253028	\$255.32
122251064	\$255.32	122252028	\$255.32	122253029	\$255.32
122251065	\$255.32	122252029	\$255.32	122253030	\$255.32
122251066	\$255.32	122252030	\$255.32	122253031	\$255.32
122251067	\$255.32	122252031	\$255.32	122253032	\$255.32
122251068	\$255.32	122252032	\$255.32	122253033	\$255.32
122251069	\$255.32	122252033	\$255.32	122253035	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122253036	\$255.32	122261021	\$255.32	122262028	\$255.32
122253037	\$255.32	122261022	\$255.32	122262029	\$255.32
122253038	\$255.32	122261023	\$255.32	122262030	\$255.32
122253039	\$255.32	122261024	\$255.32	122271001	\$255.32
122253040	\$255.32	122261025	\$255.32	122271002	\$255.32
122253041	\$255.32	122261026	\$255.32	122271003	\$255.32
122253042	\$255.32	122261027	\$255.32	122271004	\$255.32
122253043	\$255.32	122261028	\$255.32	122271005	\$255.32
122253044	\$255.32	122261029	\$255.32	122271006	\$255.32
122253045	\$255.32	122261030	\$255.32	122271007	\$255.32
122253046	\$255.32	122261031	\$255.32	122271008	\$255.32
122253047	\$255.32	122261033	\$255.32	122271009	\$255.32
122253048	\$255.32	122261034	\$255.32	122271010	\$255.32
122253049	\$255.32	122261035	\$255.32	122271011	\$255.32
122253050	\$255.32	122261036	\$255.32	122271012	\$255.32
122253051	\$255.32	122261037	\$255.32	122271013	\$255.32
122253052	\$255.32	122262001	\$255.32	122271014	\$255.32
122253053	\$255.32	122262002	\$255.32	122271015	\$255.32
122253054	\$255.32	122262003	\$255.32	122271016	\$255.32
122253055	\$255.32	122262004	\$255.32	122271017	\$255.32
122253056	\$255.32	122262005	\$255.32	122271018	\$255.32
122253057	\$255.32	122262006	\$255.32	122271020	\$255.32
122253058	\$255.32	122262007	\$255.32	122271021	\$255.32
122261001	\$255.32	122262008	\$255.32	122271022	\$255.32
122261002	\$255.32	122262009	\$255.32	122271023	\$255.32
122261003	\$255.32	122262010	\$255.32	122271024	\$255.32
122261004	\$255.32	122262011	\$255.32	122271025	\$255.32
122261005	\$255.32	122262012	\$255.32	122271026	\$255.32
122261006	\$255.32	122262013	\$255.32	122271027	\$255.32
122261007	\$255.32	122262014	\$255.32	122271028	\$255.32
122261008	\$255.32	122262015	\$255.32	122271029	\$255.32
122261009	\$255.32	122262016	\$255.32	122271030	\$255.32
122261010	\$255.32	122262017	\$255.32	122271031	\$255.32
122261011	\$255.32	122262018	\$255.32	122271032	\$255.32
122261012	\$255.32	122262019	\$255.32	122271033	\$255.32
122261013	\$255.32	122262020	\$255.32	122271034	\$255.32
122261014	\$255.32	122262021	\$255.32	122271035	\$255.32
122261015	\$255.32	122262022	\$255.32	122271036	\$255.32
122261016	\$255.32	122262023	\$255.32	122271037	\$255.32
122261017	\$255.32	122262024	\$255.32	122271038	\$255.32
122261018	\$255.32	122262025	\$255.32	122271039	\$255.32
122261019	\$255.32	122262026	\$255.32	122271040	\$255.32
122261020	\$255.32	122262027	\$255.32	122271041	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122271042	\$255.32	122272020	\$255.32	122282018	\$255.32
122271043	\$255.32	122272021	\$255.32	122282019	\$255.32
122271045	\$255.32	122272022	\$255.32	122282020	\$255.32
122271046	\$255.32	122272023	\$255.32	122282021	\$255.32
122271047	\$255.32	122281001	\$255.32	122282022	\$255.32
122271048	\$255.32	122281002	\$255.32	122282023	\$255.32
122271049	\$255.32	122281003	\$255.32	122282024	\$255.32
122271050	\$255.32	122281004	\$255.32	122291001	\$255.32
122271051	\$255.32	122281005	\$255.32	122291002	\$255.32
122271052	\$255.32	122281006	\$255.32	122291003	\$255.32
122271053	\$255.32	122281007	\$255.32	122291004	\$255.32
122271054	\$255.32	122281008	\$255.32	122291005	\$255.32
122271055	\$255.32	122281009	\$255.32	122291006	\$255.32
122271056	\$255.32	122281010	\$255.32	122291007	\$255.32
122271057	\$255.32	122281011	\$255.32	122291008	\$255.32
122271058	\$255.32	122281012	\$255.32	122291009	\$255.32
122271059	\$255.32	122281013	\$255.32	122291010	\$255.32
122271060	\$255.32	122281014	\$255.32	122291011	\$255.32
122271061	\$255.32	122281017	\$255.32	122291012	\$255.32
122271062	\$255.32	122281020	\$255.32	122291013	\$255.32
122271063	\$255.32	122281021	\$255.32	122291014	\$255.32
122271064	\$255.32	122281022	\$255.32	122291015	\$255.32
122271065	\$255.32	122281023	\$255.32	122291016	\$255.32
122271066	\$255.32	122281026	\$255.32	122291017	\$255.32
122272001	\$255.32	122281027	\$255.32	122291018	\$255.32
122272002	\$255.32	122281028	\$255.32	122292001	\$255.32
122272003	\$255.32	122281029	\$255.32	122292002	\$255.32
122272004	\$255.32	122281031	\$255.32	122292003	\$255.32
122272005	\$255.32	122281032	\$255.32	122292004	\$255.32
122272006	\$255.32	122281033	\$255.32	122292005	\$255.32
122272007	\$255.32	122282001	\$255.32	122292006	\$255.32
122272008	\$255.32	122282002	\$255.32	122292007	\$255.32
122272009	\$255.32	122282003	\$255.32	122292008	\$255.32
122272010	\$255.32	122282004	\$255.32	122311001	\$255.32
122272011	\$255.32	122282005	\$255.32	122311002	\$255.32
122272012	\$255.32	122282006	\$255.32	122311003	\$255.32
122272013	\$255.32	122282007	\$255.32	122311004	\$255.32
122272014	\$255.32	122282008	\$255.32	122311005	\$255.32
122272015	\$255.32	122282009	\$255.32	122311006	\$255.32
122272016	\$255.32	122282010	\$255.32	122311007	\$255.32
122272017	\$255.32	122282015	\$255.32	122311008	\$255.32
122272018	\$255.32	122282016	\$255.32	122311009	\$255.32
122272019	\$255.32	122282017	\$255.32	122311010	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122311011	\$255.32	122323005	\$255.32	122340003	\$255.32
122311012	\$255.32	122323006	\$255.32	122340004	\$255.32
122311013	\$255.32	122323007	\$255.32	122340005	\$255.32
122311014	\$255.32	122323008	\$255.32	122340006	\$255.32
122311015	\$255.32	122323009	\$255.32	122340007	\$255.32
122311016	\$255.32	122323010	\$255.32	122340008	\$255.32
122311017	\$255.32	122331001	\$255.32	122340009	\$255.32
122311018	\$255.32	122331002	\$255.32	122340010	\$255.32
122311019	\$255.32	122331003	\$255.32	122340011	\$255.32
122311020	\$255.32	122331004	\$255.32	122340012	\$255.32
122311021	\$255.32	122331005	\$255.32	122340013	\$255.32
122312001	\$255.32	122331006	\$255.32	122340014	\$255.32
122312002	\$255.32	122331007	\$255.32	122340015	\$255.32
122312003	\$255.32	122331008	\$255.32	122340016	\$255.32
122312004	\$255.32	122331009	\$255.32	122340017	\$255.32
122312005	\$255.32	122331010	\$255.32	122340018	\$255.32
122312006	\$255.32	122331011	\$255.32	122340019	\$255.32
122312007	\$255.32	122331012	\$255.32	122340020	\$255.32
122312008	\$255.32	122331013	\$255.32	122340021	\$255.32
122312009	\$255.32	122332001	\$255.32	122340022	\$255.32
122312010	\$255.32	122332002	\$255.32	122340023	\$255.32
122312011	\$255.32	122332003	\$255.32	122340024	\$255.32
122321001	\$255.32	122332004	\$255.32	122340025	\$255.32
122321002	\$255.32	122332005	\$255.32	122340026	\$255.32
122321003	\$255.32	122332006	\$255.32	122340036	\$255.32
122321004	\$255.32	122332007	\$255.32	122340037	\$255.32
122321005	\$255.32	122332008	\$255.32	122340038	\$255.32
122321006	\$255.32	122332009	\$255.32	122340042	\$255.32
122321007	\$255.32	122332010	\$255.32	122340043	\$255.32
122321008	\$255.32	122332011	\$255.32	122340044	\$255.32
122321009	\$255.32	122332012	\$255.32	122340045	\$255.32
122321010	\$255.32	122332013	\$255.32	122340046	\$255.32
122321011	\$255.32	122332014	\$255.32	122340047	\$255.32
122321012	\$255.32	122332015	\$255.32	122340048	\$255.32
122322001	\$255.32	122332016	\$255.32	122340049	\$255.32
122322002	\$255.32	122332017	\$255.32	122340050	\$255.32
122322003	\$255.32	122332018	\$255.32	122351005	\$255.32
122322004	\$255.32	122332019	\$255.32	122351006	\$255.32
122322005	\$255.32	122332020	\$255.32	122351011	\$255.32
122323001	\$255.32	122332021	\$255.32	122351012	\$255.32
122323002	\$255.32	122332022	\$255.32	122351013	\$255.32
122323003	\$255.32	122340001	\$255.32	122351014	\$255.32
122323004	\$255.32	122340002	\$255.32	122351015	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122351016	\$255.32	122361012	\$255.32	122371020	\$255.32
122351017	\$255.32	122361013	\$255.32	122372001	\$255.32
122351018	\$255.32	122361014	\$255.32	122372002	\$255.32
122351019	\$255.32	122361015	\$255.32	122372003	\$255.32
122351020	\$255.32	122361017	\$255.32	122372004	\$255.32
122351021	\$255.32	122361018	\$255.32	122372005	\$255.32
122351034	\$255.32	122361019	\$255.32	122372006	\$255.32
122351035	\$255.32	122361021	\$255.32	122372007	\$255.32
122351036	\$255.32	122361022	\$255.32	122372008	\$255.32
122351037	\$255.32	122362001	\$255.32	122372009	\$255.32
122351038	\$255.32	122362002	\$255.32	122372014	\$255.32
122351039	\$255.32	122362003	\$255.32	122372015	\$255.32
122351040	\$255.32	122362009	\$255.32	122372016	\$255.32
122351041	\$255.32	122362010	\$255.32	122372017	\$255.32
122351042	\$255.32	122362011	\$255.32	122372018	\$255.32
122351043	\$255.32	122362012	\$255.32	122372019	\$255.32
122351044	\$255.32	122362013	\$255.32	122372020	\$255.32
122351045	\$255.32	122363009	\$255.32	122372021	\$255.32
122351046	\$255.32	122363011	\$255.32	122372022	\$255.32
122351047	\$255.32	122363012	\$255.32	122372023	\$255.32
122351048	\$255.32	122363013	\$255.32	122372024	\$255.32
122351049	\$255.32	122363014	\$255.32	122372025	\$255.32
122351050	\$255.32	122363015	\$255.32	122372026	\$255.32
122352001	\$255.32	122363016	\$255.32	122372027	\$255.32
122352002	\$255.32	122363017	\$255.32	122372028	\$255.32
122352003	\$255.32	122363018	\$255.32	122372029	\$255.32
122352004	\$255.32	122371001	\$255.32	122372030	\$255.32
122352005	\$255.32	122371002	\$255.32	122372031	\$255.32
122352006	\$255.32	122371003	\$255.32	122372032	\$255.32
122352015	\$255.32	122371004	\$255.32	122372033	\$255.32
122352016	\$255.32	122371005	\$255.32	122372034	\$255.32
122352017	\$255.32	122371006	\$255.32	122372035	\$255.32
122352018	\$255.32	122371007	\$255.32	122372036	\$255.32
122352019	\$255.32	122371008	\$255.32	122373001	\$255.32
122352020	\$255.32	122371009	\$255.32	122373002	\$255.32
122352021	\$255.32	122371012	\$255.32	122373003	\$255.32
122352022	\$255.32	122371013	\$255.32	122373004	\$255.32
122361001	\$255.32	122371014	\$255.32	122373005	\$255.32
122361002	\$255.32	122371015	\$255.32	122373006	\$255.32
122361008	\$255.32	122371016	\$255.32	122373007	\$255.32
122361009	\$255.32	122371017	\$255.32	122373008	\$255.32
122361010	\$255.32	122371018	\$255.32	122373009	\$255.32
122361011	\$255.32	122371019	\$255.32	122373010	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122381001	\$255.32	122382035	\$255.32	122410002	\$255.32
122381004	\$255.32	122382036	\$255.32	122410003	\$255.32
122381005	\$255.32	122383001	\$255.32	122410004	\$255.32
122381006	\$255.32	122383002	\$255.32	122410007	\$9,255.88
122381007	\$255.32	122383003	\$255.32	122411001	\$153.20
122381008	\$255.32	122383004	\$255.32	122411002	\$153.20
122381009	\$255.32	122383005	\$255.32	122411003	\$153.20
122381010	\$255.32	122391001	\$255.32	122411004	\$153.20
122381011	\$255.32	122391002	\$255.32	122411005	\$153.20
122382001	\$255.32	122391003	\$255.32	122411006	\$153.20
122382002	\$255.32	122391004	\$255.32	122411007	\$153.20
122382003	\$255.32	122392001	\$255.32	122411008	\$153.20
122382004	\$255.32	122392002	\$255.32	122411009	\$153.20
122382005	\$255.32	122392003	\$255.32	122411010	\$153.20
122382006	\$255.32	122392004	\$255.32	122411011	\$153.20
122382007	\$255.32	122392005	\$255.32	122411012	\$153.20
122382008	\$255.32	122392006	\$255.32	122411013	\$153.20
122382009	\$255.32	122392007	\$255.32	122411014	\$153.20
122382010	\$255.32	122392008	\$255.32	122411015	\$153.20
122382011	\$255.32	122392009	\$255.32	122411016	\$153.20
122382012	\$255.32	122392010	\$255.32	122411017	\$153.20
122382013	\$255.32	122392011	\$255.32	122411018	\$153.20
122382014	\$255.32	122392012	\$255.32	122411019	\$153.20
122382015	\$255.32	122393001	\$255.32	122411020	\$153.20
122382016	\$255.32	122393002	\$255.32	122411021	\$153.20
122382017	\$255.32	122393003	\$255.32	122411022	\$153.20
122382018	\$255.32	122393004	\$255.32	122411023	\$153.20
122382019	\$255.32	122393005	\$255.32	122411024	\$153.20
122382020	\$255.32	122393006	\$255.32	122411025	\$153.20
122382021	\$255.32	122393007	\$255.32	122411026	\$153.20
122382022	\$255.32	122393008	\$255.32	122411027	\$153.20
122382023	\$255.32	122393009	\$255.32	122411028	\$153.20
122382024	\$255.32	122393010	\$255.32	122411029	\$153.20
122382025	\$255.32	122393011	\$255.32	122411030	\$153.20
122382026	\$255.32	122393012	\$255.32	122411032	\$153.20
122382027	\$255.32	122393013	\$255.32	122411033	\$153.20
122382028	\$255.32	122393014	\$255.32	122411034	\$153.20
122382029	\$255.32	122393015	\$255.32	122411035	\$153.20
122382030	\$255.32	122393016	\$255.32	122411036	\$153.20
122382031	\$255.32	122393017	\$255.32	122411037	\$153.20
122382032	\$255.32	122393018	\$255.32	122411038	\$153.20
122382033	\$255.32	122393019	\$255.32	122411039	\$153.20
122382034	\$255.32	122393020	\$255.32	122411040	\$153.20



## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122411041	\$153.20	122412020	\$153.20	122412063	\$153.20
122411042	\$153.20	122412021	\$153.20	122412064	\$153.20
122411043	\$153.20	122412022	\$153.20	122412065	\$153.20
122411044	\$153.20	122412023	\$153.20	122412066	\$153.20
122411045	\$153.20	122412024	\$153.20	122412067	\$153.20
122411046	\$153.20	122412025	\$153.20	122412068	\$153.20
122411047	\$153.20	122412026	\$153.20	122412069	\$153.20
122411048	\$153.20	122412027	\$153.20	122412070	\$153.20
122411049	\$153.20	122412028	\$153.20	122412071	\$153.20
122411050	\$153.20	122412029	\$153.20	122412072	\$153.20
122411051	\$153.20	122412030	\$153.20	122413001	\$153.20
122411052	\$153.20	122412031	\$153.20	122413002	\$153.20
122411053	\$153.20	122412032	\$153.20	122413003	\$153.20
122411054	\$153.20	122412033	\$153.20	122413004	\$153.20
122411055	\$153.20	122412034	\$153.20	122413005	\$153.20
122411056	\$153.20	122412035	\$153.20	122413006	\$153.20
122411057	\$153.20	122412036	\$153.20	122413007	\$153.20
122411058	\$153.20	122412037	\$153.20	122413008	\$153.20
122411059	\$153.20	122412038	\$153.20	122413009	\$153.20
122411060	\$153.20	122412039	\$153.20	122413010	\$153.20
122411061	\$153.20	122412040	\$153.20	122413011	\$153.20
122411062	\$153.20	122412041	\$153.20	122413012	\$153.20
122411063	\$153.20	122412042	\$153.20	122413013	\$153.20
122411064	\$153.20	122412043	\$153.20	122413014	\$153.20
122412001	\$153.20	122412044	\$153.20	122413015	\$153.20
122412002	\$153.20	122412045	\$153.20	122413016	\$153.20
122412003	\$153.20	122412046	\$153.20	122413017	\$153.20
122412004	\$153.20	122412047	\$153.20	122413018	\$153.20
122412005	\$153.20	122412048	\$153.20	122413019	\$153.20
122412006	\$153.20	122412049	\$153.20	122413020	\$153.20
122412007	\$153.20	122412050	\$153.20	122413021	\$153.20
122412008	\$153.20	122412051	\$153.20	122413022	\$153.20
122412009	\$153.20	122412052	\$153.20	122413023	\$153.20
122412010	\$153.20	122412053	\$153.20	122413024	\$153.20
122412011	\$153.20	122412054	\$153.20	122413025	\$153.20
122412012	\$153.20	122412055	\$153.20	122413026	\$153.20
122412013	\$153.20	122412056	\$153.20	122413027	\$153.20
122412014	\$153.20	122412057	\$153.20	122413028	\$153.20
122412015	\$153.20	122412058	\$153.20	122413029	\$153.20
122412016	\$153.20	122412059	\$153.20	122413030	\$153.20
122412017	\$153.20	122412060	\$153.20	122413031	\$153.20
122412018	\$153.20	122412061	\$153.20	122413032	\$153.20
122412019	\$153.20	122412062	\$153.20	122413033	\$153.20



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122413034	\$153.20	122414005	\$153.20	122414048	\$153.20
122413035	\$153.20	122414006	\$153.20	122414049	\$153.20
122413036	\$153.20	122414007	\$153.20	122414050	\$153.20
122413037	\$153.20	122414008	\$153.20	122414051	\$153.20
122413038	\$153.20	122414009	\$153.20	122414052	\$153.20
122413039	\$153.20	122414010	\$153.20	122414053	\$153.20
122413040	\$153.20	122414011	\$153.20	122414054	\$153.20
122413041	\$153.20	122414012	\$153.20	122414055	\$153.20
122413042	\$153.20	122414013	\$153.20	122414056	\$153.20
122413043	\$153.20	122414014	\$153.20	122414057	\$153.20
122413044	\$153.20	122414015	\$153.20	122414058	\$153.20
122413045	\$153.20	122414016	\$153.20	122414059	\$153.20
122413046	\$153.20	122414017	\$153.20	122414060	\$153.20
122413047	\$153.20	122414018	\$153.20	122414061	\$153.20
122413048	\$153.20	122414019	\$153.20	122414062	\$153.20
122413049	\$153.20	122414020	\$153.20	122414063	\$153.20
122413050	\$153.20	122414021	\$153.20	122414064	\$153.20
122413051	\$153.20	122414022	\$153.20	122414065	\$153.20
122413052	\$153.20	122414023	\$153.20	122414066	\$153.20
122413053	\$153.20	122414024	\$153.20	122414067	\$153.20
122413054	\$153.20	122414025	\$153.20	122414068	\$153.20
122413055	\$153.20	122414026	\$153.20	122414069	\$153.20
122413056	\$153.20	122414027	\$153.20	122414070	\$153.20
122413057	\$153.20	122414028	\$153.20	122414071	\$153.20
122413058	\$153.20	122414029	\$153.20	122414072	\$153.20
122413059	\$153.20	122414030	\$153.20	122415001	\$153.20
122413060	\$153.20	122414031	\$153.20	122415002	\$153.20
122413061	\$153.20	122414032	\$153.20	122415003	\$153.20
122413062	\$153.20	122414033	\$153.20	122415004	\$153.20
122413063	\$153.20	122414034	\$153.20	122415005	\$153.20
122413064	\$153.20	122414035	\$153.20	122415006	\$153.20
122413065	\$153.20	122414036	\$153.20	122415007	\$153.20
122413066	\$153.20	122414037	\$153.20	122415008	\$153.20
122413067	\$153.20	122414038	\$153.20	122415009	\$153.20
122413068	\$153.20	122414039	\$153.20	122415010	\$153.20
122413069	\$153.20	122414040	\$153.20	122415011	\$153.20
122413070	\$153.20	122414041	\$153.20	122415012	\$153.20
122413071	\$153.20	122414042	\$153.20	122415013	\$153.20
122413072	\$153.20	122414043	\$153.20	122415014	\$153.20
122414001	\$153.20	122414044	\$153.20	122415015	\$153.20
122414002	\$153.20	122414045	\$153.20	122415016	\$153.20
122414003	\$153.20	122414046	\$153.20	122415017	\$153.20
122414004	\$153.20	122414047	\$153.20	122415018	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122415019	\$153.20	122415062	\$153.20	122415105	\$153.20
122415020	\$153.20	122415063	\$153.20	122415106	\$153.20
122415021	\$153.20	122415064	\$153.20	122415107	\$153.20
122415022	\$153.20	122415065	\$153.20	122415108	\$153.20
122415023	\$153.20	122415066	\$153.20	122415109	\$153.20
122415024	\$153.20	122415067	\$153.20	122415110	\$153.20
122415025	\$153.20	122415068	\$153.20	122415111	\$153.20
122415026	\$153.20	122415069	\$153.20	122415112	\$153.20
122415027	\$153.20	122415070	\$153.20	122421001	\$255.32
122415028	\$153.20	122415071	\$153.20	122421002	\$255.32
122415029	\$153.20	122415072	\$153.20	122421003	\$255.32
122415030	\$153.20	122415073	\$153.20	122421004	\$255.32
122415031	\$153.20	122415074	\$153.20	122421005	\$255.32
122415032	\$153.20	122415075	\$153.20	122421006	\$255.32
122415033	\$153.20	122415076	\$153.20	122421007	\$255.32
122415034	\$153.20	122415077	\$153.20	122421008	\$255.32
122415035	\$153.20	122415078	\$153.20	122421009	\$255.32
122415036	\$153.20	122415079	\$153.20	122421010	\$255.32
122415037	\$153.20	122415080	\$153.20	122421011	\$255.32
122415038	\$153.20	122415081	\$153.20	122421012	\$255.32
122415039	\$153.20	122415082	\$153.20	122421013	\$255.32
122415040	\$153.20	122415083	\$153.20	122421017	\$255.32
122415041	\$153.20	122415084	\$153.20	122421018	\$255.32
122415042	\$153.20	122415085	\$153.20	122421019	\$255.32
122415043	\$153.20	122415086	\$153.20	122421020	\$255.32
122415044	\$153.20	122415087	\$153.20	122421021	\$255.32
122415045	\$153.20	122415088	\$153.20	122421022	\$255.32
122415046	\$153.20	122415089	\$153.20	122421023	\$255.32
122415047	\$153.20	122415090	\$153.20	122421024	\$255.32
122415048	\$153.20	122415091	\$153.20	122421025	\$255.32
122415049	\$153.20	122415092	\$153.20	122421026	\$255.32
122415050	\$153.20	122415093	\$153.20	122421027	\$255.32
122415051	\$153.20	122415094	\$153.20	122421028	\$255.32
122415052	\$153.20	122415095	\$153.20	122421029	\$255.32
122415053	\$153.20	122415096	\$153.20	122421030	\$255.32
122415054	\$153.20	122415097	\$153.20	122421031	\$255.32
122415055	\$153.20	122415098	\$153.20	122421032	\$255.32
122415056	\$153.20	122415099	\$153.20	122421033	\$255.32
122415057	\$153.20	122415100	\$153.20	122421034	\$255.32
122415058	\$153.20	122415101	\$153.20	122421035	\$255.32
122415059	\$153.20	122415102	\$153.20	122421036	\$255.32
122415060	\$153.20	122415103	\$153.20	122421037	\$255.32
122415061	\$153.20	122415104	\$153.20	122421038	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122421040	\$255.32	122422024	\$255.32	122432003	\$255.32
122421041	\$255.32	122422025	\$255.32	122432004	\$255.32
122421042	\$255.32	122422026	\$255.32	122432005	\$255.32
122421043	\$255.32	122422027	\$255.32	122432006	\$255.32
122421044	\$255.32	122431001	\$255.32	122432007	\$255.32
122421045	\$255.32	122431002	\$255.32	122432008	\$255.32
122421046	\$255.32	122431003	\$255.32	122432009	\$255.32
122421047	\$255.32	122431004	\$255.32	122433001	\$255.32
122421048	\$255.32	122431005	\$255.32	122433002	\$255.32
122421049	\$255.32	122431006	\$255.32	122433003	\$255.32
122421050	\$255.32	122431007	\$255.32	122433004	\$255.32
122421051	\$255.32	122431008	\$255.32	122433005	\$255.32
122421052	\$255.32	122431009	\$255.32	122433006	\$255.32
122421053	\$255.32	122431010	\$255.32	122433007	\$255.32
122421054	\$255.32	122431011	\$255.32	122433008	\$255.32
122421055	\$255.32	122431012	\$255.32	122433009	\$255.32
122421056	\$255.32	122431013	\$255.32	122433010	\$255.32
122421057	\$255.32	122431014	\$255.32	122433011	\$255.32
122421058	\$255.32	122431015	\$255.32	122433012	\$255.32
122421059	\$255.32	122431016	\$255.32	122433013	\$255.32
122422001	\$255.32	122431017	\$255.32	122433014	\$255.32
122422002	\$255.32	122431018	\$255.32	122433015	\$255.32
122422003	\$255.32	122431019	\$255.32	122433016	\$255.32
122422004	\$255.32	122431020	\$255.32	122433017	\$255.32
122422005	\$255.32	122431021	\$255.32	122433018	\$255.32
122422006	\$255.32	122431022	\$255.32	122433019	\$255.32
122422007	\$255.32	122431023	\$255.32	122433020	\$255.32
122422008	\$255.32	122431024	\$255.32	122433021	\$255.32
122422009	\$255.32	122431025	\$255.32	122441001	\$255.32
122422010	\$255.32	122431026	\$255.32	122441002	\$255.32
122422011	\$255.32	122431027	\$255.32	122441003	\$255.32
122422012	\$255.32	122431028	\$255.32	122441004	\$255.32
122422013	\$255.32	122431029	\$255.32	122441005	\$255.32
122422014	\$255.32	122431030	\$255.32	122441006	\$255.32
122422015	\$255.32	122431031	\$255.32	122441007	\$255.32
122422016	\$255.32	122431032	\$255.32	122441008	\$255.32
122422017	\$255.32	122431033	\$255.32	122441009	\$255.32
122422018	\$255.32	122431034	\$255.32	122441010	\$255.32
122422019	\$255.32	122431035	\$255.32	122441011	\$255.32
122422020	\$255.32	122431036	\$255.32	122441012	\$255.32
122422021	\$255.32	122431037	\$255.32	122441013	\$255.32
122422022	\$255.32	122432001	\$255.32	122441014	\$255.32
122422023	\$255.32	122432002	\$255.32	122441015	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122441016	\$255.32	122441061	\$255.32	122462007	\$255.32
122441017	\$255.32	122441062	\$255.32	122462008	\$255.32
122441018	\$255.32	122441063	\$255.32	122462009	\$255.32
122441019	\$255.32	122441064	\$255.32	122462010	\$255.32
122441020	\$255.32	122441065	\$255.32	122462011	\$255.32
122441021	\$255.32	122441066	\$255.32	122462012	\$255.32
122441023	\$255.32	122441067	\$255.32	122462013	\$255.32
122441024	\$255.32	122441068	\$255.32	122462014	\$255.32
122441025	\$255.32	122441069	\$255.32	122462015	\$255.32
122441026	\$255.32	122441070	\$255.32	122462016	\$255.32
122441027	\$255.32	122441071	\$255.32	122471001	\$255.32
122441028	\$255.32	122441072	\$255.32	122471002	\$255.32
122441029	\$255.32	122441073	\$255.32	122471003	\$255.32
122441030	\$255.32	122441074	\$255.32	122471004	\$255.32
122441031	\$255.32	122441075	\$255.32	122471005	\$255.32
122441032	\$255.32	122441076	\$255.32	122471006	\$255.32
122441033	\$255.32	122451001	\$255.32	122471007	\$255.32
122441034	\$255.32	122451002	\$255.32	122471008	\$255.32
122441035	\$255.32	122451003	\$255.32	122471009	\$255.32
122441036	\$255.32	122451004	\$255.32	122471010	\$255.32
122441037	\$255.32	122451005	\$255.32	122471011	\$255.32
122441038	\$255.32	122451006	\$255.32	122471012	\$255.32
122441039	\$255.32	122451007	\$255.32	122472001	\$255.32
122441040	\$255.32	122451008	\$255.32	122472002	\$255.32
122441041	\$255.32	122451009	\$255.32	122472003	\$255.32
122441042	\$255.32	122451010	\$255.32	122472004	\$255.32
122441043	\$255.32	122451011	\$255.32	122472005	\$255.32
122441044	\$255.32	122451012	\$255.32	122472006	\$255.32
122441045	\$255.32	122451013	\$255.32	122472007	\$255.32
122441046	\$255.32	122451014	\$255.32	122472008	\$255.32
122441047	\$255.32	122451015	\$255.32	122472009	\$255.32
122441048	\$255.32	122452001	\$255.32	122472010	\$255.32
122441049	\$255.32	122452002	\$255.32	122472011	\$255.32
122441050	\$255.32	122452003	\$255.32	122472012	\$255.32
122441052	\$255.32	122452004	\$255.32	122472013	\$255.32
122441053	\$255.32	122461001	\$255.32	122472014	\$255.32
122441054	\$255.32	122461002	\$255.32	122472015	\$255.32
122441055	\$255.32	122462001	\$255.32	122472016	\$255.32
122441056	\$255.32	122462002	\$255.32	122472017	\$255.32
122441057	\$255.32	122462003	\$255.32	122472018	\$255.32
122441058	\$255.32	122462004	\$255.32	122472019	\$255.32
122441059	\$255.32	122462005	\$255.32	122481001	\$255.32
122441060	\$255.32	122462006	\$255.32	122481002	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122481003	\$255.32	122500006	\$255.32	122521006	\$255.32
122481004	\$255.32	122500007	\$255.32	122521007	\$255.32
122481005	\$255.32	122500008	\$255.32	122521008	\$255.32
122481006	\$255.32	122500009	\$255.32	122521009	\$255.32
122481007	\$255.32	122500010	\$255.32	122521010	\$255.32
122481008	\$255.32	122500011	\$255.32	122521011	\$255.32
122481009	\$255.32	122500012	\$255.32	122521012	\$255.32
122482001	\$255.32	122511001	\$255.32	122521013	\$255.32
122482002	\$255.32	122511002	\$255.32	122521014	\$255.32
122482003	\$255.32	122511003	\$255.32	122521015	\$255.32
122482004	\$255.32	122511004	\$255.32	122521016	\$255.32
122483001	\$255.32	122511005	\$255.32	122521017	\$255.32
122483002	\$255.32	122511006	\$255.32	122521018	\$255.32
122483003	\$255.32	122511007	\$255.32	122521019	\$255.32
122483004	\$255.32	122511008	\$255.32	122521020	\$255.32
122483005	\$255.32	122511009	\$255.32	122522001	\$255.32
122483006	\$255.32	122511010	\$255.32	122522002	\$255.32
122483007	\$255.32	122511011	\$255.32	122522003	\$255.32
122483008	\$255.32	122511012	\$255.32	122522004	\$255.32
122483009	\$255.32	122511013	\$255.32	122522005	\$255.32
122483010	\$255.32	122511014	\$255.32	122522006	\$255.32
122491001	\$255.32	122511015	\$255.32	122522007	\$255.32
122491002	\$255.32	122511016	\$255.32	122531001	\$255.32
122491003	\$255.32	122511017	\$255.32	122531002	\$255.32
122491004	\$255.32	122511018	\$255.32	122531003	\$255.32
122491005	\$255.32	122511019	\$255.32	122531004	\$255.32
122491006	\$255.32	122511020	\$255.32	122531005	\$255.32
122491007	\$255.32	122511021	\$255.32	122531006	\$255.32
122491008	\$255.32	122511022	\$255.32	122531007	\$255.32
122491009	\$255.32	122511023	\$255.32	122531008	\$255.32
122491010	\$255.32	122511024	\$255.32	122531009	\$255.32
122492001	\$255.32	122512001	\$255.32	122531010	\$255.32
122492002	\$255.32	122512002	\$255.32	122531011	\$255.32
122492003	\$255.32	122512003	\$255.32	122531012	\$255.32
122492004	\$255.32	122512004	\$255.32	122531013	\$255.32
122492005	\$255.32	122512005	\$255.32	122531014	\$255.32
122492006	\$255.32	122512006	\$255.32	122531015	\$255.32
122492007	\$255.32	122512007	\$255.32	122531016	\$255.32
122500001	\$255.32	122521001	\$255.32	122531017	\$255.32
122500002	\$255.32	122521002	\$255.32	122531018	\$255.32
122500003	\$255.32	122521003	\$255.32	122531020	\$255.32
122500004	\$255.32	122521004	\$255.32	122531021	\$255.32
122500005	\$255.32	122521005	\$255.32	122531022	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122531023	\$255.32	122541006	\$255.32	122551004	\$255.32
122531024	\$255.32	122541007	\$255.32	122551005	\$255.32
122531025	\$255.32	122541008	\$255.32	122551006	\$255.32
122531026	\$255.32	122541009	\$255.32	122551007	\$255.32
122531027	\$255.32	122541010	\$255.32	122551008	\$255.32
122531028	\$255.32	122541011	\$255.32	122551009	\$255.32
122531029	\$255.32	122541012	\$255.32	122551011	\$255.32
122531030	\$255.32	122541013	\$255.32	122551012	\$255.32
122531031	\$255.32	122541014	\$255.32	122551013	\$255.32
122531032	\$255.32	122541015	\$255.32	122551015	\$255.32
122531033	\$255.32	122541016	\$255.32	122551016	\$255.32
122531034	\$255.32	122541017	\$255.32	122551017	\$255.32
122532001	\$255.32	122541019	\$255.32	122551018	\$255.32
122532002	\$255.32	122541020	\$255.32	122551019	\$255.32
122532003	\$255.32	122541021	\$255.32	122551020	\$255.32
122532004	\$255.32	122541022	\$255.32	122551021	\$255.32
122532005	\$255.32	122541023	\$255.32	122551022	\$255.32
122532006	\$255.32	122541024	\$255.32	122551024	\$255.32
122532007	\$255.32	122541025	\$255.32	122551025	\$255.32
122532008	\$255.32	122541026	\$255.32	122551026	\$255.32
122532009	\$255.32	122541027	\$255.32	122551028	\$255.32
122532010	\$255.32	122541028	\$255.32	122551029	\$255.32
122532011	\$255.32	122541029	\$255.32	122551030	\$255.32
122532012	\$255.32	122541031	\$255.32	122551031	\$255.32
122532013	\$255.32	122541032	\$255.32	122551032	\$255.32
122532015	\$255.32	122541033	\$255.32	122551033	\$255.32
122532016	\$255.32	122541034	\$255.32	122551034	\$255.32
122532017	\$255.32	122541035	\$255.32	122551035	\$255.32
122532018	\$255.32	122541036	\$255.32	122551036	\$255.32
122532019	\$255.32	122541037	\$255.32	122551038	\$255.32
122532020	\$255.32	122541038	\$255.32	122551039	\$255.32
122532021	\$255.32	122541039	\$255.32	122551040	\$255.32
122532022	\$255.32	122541040	\$255.32	122551041	\$255.32
122532023	\$255.32	122541041	\$255.32	122551042	\$255.32
122532024	\$255.32	122541042	\$255.32	122551043	\$255.32
122532025	\$255.32	122541043	\$255.32	122551044	\$255.32
122532026	\$255.32	122541044	\$255.32	122551045	\$255.32
122532027	\$255.32	122541045	\$255.32	122551046	\$255.32
122541001	\$255.32	122541046	\$255.32	122551047	\$255.32
122541002	\$255.32	122541047	\$255.32	122551049	\$255.32
122541003	\$255.32	122551001	\$255.32	122551050	\$255.32
122541004	\$255.32	122551002	\$255.32	122551052	\$255.32
122541005	\$255.32	122551003	\$255.32	122551053	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122551054	\$255.32	122552019	\$255.32	122562014	\$255.32
122551055	\$255.32	122552020	\$255.32	122562015	\$255.32
122551056	\$255.32	122552021	\$255.32	122562016	\$255.32
122551057	\$255.32	122552022	\$255.32	122562017	\$255.32
122551059	\$255.32	122552023	\$255.32	122562018	\$255.32
122551060	\$255.32	122552024	\$255.32	122562019	\$255.32
122551061	\$255.32	122552025	\$255.32	122562021	\$255.32
122551062	\$255.32	122552026	\$255.32	122562022	\$255.32
122551063	\$255.32	122552027	\$255.32	122562023	\$255.32
122551064	\$255.32	122561002	\$255.32	122562024	\$255.32
122551066	\$255.32	122561003	\$255.32	122562025	\$255.32
122551067	\$255.32	122561004	\$255.32	122562026	\$255.32
122551068	\$255.32	122561006	\$255.32	122562027	\$255.32
122551069	\$255.32	122561007	\$255.32	122562028	\$255.32
122551070	\$255.32	122561008	\$255.32	122562029	\$255.32
122551071	\$255.32	122561009	\$255.32	122562030	\$255.32
122551072	\$255.32	122561010	\$255.32	122562032	\$255.32
122551073	\$255.32	122561011	\$255.32	122562033	\$255.32
122551074	\$255.32	122561012	\$255.32	122562034	\$255.32
122551076	\$255.32	122561013	\$255.32	122562035	\$255.32
122551077	\$255.32	122561014	\$255.32	122562036	\$255.32
122551078	\$255.32	122561016	\$255.32	122562037	\$255.32
122551079	\$255.32	122561017	\$255.32	122562038	\$255.32
122551080	\$255.32	122561018	\$255.32	122562039	\$255.32
122551081	\$255.32	122561019	\$255.32	122562040	\$255.32
122551082	\$255.32	122561020	\$255.32	122562041	\$255.32
122552001	\$255.32	122561021	\$255.32	122562042	\$255.32
122552002	\$255.32	122561023	\$255.32	122670029	\$592.88
122552003	\$255.32	122561024	\$255.32	122670031	\$7,559.42
122552004	\$255.32	122561025	\$255.32	122670032	\$49.40
122552005	\$255.32	122561026	\$255.32	122670033	\$135.86
122552006	\$255.32	122562001	\$255.32	122670034	\$704.06
122552007	\$255.32	122562002	\$255.32	122670035	\$172.92
122552008	\$255.32	122562003	\$255.32	122670036	\$1,963.96
122552009	\$255.32	122562004	\$255.32	122670037	\$1,296.96
122552010	\$255.32	122562005	\$255.32	122670038	\$4,743.16
122552011	\$255.32	122562006	\$255.32	122670039	\$716.40
122552012	\$255.32	122562007	\$255.32	122670040	\$3,322.68
122552013	\$255.32	122562009	\$255.32	122670043	\$852.28
122552014	\$255.32	122562010	\$255.32	122670048	\$247.04
122552015	\$255.32	122562011	\$255.32	122670049	\$247.04
122552016	\$255.32	122562012	\$255.32	122670050	\$247.04
122552017	\$255.32	122562013	\$255.32	122680001	\$255.32



## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122680002	\$255.32	122680045	\$255.32	123340020	\$255.32
122680003	\$255.32	122680046	\$255.32	123340021	\$255.32
122680004	\$255.32	122680047	\$255.32	123340022	\$255.32
122680005	\$255.32	122680049	\$255.32	123340023	\$255.32
122680006	\$255.32	122680050	\$255.32	123340024	\$255.32
122680007	\$255.32	122680051	\$255.32	123340025	\$255.32
122680008	\$255.32	122680052	\$255.32	123340026	\$255.32
122680009	\$255.32	122680053	\$255.32	123340027	\$255.32
122680010	\$255.32	122680054	\$255.32	123340028	\$255.32
122680011	\$255.32	122680055	\$255.32	123340029	\$255.32
122680012	\$255.32	122680056	\$255.32	123340030	\$255.32
122680013	\$255.32	122680057	\$255.32	123340031	\$255.32
122680014	\$255.32	122680058	\$255.32	123340032	\$255.32
122680015	\$255.32	122680059	\$255.32	123340033	\$255.32
122680016	\$255.32	122680060	\$255.32	123340034	\$255.32
122680017	\$255.32	122680061	\$255.32	123340035	\$255.32
122680018	\$255.32	122680062	\$255.32	123340036	\$255.32
122680019	\$255.32	122680063	\$255.32	123361001	\$255.32
122680020	\$255.32	122680064	\$255.32	123361002	\$255.32
122680021	\$255.32	122680065	\$255.32	123361003	\$255.32
122680022	\$255.32	122680066	\$255.32	123361004	\$255.32
122680023	\$255.32	123330006	\$255.32	123361005	\$255.32
122680024	\$255.32	123330030	\$255.32	123361006	\$255.32
122680025	\$255.32	123330031	\$255.32	123361007	\$255.32
122680026	\$255.32	123340001	\$255.32	123361008	\$255.32
122680027	\$255.32	123340002	\$255.32	123361009	\$255.32
122680028	\$255.32	123340003	\$255.32	123361010	\$255.32
122680029	\$255.32	123340004	\$255.32	123361011	\$255.32
122680030	\$255.32	123340005	\$255.32	123361012	\$255.32
122680031	\$255.32	123340006	\$255.32	123361013	\$255.32
122680032	\$255.32	123340007	\$255.32	123361014	\$255.32
122680033	\$255.32	123340008	\$255.32	123361015	\$255.32
122680034	\$255.32	123340009	\$255.32	123361016	\$255.32
122680035	\$255.32	123340010	\$255.32	123361017	\$255.32
122680036	\$255.32	123340011	\$255.32	123361018	\$255.32
122680037	\$255.32	123340012	\$255.32	123361019	\$255.32
122680038	\$255.32	123340013	\$255.32	123361020	\$255.32
122680039	\$255.32	123340014	\$255.32	123361021	\$255.32
122680040	\$255.32	123340015	\$255.32	123361022	\$255.32
122680041	\$255.32	123340016	\$255.32	123361023	\$255.32
122680042	\$255.32	123340017	\$255.32	123361024	\$255.32
122680043	\$255.32	123340018	\$255.32	123361025	\$255.32
122680044	\$255.32	123340019	\$255.32	123361026	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123361027	\$255.32	123371002	\$255.32	123372018	\$255.32
123361028	\$255.32	123371003	\$255.32	123372019	\$255.32
123361029	\$255.32	123371004	\$255.32	123372020	\$255.32
123361030	\$255.32	123371005	\$255.32	123372021	\$255.32
123361031	\$255.32	123371006	\$255.32	123372022	\$255.32
123361032	\$255.32	123371007	\$255.32	123372023	\$255.32
123361033	\$255.32	123371008	\$255.32	123372024	\$255.32
123361034	\$255.32	123371009	\$255.32	123372025	\$255.32
123361035	\$255.32	123371010	\$255.32	123372026	\$255.32
123361036	\$255.32	123371011	\$255.32	123372027	\$255.32
123361037	\$255.32	123371012	\$255.32	123372028	\$255.32
123361038	\$255.32	123371013	\$255.32	123372029	\$255.32
123361039	\$255.32	123371014	\$255.32	123372030	\$255.32
123361040	\$255.32	123371015	\$255.32	123373001	\$255.32
123361041	\$255.32	123371016	\$255.32	123373002	\$255.32
123361042	\$255.32	123371017	\$255.32	123373003	\$255.32
123361043	\$255.32	123371018	\$255.32	123373004	\$255.32
123361044	\$255.32	123371019	\$255.32	123373005	\$255.32
123361045	\$255.32	123371020	\$255.32	123373006	\$255.32
123361046	\$255.32	123371021	\$255.32	123373007	\$255.32
123362001	\$255.32	123371022	\$255.32	123373008	\$255.32
123362002	\$255.32	123371023	\$255.32	123373009	\$255.32
123362003	\$255.32	123371024	\$255.32	123373010	\$255.32
123362004	\$255.32	123371025	\$255.32	123373011	\$255.32
123362005	\$255.32	123371026	\$255.32	123374001	\$255.32
123362006	\$255.32	123371027	\$255.32	123374002	\$255.32
123362007	\$255.32	123372001	\$255.32	123374003	\$255.32
123362008	\$255.32	123372002	\$255.32	123374004	\$255.32
123362009	\$255.32	123372003	\$255.32	123374005	\$255.32
123362010	\$255.32	123372004	\$255.32	123374006	\$255.32
123362011	\$255.32	123372005	\$255.32	123374007	\$255.32
123362012	\$255.32	123372006	\$255.32	123374008	\$255.32
123362013	\$255.32	123372007	\$255.32	123374009	\$255.32
123362014	\$255.32	123372008	\$255.32	123374010	\$255.32
123362015	\$255.32	123372009	\$255.32	123374011	\$255.32
123362016	\$255.32	123372010	\$255.32	123374012	\$255.32
123362017	\$255.32	123372011	\$255.32	123374013	\$255.32
123362018	\$255.32	123372012	\$255.32	123374014	\$255.32
123362019	\$255.32	123372013	\$255.32	123374015	\$255.32
123362020	\$255.32	123372014	\$255.32	123374016	\$255.32
123362021	\$255.32	123372015	\$255.32	123374017	\$255.32
123362022	\$255.32	123372016	\$255.32	123374018	\$255.32
123371001	\$255.32	123372017	\$255.32	123381001	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123381002	\$255.32	168330003	\$255.32	172080022	\$255.32
123381003	\$255.32	168330004	\$255.32	172080023	\$255.32
123381004	\$255.32	168330006	\$255.32	172080024	\$255.32
123381005	\$255.32	168330007	\$255.32	172080025	\$255.32
123381006	\$255.32	168330008	\$255.32	172080026	\$255.32
123381007	\$255.32	168330009	\$255.32	172080027	\$255.32
123381008	\$255.32	168330013	\$510.66	172080028	\$255.32
123381009	\$255.32	172060002	\$255.32	172080029	\$255.32
123382001	\$255.32	172060003	\$255.32	172080030	\$255.32
123382002	\$255.32	172060004	\$255.32	172080031	\$255.32
123382003	\$255.32	172061001	\$255.32	172080032	\$255.32
123382004	\$255.32	172061002	\$255.32	172080033	\$255.32
123382007	\$255.32	172061003	\$255.32	172080034	\$255.32
123382008	\$255.32	172061004	\$255.32	172081001	\$255.32
123382009	\$255.32	172061005	\$255.32	172081002	\$255.32
123382010	\$255.32	172061006	\$255.32	172081003	\$255.32
123382011	\$255.32	172061007	\$255.32	172081004	\$255.32
123382012	\$255.32	172061008	\$255.32	172081005	\$255.32
123382013	\$255.32	172061009	\$255.32	172081006	\$255.32
123382014	\$255.32	172061010	\$255.32	172081007	\$255.32
123382015	\$255.32	172061011	\$255.32	172081008	\$255.32
123382016	\$255.32	172061012	\$255.32	172081009	\$255.32
123382017	\$255.32	172080001	\$255.32	172081010	\$255.32
123382018	\$255.32	172080002	\$255.32	172081011	\$255.32
123382019	\$255.32	172080003	\$255.32	172081012	\$255.32
123382020	\$255.32	172080004	\$255.32	172081013	\$255.32
123382021	\$255.32	172080005	\$255.32	172081014	\$255.32
123382022	\$255.32	172080006	\$255.32	172081015	\$255.32
123382023	\$255.32	172080007	\$255.32	172081016	\$255.32
123382024	\$255.32	172080008	\$255.32	172081017	\$255.32
123382025	\$255.32	172080009	\$255.32	172081018	\$255.32
123382026	\$255.32	172080010	\$255.32	172081019	\$255.32
123382027	\$255.32	172080011	\$255.32	172082001	\$255.32
123382028	\$255.32	172080012	\$255.32	172082002	\$255.32
123382029	\$255.32	172080013	\$255.32	172082003	\$255.32
123382030	\$255.32	172080014	\$255.32	172082004	\$255.32
123382031	\$255.32	172080015	\$255.32	172082005	\$255.32
123382032	\$255.32	172080016	\$255.32	172082006	\$255.32
123382033	\$255.32	172080017	\$255.32	172082007	\$255.32
123382034	\$255.32	172080018	\$255.32	172082008	\$255.32
123382035	\$255.32	172080019	\$255.32	172440001	\$255.32
123382036	\$255.32	172080020	\$255.32	172440002	\$255.32
123382038	\$255.32	172080021	\$255.32	172440003	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172440004	\$255.32	172440012	\$255.32	172440020	\$255.32
172440005	\$255.32	172440013	\$255.32	172440021	\$255.32
172440006	\$255.32	172440014	\$255.32	172440022	\$255.32
172440007	\$255.32	172440015	\$255.32	172440023	\$255.32
172440008	\$255.32	172440016	\$255.32	172440024	\$255.32
172440009	\$255.32	172440017	\$255.32	172440025	\$255.32
172440010	\$255.32	172440018	\$255.32		
172440011	\$255.32	172440019	\$255.32		
<b>Totals</b>		<b>Parcels 2,344</b>		<b>Levy \$587,878.00</b>	

## Assessment Roll

68-2295 - LMD 84-2 Zone 15

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102400004	\$992.22	102400038	\$575.20	102400088	\$287.60
102400006	\$841.22	102400039	\$934.70	102400089	\$3,821.48
102400023	\$816.06	102400040	\$719.00	102400092	\$704.62
102400026	\$75.48	102400078	\$560.82	102400094	\$665.06
102400029	\$359.50	102400080	\$704.62	102410005	\$801.68
102400030	\$445.78	102400081	\$2,671.08	102410007	\$1,757.94
102400031	\$463.74	102400082	\$956.26	102410010	\$395.44
102400032	\$391.84	102400083	\$546.44	102410011	\$452.96
102400033	\$639.90	102400084	\$1,269.02	102410012	\$1,344.52
102400034	\$571.60	102400086	\$1,998.82		
102400037	\$503.30	102400087	\$287.60		
<b>Totals</b>		<b>Parcels 31</b>		<b>Levy</b>	<b>\$27,555.50</b>

# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121431008	\$110.00	121441011	\$110.00	121461019	\$110.00
121431009	\$110.00	121441012	\$110.00	121461020	\$110.00
121431010	\$110.00	121442004	\$110.00	121461021	\$110.00
121431011	\$110.00	121442005	\$110.00	121461022	\$110.00
121431012	\$110.00	121442006	\$110.00	121461023	\$110.00
121431013	\$110.00	121442007	\$110.00	121461024	\$110.00
121431014	\$110.00	121442008	\$110.00	121461025	\$110.00
121431015	\$110.00	121443001	\$110.00	121461026	\$110.00
121431016	\$110.00	121443002	\$110.00	121461027	\$110.00
121431017	\$110.00	121443003	\$110.00	121461028	\$110.00
121431018	\$110.00	121443004	\$110.00	121461029	\$110.00
121431019	\$110.00	121443005	\$110.00	121461030	\$110.00
121432001	\$110.00	121443006	\$110.00	121461031	\$110.00
121432002	\$110.00	121443012	\$110.00	121462001	\$110.00
121432003	\$110.00	121443013	\$110.00	121462002	\$110.00
121432004	\$110.00	121443014	\$110.00	121462003	\$110.00
121432005	\$110.00	121443015	\$110.00	121462004	\$110.00
121432006	\$110.00	121443016	\$110.00	121462005	\$110.00
121432015	\$110.00	121443017	\$110.00	121462006	\$110.00
121432016	\$110.00	121443018	\$110.00	121462007	\$110.00
121432017	\$110.00	121443019	\$110.00	121462008	\$110.00
121432018	\$110.00	121443020	\$110.00	121462009	\$110.00
121432019	\$110.00	121443021	\$110.00	121462010	\$110.00
121432020	\$110.00	121443022	\$110.00	121462011	\$110.00
121432021	\$110.00	121443023	\$110.00	121462012	\$110.00
121432022	\$110.00	121461001	\$110.00	121462013	\$110.00
121433009	\$110.00	121461002	\$110.00	121462014	\$110.00
121433010	\$110.00	121461003	\$110.00	121462015	\$110.00
121433011	\$110.00	121461004	\$110.00	121462016	\$110.00
121433012	\$110.00	121461005	\$110.00	121463001	\$110.00
121433013	\$110.00	121461006	\$110.00	121463002	\$110.00
121433014	\$110.00	121461007	\$110.00	121463003	\$110.00
121433015	\$110.00	121461008	\$110.00	121463004	\$110.00
121433016	\$110.00	121461009	\$110.00	121463005	\$110.00
121433017	\$110.00	121461010	\$110.00	121463006	\$110.00
121441001	\$110.00	121461011	\$110.00	121463007	\$110.00
121441002	\$110.00	121461012	\$110.00	121463008	\$110.00
121441003	\$110.00	121461013	\$110.00	121463009	\$110.00
121441004	\$110.00	121461014	\$110.00	121463010	\$110.00
121441007	\$110.00	121461015	\$110.00	121463011	\$110.00
121441008	\$110.00	121461016	\$110.00	121464003	\$110.00
121441009	\$110.00	121461017	\$110.00	121464004	\$110.00
121441010	\$110.00	121461018	\$110.00	121464005	\$110.00

# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121464006	\$110.00	121472007	\$110.00	121481012	\$110.00
121464007	\$110.00	121472008	\$110.00	121481013	\$110.00
121464008	\$110.00	121472009	\$110.00	121481014	\$110.00
121464009	\$110.00	121472010	\$110.00	121482001	\$110.00
121464010	\$110.00	121472011	\$110.00	121482002	\$110.00
121464011	\$110.00	121472012	\$110.00	121482003	\$110.00
121464012	\$110.00	121472013	\$110.00	121482004	\$110.00
121464013	\$110.00	121472014	\$110.00	121482008	\$110.00
121464014	\$110.00	121472015	\$110.00	121482009	\$110.00
121464015	\$110.00	121472016	\$110.00	121482010	\$110.00
121464016	\$110.00	121472017	\$110.00	121482011	\$110.00
121464017	\$110.00	121472018	\$110.00	121482012	\$110.00
121471001	\$110.00	121472019	\$110.00	121482013	\$110.00
121471002	\$110.00	121481001	\$110.00	121482014	\$110.00
121471003	\$110.00	121481002	\$110.00	121482015	\$110.00
121471004	\$110.00	121481003	\$110.00	121482016	\$110.00
121471005	\$110.00	121481004	\$110.00	121482017	\$110.00
121471007	\$110.00	121481005	\$110.00	121482018	\$110.00
121472001	\$110.00	121481006	\$110.00	121482019	\$110.00
121472002	\$110.00	121481007	\$110.00	121482020	\$110.00
121472003	\$110.00	121481008	\$110.00	121482021	\$110.00
121472004	\$110.00	121481009	\$110.00	121482023	\$110.00
121472005	\$110.00	121481010	\$110.00	121482024	\$110.00
121472006	\$110.00	121481011	\$110.00	121482025	\$110.00
<b>Totals</b>		<b>Parcels 201</b>		<b>Levy \$22,110.00</b>	

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119060018	\$271.14	119061048	\$54.22	119490036	\$100.00
119060020	\$375.06	119061050	\$54.22	119490037	\$100.00
119060022	\$347.96	119061051	\$54.22	119490038	\$100.00
119061001	\$54.22	119061052	\$54.22	119490039	\$100.00
119061002	\$54.22	119061053	\$54.22	119490040	\$100.00
119061003	\$54.22	119061054	\$54.22	119490041	\$100.00
119061004	\$54.22	119061055	\$54.22	119490042	\$100.00
119061005	\$54.22	119061056	\$54.22	119490043	\$100.00
119061006	\$54.22	119490001	\$100.00	119490044	\$100.00
119061007	\$54.22	119490002	\$100.00	119490045	\$100.00
119061008	\$54.22	119490003	\$100.00	119490046	\$100.00
119061009	\$54.22	119490004	\$100.00	119490047	\$100.00
119061010	\$54.22	119490005	\$100.00	119490048	\$100.00
119061011	\$54.22	119490006	\$100.00	119490049	\$100.00
119061013	\$54.22	119490007	\$100.00	119490050	\$100.00
119061014	\$54.22	119490008	\$100.00	119490051	\$100.00
119061015	\$54.22	119490009	\$100.00	119490052	\$100.00
119061018	\$54.22	119490010	\$100.00	119490053	\$100.00
119061019	\$54.22	119490011	\$100.00	119490054	\$100.00
119061020	\$54.22	119490012	\$100.00	119490055	\$100.00
119061021	\$54.22	119490013	\$100.00	119490056	\$100.00
119061022	\$54.22	119490014	\$100.00	119490057	\$100.00
119061023	\$54.22	119490015	\$100.00	119490058	\$100.00
119061025	\$54.22	119490016	\$100.00	119490059	\$100.00
119061026	\$54.22	119490017	\$100.00	119490060	\$100.00
119061027	\$54.22	119490018	\$100.00	119490061	\$100.00
119061028	\$54.22	119490019	\$100.00	119490062	\$100.00
119061029	\$54.22	119490020	\$100.00	119490063	\$100.00
119061030	\$54.22	119490021	\$100.00	119490064	\$100.00
119061031	\$54.22	119490022	\$100.00	119490066	\$100.00
119061033	\$54.22	119490023	\$100.00	119490067	\$100.00
119061034	\$54.22	119490024	\$100.00	119490068	\$100.00
119061035	\$54.22	119490025	\$100.00	119490069	\$100.00
119061036	\$54.22	119490026	\$100.00	119490070	\$100.00
119061037	\$54.22	119490027	\$100.00	119490071	\$100.00
119061038	\$54.22	119490028	\$100.00	119490072	\$100.00
119061039	\$54.22	119490029	\$100.00	119490073	\$100.00
119061041	\$54.22	119490030	\$100.00	119511001	\$100.00
119061043	\$54.22	119490031	\$100.00	119511002	\$100.00
119061044	\$54.22	119490032	\$100.00	119511003	\$100.00
119061045	\$54.22	119490033	\$100.00	119511004	\$100.00
119061046	\$54.22	119490034	\$100.00	119511005	\$100.00
119061047	\$54.22	119490035	\$100.00	119511006	\$100.00

## Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119511007	\$100.00	119514004	\$100.00	119523001	\$100.00
119512001	\$100.00	119515001	\$100.00	119523002	\$100.00
119512002	\$100.00	119515002	\$100.00	119523003	\$100.00
119512003	\$100.00	119515003	\$100.00	119523004	\$100.00
119512004	\$100.00	119515004	\$100.00	119523005	\$100.00
119512005	\$100.00	119521001	\$100.00	119523006	\$100.00
119512006	\$100.00	119521002	\$100.00	119523007	\$100.00
119512007	\$100.00	119521003	\$100.00	119523008	\$100.00
119512008	\$100.00	119521004	\$100.00	119530001	\$100.00
119512009	\$100.00	119521005	\$100.00	119530002	\$100.00
119512011	\$100.00	119521006	\$100.00	119530003	\$100.00
119512012	\$100.00	119521007	\$100.00	119530004	\$100.00
119512013	\$100.00	119521008	\$100.00	119530008	\$100.00
119512014	\$100.00	119521009	\$100.00	119530009	\$100.00
119512015	\$100.00	119521011	\$100.00	119530010	\$100.00
119512016	\$100.00	119521012	\$100.00	119530011	\$100.00
119512017	\$100.00	119521013	\$100.00	119530012	\$100.00
119512018	\$100.00	119521014	\$100.00	119530013	\$100.00
119512019	\$100.00	119521015	\$100.00	119530015	\$100.00
119512020	\$100.00	119521016	\$100.00	119530016	\$100.00
119512021	\$100.00	119521017	\$100.00	119530017	\$100.00
119512022	\$100.00	119521018	\$100.00	119530018	\$100.00
119512023	\$100.00	119521019	\$100.00	119530019	\$100.00
119512024	\$100.00	119521020	\$100.00	119530020	\$100.00
119512025	\$100.00	119521021	\$100.00	119530021	\$100.00
119512026	\$100.00	119521022	\$100.00	119530022	\$100.00
119512027	\$100.00	119521023	\$100.00	119530023	\$100.00
119512028	\$100.00	119521024	\$100.00	119530025	\$100.00
119512029	\$100.00	119522001	\$100.00	119530026	\$100.00
119512030	\$100.00	119522002	\$100.00	119530028	\$100.00
119513001	\$100.00	119522003	\$100.00	119530029	\$100.00
119513002	\$100.00	119522004	\$100.00	119530030	\$100.00
119513003	\$100.00	119522005	\$100.00	119530031	\$100.00
119513004	\$100.00	119522006	\$100.00	119530032	\$100.00
119513005	\$100.00	119522007	\$100.00	119530033	\$100.00
119513006	\$100.00	119522008	\$100.00	119530034	\$100.00
119513007	\$100.00	119522009	\$100.00	119530035	\$100.00
119513008	\$100.00	119522010	\$100.00	119530036	\$100.00
119513009	\$100.00	119522011	\$100.00	119530038	\$100.00
119513010	\$100.00	119522012	\$100.00	119530039	\$100.00
119514001	\$100.00	119522013	\$100.00	119530040	\$100.00
119514002	\$100.00	119522014	\$100.00	119530041	\$100.00
119514003	\$100.00	119522015	\$100.00	119530042	\$100.00



# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119530044	\$100.00	119540035	\$100.00	119550022	\$100.00
119530047	\$100.00	119540037	\$100.00	119550023	\$100.00
119530048	\$100.00	119540038	\$100.00	119550024	\$100.00
119530049	\$100.00	119540039	\$100.00	119550025	\$100.00
119530052	\$100.00	119540040	\$100.00	119550026	\$100.00
119530053	\$100.00	119540041	\$100.00	119550027	\$100.00
119540001	\$100.00	119540042	\$100.00	119550028	\$100.00
119540002	\$100.00	119540043	\$100.00	119550029	\$100.00
119540003	\$100.00	119540044	\$100.00	119550030	\$100.00
119540004	\$100.00	119540045	\$100.00	119550031	\$100.00
119540006	\$100.00	119540046	\$100.00	119550032	\$100.00
119540007	\$100.00	119540047	\$100.00	119550033	\$100.00
119540008	\$100.00	119540048	\$100.00	119550034	\$100.00
119540009	\$100.00	119540049	\$100.00	119550035	\$100.00
119540010	\$100.00	119540050	\$100.00	119550036	\$100.00
119540011	\$100.00	119540051	\$100.00	119550037	\$100.00
119540012	\$100.00	119540052	\$100.00	119550039	\$100.00
119540013	\$100.00	119540053	\$100.00	119550040	\$100.00
119540014	\$100.00	119540054	\$100.00	119550041	\$100.00
119540015	\$100.00	119540055	\$100.00	119550042	\$100.00
119540016	\$100.00	119540056	\$100.00	119550043	\$100.00
119540017	\$100.00	119540057	\$100.00	119550044	\$100.00
119540018	\$100.00	119550001	\$100.00	119550045	\$100.00
119540019	\$100.00	119550002	\$100.00	119550046	\$100.00
119540020	\$100.00	119550003	\$100.00	119550047	\$100.00
119540021	\$100.00	119550004	\$100.00	119550048	\$100.00
119540022	\$100.00	119550005	\$100.00	119550049	\$100.00
119540023	\$100.00	119550006	\$100.00	119550050	\$100.00
119540024	\$100.00	119550007	\$100.00	119550051	\$100.00
119540026	\$100.00	119550008	\$100.00	119550052	\$100.00
119540027	\$100.00	119550009	\$100.00	119550053	\$100.00
119540028	\$100.00	119550015	\$100.00	119550054	\$100.00
119540029	\$100.00	119550016	\$100.00	119550055	\$100.00
119540030	\$100.00	119550017	\$100.00	119550056	\$100.00
119540031	\$100.00	119550018	\$100.00	119550062	\$100.00
119540032	\$100.00	119550019	\$100.00	119550063	\$100.00
119540033	\$100.00	119550020	\$100.00	119550064	\$100.00
119540034	\$100.00	119550021	\$100.00		

**Totals**

**Parcels 371**

**Levy \$35,596.72**

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108042008	\$126.00	108080042	\$126.00	108090024	\$126.00
108042009	\$126.00	108080043	\$126.00	108090025	\$126.00
108042010	\$126.00	108080044	\$126.00	108090026	\$126.00
108042011	\$126.00	108080045	\$126.00	108090029	\$126.00
108080001	\$126.00	108080046	\$126.00	108090030	\$126.00
108080002	\$126.00	108080047	\$126.00	108090031	\$126.00
108080003	\$126.00	108080049	\$126.00	108090032	\$126.00
108080004	\$126.00	108080050	\$126.00	108090033	\$126.00
108080005	\$126.00	108080051	\$126.00	108090034	\$126.00
108080006	\$126.00	108080052	\$126.00	108090035	\$126.00
108080007	\$126.00	108080053	\$126.00	108090036	\$126.00
108080008	\$126.00	108080054	\$126.00	108090037	\$126.00
108080009	\$126.00	108080055	\$126.00	108090038	\$126.00
108080010	\$126.00	108080057	\$126.00	108090039	\$126.00
108080011	\$126.00	108080058	\$126.00	108090040	\$126.00
108080012	\$126.00	108080059	\$126.00	108090041	\$126.00
108080013	\$126.00	108080060	\$126.00	108090052	\$126.00
108080014	\$126.00	108080061	\$126.00	108090053	\$126.00
108080015	\$126.00	108080062	\$126.00	108090054	\$126.00
108080016	\$126.00	108080063	\$126.00	108090055	\$126.00
108080018	\$126.00	108090001	\$126.00	108090056	\$126.00
108080019	\$126.00	108090002	\$126.00	108090057	\$126.00
108080020	\$126.00	108090003	\$126.00	108090058	\$126.00
108080021	\$126.00	108090004	\$126.00	108090059	\$126.00
108080022	\$126.00	108090005	\$126.00	108090060	\$126.00
108080023	\$126.00	108090006	\$126.00	108090061	\$126.00
108080024	\$126.00	108090007	\$126.00	108090062	\$126.00
108080025	\$126.00	108090008	\$126.00	108090063	\$126.00
108080026	\$126.00	108090009	\$126.00	108090064	\$126.00
108080027	\$126.00	108090010	\$126.00	108090065	\$126.00
108080028	\$126.00	108090011	\$126.00	108090066	\$126.00
108080029	\$126.00	108090012	\$126.00	108090067	\$126.00
108080030	\$126.00	108090013	\$126.00	108090068	\$126.00
108080031	\$126.00	108090014	\$126.00	108090069	\$126.00
108080032	\$126.00	108090015	\$126.00	108090070	\$126.00
108080033	\$126.00	108090016	\$126.00	108090071	\$126.00
108080035	\$126.00	108090017	\$126.00	108090072	\$126.00
108080036	\$126.00	108090018	\$126.00	108090073	\$126.00
108080037	\$126.00	108090019	\$126.00	108100001	\$126.00
108080038	\$126.00	108090020	\$126.00	108100002	\$126.00
108080039	\$126.00	108090021	\$126.00	108100003	\$126.00
108080040	\$126.00	108090022	\$126.00	108100004	\$126.00
108080041	\$126.00	108090023	\$126.00	108100005	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108100006	\$126.00	108100054	\$126.00	108110039	\$126.00
108100007	\$126.00	108100055	\$126.00	108110040	\$126.00
108100009	\$126.00	108100056	\$126.00	108110041	\$126.00
108100010	\$126.00	108100057	\$126.00	108110042	\$126.00
108100011	\$126.00	108100058	\$126.00	108110043	\$126.00
108100012	\$126.00	108110001	\$126.00	108110044	\$126.00
108100013	\$126.00	108110002	\$126.00	108110045	\$126.00
108100014	\$126.00	108110003	\$126.00	108110046	\$126.00
108100016	\$126.00	108110004	\$126.00	108110047	\$126.00
108100017	\$126.00	108110005	\$126.00	108110048	\$126.00
108100018	\$126.00	108110006	\$126.00	108110049	\$126.00
108100019	\$126.00	108110007	\$126.00	108110050	\$126.00
108100020	\$126.00	108110008	\$126.00	108110051	\$126.00
108100021	\$126.00	108110009	\$126.00	108110052	\$126.00
108100022	\$126.00	108110010	\$126.00	108121001	\$126.00
108100023	\$126.00	108110011	\$126.00	108121002	\$126.00
108100024	\$126.00	108110012	\$126.00	108121003	\$126.00
108100025	\$126.00	108110013	\$126.00	108121004	\$126.00
108100026	\$126.00	108110014	\$126.00	108121005	\$126.00
108100027	\$126.00	108110015	\$126.00	108121006	\$126.00
108100028	\$126.00	108110016	\$126.00	108121007	\$126.00
108100029	\$126.00	108110017	\$126.00	108121008	\$126.00
108100030	\$126.00	108110018	\$126.00	108121009	\$126.00
108100031	\$126.00	108110019	\$126.00	108121010	\$126.00
108100032	\$126.00	108110020	\$126.00	108121011	\$126.00
108100034	\$126.00	108110021	\$126.00	108121012	\$126.00
108100035	\$126.00	108110022	\$126.00	108121013	\$126.00
108100036	\$126.00	108110023	\$126.00	108121014	\$126.00
108100037	\$126.00	108110024	\$126.00	108121015	\$126.00
108100038	\$126.00	108110025	\$126.00	108121016	\$126.00
108100039	\$126.00	108110026	\$126.00	108121017	\$126.00
108100040	\$126.00	108110027	\$126.00	108121018	\$126.00
108100041	\$126.00	108110028	\$126.00	108121019	\$126.00
108100042	\$126.00	108110029	\$126.00	108121020	\$126.00
108100043	\$126.00	108110030	\$126.00	108121021	\$126.00
108100044	\$126.00	108110031	\$126.00	108121022	\$126.00
108100047	\$126.00	108110032	\$126.00	108121023	\$126.00
108100048	\$126.00	108110033	\$126.00	108121024	\$126.00
108100049	\$126.00	108110034	\$126.00	108121025	\$126.00
108100050	\$126.00	108110035	\$126.00	108121026	\$126.00
108100051	\$126.00	108110036	\$126.00	108121027	\$126.00
108100052	\$126.00	108110037	\$126.00	108121028	\$126.00
108100053	\$126.00	108110038	\$126.00	108121029	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108121030	\$126.00	108141020	\$126.00	108153014	\$126.00
108121031	\$126.00	108141021	\$126.00	108153015	\$126.00
108121032	\$126.00	108142001	\$126.00	108153016	\$126.00
108121033	\$126.00	108142002	\$126.00	108153017	\$126.00
108121034	\$126.00	108142003	\$126.00	108153018	\$126.00
108121035	\$126.00	108143001	\$126.00	108153019	\$126.00
108121036	\$126.00	108143002	\$126.00	108153020	\$126.00
108121037	\$126.00	108143003	\$126.00	108153021	\$126.00
108121038	\$126.00	108143004	\$126.00	108153022	\$126.00
108121039	\$126.00	108143005	\$126.00	108153023	\$126.00
108121040	\$126.00	108143006	\$126.00	108153024	\$126.00
108121041	\$126.00	108143007	\$126.00	108153025	\$126.00
108121042	\$126.00	108143008	\$126.00	108161001	\$126.00
108122001	\$126.00	108143009	\$126.00	108161002	\$126.00
108122002	\$126.00	108143010	\$126.00	108161003	\$126.00
108122003	\$126.00	108143011	\$126.00	108161004	\$126.00
108122004	\$126.00	108143012	\$126.00	108161005	\$126.00
108122005	\$126.00	108143013	\$126.00	108161006	\$126.00
108122006	\$126.00	108143014	\$126.00	108161007	\$126.00
108122007	\$126.00	108151001	\$126.00	108161008	\$126.00
108122008	\$126.00	108151002	\$126.00	108161009	\$126.00
108122009	\$126.00	108151003	\$126.00	108161010	\$126.00
108122010	\$126.00	108151004	\$126.00	108161011	\$126.00
108122011	\$126.00	108151005	\$126.00	108161012	\$126.00
108141001	\$126.00	108151006	\$126.00	108161013	\$126.00
108141002	\$126.00	108151007	\$126.00	108161014	\$126.00
108141003	\$126.00	108151008	\$126.00	108161015	\$126.00
108141004	\$126.00	108152001	\$126.00	108161016	\$126.00
108141005	\$126.00	108152002	\$126.00	108161017	\$126.00
108141006	\$126.00	108152003	\$126.00	108162001	\$126.00
108141007	\$126.00	108153001	\$126.00	108162002	\$126.00
108141008	\$126.00	108153002	\$126.00	108162003	\$126.00
108141009	\$126.00	108153003	\$126.00	108162004	\$126.00
108141010	\$126.00	108153004	\$126.00	108162005	\$126.00
108141011	\$126.00	108153005	\$126.00	108162006	\$126.00
108141012	\$126.00	108153006	\$126.00	108162007	\$126.00
108141013	\$126.00	108153007	\$126.00	108162008	\$126.00
108141014	\$126.00	108153008	\$126.00	108163001	\$126.00
108141015	\$126.00	108153009	\$126.00	108163002	\$126.00
108141016	\$126.00	108153010	\$126.00	108163003	\$126.00
108141017	\$126.00	108153011	\$126.00	108163004	\$126.00
108141018	\$126.00	108153012	\$126.00	108163005	\$126.00
108141019	\$126.00	108153013	\$126.00	108163006	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108164001	\$126.00	108172018	\$126.00	108182019	\$126.00
108164002	\$126.00	108172019	\$126.00	108182020	\$126.00
108164003	\$126.00	108172020	\$126.00	108182021	\$126.00
108164004	\$126.00	108172021	\$126.00	108182022	\$126.00
108164005	\$126.00	108172022	\$126.00	108182023	\$126.00
108164006	\$126.00	108172023	\$126.00	108182024	\$126.00
108164007	\$126.00	108172024	\$126.00	108182025	\$126.00
108164008	\$126.00	108172025	\$126.00	108182026	\$126.00
108164009	\$126.00	108172026	\$126.00	108182027	\$126.00
108164010	\$126.00	108181001	\$126.00	108191001	\$126.00
108164011	\$126.00	108181002	\$126.00	108191002	\$126.00
108164012	\$126.00	108181003	\$126.00	108191003	\$126.00
108164013	\$126.00	108181004	\$126.00	108191004	\$126.00
108164014	\$126.00	108181005	\$126.00	108191005	\$126.00
108164015	\$126.00	108181006	\$126.00	108191006	\$126.00
108164016	\$126.00	108181007	\$126.00	108191007	\$126.00
108164017	\$126.00	108181008	\$126.00	108191008	\$126.00
108164018	\$126.00	108181009	\$126.00	108191009	\$126.00
108171001	\$126.00	108181010	\$126.00	108191010	\$126.00
108171002	\$126.00	108181011	\$126.00	108191011	\$126.00
108171003	\$126.00	108181012	\$126.00	108191012	\$126.00
108171004	\$126.00	108181013	\$126.00	108191013	\$126.00
108171005	\$126.00	108181014	\$126.00	108191014	\$126.00
108171006	\$126.00	108181015	\$126.00	108191015	\$126.00
108171007	\$126.00	108181016	\$126.00	108191016	\$126.00
108171008	\$126.00	108182001	\$126.00	108191017	\$126.00
108172001	\$126.00	108182002	\$126.00	108191018	\$126.00
108172002	\$126.00	108182003	\$126.00	108191019	\$126.00
108172003	\$126.00	108182004	\$126.00	108191020	\$126.00
108172004	\$126.00	108182005	\$126.00	108191021	\$126.00
108172005	\$126.00	108182006	\$126.00	108191022	\$126.00
108172006	\$126.00	108182007	\$126.00	108191023	\$126.00
108172007	\$126.00	108182008	\$126.00	108192001	\$126.00
108172008	\$126.00	108182009	\$126.00	108192002	\$126.00
108172009	\$126.00	108182010	\$126.00	108192003	\$126.00
108172010	\$126.00	108182011	\$126.00	108192004	\$126.00
108172011	\$126.00	108182012	\$126.00	108192005	\$126.00
108172012	\$126.00	108182013	\$126.00	108192006	\$126.00
108172013	\$126.00	108182014	\$126.00	108192007	\$126.00
108172014	\$126.00	108182015	\$126.00	108192008	\$126.00
108172015	\$126.00	108182016	\$126.00	108192009	\$126.00
108172016	\$126.00	108182017	\$126.00	108192010	\$126.00
108172017	\$126.00	108182018	\$126.00	108192011	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108192012	\$126.00	108211001	\$126.00	108221013	\$126.00
108192013	\$126.00	108211002	\$126.00	108222001	\$126.00
108201001	\$126.00	108211003	\$126.00	108222002	\$126.00
108201002	\$126.00	108211004	\$126.00	108222003	\$126.00
108201003	\$126.00	108211005	\$126.00	108222004	\$126.00
108201004	\$126.00	108211006	\$126.00	108222005	\$126.00
108201005	\$126.00	108211007	\$126.00	108222006	\$126.00
108201006	\$126.00	108211008	\$126.00	108222007	\$126.00
108201007	\$126.00	108211009	\$126.00	108222008	\$126.00
108201008	\$126.00	108211010	\$126.00	108222009	\$126.00
108201009	\$126.00	108211011	\$126.00	108222010	\$126.00
108201010	\$126.00	108212001	\$126.00	108222011	\$126.00
108201011	\$126.00	108212002	\$126.00	108222012	\$126.00
108201012	\$126.00	108212003	\$126.00	108222013	\$126.00
108201013	\$126.00	108212004	\$126.00	108222014	\$126.00
108201014	\$126.00	108212005	\$126.00	108222015	\$126.00
108201015	\$126.00	108212006	\$126.00	108222016	\$126.00
108202002	\$126.00	108212007	\$126.00	108222017	\$126.00
108202003	\$126.00	108212008	\$126.00	108222018	\$126.00
108202004	\$126.00	108212009	\$126.00	108222019	\$126.00
108202005	\$126.00	108212010	\$126.00	108222020	\$126.00
108202006	\$126.00	108212011	\$126.00	108222021	\$126.00
108202007	\$126.00	108212012	\$126.00	108222022	\$126.00
108202008	\$126.00	108212013	\$126.00	108222023	\$126.00
108202009	\$126.00	108212014	\$126.00	108231001	\$126.00
108202010	\$126.00	108212015	\$126.00	108231002	\$126.00
108202011	\$126.00	108212016	\$126.00	108231003	\$126.00
108202012	\$126.00	108212017	\$126.00	108231004	\$126.00
108202013	\$126.00	108212018	\$126.00	108231005	\$126.00
108202014	\$126.00	108212019	\$126.00	108231006	\$126.00
108202015	\$126.00	108212020	\$126.00	108231007	\$126.00
108202016	\$126.00	108221001	\$126.00	108231008	\$126.00
108202017	\$126.00	108221002	\$126.00	108231009	\$126.00
108202018	\$126.00	108221003	\$126.00	108231010	\$126.00
108202019	\$126.00	108221004	\$126.00	108231011	\$126.00
108202020	\$126.00	108221005	\$126.00	108231012	\$126.00
108202021	\$126.00	108221006	\$126.00	108231013	\$126.00
108202022	\$126.00	108221007	\$126.00	108231014	\$126.00
108202023	\$126.00	108221008	\$126.00	108231015	\$126.00
108202024	\$126.00	108221009	\$126.00	108231016	\$126.00
108202025	\$126.00	108221010	\$126.00	108231017	\$126.00
108202026	\$126.00	108221011	\$126.00	108231018	\$126.00
108202027	\$126.00	108221012	\$126.00	108231019	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108232001	\$126.00	108260019	\$126.00	108261017	\$126.00
108232002	\$126.00	108260020	\$126.00	108261018	\$126.00
108232003	\$126.00	108260021	\$126.00	108261019	\$126.00
108232004	\$126.00	108260022	\$126.00	108261020	\$126.00
108232005	\$126.00	108260023	\$126.00	108261021	\$126.00
108232006	\$126.00	108260024	\$126.00	108261022	\$126.00
108232007	\$126.00	108260025	\$126.00	108261023	\$126.00
108232008	\$126.00	108260026	\$126.00	108261024	\$126.00
108232009	\$126.00	108260027	\$126.00	108261025	\$126.00
108232010	\$126.00	108260028	\$126.00	108261026	\$126.00
108232011	\$126.00	108260029	\$126.00	108261027	\$126.00
108232012	\$126.00	108260030	\$126.00	108261029	\$126.00
108232013	\$126.00	108260031	\$126.00	108261030	\$126.00
108232014	\$126.00	108260032	\$126.00	108261031	\$126.00
108232015	\$126.00	108260033	\$126.00	108261032	\$126.00
108232016	\$126.00	108260034	\$126.00	108261033	\$126.00
108232017	\$126.00	108260035	\$126.00	108261034	\$126.00
108232018	\$126.00	108260036	\$126.00	108261035	\$126.00
108232019	\$126.00	108260037	\$126.00	108261036	\$126.00
108232020	\$126.00	108260038	\$126.00	108261037	\$126.00
108233001	\$126.00	108260039	\$126.00	108261039	\$126.00
108233002	\$126.00	108260040	\$126.00	108261040	\$126.00
108233003	\$126.00	108260041	\$126.00	108261041	\$126.00
108233004	\$126.00	108260042	\$126.00	108261042	\$126.00
108233005	\$126.00	108260043	\$126.00	108261043	\$126.00
108233006	\$126.00	108260044	\$126.00	108291001	\$126.00
108233007	\$126.00	108260045	\$126.00	108291002	\$126.00
108234001	\$126.00	108260046	\$126.00	108291003	\$126.00
108234002	\$126.00	108261001	\$126.00	108291004	\$126.00
108234003	\$126.00	108261002	\$126.00	108291005	\$126.00
108234004	\$126.00	108261003	\$126.00	108291006	\$126.00
108234005	\$126.00	108261004	\$126.00	108291007	\$126.00
108234006	\$126.00	108261005	\$126.00	108291008	\$126.00
108234007	\$126.00	108261006	\$126.00	108291009	\$126.00
108234008	\$126.00	108261007	\$126.00	108291010	\$126.00
108234009	\$126.00	108261008	\$126.00	108291011	\$126.00
108234010	\$126.00	108261009	\$126.00	108291012	\$126.00
108260013	\$126.00	108261010	\$126.00	108291013	\$126.00
108260014	\$126.00	108261011	\$126.00	108291014	\$126.00
108260015	\$126.00	108261012	\$126.00	108291015	\$126.00
108260016	\$126.00	108261013	\$126.00	108291016	\$126.00
108260017	\$126.00	108261014	\$126.00	108291017	\$126.00
108260018	\$126.00	108261015	\$126.00	108291018	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108291019	\$126.00	108300013	\$126.00	108311016	\$126.00
108291020	\$126.00	108300014	\$126.00	108311017	\$126.00
108291021	\$126.00	108300015	\$126.00	108311018	\$126.00
108291022	\$126.00	108300016	\$126.00	108312001	\$126.00
108291023	\$126.00	108300017	\$126.00	108312002	\$126.00
108291024	\$126.00	108300018	\$126.00	108312003	\$126.00
108291025	\$126.00	108300019	\$126.00	108312004	\$126.00
108291026	\$126.00	108300020	\$126.00	108312005	\$126.00
108291027	\$126.00	108300021	\$126.00	108312006	\$126.00
108292001	\$126.00	108300022	\$126.00	108312007	\$126.00
108292002	\$126.00	108300023	\$126.00	108312008	\$126.00
108292003	\$126.00	108300024	\$126.00	108312009	\$126.00
108292004	\$126.00	108300025	\$126.00	108312010	\$126.00
108292005	\$126.00	108300026	\$126.00	108312011	\$126.00
108292006	\$126.00	108300027	\$126.00	108312012	\$126.00
108292007	\$126.00	108300028	\$126.00	108312013	\$126.00
108292008	\$126.00	108300029	\$126.00	108312014	\$126.00
108292009	\$126.00	108300030	\$126.00	108312015	\$126.00
108292010	\$126.00	108300031	\$126.00	108312016	\$126.00
108292011	\$126.00	108300032	\$126.00	108312017	\$126.00
108292012	\$126.00	108300033	\$126.00	108312018	\$126.00
108292013	\$126.00	108300034	\$126.00	108341002	\$126.00
108292014	\$126.00	108300035	\$126.00	108341006	\$126.00
108292015	\$126.00	108300036	\$126.00	108341007	\$126.00
108292016	\$126.00	108300037	\$126.00	108341008	\$126.00
108292017	\$126.00	108300038	\$126.00	108341009	\$126.00
108292018	\$126.00	108300039	\$126.00	108341010	\$126.00
108292019	\$126.00	108300040	\$126.00	108341011	\$126.00
108292020	\$126.00	108311001	\$126.00	108341012	\$126.00
108292021	\$126.00	108311002	\$126.00	108341013	\$126.00
108292022	\$126.00	108311003	\$126.00	108341014	\$126.00
108300001	\$126.00	108311004	\$126.00	108341015	\$126.00
108300002	\$126.00	108311005	\$126.00	108341016	\$126.00
108300003	\$126.00	108311006	\$126.00	108341017	\$126.00
108300004	\$126.00	108311007	\$126.00	108341018	\$126.00
108300005	\$126.00	108311008	\$126.00	108341019	\$126.00
108300006	\$126.00	108311009	\$126.00	108341020	\$126.00
108300007	\$126.00	108311010	\$126.00	108341021	\$126.00
108300008	\$126.00	108311011	\$126.00	108341025	\$126.00
108300009	\$126.00	108311012	\$126.00	108341027	\$126.00
108300010	\$126.00	108311013	\$126.00	108342001	\$126.00
108300011	\$126.00	108311014	\$126.00	108342002	\$126.00
108300012	\$126.00	108311015	\$126.00	108342003	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108342004	\$126.00	108351016	\$126.00	108361001	\$126.00
108342005	\$126.00	108351017	\$126.00	108361002	\$126.00
108342006	\$126.00	108351018	\$126.00	108361003	\$126.00
108342007	\$126.00	108352001	\$126.00	108361004	\$126.00
108342008	\$126.00	108352002	\$126.00	108361005	\$126.00
108342009	\$126.00	108352003	\$126.00	108361006	\$126.00
108342010	\$126.00	108352004	\$126.00	108361007	\$126.00
108342012	\$126.00	108352005	\$126.00	108361008	\$126.00
108342013	\$126.00	108352006	\$126.00	108361009	\$126.00
108342014	\$126.00	108352007	\$126.00	108361010	\$126.00
108342015	\$126.00	108352008	\$126.00	108361011	\$126.00
108342016	\$126.00	108352009	\$126.00	108361012	\$126.00
108342017	\$126.00	108352010	\$126.00	108361013	\$126.00
108342018	\$126.00	108353001	\$126.00	108361014	\$126.00
108342019	\$126.00	108353002	\$126.00	108361015	\$126.00
108342020	\$126.00	108353003	\$126.00	108362001	\$126.00
108342021	\$126.00	108353004	\$126.00	108362002	\$126.00
108342022	\$126.00	108353005	\$126.00	108362003	\$126.00
108342023	\$126.00	108353006	\$126.00	108362004	\$126.00
108342024	\$126.00	108353007	\$126.00	108362005	\$126.00
108342025	\$126.00	108353008	\$126.00	108362006	\$126.00
108342028	\$126.00	108353009	\$126.00	108362007	\$126.00
108342029	\$126.00	108353010	\$126.00	108362008	\$126.00
108342030	\$126.00	108353011	\$126.00	108362009	\$126.00
108342031	\$126.00	108353012	\$126.00	108362010	\$126.00
108342032	\$126.00	108353013	\$126.00	108362011	\$126.00
108342033	\$126.00	108353014	\$126.00	108362012	\$126.00
108342034	\$126.00	108353015	\$126.00	108362013	\$126.00
108351001	\$126.00	108353016	\$126.00	108362014	\$126.00
108351002	\$126.00	108353017	\$126.00	108363001	\$126.00
108351003	\$126.00	108353018	\$126.00	108363002	\$126.00
108351004	\$126.00	108353019	\$126.00	108363003	\$126.00
108351005	\$126.00	108353020	\$126.00	108363004	\$126.00
108351006	\$126.00	108353021	\$126.00	108363005	\$126.00
108351007	\$126.00	108353022	\$126.00	108363006	\$126.00
108351008	\$126.00	108353023	\$126.00	108363007	\$126.00
108351009	\$126.00	108353024	\$126.00	108363008	\$126.00
108351010	\$126.00	108353025	\$126.00	108363009	\$126.00
108351011	\$126.00	108353026	\$126.00	108363010	\$126.00
108351012	\$126.00	108353027	\$126.00	108363011	\$126.00
108351013	\$126.00	108353028	\$126.00	108363012	\$126.00
108351014	\$126.00	108353029	\$126.00	108363013	\$126.00
108351015	\$126.00	108353030	\$126.00	108363014	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108363015	\$126.00	108372028	\$126.00	108391005	\$126.00
108363016	\$126.00	108372029	\$126.00	108391006	\$126.00
108371001	\$126.00	108372030	\$126.00	108391007	\$126.00
108371002	\$126.00	108372031	\$126.00	108391008	\$126.00
108371003	\$126.00	108372032	\$126.00	108391009	\$126.00
108371004	\$126.00	108372033	\$126.00	108391010	\$126.00
108371005	\$126.00	108372034	\$126.00	108391011	\$126.00
108371006	\$126.00	108372035	\$126.00	108391012	\$126.00
108371007	\$126.00	108372036	\$126.00	108391013	\$126.00
108371008	\$126.00	108372037	\$126.00	108391014	\$126.00
108371009	\$126.00	108372038	\$126.00	108392001	\$126.00
108371010	\$126.00	108372039	\$126.00	108392002	\$126.00
108371011	\$126.00	108372040	\$126.00	108392003	\$126.00
108371012	\$126.00	108372041	\$126.00	108392004	\$126.00
108371013	\$126.00	108381001	\$126.00	108392005	\$126.00
108371014	\$126.00	108381002	\$126.00	108392006	\$126.00
108372001	\$126.00	108381003	\$126.00	108392007	\$126.00
108372002	\$126.00	108381004	\$126.00	108392008	\$126.00
108372003	\$126.00	108382001	\$126.00	108392009	\$126.00
108372004	\$126.00	108382002	\$126.00	108392010	\$126.00
108372005	\$126.00	108382003	\$126.00	108392011	\$126.00
108372006	\$126.00	108382004	\$126.00	108401001	\$126.00
108372007	\$126.00	108382005	\$126.00	108401002	\$126.00
108372008	\$126.00	108383001	\$126.00	108401003	\$126.00
108372009	\$126.00	108383002	\$126.00	108401004	\$126.00
108372010	\$126.00	108383003	\$126.00	108401005	\$126.00
108372011	\$126.00	108383004	\$126.00	108401006	\$126.00
108372012	\$126.00	108383005	\$126.00	108401007	\$126.00
108372013	\$126.00	108383006	\$126.00	108401008	\$126.00
108372014	\$126.00	108384001	\$126.00	108401009	\$126.00
108372015	\$126.00	108384002	\$126.00	108401010	\$126.00
108372016	\$126.00	108384003	\$126.00	108401011	\$126.00
108372017	\$126.00	108384004	\$126.00	108401012	\$126.00
108372018	\$126.00	108384005	\$126.00	108401013	\$126.00
108372019	\$126.00	108384006	\$126.00	108401014	\$126.00
108372020	\$126.00	108384007	\$126.00	108401015	\$126.00
108372021	\$126.00	108384008	\$126.00	108401017	\$126.00
108372022	\$126.00	108384009	\$126.00	108401018	\$126.00
108372023	\$126.00	108384010	\$126.00	108401019	\$126.00
108372024	\$126.00	108391001	\$126.00	108401020	\$126.00
108372025	\$126.00	108391002	\$126.00	108401021	\$126.00
108372026	\$126.00	108391003	\$126.00	108401022	\$126.00
108372027	\$126.00	108391004	\$126.00	108401023	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108401024	\$126.00	108401070	\$126.00	108411025	\$126.00
108401025	\$126.00	108401071	\$126.00	108411026	\$126.00
108401026	\$126.00	108401072	\$126.00	108411027	\$126.00
108401027	\$126.00	108401073	\$126.00	108411028	\$126.00
108401028	\$126.00	108401074	\$126.00	108411029	\$126.00
108401029	\$126.00	108401075	\$126.00	108411030	\$126.00
108401030	\$126.00	108401076	\$126.00	108411031	\$126.00
108401032	\$126.00	108401077	\$126.00	108411032	\$126.00
108401033	\$126.00	108401078	\$126.00	108411033	\$126.00
108401034	\$126.00	108410001	\$126.00	108411034	\$126.00
108401035	\$126.00	108410002	\$126.00	108411035	\$126.00
108401036	\$126.00	108410003	\$126.00	108411036	\$126.00
108401037	\$126.00	108410004	\$126.00	108411038	\$126.00
108401038	\$126.00	108410005	\$126.00	108411039	\$126.00
108401039	\$126.00	108410006	\$126.00	108411040	\$126.00
108401040	\$126.00	108410007	\$126.00	108411041	\$126.00
108401041	\$126.00	108410008	\$126.00	108411042	\$126.00
108401042	\$126.00	108410009	\$126.00	108411043	\$126.00
108401043	\$126.00	108410010	\$126.00	108411044	\$126.00
108401044	\$126.00	108410011	\$126.00	108411045	\$126.00
108401045	\$126.00	108411001	\$126.00	108411046	\$126.00
108401046	\$126.00	108411002	\$126.00	108411048	\$126.00
108401048	\$126.00	108411003	\$126.00	108411049	\$126.00
108401049	\$126.00	108411004	\$126.00	108411050	\$126.00
108401050	\$126.00	108411005	\$126.00	108411051	\$126.00
108401051	\$126.00	108411006	\$126.00	108421001	\$126.00
108401052	\$126.00	108411007	\$126.00	108421002	\$126.00
108401053	\$126.00	108411008	\$126.00	108421003	\$126.00
108401054	\$126.00	108411009	\$126.00	108421004	\$126.00
108401055	\$126.00	108411010	\$126.00	108421005	\$126.00
108401056	\$126.00	108411011	\$126.00	108421006	\$126.00
108401057	\$126.00	108411012	\$126.00	108421007	\$126.00
108401058	\$126.00	108411013	\$126.00	108421008	\$126.00
108401059	\$126.00	108411014	\$126.00	108421009	\$126.00
108401060	\$126.00	108411015	\$126.00	108421010	\$126.00
108401061	\$126.00	108411016	\$126.00	108421011	\$126.00
108401062	\$126.00	108411017	\$126.00	108421012	\$126.00
108401064	\$126.00	108411019	\$126.00	108421013	\$126.00
108401065	\$126.00	108411020	\$126.00	108421014	\$126.00
108401066	\$126.00	108411021	\$126.00	108421015	\$126.00
108401067	\$126.00	108411022	\$126.00	108421016	\$126.00
108401068	\$126.00	108411023	\$126.00	108421017	\$126.00
108401069	\$126.00	108411024	\$126.00	108421018	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108421019	\$126.00	108441024	\$126.00	108461035	\$126.00
108421020	\$126.00	108441025	\$126.00	108461037	\$126.00
108421021	\$126.00	108441026	\$126.00	108461038	\$126.00
108421023	\$126.00	108441027	\$126.00	108461039	\$126.00
108421024	\$126.00	108441028	\$126.00	108461040	\$126.00
108421025	\$126.00	108441029	\$126.00	108461041	\$126.00
108421026	\$126.00	108441030	\$126.00	108461042	\$126.00
108421027	\$126.00	108441031	\$126.00	108461043	\$126.00
108421028	\$126.00	108441032	\$126.00	108461044	\$126.00
108421029	\$126.00	108441033	\$126.00	108461045	\$126.00
108421030	\$126.00	108461001	\$126.00	108461046	\$126.00
108421031	\$126.00	108461002	\$126.00	108461047	\$126.00
108421032	\$126.00	108461003	\$126.00	108461048	\$126.00
108421033	\$126.00	108461004	\$126.00	108461049	\$126.00
108421034	\$126.00	108461005	\$126.00	108461050	\$126.00
108421035	\$126.00	108461006	\$126.00	108461051	\$126.00
108421036	\$126.00	108461007	\$126.00	108461052	\$126.00
108421037	\$126.00	108461008	\$126.00	108461053	\$126.00
108421038	\$126.00	108461009	\$126.00	108461054	\$126.00
108421039	\$126.00	108461010	\$126.00	108461056	\$126.00
108421040	\$126.00	108461011	\$126.00	108461057	\$126.00
108441001	\$126.00	108461012	\$126.00	108461058	\$126.00
108441002	\$126.00	108461013	\$126.00	108461059	\$126.00
108441003	\$126.00	108461014	\$126.00	108461060	\$126.00
108441004	\$126.00	108461015	\$126.00	108461061	\$126.00
108441005	\$126.00	108461016	\$126.00	108461062	\$126.00
108441006	\$126.00	108461017	\$126.00	108461063	\$126.00
108441007	\$126.00	108461018	\$126.00	108461064	\$126.00
108441008	\$126.00	108461019	\$126.00	108461065	\$126.00
108441009	\$126.00	108461021	\$126.00	108461066	\$126.00
108441010	\$126.00	108461022	\$126.00	108461067	\$126.00
108441011	\$126.00	108461023	\$126.00	108461068	\$126.00
108441012	\$126.00	108461024	\$126.00	108461069	\$126.00
108441013	\$126.00	108461025	\$126.00	108461070	\$126.00
108441014	\$126.00	108461026	\$126.00	108462001	\$126.00
108441015	\$126.00	108461027	\$126.00	108462002	\$126.00
108441017	\$126.00	108461028	\$126.00	108462003	\$126.00
108441018	\$126.00	108461029	\$126.00	108462004	\$126.00
108441019	\$126.00	108461030	\$126.00	108462005	\$126.00
108441020	\$126.00	108461031	\$126.00	108462006	\$126.00
108441021	\$126.00	108461032	\$126.00	108462007	\$126.00
108441022	\$126.00	108461033	\$126.00	108462008	\$126.00
108441023	\$126.00	108461034	\$126.00	108462009	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108462010	\$126.00	108504010	\$126.00	112303004	\$126.00
108462011	\$126.00	108504011	\$126.00	112303005	\$126.00
108462012	\$126.00	108504012	\$126.00	112303006	\$126.00
108462013	\$126.00	112301001	\$126.00	112303007	\$126.00
108462014	\$126.00	112301002	\$126.00	112303008	\$126.00
108462016	\$126.00	112301003	\$126.00	112303009	\$126.00
108462017	\$126.00	112301004	\$126.00	112303010	\$126.00
108462018	\$126.00	112301005	\$126.00	112303012	\$126.00
108462019	\$126.00	112301006	\$126.00	112303013	\$126.00
108462020	\$126.00	112301007	\$126.00	112303014	\$126.00
108462021	\$126.00	112301008	\$126.00	112303015	\$126.00
108462022	\$126.00	112301009	\$126.00	112303016	\$126.00
108462023	\$126.00	112301010	\$126.00	112303017	\$126.00
108462024	\$126.00	112301011	\$126.00	112303018	\$126.00
108462025	\$126.00	112301013	\$126.00	112303019	\$126.00
108462026	\$126.00	112301014	\$126.00	112303020	\$126.00
108462027	\$126.00	112301016	\$126.00	112303021	\$126.00
108462028	\$126.00	112301017	\$126.00	112303022	\$126.00
108462029	\$126.00	112301018	\$126.00	112303023	\$126.00
108462030	\$126.00	112301019	\$126.00	112303024	\$126.00
108462031	\$126.00	112301020	\$126.00	112303025	\$126.00
108462032	\$126.00	112301021	\$126.00	112303026	\$126.00
108501015	\$126.00	112301022	\$126.00	112341002	\$126.00
108501016	\$126.00	112301023	\$126.00	112341003	\$126.00
108501017	\$126.00	112301024	\$126.00	112341004	\$126.00
108501018	\$126.00	112301025	\$126.00	112341005	\$126.00
108501019	\$126.00	112301027	\$126.00	112341006	\$126.00
108501020	\$126.00	112301028	\$126.00	112341007	\$126.00
108501021	\$126.00	112301029	\$126.00	112341008	\$126.00
108501022	\$126.00	112301030	\$126.00	112341009	\$126.00
108501023	\$126.00	112301031	\$126.00	112341010	\$126.00
108501024	\$126.00	112302001	\$126.00	112341019	\$126.00
108501025	\$126.00	112302002	\$126.00	112341026	\$126.00
108501026	\$126.00	112302003	\$126.00	112342006	\$126.00
108504001	\$126.00	112302004	\$126.00	112342007	\$126.00
108504002	\$126.00	112302005	\$126.00	112342008	\$126.00
108504003	\$126.00	112302006	\$126.00	112342009	\$126.00
108504004	\$126.00	112302008	\$126.00	112342010	\$126.00
108504005	\$126.00	112302009	\$126.00	112342011	\$126.00
108504006	\$126.00	112302010	\$126.00	112342012	\$126.00
108504007	\$126.00	112303001	\$126.00	112342013	\$126.00
108504008	\$126.00	112303002	\$126.00	112342016	\$126.00
108504009	\$126.00	112303003	\$126.00	112342017	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112342018	\$126.00	112352016	\$126.00	112382013	\$126.00
112342019	\$126.00	112352017	\$126.00	112382014	\$126.00
112342020	\$126.00	112352018	\$126.00	112382015	\$126.00
112342021	\$126.00	112352019	\$126.00	112382016	\$126.00
112342028	\$126.00	112360002	\$126.00	112382017	\$126.00
112342034	\$126.00	112360003	\$126.00	112382018	\$126.00
112342035	\$126.00	112360004	\$126.00	112382019	\$126.00
112342038	\$126.00	112360006	\$126.00	112382020	\$126.00
112342039	\$126.00	112360007	\$126.00	112382026	\$126.00
112342040	\$126.00	112360008	\$126.00	112382027	\$126.00
112342041	\$126.00	112360009	\$126.00	112382028	\$126.00
112342042	\$126.00	112360010	\$126.00	112382029	\$126.00
112351002	\$126.00	112360011	\$126.00	112382030	\$126.00
112351003	\$126.00	112360020	\$126.00	112382031	\$126.00
112351004	\$126.00	112360028	\$126.00	112382032	\$126.00
112351005	\$126.00	112360031	\$126.00	112382033	\$126.00
112351006	\$126.00	112381001	\$126.00	113071001	\$126.00
112351007	\$126.00	112381002	\$126.00	113071002	\$126.00
112351009	\$126.00	112381003	\$126.00	113071003	\$126.00
112351010	\$126.00	112381004	\$126.00	113071004	\$126.00
112351011	\$126.00	112381005	\$126.00	113071005	\$126.00
112351012	\$126.00	112381006	\$126.00	113071006	\$126.00
112351013	\$126.00	112381007	\$126.00	113071007	\$126.00
112351014	\$126.00	112381008	\$126.00	113071008	\$126.00
112351015	\$126.00	112381009	\$126.00	113071009	\$126.00
112351016	\$126.00	112381010	\$126.00	113071010	\$126.00
112351018	\$126.00	112381011	\$126.00	113071011	\$126.00
112351019	\$126.00	112381012	\$126.00	113071012	\$126.00
112351020	\$126.00	112381013	\$126.00	113071013	\$126.00
112351021	\$126.00	112381014	\$126.00	113071014	\$126.00
112351022	\$126.00	112381015	\$126.00	113071015	\$126.00
112351023	\$126.00	112382001	\$126.00	113071016	\$126.00
112351030	\$126.00	112382002	\$126.00	113071017	\$126.00
112351036	\$126.00	112382003	\$126.00	113071018	\$126.00
112351037	\$126.00	112382004	\$126.00	113071019	\$126.00
112351038	\$126.00	112382005	\$126.00	113071020	\$126.00
112352006	\$126.00	112382006	\$126.00	113071021	\$126.00
112352007	\$126.00	112382007	\$126.00	113071022	\$126.00
112352008	\$126.00	112382008	\$126.00	113071023	\$126.00
112352009	\$126.00	112382009	\$126.00	113071024	\$126.00
112352010	\$126.00	112382010	\$126.00	113071025	\$126.00
112352011	\$126.00	112382011	\$126.00	113071026	\$126.00
112352015	\$126.00	112382012	\$126.00	113071027	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113071028	\$126.00	113072026	\$126.00	113080037	\$126.00
113071029	\$126.00	113072027	\$126.00	113080038	\$126.00
113071030	\$126.00	113072028	\$126.00	113091001	\$126.00
113071031	\$126.00	113072029	\$126.00	113091002	\$126.00
113071032	\$126.00	113072030	\$126.00	113091003	\$126.00
113071033	\$126.00	113072031	\$126.00	113091004	\$126.00
113071034	\$126.00	113072032	\$126.00	113091005	\$126.00
113071035	\$126.00	113080001	\$126.00	113091006	\$126.00
113071036	\$126.00	113080002	\$126.00	113091007	\$126.00
113071037	\$126.00	113080003	\$126.00	113091008	\$126.00
113071038	\$126.00	113080004	\$126.00	113091009	\$126.00
113071039	\$126.00	113080005	\$126.00	113091010	\$126.00
113071040	\$126.00	113080006	\$126.00	113091011	\$126.00
113071041	\$126.00	113080007	\$126.00	113091012	\$126.00
113071042	\$126.00	113080008	\$126.00	113091013	\$126.00
113071043	\$126.00	113080009	\$126.00	113091014	\$126.00
113071044	\$126.00	113080010	\$126.00	113091015	\$126.00
113071046	\$126.00	113080011	\$126.00	113091016	\$126.00
113072001	\$126.00	113080012	\$126.00	113091017	\$126.00
113072002	\$126.00	113080013	\$126.00	113091018	\$126.00
113072003	\$126.00	113080014	\$126.00	113091019	\$126.00
113072004	\$126.00	113080015	\$126.00	113091020	\$126.00
113072005	\$126.00	113080016	\$126.00	113091021	\$126.00
113072006	\$126.00	113080017	\$126.00	113091022	\$126.00
113072007	\$126.00	113080018	\$126.00	113091023	\$126.00
113072008	\$126.00	113080019	\$126.00	113091024	\$126.00
113072009	\$126.00	113080020	\$126.00	113091025	\$126.00
113072010	\$126.00	113080021	\$126.00	113091026	\$126.00
113072011	\$126.00	113080022	\$126.00	113091027	\$126.00
113072012	\$126.00	113080023	\$126.00	113092001	\$126.00
113072013	\$126.00	113080024	\$126.00	113092002	\$126.00
113072014	\$126.00	113080025	\$126.00	113092003	\$126.00
113072015	\$126.00	113080026	\$126.00	113092004	\$126.00
113072016	\$126.00	113080027	\$126.00	113092005	\$126.00
113072017	\$126.00	113080028	\$126.00	113092006	\$126.00
113072018	\$126.00	113080029	\$126.00	113092007	\$126.00
113072019	\$126.00	113080030	\$126.00	113092008	\$126.00
113072020	\$126.00	113080031	\$126.00	113093002	\$126.00
113072021	\$126.00	113080032	\$126.00	113093003	\$126.00
113072022	\$126.00	113080033	\$126.00	113093004	\$126.00
113072023	\$126.00	113080034	\$126.00	113093005	\$126.00
113072024	\$126.00	113080035	\$126.00	113093006	\$126.00
113072025	\$126.00	113080036	\$126.00	113093007	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113094001	\$126.00	113111014	\$126.00	113124004	\$126.00
113094002	\$126.00	113111015	\$126.00	113124005	\$126.00
113094003	\$126.00	113111016	\$126.00	113124006	\$126.00
113094004	\$126.00	113111017	\$126.00	113124007	\$126.00
113094005	\$126.00	113111018	\$126.00	113124008	\$126.00
113094006	\$126.00	113112001	\$126.00	113131001	\$126.00
113094007	\$126.00	113112002	\$126.00	113131002	\$126.00
113094008	\$126.00	113112003	\$126.00	113131003	\$126.00
113094009	\$126.00	113112004	\$126.00	113131004	\$126.00
113094010	\$126.00	113112005	\$126.00	113131005	\$126.00
113094011	\$126.00	113112006	\$126.00	113131006	\$126.00
113094012	\$126.00	113121001	\$126.00	113131007	\$126.00
113094013	\$126.00	113121002	\$126.00	113131008	\$126.00
113094014	\$126.00	113121003	\$126.00	113131009	\$126.00
113094015	\$126.00	113121004	\$126.00	113131010	\$126.00
113094016	\$126.00	113121005	\$126.00	113131011	\$126.00
113094017	\$126.00	113121006	\$126.00	113131012	\$126.00
113094018	\$126.00	113121007	\$126.00	113131013	\$126.00
113094019	\$126.00	113121010	\$126.00	113132001	\$126.00
113094020	\$126.00	113122001	\$126.00	113132002	\$126.00
113094021	\$126.00	113122002	\$126.00	113132003	\$126.00
113094022	\$126.00	113122003	\$126.00	113132004	\$126.00
113094023	\$126.00	113122004	\$126.00	113132005	\$126.00
113094024	\$126.00	113122005	\$126.00	113132006	\$126.00
113094025	\$126.00	113122006	\$126.00	113132007	\$126.00
113094026	\$126.00	113122007	\$126.00	113132008	\$126.00
113094027	\$126.00	113122008	\$126.00	113132009	\$126.00
113094028	\$126.00	113123001	\$126.00	113132010	\$126.00
113094029	\$126.00	113123002	\$126.00	113132011	\$126.00
113094030	\$126.00	113123003	\$126.00	113133001	\$126.00
113111001	\$126.00	113123004	\$126.00	113133002	\$126.00
113111002	\$126.00	113123005	\$126.00	113133003	\$126.00
113111003	\$126.00	113123006	\$126.00	113133004	\$126.00
113111004	\$126.00	113123007	\$126.00	113133005	\$126.00
113111005	\$126.00	113123010	\$126.00	113133011	\$126.00
113111006	\$126.00	113123011	\$126.00	113133013	\$126.00
113111007	\$126.00	113123012	\$126.00	113133014	\$126.00
113111008	\$126.00	113123013	\$126.00	113133015	\$126.00
113111009	\$126.00	113123014	\$126.00	113133016	\$126.00
113111010	\$126.00	113123015	\$126.00	113133017	\$126.00
113111011	\$126.00	113124001	\$126.00	113134001	\$126.00
113111012	\$126.00	113124002	\$126.00	113134002	\$126.00
113111013	\$126.00	113124003	\$126.00	113134003	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113134004	\$126.00	113150039	\$126.00	113170003	\$126.00
113134005	\$126.00	113150041	\$126.00	113170004	\$126.00
113140015	\$126.00	113150042	\$126.00	113170005	\$126.00
113140016	\$126.00	113150043	\$126.00	113170006	\$126.00
113140017	\$126.00	113150044	\$126.00	113170007	\$126.00
113140018	\$126.00	113150045	\$126.00	113170008	\$126.00
113150001	\$126.00	113150046	\$126.00	113170009	\$126.00
113150002	\$126.00	113150047	\$126.00	113170010	\$126.00
113150003	\$126.00	113150048	\$126.00	113170011	\$126.00
113150004	\$126.00	113150049	\$126.00	113170012	\$126.00
113150005	\$126.00	113150050	\$126.00	113170013	\$126.00
113150006	\$126.00	113150051	\$126.00	113170014	\$126.00
113150007	\$126.00	113150052	\$126.00	113170015	\$126.00
113150008	\$126.00	113150054	\$126.00	113170016	\$126.00
113150009	\$126.00	113150055	\$126.00	113170017	\$126.00
113150010	\$126.00	113150056	\$126.00	113170018	\$126.00
113150011	\$126.00	113150057	\$126.00	113170019	\$126.00
113150012	\$126.00	113150058	\$126.00	113170020	\$126.00
113150013	\$126.00	113150059	\$126.00	113170021	\$126.00
113150014	\$126.00	113150060	\$126.00	113170022	\$126.00
113150015	\$126.00	113150061	\$126.00	113170023	\$126.00
113150016	\$126.00	113150062	\$126.00	113170024	\$126.00
113150017	\$126.00	113150063	\$126.00	113170025	\$126.00
113150018	\$126.00	113150064	\$126.00	113170027	\$126.00
113150019	\$126.00	113150065	\$126.00	113170028	\$126.00
113150020	\$126.00	113150066	\$126.00	113170029	\$126.00
113150022	\$126.00	113150067	\$126.00	113170030	\$126.00
113150023	\$126.00	113150068	\$126.00	113170031	\$126.00
113150024	\$126.00	113150069	\$126.00	113170032	\$126.00
113150025	\$126.00	113150070	\$126.00	113170033	\$126.00
113150026	\$126.00	113150071	\$126.00	113170034	\$126.00
113150027	\$126.00	113150072	\$126.00	113170035	\$126.00
113150028	\$126.00	113150073	\$126.00	113170036	\$126.00
113150029	\$126.00	113150074	\$126.00	113170037	\$126.00
113150030	\$126.00	113150075	\$126.00	113170038	\$126.00
113150031	\$126.00	113150076	\$126.00	113170039	\$126.00
113150032	\$126.00	113150077	\$126.00	113170040	\$126.00
113150033	\$126.00	113150078	\$126.00	113170041	\$126.00
113150034	\$126.00	113150079	\$126.00	113170042	\$126.00
113150035	\$126.00	113150080	\$126.00	113170043	\$126.00
113150036	\$126.00	113150081	\$126.00	113170044	\$126.00
113150037	\$126.00	113170001	\$126.00	113181002	\$126.00
113150038	\$126.00	113170002	\$126.00	113181003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113181004	\$126.00	113192008	\$126.00	113202021	\$126.00
113181005	\$126.00	113192009	\$126.00	113202022	\$126.00
113181006	\$126.00	113192010	\$126.00	113202023	\$126.00
113181007	\$126.00	113192011	\$126.00	113202024	\$126.00
113181008	\$126.00	113192012	\$126.00	113202025	\$126.00
113181009	\$126.00	113192013	\$126.00	113202026	\$126.00
113181010	\$126.00	113192014	\$126.00	113203001	\$126.00
113182001	\$126.00	113192015	\$126.00	113203002	\$126.00
113182002	\$126.00	113192016	\$126.00	113203003	\$126.00
113182003	\$126.00	113192017	\$126.00	113203004	\$126.00
113182004	\$126.00	113192018	\$126.00	113204001	\$126.00
113182005	\$126.00	113201001	\$126.00	113204002	\$126.00
113182006	\$126.00	113201002	\$126.00	113204003	\$126.00
113182007	\$126.00	113201003	\$126.00	113204004	\$126.00
113182008	\$126.00	113201004	\$126.00	113204005	\$126.00
113182009	\$126.00	113201005	\$126.00	113204006	\$126.00
113182010	\$126.00	113201006	\$126.00	113211001	\$126.00
113182011	\$126.00	113201007	\$126.00	113211002	\$126.00
113182012	\$126.00	113201008	\$126.00	113211003	\$126.00
113182013	\$126.00	113201009	\$126.00	113211004	\$126.00
113182014	\$126.00	113201010	\$126.00	113211005	\$126.00
113182015	\$126.00	113201011	\$126.00	113211006	\$126.00
113182016	\$126.00	113201012	\$126.00	113211007	\$126.00
113182017	\$126.00	113202001	\$126.00	113211008	\$126.00
113182018	\$126.00	113202002	\$126.00	113211009	\$126.00
113182019	\$126.00	113202003	\$126.00	113211010	\$126.00
113183001	\$126.00	113202004	\$126.00	113211011	\$126.00
113183002	\$126.00	113202005	\$126.00	113211012	\$126.00
113183003	\$126.00	113202006	\$126.00	113211013	\$126.00
113183004	\$126.00	113202007	\$126.00	113211014	\$126.00
113183005	\$126.00	113202008	\$126.00	113211015	\$126.00
113191001	\$126.00	113202009	\$126.00	113211016	\$126.00
113191002	\$126.00	113202010	\$126.00	113211017	\$126.00
113191003	\$126.00	113202011	\$126.00	113212001	\$126.00
113191004	\$126.00	113202012	\$126.00	113212002	\$126.00
113191005	\$126.00	113202013	\$126.00	113212003	\$126.00
113192001	\$126.00	113202014	\$126.00	113212004	\$126.00
113192002	\$126.00	113202015	\$126.00	113212005	\$126.00
113192003	\$126.00	113202016	\$126.00	113212006	\$126.00
113192004	\$126.00	113202017	\$126.00	113212007	\$126.00
113192005	\$126.00	113202018	\$126.00	113212008	\$126.00
113192006	\$126.00	113202019	\$126.00	113212009	\$126.00
113192007	\$126.00	113202020	\$126.00	113212010	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113212011	\$126.00	113222029	\$126.00	113241007	\$126.00
113212012	\$126.00	113231001	\$126.00	113241008	\$126.00
113212013	\$126.00	113231002	\$126.00	113241009	\$126.00
113212014	\$126.00	113231003	\$126.00	113241010	\$126.00
113212015	\$126.00	113231004	\$126.00	113241011	\$126.00
113212016	\$126.00	113231005	\$126.00	113241012	\$126.00
113221001	\$126.00	113231006	\$126.00	113241013	\$126.00
113221002	\$126.00	113231007	\$126.00	113242001	\$126.00
113221003	\$126.00	113231008	\$126.00	113242002	\$126.00
113221004	\$126.00	113232001	\$126.00	113242003	\$126.00
113221005	\$126.00	113232002	\$126.00	113242004	\$126.00
113221006	\$126.00	113232003	\$126.00	113242005	\$126.00
113221007	\$126.00	113232004	\$126.00	113242006	\$126.00
113221008	\$126.00	113232005	\$126.00	113242007	\$126.00
113221009	\$126.00	113232006	\$126.00	113242008	\$126.00
113221010	\$126.00	113232007	\$126.00	113242009	\$126.00
113221011	\$126.00	113232008	\$126.00	113242010	\$126.00
113221012	\$126.00	113232009	\$126.00	113242011	\$126.00
113222001	\$126.00	113232010	\$126.00	113242012	\$126.00
113222002	\$126.00	113232011	\$126.00	113242013	\$126.00
113222003	\$126.00	113233001	\$126.00	113242014	\$126.00
113222004	\$126.00	113233002	\$126.00	113242015	\$126.00
113222005	\$126.00	113233003	\$126.00	113242016	\$126.00
113222006	\$126.00	113233004	\$126.00	113242017	\$126.00
113222007	\$126.00	113233005	\$126.00	113242018	\$126.00
113222009	\$126.00	113233006	\$126.00	113242019	\$126.00
113222010	\$126.00	113233007	\$126.00	113242020	\$126.00
113222011	\$126.00	113233008	\$126.00	113242021	\$126.00
113222012	\$126.00	113233009	\$126.00	113242022	\$126.00
113222013	\$126.00	113233010	\$126.00	113242023	\$126.00
113222014	\$126.00	113233011	\$126.00	113242024	\$126.00
113222015	\$126.00	113233012	\$126.00	113242025	\$126.00
113222016	\$126.00	113233013	\$126.00	113242026	\$126.00
113222017	\$126.00	113233014	\$126.00	113242027	\$126.00
113222018	\$126.00	113233015	\$126.00	113242028	\$126.00
113222019	\$126.00	113233016	\$126.00	113242029	\$126.00
113222022	\$126.00	113233017	\$126.00	113243001	\$126.00
113222023	\$126.00	113241001	\$126.00	113243002	\$126.00
113222024	\$126.00	113241002	\$126.00	113243003	\$126.00
113222025	\$126.00	113241003	\$126.00	113243004	\$126.00
113222026	\$126.00	113241004	\$126.00	113243005	\$126.00
113222027	\$126.00	113241005	\$126.00	113243006	\$126.00
113222028	\$126.00	113241006	\$126.00	113243007	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113243008	\$126.00	113262011	\$126.00	113321013	\$126.00
113243009	\$126.00	113262012	\$126.00	113321014	\$126.00
113243010	\$126.00	113262013	\$126.00	113321015	\$126.00
113261001	\$126.00	113262014	\$126.00	113321016	\$126.00
113261002	\$126.00	113262015	\$126.00	113321017	\$126.00
113261003	\$126.00	113262016	\$126.00	113321018	\$126.00
113261004	\$126.00	113262017	\$126.00	113321019	\$126.00
113261005	\$126.00	113262018	\$126.00	113321020	\$126.00
113261006	\$126.00	113262019	\$126.00	113321021	\$126.00
113261007	\$126.00	113262020	\$126.00	113321022	\$126.00
113261008	\$126.00	113262021	\$126.00	113321023	\$126.00
113261009	\$126.00	113263001	\$126.00	113321024	\$126.00
113261010	\$126.00	113263002	\$126.00	113321025	\$126.00
113261011	\$126.00	113263003	\$126.00	113321026	\$126.00
113261012	\$126.00	113263004	\$126.00	113321027	\$126.00
113261013	\$126.00	113263005	\$126.00	113322001	\$126.00
113261014	\$126.00	113263006	\$126.00	113322002	\$126.00
113261015	\$126.00	113263007	\$126.00	113322003	\$126.00
113261016	\$126.00	113263008	\$126.00	113322004	\$126.00
113261017	\$126.00	113263009	\$126.00	113322005	\$126.00
113261018	\$126.00	113263010	\$126.00	113322006	\$126.00
113261019	\$126.00	113264001	\$126.00	113322007	\$126.00
113261020	\$126.00	113264002	\$126.00	113322008	\$126.00
113261021	\$126.00	113264003	\$126.00	113322009	\$126.00
113261022	\$126.00	113264004	\$126.00	113322010	\$126.00
113261023	\$126.00	113264005	\$126.00	113322011	\$126.00
113261024	\$126.00	113264006	\$126.00	113322012	\$126.00
113261025	\$126.00	113264007	\$126.00	113322013	\$126.00
113261026	\$126.00	113264008	\$126.00	113322014	\$126.00
113261027	\$126.00	113264009	\$126.00	113322015	\$126.00
113261028	\$126.00	113264010	\$126.00	113322016	\$126.00
113261029	\$126.00	113321001	\$126.00	113322017	\$126.00
113261030	\$126.00	113321002	\$126.00	113322018	\$126.00
113262001	\$126.00	113321003	\$126.00	113371001	\$126.00
113262002	\$126.00	113321004	\$126.00	113371002	\$126.00
113262003	\$126.00	113321005	\$126.00	113371003	\$126.00
113262004	\$126.00	113321006	\$126.00	113371004	\$126.00
113262005	\$126.00	113321007	\$126.00	113371005	\$126.00
113262006	\$126.00	113321008	\$126.00	113371006	\$126.00
113262007	\$126.00	113321009	\$126.00	113371007	\$126.00
113262008	\$126.00	113321010	\$126.00	113371008	\$126.00
113262009	\$126.00	113321011	\$126.00	113371009	\$126.00
113262010	\$126.00	113321012	\$126.00	113371010	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113371011	\$126.00	113372015	\$126.00	113383009	\$126.00
113371012	\$126.00	113372016	\$126.00	113383010	\$126.00
113371013	\$126.00	113372017	\$126.00	113383011	\$126.00
113371014	\$126.00	113372018	\$126.00	113383012	\$126.00
113371015	\$126.00	113372019	\$126.00	113383013	\$126.00
113371016	\$126.00	113372020	\$126.00	113383014	\$126.00
113371017	\$126.00	113372021	\$126.00	113391001	\$126.00
113371018	\$126.00	113372022	\$126.00	113391002	\$126.00
113371019	\$126.00	113372023	\$126.00	113391003	\$126.00
113371020	\$126.00	113372024	\$126.00	113391004	\$126.00
113371021	\$126.00	113372025	\$126.00	113391005	\$126.00
113371022	\$126.00	113372026	\$126.00	113391006	\$126.00
113371023	\$126.00	113381001	\$126.00	113391007	\$126.00
113371024	\$126.00	113381002	\$126.00	113391008	\$126.00
113371025	\$126.00	113381003	\$126.00	113391009	\$126.00
113371026	\$126.00	113381004	\$126.00	113391010	\$126.00
113371027	\$126.00	113381005	\$126.00	113391011	\$126.00
113371028	\$126.00	113381006	\$126.00	113391012	\$126.00
113371029	\$126.00	113381007	\$126.00	113391015	\$126.00
113371030	\$126.00	113381008	\$126.00	113391016	\$126.00
113371031	\$126.00	113381009	\$126.00	113391017	\$126.00
113371032	\$126.00	113381010	\$126.00	113391018	\$126.00
113371033	\$126.00	113382001	\$126.00	113391019	\$126.00
113371034	\$126.00	113382002	\$126.00	113391020	\$126.00
113371035	\$126.00	113382003	\$126.00	113391021	\$126.00
113371036	\$126.00	113382004	\$126.00	113391022	\$126.00
113371037	\$126.00	113382005	\$126.00	113392001	\$126.00
113371038	\$126.00	113382006	\$126.00	113392002	\$126.00
113371039	\$126.00	113382007	\$126.00	113392003	\$126.00
113372001	\$126.00	113382008	\$126.00	113392004	\$126.00
113372002	\$126.00	113382009	\$126.00	113392007	\$126.00
113372003	\$126.00	113382010	\$126.00	113392008	\$126.00
113372004	\$126.00	113382011	\$126.00	113392009	\$126.00
113372005	\$126.00	113382012	\$126.00	113392010	\$126.00
113372006	\$126.00	113382013	\$126.00	113392011	\$126.00
113372007	\$126.00	113383001	\$126.00	113392012	\$126.00
113372008	\$126.00	113383002	\$126.00	113392013	\$126.00
113372009	\$126.00	113383003	\$126.00	113392014	\$126.00
113372010	\$126.00	113383004	\$126.00	113392015	\$126.00
113372011	\$126.00	113383005	\$126.00	113392016	\$126.00
113372012	\$126.00	113383006	\$126.00	113392017	\$126.00
113372013	\$126.00	113383007	\$126.00	113392018	\$126.00
113372014	\$126.00	113383008	\$126.00	113392019	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113393001	\$126.00	113401036	\$126.00	113402043	\$126.00
113393002	\$126.00	113402001	\$126.00	113402044	\$126.00
113393003	\$126.00	113402002	\$126.00	113402045	\$126.00
113393004	\$126.00	113402003	\$126.00	113402046	\$126.00
113393005	\$126.00	113402004	\$126.00	113402047	\$126.00
113393006	\$126.00	113402005	\$126.00	113402048	\$126.00
113393007	\$126.00	113402006	\$126.00	113402049	\$126.00
113393008	\$126.00	113402007	\$126.00	113402050	\$126.00
113393009	\$126.00	113402008	\$126.00	113403001	\$126.00
113401001	\$126.00	113402009	\$126.00	113410001	\$126.00
113401002	\$126.00	113402010	\$126.00	113410002	\$126.00
113401003	\$126.00	113402011	\$126.00	113410003	\$126.00
113401004	\$126.00	113402012	\$126.00	113410004	\$126.00
113401005	\$126.00	113402013	\$126.00	113410005	\$126.00
113401006	\$126.00	113402014	\$126.00	113410006	\$126.00
113401007	\$126.00	113402015	\$126.00	113410007	\$126.00
113401008	\$126.00	113402016	\$126.00	113410008	\$126.00
113401009	\$126.00	113402017	\$126.00	113410009	\$126.00
113401010	\$126.00	113402018	\$126.00	113410010	\$126.00
113401011	\$126.00	113402019	\$126.00	113410011	\$126.00
113401012	\$126.00	113402020	\$126.00	113410012	\$126.00
113401013	\$126.00	113402021	\$126.00	113410013	\$126.00
113401014	\$126.00	113402022	\$126.00	113410014	\$126.00
113401015	\$126.00	113402023	\$126.00	113410015	\$126.00
113401017	\$126.00	113402024	\$126.00	113410016	\$126.00
113401018	\$126.00	113402025	\$126.00	113410017	\$126.00
113401019	\$126.00	113402026	\$126.00	113410018	\$126.00
113401020	\$126.00	113402027	\$126.00	113410019	\$126.00
113401021	\$126.00	113402028	\$126.00	113410020	\$126.00
113401022	\$126.00	113402029	\$126.00	113410021	\$126.00
113401023	\$126.00	113402030	\$126.00	113410022	\$126.00
113401024	\$126.00	113402031	\$126.00	113410023	\$126.00
113401025	\$126.00	113402032	\$126.00	113410024	\$126.00
113401026	\$126.00	113402033	\$126.00	113410025	\$126.00
113401027	\$126.00	113402034	\$126.00	113410026	\$126.00
113401028	\$126.00	113402035	\$126.00	113410029	\$126.00
113401029	\$126.00	113402036	\$126.00	113410030	\$126.00
113401030	\$126.00	113402037	\$126.00	113410031	\$126.00
113401031	\$126.00	113402038	\$126.00	113410032	\$126.00
113401032	\$126.00	113402039	\$126.00	113410033	\$126.00
113401033	\$126.00	113402040	\$126.00	113410034	\$126.00
113401034	\$126.00	113402041	\$126.00	113410035	\$126.00
113401035	\$126.00	113402042	\$126.00	113410036	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113410037	\$126.00	116290065	\$126.00	120032021	\$126.00
113410038	\$126.00	116290066	\$126.00	120032022	\$126.00
113410039	\$126.00	116310011	\$126.00	120032023	\$126.00
113410040	\$126.00	116310012	\$126.00	120032024	\$126.00
113410041	\$126.00	116310065	\$126.00	120032025	\$126.00
113410042	\$126.00	116310067	\$126.00	120033001	\$126.00
113410043	\$126.00	116320009	\$126.00	120033002	\$126.00
113410044	\$126.00	116320012	\$126.00	120033003	\$126.00
113410045	\$126.00	116320031	\$126.00	120033004	\$126.00
113410046	\$126.00	116320032	\$126.00	120033005	\$126.00
113410047	\$126.00	120031001	\$126.00	120033006	\$126.00
113410048	\$126.00	120031002	\$126.00	120033007	\$126.00
113410052	\$126.00	120031003	\$126.00	120033008	\$126.00
113410053	\$126.00	120031004	\$126.00	120033009	\$126.00
113410054	\$126.00	120031005	\$126.00	120033010	\$126.00
113410055	\$126.00	120031006	\$126.00	120033011	\$126.00
113410056	\$126.00	120031007	\$126.00	120033012	\$126.00
113410057	\$126.00	120031008	\$126.00	120033013	\$126.00
113410058	\$126.00	120031009	\$126.00	120033014	\$126.00
113410059	\$126.00	120031010	\$126.00	120033015	\$126.00
113410060	\$126.00	120031011	\$126.00	120033016	\$126.00
113410061	\$126.00	120031012	\$126.00	120033017	\$126.00
113410062	\$126.00	120031013	\$126.00	120033018	\$126.00
113410063	\$126.00	120032001	\$126.00	120033019	\$126.00
113410064	\$126.00	120032002	\$126.00	120033020	\$126.00
113410065	\$126.00	120032003	\$126.00	120034001	\$126.00
113410066	\$126.00	120032004	\$126.00	120034002	\$126.00
113410067	\$126.00	120032005	\$126.00	120034003	\$126.00
113410068	\$126.00	120032006	\$126.00	120034004	\$126.00
113410069	\$126.00	120032007	\$126.00	120034005	\$126.00
113410070	\$126.00	120032008	\$126.00	120034006	\$126.00
113410071	\$126.00	120032009	\$126.00	120034008	\$126.00
113410072	\$126.00	120032010	\$126.00	120034009	\$126.00
113410073	\$126.00	120032011	\$126.00	120034010	\$126.00
113410074	\$126.00	120032012	\$126.00	120034011	\$126.00
113410075	\$126.00	120032013	\$126.00	120034012	\$126.00
114210001	\$126.00	120032014	\$126.00	120034013	\$126.00
114210002	\$126.00	120032015	\$126.00	120034015	\$126.00
114210010	\$126.00	120032016	\$126.00	120034016	\$126.00
114210011	\$126.00	120032017	\$126.00	120034017	\$126.00
114210012	\$126.00	120032018	\$126.00	120034018	\$126.00
116290063	\$126.00	120032019	\$126.00	120034019	\$126.00
116290064	\$126.00	120032020	\$126.00	120034020	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120034021	\$126.00	120054008	\$126.00	120060035	\$126.00
120034022	\$126.00	120054009	\$126.00	120060036	\$126.00
120034023	\$126.00	120054010	\$126.00	120060037	\$126.00
120034024	\$126.00	120054011	\$126.00	120060038	\$126.00
120034025	\$126.00	120054012	\$126.00	120060039	\$126.00
120034026	\$126.00	120054013	\$126.00	120060040	\$126.00
120034027	\$126.00	120054014	\$126.00	120060041	\$126.00
120034028	\$126.00	120054015	\$126.00	120060042	\$126.00
120034029	\$126.00	120054016	\$126.00	120060044	\$126.00
120034030	\$126.00	120060001	\$126.00	120060045	\$126.00
120034031	\$126.00	120060002	\$126.00	120060046	\$126.00
120034032	\$126.00	120060003	\$126.00	120060047	\$126.00
120034033	\$126.00	120060004	\$126.00	120060048	\$126.00
120034034	\$126.00	120060005	\$126.00	120060049	\$126.00
120034035	\$126.00	120060006	\$126.00	120060050	\$126.00
120051009	\$126.00	120060007	\$126.00	120060051	\$126.00
120051010	\$126.00	120060008	\$126.00	120060052	\$126.00
120051011	\$126.00	120060009	\$126.00	120060053	\$126.00
120051012	\$126.00	120060010	\$126.00	120060054	\$126.00
120051013	\$126.00	120060011	\$126.00	120060055	\$126.00
120051014	\$126.00	120060012	\$126.00	120060056	\$126.00
120051015	\$126.00	120060013	\$126.00	120060057	\$126.00
120052001	\$126.00	120060014	\$126.00	120060058	\$126.00
120052002	\$126.00	120060015	\$126.00	120060060	\$126.00
120052003	\$126.00	120060016	\$126.00	120060061	\$126.00
120052004	\$126.00	120060017	\$126.00	120060062	\$126.00
120052005	\$126.00	120060018	\$126.00	120060063	\$126.00
120052006	\$126.00	120060019	\$126.00	120060064	\$126.00
120052007	\$126.00	120060020	\$126.00	120060065	\$126.00
120053001	\$126.00	120060021	\$126.00	120060066	\$126.00
120053002	\$126.00	120060022	\$126.00	120060067	\$126.00
120053003	\$126.00	120060023	\$126.00	120060068	\$126.00
120053004	\$126.00	120060024	\$126.00	120060069	\$126.00
120053005	\$126.00	120060025	\$126.00	120060070	\$126.00
120053006	\$126.00	120060026	\$126.00	120060071	\$126.00
120053007	\$126.00	120060027	\$126.00	120060072	\$126.00
120053008	\$126.00	120060028	\$126.00	120060073	\$126.00
120054001	\$126.00	120060029	\$126.00	120060074	\$126.00
120054002	\$126.00	120060030	\$126.00	120100001	\$126.00
120054003	\$126.00	120060031	\$126.00	120100002	\$126.00
120054004	\$126.00	120060032	\$126.00	120100003	\$126.00
120054006	\$126.00	120060033	\$126.00	120100004	\$126.00
120054007	\$126.00	120060034	\$126.00	120100005	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120100006	\$126.00	120111024	\$126.00	120121022	\$126.00
120100007	\$126.00	120112011	\$126.00	120121023	\$126.00
120100008	\$126.00	120112012	\$126.00	120121024	\$126.00
120100009	\$126.00	120112013	\$126.00	120121025	\$126.00
120100010	\$126.00	120112014	\$126.00	120122001	\$126.00
120100011	\$126.00	120112015	\$126.00	120122002	\$126.00
120100012	\$126.00	120112019	\$126.00	120122003	\$126.00
120100013	\$126.00	120112020	\$126.00	120122004	\$126.00
120100014	\$126.00	120112021	\$126.00	120122005	\$126.00
120100015	\$126.00	120112022	\$126.00	120122006	\$126.00
120100016	\$126.00	120112023	\$126.00	120122007	\$126.00
120100017	\$126.00	120113001	\$126.00	120122008	\$126.00
120100018	\$126.00	120113002	\$126.00	120122009	\$126.00
120100019	\$126.00	120113003	\$126.00	120122010	\$126.00
120100020	\$126.00	120113004	\$126.00	120122011	\$126.00
120100021	\$126.00	120113005	\$126.00	120122012	\$126.00
120100022	\$126.00	120113006	\$126.00	120122013	\$126.00
120100023	\$126.00	120113007	\$126.00	120122014	\$126.00
120100024	\$126.00	120113008	\$126.00	120122015	\$126.00
120100025	\$126.00	120113009	\$126.00	120122016	\$126.00
120100026	\$126.00	120113010	\$126.00	120122017	\$126.00
120100027	\$126.00	120113011	\$126.00	120122018	\$126.00
120100028	\$126.00	120121001	\$126.00	120122019	\$126.00
120100029	\$126.00	120121002	\$126.00	120122020	\$126.00
120100030	\$126.00	120121003	\$126.00	120122021	\$126.00
120100031	\$126.00	120121004	\$126.00	120122022	\$126.00
120100032	\$126.00	120121005	\$126.00	120122023	\$126.00
120100033	\$126.00	120121006	\$126.00	120122024	\$126.00
120100034	\$126.00	120121007	\$126.00	120122025	\$126.00
120100035	\$126.00	120121008	\$126.00	120122026	\$126.00
120100036	\$126.00	120121009	\$126.00	120123002	\$126.00
120100037	\$126.00	120121010	\$126.00	120123003	\$126.00
120100038	\$126.00	120121011	\$126.00	120123004	\$126.00
120100040	\$126.00	120121012	\$126.00	120123005	\$126.00
120111011	\$126.00	120121013	\$126.00	120123006	\$126.00
120111012	\$126.00	120121014	\$126.00	120123007	\$126.00
120111017	\$126.00	120121015	\$126.00	120123008	\$126.00
120111018	\$126.00	120121016	\$126.00	120123009	\$126.00
120111019	\$126.00	120121017	\$126.00	120123011	\$126.00
120111020	\$126.00	120121018	\$126.00	120123012	\$126.00
120111021	\$126.00	120121019	\$126.00	120123013	\$126.00
120111022	\$126.00	120121020	\$126.00	120123014	\$126.00
120111023	\$126.00	120121021	\$126.00	120123015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120123016	\$126.00	120143001	\$126.00	120151002	\$126.00
120123017	\$126.00	120143002	\$126.00	120151003	\$126.00
120123018	\$126.00	120143003	\$126.00	120151004	\$126.00
120123019	\$126.00	120143004	\$126.00	120151005	\$126.00
120123020	\$126.00	120143005	\$126.00	120151006	\$126.00
120123021	\$126.00	120143006	\$126.00	120151007	\$126.00
120123022	\$126.00	120143007	\$126.00	120151008	\$126.00
120123024	\$126.00	120143009	\$126.00	120151009	\$126.00
120123027	\$126.00	120143010	\$126.00	120151013	\$126.00
120141002	\$126.00	120144001	\$126.00	120151014	\$126.00
120141003	\$126.00	120144002	\$126.00	120151015	\$126.00
120141004	\$126.00	120144003	\$126.00	120151016	\$126.00
120141005	\$126.00	120144004	\$126.00	120151017	\$126.00
120141006	\$126.00	120144005	\$126.00	120151018	\$126.00
120141007	\$126.00	120144006	\$126.00	120151019	\$126.00
120141008	\$126.00	120144007	\$126.00	120151020	\$126.00
120141009	\$126.00	120144008	\$126.00	120151021	\$126.00
120141010	\$126.00	120144009	\$126.00	120151022	\$126.00
120141011	\$126.00	120144010	\$126.00	120151023	\$126.00
120141012	\$126.00	120144011	\$126.00	120151024	\$126.00
120141013	\$126.00	120144012	\$126.00	120151025	\$126.00
120141014	\$126.00	120144013	\$126.00	120151026	\$126.00
120141015	\$126.00	120144014	\$126.00	120151027	\$126.00
120141016	\$126.00	120144015	\$126.00	120151028	\$126.00
120141017	\$126.00	120144016	\$126.00	120151029	\$126.00
120141018	\$126.00	120144017	\$126.00	120151030	\$126.00
120141019	\$126.00	120144018	\$126.00	120151031	\$126.00
120141020	\$126.00	120144019	\$126.00	120151032	\$126.00
120141021	\$126.00	120144020	\$126.00	120151033	\$126.00
120141022	\$126.00	120145001	\$126.00	120152001	\$126.00
120142001	\$126.00	120145002	\$126.00	120152002	\$126.00
120142002	\$126.00	120145003	\$126.00	120152004	\$126.00
120142003	\$126.00	120145004	\$126.00	120152005	\$126.00
120142004	\$126.00	120145005	\$126.00	120152006	\$126.00
120142005	\$126.00	120145006	\$126.00	120152007	\$126.00
120142006	\$126.00	120145007	\$126.00	120152008	\$126.00
120142007	\$126.00	120145008	\$126.00	120152009	\$126.00
120142008	\$126.00	120145009	\$126.00	120152010	\$126.00
120142009	\$126.00	120145010	\$126.00	120152011	\$126.00
120142010	\$126.00	120145011	\$126.00	120152012	\$126.00
120142011	\$126.00	120145012	\$126.00	120152013	\$126.00
120142012	\$126.00	120145013	\$126.00	120152014	\$126.00
120142013	\$126.00	120151001	\$126.00	120152015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120153001	\$126.00	120162012	\$126.00	120171020	\$126.00
120153002	\$126.00	120162013	\$126.00	120171021	\$126.00
120153003	\$126.00	120162014	\$126.00	120171022	\$126.00
120153004	\$126.00	120162015	\$126.00	120171023	\$126.00
120153005	\$126.00	120162016	\$126.00	120171024	\$126.00
120153006	\$126.00	120162017	\$126.00	120171025	\$126.00
120153007	\$126.00	120162018	\$126.00	120171026	\$126.00
120153008	\$126.00	120162019	\$126.00	120171027	\$126.00
120153009	\$126.00	120162020	\$126.00	120171028	\$126.00
120153010	\$126.00	120162021	\$126.00	120171029	\$126.00
120153011	\$126.00	120162022	\$126.00	120171030	\$126.00
120153012	\$126.00	120162023	\$126.00	120171031	\$126.00
120153013	\$126.00	120162024	\$126.00	120171035	\$126.00
120153014	\$126.00	120162025	\$126.00	120171036	\$126.00
120153015	\$126.00	120162026	\$126.00	120171037	\$126.00
120153016	\$126.00	120162027	\$126.00	120171038	\$126.00
120153017	\$126.00	120162028	\$126.00	120171039	\$126.00
120153018	\$126.00	120162029	\$126.00	120171040	\$126.00
120153019	\$126.00	120162030	\$126.00	120171041	\$126.00
120153020	\$126.00	120162031	\$126.00	120171042	\$126.00
120153021	\$126.00	120162032	\$126.00	120171043	\$126.00
120153022	\$126.00	120162033	\$126.00	120172001	\$126.00
120153023	\$126.00	120162034	\$126.00	120172002	\$126.00
120153024	\$126.00	120162035	\$126.00	120172003	\$126.00
120161001	\$126.00	120171001	\$126.00	120172004	\$126.00
120161002	\$126.00	120171002	\$126.00	120172005	\$126.00
120161003	\$126.00	120171003	\$126.00	120172006	\$126.00
120161004	\$126.00	120171004	\$126.00	120181001	\$126.00
120161005	\$126.00	120171005	\$126.00	120181002	\$126.00
120161006	\$126.00	120171006	\$126.00	120181003	\$126.00
120161007	\$126.00	120171007	\$126.00	120181004	\$126.00
120161008	\$126.00	120171008	\$126.00	120181005	\$126.00
120162001	\$126.00	120171009	\$126.00	120181006	\$126.00
120162002	\$126.00	120171010	\$126.00	120181007	\$126.00
120162003	\$126.00	120171011	\$126.00	120181008	\$126.00
120162004	\$126.00	120171012	\$126.00	120181009	\$126.00
120162005	\$126.00	120171013	\$126.00	120181010	\$126.00
120162006	\$126.00	120171014	\$126.00	120181011	\$126.00
120162007	\$126.00	120171015	\$126.00	120181012	\$126.00
120162008	\$126.00	120171016	\$126.00	120181013	\$126.00
120162009	\$126.00	120171017	\$126.00	120181014	\$126.00
120162010	\$126.00	120171018	\$126.00	120181015	\$126.00
120162011	\$126.00	120171019	\$126.00	120181016	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120181017	\$126.00	120210016	\$126.00	120223005	\$126.00
120181018	\$126.00	120210017	\$126.00	120223006	\$126.00
120181019	\$126.00	120210018	\$126.00	120223007	\$126.00
120181020	\$126.00	120210019	\$126.00	120223008	\$126.00
120181021	\$126.00	120210020	\$126.00	120223009	\$126.00
120181022	\$126.00	120210021	\$126.00	120223010	\$126.00
120181023	\$126.00	120210022	\$126.00	120231001	\$126.00
120181024	\$126.00	120210023	\$126.00	120231002	\$126.00
120181025	\$126.00	120210024	\$126.00	120231003	\$126.00
120181026	\$126.00	120210025	\$126.00	120231004	\$126.00
120181027	\$126.00	120221001	\$126.00	120231005	\$126.00
120181028	\$126.00	120221002	\$126.00	120231006	\$126.00
120181029	\$126.00	120221003	\$126.00	120231007	\$126.00
120182002	\$126.00	120221004	\$126.00	120231008	\$126.00
120182003	\$126.00	120221005	\$126.00	120231009	\$126.00
120182004	\$126.00	120221006	\$126.00	120232001	\$126.00
120182005	\$126.00	120221007	\$126.00	120232002	\$126.00
120182006	\$126.00	120221008	\$126.00	120232003	\$126.00
120182007	\$126.00	120221009	\$126.00	120232004	\$126.00
120182008	\$126.00	120221010	\$126.00	120232005	\$126.00
120182009	\$126.00	120221011	\$126.00	120232006	\$126.00
120182010	\$126.00	120221012	\$126.00	120232007	\$126.00
120182011	\$126.00	120221013	\$126.00	120232008	\$126.00
120182012	\$126.00	120221014	\$126.00	120232009	\$126.00
120182013	\$126.00	120221015	\$126.00	120232010	\$126.00
120182014	\$126.00	120222001	\$126.00	120232011	\$126.00
120182015	\$126.00	120222002	\$126.00	120232012	\$126.00
120182016	\$126.00	120222003	\$126.00	120232013	\$126.00
120210001	\$126.00	120222004	\$126.00	120232014	\$126.00
120210002	\$126.00	120222005	\$126.00	120232015	\$126.00
120210003	\$126.00	120222006	\$126.00	120232016	\$126.00
120210004	\$126.00	120222007	\$126.00	120232017	\$126.00
120210005	\$126.00	120222008	\$126.00	120232018	\$126.00
120210006	\$126.00	120222009	\$126.00	120232019	\$126.00
120210007	\$126.00	120222010	\$126.00	120232020	\$126.00
120210008	\$126.00	120222011	\$126.00	120232021	\$126.00
120210009	\$126.00	120222012	\$126.00	120241001	\$126.00
120210010	\$126.00	120222013	\$126.00	120241002	\$126.00
120210011	\$126.00	120222014	\$126.00	120241003	\$126.00
120210012	\$126.00	120223001	\$126.00	120241004	\$126.00
120210013	\$126.00	120223002	\$126.00	120241005	\$126.00
120210014	\$126.00	120223003	\$126.00	120241006	\$126.00
120210015	\$126.00	120223004	\$126.00	120241007	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120241008	\$126.00	120260016	\$126.00	120321002	\$126.00
120242001	\$126.00	120260017	\$126.00	120321003	\$126.00
120242002	\$126.00	120260018	\$126.00	120321004	\$126.00
120242003	\$126.00	120260019	\$126.00	120321005	\$126.00
120242004	\$126.00	120260020	\$126.00	120321006	\$126.00
120242005	\$126.00	120260021	\$126.00	120321013	\$126.00
120242006	\$126.00	120260022	\$126.00	120321014	\$126.00
120242007	\$126.00	120260023	\$126.00	120321015	\$126.00
120242008	\$126.00	120260024	\$126.00	120321016	\$126.00
120242009	\$126.00	120260025	\$126.00	120321017	\$126.00
120242010	\$126.00	120260026	\$126.00	120321018	\$126.00
120250001	\$126.00	120260027	\$126.00	120321019	\$126.00
120250002	\$126.00	120260028	\$126.00	120321020	\$126.00
120250003	\$126.00	120260029	\$126.00	120321021	\$126.00
120250004	\$126.00	120311001	\$126.00	120321022	\$126.00
120250005	\$126.00	120311002	\$126.00	120321023	\$126.00
120250006	\$126.00	120311003	\$126.00	120321024	\$126.00
120250007	\$126.00	120311004	\$126.00	120321025	\$126.00
120250008	\$126.00	120311005	\$126.00	120321026	\$126.00
120250009	\$126.00	120311006	\$126.00	120321027	\$126.00
120250010	\$126.00	120311007	\$126.00	120321030	\$126.00
120250011	\$126.00	120311008	\$126.00	120321031	\$126.00
120250012	\$126.00	120311009	\$126.00	120321032	\$126.00
120250013	\$126.00	120311010	\$126.00	120322001	\$126.00
120250014	\$126.00	120311011	\$126.00	120322002	\$126.00
120250015	\$126.00	120312001	\$126.00	120322003	\$126.00
120250016	\$126.00	120312004	\$126.00	120322004	\$126.00
120250017	\$126.00	120312005	\$126.00	120322005	\$126.00
120250029	\$126.00	120312006	\$126.00	120322006	\$126.00
120260001	\$126.00	120312007	\$126.00	120322007	\$126.00
120260002	\$126.00	120312008	\$126.00	120322008	\$126.00
120260003	\$126.00	120312009	\$126.00	120322009	\$126.00
120260004	\$126.00	120312014	\$126.00	120322010	\$126.00
120260005	\$126.00	120312015	\$126.00	120322015	\$126.00
120260006	\$126.00	120312016	\$126.00	120322016	\$126.00
120260008	\$126.00	120312017	\$126.00	120322018	\$126.00
120260009	\$126.00	120312018	\$126.00	120322019	\$126.00
120260010	\$126.00	120312019	\$126.00	120351001	\$126.00
120260011	\$126.00	120312023	\$126.00	120351002	\$126.00
120260012	\$126.00	120312024	\$126.00	120351003	\$126.00
120260013	\$126.00	120312025	\$126.00	120351004	\$126.00
120260014	\$126.00	120312026	\$126.00	120352001	\$126.00
120260015	\$126.00	120321001	\$126.00	120352002	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120352003	\$126.00	120381008	\$126.00	120381039	\$126.00
120352004	\$126.00	120381009	\$126.00	120381040	\$126.00
120352005	\$126.00	120381010	\$126.00	120381041	\$126.00
120352007	\$126.00	120381011	\$126.00	120381042	\$126.00
120353001	\$126.00	120381012	\$126.00	120381043	\$126.00
120353002	\$126.00	120381014	\$126.00	120381044	\$126.00
120353003	\$126.00	120381015	\$126.00	120381046	\$126.00
120353004	\$126.00	120381016	\$126.00	120381047	\$126.00
120353005	\$126.00	120381017	\$126.00	120381048	\$126.00
120353006	\$126.00	120381018	\$126.00	120381049	\$126.00
120353007	\$126.00	120381020	\$126.00	120381051	\$126.00
120353008	\$126.00	120381021	\$126.00	120381053	\$126.00
120353009	\$126.00	120381022	\$126.00	120381054	\$126.00
120353010	\$126.00	120381023	\$126.00	120381055	\$126.00
120353011	\$126.00	120381024	\$126.00	120381057	\$126.00
120353012	\$126.00	120381025	\$126.00	120381058	\$126.00
120360001	\$126.00	120381027	\$126.00	120381059	\$126.00
120360002	\$126.00	120381028	\$126.00	120381060	\$126.00
120360003	\$126.00	120381029	\$126.00	120381061	\$126.00
120360004	\$126.00	120381030	\$126.00	120381062	\$126.00
120381001	\$126.00	120381031	\$126.00	120381063	\$126.00
120381002	\$126.00	120381032	\$126.00	120381064	\$126.00
120381003	\$126.00	120381034	\$126.00	120381065	\$126.00
120381005	\$126.00	120381035	\$126.00	120381067	\$126.00
120381006	\$126.00	120381036	\$126.00	120381069	\$126.00
120381007	\$126.00	120381038	\$126.00	120381070	\$126.00
<b>Totals</b>		<b>Parcels 3,690</b>		<b>Levy \$464,940.00</b>	

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114040019	\$415.22	114071034	\$415.22	114081028	\$415.22
114040020	\$415.22	114071035	\$415.22	114081029	\$415.22
114070014	\$2,346.04	114071036	\$415.22	114081030	\$415.22
114070015	\$747.40	114071037	\$415.22	114081031	\$415.22
114070016	\$13,619.54	114071038	\$415.22	114081032	\$415.22
114070017	\$1,847.76	114071039	\$415.22	114081033	\$415.22
114070018	\$1,577.86	114071041	\$415.22	114081035	\$415.22
114070019	\$622.84	114071042	\$415.22	114081036	\$415.22
114070020	\$4,899.70	114071043	\$415.22	114081037	\$415.22
114070021	\$4,775.14	114071044	\$415.22	114081038	\$415.22
114070022	\$1,017.30	114071045	\$415.22	114081039	\$415.22
114070039	\$10,795.98	114071046	\$415.22	114081040	\$415.22
114070040	\$415.22	114071047	\$415.22	114081041	\$415.22
114071001	\$415.22	114071048	\$415.22	114082001	\$415.22
114071002	\$415.22	114071050	\$415.22	114082002	\$415.22
114071003	\$415.22	114071051	\$415.22	114082003	\$415.22
114071004	\$415.22	114071052	\$415.22	114082004	\$415.22
114071005	\$415.22	114071053	\$415.22	114082005	\$415.22
114071006	\$415.22	114071054	\$415.22	114082006	\$415.22
114071008	\$415.22	114071055	\$415.22	114082007	\$415.22
114071009	\$415.22	114081001	\$415.22	114082008	\$415.22
114071010	\$415.22	114081002	\$415.22	114082009	\$415.22
114071011	\$415.22	114081003	\$415.22	114082010	\$415.22
114071012	\$415.22	114081005	\$415.22	114082011	\$415.22
114071013	\$415.22	114081006	\$415.22	114082013	\$415.22
114071014	\$415.22	114081007	\$415.22	114082014	\$415.22
114071015	\$415.22	114081009	\$415.22	114082015	\$415.22
114071016	\$415.22	114081010	\$415.22	114082016	\$415.22
114071017	\$415.22	114081012	\$415.22	114082017	\$415.22
114071018	\$415.22	114081013	\$415.22	114082019	\$415.22
114071019	\$415.22	114081014	\$415.22	114082020	\$415.22
114071020	\$415.22	114081015	\$415.22	114082022	\$415.22
114071021	\$415.22	114081016	\$415.22	114082023	\$415.22
114071023	\$415.22	114081017	\$415.22	114082024	\$415.22
114071024	\$415.22	114081018	\$415.22	114082025	\$415.22
114071025	\$415.22	114081019	\$415.22	114082027	\$415.22
114071026	\$415.22	114081020	\$415.22	114082028	\$415.22
114071027	\$415.22	114081021	\$415.22	114082029	\$415.22
114071028	\$415.22	114081022	\$415.22	114083001	\$415.22
114071029	\$415.22	114081023	\$415.22	114083002	\$415.22
114071030	\$415.22	114081025	\$415.22	114083003	\$415.22
114071032	\$415.22	114081026	\$415.22	114083004	\$415.22
114071033	\$415.22	114081027	\$415.22	114083005	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114083006	\$415.22	114083055	\$415.22	114091004	\$415.22
114083007	\$415.22	114083056	\$415.22	114091005	\$415.22
114083008	\$415.22	114083057	\$415.22	114091006	\$415.22
114083009	\$415.22	114083058	\$415.22	114091007	\$415.22
114083010	\$415.22	114083059	\$415.22	114091008	\$415.22
114083011	\$415.22	114083060	\$415.22	114091009	\$415.22
114083012	\$415.22	114083061	\$415.22	114091010	\$415.22
114083014	\$415.22	114083062	\$415.22	114091012	\$415.22
114083015	\$415.22	114083064	\$415.22	114091013	\$415.22
114083016	\$415.22	114083065	\$415.22	114091014	\$415.22
114083017	\$415.22	114083066	\$415.22	114091015	\$415.22
114083018	\$415.22	114083067	\$415.22	114091016	\$415.22
114083019	\$415.22	114083068	\$415.22	114091017	\$415.22
114083020	\$415.22	114083069	\$415.22	114091018	\$415.22
114083021	\$415.22	114083070	\$415.22	114091020	\$415.22
114083022	\$415.22	114083071	\$415.22	114091021	\$415.22
114083023	\$415.22	114083072	\$415.22	114091022	\$415.22
114083025	\$415.22	114083073	\$415.22	114091023	\$415.22
114083026	\$415.22	114083075	\$415.22	114091024	\$415.22
114083027	\$415.22	114083076	\$415.22	114091025	\$415.22
114083028	\$415.22	114083077	\$415.22	114091026	\$415.22
114083029	\$415.22	114083078	\$415.22	114091028	\$415.22
114083030	\$415.22	114083080	\$415.22	114091029	\$415.22
114083031	\$415.22	114083081	\$415.22	114091030	\$415.22
114083032	\$415.22	114083082	\$415.22	114091031	\$415.22
114083034	\$415.22	114083083	\$415.22	114091032	\$415.22
114083035	\$415.22	114083084	\$415.22	114091033	\$415.22
114083036	\$415.22	114083085	\$415.22	114091034	\$415.22
114083037	\$415.22	114083086	\$415.22	114091036	\$415.22
114083038	\$415.22	114083087	\$415.22	114091037	\$415.22
114083039	\$415.22	114083089	\$415.22	114091038	\$415.22
114083040	\$415.22	114083090	\$415.22	114091039	\$415.22
114083041	\$415.22	114083091	\$415.22	114091041	\$415.22
114083043	\$415.22	114083092	\$415.22	114091042	\$415.22
114083044	\$415.22	114083093	\$415.22	114091043	\$415.22
114083046	\$415.22	114083094	\$415.22	114111001	\$415.22
114083047	\$415.22	114083095	\$415.22	114111002	\$415.22
114083048	\$415.22	114083096	\$415.22	114111003	\$415.22
114083049	\$415.22	114083097	\$415.22	114111004	\$415.22
114083050	\$415.22	114083098	\$415.22	114111005	\$415.22
114083051	\$415.22	114091001	\$415.22	114111006	\$415.22
114083052	\$415.22	114091002	\$415.22	114111007	\$415.22
114083053	\$415.22	114091003	\$415.22	114111008	\$415.22



## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114111009	\$415.22	114114007	\$415.22	114123009	\$415.22
114111010	\$415.22	114114008	\$415.22	114123010	\$415.22
114111011	\$415.22	114114009	\$415.22	114123011	\$415.22
114111012	\$415.22	114114010	\$415.22	114123012	\$415.22
114111013	\$415.22	114114011	\$415.22	114123013	\$415.22
114112001	\$415.22	114114012	\$415.22	114123014	\$415.22
114112002	\$415.22	114114013	\$415.22	114123015	\$415.22
114112003	\$415.22	114114014	\$415.22	114123016	\$415.22
114112004	\$415.22	114114015	\$415.22	114130005	\$415.22
114112005	\$415.22	114114016	\$415.22	114130006	\$415.22
114112006	\$415.22	114114017	\$415.22	114130007	\$415.22
114112007	\$415.22	114114018	\$415.22	114130008	\$415.22
114112008	\$415.22	114114019	\$415.22	114130009	\$415.22
114112009	\$415.22	114114020	\$415.22	114230002	\$415.22
114112010	\$415.22	114114021	\$415.22	114230003	\$415.22
114112011	\$415.22	114121001	\$415.22	114230004	\$415.22
114112012	\$415.22	114121002	\$415.22	114230005	\$415.22
114113001	\$415.22	114121003	\$415.22	114230006	\$415.22
114113002	\$415.22	114121004	\$415.22	114230007	\$415.22
114113003	\$415.22	114121005	\$415.22	114230008	\$415.22
114113004	\$415.22	114121006	\$415.22	114230009	\$415.22
114113005	\$415.22	114121007	\$415.22	114230010	\$415.22
114113006	\$415.22	114121008	\$415.22	114230011	\$415.22
114113007	\$415.22	114121009	\$415.22	114230012	\$415.22
114113008	\$415.22	114121010	\$415.22	114230013	\$415.22
114113009	\$415.22	114122001	\$415.22	114230014	\$415.22
114113010	\$415.22	114122002	\$415.22	114230015	\$415.22
114113011	\$415.22	114122003	\$415.22	114230016	\$415.22
114113012	\$415.22	114122004	\$415.22	114230017	\$415.22
114113013	\$415.22	114122005	\$415.22	114230018	\$415.22
114113014	\$415.22	114122006	\$415.22	114230019	\$415.22
114113015	\$415.22	114122007	\$415.22	114230020	\$415.22
114113016	\$415.22	114122008	\$415.22	114230021	\$415.22
114113017	\$415.22	114122009	\$415.22	114230022	\$415.22
114113018	\$415.22	114122010	\$415.22	114230023	\$415.22
114113019	\$415.22	114123001	\$415.22	114230024	\$415.22
114113020	\$415.22	114123002	\$415.22	114230025	\$415.22
114114001	\$415.22	114123003	\$415.22	114230026	\$415.22
114114002	\$415.22	114123004	\$415.22	114230027	\$415.22
114114003	\$415.22	114123005	\$415.22	114230028	\$415.22
114114004	\$415.22	114123006	\$415.22	114230030	\$415.22
114114005	\$415.22	114123007	\$415.22	114230031	\$415.22
114114006	\$415.22	114123008	\$415.22	114230032	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114230033	\$415.22	114242002	\$415.22	114251009	\$415.22
114230034	\$415.22	114242003	\$415.22	114251010	\$415.22
114230035	\$415.22	114242004	\$415.22	114251011	\$415.22
114230036	\$415.22	114242005	\$415.22	114252001	\$415.22
114230037	\$415.22	114242006	\$415.22	114252002	\$415.22
114230038	\$415.22	114242007	\$415.22	114252003	\$415.22
114230039	\$415.22	114242008	\$415.22	114252004	\$415.22
114230041	\$415.22	114242009	\$415.22	114252005	\$415.22
114230042	\$415.22	114242010	\$415.22	114252006	\$415.22
114230043	\$415.22	114242011	\$415.22	114252007	\$415.22
114230044	\$415.22	114242012	\$415.22	114252008	\$415.22
114230045	\$415.22	114242013	\$415.22	114252009	\$415.22
114230046	\$415.22	114242014	\$415.22	114252010	\$415.22
114230047	\$415.22	114242015	\$415.22	114252011	\$415.22
114230048	\$415.22	114242016	\$415.22	114252012	\$415.22
114230049	\$415.22	114242017	\$415.22	114252013	\$415.22
114230050	\$415.22	114242018	\$415.22	114252017	\$415.22
114230051	\$415.22	114242019	\$415.22	114252018	\$415.22
114230052	\$415.22	114242020	\$415.22	114252019	\$415.22
114230053	\$415.22	114242021	\$415.22	114253001	\$415.22
114230054	\$415.22	114242022	\$415.22	114253002	\$415.22
114230055	\$415.22	114242023	\$415.22	114253003	\$415.22
114230056	\$415.22	114242024	\$415.22	114253004	\$415.22
114230057	\$415.22	114242025	\$415.22	114253005	\$415.22
114230058	\$415.22	114243001	\$415.22	114253006	\$415.22
114230059	\$415.22	114243002	\$415.22	114253007	\$415.22
114230060	\$415.22	114243003	\$415.22	114253008	\$415.22
114230061	\$415.22	114243004	\$415.22	114253009	\$415.22
114241001	\$415.22	114243005	\$415.22	114253010	\$415.22
114241002	\$415.22	114243006	\$415.22	114253011	\$415.22
114241003	\$415.22	114243007	\$415.22	114253012	\$415.22
114241004	\$415.22	114243008	\$415.22	114253013	\$415.22
114241005	\$415.22	114243009	\$415.22	114253014	\$415.22
114241006	\$415.22	114243011	\$415.22	114253015	\$415.22
114241007	\$415.22	114243012	\$415.22	114253016	\$415.22
114241008	\$415.22	114251001	\$415.22	114253017	\$415.22
114241009	\$415.22	114251002	\$415.22	114253018	\$415.22
114241010	\$415.22	114251003	\$415.22	114261002	\$415.22
114241011	\$415.22	114251004	\$415.22	114261003	\$415.22
114241012	\$415.22	114251005	\$415.22	114261004	\$415.22
114241013	\$415.22	114251006	\$415.22	114261005	\$415.22
114241014	\$415.22	114251007	\$415.22	114261006	\$415.22
114242001	\$415.22	114251008	\$415.22	114261007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114261008	\$415.22	114263009	\$415.22	114272020	\$415.22
114261009	\$415.22	114263010	\$415.22	114272021	\$415.22
114261010	\$415.22	114263011	\$415.22	114272022	\$415.22
114261011	\$415.22	114271001	\$415.22	114272023	\$415.22
114261012	\$415.22	114271003	\$415.22	114272024	\$415.22
114261013	\$415.22	114271004	\$415.22	114272025	\$415.22
114261015	\$415.22	114271005	\$415.22	114272026	\$415.22
114261016	\$415.22	114271006	\$415.22	114272027	\$415.22
114261017	\$415.22	114271007	\$415.22	114272028	\$415.22
114261018	\$415.22	114271008	\$415.22	114272029	\$415.22
114261019	\$415.22	114271009	\$415.22	114273001	\$415.22
114261020	\$415.22	114271010	\$415.22	114273002	\$415.22
114261021	\$415.22	114271011	\$415.22	114273003	\$415.22
114261022	\$415.22	114271012	\$415.22	114273004	\$415.22
114262001	\$415.22	114271013	\$415.22	114273005	\$415.22
114262002	\$415.22	114271014	\$415.22	114273006	\$415.22
114262003	\$415.22	114271015	\$415.22	114273007	\$415.22
114262004	\$415.22	114271016	\$415.22	114273008	\$415.22
114262005	\$415.22	114271017	\$415.22	114273009	\$415.22
114262006	\$415.22	114271018	\$415.22	114273010	\$415.22
114262007	\$415.22	114271019	\$415.22	114281001	\$415.22
114262008	\$415.22	114271020	\$415.22	114281002	\$415.22
114262009	\$415.22	114271021	\$415.22	114281003	\$415.22
114262010	\$415.22	114271022	\$415.22	114281004	\$415.22
114262011	\$415.22	114272001	\$415.22	114281005	\$415.22
114262012	\$415.22	114272002	\$415.22	114281006	\$415.22
114262013	\$415.22	114272003	\$415.22	114281007	\$415.22
114262014	\$415.22	114272004	\$415.22	114281008	\$415.22
114262015	\$415.22	114272005	\$415.22	114281009	\$415.22
114262016	\$415.22	114272006	\$415.22	114281010	\$415.22
114262017	\$415.22	114272007	\$415.22	114281011	\$415.22
114262018	\$415.22	114272008	\$415.22	114281012	\$415.22
114262019	\$415.22	114272009	\$415.22	114281013	\$415.22
114262020	\$415.22	114272010	\$415.22	114281014	\$415.22
114262021	\$415.22	114272011	\$415.22	114281015	\$415.22
114263001	\$415.22	114272012	\$415.22	114281016	\$415.22
114263002	\$415.22	114272013	\$415.22	114281017	\$415.22
114263003	\$415.22	114272014	\$415.22	114281018	\$415.22
114263004	\$415.22	114272015	\$415.22	114281019	\$415.22
114263005	\$415.22	114272016	\$415.22	114281020	\$415.22
114263006	\$415.22	114272017	\$415.22	114281021	\$415.22
114263007	\$415.22	114272018	\$415.22	114281022	\$415.22
114263008	\$415.22	114272019	\$415.22	114281023	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114281024	\$415.22	114292021	\$415.22	114301015	\$415.22
114281025	\$415.22	114292022	\$415.22	114301016	\$415.22
114281031	\$415.22	114293001	\$415.22	114301017	\$415.22
114281032	\$415.22	114293002	\$415.22	114301018	\$415.22
114282001	\$415.22	114293003	\$415.22	114301019	\$415.22
114282002	\$415.22	114293004	\$415.22	114301020	\$415.22
114282003	\$415.22	114293005	\$415.22	114301021	\$415.22
114282004	\$415.22	114293006	\$415.22	114301022	\$415.22
114282005	\$415.22	114293007	\$415.22	114301023	\$415.22
114282006	\$415.22	114293008	\$415.22	114301024	\$415.22
114282007	\$415.22	114293009	\$415.22	114301025	\$415.22
114282008	\$415.22	114293010	\$415.22	114301026	\$415.22
114291001	\$415.22	114293011	\$415.22	114301027	\$415.22
114291002	\$415.22	114293012	\$415.22	114301028	\$415.22
114291003	\$415.22	114293013	\$415.22	114301029	\$415.22
114291004	\$415.22	114293014	\$415.22	114301030	\$415.22
114291005	\$415.22	114293015	\$415.22	114301031	\$415.22
114291006	\$415.22	114293016	\$415.22	114301032	\$415.22
114291007	\$415.22	114293017	\$415.22	114301033	\$415.22
114291008	\$415.22	114293018	\$415.22	114301034	\$415.22
114291009	\$415.22	114293019	\$415.22	114301035	\$415.22
114291010	\$415.22	114293020	\$415.22	114301036	\$415.22
114291011	\$415.22	114293021	\$415.22	114301037	\$415.22
114292001	\$415.22	114293022	\$415.22	114301038	\$415.22
114292002	\$415.22	114293023	\$415.22	114302001	\$415.22
114292003	\$415.22	114293024	\$415.22	114302002	\$415.22
114292004	\$415.22	114293025	\$415.22	114302003	\$415.22
114292005	\$415.22	114293026	\$415.22	114303001	\$415.22
114292006	\$415.22	114293027	\$415.22	114303002	\$415.22
114292007	\$415.22	114301001	\$415.22	114303003	\$415.22
114292008	\$415.22	114301002	\$415.22	114303004	\$415.22
114292009	\$415.22	114301003	\$415.22	114303005	\$415.22
114292010	\$415.22	114301004	\$415.22	114303006	\$415.22
114292011	\$415.22	114301005	\$415.22	114303007	\$415.22
114292012	\$415.22	114301006	\$415.22	114303008	\$415.22
114292013	\$415.22	114301007	\$415.22	114303009	\$415.22
114292014	\$415.22	114301008	\$415.22	114303010	\$415.22
114292015	\$415.22	114301009	\$415.22	114303011	\$415.22
114292016	\$415.22	114301010	\$415.22	114303012	\$415.22
114292017	\$415.22	114301011	\$415.22	114303013	\$415.22
114292018	\$415.22	114301012	\$415.22	114303014	\$415.22
114292019	\$415.22	114301013	\$415.22	114303015	\$415.22
114292020	\$415.22	114301014	\$415.22	114303016	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114303017	\$415.22	114311030	\$415.22	114321005	\$415.22
114303018	\$415.22	114311031	\$415.22	114321006	\$415.22
114303019	\$415.22	114311032	\$415.22	114321007	\$415.22
114303020	\$415.22	114311033	\$415.22	114321008	\$415.22
114303021	\$415.22	114311034	\$415.22	114321009	\$415.22
114303022	\$415.22	114311036	\$415.22	114321010	\$415.22
114303023	\$415.22	114311037	\$415.22	114321011	\$415.22
114303024	\$415.22	114311038	\$415.22	114321012	\$415.22
114303025	\$415.22	114311039	\$415.22	114321013	\$415.22
114303026	\$415.22	114311040	\$415.22	114321014	\$415.22
114303027	\$415.22	114311041	\$415.22	114321015	\$415.22
114303028	\$415.22	114311042	\$415.22	114321016	\$415.22
114303029	\$415.22	114311043	\$415.22	114321017	\$415.22
114303030	\$415.22	114311044	\$415.22	114321018	\$415.22
114303031	\$415.22	114311045	\$415.22	114321019	\$415.22
114303032	\$415.22	114311046	\$415.22	114321020	\$415.22
114311001	\$415.22	114311048	\$415.22	114321021	\$415.22
114311002	\$415.22	114311049	\$415.22	114321022	\$415.22
114311003	\$415.22	114311050	\$415.22	114321023	\$415.22
114311004	\$415.22	114311051	\$415.22	114321024	\$415.22
114311005	\$415.22	114311052	\$415.22	114321025	\$415.22
114311006	\$415.22	114311053	\$415.22	114321026	\$415.22
114311007	\$415.22	114311054	\$415.22	114321027	\$415.22
114311008	\$415.22	114311055	\$415.22	114321028	\$415.22
114311009	\$415.22	114311056	\$415.22	114321029	\$415.22
114311010	\$415.22	114311057	\$415.22	114322001	\$415.22
114311011	\$415.22	114311058	\$415.22	114322002	\$415.22
114311012	\$415.22	114311059	\$415.22	114322003	\$415.22
114311013	\$415.22	114311060	\$415.22	114322004	\$415.22
114311015	\$415.22	114311061	\$415.22	114322005	\$415.22
114311016	\$415.22	114311062	\$415.22	114322006	\$415.22
114311017	\$415.22	114311064	\$415.22	114322007	\$415.22
114311018	\$415.22	114311065	\$415.22	114322008	\$415.22
114311019	\$415.22	114311066	\$415.22	114322009	\$415.22
114311020	\$415.22	114311067	\$415.22	114322010	\$415.22
114311021	\$415.22	114311068	\$415.22	114322011	\$415.22
114311022	\$415.22	114311069	\$415.22	114322012	\$415.22
114311023	\$415.22	114311070	\$415.22	114322013	\$415.22
114311024	\$415.22	114311071	\$415.22	114322014	\$415.22
114311025	\$415.22	114311072	\$415.22	114322015	\$415.22
114311027	\$415.22	114311073	\$415.22	114322016	\$415.22
114311028	\$415.22	114321001	\$415.22	114322017	\$415.22
114311029	\$415.22	114321002	\$415.22	114322018	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114322019	\$415.22	114332004	\$415.22	114340026	\$415.22
114322020	\$415.22	114332005	\$415.22	114340027	\$415.22
114322021	\$415.22	114332006	\$415.22	114340028	\$415.22
114322022	\$415.22	114332007	\$415.22	114340029	\$415.22
114323001	\$415.22	114332008	\$415.22	114350001	\$415.22
114323002	\$415.22	114332009	\$415.22	114350002	\$415.22
114323003	\$415.22	114332010	\$415.22	114350003	\$415.22
114323004	\$415.22	114332011	\$415.22	114350004	\$415.22
114323005	\$415.22	114332012	\$415.22	114350005	\$415.22
114323006	\$415.22	114332013	\$415.22	114350006	\$415.22
114323007	\$415.22	114332014	\$415.22	114350007	\$415.22
114323008	\$415.22	114332015	\$415.22	114350008	\$415.22
114323009	\$415.22	114332016	\$415.22	114350009	\$415.22
114323010	\$415.22	114332017	\$415.22	114350010	\$415.22
114323011	\$415.22	114332018	\$415.22	114350011	\$415.22
114323012	\$415.22	114332019	\$415.22	114350012	\$415.22
114323013	\$415.22	114332020	\$415.22	114350013	\$415.22
114323014	\$415.22	114332021	\$415.22	114350014	\$415.22
114323015	\$415.22	114332022	\$415.22	114350015	\$415.22
114323016	\$415.22	114332023	\$415.22	114350016	\$415.22
114323017	\$415.22	114340001	\$415.22	114350017	\$415.22
114331001	\$415.22	114340002	\$415.22	114350018	\$415.22
114331002	\$415.22	114340003	\$415.22	114350019	\$415.22
114331003	\$415.22	114340004	\$415.22	114350020	\$415.22
114331004	\$415.22	114340005	\$415.22	114350021	\$415.22
114331005	\$415.22	114340006	\$415.22	114350022	\$415.22
114331006	\$415.22	114340007	\$415.22	114350023	\$415.22
114331007	\$415.22	114340008	\$415.22	114350024	\$415.22
114331008	\$415.22	114340009	\$415.22	114350025	\$415.22
114331009	\$415.22	114340010	\$415.22	114350026	\$415.22
114331010	\$415.22	114340011	\$415.22	114350027	\$415.22
114331011	\$415.22	114340012	\$415.22	114350028	\$415.22
114331012	\$415.22	114340013	\$415.22	114350029	\$415.22
114331013	\$415.22	114340014	\$415.22	114350030	\$415.22
114331014	\$415.22	114340015	\$415.22	114350031	\$415.22
114331015	\$415.22	114340016	\$415.22	114350032	\$415.22
114331017	\$415.22	114340017	\$415.22	114350033	\$415.22
114331018	\$415.22	114340018	\$415.22	114350034	\$415.22
114331019	\$415.22	114340019	\$415.22	114350035	\$415.22
114331020	\$415.22	114340020	\$415.22	114350036	\$415.22
114332001	\$415.22	114340021	\$415.22	114350037	\$415.22
114332002	\$415.22	114340022	\$415.22	114350038	\$415.22
114332003	\$415.22	114340025	\$415.22	114350039	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114350040	\$415.22	114362013	\$415.22	114381008	\$415.22
114350041	\$415.22	114362014	\$415.22	114381009	\$415.22
114350042	\$415.22	114362015	\$415.22	114381010	\$415.22
114350043	\$415.22	114362016	\$415.22	114381011	\$415.22
114350044	\$415.22	114362017	\$415.22	114381012	\$415.22
114350045	\$415.22	114362018	\$415.22	114381013	\$415.22
114350046	\$415.22	114371001	\$415.22	114381014	\$415.22
114361001	\$415.22	114371002	\$415.22	114381015	\$415.22
114361002	\$415.22	114371003	\$415.22	114381016	\$415.22
114361003	\$415.22	114371004	\$415.22	114381018	\$415.22
114361004	\$415.22	114371005	\$415.22	114381019	\$415.22
114361005	\$415.22	114371006	\$415.22	114381020	\$415.22
114361006	\$415.22	114371007	\$415.22	114381021	\$415.22
114361007	\$415.22	114371008	\$415.22	114381023	\$415.22
114361008	\$415.22	114371009	\$415.22	114381024	\$415.22
114361009	\$415.22	114371010	\$415.22	114381025	\$415.22
114361010	\$415.22	114371011	\$415.22	114381026	\$415.22
114361011	\$415.22	114371012	\$415.22	114381027	\$415.22
114361012	\$415.22	114371013	\$415.22	114381028	\$415.22
114361013	\$415.22	114371014	\$415.22	114381029	\$415.22
114361014	\$415.22	114371015	\$415.22	114381030	\$415.22
114361015	\$415.22	114371016	\$415.22	114382001	\$415.22
114361016	\$415.22	114371017	\$415.22	114382002	\$415.22
114361017	\$415.22	114371018	\$415.22	114382003	\$415.22
114361018	\$415.22	114371019	\$415.22	114382004	\$415.22
114361019	\$415.22	114371020	\$415.22	114382005	\$415.22
114361020	\$415.22	114371021	\$415.22	114382006	\$415.22
114361023	\$415.22	114371022	\$415.22	114382007	\$415.22
114361024	\$415.22	114372001	\$415.22	114382008	\$415.22
114361025	\$415.22	114372002	\$415.22	114382010	\$415.22
114361026	\$415.22	114372003	\$415.22	114382011	\$415.22
114362001	\$415.22	114372004	\$415.22	114382012	\$415.22
114362002	\$415.22	114372005	\$415.22	114382013	\$415.22
114362003	\$415.22	114372006	\$415.22	114382014	\$415.22
114362004	\$415.22	114372007	\$415.22	114382015	\$415.22
114362005	\$415.22	114372008	\$415.22	114382016	\$415.22
114362006	\$415.22	114372009	\$415.22	114382017	\$415.22
114362007	\$415.22	114381001	\$415.22	114382018	\$415.22
114362008	\$415.22	114381002	\$415.22	114382020	\$415.22
114362009	\$415.22	114381003	\$415.22	114382021	\$415.22
114362010	\$415.22	114381004	\$415.22	114382022	\$415.22
114362011	\$415.22	114381005	\$415.22	114382023	\$415.22
114362012	\$415.22	114381006	\$415.22	114382024	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114382026	\$415.22	114401001	\$415.22	114410008	\$415.22
114382027	\$415.22	114401002	\$415.22	114410009	\$415.22
114382028	\$415.22	114401003	\$415.22	114410010	\$415.22
114382029	\$415.22	114401004	\$415.22	114410011	\$415.22
114382030	\$415.22	114401005	\$415.22	114410012	\$415.22
114382031	\$415.22	114401006	\$415.22	114410013	\$415.22
114382033	\$415.22	114401007	\$415.22	114410014	\$415.22
114382034	\$415.22	114401008	\$415.22	114410015	\$415.22
114382035	\$415.22	114401009	\$415.22	114410016	\$415.22
114382036	\$415.22	114401010	\$415.22	114410017	\$415.22
114382038	\$415.22	114401012	\$415.22	114410018	\$415.22
114382039	\$415.22	114401013	\$415.22	114410019	\$415.22
114382040	\$415.22	114401014	\$415.22	114410020	\$415.22
114382041	\$415.22	114401015	\$415.22	114410021	\$415.22
114382042	\$415.22	114401016	\$415.22	114410022	\$415.22
114382043	\$415.22	114401018	\$415.22	114410023	\$415.22
114382045	\$415.22	114401019	\$415.22	114410024	\$415.22
114382046	\$415.22	114401020	\$415.22	114410025	\$415.22
114382047	\$415.22	114401021	\$415.22	114410026	\$415.22
114382048	\$415.22	114401022	\$415.22	114410027	\$415.22
114382049	\$415.22	114401023	\$415.22	114410028	\$415.22
114382050	\$415.22	114401024	\$415.22	114410029	\$415.22
114382052	\$415.22	114401026	\$415.22	114410030	\$415.22
114382053	\$415.22	114401027	\$415.22	114410031	\$415.22
114382054	\$415.22	114401028	\$415.22	114410032	\$415.22
114382055	\$415.22	114401030	\$415.22	114410033	\$415.22
114382056	\$415.22	114401031	\$415.22	114410034	\$415.22
114382057	\$415.22	114401032	\$415.22	114410035	\$415.22
114382059	\$415.22	114401033	\$415.22	114410036	\$415.22
114382060	\$415.22	114401035	\$415.22	114410037	\$415.22
114382061	\$415.22	114401036	\$415.22	114410038	\$415.22
114382062	\$415.22	114401037	\$415.22	114410039	\$415.22
114382064	\$415.22	114401038	\$415.22	114410040	\$415.22
114382065	\$415.22	114401039	\$415.22	114410041	\$415.22
114382067	\$415.22	114401040	\$415.22	114410042	\$415.22
114382068	\$415.22	114401041	\$415.22	114410043	\$415.22
114390001	\$415.22	114410001	\$415.22	114410044	\$415.22
114390002	\$415.22	114410002	\$415.22	114410045	\$415.22
114390003	\$415.22	114410003	\$415.22	114410046	\$415.22
114390004	\$415.22	114410004	\$415.22	114410047	\$415.22
114390005	\$415.22	114410005	\$415.22	114410048	\$415.22
114390006	\$415.22	114410006	\$415.22	114410049	\$415.22
114390007	\$415.22	114410007	\$415.22	114410050	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114410051	\$415.22	114423001	\$415.22	114432006	\$415.22
114410052	\$415.22	114423002	\$415.22	114432007	\$415.22
114410053	\$415.22	114423003	\$415.22	114432008	\$415.22
114410054	\$415.22	114423004	\$415.22	114432009	\$415.22
114410055	\$415.22	114423005	\$415.22	114432010	\$415.22
114410056	\$415.22	114423006	\$415.22	114432011	\$415.22
114410057	\$415.22	114423007	\$415.22	114432012	\$415.22
114421001	\$415.22	114423008	\$415.22	114432013	\$415.22
114421002	\$415.22	114423009	\$415.22	114432014	\$415.22
114421003	\$415.22	114423010	\$415.22	114432015	\$415.22
114421004	\$415.22	114423011	\$415.22	114432016	\$415.22
114421005	\$415.22	114423012	\$415.22	114432017	\$415.22
114421006	\$415.22	114423013	\$415.22	114432018	\$415.22
114421007	\$415.22	114423014	\$415.22	114432019	\$415.22
114421008	\$415.22	114423015	\$415.22	114432020	\$415.22
114421009	\$415.22	114423018	\$415.22	114432021	\$415.22
114421010	\$415.22	114423019	\$415.22	114432022	\$415.22
114421011	\$415.22	114423020	\$415.22	114432023	\$415.22
114421012	\$415.22	114423021	\$415.22	114432024	\$415.22
114421013	\$415.22	114423022	\$415.22	114432026	\$415.22
114421014	\$415.22	114423023	\$415.22	114432027	\$415.22
114421015	\$415.22	114423024	\$415.22	114432028	\$415.22
114421016	\$415.22	114431001	\$415.22	114432029	\$415.22
114421017	\$415.22	114431002	\$415.22	114432030	\$415.22
114421018	\$415.22	114431003	\$415.22	114432032	\$415.22
114421019	\$415.22	114431004	\$415.22	114441001	\$415.22
114421020	\$415.22	114431005	\$415.22	114441002	\$415.22
114421021	\$415.22	114431006	\$415.22	114441003	\$415.22
114421022	\$415.22	114431007	\$415.22	114441004	\$415.22
114422001	\$415.22	114431008	\$415.22	114441005	\$415.22
114422002	\$415.22	114431009	\$415.22	114441006	\$415.22
114422003	\$415.22	114431010	\$415.22	114441007	\$415.22
114422004	\$415.22	114431011	\$415.22	114441008	\$415.22
114422005	\$415.22	114431012	\$415.22	114441009	\$415.22
114422006	\$415.22	114431013	\$415.22	114441010	\$415.22
114422007	\$415.22	114431014	\$415.22	114441011	\$415.22
114422008	\$415.22	114431015	\$415.22	114442001	\$415.22
114422009	\$415.22	114431016	\$415.22	114442002	\$415.22
114422010	\$415.22	114431017	\$415.22	114442003	\$415.22
114422011	\$415.22	114432002	\$415.22	114442004	\$415.22
114422012	\$415.22	114432003	\$415.22	114442005	\$415.22
114422013	\$415.22	114432004	\$415.22	114442006	\$415.22
114422014	\$415.22	114432005	\$415.22	114442007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114442008	\$415.22	114452010	\$415.22	114453029	\$415.22
114442009	\$415.22	114452011	\$415.22	114461001	\$415.22
114442010	\$415.22	114452012	\$415.22	114461002	\$415.22
114442011	\$415.22	114452013	\$415.22	114461003	\$415.22
114442012	\$415.22	114452014	\$415.22	114461004	\$415.22
114442013	\$415.22	114452015	\$415.22	114461005	\$415.22
114442014	\$415.22	114452016	\$415.22	114461006	\$415.22
114442015	\$415.22	114452017	\$415.22	114462001	\$415.22
114442016	\$415.22	114452018	\$415.22	114462002	\$415.22
114442017	\$415.22	114452019	\$415.22	114462003	\$415.22
114442018	\$415.22	114452020	\$415.22	114462004	\$415.22
114443001	\$415.22	114452021	\$415.22	114462005	\$415.22
114443002	\$415.22	114452022	\$415.22	114462006	\$415.22
114443003	\$415.22	114452023	\$415.22	114462007	\$415.22
114443004	\$415.22	114452024	\$415.22	114462008	\$415.22
114443005	\$415.22	114452025	\$415.22	114462009	\$415.22
114443006	\$415.22	114452026	\$415.22	114462010	\$415.22
114443007	\$415.22	114453001	\$415.22	114462011	\$415.22
114443008	\$415.22	114453002	\$415.22	114462012	\$415.22
114443009	\$415.22	114453003	\$415.22	114463001	\$415.22
114443010	\$415.22	114453004	\$415.22	114463002	\$415.22
114443011	\$415.22	114453005	\$415.22	114463004	\$415.22
114443015	\$415.22	114453006	\$415.22	114463005	\$415.22
114443016	\$415.22	114453007	\$415.22	114463006	\$415.22
114443017	\$415.22	114453008	\$415.22	114463007	\$415.22
114443018	\$415.22	114453009	\$415.22	114463008	\$415.22
114451001	\$415.22	114453010	\$415.22	114463009	\$415.22
114451002	\$415.22	114453011	\$415.22	114463010	\$415.22
114451003	\$415.22	114453012	\$415.22	114463011	\$415.22
114451004	\$415.22	114453013	\$415.22	114463012	\$415.22
114451005	\$415.22	114453014	\$415.22	114463013	\$415.22
114451006	\$415.22	114453015	\$415.22	114463014	\$415.22
114451007	\$415.22	114453016	\$415.22	114463015	\$415.22
114451008	\$415.22	114453017	\$415.22	114463016	\$415.22
114452001	\$415.22	114453018	\$415.22	114463017	\$415.22
114452002	\$415.22	114453019	\$415.22	114463018	\$415.22
114452003	\$415.22	114453020	\$415.22	114463019	\$415.22
114452004	\$415.22	114453023	\$415.22	114463020	\$415.22
114452005	\$415.22	114453024	\$415.22	114463021	\$415.22
114452006	\$415.22	114453025	\$415.22	114463022	\$415.22
114452007	\$415.22	114453026	\$415.22	114463023	\$415.22
114452008	\$415.22	114453027	\$415.22	114464001	\$415.22
114452009	\$415.22	114453028	\$415.22	114464002	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114464003	\$415.22	114471025	\$415.22	114481008	\$415.22
114464004	\$415.22	114471026	\$415.22	114481009	\$415.22
114464005	\$415.22	114471027	\$415.22	114481010	\$415.22
114464006	\$415.22	114471028	\$415.22	114481011	\$415.22
114465001	\$415.22	114472001	\$415.22	114481012	\$415.22
114465002	\$415.22	114472002	\$415.22	114481013	\$415.22
114465003	\$415.22	114472003	\$415.22	114481014	\$415.22
114465004	\$415.22	114472004	\$415.22	114481015	\$415.22
114466001	\$415.22	114472005	\$415.22	114481016	\$415.22
114466002	\$415.22	114472006	\$415.22	114481018	\$415.22
114466003	\$415.22	114472007	\$415.22	114481019	\$415.22
114466004	\$415.22	114472008	\$415.22	114481020	\$415.22
114466005	\$415.22	114472009	\$415.22	114481021	\$415.22
114466006	\$415.22	114472010	\$415.22	114481022	\$415.22
114466007	\$415.22	114472011	\$415.22	114481023	\$415.22
114466008	\$415.22	114472012	\$415.22	114481024	\$415.22
114466009	\$415.22	114472013	\$415.22	114481025	\$415.22
114466010	\$415.22	114472014	\$415.22	114481026	\$415.22
114466011	\$415.22	114472015	\$415.22	114481027	\$415.22
114471001	\$415.22	114472016	\$415.22	114481028	\$415.22
114471002	\$415.22	114472017	\$415.22	114481030	\$415.22
114471003	\$415.22	114472018	\$415.22	114481031	\$415.22
114471004	\$415.22	114472019	\$415.22	114481033	\$415.22
114471005	\$415.22	114472020	\$415.22	114481034	\$415.22
114471006	\$415.22	114472021	\$415.22	114481035	\$415.22
114471007	\$415.22	114472022	\$415.22	114481036	\$415.22
114471008	\$415.22	114472023	\$415.22	114481037	\$415.22
114471009	\$415.22	114472024	\$415.22	114481039	\$415.22
114471010	\$415.22	114473001	\$415.22	114481040	\$415.22
114471011	\$415.22	114473002	\$415.22	114481041	\$415.22
114471012	\$415.22	114473003	\$415.22	114481042	\$415.22
114471013	\$415.22	114473004	\$415.22	114481044	\$415.22
114471014	\$415.22	114473005	\$415.22	114481045	\$415.22
114471015	\$415.22	114473006	\$415.22	114481046	\$415.22
114471016	\$415.22	114473007	\$415.22	114481047	\$415.22
114471017	\$415.22	114473008	\$415.22	114481048	\$415.22
114471018	\$415.22	114473009	\$415.22	114481049	\$415.22
114471019	\$415.22	114481001	\$415.22	114481051	\$415.22
114471020	\$415.22	114481002	\$415.22	114481052	\$415.22
114471021	\$415.22	114481003	\$415.22	114481053	\$415.22
114471022	\$415.22	114481004	\$415.22	114481054	\$415.22
114471023	\$415.22	114481005	\$415.22	114481055	\$415.22
114471024	\$415.22	114481006	\$415.22	114481057	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114481058	\$415.22	114491008	\$415.22	114491059	\$415.22
114481059	\$415.22	114491009	\$415.22	114491060	\$415.22
114481060	\$415.22	114491010	\$415.22	114511001	\$415.22
114481061	\$415.22	114491011	\$415.22	114511002	\$415.22
114481063	\$415.22	114491013	\$415.22	114511003	\$415.22
114481064	\$415.22	114491014	\$415.22	114511004	\$415.22
114481065	\$415.22	114491015	\$415.22	114511005	\$415.22
114481066	\$415.22	114491017	\$415.22	114511006	\$415.22
114481067	\$415.22	114491018	\$415.22	114511007	\$415.22
114481068	\$415.22	114491019	\$415.22	114511008	\$415.22
114481069	\$415.22	114491021	\$415.22	114511009	\$415.22
114481071	\$415.22	114491022	\$415.22	114511010	\$415.22
114481072	\$415.22	114491023	\$415.22	114511012	\$415.22
114481073	\$415.22	114491024	\$415.22	114511013	\$415.22
114481074	\$415.22	114491025	\$415.22	114511014	\$415.22
114481075	\$415.22	114491026	\$415.22	114511015	\$415.22
114481076	\$415.22	114491027	\$415.22	114511016	\$415.22
114481077	\$415.22	114491028	\$415.22	114511017	\$415.22
114481078	\$415.22	114491029	\$415.22	114511018	\$415.22
114481079	\$415.22	114491031	\$415.22	114511019	\$415.22
114481080	\$415.22	114491032	\$415.22	114511021	\$415.22
114481082	\$415.22	114491033	\$415.22	114511022	\$415.22
114481083	\$415.22	114491035	\$415.22	114511023	\$415.22
114481084	\$415.22	114491036	\$415.22	114511024	\$415.22
114481085	\$415.22	114491037	\$415.22	114511026	\$415.22
114481086	\$415.22	114491039	\$415.22	114511027	\$415.22
114481087	\$415.22	114491040	\$415.22	114511028	\$415.22
114481088	\$415.22	114491041	\$415.22	114511029	\$415.22
114481090	\$415.22	114491042	\$415.22	114511030	\$415.22
114481091	\$415.22	114491044	\$415.22	114511031	\$415.22
114481092	\$415.22	114491045	\$415.22	114511032	\$415.22
114481093	\$415.22	114491046	\$415.22	114511033	\$415.22
114481094	\$415.22	114491047	\$415.22	114511035	\$415.22
114481095	\$415.22	114491048	\$415.22	114511036	\$415.22
114481096	\$415.22	114491050	\$415.22	114511037	\$415.22
114481097	\$415.22	114491051	\$415.22	114511038	\$415.22
114481098	\$415.22	114491052	\$415.22	114511039	\$415.22
114491001	\$415.22	114491053	\$415.22	114511040	\$415.22
114491002	\$415.22	114491054	\$415.22	114511042	\$415.22
114491003	\$415.22	114491055	\$415.22	114511043	\$415.22
114491004	\$415.22	114491056	\$415.22	114511044	\$415.22
114491005	\$415.22	114491057	\$415.22	114511045	\$415.22
114491007	\$415.22	114491058	\$415.22	114511046	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114521001	\$415.22	114521050	\$415.22	114531016	\$415.22
114521002	\$415.22	114521051	\$415.22	114531017	\$415.22
114521003	\$415.22	114521052	\$415.22	114531018	\$415.22
114521004	\$415.22	114521054	\$415.22	114531020	\$415.22
114521005	\$415.22	114521055	\$415.22	114531021	\$415.22
114521006	\$415.22	114521056	\$415.22	114531022	\$415.22
114521007	\$415.22	114521057	\$415.22	114531024	\$415.22
114521008	\$415.22	114521058	\$415.22	114531025	\$415.22
114521009	\$415.22	114521059	\$415.22	114531026	\$415.22
114521010	\$415.22	114521060	\$415.22	114531027	\$415.22
114521012	\$415.22	114521061	\$415.22	114531028	\$415.22
114521013	\$415.22	114521063	\$415.22	114531030	\$415.22
114521014	\$415.22	114521064	\$415.22	114531031	\$415.22
114521015	\$415.22	114521065	\$415.22	114531032	\$415.22
114521016	\$415.22	114521066	\$415.22	114531033	\$415.22
114521018	\$415.22	114521067	\$415.22	114531034	\$415.22
114521019	\$415.22	114521068	\$415.22	114531036	\$415.22
114521021	\$415.22	114521069	\$415.22	114531037	\$415.22
114521022	\$415.22	114521070	\$415.22	114531039	\$415.22
114521024	\$415.22	114521072	\$415.22	114531040	\$415.22
114521025	\$415.22	114521073	\$415.22	114531041	\$415.22
114521026	\$415.22	114521074	\$415.22	114531042	\$415.22
114521027	\$415.22	114521075	\$415.22	114531043	\$415.22
114521028	\$415.22	114521076	\$415.22	114531044	\$415.22
114521029	\$415.22	114521077	\$415.22	114531046	\$415.22
114521030	\$415.22	114521078	\$415.22	114531047	\$415.22
114521031	\$415.22	114521080	\$415.22	114531049	\$415.22
114521033	\$415.22	114521081	\$415.22	114531050	\$415.22
114521034	\$415.22	114521082	\$415.22	114531051	\$415.22
114521035	\$415.22	114521083	\$415.22	114531053	\$415.22
114521036	\$415.22	114531001	\$415.22	114531055	\$415.22
114521037	\$415.22	114531002	\$415.22	114531056	\$415.22
114521038	\$415.22	114531003	\$415.22	114531057	\$415.22
114521039	\$415.22	114531004	\$415.22	114531058	\$415.22
114521040	\$415.22	114531005	\$415.22	114531059	\$415.22
114521041	\$415.22	114531006	\$415.22	114531060	\$415.22
114521043	\$415.22	114531008	\$415.22	114531061	\$415.22
114521044	\$415.22	114531009	\$415.22	114531063	\$415.22
114521045	\$415.22	114531010	\$415.22	114531064	\$415.22
114521046	\$415.22	114531011	\$415.22	114531065	\$415.22
114521047	\$415.22	114531012	\$415.22	114531066	\$415.22
114521048	\$415.22	114531013	\$415.22	114531067	\$415.22
114521049	\$415.22	114531015	\$415.22	114531068	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114531069	\$415.22	114532026	\$415.22	114541034	\$415.22
114531071	\$415.22	114532027	\$415.22	114541035	\$415.22
114531072	\$415.22	114532028	\$415.22	114541036	\$415.22
114531073	\$415.22	114532029	\$415.22	114541037	\$415.22
114531074	\$415.22	114532030	\$415.22	114541038	\$415.22
114531075	\$415.22	114532031	\$415.22	114541039	\$415.22
114531076	\$415.22	114532032	\$415.22	114541040	\$415.22
114531078	\$415.22	114532033	\$415.22	114541042	\$415.22
114531079	\$415.22	114532034	\$415.22	114541043	\$415.22
114531080	\$415.22	114532035	\$415.22	114541044	\$415.22
114531081	\$415.22	114532036	\$415.22	114541045	\$415.22
114531083	\$415.22	114532037	\$415.22	114541046	\$415.22
114531085	\$415.22	114532038	\$415.22	114551001	\$415.22
114531086	\$415.22	114532039	\$415.22	114551002	\$415.22
114531087	\$415.22	114532041	\$415.22	114551003	\$415.22
114531089	\$415.22	114532042	\$415.22	114551005	\$415.22
114531090	\$415.22	114541001	\$415.22	114551006	\$415.22
114531091	\$415.22	114541002	\$415.22	114551007	\$415.22
114531092	\$415.22	114541003	\$415.22	114551008	\$415.22
114532001	\$415.22	114541004	\$415.22	114551010	\$415.22
114532002	\$415.22	114541005	\$415.22	114551011	\$415.22
114532003	\$415.22	114541007	\$415.22	114551012	\$415.22
114532004	\$415.22	114541008	\$415.22	114551013	\$415.22
114532005	\$415.22	114541009	\$415.22	114551014	\$415.22
114532006	\$415.22	114541010	\$415.22	114551015	\$415.22
114532007	\$415.22	114541011	\$415.22	114551017	\$415.22
114532008	\$415.22	114541013	\$415.22	114551018	\$415.22
114532009	\$415.22	114541014	\$415.22	114551019	\$415.22
114532010	\$415.22	114541015	\$415.22	114551020	\$415.22
114532011	\$415.22	114541016	\$415.22	114551021	\$415.22
114532012	\$415.22	114541017	\$415.22	114551022	\$415.22
114532013	\$415.22	114541019	\$415.22	114551023	\$415.22
114532014	\$415.22	114541020	\$415.22	114551025	\$415.22
114532015	\$415.22	114541021	\$415.22	114551026	\$415.22
114532016	\$415.22	114541022	\$415.22	114551027	\$415.22
114532017	\$415.22	114541023	\$415.22	114551028	\$415.22
114532018	\$415.22	114541024	\$415.22	114551029	\$415.22
114532020	\$415.22	114541026	\$415.22	114551030	\$415.22
114532021	\$415.22	114541027	\$415.22	114551031	\$415.22
114532022	\$415.22	114541029	\$415.22	114551032	\$415.22
114532023	\$415.22	114541030	\$415.22	114551033	\$415.22
114532024	\$415.22	114541031	\$415.22	114551035	\$415.22
114532025	\$415.22	114541032	\$415.22	114551036	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114551037	\$415.22	114571042	\$415.22	114572006	\$415.22
114551038	\$415.22	114571043	\$415.22	114572007	\$415.22
114551039	\$415.22	114571045	\$415.22	114572009	\$415.22
114551040	\$415.22	114571046	\$415.22	114572010	\$415.22
114551041	\$415.22	114571047	\$415.22	114572011	\$415.22
114560007	\$415.22	114571048	\$415.22	114572012	\$415.22
114560008	\$415.22	114571049	\$415.22	114572014	\$415.22
114560009	\$415.22	114571050	\$415.22	114572015	\$415.22
114560010	\$415.22	114571051	\$415.22	114572016	\$415.22
114560020	\$415.22	114571052	\$415.22	114572017	\$415.22
114560021	\$415.22	114571054	\$415.22	114572018	\$415.22
114571001	\$415.22	114571055	\$415.22	114572020	\$415.22
114571002	\$415.22	114571056	\$415.22	114572021	\$415.22
114571003	\$415.22	114571057	\$415.22	114572022	\$415.22
114571005	\$415.22	114571059	\$415.22	114572023	\$415.22
114571006	\$415.22	114571060	\$415.22	114572025	\$415.22
114571007	\$415.22	114571062	\$415.22	114572026	\$415.22
114571008	\$415.22	114571063	\$415.22	114572027	\$415.22
114571010	\$415.22	114571064	\$415.22	114572028	\$415.22
114571011	\$415.22	114571065	\$415.22	114572029	\$415.22
114571012	\$415.22	114571066	\$415.22	114572030	\$415.22
114571014	\$415.22	114571067	\$415.22	114572031	\$415.22
114571016	\$415.22	114571068	\$415.22	114572033	\$415.22
114571017	\$415.22	114571069	\$415.22	114572034	\$415.22
114571018	\$415.22	114571070	\$415.22	114572036	\$415.22
114571020	\$415.22	114571072	\$415.22	114572037	\$415.22
114571021	\$415.22	114571073	\$415.22	114572038	\$415.22
114571023	\$415.22	114571074	\$415.22	114581001	\$415.22
114571024	\$415.22	114571075	\$415.22	114581002	\$415.22
114571025	\$415.22	114571076	\$415.22	114581003	\$415.22
114571026	\$415.22	114571077	\$415.22	114581004	\$415.22
114571027	\$415.22	114571079	\$415.22	114581005	\$415.22
114571028	\$415.22	114571081	\$415.22	114581006	\$415.22
114571029	\$415.22	114571082	\$415.22	114581007	\$415.22
114571030	\$415.22	114571083	\$415.22	114581008	\$415.22
114571031	\$415.22	114571084	\$415.22	114581010	\$415.22
114571032	\$415.22	114571085	\$415.22	114581011	\$415.22
114571034	\$415.22	114571086	\$415.22	114581012	\$415.22
114571035	\$415.22	114572001	\$415.22	114581013	\$415.22
114571037	\$415.22	114572002	\$415.22	114581014	\$415.22
114571039	\$415.22	114572003	\$415.22	114581015	\$415.22
114571040	\$415.22	114572004	\$415.22	114581016	\$415.22
114571041	\$415.22	114572005	\$415.22	114581017	\$415.22



## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114581019	\$415.22	114581070	\$415.22	114591036	\$415.22
114581020	\$415.22	114581071	\$415.22	114591037	\$415.22
114581021	\$415.22	114581072	\$415.22	114592001	\$415.22
114581023	\$415.22	114581073	\$415.22	114592002	\$415.22
114581024	\$415.22	114581074	\$415.22	114592003	\$415.22
114581025	\$415.22	114581075	\$415.22	114592004	\$415.22
114581026	\$415.22	114581076	\$415.22	114592005	\$415.22
114581027	\$415.22	114581077	\$415.22	114592006	\$415.22
114581028	\$415.22	114581078	\$415.22	114592007	\$415.22
114581029	\$415.22	114581079	\$415.22	114592008	\$415.22
114581031	\$415.22	114591001	\$415.22	114592009	\$415.22
114581032	\$415.22	114591002	\$415.22	114592010	\$415.22
114581033	\$415.22	114591003	\$415.22	114592011	\$415.22
114581034	\$415.22	114591004	\$415.22	114592012	\$415.22
114581035	\$415.22	114591005	\$415.22	114592013	\$415.22
114581036	\$415.22	114591006	\$415.22	114592014	\$415.22
114581037	\$415.22	114591007	\$415.22	114592015	\$415.22
114581039	\$415.22	114591008	\$415.22	114592016	\$415.22
114581040	\$415.22	114591010	\$415.22	114592017	\$415.22
114581041	\$415.22	114591011	\$415.22	114592018	\$415.22
114581042	\$415.22	114591012	\$415.22	114592019	\$415.22
114581044	\$415.22	114591013	\$415.22	114592020	\$415.22
114581045	\$415.22	114591014	\$415.22	114592021	\$415.22
114581046	\$415.22	114591015	\$415.22	114592022	\$415.22
114581047	\$415.22	114591016	\$415.22	114592023	\$415.22
114581048	\$415.22	114591017	\$415.22	114592024	\$415.22
114581049	\$415.22	114591018	\$415.22	114601001	\$415.22
114581050	\$415.22	114591019	\$415.22	114601002	\$415.22
114581052	\$415.22	114591020	\$415.22	114601003	\$415.22
114581053	\$415.22	114591021	\$415.22	114601004	\$415.22
114581054	\$415.22	114591022	\$415.22	114601005	\$415.22
114581055	\$415.22	114591023	\$415.22	114601006	\$415.22
114581057	\$415.22	114591024	\$415.22	114601007	\$415.22
114581058	\$415.22	114591025	\$415.22	114601008	\$415.22
114581059	\$415.22	114591026	\$415.22	114601009	\$415.22
114581060	\$415.22	114591027	\$415.22	114601010	\$415.22
114581062	\$415.22	114591028	\$415.22	114601011	\$415.22
114581063	\$415.22	114591029	\$415.22	114601012	\$415.22
114581064	\$415.22	114591030	\$415.22	114601013	\$415.22
114581065	\$415.22	114591031	\$415.22	114601014	\$415.22
114581066	\$415.22	114591032	\$415.22	114601015	\$415.22
114581067	\$415.22	114591033	\$415.22	114601016	\$415.22
114581068	\$415.22	114591035	\$415.22	114601017	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114603001	\$415.22	116171008	\$415.22	116181010	\$415.22
114603002	\$415.22	116171011	\$415.22	116181011	\$415.22
114603003	\$415.22	116171012	\$415.22	116181012	\$415.22
114603004	\$415.22	116171013	\$415.22	116181013	\$415.22
114603005	\$415.22	116171014	\$415.22	116181014	\$415.22
114603006	\$415.22	116171015	\$415.22	116182001	\$415.22
114603007	\$415.22	116171016	\$415.22	116182002	\$415.22
114603008	\$415.22	116171017	\$415.22	116182003	\$415.22
114603009	\$415.22	116171018	\$415.22	116182004	\$415.22
114603010	\$415.22	116171019	\$415.22	116182005	\$415.22
114603011	\$415.22	116171020	\$415.22	116182006	\$415.22
114603012	\$415.22	116172001	\$415.22	116182007	\$415.22
114603013	\$415.22	116172002	\$415.22	116182008	\$415.22
114603014	\$415.22	116172003	\$415.22	116182009	\$415.22
114603015	\$415.22	116172004	\$415.22	116182010	\$415.22
114603016	\$415.22	116172005	\$415.22	116182011	\$415.22
114603017	\$415.22	116172006	\$415.22	116182012	\$415.22
114603018	\$415.22	116172007	\$415.22	116191001	\$415.22
114603019	\$415.22	116172008	\$415.22	116191002	\$415.22
114611001	\$415.22	116172009	\$415.22	116191003	\$415.22
114611002	\$415.22	116172010	\$415.22	116191004	\$415.22
114611003	\$415.22	116172011	\$415.22	116191005	\$415.22
114611004	\$415.22	116172012	\$415.22	116191006	\$415.22
114611005	\$415.22	116172013	\$415.22	116191007	\$415.22
114611006	\$415.22	116172014	\$415.22	116191008	\$415.22
114612001	\$415.22	116172015	\$415.22	116192001	\$415.22
114612002	\$415.22	116172016	\$415.22	116192002	\$415.22
114612003	\$415.22	116172017	\$415.22	116192003	\$415.22
114612004	\$415.22	116172018	\$415.22	116192004	\$415.22
114612005	\$415.22	116172019	\$415.22	116192006	\$415.22
114612006	\$415.22	116172020	\$415.22	116192007	\$415.22
114612007	\$415.22	116172021	\$415.22	116192008	\$415.22
114612008	\$415.22	116172022	\$415.22	116192009	\$415.22
114612009	\$415.22	116172023	\$415.22	116192010	\$415.22
114612010	\$415.22	116181001	\$415.22	116192011	\$415.22
114612011	\$415.22	116181002	\$415.22	116192012	\$415.22
116171001	\$415.22	116181003	\$415.22	116192013	\$415.22
116171002	\$415.22	116181004	\$415.22	116192014	\$415.22
116171003	\$415.22	116181005	\$415.22	116192015	\$415.22
116171004	\$415.22	116181006	\$415.22	116192016	\$415.22
116171005	\$415.22	116181007	\$415.22	116192017	\$415.22
116171006	\$415.22	116181008	\$415.22	116192018	\$415.22
116171007	\$415.22	116181009	\$415.22	116192019	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116192020	\$415.22	116201007	\$415.22	116202010	\$415.22
116192021	\$415.22	116201008	\$415.22	116202011	\$415.22
116192022	\$415.22	116201009	\$415.22	116202012	\$415.22
116192023	\$415.22	116201010	\$415.22	116202013	\$415.22
116192024	\$415.22	116202003	\$415.22	116202014	\$415.22
116201001	\$415.22	116202004	\$415.22	116202015	\$415.22
116201002	\$415.22	116202005	\$415.22	116202016	\$415.22
116201003	\$415.22	116202006	\$415.22	116202023	\$415.22
116201004	\$415.22	116202007	\$415.22	275100003	\$415.22
116201005	\$415.22	116202008	\$415.22		
116201006	\$415.22	116202009	\$415.22		
<b>Totals</b>		<b>Parcels 2,482</b>		<b>Levy \$1,068,673.40</b>	

# APPENDIX B

## Assessment Diagrams



SPICER CONSULTING  
G R O U P





**Landscape Maintenance District No. 84 - 2**  
**ZONE 1**







**Landscape Maintenance District No. 84 - 2**  
**ZONE 2**







## Landscape Maintenance District No. 84 - 2

### ZONE 4











## Landscape Maintenance District No. 84 - 2 ZONE 7



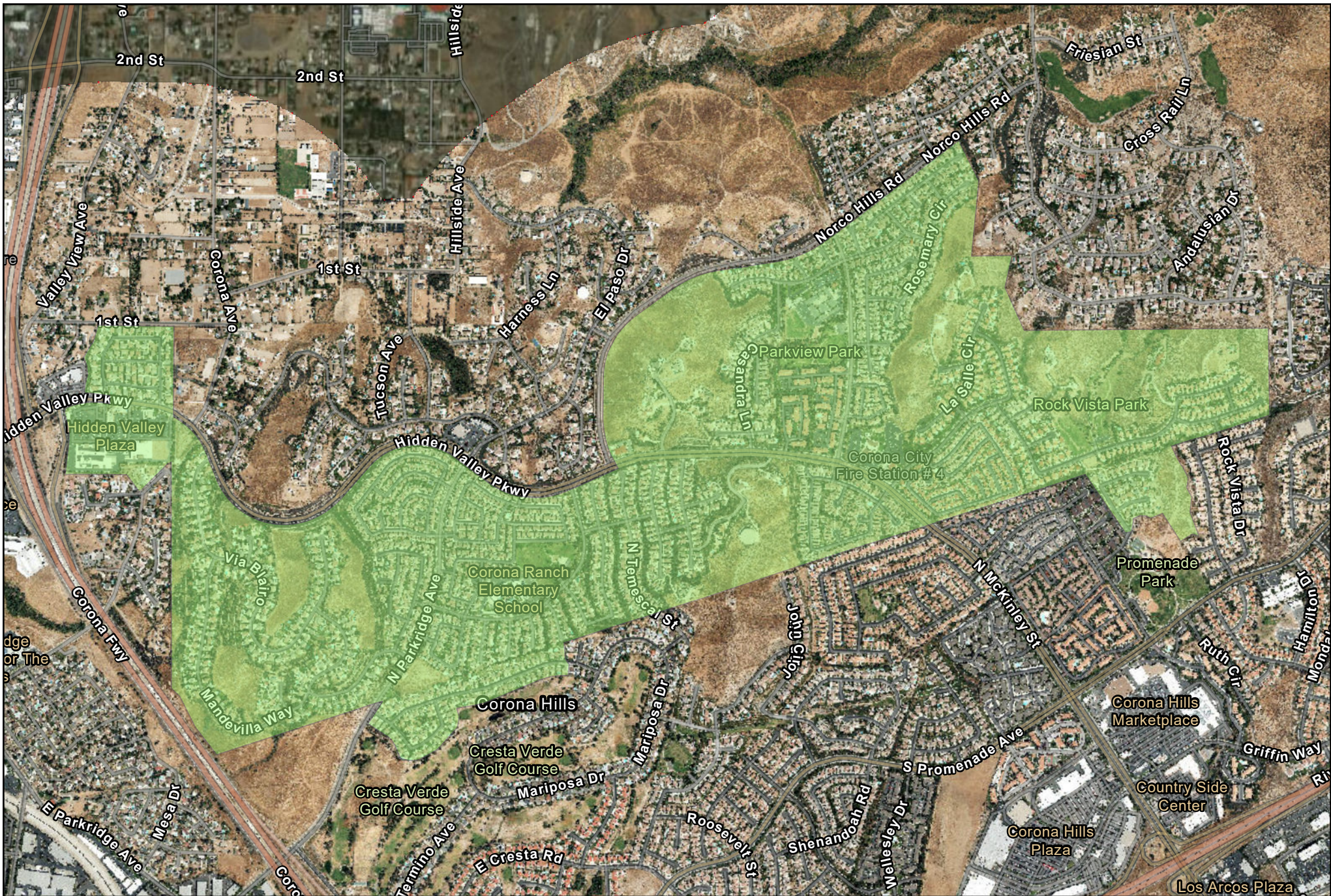




# Landscape Maintenance District No. 84 - 2 ZONE 10



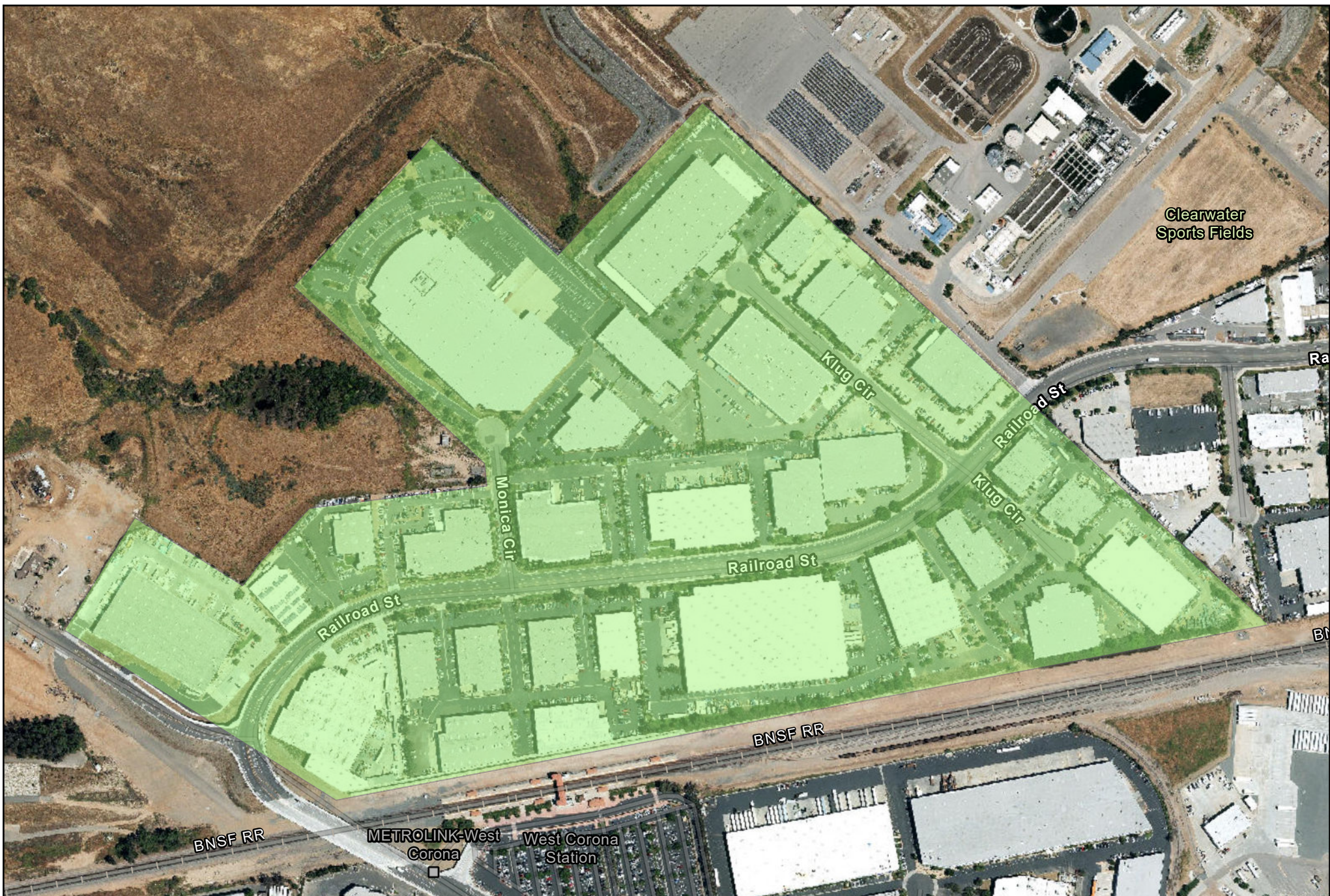




**Landscape Maintenance District No. 84 - 2**  
**ZONE 14**







**Landscape Maintenance District No. 84 - 2**  
**ZONE 15**







**Landscape Maintenance District No. 84 - 2**  
**ZONE 17**



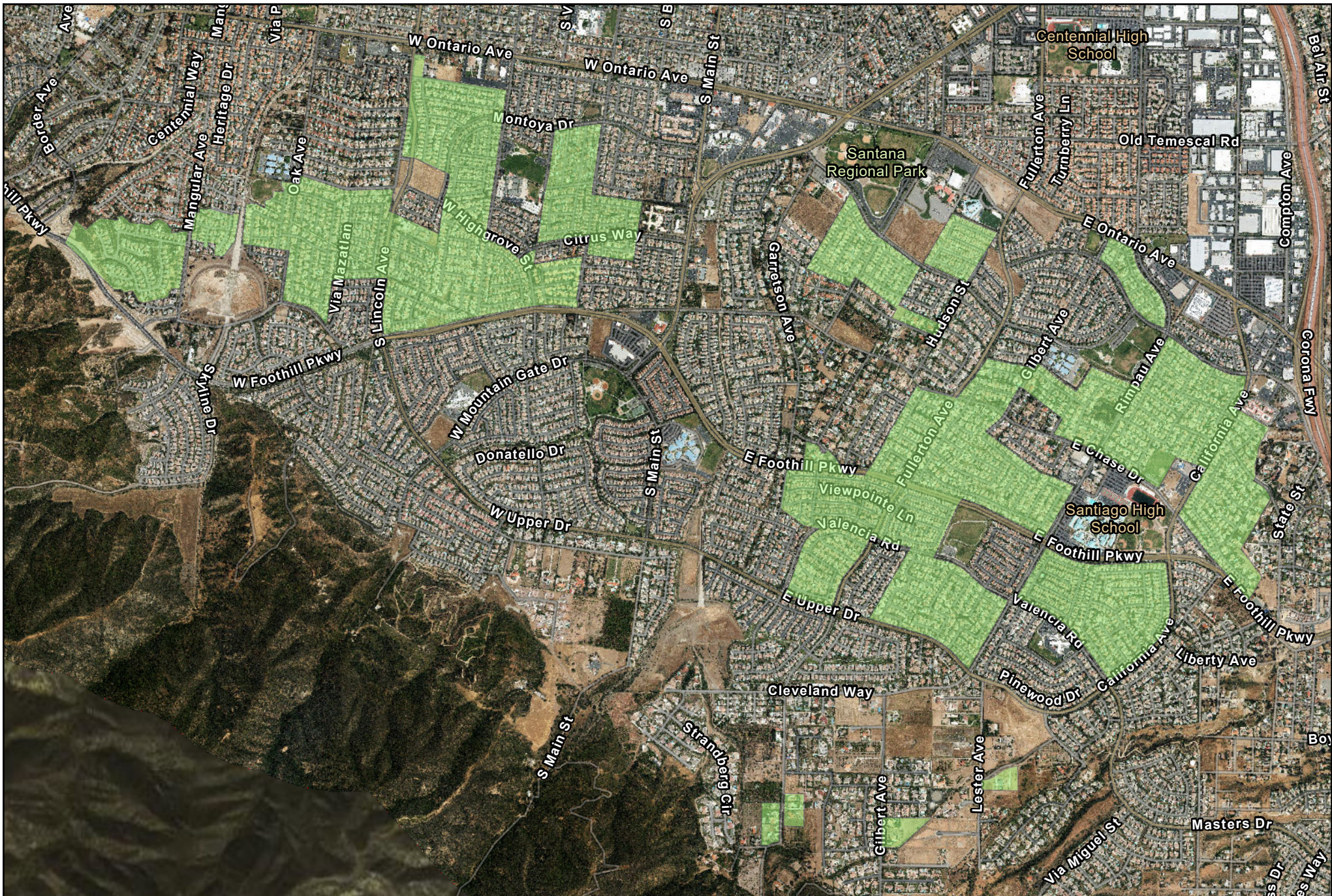




**Landscape Maintenance District No. 84 - 2**  
**ZONE 18**





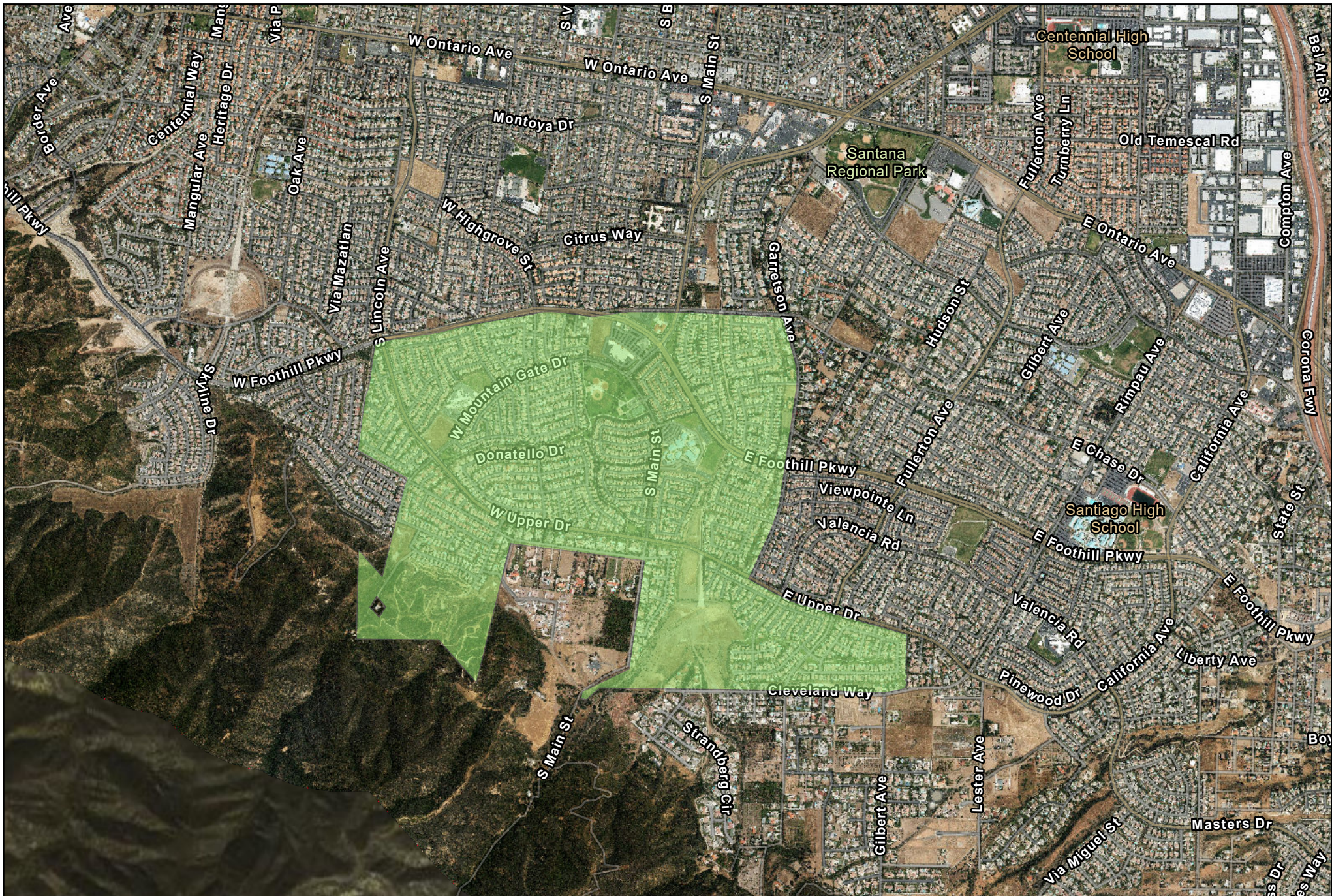


## Landscape Maintenance District No. 84 - 2

### ZONE 19







## Landscape Maintenance District No. 84 - 2

### ZONE 20





# APPENDIX C

## Capital Improvement Projects



SPIKER CONSULTING  
G R O U P



The Community Services Department is developing a master plan for each zone that would include capital projects, operational activities, and revenue requirements to meet the objectives and service levels desired. Revenue requirements are set to cover annual operating costs and build reserves over time to perform focused capital replacements year over year, or large capital replacements in one anticipated year. Projects will be brought before City Council for approval as they are developed through the master plan. Zone specific projects are listed below:

#### *Zone 1 Capital Project*

In Fiscal Year 2012, all turf was removed and replaced with decomposed granite and trees on drip irrigation. Constituents have expressed a desire to add more color to the area, and so funds will be used to add in some additional vegetation. Future projects will be developed through the master plan process referenced above.

#### *Zone 2 Capital Project*

In Fiscal Year 2018, Zone 2 retrofitted approximately 28,000 square feet of landscaping, consisting of parkway turf removal and replanting and irrigation retrofit of the medians along Corydon Street. Future projects will be developed through the master plan process referenced above.

#### *Zone 4 Capital Project*

Zone 4 had 7,000 square feet of parkway turf along Ontario Avenue removed and replaced with low-water use plants and high-efficiency irrigation in Fiscal Year 2018. In future years, upon build-up of reserves, the City will re-bid the previously designed areas along Fullerton Avenues and Old Temescal Road. Future projects will be developed through the master plan process referenced above.

#### *Zone 6 Capital Project*

In Fiscal Year 2018, the medians along Promenade Avenue in Zone 6 received in-fill planting. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 7 Capital Project*

The 62,780 square feet of landscaping renovation for Zone 7 was completed in Fiscal Year 2018. The landscape renovation project in Zone 7 parkways along Ontario Avenue from Oak to Mangular Avenues was completed in Fiscal Year 2019. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 10 Capital Projects*

The first year landscape renovation project in Zone 10 was completed by the end of the Fiscal Year 2018. This project renovated approximately 125,000 square feet of landscaping for Year 1 of Zone 10's ten-year capital improvement plan.

The parkways along the south side of Oakridge Drive were completed in FY 2020. The Oakridge portion of the project renovated 12,400 square feet of parkways, totaling \$105,000. Year 2 construction was completed during FY 2021. This project rehabilitated 63,745 square feet of slope areas and parkways, including the removal of ice plant, installation of low-precipitation rotary nozzles and acacia for slope stability. Additionally, a new irrigation controller, decomposed granite and bench seating was installed in an open space area along Rutland Drive. The total project cost was \$711,551.15.

Additionally, the City of Corona contracted with Ninyo & Moore, a geotechnical and environmental sciences consulting firm, to further examine several slope areas in Zone 10, Areas 55, 89, and 272. These areas were previously observed to have some surficial slope erosion and damage to concrete drainage ditches which required more investigation. After receiving the report from Ninyo & Moore, the City focused in on an area behind two homes located along Dominguez Rancho Road based on Ninyo & Moore's findings. The City subsequently requested a more detailed report, including soils sampling and testing, focused on this area from a company named GeoTek, Inc. GeoTek's findings indicate that future remediation actions will be necessary on the slope in this area, however, the slope itself at its base is stable. The City is currently working with an engineering design firm, Hunsaker and Associates, for design services based upon GeoTek's recommendations. Cost estimates are unavailable at this time, since the final design solution is unknown.

#### *Zone 14 Capital Projects*

Just over 23,000 square feet of turf was removed from the parkways along Hidden Valley Parkway in Zone 14 and replaced with drip irrigation and low-water use plants in Fiscal Year 2018. In Fiscal Year 2020, the turf removal from parkways on Hidden Valley

Parkway continued from the current project limits all the way to the Zone 14 boundary near Ranch Vista Road. This area totals almost 47,000 square feet, and cost approximately \$370,000. Additional areas for turf removal projects will continue to be identified for future projects. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

#### *Zone 15 Capital Projects*

The project to remove and re-landscape the turf along both sides of Railroad was completed in Fiscal Year 2018.

#### *Zone 17 Capital Projects*

13,629 square feet of landscaping for Zone 17 was renovated in Fiscal Year 2018. The turf was removed and replaced with an efficient drip system and low water use plant materials. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 18 Capital Projects*

Zone 18 parkways and monument area at the corner of River Road and Lincoln Avenue, totaling 24,569 square feet of landscaping, were renovated to include water-efficient plants, drip irrigation, in addition to some cobblestone hardscape, in Fiscal Year 2018. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 19 Capital Projects*

The City continues to look for opportunities to help reduce expenses for the zone, such as rebates for landscaping renovations and low-interest loans. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 20 Capital Projects*

Approximately 68,700 square feet of landscaping was renovated in Zone 20 in Fiscal Year 2018. Planned projects for the greenbelt area include: installing additional pet waste stations, replacing lighting as needed, developing a schedule for bench and picnic table replacement and completing these replacements, replacing fitness equipment, and replacing trash cans. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

\*All rebate funding for the various zones has been received by Fiscal Year 2020.

## Zone 10 Slope Maintenance Prioritization

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
133	1690 OAKRIDGE DR	3,195.26	3	1	Complete		
53	1691 OAKRIDGE DR	64,682.45	3	1	Complete		
65	1691 OAKRIDGE DR	11,287.38	3	1	Complete		
267	1305 OAKRIDGE DR	7,888.40	5	1	Complete		
286	1690 OAKRIDGE DR	13,091.00	7	1	Complete		
164	1691 OAKRIDGE DR	969.03	9	1	Complete		
76	1305 OAKRIDGE DR	97,523.62	11	1	Complete		
97	1305 OAKRIDGE DR	27,409.66	11	1	Complete		
268	1305 OAKRIDGE DR	16,830.93	11	1	Complete		
129	1690 OAKRIDGE DR	138,377.16	11	1	Complete		
166	1690 OAKRIDGE DR	51,101.87	11	1	Complete		
115	1691 OAKRIDGE DR	129,243.74	11	1	Complete		
167	1691 OAKRIDGE DR	10,920.96	11	1	Complete		
118	1305 OAKRIDGE DR	168.00	12	1	Complete		
102	1690 OAKRIDGE DR	3,338.00	12	1	Complete		
141	1690 OAKRIDGE DR	5,401.00	12	1	Complete		
114	1691 OAKRIDGE DR	6,908.00	12	1	Complete		
52	1691 OAKRIDGE DR	241.00	12	1	Complete		
121	1691 OAKRIDGE DR	132.00	12	1	Complete		
150	1691 OAKRIDGE DR	167.00	12	1	Complete		
165	1691 OAKRIDGE DR	212.00	12	1	Complete		
280		67,400.76	4	1.5	Not Irrigated		
269	1588 SAN PONTE	19,960.47	2	2	Complete		
271	1208 DOMINGUEZ RANCH RD	16,679.64	3	2	Complete		
270	1588 SAN PONTE	23,616.44	3	2	Complete		
21	3786 GREEN RIVER RD A	23,616.44	3	2	Complete		
1	825 HIGHLAND VIEW DR	93,375.95	3	2	Complete		
44	1208 DOMINGUEZ RANCH RD	48,077.57	5	2	Complete		
281	825 HIGHLAND VIEW DR	248,977.00	6	2	Complete		
272	1208 DOMINGUEZ RANCH RD	17,987.41	9	2	Complete		
86	1588 SAN PONTE	67,886.30	10	2	Complete		
7	3786 GREEN RIVER RD A	203,956.15	11	2	Construction		
20	1208 DOMINGUEZ RANCH RD	44,105.23	12	2	Complete		
49	1208 DOMINGUEZ RANCH RD	590.00	12	2	Complete		
60	1208 DOMINGUEZ RANCH RD	605.00	12	2	Complete		
63	1250 CANYON CREST DR	917.00	12	2	Complete		
71	1250 CANYON CREST DR	5,931.00	12	2	Complete		
74	1250 CANYON CREST DR	148.00	12	2	Complete		
81	1250 CANYON CREST DR	1,132.00	12	2	Complete		
83	1250 CANYON CREST DR	1,303.00	12	2	Complete		
93	1250 CANYON CREST DR	1,343.00	12	2	Complete		
130	1588 SAN PONTE	1,522.00	12	2	Complete		
3	825 HIGHLAND VIEW DR	572.00	12	2	Complete		
4	825 HIGHLAND VIEW DR	1,097.00	12	2	Complete		
289	1554 BALDY VIEW CI	4,486.00	3	3	Design	\$2.00	\$8,972.00
259	1554 BALDY VIEW CI	19,752.22	3	3	Design	\$2.00	\$39,504.44

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
265	3692 ALVARADO CI	5,507.45	3	3	Design	\$2.00	\$11,014.90
148	1151 SERFAS CLUB DR	103,390.70	5	3	Design	\$2.00	\$206,781.40
254	1554 BALDY VIEW CI	2,271.90	5	3	Design	\$2.00	\$4,543.80
82	3260 GREEN RIVER RD	96,772.78	5	3	Design	\$2.00	\$193,545.56
266	3692 ALVARADO CI	25,898.84	5	3	Design	\$2.00	\$51,797.69
283	4194 GREEN RIVER RD	17,311.00	5	3	Design	\$2.00	\$34,622.00
273	4194 GREEN RIVER RD	11,079.13	5	3	Design	\$2.00	\$22,158.25
196	1554 BALDY VIEW CI	41,577.72	6	3	Design	\$2.00	\$83,155.43
253	1554 BALDY VIEW CI	12,320.77	6	3	Design	\$2.00	\$24,641.53
25	2828 RIDGELINE DR	69,244.77	6	3	Design	\$2.00	\$138,489.54
41	4194 GREEN RIVER RD	35,466.54	6	3	Design	\$2.00	\$70,933.08
220	1554 BALDY VIEW CI	9,463.84	7	3	Design	\$2.00	\$18,927.69
108	1151 SERFAS CLUB DR	51,632.54	8	3	Design	\$2.00	\$103,265.08
244	1151 SERFAS CLUB DR	25,279.48	9	3	Design	\$2.00	\$50,558.97
13	4194 GREEN RIVER RD	6,315.64	9	3	Design	\$2.00	\$12,631.28
200	1554 BALDY VIEW CI	3,675.86	10	3	Design	\$2.00	\$7,351.71
119	3692 ALVARADO CI	158,666.54	10	3	Design	\$2.00	\$317,333.07
192	1554 BALDY VIEW CI	43,823.08	11	3	Design	\$2.00	\$87,646.16
199	1554 BALDY VIEW CI	43,341.46	11	3	Design	\$2.00	\$86,682.92
106	1151 SERFAS CLUB DR	9,776.00	12	3	Design	\$2.00	\$19,552.00
151	3692 ALVARADO CI	441.00	12	3	Design	\$2.00	\$882.00
10	4194 GREEN RIVER RD	1,113.00	12	3	Design	\$2.00	\$2,226.00
11	4194 GREEN RIVER RD	626.00	12	3	Design	\$2.00	\$1,252.00
227	1611 MONTANA RANCH RD	11,103.57	3	4			
242	3787 GREEN RIVER RD A	19,404.22	3	4			
282	2997 JUNIPER DR	17,518.00	4	4			
109	1172 SAN LORENZO LN	1,425.00	5	4			
120	1172 SAN LORENZO LN	334.00	6	4			
225	1611 MONTANA RANCH RD	11,558.63	6	4			
2	2997 JUNIPER DR	357,052.16	6	4			
116	1172 SAN LORENZO LN	588.00	7	4			
213	1611 MONTANA RANCH RD	33,894.98	7	4			
226	1611 MONTANA RANCH RD	25,324.24	8	4			
0	3787 GREEN RIVER RD A	309,614.97	9	4			
241	3787 GREEN RIVER RD A	65,031.78	9	4			
222	1611 MONTANA RANCH RD	7,270.63	11	4			
252	1611 MONTANA RANCH RD	5,080.69	11	4			
204	1611 MONTANA RANCH RD	4,886.00	12	4			
212	1611 MONTANA RANCH RD	760.00	12	4			
214	1611 MONTANA RANCH RD	1,147.32	12	4			
248	1665 CALLE DEL ORO	11,003.78	3	5			
245	1660 PASEO GRANDE	31,526.14	5	5			
288	2950 WILDERNESS CI	6,266.00	5	5			
75	2830 RIDGELINE DR	112,960.29	7	5			
246	1660 PASEO GRANDE	20,423.09	8	5			
218	1665 CALLE DEL ORO	57,816.52	8	5			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
247	1660 PASEO GRANDE	45,442.36	9	5			
249	1665 CALLE DEL ORO	6,542.60	9	5			
250	1665 CALLE DEL ORO	8,781.19	9	5			
209	2950 WILDERNESS CI	27,806.01	9	5			
195	2950 WILDERNESS CI	8,268.92	10	5			
191	1660 PASEO GRANDE	59,342.44	11	5			
210	1660 PASEO GRANDE	8,434.00	11	5			
240	1660 PASEO GRANDE	1,185.00	11	5			
232	1665 CALLE DEL ORO	1,103.00	11	5			
236	1665 CALLE DEL ORO	881.00	11	5			
284	2830 RIDGELINE DR	95,493.00	11	5			
243	2830 RIDGELINE DR	87,938.07	11	5			
180	2950 WILDERNESS CI	1,237.00	11	5			
181	2950 WILDERNESS CI	15,168.62	11	5			
190	2950 WILDERNESS CI	971.00	11	5			
193	2950 WILDERNESS CI	2,297.00	11	5			
194	2950 WILDERNESS CI	805.00	11	5			
197	2950 WILDERNESS CI	1,856.00	11	5			
198	2950 WILDERNESS CI	5,293.29	11	5			
205	2950 WILDERNESS CI	1,126.17	11	5			
206	2950 WILDERNESS CI	551.00	11	5			
207	2950 WILDERNESS CI	2,225.71	11	5			
261	2950 WILDERNESS CI	3,905.08	11	5			
262	2950 WILDERNESS CI	4,333.23	11	5			
107	1120 SERFAS CLUB DR	8,777.66	5	6			
46	1036 REDBERRY LN	20,949.71	6	6			
55	1036 REDBERRY LN	22,407.43	6	6			
258	2890 GREEN RIVER RD	104,312.22	7	6			
35	1036 REDBERRY LN	1,974.18	9	6			
38	1036 REDBERRY LN	55,676.26	9	6			
275	1036 REDBERRY LN	1,511.61	9	6			
276	1036 REDBERRY LN	13,609.38	9	6			
285	2890 GREEN RIVER RD	22,386.00	9	6			
125	2890 GREEN RIVER RD	172,423.94	9	6			
175	2890 GREEN RIVER RD	27,728.94	9	6			
39	1036 REDBERRY LN	2,522.00	11	6			
73	1036 REDBERRY LN	841.00	11	6			
103	1120 SERFAS CLUB DR	16,692.00	11	6			
113	1120 SERFAS CLUB DR	23,054.69	11	6			
144	1120 SERFAS CLUB DR	1,629.00	11	6			
169	1120 SERFAS CLUB DR	1,214.00	11	6			
168	2890 GREEN RIVER RD	227.00	11	6			
257	2820 GREEN RIVER RD #A	78,232.68	7	7			
264	3258 GREEN RIVER RD	8,010.89	8	7			
80	3261 GREEN RIVER RD	44,342.45	8	7			
28	3695 GREEN RIVER RD	50,706.07	8	7			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
68	3258 GREEN RIVER RD	9,128.15	9	7			
90	3258 GREEN RIVER RD	4,340.99	9	7			
96	3258 GREEN RIVER RD	21,692.30	9	7			
112	3258 GREEN RIVER RD	25,095.72	9	7			
104	3261 GREEN RIVER RD	1,982.77	9	7			
29	3695 GREEN RIVER RD	15,631.53	9	7			
171	3950 SAN RAMON	2,229.99	9	7			
178	3950 SAN RAMON	49,481.00	9	7			
155	2820 GREEN RIVER RD #A	99,537.06	10	7			
274	3695 GREEN RIVER RD	27,013.74	11	7			
87	3258 GREEN RIVER RD	760.00	12	7			
89	3258 GREEN RIVER RD	728.00	12	7			
138	3258 GREEN RIVER RD	242.00	12	7			
69	3261 GREEN RIVER RD	15,894.16	12	7			
77	3261 GREEN RIVER RD	606.00	12	7			
78	3261 GREEN RIVER RD	760.00	12	7			
278	3261 GREEN RIVER RD	2,546.38	12	7			
279	3261 GREEN RIVER RD	878.18	12	7			
30	3695 GREEN RIVER RD	2,400.00	12	7			
43	3695 GREEN RIVER RD	5,103.00	12	7			
61	3695 GREEN RIVER RD	2,082.37	12	7			
62	3695 GREEN RIVER RD	1,291.00	12	7			
70	3695 GREEN RIVER RD	2,075.00	12	7			
173	3950 SAN RAMON	1,729.00	12	7			
174	3950 SAN RAMON	264.00	12	7			
176	3950 SAN RAMON	327.00	12	7			
177	3950 SAN RAMON	1,904.00	12	7			
187	1598 MONTANA RANCH RD	156,015.03	7	8			
217	1625 CALLE DEL ORO	40,851.44	7	8			
251	1625 CALLE DEL ORO	23,496.80	8	8			
48	1242 DOMINGUEZ RANCH RD	17,468.69	9	8			
208	1598 MONTANA RANCH RD	29,304.08	9	8			
219	1598 MONTANA RANCH RD	19,873.11	9	8			
277	1598 MONTANA RANCH RD	112,046.11	9	8			
64	2831 RIDGELINE DR	22,128.68	9	8			
287	3059 DIAMOND VIEW CI	79,444.00	9	8			
147	3059 DIAMOND VIEW CI	124,151.28	9	8			
260	3059 DIAMOND VIEW CI	13,469.38	9	8			
255	2598 GREEN RIVER RD	54,796.70	10	8			
160	2820 GREEN RIVER RD #B	2,383.15	10	8			
183	2598 GREEN RIVER RD	158,465.93	11	8			
163	2820 GREEN RIVER RD #B	15,641.23	11	8			
47	1242 DOMINGUEZ RANCH RD	537.00	12	8			
211	1598 MONTANA RANCH RD	4,320.00	12	8			
215	1625 CALLE DEL ORO	1,661.58	12	8			
216	1625 CALLE DEL ORO	502.00	12	8			



Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
221	1625 CALLE DEL ORO	1,847.00	12	8			
231	1625 CALLE DEL ORO	523.00	12	8			
95	2820 GREEN RIVER RD #B	5,516.00	12	8			
111	2820 GREEN RIVER RD #B	3,214.00	12	8			
131	2820 GREEN RIVER RD #B	171.00	12	8			
134	2820 GREEN RIVER RD #B	764.00	12	8			
137	2820 GREEN RIVER RD #B	377.00	12	8			
142	2820 GREEN RIVER RD #B	1,074.00	12	8			
153	2820 GREEN RIVER RD #B	1,051.00	12	8			
159	2820 GREEN RIVER RD #B	632.00	12	8			
162	2820 GREEN RIVER RD #B	4,262.00	12	8			
172	2820 GREEN RIVER RD #B	2,768.00	12	8			
56	2831 RIDGELINE DR	2,353.00	12	8			
184	3059 DIAMOND VIEW CI	304.00	12	8			
22	975 HIGHLAND VIEW DR	2,058.27	6	9			
101	1250 CANYON CREST DR	1,600.00	9	9			
51	1250 CANYON CREST DR	278,585.04	9	9			
98	1251 CANYON CREST DR	59,353.27	9	9			
203	2210 GREEN RIVER RD	26,668.80	9	9			
234	2210 GREEN RIVER RD	10,908.72	9	9			
256	2210 GREEN RIVER RD	7,268.20	9	9			
19	975 HIGHLAND VIEW DR	10,521.92	9	9			
92	1251 CANYON CREST DR	21,612.06	11	9			
235	2210 GREEN RIVER RD	38,820.39	11	9			
239	2210 GREEN RIVER RD	46,560.87	11	9			
67	1251 CANYON CREST DR	1,163.00	12	9			
79	1251 CANYON CREST DR	223.00	12	9			
84	1251 CANYON CREST DR	547.00	12	9			
85	1251 CANYON CREST DR	11,034.17	12	9			
263	1251 CANYON CREST DR	12,872.17	12	9			
201	2210 GREEN RIVER RD	1,260.00	12	9			
202	2210 GREEN RIVER RD	4,306.00	12	9			
223	2210 GREEN RIVER RD	730.00	12	9			
224	2210 GREEN RIVER RD	1,032.00	12	9			
230	2210 GREEN RIVER RD	1,836.82	12	9			
18	975 HIGHLAND VIEW DR	807.00	12	9			
24	975 HIGHLAND VIEW DR	1,673.00	12	9			
26	975 HIGHLAND VIEW DR	4,718.00	12	9			
186	2451 GREEN RIVER RD	1,480.78	9	10			
33	3787 GREEN RIVER RD B	2,169.06	9	10			
94	1143 RIDGELINE DR	1,402.85	10	10			
237	2081 GREEN RIVER RD	7,021.70	11	10			
40	3005 RIDGELINE DR	1,271.33	11	10			
9	3786 GREEN RIVER RD B	19,465.56	11	10			
17	3786 GREEN RIVER RD B	24,543.92	11	10			
50		318.00	12	10			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
139		771.00	12	10			
99	1143 RIDGELINE DR	3,261.00	12	10			
127	1143 RIDGELINE DR	611.00	12	10			
233	2081 GREEN RIVER RD	5,221.00	12	10			
182	2451 GREEN RIVER RD	2,118.00	12	10			
185	2451 GREEN RIVER RD	1,603.00	12	10			
188	2451 GREEN RIVER RD	14,546.00	12	10			
189	2451 GREEN RIVER RD	8,496.00	12	10			
228	2451 GREEN RIVER RD	648.00	12	10			
229	2451 GREEN RIVER RD	1,928.00	12	10			
238	2451 GREEN RIVER RD	1,635.00	12	10			
91	2817 GREEN RIVER RD	4,367.00	12	10			
105	2817 GREEN RIVER RD	723.00	12	10			
110	2817 GREEN RIVER RD	1,243.00	12	10			
117	2817 GREEN RIVER RD	424.00	12	10			
123	2817 GREEN RIVER RD	169.00	12	10			
124	2817 GREEN RIVER RD	3,799.00	12	10			
161	2817 GREEN RIVER RD	1,725.00	12	10			
170	2817 GREEN RIVER RD	1,587.00	12	10			
179	2817 GREEN RIVER RD	447.00	12	10			
27	2825 RIDGELINE DR	5,242.00	12	10			
31	2825 RIDGELINE DR	2,442.00	12	10			
32	2825 RIDGELINE DR	3,374.00	12	10			
34	2825 RIDGELINE DR	611.00	12	10			
37	2825 RIDGELINE DR	6,887.00	12	10			
42	2825 RIDGELINE DR	9,051.00	12	10			
45	2825 RIDGELINE DR	3,773.00	12	10			
54	2825 RIDGELINE DR	5,146.00	12	10			
57	2825 RIDGELINE DR	6,883.00	12	10			
72	2825 RIDGELINE DR	773.00	12	10			
100	2825 RIDGELINE DR	2,399.00	12	10			
122	2825 RIDGELINE DR	42.00	12	10			
126	2825 RIDGELINE DR	518.00	12	10			
128	2825 RIDGELINE DR	719.00	12	10			
132	2825 RIDGELINE DR	9.00	12	10			
135	2825 RIDGELINE DR	9.00	12	10			
136	2825 RIDGELINE DR	329.00	12	10			
140	2825 RIDGELINE DR	9.00	12	10			
143	2825 RIDGELINE DR	9.00	12	10			
145	2825 RIDGELINE DR	936.00	12	10			
146	2825 RIDGELINE DR	9.00	12	10			
149	2825 RIDGELINE DR	9.00	12	10			
152	2825 RIDGELINE DR	9.00	12	10			
154	2825 RIDGELINE DR	9.00	12	10			
156	2825 RIDGELINE DR	411.00	12	10			
157	2825 RIDGELINE DR	9.00	12	10			



Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
158	2825 RIDGELINE DR	9.00	12	10			
36	3005 RIDGELINE DR	7,243.00	12	10			
6	3786 GREEN RIVER RD B	16,648.00	12	10			
58	3786 GREEN RIVER RD B	282.00	12	10			
59	3786 GREEN RIVER RD B	725.00	12	10			
66	3786 GREEN RIVER RD B	2,974.00	12	10			
88	3786 GREEN RIVER RD B	1,702.00	12	10			
5	3787 GREEN RIVER RD B	14,569.00	12	10			
8	3787 GREEN RIVER RD B	12,014.00	12	10			
15	3787 GREEN RIVER RD B	3,190.00	12	10			
23	3787 GREEN RIVER RD B	5,271.00	12	10			
12	4192 GREEN RIVER RD	684.00	12	10			
14	4192 GREEN RIVER RD	4,667.00	12	10			
16	4192 GREEN RIVER RD	1,792.00	12	10			



SPIKER CONSULTING  
GROUP

## **RESOLUTION NO. 2021-062**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, CONFIRMING THE DIAGRAM AND ASSESSMENT WITHIN ZONE 19 OF LANDSCAPE MAINTENANCE DISTRICT NO. 84-2 FOR FISCAL YEAR 2022**

**WHEREAS**, on June 2, 2021, the City Council of the City of Corona (the “City Council”) adopted Resolution No. 2021-041, a resolution of intention pursuant to Section 22624 of the Streets and Highways Code, which among other things, scheduled a public hearing on the levy and collection of assessments on the lots and parcels of the assessable property within Zone 19 of Landscape Maintenance District No. 84-2 (the “District”) for Fiscal Year 2022 pursuant to the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the Streets and Highways Code (the “Act”) for 6:30 p.m. on July 7, 2021, in the City Council Chambers of the City of Corona, at 400 South Vicentia Avenue, Corona, California; and

**WHEREAS**, notice of said hearing was duly published as required by Sections 22552 and 22553 of said Act; and

**WHEREAS**, at the time and place of said hearing, as set forth in said resolution of intention, the City Council held the hearing and afforded all interested persons an opportunity to be heard, and considered all oral statements and all written protests or communications made or filed by any interested persons, and at the conclusion of said hearing determined that a majority protest, to wit: written protests filed and not withdrawn by property owners owning more than 50 percent of the area of assessable land within the District, had not been received.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Findings and Approval of Final Report.** The City Council find that:

- (a) The foregoing recitals are true and correct;
- (b) Compliance has been maintained with all of the applicable requirements of the Act;
- (c) A majority protest to the levy and collection of the proposed assessment has not been filed;
- (d) The City Council may therefore proceed to confirm the boundary and assessment for the District for Fiscal Year 2022, and order levy and collection of the assessment;
- (e) The assessment proposed to be levied on the lots and parcels of assessable property within the District for the maintenance and servicing of public landscaping and appurtenant facilities during Fiscal Year 2022, as contained in the Final Annual Engineer’s Report

as it pertains to Zone 19, prepared by Spicer Consulting Group, LLC on file with the City Clerk (the "Report"), are based on the proportionate special benefit derived by such lots and parcels from the availability of such public landscaping and appurtenant facilities;

(f) The proportionate special benefit derived by each such lot or parcel has been determined in relationship to the entirety of the cost of the maintenance and servicing of such public landscaping and appurtenant facilities;

(g) Such assessments do not exceed the reasonable cost of the proportional special benefit conferred on each such lot and parcel;

(h) Such assessments will not be increased over the amounts previously approved by the electors of the District or as otherwise permitted by the Act and Article XIID of the California Constitution; and

(i) Based on the foregoing and the full record before the City Council, the Report as whole and each part thereof are finally approved and confirmed.

**SECTION 2. Levy of Assessment.** Pursuant to Section 22631 of the Streets and Highways Code, the adoption of this resolution constitutes the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District during Fiscal Year 2022, as contained in the Report, and such assessment is hereby levied. The City Clerk is directed to file a certified copy of this resolution together with the diagram and assessment contained in the Report with the County Auditor of the County of Riverside, who, pursuant to Section 22645 of the Streets and Highways Code, shall enter on the County Assessment Roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the said assessment.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California

**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at its regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



Staff Report

---

**File #:** 21-0650

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Finance Department

**SUBJECT:**

Public Hearing confirming the diagram and assessment within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**EXECUTIVE SUMMARY:**

Adoption of the recommended resolution is the last step of the annual proceedings for the levy and collection the special assessment within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022. The City Council will conduct a public hearing to afford all interested parties an opportunity to make verbal or written comments on the proposed annual assessment.

At the conclusion of the hearing, it is recommended that the City Council adopt the said resolution confirming the diagram and assessments for the District for Fiscal Year 2022, which will constitute the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District, in accordance with the Streets and Highways Code.

**RECOMMENDED ACTION:**

**That the City Council** adopt Resolution No. 2021-063, confirming the diagram and assessment within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 for Fiscal Year 2022.

**BACKGROUND & HISTORY:**

Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 ("LMD 84-2" or "District") were established in accordance with the provisions of the Landscaping and Lighting Act of 1972 (the "1972 Act") in 1986. The purpose of the District is to provide landscape maintenance and operating services for the public landscaping and appurtenant facilities within the District's boundaries.

Each zone imposes a different assessment levy based on the benefit areas associated with that zone. The annual assessments proposed to be levied within the District will pay for the maintenance of parks, slopes, parkways, and open spaces during Fiscal Year 2022. Services provided include all necessary operations, administration, capital replacements, and maintenance required to keep the above-mentioned improvements in a healthy and satisfactory working condition.

**ANALYSIS:**

The State of California Street and Highways Code Section 22500 requires an annual review of the assessments levied by the assessment districts formed under the 1972 Act. In order to levy and collect special assessments within such districts, Engineer's Reports must be prepared, which provide details on the improvements that are maintained and the estimated budgets for each district.

On May 5, 2021, the City Council adopted Resolution No. 2021-027, to initiate the proceedings to levy and collect assessments for the District for Fiscal Year 2022, appointed Spicer Consulting Group, LLC as the engineer of record, and ordered the preparation of an Engineer's Report for the District.

On June 2, 2021, the City Council adopted Resolution No. 2021-042, to declare the City's intention to levy and collect assessments within the District for Fiscal Year 2022, approve the preliminary Engineer's Report (the "Preliminary Report"), and provide a notice of public hearing to consider the proposed assessments. A notice of public hearing was published in the local newspaper on June 9, 2021.

Attached is the final Engineer's Report (the "Report") as it pertains to the District, which is consistent with the Preliminary Report. The Report includes a detailed description of the existing improvements within the District, the estimated maintenance costs, the method of assessment apportionment for each lot or parcel within the District boundaries, and a diagram showing the boundaries of the District. The Report also provides an analysis of the District's financial status.

**FINANCIAL IMPACT:**

The cost of operation, servicing and maintenance of the District will be funded by the assessments levied and collected within the District. For Fiscal Year 2022, it is projected that the current year assessment revenues will be sufficient to cover the operating costs for zones 1, 4, 7, 10, 14, 15, and 20 within the District during the same fiscal period. It is also projected that the current year assessment revenues will be insufficient to cover the operating costs for zones 2, 17, and 18 during the same fiscal period, which will be covered by a one-time contribution from each respective zone's reserves.

The proposed levy for Fiscal Year 2022 is the same as the Fiscal Year 2021 levy, which will result in no increase to the parcels in the District. Zones 2, 17, and 18 were formed with no escalator included in the method of apportionment. Staff will continue to analyze the District's financials annually to determine options to maintain operations.

Below is an overview of the District's estimated assessment revenues and proposed expenditures for Fiscal Year 2022. Detailed information can be found in the attached Report.

District	Estimated Costs	Estimated Assessment Revenue	General Benefit Contribution <sup>(1)</sup>	Estimated Excess/(Deficit)	Actual Assessment YOY % Change
LMD 84-2, Zone 1	3,631	4,147	-	516	0.00%
LMD 84-2, Zone 2	89,470	81,084	209	(8,177)	0.00%
LMD 84-2, Zone 4	80,813	93,615	-	12,802	0.00%
LMD 84-2, Zone 7	72,972	78,793	-	5,821	0.00%
LMD 84-2, Zone 10	1,357,542	2,139,266	-	781,724	0.00%
LMD 84-2, Zone 14	395,861	588,663	767	193,569	0.00%
LMD 84-2, Zone 15	26,166	27,556	-	1,390	0.00%
LMD 84-2, Zone 17	34,231	22,110	-	(12,121)	0.00%
LMD 84-2, Zone 18	63,821	35,980	383	(27,458)	0.00%
LMD 84-2, Zone 20	784,569	1,068,698	-	284,129	0.00%

1) Benefit received by non-residents of the District for the landscape improvements. This amount is contributed by the City's General Fund.

### ENVIRONMENTAL ANALYSIS:

This action is exempt pursuant to Section 15061(b)(3) of the Guidelines for the California Environmental Quality Act (CEQA), which states that a project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the action is not subject to CEQA. This action merely declares the City's intent to levy and collect assessments within the District for Fiscal Year 2022, and there is no possibility that adopting the resolution will have a significant effect on the environment. Therefore, no environmental analysis is required.

**PREPARED BY:** LIEN-CHI CANTUBA, FINANCIAL ANALYST III

**REVIEWED BY:** KIM SITTON, FINANCE DIRECTOR

### Attachments:

1. Exhibit 1 - FY 2022 LMD 84-2 Engineer's Report, as it pertains to the District.
2. Exhibit 2 - Resolution No. 2021-063



# CITY OF CORONA

Landscaping Maintenance District No. 84-2



FISCAL YEAR 2022

FINAL ENGINEERS REPORT



SPICER CONSULTING  
GROUP

# Table of Contents

---

## **Sections**

i. Introduction	i
1. Plans and Specifications	1
2. Fiscal Year 2022 Cost Estimate	7
3. Method of Apportionment of Assessment	19
4. Engineer's Signature	27
5. Assessment Roll	28
6. Assessment Diagrams	29

## **Tables**

### Budgets

Table 2-1 Benefit Zone 1	7
Table 2-2 Benefit Zone 2	8
Table 2-3 Benefit Zone 4	9
Table 2-4 Benefit Zone 6	10
Table 2-5 Benefit Zone 7	11
Table 2-6 Benefit Zone 10	12
Table 2-7 Benefit Zone 14	13
Table 2-8 Benefit Zone 15	14
Table 2-9 Benefit Zone 17	15
Table 2-10 Benefit Zone 18	16
Table 2-11 Benefit Zone 19	17
Table 2-12 Benefit Zone 20	18
Table 3-1 Annexations	20
Table 4-1 Proposed Assessment Summary	26

## **Appendices**

- Appendix A – Assessment Rolls
- Appendix B – Assessment Diagrams
- Appendix C – Capital Improvement Projects

AGENCY: CITY OF CORONA  
PROJECT: LANDSCAPE MAINTENANCE DISTRICT NO. 84-2  
TO: CITY COUNCIL  
CITY OF CORONA  
STATE OF CALIFORNIA

#### REPORT PURSUANT TO "LANDSCAPING AND LIGHTING ACT OF 1972"

Pursuant to direction from the City Council (the "City Council") of the City of Corona (the "City"), State of California, submitted herewith is the Engineer's Report (the "Report") for the Landscape Maintenance District No. 84-2, consisting of the following parts, pursuant to the provisions of Division 15, Part 2 of the Streets and Highways Code of the State of California, being the "Landscaping and Lighting Act of 1972" (the "Act"), as amended, commencing with Section 22500, and which is in accordance with Resolution Nos. 2021-025, 026, and 027 adopted by the City of Corona City Council, Riverside County, California ordering preparation of the Report for Landscape Maintenance District No. 84-2 ("LMD No. 84-2" or the "District"). This Report is applicable for the ensuing 12-month period, being the Fiscal Year commencing July 1, 2021 to June 30, 2022.

- Section 1** PLANS AND SPECIFICATIONS of the improvements to be maintained and/or improved for the Fiscal Year. The plans and specifications show and describe the existing and proposed improvements and are sufficient in showing and describing the general nature, location and extent of the improvements.
- Section 2** A COST ESTIMATE of the improvements to be maintained and/or improved for the mentioned Fiscal Year.
- Section 3** A METHOD OF APPORTIONMENT OF ASSESSMENT calculates the receipt of special benefit and the general benefit derived from the installation and maintenance and servicing of the respective improvements located throughout the District, and the methodology used to apportion the total assessment to the properties within the District.
- Section 4** An ENGINEER'S SIGNATURE certifying the filing of the Engineer's Report, together with the Assessment Roll and Assessment Diagram.
- Section 5** ASSESSMENT ROLLS showing the proportionate amount of the assessment to be charged in proportion to the benefits to be received by each lot or parcel within the boundaries as shown on the below-referenced Diagram. The Assessment Rolls can be found in Appendix A.
- Section 6** The ASSESSMENT DIAGRAMS of the District. Said Diagrams shall show the exterior boundaries of the District and the boundaries of any zones within the District. Reference is made to the County Assessor's Maps for a detailed description of the lines and dimensions of any lots or parcels. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies. The Assessment Diagrams can be found in Appendix B.

LMD No. 84-2 consists of 12 Benefit Zones that were all formed in 1986. The types of services provided for Zones 1, 2, 4, 6, 7, 10, 14, 15, and 17 through 20 are the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, fitness circuit equipment, pathway lighting, green space and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacements, and maintenance required to keep the above-mentioned improvements in a healthy, vigorous, and satisfactory working condition. The above maintenance and services may be referred to herein as the "Landscape Improvements". Below is a description of each Zone within the boundaries of the District.

#### Description of the Boundaries and Improvement Services of LMD No. 84-2

**Benefit Zone 1** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the west parkway of Lincoln Avenue adjacent to the benefit zone. The improvements were required by the conditions of approval for Tract No. 19288 and Tract No.'s 19288-1 through 19288-5.

**Benefit Zone 2** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover within the buffer zone along the westerly boundary of the open space designated as Lot "A" within Tract No. 19981 and the Corydon Street parkways. Also to be maintained are the access road and the natural open space of Lot "A." The improvements were required by the condition of approval for Tract No. 19981.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and open space lot (Lot "A"), within Tract No. 20515. The improvements were required by the condition of approval for Tract No. 20515.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street and Lot "C" of Tract No. 21354. The improvements were required by the condition of approval for Tract No. 21354.
- ◆ The irrigation system, trees, and ground cover within the parkway along Corydon Street, Tract No.'s 27305-1 through 27305-9, and incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 4** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ Parkway irrigation system, trees, and ground cover along Ontario and Fullerton Avenues and Old Temescal Road within the benefit zone. The improvements were required by the condition of approval for Tract No. 19480.
- ◆ Parkway irrigation system, trees, and ground cover adjacent to the following tracts and along Old Temescal Road and Ontario, Fullerton, and Rimpau Avenues. The improvements were required by the condition of approval for Tract No.'s 19690, 19690-1, and 19690-2.
- ◆ Parkway irrigation system, trees, and ground cover along Old Temescal Road and Fullerton and Rimpau Avenues within the benefit zone. The improvements were required by the condition of approval for Tract No. 19688.
- ◆ Parkway irrigation system, trees, ground cover, and sidewalk within the 12-foot parkways adjacent to Tract No. 22961, along Old Temescal Road and Rimpau Avenue. The improvements were required by the condition of approval for Tract No. 22961.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 6** includes all property within Assessment District No. 79-2, located north and south of Route 91 between Cresta Verde and Buchanan Street. The improvements consist of maintaining the following irrigation systems, trees, and ground cover along the following:

- ◆ McKinley Street median between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line (approximately 200 feet north of Mt. Humpries Street).
- ◆ Promenade Avenue median between 2,000 feet west of McKinley Street and 1,300 feet east of McKinley Street.
- ◆ Parkway and streetscape landscaping along McKinley Street, between Magnolia Avenue and the Rancho El Sobrante de San Jacinto boundary line, except on the west side between Sampson Avenue and Magnolia Avenue.
- ◆ Parkway and streetscape landscaping along Promenade Avenue between the Riverside Freeway and Buchanan Street.
- ◆ Parkway and streetscape landscaping along portions of Buchanan Street adjacent to the area known as Westfield Corona and from Wimbledon Drive to the north boundary of said area.

- ◆ Parkway and streetscape landscaping along the north side of Wimbledon Drive from Buchanan Street to Surry Circle; north side of Dartmouth Street from Buchanan Street to Chelsea Way; both sides of Eaton Street between Coventry Way and Astoria; and both sides of Brittany Drive between Newcastle and Promenade Avenue.
- ◆ Parkway and adjacent slope irrigation, trees, and ground cover along the east side of Mondale Street, between Kennedy Drive and Promenade Avenue; open space Lots 79 and 80 of Tract No. 21213; and the slopes adjacent to the Riverside Freeway. The improvements were required by the conditions of approval for Tract No. 21213.
- ◆ Parkway irrigation, trees, and ground cover along the north side of Cresta Road between Harding Road and Promenade Avenue and the southwest side of Collett Avenue between Coolidge Street and Promenade Avenue as were required by the conditions of approval for Tract No. 19191.
- ◆ Parkway irrigation, trees, and ground cover along the west side of Collett Avenue between Promenade Avenue, and 400 feet southwest of Cresta Road as were required by the conditions of approval for Tract No. 19666.
- ◆ Parkway irrigation and ground cover along the northeast side of Cresta Avenue, along Lots 31 through 34 of Tract No. 19191-2.
- ◆ Natural conditions within open space Lots 69, 83, 84, and 126 of Tract No. 20775.
- ◆ The irrigation system and landscape improvements within Lots D and E of Tract No. 23454 and Lots C, D, and E of Parcel Map No. 23376.
- ◆ The irrigation system and landscaping within the parkway along the northwesterly side of Buchanan Street from the south side of Dartmouth Street to the north side of Wimbledon Drive. The improvements were required by the condition of approval for Tract No. 24129 and Parcel Map No. 24041.
- ◆ The irrigation system and landscaping within the median and parkway along McKinley Street and adjacent to Assessor Parcel Numbers 172-420-002 and 172-420-003. The improvements were required by the condition of approval for Assessor Parcel Numbers 172-420-002 and 172-420-003.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 29876.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.
- ◆ The improvements are required as set forth by Specific Plan "SP 81-2" and were constructed both under Assessment District No. 79-2, City of Corona, State of California and as conditions of approval for various developments.

*Benefit Zone 7* improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover constructed as part of the detention basin within Lot 142 of Tract No. 20966; and the parkway and slope landscaping along Ontario Avenue. The improvements were required by the condition of approval for Tract No.'s 20818, 21720, and 20966.
- ◆ The irrigation system, trees, and ground cover as part of the detention basin within Lot 1 of Tract No. 19159-1.
- ◆ The irrigation system and landscape improvements within the common lots adjacent to Ontario Avenue and within Tract No.'s 21203 and 21720.
- ◆ Decorative block wall and landscaping in the ten-foot wide landscaping lot along Via Pacifica.
- ◆ Landscape pockets and landscaping within the decorative wall along Citron Street, between Via Pacifica and the Oak Street Channel.
- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 22535 and along Ontario Avenue, and slope easements located within Lots 1, 27, and 28 of Tract No. 22535.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

*Benefit Zone 10* includes two distinct areas that are within Specific Plan "SP 85-2", as approved by the Corona City Council on September 18, 1985. The improvements to be maintained consist of the following:

- ◆ Parkway irrigation system, trees, and ground cover along both sides of Green River Drive, Ridgeline Drive, Serfas Club Drive, Paseo Grande, Montana Ranch Road, and Palisades Drive. Also to be maintained are the lots designated for open space and



the fuel modification zone, including erosion control, plant replacement, and landscaping debris cleanup. The improvements were required by the condition of approval for Tract No. 20872.

- ◆ The irrigation system, trees, and ground cover within the common area designated as Lot No. 17, Tract No. 12166. The improvements were required by the condition of approval for Tract No. 12166.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 14** improvements were a condition of approval for Tract No.'s 20796 and 22579 and consist of maintaining irrigation systems, trees, and ground cover along the following:

- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets.
- ◆ Flood control detention basins.
- ◆ The above improvements were required as set forth by the Woodlake Specific Plan "SP 85-3" approved by the Corona City Council on November 20, 1985 and by the condition of approval for Map No. 20796.
- ◆ The irrigation system and landscaping within Lots A through D, Tract No. 22579 and those portions of the Hidden Valley Parkway within Tract No. 22579. The improvements were required by the condition of approval for said tract.
- ◆ The irrigation system and landscaping within Lots F and I, Tract No. 25249. The improvements were required by the condition of approval for Tract No. 25249.
- ◆ Median, parkway, and streetscape landscaping along Hidden Valley Parkway, McKinley Street, and other public streets. The improvements were required by the conditions of approval for Tract No. 29595.
- ◆ Median, parkway, and streetscape landscaping along Stevens Drive. The improvements were required by the conditions of approval for Parcel Map No. 33533.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 15** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system, trees, and ground cover of the parkway along the public right-of-way within Tract No. 20006. The improvements were required by the condition of approval for said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 17** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscape improvements within the parkway adjacent to Tract No. 21355 and along Stagecoach Road; slope easements located within Lots 1 through 6 and 192 through 205; and the westerly parkway on Stagecoach Road from the southerly boundary of Tract No. 21355 to Corydon Street.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 18** improvements were a condition of approval for specific tracts and consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No.'s 24716 & 32195; Assessor Parcel Numbers 119-060-018; 119-060-020; and 119-060-022; and along River Road (including the center median area); Lincoln Avenue and Harrington Street; and the riparian habitat area within and adjoining that portion of the Norco Channel within said tract.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

**Benefit Zone 19** consists of various developments within South Corona for which the improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping in accordance with the South Corona Community Facilities Plan. These improvements are also referred to as the "South Corona Streetscapes," and includes parkways, medians, and dedications to the City of Corona from past and future South Corona development.
- ◆ The irrigation system and landscaping within Lots A and B, Parcel Map No. 22908, and the portion of the westerly Lincoln Avenue parkway fronting said map.
- ◆ The irrigation system and landscaping within the easterly Mangular Avenue parkway adjacent to Tract No. 24118.

- ◆ The irrigation system and landscaping within the easterly parkway along Oak Avenue, the northeasterly parkway along Chase Drive, adjacent to Tract No. 23434, and within Lots L, M, O, P, Q, R, S, T, and U of Tract No. 23434.
- ◆ The irrigation system and landscaping within Lots F and G of Tract No. 22707 and that portion of the westerly Mangular Avenue parkway adjacent to said map.
- ◆ The irrigation system and landscaping within Lots A and B of Tract No. 20971 and that portion of Fullerton Avenue (formerly Garretson Avenue) parkway fronting said map.
- ◆ The irrigation system and landscaping within Lots A, K, and L, Tract No. 24326 and the parkways adjacent to said tract and along Chicago Street and Citrus Way. The improvements were required by the condition of approval for Tract No. 24326.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 23861 and along California Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23401-1 and 23401-2, and along California and Chase Avenues; and the bike path adjacent to said tracts and along Chase Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25009 and along Foothill Parkway, Highgrove Street, and Lot F of Tract No. 25009.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24533, along the east side of Lincoln Avenue, north side of Foothill Parkway, and west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24271 and along the west side of Buena Vista Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and J of Tract No. 27199, and the parkways adjacent to said tract and along the north side of Santana Way.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 26807, 25466, and 25652C, and along the east side of Fullerton Avenue (formerly Garretson Avenue), south side of Foothill Parkway, both sides of Valencia Avenue, and the north side of Upper Drive.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 25817 and along the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within Lots D, E, F, and I of Tract No. 26012-1 and the parkways adjacent to Tract No.'s 26012-1 and 26012, along the east side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within Lots C, D, and E, Tract No. 26903-1 and the parkways adjacent to said tract and along the north side of Chase Drive and the east side of Fullerton Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27504, along the north side of Chase Drive and the east side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25887, along the north side of Chase Drive and the west side of Rimpau Avenue (formerly Lester Avenue).
- ◆ The irrigation system and landscaping within parkways on Fullerton and Gilbert Avenues adjacent to Parcel Map 24234, all within Annexation No. 37.
- ◆ The irrigation system and landscaping within parkways north of Encanto Street and west of Hudson Avenue adjacent to Tract No. 26062, all within Annexation No. 40.
- ◆ The irrigation system and landscaping within parkways adjacent to Parcel Map 26695 located east of Gilbert Avenue, all within Annexation No. 45.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25466 and 25466-1 and along the north side of Upper Drive and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 52.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27802, along the north side of Foothill Parkway and the west side of Rimpau Avenue (formerly Lester Avenue), all in Annexation No. 53.
- ◆ The irrigation system and landscaping within the parkway adjacent to Tract No. 25311R and along the south side of Chase Drive and the north side of Foothill Parkway, all in Annexation No. 54.

- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27916-1, 27916-2, and 27916-3, along the east side of Lincoln Avenue, all in Annexation No. 55.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 23956, 23956-1, and 23956-2, along the west side of Kellogg Avenue, all in Annexation No. 56.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 27860 along the north side of Foothill Parkway, all in Annexation No. 57.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24272 and Tract No.'s 24272-1 through 24272-8, along the east and west sides of Lincoln Avenue, and along the west side of Buena Vista Avenue, all in Annexation No. 58; and the irrigation system and landscaping within parkways adjacent to Tract No. 25690, along the west side of Lincoln Avenue.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26117-1, along the north side of Foothill Parkway, all in Annexation No. 59.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25571 and 25571-1 and along the north and south side of Citrus Way, all in Annexation No. 60.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 27833, 27833-1, and 27833-2, along the west side of Fullerton Avenue, all in Annexation No. 61.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25315, 25315-1, 25315-2, and 25315-3, along the east side of Kellogg Avenue and the south side of Santana Way, all in Annexation No. 62.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 24077, 24077-1, 24077-2, and 24077-3, all in Annexation No. 63.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25396, along the east side of Rimpau Avenue, and along the west side of California Avenue, all in Annexation No. 64.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 24840, along the south side of Valencia Avenue and north side of Upper Drive, all in Annexation No. 65.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 28177 and 28177-1, and along the south side of Foothill Parkway, the east side of Rimpau Avenue, and the north side of Valencia Avenue, all in Annexation No. 66.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25310R, along the south side of Chase Drive, the east side of Fullerton Avenue, and the north side of Foothill Parkway, all in Annexation No. 67.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No.'s 25468, 25468-1, 25468-2, and 25468-3, along the south side of Foothill Parkway and the west side of California Avenue, all in Annexation No. 68.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26058 and along the south side of Chase Drive and the west side of Fullerton Avenue, all in Annexation No. 69.
- ◆ The irrigation system and landscaping within the parkways adjacent to Parcel Map No. 26978 and along the east side of Lincoln Avenue, all in Annexation No. 70.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26238, along the south side of Taber Road, and along the west side of California Avenue, all in Annexation No. 71.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 28180, along the south side of Ontario Avenue and the west side of Rimpau Avenue, all in Annexation No. 73.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 25917R-1, all in Annexation No. 74.
- ◆ The irrigation system and landscaping within the parkways adjacent to Tract No. 26807-R, along the east side of Fullerton Avenue, the north side of Valencia Road, and the south side of Foothill Parkway, all in Annexation No. 75.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.



**Benefit Zone 20** consists of the Mountain Gate Specific Plan and its Amendment ("SPA90-09") Area for which improvements consist of maintaining the following:

- ◆ The irrigation system and landscaping within the parkways and medians of the arterial and collector streets, including the additional landscape lots that are proposed to be dedicated along a number of the major streets.
- ◆ The structure and exterior face of the project theme walls located along the major arterial and collector streets in the planned community.
- ◆ Entry monuments and special landscape areas located at the major project entries, secondary project entries, individual subdivision entries, and special landscape areas identified on the Mountain Gate landscape master plan.
- ◆ The landscaping, bicycle paths, recreational improvements, and open space areas which may be developed and dedicated to the public within the designated estate residential cluster development areas, exclusive of public park areas.
- ◆ The designated fuel modification areas in the hillside overlay zone of Planning Area 26.
- ◆ Other improvements which may be accepted by the City Council for maintenance by the landscape maintenance district.
- ◆ Incidental drainage facilities in conjunction with the above landscape improvements.

### Changes in Benefit Zone Boundaries

During the lifetime of the District, several changes have occurred that affect the boundaries of the benefit zones. The plans and specifications for the changes are on file with the City of Corona.

1. Due to the nature, location, and extent of the improvements it has been determined that some benefit zones received the same degree of benefit. Accordingly, these benefit zones have been eliminated by consolidating them with other zones, as follows:
  - ◆ Benefit Zone 8 was consolidated into Benefit Zone 7.
  - ◆ Benefit Zone 9 and 13 were consolidated into Benefit Zone 4.
  - ◆ Benefit Zone 11 was consolidated into Benefit Zone 10.
2. Four benefit zones were eliminated for the following reasons:
  - ◆ Benefit Zones 3 and 5 have been eliminated because the interim detention basins are no longer necessary due to the installation of storm drains.
  - ◆ Benefit Zone 12 has been eliminated because improvements formerly maintained by the City are now maintained by the Cresta Verde Golf Course.
  - ◆ Benefit Zone 16 has been eliminated because the interim detention basin is no longer necessary due to the Oak Street Channel improvement. The property maintenance has been turned over to the underlying property owner and all affected property owners were notified of the levy being discontinued.
3. Due to the nature, location, and extent of the improvements, the Mountain Gate Specific Plan Area was detached from Benefit Zone 19 to establish Benefit Zone 20.

The cost of servicing, maintaining, repairing, and replacing the actual improvements as described in the Plans and Specifications are summarized as follows:

*Table 2-1*  
*Benefit Zone 1 - Budget*

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$1,688	\$1,691
Maintenance Inspection and Administration	\$1,729	\$946
Utilities	\$700	\$700
<b>Total Direct Costs</b>	<b>\$4,117</b>	<b>\$3,337</b>
<b>Indirect Costs</b>		
County Admin	\$170	\$170
City Personnel/Overhead	\$99	\$102
Engineering Costs	\$22	\$22
<b>Total Indirect Costs</b>	<b>\$291</b>	<b>\$294</b>
<b>Total Costs</b>	<b>\$4,408</b>	<b>\$3,631</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$261)	\$516
<b>Total Adjustments</b>	<b>(\$261)</b>	<b>\$516</b>
<b>Total Assessment</b>	<b>\$4,147</b>	<b>\$4,147</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$2,204	\$1,816
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$2,204</b>	<b>\$1,816</b>
Beginning Capital Replacement Reserve	\$19,650	\$20,039
Reserve Collection	\$0	\$516
Reserve Contribution	(\$261)	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$19,390</b>	<b>\$20,555</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$516 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 1.

Table 2-2  
Benefit Zone 2 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$24,157	\$24,211
Maintenance Inspection and Administration	\$13,823	\$12,813
Utilities	\$49,714	\$49,714
<b>Total Direct Costs</b>	<b>\$87,694</b>	<b>\$86,738</b>
<b>Indirect Costs</b>		
County Admin	\$451	\$451
City Personnel/Overhead	\$1,825	\$1,891
Engineering Costs	\$390	\$390
<b>Total Indirect Costs</b>	<b>\$2,666</b>	<b>\$2,732</b>
<b>Total Costs</b>	<b>\$90,360</b>	<b>\$89,470</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$9,067)	(\$8,177)
General Benefit <sup>(1)</sup>	(\$209)	(\$209)
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$9,276)</b>	<b>(\$8,386)</b>
<b>Total Assessment</b>	<b>\$81,084</b>	<b>\$81,084</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$45,180	\$44,735
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$45,180</b>	<b>\$44,735</b>
Beginning Capital Replacement Reserve	\$25,086	\$41,429
Reserve Collection	\$0	\$0
Reserve Contribution	(\$9,067)	(\$8,177)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$16,019</b>	<b>\$33,252</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 76.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$8,177 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the capital improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 2.

Table 2-3  
Benefit Zone 4 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$28,145	\$32,503
Maintenance Inspection and Administration	\$14,921	\$14,223
Utilities	\$31,051	\$31,051
<b>Total Direct Costs</b>	<b>\$74,117</b>	<b>\$77,777</b>
<b>Indirect Costs</b>		
County Admin	\$300	\$300
City Personnel/Overhead	\$2,174	\$2,294
Engineering Costs	\$442	\$442
<b>Total Indirect Costs</b>	<b>\$2,916</b>	<b>\$3,036</b>
<b>Total Costs</b>	<b>\$77,033</b>	<b>\$80,813</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$16,582	\$12,802
<b>Total Adjustments</b>	<b>\$16,582</b>	<b>\$12,802</b>
<b>Total Assessment</b>	<b>\$93,615</b>	<b>\$93,615</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$38,517	\$40,407
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$38,517</b>	<b>\$40,407</b>
Beginning Capital Replacement Reserve	\$165,524	\$179,798
Reserve Collection	\$16,582	\$12,802
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$182,106</b>	<b>\$192,600</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$12,802 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 4.

Table 2-4  
Benefit Zone 6 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$179,187	\$179,371
Maintenance Inspection and Administration	\$50,236	\$48,894
Utilities	\$103,865	\$103,865
<b>Total Direct Costs</b>	<b>\$333,288</b>	<b>\$332,130</b>
<b>Indirect Costs</b>		
County Admin	\$1,200	\$1,100
City Personnel/Overhead	\$7,461	\$7,717
Engineering Costs	\$1,518	\$1,518
<b>Total Indirect Costs</b>	<b>\$10,179</b>	<b>\$10,335</b>
<b>Total Costs</b>	<b>\$343,467</b>	<b>\$342,465</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$28,432)	(\$27,430)
<b>Total Adjustments</b>	<b>(\$28,432)</b>	<b>(\$27,430)</b>
<b>Total Assessment</b>	<b>\$315,035</b>	<b>\$315,035</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$171,734	\$171,233
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$171,734</b>	<b>\$171,233</b>
Beginning Capital Replacement Reserve	\$247,236	\$264,500
Reserve Collection	\$0	\$0
Reserve Contribution	(\$28,432)	(\$27,430)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$218,804</b>	<b>\$237,070</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,430 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 6.

Table 2-5  
Benefit Zone 7 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$37,758	\$37,804
Maintenance Inspection and Administration	\$13,665	\$12,703
Utilities	\$19,651	\$19,656
<b>Total Direct Costs</b>	<b>\$71,074</b>	<b>\$70,163</b>
<b>Indirect Costs</b>		
County Admin	\$500	\$500
City Personnel/Overhead	\$1,867	\$1,931
Engineering Costs	\$378	\$378
<b>Total Indirect Costs</b>	<b>\$2,745</b>	<b>\$2,809</b>
<b>Total Costs</b>	<b>\$73,819</b>	<b>\$72,972</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$4,974	\$5,821
<b>Total Adjustments</b>	<b>\$4,974</b>	<b>\$5,821</b>
<b>Total Assessment</b>	<b>\$78,793</b>	<b>\$78,793</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,910	\$36,486
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$36,910</b>	<b>\$36,486</b>
Beginning Capital Replacement Reserve	\$51,381	\$94,556
Reserve Collection	\$4,974	\$5,821
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$56,355</b>	<b>\$100,377</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$5,821 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 7.

Table 2-6  
Benefit Zone 10 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$653,543	\$672,156
Maintenance Inspection and Administration	\$309,586	\$310,487
Utilities	\$311,070	\$311,070
<b>Total Direct Costs</b>	<b>\$1,274,199</b>	<b>\$1,293,713</b>
<b>Indirect Costs</b>		
County Admin	\$1,300	\$1,300
City Personnel/Overhead	\$50,667	\$52,403
Engineering Costs	\$10,126	\$10,126
<b>Total Indirect Costs</b>	<b>\$62,093</b>	<b>\$63,829</b>
<b>Total Costs</b>	<b>\$1,336,292</b>	<b>\$1,357,542</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$808,307	\$781,724
<b>Total Adjustments</b>	<b>\$808,307</b>	<b>\$781,724</b>
<b>Total Assessment</b>	<b>\$2,144,599</b>	<b>\$2,139,266</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$668,146	\$678,771
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$668,146</b>	<b>\$678,771</b>
Beginning Capital Replacement Reserve	\$4,327,332	\$5,548,198
Reserve Collection	\$808,307	\$781,724
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$5,135,638</b>	<b>\$6,329,922</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$781,724 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. The City is currently working with a landscape architect on the Year 3 cycle of the 10-year renovation plan for Zone 10. The Year 2 project was completed in August 2020.

Table 2-7  
Benefit Zone 14 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$207,715	\$208,057
Maintenance Inspection and Administration	\$84,749	\$84,431
Utilities	\$85,140	\$85,140
Debt Service	\$0	\$0
<b>Total Direct Costs</b>	<b>\$377,604</b>	<b>\$377,628</b>
<b>Indirect Costs</b>		
County Admin	\$1,000	\$1,000
City Personnel/Overhead	\$13,924	\$14,401
Engineering Costs	\$2,832	\$2,832
<b>Total Indirect Costs</b>	<b>\$17,756</b>	<b>\$18,233</b>
<b>Total Costs</b>	<b>\$395,360</b>	<b>\$395,861</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$194,070	\$193,569
General Benefit <sup>(1)</sup>	(\$767)	(\$767)
<b>Total Adjustments</b>	<b>\$193,303</b>	<b>\$192,802</b>
<b>Total Assessment</b>	<b>\$588,663</b>	<b>\$588,663</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$197,680	\$197,931
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$197,680</b>	<b>\$197,931</b>
Beginning Capital Replacement Reserve	\$973,674	\$1,261,799
Reserve Collection	\$194,070	\$193,569
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$1,167,744</b>	<b>\$1,455,368</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation No. 78.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$193,569 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 14.



Table 2-8  
Benefit Zone 15 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$18,138	\$18,145
Maintenance Inspection and Administration	\$5,815	\$4,686
Utilities	\$2,400	\$2,400
<b>Total Direct Costs</b>	<b>\$26,353</b>	<b>\$25,231</b>
<b>Indirect Costs</b>		
County Admin	\$130	\$130
City Personnel/Overhead	\$634	\$675
Engineering Costs	\$130	\$130
<b>Total Indirect Costs</b>	<b>\$894</b>	<b>\$935</b>
<b>Total Costs</b>	<b>\$27,247</b>	<b>\$26,166</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$309	\$1,390
<b>Total Adjustments</b>	<b>\$309</b>	<b>\$1,390</b>
<b>Total Assessment</b>	<b>\$27,556</b>	<b>\$27,556</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$13,624	\$13,083
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$13,624</b>	<b>\$13,083</b>
Beginning Capital Replacement Reserve	\$59,118	\$61,895
Reserve Collection	\$309	\$1,390
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$59,427</b>	<b>\$63,284</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$1,390 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 15.

Table 2-9  
Benefit Zone 17 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$22,874	\$24,887
Maintenance Inspection and Administration	\$5,131	\$4,134
Utilities	\$4,361	\$4,362
<b>Total Direct Costs</b>	<b>\$32,366</b>	<b>\$33,383</b>
<b>Indirect Costs</b>		
County Admin	\$215	\$215
City Personnel/Overhead	\$509	\$527
Engineering Costs	\$106	\$106
<b>Total Indirect Costs</b>	<b>\$830</b>	<b>\$848</b>
<b>Total Costs</b>	<b>\$33,196</b>	<b>\$34,231</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$3,971)	(\$11,859)
Capital Replacement Reserve	(\$7,115)	(\$262)
<b>Total Adjustments</b>	<b>(\$11,086)</b>	<b>(\$12,121)</b>
<b>Total Assessment</b>	<b>\$22,110</b>	<b>\$22,110</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$16,598	\$17,116
Reserve Collection	\$0	\$0
Reserve Contribution	(\$3,971)	(\$11,859)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$12,627</b>	<b>\$5,256</b>
Beginning Capital Replacement Reserve	\$7,115	\$262
Reserve Collection	\$0	\$0
Reserve Contribution	(\$7,115)	(\$262)
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$11,859 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$262 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 17.

Table 2-10  
Benefit Zone 18 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$41,979	\$44,836
Maintenance Inspection and Administration	\$8,511	\$6,474
Utilities	\$11,216	\$11,216
<b>Total Direct Costs</b>	<b>\$61,706</b>	<b>\$62,526</b>
<b>Indirect Costs</b>		
County Admin	\$286	\$286
City Personnel/Overhead	\$808	\$837
Engineering Costs	\$172	\$172
<b>Total Indirect Costs</b>	<b>\$1,266</b>	<b>\$1,295</b>
<b>Total Costs</b>	<b>\$62,972</b>	<b>\$63,821</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	(\$26,609)	(\$27,458)
General Benefit <sup>(1)</sup>	(\$383)	(\$383)
<b>Total Adjustments</b>	<b>(\$26,992)</b>	<b>(\$27,841)</b>
<b>Total Assessment</b>	<b>\$35,980</b>	<b>\$35,980</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$31,486	\$31,911
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(2)</sup></b>	<b>\$31,486</b>	<b>\$31,911</b>
Beginning Capital Replacement Reserve	\$62,358	\$34,127
Reserve Collection	\$0	\$0
Reserve Contribution	(\$26,609)	(\$27,458)
<b>Est. Ending Capital Replacement Reserve<sup>(3)</sup></b>	<b>\$35,748</b>	<b>\$6,669</b>

<sup>(1)</sup> The General Benefit Contribution will be applied to Annexation Nos. 80 & 81.

<sup>(2)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(3)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$27,458 is being contributed to subsidize the levy. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 18.

Table 2-11  
Benefit Zone 19 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$230,362	\$230,633
Maintenance Inspection and Administration	\$74,003	\$72,891
Utilities	\$241,128	\$241,128
<b>Total Direct Costs</b>	<b>\$545,493</b>	<b>\$544,652</b>
<b>Indirect Costs</b>		
County Admin	\$1,558	\$1,458
City Personnel/Overhead	\$10,954	\$11,332
Engineering Costs	\$2,240	\$2,240
<b>Total Indirect Costs</b>	<b>\$14,752</b>	<b>\$15,030</b>
<b>Total Costs</b>	<b>\$560,245</b>	<b>\$559,682</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	(\$95,305)	(\$94,742)
Capital Replacement Reserve	\$0	\$0
City Contribution	\$0	\$0
<b>Total Adjustments</b>	<b>(\$95,305)</b>	<b>(\$94,742)</b>
<b>Total Assessment</b>	<b>\$464,940</b>	<b>\$464,940</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$36,343	(\$40,258)
Reserve Collection	\$0	\$0
Reserve Contribution	(\$95,305)	(\$94,742)
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>(\$58,962)</b>	<b>(\$135,000)</b>
Beginning Capital Replacement Reserve	\$0	\$0
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$0</b>	<b>\$0</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy. For FY 2022, \$94,742 is being contributed to subsidize the levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. There are no anticipated major Capital Improvement Projects planned for Zone 19.

Table 2-12  
Benefit Zone 20 – Budget

Direct Costs	Estimated through June 30	
	FY 2021	FY 2022
Contract Services	\$311,503	\$315,390
Maintenance Inspection and Administration	\$154,777	\$154,085
Utilities	\$282,768	\$282,768
<b>Total Direct Costs</b>	<b>\$749,048</b>	<b>\$752,243</b>
<b>Indirect Costs</b>		
County Admin	\$767	\$767
City Personnel/Overhead	\$25,545	\$26,412
Engineering Costs	\$5,147	\$5,147
<b>Total Indirect Costs</b>	<b>\$31,459</b>	<b>\$32,326</b>
<b>Total Costs</b>	<b>\$780,507</b>	<b>\$784,569</b>
<b>Collection/(Contribution)</b>		
Operating Reserve	\$0	\$0
Capital Replacement Reserve	\$288,191	\$284,129
<b>Total Adjustments</b>	<b>\$288,191</b>	<b>\$284,129</b>
<b>Total Assessment</b>	<b>\$1,068,698</b>	<b>\$1,068,698</b>
<b>Reserve Fund Balances</b>		
Beginning Operating Reserve	\$390,254	\$392,285
Reserve Collection	\$0	\$0
Reserve Contribution	\$0	\$0
<b>Est. Ending Operating Reserve<sup>(1)</sup></b>	<b>\$390,254</b>	<b>\$392,285</b>
Beginning Capital Replacement Reserve	\$1,463,568	\$1,858,225
Reserve Collection	\$288,191	\$284,129
Reserve Contribution	\$0	\$0
<b>Est. Ending Capital Replacement Reserve<sup>(2)</sup></b>	<b>\$1,751,759</b>	<b>\$2,142,354</b>

<sup>(1)</sup> The Operating Reserve Fund may equal up to 50% of the estimated annual cost of providing services funded by the District and shall be used to pay the cost of services until the District receives funds from the assessment levy.

<sup>(2)</sup> The Capital Replacement Reserve Fund will be used for capital improvement projects including the cost to replace and/or renovate larger, more expensive improvements within the benefit zone. These improvements have finite life expectancies and will need to be replaced at some point in the future. On an annual basis, any non-expended assessment monies, in excess of the Operating Reserve Contribution, will be transferred to the Capital Replacement Reserve Fund until such time as there are sufficient monies to pay for these and/or other unforeseen improvement costs. For FY 2022, \$284,129 is allocated for Capital Replacement Reserves. Please refer to Appendix C for a list of the Capital Improvement projects by Zone. There are no anticipated major Capital Improvement Projects planned for Zone 20.

### Proposition 218 Compliance

On November 5, 1996 California voters approved Proposition 218, entitled the "Right to Vote on Taxes Act," which added Article XIII D to the California Constitution. While its title refers only to taxes, Proposition 218 establishes new substantive and procedural requirements for the formation and administration of assessment districts. Proposition 218 provides that all existing, new, or increased assessments must comply with Proposition 218's new substantive and procedural requirements unless the assessment is "grandfathered" as one of the four categories of assessments that existed on or before November 6, 1996 and is therefore exempted from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Two of the four categories of assessments that are "grandfathered" under Proposition 218 and are relevant to the District are:

1. Any assessment imposed exclusively to finance the capital cost or maintenance and operation expenses for sidewalks, streets, sewers, water, flood control, drainage systems or vector control.
2. Any assessments levied pursuant to a petition signed by the persons owning all of the parcels subject to the assessment at the time the assessment was initially imposed.

For purposes of applying the first exception, Proposition 218 does not define the term "streets"; however, based upon the opinions of public agency officials, attorneys and assessment engineers, as well as language in the Proposition 218 Omnibus Implementation Act (Government Code §§ 53750 et seq.) and the court's reasoning in *Howard Jarvis Taxpayers Association v. City of Riverside*, 73 Cal.App.4<sup>th</sup> 679 (1999), it has been determined that the term "streets" includes median and parkway landscaping, traffic signals, safety lighting, and street lighting, and all other public improvements located within the street right-of-way, since assessments for these types of improvements are traditionally appropriate, non-abusive special assessments. The improvements and services financed by LMD No. 84-2 constitute physical parts of the right-of-way in which the street is located, contribute to road and sidewalk safety, and provide for drainage and treatment of runoff. Therefore, the assessments levied by LMD No. 84-2 (other than the assessments for the Post Proposition 218 Annexations, defined below) are grandfathered under the first exception, and thus the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit, do not apply.

The second exception to the application of Proposition 218 also applies to LMD No. 84-2, because the District was initiated by a petition signed by the property owners within the District boundaries at the time it was formed and, therefore, the assessments are exempt from the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit.

Even if assessments are initially "grandfathered" under Proposition 218 and thus exempt from the substantive and procedural requirements of Proposition 218, if the assessments are increased in the future the City will need to comply with the provisions of Proposition 218 for that portion of the increased assessment formula (e.g., CPI increase). Additionally, although the assessments levied within LMD No. 84-2 are considered "grandfathered", the City has determined that it is appropriate to ensure that the assessments levied against properties that were annexed to LMD No. 84-2 after the passage of Proposition 218 comply with the "procedures and approval process" set forth in Proposition 218, including the requirement to separate general benefit from special benefit. The City has identified the following annexations to LMD No. 84-2 as annexations that were approved after the passage of Proposition 218 (collectively "Post 218 Annexations"):

Table 3-1  
Annexations

Annexation Year	Annexation Number	Zone	Property Annexed
2013	85	20	TT 34760
2013	84	10	TT 35590R
2007	83	14	PM 33761
2006	82	14	PM 33533
2005	81	18	TR 32195
2005	80	18	APN 119-060-018, -020, -022
2004	79	14	TR 29595
2001	78	14	PM 30197
2001	77	6	TR 29876
1997	76	2	TR 27305-8, -9

Proposition 218 defines "assessment" as "any levy or charge upon real property by an agency for a special benefit conferred upon the real property," (California Constitution, Article XIII D, §2(b)). A special assessment, sometimes called a "benefit assessment," is a charge generally levied upon parcels of real property to pay for benefits the parcels receive from local improvements. Special assessments are levied according to statutory authority granted by the Legislature or, in some instances, local charters. Distinguishing among taxes, fees and assessments can be difficult and often depends on the context in which the distinction is made. For example, taxes, assessments, and property-related fees all may be imposed on property. The key feature that distinguishes an assessment from a tax, fee, or charge is the existence of a special benefit to real property. Without identifying a special benefit, there can be no assessment.

### Distinguishing General and Special Benefit

Proposition 218 added a set of procedures and requirements which a local government must follow to levy an assessment. In addition to notice, hearing, and assessment ballot proceedings, Proposition 218 provides that "only special benefits are assessable" and requires a local government to "separate the general benefits from the special benefits conferred on a parcel."

There is no statutory definition or judicially approved formula for calculating general benefit. For purposes of this Report, general benefits are benefits from improvements or services that are not special in nature, are not particular and distinct, and are not over and above the benefits received by other properties. Proposition 218 defines "special benefit" as "a particular and distinct benefit over and above general benefits conferred on real property located in the District or to the public at large. General enhancement of property value does not constitute 'special benefit'."

By its nature, most every public improvement financed through an assessment district contains an element of public benefit. The test is: does there exist, with relation to the improvement, a special benefit to the property assessed? The law requires that the portion of the cost of the improvements which benefits the public generally (i.e., general benefits) be separated from the portion of the cost of the improvements which specially benefits assessed properties (i.e., special benefits).

The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are listed in Appendix A. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report.



## General Benefit

### *Post 218 Annexations*

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, the City has determined that the Landscape Improvements maintained within the Post 218 Annexations by each benefit zone (other than the Nominal General Benefit Annexations, defined and discussed below) provide negligible general public benefit in that each benefit zone is comprised of separate and discrete neighborhoods for which the Landscape Improvements were installed. The Landscape Improvements do not extend beyond the perimeter of the boundary of each of those discrete neighborhoods. Additionally, other than the Nominal General Benefit Annexations discussed below, the improvements financed by LMD No. 84-2 for the Post 218 Annexations do not include any Landscape Improvements in the parkway areas fronting each discrete neighborhood. In other words, all of the Landscape Improvements financed by LMD No. 84-2 for the Post 218 Annexations are located entirely within the interior areas of the developments that comprise and are included in the Post 218 Annexations.

As further explained in the Direct and Special Benefit section, the Landscape Improvements within the Post 218 Annexations provide a direct advantage only to the properties that are within the boundaries of each discrete neighborhood/benefit zone. Although the discrete neighborhoods that comprise each benefit zone could be accessed by the public at large, the Landscape Improvements within the Post 218 Annexations that are financed by LMD No. 84-2 were specifically designed, located and created to provide additional and improved public resources exclusively for real property within the Post 218 Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views and other special benefit factors discussed below under Direct and Special Benefit. Moreover, since all properties within each benefit zone have equal access and opportunity to enjoy the Landscape Improvements within the Post 218 Annexations that are financed by District assessments, all properties within each benefit zone benefit equally from the Landscape Improvements and the costs and expenses for the landscaping maintenance and services are appropriately apportioned on a per parcel or a per acre basis. Based upon the foregoing, the City has concluded that there is no measurable general benefit associated with the Landscape Improvements financed with the assessments levied against properties within the Post 218 Annexations (other than the Nominal General Benefit Annexations discussed below).

### *Nominal General Benefit Annexations*

In reviewing the location and extent of the specific landscaped areas and improvements within the Post 218 Annexations that are funded by the District assessments and the proximity and relationship to properties to be assessed, it has been determined that the following annexation areas include landscape improvements within the parkway areas fronting the developments that comprise and are included in the Post 218 Annexations: Annexation 76 to Zone 2 (TR 27305-8 & 9), Annexation 78 to Zone 14 (PM 30197), Annexation 80 to Zone 18 (APN Nos. 119-060-18, -020, -022), and Annexation 81 to Zone 18 (TR 32195) (collectively, "Nominal General Benefit Annexations"). At the time of annexation of these developments, the improvements to be financed by the District assessments were considered local improvements that were required to be installed in connection with the development of properties within these annexation areas. Similar to the Post 218 Annexations, the Landscape Improvements within the Nominal General Benefit Annexations that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large.

Similar to the Post 218 Annexations, the majority of the Landscape Improvements (see discussion below regarding the Landscape Improvements within frontage parkway areas) provided and maintained within the Nominal General Benefit Annexations do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises the annexation area and are located entirely within the interior areas of the developments that comprise and are included in the Nominal General Benefit Annexations. As such, the interior Landscape Improvements within the Nominal General Benefit Annexations provide a direct advantage only to the properties that are within the boundaries of each annexation area. Although the developments that comprise and are included in the Nominal General Benefit Annexations could be accessed by the public at large, the Landscape Improvements within these annexation areas that are financed by District assessments were specifically designed, located, and created to provide additional and improved public resources for real property within the Nominal General Benefit Annexations and not the public at large. Other properties that are located outside each benefit zone do not enjoy the unique proximity, access, views, and other special benefit factors discussed in the Direct and Special Benefit section.



However, as indicated above, the assessments levied within the Nominal General Benefit Annexations also provide and maintain Landscape Improvements within the parkway areas fronting the developments that comprise and are included in the Nominal General Benefit Annexations. Since these parkway areas are readily accessible and viewable by the public at large, there may be some general benefit enjoyed by the general public as a result of the Landscape Improvements located and maintained in these parkway areas. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within the Nominal General Benefit Annexations at the enhanced level or standard that the Landscape Improvements are currently provided and maintained. The maintenance, upkeep, and repair of such parkway Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. As such, the maintenance of the Landscape Improvements within the parkway areas fronting each annexation area to the current enhanced level and standard of maintenance has a direct and particular impact or special benefit only on those properties within the Nominal General Benefit Annexations and any maintenance or services beyond that which is required to ensure the safety and protection of the general public and property, has no identifiable benefit to the public at large or properties outside these annexations. The general benefit derived from the maintenance of the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations can be quantified as the cost that the City would incur to provide the minimal level of maintenance and services necessary for public health and safety. The costs incurred to maintain the Landscape Improvements within the parkway areas fronting the Nominal General Benefit Annexations over and above this minimum level of service would provide a direct advantage only to the properties within the Nominal General Benefit Annexations and is considered to be a special benefit.

In the absence of the assessments levied by LMD No. 84-2, the City would typically provide only weed abatement and erosion control services for parkway areas. These services would typically be provided twice annually. This level of service provides for public safety and avoids negative impacts on adjacent roadways and vehicles traveling on those roadways, but results in a far less visually pleasing environment than is created with the enhanced level of service currently provided to the parkway areas within the Nominal General Benefit Annexations. The cost to provide the baseline weed abatement and erosion control level of service is approximately \$0.02 per square foot, twice a year, for parkway areas. The general benefit is determined by multiplying the weed abatement and erosion control service costs by the square footage of these parkway areas. Since the baseline services, unlike the enhanced level of service that is provided as a result of the District assessments, provide some benefits to the general public and to the neighborhoods outside of the benefit zones, the cost of providing this baseline service is treated as the cost of general benefits from landscape maintenance services. Utilizing these per square foot costs and the square footages of the parkway areas in the Nominal General Benefit Annexations, the current estimated general benefit costs calculated for the frontage parkway areas within Annexation 76 to Zone 2 is \$209.09, within Annexation 78 to Zone 14 is \$766.66, and within Annexation Zones 80 and 81 to Zone 18 is \$382.80. These general benefit costs are identified as the "General Benefit Contribution" in the applicable Zone budgets in Section 2 (Cost Estimate) of this Report and will be credited to those properties included within the Nominal General Benefit Annexations. Funding for these general benefit costs will be provided by the City's General Fund.

### Direct and Special Benefit

The types of services provided within LMD No. 84-2 is the maintenance of parks, slopes, parkways, and open space, including but not limited to: ground cover, shrubs, plants and trees, irrigation systems, graffiti removal, sidewalks and masonry walls, entry monuments, tot lot equipment, and associated appurtenant facilities. Services provided include all necessary service, operations, administration, capital replacement and maintenance required to keep the above-mentioned improvements in a healthy, vigorous and satisfactory working condition.

As explained above, the assessments levied within LMD No. 84-2 (other than the Post 218 Annexations) are considered "grandfathered" and thus the substantive and procedural requirements of Proposition 218, including the requirement to separate general benefit from special benefit, do not apply. However, with respect to assessments levied against properties included within the Post 218 Annexations, particular direct and special benefit is provided by the Landscape Improvements which include, but are not limited to, enhanced aesthetics of areas within the benefit zones providing additional desirability for potential buyers, a more pleasant environment to walk, drive, live, and work for property owners in addition to controlling dust and potential erosion. The primary function of these Landscape Improvements and related amenities is to serve as an aesthetically pleasing enhancement and green space for the benefit of the immediately surrounding development within the individual benefit zones for which the improvements were constructed and installed. These improvements are an integral part of the physical environment of parcels within the benefit zones, and if the improvements were not properly maintained, it is these parcels that would be negatively affected. In addition, the landscape improvements serve as a physical buffer as well as a sound reduction or buffer between the roadways and the properties in the

benefit zones, as well as a physical buffer and openness between properties within the benefit zones. The improvements installed in connection with the development of the parcels constituting the benefit zones would not be necessary or required without the development of those parcels within the District.

The assessment revenue derived from real property in each benefit zone is expended only on the Landscape Improvements in that benefit zone. The Landscape Improvements are located in close proximity to the real property within each benefit zone that is subject to the assessments and provide a direct advantage to the property in the benefit zone in that the improvements funded by the assessments are directly provided only to the real property in each benefit zone. Other than the Nominal General Benefit Annexations, the Landscape Improvements do not extend beyond the perimeter of the boundary of each discrete neighborhood that comprises a benefit zone and are located entirely within the interior areas of each neighborhood. In the absence of the assessments, the Landscape Improvements would not be provided or maintained within LMD No. 84-2 and the maintenance, upkeep, and repair of such Landscape Improvements would be reduced to the minimal standard necessary for public health and safety. Therefore, the assessments provide and fund Landscape Improvements that are over and above what otherwise would be provided. The fact that the Landscape Improvements are over and above what otherwise would be provided, combined with the unique proximity and access to the Landscape Improvements enjoyed by real property within LMD No. 84-2, demonstrates that the assessments provide a direct advantage and special benefit to real property within LMD No. 84-2.

### Method of Apportionment

Pursuant to the Landscaping and Lighting Act of 1972 and Article XIII D of the Constitution of the State of California, all parcels that have special benefit conferred upon them as a result of the maintenance and operation of improvements shall be identified and the proportionate special benefit derived by each identified parcel shall be determined in relationship to the entire cost of the maintenance and operation of the improvements. Only parcels that receive direct special benefit are assessed, and each parcel is assessed in proportion to the estimated benefit received.

To proportionally allocate special benefit to each parcel, it is necessary to correlate each property's proportional benefit to other properties that benefit from the improvements and services being funded: In order to do this, the assessment methodology assigns each parcel a number of benefit units based on its land use. One benefit unit is defined as the special benefit allocable to a single family home.

**Single Family Residential Property** - The method of apportionment assigns each fully subdivided single family residential dwelling one benefit unit.

**Multi-Family Residential Property** - This land use classification identifies residential developments that typically have 60% fewer people per dwelling unit than single family residential property and therefore have been assigned to 0.60 benefit unit, per dwelling.

**Commercial Property** - The method of apportionment assigns benefit units by multiplying the overall acreage by five benefit units per acre, (based on the typical number of residential property in an acre of typical development).

**Benefit Zones 1, 2, 4, 7, 15, 17, and 18** - Prior to total development and the recordation of tract maps, the benefit will be assessed according to the number of lots, units, or acreage within the tentative tract map.

**Benefit Zone 6** - As development occurs and prior to total development, each undeveloped parcel will be assessed the number of projected benefit units in accordance with SP 81-2.

**Benefit Zone 10** - Currently, there are approximately 0.97 acres of undeveloped property and one parcel classified as reserved development within this zone. The Assessor's Parcel Number is 102-370-009.

A reserved development designation was assigned to Assessor's Parcel Number 102-370-009 under SP 85-2. Other than for mining purposes, development of Assessor's Parcel Number 102-370-009, approximately 80 acres, is not anticipated at this time.

**Benefit Zone 14** - SP 85-3 (Tract No. 20796) and Tract No. 22579 created approximately 2,553 residential units of varying densities and 12.3 acres of commercial support. The updated total projected build-out is approximately 2,350 units. This benefit zone is at near build-out status and nearly all benefit units have been assessed.

**Benefit Zone 19** - Benefit Zone 19 consists of various developments within South Corona. The method of assessment is based on approximately 3,700 benefit units with a residential dwelling equal to one benefit unit.

**Benefit Zone 20** - SPA90-09 proposes 3,248 residential units of varying densities, 15.1 acres of commercial developments, and 15.8 acres of quasi-public land use. Currently, there are 2,754 residential units, 10.1 acres of commercial development, and 6.91 acres of quasi-public land use. At the present time the benefit zone maintains 62.47 acres of landscaping.

### **Prior Proposition 218 Proceedings for Rate Increase**

**Benefit Zone 1** – In 2001, due to increased maintenance costs and low reserves, a special election was held to increase Benefit Zone 1 from \$22.54 per assessment unit to \$33.54 per assessment unit (an \$11.00 increase per assessment unit). The proposed increase failed to receive a majority ballot approval. Consequently, the trees and turf suffered considerably due to the lack of irrigation. Maintenance and operating service costs were reduced to eliminate tree trimming, replacement, and any landscape enhancement. In 2012, the turfgrass was removed and decomposed granite ("DG") was installed to help further reduce maintenance costs.

**Benefit Zone 4** - After a failed election in 2002, the City received many complaints from property owners within Benefit Zone 4 due to the condition of the landscape. Therefore, the City again conducted a special election pursuant to the provisions of Proposition 218 for Benefit Zone 4 in July of 2003. The proposed increase for Benefit Zone 4 was from \$75.00 to \$138.00 (\$63.00 per assessment unit). In order to provide sufficient funds from the levy and collection of assessments within the benefit zone in future Fiscal Years to pay increasing costs due to inflation, it was proposed that the assessments levied on assessable parcels of property in Benefit Zone 4 should be subject to annual increases in future years, commencing in Fiscal Year 2007, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario ("CPI") or three percent (3%), whichever is less. Benefit Zone 4 received a favorable majority vote and the charge per assessment unit was increased from \$75.00 to \$138.00 commencing in Fiscal Year 2007. The maximum assessment per benefit unit for Benefit Zone 4 will escalate three and zero one hundredths percent (3.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$192.55.

**Benefit Zone 10** - After a failed election in 2007, the City received many complaints from property owners within Benefit Zone 10 due to the condition of the landscape. On April 2, 2008, the City Council, in response to input from residents, approved a petition and re-ballot process to allow for property owners to re-vote. The procedure required signed petitions from at least 25% of the properties within the benefit zone to trigger a re-vote. This requisite equated to approximately 725 signed petitions from the record property owners indicating their intended support of the proposed annual levy increase from \$335.61 to \$540.00 per assessment unit. Benefit Zone 10 met the required minimum number of petitions favoring the re-ballot process, and a public hearing on the proposed levy increase was scheduled for June 18, 2008. Benefit Zone 10 received a favorable majority vote and the charge per assessment unit was increased for Fiscal Year 2009. The rate per assessment unit for Benefit Zone 10, is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2012, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per benefit unit, for Benefit Zone 10 will escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum charge assessment per benefit unit \$648.54.

**Benefit Zone 14** - After two failed elections, the irrigation and maintenance in Benefit Zone 14 was reduced due to lack of funding, causing the landscape areas to deteriorate. In order to revitalize declined areas and keep up with inflation and rising costs, this benefit zone underwent a third Proposition 218 ballot proceeding on August 28, 2007. Benefit Zone 14 received a favorable majority vote and the charge per benefit unit was increased from \$100 to \$230 in Fiscal Year 2009. The rate per benefit unit for Benefit Zone 14 is subject to an annual increase in future Fiscal Years, commencing Fiscal Year 2013, by the percent increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. The maximum assessment per unit for Benefit Zone 14, escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$270.81.

The landscaped and irrigated areas increased to approximately 31.44 acres in Fiscal Year 2009 and due to the increase in the assessment, a phased capital improvement program was implemented to revitalize areas that had been subjected to previous years' cutbacks. This phased program started in Fiscal Year 2009 with the first year's allocation of approximately \$636,000. Of this amount, \$450,000 was borrowed from Fund 289, to be paid back over 10 years at 4.2% interest. The loan was paid in full in Fiscal Year 2019.

**Benefit Zone 19** - The 1996-97 Notice of Public Meeting and Hearing noticed (and subsequently confirmed by the City Council) a \$7.00 per benefit unit per Fiscal Year increase from \$107.00 to a maximum of \$126.00 per year. Therefore, Fiscal Year 2015 and future years' annual levy for maintenance expenses will be the same as the prior Fiscal Year 2014 levy of \$126.00 per benefit unit (at the maximum). Since this benefit zone is lacking an inflation factor in its assessment methodology the maintenance costs will continue

to increase while the revenues remain the same, causing this benefit zone's deficit to increase annually. A Proposition 218 Ballot proceeding will be necessary for this benefit zone in order to eliminate the deficit and replenish the reserves.

**Benefit Zone 20** - After a failed election, Benefit Zone 20 property owners met the City's requisite of 621 signed petitions that triggered a re-vote on August 6, 2008 to increase the annual rate per benefit unit from \$180.00 to \$360.00 and to be subject to an inflationary factor in future Fiscal Years, commencing Fiscal Year 2011, by the percentage increase, if any, in the Consumer Price Index, All Items, Riverside-San Bernardino-Ontario or two percent (2%), whichever is less. Due to the approved measure, the added revenue from the increase allows Zone 20 to keep up with the rising costs in labor, utilities, plant materials, and irrigation parts and implement a much needed Capital Improvement and/or Plant Rehabilitation Program which began in Fiscal Year 2009. The maximum charge assessment per benefit unit for Benefit Zone 20 escalate two and zero one hundredths percent (2.00%), which represents the lesser of percentage increase in the CPI for Fiscal Year 2022, making the maximum assessment per benefit unit \$440.39.

### Reserves Outlook

After reviewing all of the benefit zones within the District, it is apparent that a majority of the benefit zones have the ability to generate reserves. However, Benefit Zones 2, 6, 17, 18, and 19 continue to draw on reserve funds at an increasing rate primarily as result of the increase in utility costs and the absence of an annual inflator for the assessment rates. Measures have been taken to reduce operating costs through turf removal projects for Zones 2 and 17, see Appendix C. It will be necessary to conduct Proposition 218 Assessment Ballot proceedings for Benefit Zones 17 and 19 in the next few years for the benefit zones to be self-sustaining. Currently, Benefit Zones 1, 4, 7, 10, 14, 15, and 20 are building their reserve funds.

**Whereas**, on May 5th, 2021 the City Council, under the Act, adopted its Resolution Initiating Proceedings for the Annual Levy of Assessments and Ordering the Preparation of an Engineer's Report for Landscape Maintenance District No. 84-2.

**Whereas**, the Resolution of Initiation directed Spicer Consulting Group, LLC. to prepare and file a Report presenting plans and specifications describing the general nature, location, and extent of the improvements to be maintained; an estimate of the costs of the maintenance, operations, and servicing of the improvements for LMD No. 84-2 for the referenced Fiscal Year; a diagram for LMD No. 84-2 showing the area and properties to be assessed; and an assessment of the estimated costs of the maintenance, operations, and servicing the improvements, assessing the net amount upon all assessable lots and/or parcels within the District in proportion to the special benefit received;

**Now Therefore**, the following assessment is made to cover the portion of the estimated costs of maintenance, operation, and servicing of said improvements to be paid by the assessable real property within LMD No. 84-2 in proportion to the special benefit received.

### Estimated Benefit Assessments

Each of the parcels within the benefit zones listed below has been deemed to receive proportional special benefit from the maintenance and operation of the improvements within that benefit zone. The percentage change in allowable Fiscal Year 2022 assessment from the allowable Fiscal Year 2021 assessment is as follows:

*Table 4-1  
Proposed Assessment Summary*

Zone	Estimated Charge FY 2022	Estimated Benefit Units	Maximum Assessment per BU FY 2021	Maximum Assessment per BU FY 2022	Maximum Assessment Rate Change (%)	Actual Assessment per BU FY 2022
Benefit Zone 1	\$4,147.36	184.00	\$22.54	\$22.54	0.00%	\$22.54
Benefit Zone 2 <sup>1</sup>	\$81,084.00	699.00	\$116.00	\$116.00	0.00%	\$116.00
Benefit Zone 4	\$93,614.82	514.00	\$186.94	\$192.55	3.00%	\$182.13
Benefit Zone 6	\$315,034.71	4,618.60	\$68.21	\$68.21	0.00%	\$68.21
Benefit Zone 7	\$78,793.00	1,432.60	\$55.00	\$55.00	0.00%	\$55.00
Benefit Zone 10	\$2,139,266.04	3,429.85	\$635.81	\$648.53	2.00%	\$623.72
Benefit Zone 14 <sup>2</sup>	\$588,663.32	2,305.50	\$265.49	\$270.80	2.00%	\$255.33
Benefit Zone 15	\$27,555.68	383.25	\$106.90	\$106.90	0.00%	\$71.90
Benefit Zone 17	\$22,110.00	201.00	\$110.00	\$110.00	0.00%	\$110.00
Benefit Zone 18 <sup>3</sup>	\$35,980.00	359.80	\$100.00	\$100.00	0.00%	\$100.00
Benefit Zone 19	\$464,940.00	3,690.00	\$126.00	\$126.00	0.00%	\$126.00
Benefit Zone 20	\$1,068,698.21	2,573.75	\$431.75	\$440.39	2.00%	\$415.23

<sup>1</sup> The Estimated Charge does not include the \$209 of General Benefit.

<sup>2</sup> The Estimated Charge does not include the \$766 of General Benefit.

<sup>3</sup> The Estimated Charge does not include the \$382 of General Benefit.

Executed this 7th day of July 2021.



A handwritten signature in blue ink, appearing to read "Francisco Martinez Jr.", written over a horizontal line.

FRANCISCO MARTINEZ JR  
PROFESSIONAL CIVIL ENGINEER NO. 84640  
ENGINEER OF WORK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was filed with me on the \_\_\_\_\_ day of \_\_\_\_\_, 2021, by adoption of Resolution No. 2021-\_\_\_\_ by City Council.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA

I HEREBY CERTIFY that the enclosed Engineer's Report, together with the Assessment Roll and Assessment Diagram thereto attached, was approved and confirmed by the City Council of the City of Corona, California on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
CITY CLERK  
CITY OF CORONA  
STATE OF CALIFORNIA



The actual assessment and the amount of the assessment for the Fiscal Year 2022 apportioned to each parcel as shown on the latest equalized roll at the County Assessor's office are referenced in Appendix A of this Report. The description of each lot or parcel is part of the records of the County Assessor of the County of Riverside and such records are, by reference, made part of this Report. If any APN identified therein is submitted for collection and identified by the County Auditor/Controller of the County of Riverside to be an invalid parcel number for any fiscal year, a corrected parcel number and/or new parcel numbers will be identified and resubmitted to the County Auditor/Controller. The assessment amount to be levied and collected for the resubmitted parcel or parcels shall be based on the method of apportionment, as described in this Report and approved by the City Council.

The District boundary coincides with the boundary of the parcels included within the District as of the time of the adoption of the Resolution of Intention and the initiation of these proceedings.

Reference is made to the County Assessor's Roll and Maps for a detailed description of the lines and dimensions of any lot or parcel. The lines and dimensions of each lot shall conform to those shown on the County Assessor's Maps for the Fiscal Year to which the Report applies.

An Assessment Diagram for each Zone is attached hereto in Appendix B, showing the boundaries of LMD No. 84-2 and the boundaries of each Benefit Zone established within the District as the same existed at the time of the adoption of the Resolution of Intention and the initiation of these proceedings.



# APPENDIX A

## Assessment Rolls



SPIKER CONSULTING  
G R O U P

# Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119140007	\$22.54	119462033	\$22.54	119471013	\$22.54
119140008	\$22.54	119462034	\$22.54	119471014	\$22.54
119140009	\$22.54	119462035	\$22.54	119471015	\$22.54
119140010	\$22.54	119462036	\$22.54	119471016	\$22.54
119140011	\$22.54	119462037	\$22.54	119471017	\$22.54
119140012	\$22.54	119462038	\$22.54	119471018	\$22.54
119140013	\$22.54	119462048	\$22.54	119471019	\$22.54
119461003	\$22.54	119462050	\$22.54	119472001	\$22.54
119461004	\$22.54	119462052	\$22.54	119472002	\$22.54
119461005	\$22.54	119462053	\$22.54	119472003	\$22.54
119461006	\$22.54	119463003	\$22.54	119472004	\$22.54
119461007	\$22.54	119463004	\$22.54	119472005	\$22.54
119461008	\$22.54	119463005	\$22.54	119472006	\$22.54
119461009	\$22.54	119463006	\$22.54	119473001	\$22.54
119461010	\$22.54	119463010	\$22.54	119473002	\$22.54
119461011	\$22.54	119463011	\$22.54	119473003	\$22.54
119462002	\$22.54	119463012	\$22.54	119473004	\$22.54
119462003	\$22.54	119463013	\$22.54	119473005	\$22.54
119462004	\$22.54	119463014	\$22.54	119473006	\$22.54
119462005	\$22.54	119463015	\$22.54	119473007	\$22.54
119462006	\$22.54	119463016	\$22.54	119474001	\$22.54
119462007	\$22.54	119463017	\$22.54	119474002	\$22.54
119462012	\$22.54	119463018	\$22.54	119474003	\$22.54
119462013	\$22.54	119463019	\$22.54	119474004	\$22.54
119462014	\$22.54	119463020	\$22.54	119474005	\$22.54
119462015	\$22.54	119464001	\$22.54	119474006	\$22.54
119462016	\$22.54	119464002	\$22.54	119474007	\$22.54
119462017	\$22.54	119464003	\$22.54	119474008	\$22.54
119462018	\$22.54	119464004	\$22.54	119474009	\$22.54
119462019	\$22.54	119464005	\$22.54	119474010	\$22.54
119462020	\$22.54	119464006	\$22.54	119474011	\$22.54
119462021	\$22.54	119464007	\$22.54	119474012	\$22.54
119462022	\$22.54	119464008	\$22.54	119474013	\$22.54
119462023	\$22.54	119465001	\$22.54	119475001	\$22.54
119462024	\$22.54	119465002	\$22.54	119475002	\$22.54
119462025	\$22.54	119465003	\$22.54	119475003	\$22.54
119462026	\$22.54	119471006	\$22.54	119475004	\$22.54
119462027	\$22.54	119471007	\$22.54	119475005	\$22.54
119462028	\$22.54	119471008	\$22.54	119475006	\$22.54
119462029	\$22.54	119471009	\$22.54	119475007	\$22.54
119462030	\$22.54	119471010	\$22.54	119481001	\$22.54
119462031	\$22.54	119471011	\$22.54	119481002	\$22.54
119462032	\$22.54	119471012	\$22.54	119481003	\$22.54

# Assessment Roll

68-2281 - LMD 84-2 Zone 1

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119482005	\$22.54	119483007	\$22.54	119484005	\$22.54
119482006	\$22.54	119483008	\$22.54	119484006	\$22.54
119482007	\$22.54	119483009	\$22.54	119484007	\$22.54
119482008	\$22.54	119483010	\$22.54	119485001	\$22.54
119482009	\$22.54	119483011	\$22.54	119485002	\$22.54
119482010	\$22.54	119483012	\$22.54	119485003	\$22.54
119482011	\$22.54	119483013	\$22.54	119485004	\$22.54
119482012	\$22.54	119483014	\$22.54	119485005	\$22.54
119482013	\$22.54	119483015	\$22.54	119485006	\$22.54
119482014	\$22.54	119483016	\$22.54	119485007	\$22.54
119482015	\$22.54	119483017	\$22.54	119485008	\$22.54
119482016	\$22.54	119483018	\$22.54	119485009	\$22.54
119482017	\$22.54	119483019	\$22.54	119485010	\$22.54
119482018	\$22.54	119483022	\$22.54	119486001	\$22.54
119482019	\$22.54	119483023	\$22.54	119486002	\$22.54
119483003	\$22.54	119484001	\$22.54	119486003	\$22.54
119483004	\$22.54	119484002	\$22.54	119486004	\$22.54
119483005	\$22.54	119484003	\$22.54		
119483006	\$22.54	119484004	\$22.54		
<b>Totals</b>		<b>Parcels 184</b>		<b>Levy \$4,147.36</b>	

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121384001	\$116.00	121391009	\$116.00	121393003	\$116.00
121384002	\$116.00	121391010	\$116.00	121393004	\$116.00
121384003	\$116.00	121391011	\$116.00	121393005	\$116.00
121384004	\$116.00	121391012	\$116.00	121393006	\$116.00
121384005	\$116.00	121391013	\$116.00	121393007	\$116.00
121384006	\$116.00	121391014	\$116.00	121393008	\$116.00
121384007	\$116.00	121391015	\$116.00	121393009	\$116.00
121384008	\$116.00	121392001	\$116.00	121393010	\$116.00
121384009	\$116.00	121392002	\$116.00	121393011	\$116.00
121384010	\$116.00	121392003	\$116.00	121393012	\$116.00
121384011	\$116.00	121392004	\$116.00	121393013	\$116.00
121384012	\$116.00	121392005	\$116.00	121393014	\$116.00
121384013	\$116.00	121392007	\$116.00	121393015	\$116.00
121384014	\$116.00	121392008	\$116.00	121393016	\$116.00
121384015	\$116.00	121392009	\$116.00	121393017	\$116.00
121384016	\$116.00	121392010	\$116.00	121393018	\$116.00
121384017	\$116.00	121392011	\$116.00	121393019	\$116.00
121384018	\$116.00	121392012	\$116.00	121393020	\$116.00
121384019	\$116.00	121392013	\$116.00	121393021	\$116.00
121384020	\$116.00	121392014	\$116.00	121393022	\$116.00
121385001	\$116.00	121392015	\$116.00	121393023	\$116.00
121385002	\$116.00	121392016	\$116.00	121393024	\$116.00
121385003	\$116.00	121392017	\$116.00	121393025	\$116.00
121385004	\$116.00	121392018	\$116.00	121393026	\$116.00
121385005	\$116.00	121392019	\$116.00	121393027	\$116.00
121385006	\$116.00	121392020	\$116.00	121393028	\$116.00
121385007	\$116.00	121392021	\$116.00	121393029	\$116.00
121385008	\$116.00	121392022	\$116.00	121393030	\$116.00
121385009	\$116.00	121392023	\$116.00	121393031	\$116.00
121385010	\$116.00	121392024	\$116.00	121393032	\$116.00
121385011	\$116.00	121392025	\$116.00	121393033	\$116.00
121385012	\$116.00	121392026	\$116.00	121393034	\$116.00
121385013	\$116.00	121392027	\$116.00	121393035	\$116.00
121385014	\$116.00	121392028	\$116.00	121393036	\$116.00
121385015	\$116.00	121392029	\$116.00	121393037	\$116.00
121391001	\$116.00	121392030	\$116.00	121393038	\$116.00
121391002	\$116.00	121392031	\$116.00	121393039	\$116.00
121391003	\$116.00	121392032	\$116.00	121393040	\$116.00
121391004	\$116.00	121392033	\$116.00	121394001	\$116.00
121391005	\$116.00	121392034	\$116.00	121394002	\$116.00
121391006	\$116.00	121392035	\$116.00	121394003	\$116.00
121391007	\$116.00	121393001	\$116.00	121394004	\$116.00
121391008	\$116.00	121393002	\$116.00	121394005	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121394006	\$116.00	121402003	\$116.00	121403013	\$116.00
121394007	\$116.00	121402004	\$116.00	121403014	\$116.00
121394008	\$116.00	121402005	\$116.00	121404001	\$116.00
121394009	\$116.00	121402006	\$116.00	121404002	\$116.00
121394010	\$116.00	121402007	\$116.00	121404003	\$116.00
121394011	\$116.00	121402008	\$116.00	121404004	\$116.00
121394012	\$116.00	121402009	\$116.00	121404005	\$116.00
121394013	\$116.00	121402010	\$116.00	121404006	\$116.00
121394014	\$116.00	121402011	\$116.00	121404007	\$116.00
121394015	\$116.00	121402012	\$116.00	121404008	\$116.00
121394016	\$116.00	121402013	\$116.00	121404009	\$116.00
121394017	\$116.00	121402014	\$116.00	121404010	\$116.00
121394018	\$116.00	121402015	\$116.00	121404011	\$116.00
121394019	\$116.00	121402016	\$116.00	121404012	\$116.00
121394020	\$116.00	121402017	\$116.00	121404013	\$116.00
121394021	\$116.00	121402018	\$116.00	121404014	\$116.00
121394022	\$116.00	121402019	\$116.00	121404015	\$116.00
121394023	\$116.00	121402020	\$116.00	121404016	\$116.00
121394024	\$116.00	121402021	\$116.00	121404017	\$116.00
121394025	\$116.00	121402022	\$116.00	121404018	\$116.00
121394026	\$116.00	121402023	\$116.00	121404019	\$116.00
121394027	\$116.00	121402024	\$116.00	121404020	\$116.00
121394028	\$116.00	121402026	\$116.00	121404021	\$116.00
121394029	\$116.00	121402027	\$116.00	121404022	\$116.00
121394030	\$116.00	121402028	\$116.00	121404023	\$116.00
121394031	\$116.00	121402029	\$116.00	121404024	\$116.00
121394032	\$116.00	121402030	\$116.00	121404025	\$116.00
121394033	\$116.00	121402031	\$116.00	121404026	\$116.00
121394034	\$116.00	121402032	\$116.00	121404027	\$116.00
121394035	\$116.00	121402033	\$116.00	121404028	\$116.00
121394036	\$116.00	121402034	\$116.00	121404029	\$116.00
121394037	\$116.00	121403001	\$116.00	121404030	\$116.00
121394038	\$116.00	121403002	\$116.00	121404031	\$116.00
121394039	\$116.00	121403003	\$116.00	121404032	\$116.00
121401001	\$116.00	121403004	\$116.00	121404033	\$116.00
121401002	\$116.00	121403005	\$116.00	121404034	\$116.00
121401003	\$116.00	121403006	\$116.00	121404035	\$116.00
121401004	\$116.00	121403007	\$116.00	121404036	\$116.00
121401005	\$116.00	121403008	\$116.00	121404037	\$116.00
121401006	\$116.00	121403009	\$116.00	121404038	\$116.00
121401007	\$116.00	121403010	\$116.00	121404039	\$116.00
121402001	\$116.00	121403011	\$116.00	121404040	\$116.00
121402002	\$116.00	121403012	\$116.00	121404041	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121404042	\$116.00	121411029	\$116.00	121421004	\$116.00
121404043	\$116.00	121411030	\$116.00	121421005	\$116.00
121404044	\$116.00	121411031	\$116.00	121421006	\$116.00
121404045	\$116.00	121411032	\$116.00	121421007	\$116.00
121404046	\$116.00	121411033	\$116.00	121421008	\$116.00
121404047	\$116.00	121411034	\$116.00	121421009	\$116.00
121404048	\$116.00	121411035	\$116.00	121421010	\$116.00
121404049	\$116.00	121411036	\$116.00	121421011	\$116.00
121404050	\$116.00	121412001	\$116.00	121421012	\$116.00
121404051	\$116.00	121412002	\$116.00	121421013	\$116.00
121404052	\$116.00	121412003	\$116.00	121421014	\$116.00
121404053	\$116.00	121412004	\$116.00	121421015	\$116.00
121404054	\$116.00	121412005	\$116.00	121421016	\$116.00
121404055	\$116.00	121412006	\$116.00	121421017	\$116.00
121404056	\$116.00	121412007	\$116.00	121422001	\$116.00
121411001	\$116.00	121412008	\$116.00	121422002	\$116.00
121411002	\$116.00	121412009	\$116.00	121422003	\$116.00
121411003	\$116.00	121412010	\$116.00	121422004	\$116.00
121411004	\$116.00	121412011	\$116.00	121422005	\$116.00
121411005	\$116.00	121412012	\$116.00	121422006	\$116.00
121411006	\$116.00	121412013	\$116.00	121422007	\$116.00
121411007	\$116.00	121412014	\$116.00	121422008	\$116.00
121411008	\$116.00	121412015	\$116.00	121422009	\$116.00
121411009	\$116.00	121412016	\$116.00	121422010	\$116.00
121411010	\$116.00	121412017	\$116.00	121422011	\$116.00
121411011	\$116.00	121413001	\$116.00	121422012	\$116.00
121411012	\$116.00	121413002	\$116.00	121422013	\$116.00
121411013	\$116.00	121413003	\$116.00	121422014	\$116.00
121411014	\$116.00	121413004	\$116.00	121422015	\$116.00
121411015	\$116.00	121413005	\$116.00	121422016	\$116.00
121411016	\$116.00	121413006	\$116.00	121422017	\$116.00
121411017	\$116.00	121413007	\$116.00	121422018	\$116.00
121411018	\$116.00	121413008	\$116.00	121422019	\$116.00
121411019	\$116.00	121414001	\$116.00	121422020	\$116.00
121411020	\$116.00	121414002	\$116.00	121422021	\$116.00
121411021	\$116.00	121414003	\$116.00	121422022	\$116.00
121411022	\$116.00	121414004	\$116.00	121422023	\$116.00
121411023	\$116.00	121414005	\$116.00	121422024	\$116.00
121411024	\$116.00	121414006	\$116.00	121422025	\$116.00
121411025	\$116.00	121414007	\$116.00	121422026	\$116.00
121411026	\$116.00	121421001	\$116.00	121422027	\$116.00
121411027	\$116.00	121421002	\$116.00	121422028	\$116.00
121411028	\$116.00	121421003	\$116.00	121422029	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121422030	\$116.00	121451005	\$116.00	121491017	\$116.00
121422031	\$116.00	121451006	\$116.00	121491018	\$116.00
121422032	\$116.00	121451007	\$116.00	121491019	\$116.00
121423001	\$116.00	121451008	\$116.00	121491020	\$116.00
121423002	\$116.00	121451009	\$116.00	121491021	\$116.00
121423003	\$116.00	121451010	\$116.00	121491022	\$116.00
121423004	\$116.00	121451011	\$116.00	121491023	\$116.00
121423005	\$116.00	121451012	\$116.00	121491024	\$116.00
121423006	\$116.00	121451013	\$116.00	121491025	\$116.00
121423007	\$116.00	121451014	\$116.00	121491026	\$116.00
121423008	\$116.00	121451015	\$116.00	121492001	\$116.00
121423009	\$116.00	121452001	\$116.00	121492002	\$116.00
121423010	\$116.00	121452002	\$116.00	121492003	\$116.00
121424001	\$116.00	121452003	\$116.00	121492004	\$116.00
121424002	\$116.00	121452004	\$116.00	121492005	\$116.00
121424003	\$116.00	121452005	\$116.00	121492006	\$116.00
121424004	\$116.00	121452006	\$116.00	121492007	\$116.00
121424005	\$116.00	121452007	\$116.00	121492008	\$116.00
121424006	\$116.00	121452008	\$116.00	121492009	\$116.00
121424007	\$116.00	121452009	\$116.00	121492010	\$116.00
121424008	\$116.00	121452010	\$116.00	121492011	\$116.00
121424009	\$116.00	121452011	\$116.00	121492012	\$116.00
121424010	\$116.00	121452012	\$116.00	121492013	\$116.00
121424011	\$116.00	121452013	\$116.00	121492014	\$116.00
121424012	\$116.00	121452014	\$116.00	121492015	\$116.00
121424013	\$116.00	121452015	\$116.00	121492016	\$116.00
121424014	\$116.00	121452016	\$116.00	121493001	\$116.00
121424015	\$116.00	121491001	\$116.00	121493002	\$116.00
121425001	\$116.00	121491002	\$116.00	121493003	\$116.00
121425002	\$116.00	121491003	\$116.00	121493004	\$116.00
121425003	\$116.00	121491004	\$116.00	121493005	\$116.00
121425004	\$116.00	121491005	\$116.00	121493006	\$116.00
121425005	\$116.00	121491006	\$116.00	121493007	\$116.00
121425006	\$116.00	121491007	\$116.00	121493008	\$116.00
121425007	\$116.00	121491008	\$116.00	121493009	\$116.00
121425008	\$116.00	121491009	\$116.00	121493010	\$116.00
121425009	\$116.00	121491010	\$116.00	121493011	\$116.00
121425010	\$116.00	121491011	\$116.00	121493012	\$116.00
121425011	\$116.00	121491012	\$116.00	121493013	\$116.00
121451001	\$116.00	121491013	\$116.00	121493014	\$116.00
121451002	\$116.00	121491014	\$116.00	121493015	\$116.00
121451003	\$116.00	121491015	\$116.00	121493016	\$116.00
121451004	\$116.00	121491016	\$116.00	121493017	\$116.00

# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121493018	\$116.00	121502005	\$116.00	121503033	\$116.00
121493019	\$116.00	121502006	\$116.00	121503034	\$116.00
121493020	\$116.00	121502007	\$116.00	121503035	\$116.00
121493021	\$116.00	121502008	\$116.00	121503036	\$116.00
121493022	\$116.00	121502009	\$116.00	121504001	\$116.00
121493025	\$116.00	121502010	\$116.00	121504002	\$116.00
121493026	\$116.00	121502011	\$116.00	121504003	\$116.00
121493027	\$116.00	121502012	\$116.00	121504004	\$116.00
121493028	\$116.00	121502013	\$116.00	121504005	\$116.00
121493029	\$116.00	121502014	\$116.00	121504006	\$116.00
121493030	\$116.00	121502015	\$116.00	121504007	\$116.00
121493031	\$116.00	121503001	\$116.00	121504008	\$116.00
121493032	\$116.00	121503002	\$116.00	121504009	\$116.00
121493033	\$116.00	121503003	\$116.00	121504010	\$116.00
121493034	\$116.00	121503004	\$116.00	121504011	\$116.00
121493035	\$116.00	121503005	\$116.00	121504012	\$116.00
121493036	\$116.00	121503006	\$116.00	121504013	\$116.00
121493037	\$116.00	121503007	\$116.00	121504014	\$116.00
121493038	\$116.00	121503008	\$116.00	121511001	\$113.36
121493039	\$116.00	121503009	\$116.00	121511002	\$113.36
121493040	\$116.00	121503010	\$116.00	121511003	\$113.36
121493041	\$116.00	121503011	\$116.00	121511004	\$113.36
121493042	\$116.00	121503012	\$116.00	121511005	\$113.36
121493043	\$116.00	121503013	\$116.00	121511006	\$113.36
121493044	\$116.00	121503014	\$116.00	121511007	\$113.36
121493045	\$116.00	121503015	\$116.00	121511008	\$113.36
121493046	\$116.00	121503016	\$116.00	121511009	\$113.36
121501001	\$116.00	121503017	\$116.00	121511010	\$113.36
121501002	\$116.00	121503018	\$116.00	121511011	\$113.36
121501003	\$116.00	121503019	\$116.00	121512001	\$113.36
121501004	\$116.00	121503020	\$116.00	121512002	\$113.36
121501005	\$116.00	121503021	\$116.00	121512003	\$113.36
121501006	\$116.00	121503022	\$116.00	121512004	\$113.36
121501007	\$116.00	121503023	\$116.00	121512005	\$113.36
121501008	\$116.00	121503024	\$116.00	121512006	\$113.36
121501009	\$116.00	121503025	\$116.00	121512007	\$113.36
121501010	\$116.00	121503026	\$116.00	121512008	\$113.36
121501011	\$116.00	121503027	\$116.00	121512009	\$113.36
121501012	\$116.00	121503028	\$116.00	121512010	\$113.36
121502001	\$116.00	121503029	\$116.00	121512011	\$113.36
121502002	\$116.00	121503030	\$116.00	121512012	\$113.36
121502003	\$116.00	121503031	\$116.00	121512013	\$113.36
121502004	\$116.00	121503032	\$116.00	121512014	\$113.36



# Assessment Roll

68-2282 - LMD 84-2 Zone 2

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121512015	\$113.36	121512034	\$113.36	121513002	\$113.36
121512016	\$113.36	121512035	\$113.36	121513003	\$113.36
121512017	\$113.36	121512036	\$113.36	121513004	\$113.36
121512018	\$113.36	121512037	\$113.36	121513005	\$113.36
121512019	\$113.36	121512038	\$113.36	121513006	\$113.36
121512020	\$113.36	121512039	\$113.36	121513007	\$113.36
121512022	\$113.36	121512040	\$113.36	121513008	\$113.36
121512023	\$113.36	121512041	\$113.36	121513009	\$113.36
121512024	\$113.36	121512042	\$113.36	121513010	\$113.36
121512025	\$113.36	121512043	\$113.36	121513011	\$113.36
121512026	\$113.36	121512044	\$113.36	121513012	\$113.36
121512027	\$113.36	121512045	\$113.36	121513013	\$113.36
121512028	\$113.36	121512046	\$113.36	121513014	\$113.36
121512029	\$113.36	121512047	\$113.36	121513015	\$113.36
121512030	\$113.36	121512048	\$113.36	121513016	\$113.36
121512031	\$113.36	121512049	\$113.36	121513017	\$113.36
121512032	\$113.36	121512050	\$113.36	121513018	\$113.36
121512033	\$113.36	121513001	\$113.36	121513019	\$113.36
<b>Totals</b>		<b>Parcels 699</b>		<b>Levy \$80,875.44</b>	

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107231001	\$182.12	107234006	\$182.12	107251005	\$182.12
107231002	\$182.12	107240001	\$182.12	107251006	\$182.12
107231003	\$182.12	107240002	\$182.12	107251007	\$182.12
107231004	\$182.12	107240003	\$182.12	107251008	\$182.12
107231005	\$182.12	107240004	\$182.12	107251009	\$182.12
107231006	\$182.12	107240005	\$182.12	107251010	\$182.12
107231007	\$182.12	107240006	\$182.12	107251011	\$182.12
107231008	\$182.12	107240007	\$182.12	107251012	\$182.12
107231009	\$182.12	107240008	\$182.12	107251013	\$182.12
107231010	\$182.12	107240009	\$182.12	107251014	\$182.12
107231011	\$182.12	107240010	\$182.12	107252002	\$182.12
107231012	\$182.12	107240011	\$182.12	107252003	\$182.12
107231013	\$182.12	107240012	\$182.12	107252004	\$182.12
107231014	\$182.12	107240013	\$182.12	107252005	\$182.12
107231015	\$182.12	107240014	\$182.12	107252006	\$182.12
107231016	\$182.12	107240015	\$182.12	107252007	\$182.12
107231017	\$182.12	107240016	\$182.12	107252008	\$182.12
107231018	\$182.12	107240017	\$182.12	107252009	\$182.12
107231019	\$182.12	107240018	\$182.12	107252010	\$182.12
107231020	\$182.12	107240019	\$182.12	107252011	\$182.12
107231021	\$182.12	107240020	\$182.12	107252012	\$182.12
107231022	\$182.12	107240021	\$182.12	107252013	\$182.12
107231023	\$182.12	107240022	\$182.12	107252014	\$182.12
107231024	\$182.12	107240023	\$182.12	107252015	\$182.12
107232001	\$182.12	107240024	\$182.12	107252016	\$182.12
107232002	\$182.12	107240025	\$182.12	107252017	\$182.12
107232003	\$182.12	107240026	\$182.12	107252018	\$182.12
107232004	\$182.12	107240027	\$182.12	107252019	\$182.12
107232005	\$182.12	107240028	\$182.12	107252020	\$182.12
107232006	\$182.12	107240029	\$182.12	107252021	\$182.12
107232007	\$182.12	107240030	\$182.12	107252022	\$182.12
107232008	\$182.12	107240031	\$182.12	107252023	\$182.12
107232009	\$182.12	107240032	\$182.12	107252024	\$182.12
107233005	\$182.12	107240033	\$182.12	107252025	\$182.12
107233006	\$182.12	107240034	\$182.12	107252026	\$182.12
107233007	\$182.12	107240035	\$182.12	107252027	\$182.12
107233008	\$182.12	107240036	\$182.12	107252028	\$182.12
107233009	\$182.12	107240037	\$182.12	107253001	\$182.12
107233010	\$182.12	107240038	\$182.12	107253002	\$182.12
107234001	\$182.12	107240039	\$182.12	107253003	\$182.12
107234002	\$182.12	107251001	\$182.12	107253004	\$182.12
107234003	\$182.12	107251002	\$182.12	107253005	\$182.12
107234004	\$182.12	107251003	\$182.12	107253006	\$182.12
107234005	\$182.12	107251004	\$182.12	107253007	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107253008	\$182.12	107255017	\$182.12	107262022	\$182.12
107253009	\$182.12	107255018	\$182.12	107262023	\$182.12
107253010	\$182.12	107255019	\$182.12	107262024	\$182.12
107253011	\$182.12	107255020	\$182.12	107262025	\$182.12
107253012	\$182.12	107255021	\$182.12	107262026	\$182.12
107253013	\$182.12	107255022	\$182.12	107262027	\$182.12
107253014	\$182.12	107255023	\$182.12	107262028	\$182.12
107253015	\$182.12	107255024	\$182.12	107262029	\$182.12
107253016	\$182.12	107261001	\$182.12	107262030	\$182.12
107254001	\$182.12	107261002	\$182.12	107262031	\$182.12
107254002	\$182.12	107261003	\$182.12	107262032	\$182.12
107254003	\$182.12	107261004	\$182.12	107262033	\$182.12
107254004	\$182.12	107261005	\$182.12	107262034	\$182.12
107254005	\$182.12	107261006	\$182.12	107262035	\$182.12
107254006	\$182.12	107261007	\$182.12	107262036	\$182.12
107254007	\$182.12	107261008	\$182.12	107262039	\$182.12
107254008	\$182.12	107261009	\$182.12	107262040	\$182.12
107254009	\$182.12	107261010	\$182.12	107262041	\$182.12
107254010	\$182.12	107261011	\$182.12	107262042	\$182.12
107254011	\$182.12	107261012	\$182.12	107262043	\$182.12
107254012	\$182.12	107261013	\$182.12	107262044	\$182.12
107254013	\$182.12	107261014	\$182.12	107262045	\$182.12
107254014	\$182.12	107262001	\$182.12	107262046	\$182.12
107254015	\$182.12	107262002	\$182.12	107262047	\$182.12
107254016	\$182.12	107262003	\$182.12	107262048	\$182.12
107254017	\$182.12	107262004	\$182.12	107262049	\$182.12
107254018	\$182.12	107262005	\$182.12	107262050	\$182.12
107255001	\$182.12	107262006	\$182.12	107262051	\$182.12
107255002	\$182.12	107262007	\$182.12	107262052	\$182.12
107255003	\$182.12	107262008	\$182.12	107262053	\$182.12
107255004	\$182.12	107262009	\$182.12	107262054	\$182.12
107255005	\$182.12	107262010	\$182.12	107262055	\$182.12
107255006	\$182.12	107262011	\$182.12	107263001	\$182.12
107255007	\$182.12	107262012	\$182.12	107263002	\$182.12
107255008	\$182.12	107262013	\$182.12	107263003	\$182.12
107255009	\$182.12	107262014	\$182.12	107263004	\$182.12
107255010	\$182.12	107262015	\$182.12	107263005	\$182.12
107255011	\$182.12	107262016	\$182.12	107263006	\$182.12
107255012	\$182.12	107262017	\$182.12	107263007	\$182.12
107255013	\$182.12	107262018	\$182.12	107263008	\$182.12
107255014	\$182.12	107262019	\$182.12	107263009	\$182.12
107255015	\$182.12	107262020	\$182.12	107263010	\$182.12
107255016	\$182.12	107262021	\$182.12	107264001	\$182.12
107264002	\$182.12	107273009	\$182.12	107282019	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107264003	\$182.12	107273010	\$182.12	107282020	\$182.12
107264004	\$182.12	107273011	\$182.12	107282021	\$182.12
107264005	\$182.12	107273012	\$182.12	107282022	\$182.12
107264006	\$182.12	107273013	\$182.12	107282023	\$182.12
107264007	\$182.12	107273014	\$182.12	107282024	\$182.12
107264008	\$182.12	107273015	\$182.12	107282025	\$182.12
107264009	\$182.12	107273016	\$182.12	107282026	\$182.12
107264010	\$182.12	107273017	\$182.12	107282027	\$182.12
107264011	\$182.12	107273018	\$182.12	107282028	\$182.12
107264012	\$182.12	107273019	\$182.12	107282029	\$182.12
107264013	\$182.12	107273020	\$182.12	107282030	\$182.12
107264014	\$182.12	107273021	\$182.12	107282031	\$182.12
107264015	\$182.12	107273022	\$182.12	107282032	\$182.12
107271001	\$182.12	107274001	\$182.12	107282033	\$182.12
107271002	\$182.12	107274002	\$182.12	107282034	\$182.12
107271003	\$182.12	107274003	\$182.12	107282035	\$182.12
107271004	\$182.12	107274004	\$182.12	107282036	\$182.12
107272001	\$182.12	107274005	\$182.12	107282037	\$182.12
107272002	\$182.12	107281001	\$182.12	107282038	\$182.12
107272003	\$182.12	107281002	\$182.12	107282039	\$182.12
107272004	\$182.12	107281003	\$182.12	107282040	\$182.12
107272005	\$182.12	107281004	\$182.12	107283001	\$182.12
107272006	\$182.12	107281005	\$182.12	107283002	\$182.12
107272007	\$182.12	107281006	\$182.12	107283003	\$182.12
107272008	\$182.12	107282001	\$182.12	107283004	\$182.12
107272009	\$182.12	107282002	\$182.12	107283005	\$182.12
107272010	\$182.12	107282003	\$182.12	107283006	\$182.12
107272011	\$182.12	107282004	\$182.12	107283007	\$182.12
107272012	\$182.12	107282005	\$182.12	107283008	\$182.12
107272013	\$182.12	107282006	\$182.12	107283009	\$182.12
107272014	\$182.12	107282007	\$182.12	107283010	\$182.12
107272015	\$182.12	107282008	\$182.12	107283011	\$182.12
107272016	\$182.12	107282009	\$182.12	107283012	\$182.12
107272017	\$182.12	107282010	\$182.12	107283013	\$182.12
107272018	\$182.12	107282011	\$182.12	107284001	\$182.12
107273002	\$182.12	107282012	\$182.12	107284002	\$182.12
107273003	\$182.12	107282013	\$182.12	107284003	\$182.12
107273004	\$182.12	107282014	\$182.12	107284004	\$182.12
107273005	\$182.12	107282015	\$182.12	107284005	\$182.12
107273006	\$182.12	107282016	\$182.12	107284006	\$182.12
107273007	\$182.12	107282017	\$182.12	107284007	\$182.12
107273008	\$182.12	107282018	\$182.12	107284008	\$182.12
107284009	\$182.12	107292035	\$182.12	107302013	\$182.12
107284010	\$182.12	107292036	\$182.12	107302014	\$182.12

# Assessment Roll

68-2284 - LMD 84-2 Zone 4  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
107284011	\$182.12	107292037	\$182.12	107302015	\$182.12
107291001	\$182.12	107292038	\$182.12	107302016	\$182.12
107291002	\$182.12	107292039	\$182.12	107302017	\$182.12
107291003	\$182.12	107292040	\$182.12	107302018	\$182.12
107291004	\$182.12	107292041	\$182.12	107302019	\$182.12
107291005	\$182.12	107292042	\$182.12	107302020	\$182.12
107292001	\$182.12	107292043	\$182.12	107302021	\$182.12
107292002	\$182.12	107292044	\$182.12	107302022	\$182.12
107292003	\$182.12	107292045	\$182.12	107302023	\$182.12
107292004	\$182.12	107292046	\$182.12	107302024	\$182.12
107292005	\$182.12	107292047	\$182.12	107302025	\$182.12
107292006	\$182.12	107292048	\$182.12	107302026	\$182.12
107292007	\$182.12	107292049	\$182.12	107302027	\$182.12
107292008	\$182.12	107292050	\$182.12	107302028	\$182.12
107292009	\$182.12	107292051	\$182.12	107302029	\$182.12
107292010	\$182.12	107292052	\$182.12	107302030	\$182.12
107292011	\$182.12	107292053	\$182.12	107302031	\$182.12
107292012	\$182.12	107292054	\$182.12	107302032	\$182.12
107292013	\$182.12	107292055	\$182.12	107302033	\$182.12
107292014	\$182.12	107292056	\$182.12	107302034	\$182.12
107292015	\$182.12	107292057	\$182.12	107302035	\$182.12
107292016	\$182.12	107292058	\$182.12	107302036	\$182.12
107292017	\$182.12	107301001	\$182.12	107302037	\$182.12
107292018	\$182.12	107301002	\$182.12	107302038	\$182.12
107292019	\$182.12	107301003	\$182.12	107302039	\$182.12
107292020	\$182.12	107301004	\$182.12	107302040	\$182.12
107292021	\$182.12	107301005	\$182.12	107302041	\$182.12
107292022	\$182.12	107301006	\$182.12	107302042	\$182.12
107292023	\$182.12	107302001	\$182.12	107302043	\$182.12
107292024	\$182.12	107302002	\$182.12	107302044	\$182.12
107292025	\$182.12	107302003	\$182.12	107302045	\$182.12
107292026	\$182.12	107302004	\$182.12	107302046	\$182.12
107292027	\$182.12	107302005	\$182.12	107302047	\$182.12
107292028	\$182.12	107302006	\$182.12	107302048	\$182.12
107292029	\$182.12	107302007	\$182.12	107302049	\$182.12
107292030	\$182.12	107302008	\$182.12	107302050	\$182.12
107292031	\$182.12	107302009	\$182.12	107302051	\$182.12
107292032	\$182.12	107302010	\$182.12	107302052	\$182.12
107292033	\$182.12	107302011	\$182.12		
107292034	\$182.12	107302012	\$182.12		

**Totals**

**Parcels 514**

**Levy \$93,609.68**

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115180054	\$6,097.96	115391013	\$40.92	115391056	\$40.92
115180055	\$11,991.30	115391014	\$40.92	115391057	\$40.92
115290033	\$184.16	115391015	\$40.92	115391058	\$40.92
115290034	\$303.52	115391016	\$40.92	115391059	\$40.92
115290035	\$266.00	115391017	\$40.92	115391060	\$40.92
115290036	\$368.32	115391018	\$40.92	115391061	\$40.92
115290044	\$341.04	115391019	\$40.92	115391062	\$40.92
115290045	\$320.58	115391020	\$40.92	115391063	\$40.92
115380008	\$3,008.06	115391021	\$40.92	115391064	\$40.92
115380009	\$129.58	115391022	\$40.92	115392001	\$40.92
115380010	\$3,250.20	115391023	\$40.92	115392002	\$40.92
115380011	\$1,432.40	115391024	\$40.92	115392003	\$40.92
115380012	\$344.46	115391025	\$40.92	115392004	\$40.92
115380013	\$1,425.58	115391026	\$40.92	115392005	\$40.92
115380014	\$221.68	115391027	\$40.92	115392006	\$40.92
115380016	\$419.48	115391028	\$40.92	115392007	\$40.92
115380019	\$920.82	115391029	\$40.92	115392008	\$40.92
115380020	\$150.06	115391030	\$40.92	115392009	\$40.92
115380021	\$296.70	115391031	\$40.92	115392010	\$40.92
115380022	\$279.66	115391032	\$40.92	115392011	\$40.92
115380023	\$327.40	115391033	\$40.92	115392012	\$40.92
115380024	\$439.94	115391034	\$40.92	115392013	\$40.92
115380025	\$896.96	115391035	\$40.92	115392014	\$40.92
115380026	\$668.44	115391036	\$40.92	115392015	\$40.92
115380027	\$194.38	115391037	\$40.92	115392016	\$40.92
115380028	\$753.72	115391038	\$40.92	115392017	\$40.92
115380029	\$1,838.24	115391039	\$40.92	115392018	\$40.92
115380033	\$1,036.78	115391040	\$40.92	115392019	\$40.92
115380034	\$412.66	115391041	\$40.92	115392020	\$40.92
115380035	\$1,330.08	115391042	\$40.92	115392021	\$40.92
115390015	\$20,135.58	115391043	\$40.92	115392022	\$40.92
115391001	\$40.92	115391044	\$40.92	115392023	\$40.92
115391002	\$40.92	115391045	\$40.92	115392024	\$40.92
115391003	\$40.92	115391046	\$40.92	115392026	\$40.92
115391004	\$40.92	115391047	\$40.92	115392027	\$40.92
115391005	\$40.92	115391048	\$40.92	115392028	\$40.92
115391006	\$40.92	115391049	\$40.92	115392029	\$40.92
115391007	\$40.92	115391050	\$40.92	115392030	\$40.92
115391008	\$40.92	115391051	\$40.92	115392031	\$40.92
115391009	\$40.92	115391052	\$40.92	115392032	\$40.92
115391010	\$40.92	115391053	\$40.92	115392033	\$40.92
115391011	\$40.92	115391054	\$40.92	115392034	\$40.92
115391012	\$40.92	115391055	\$40.92	115392035	\$40.92

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115392036	\$40.92	115392080	\$40.92	115393033	\$40.92
115392037	\$40.92	115392081	\$40.92	115393034	\$40.92
115392038	\$40.92	115392082	\$40.92	115393035	\$40.92
115392039	\$40.92	115392083	\$40.92	115393036	\$40.92
115392040	\$40.92	115392084	\$40.92	115393037	\$40.92
115392041	\$40.92	115392085	\$40.92	115393038	\$40.92
115392042	\$40.92	115392086	\$40.92	115393039	\$40.92
115392043	\$40.92	115392087	\$40.92	115393040	\$40.92
115392044	\$40.92	115392088	\$40.92	115393041	\$40.92
115392045	\$40.92	115392089	\$40.92	115393042	\$40.92
115392046	\$40.92	115392090	\$40.92	115393043	\$40.92
115392047	\$40.92	115393001	\$40.92	115393044	\$40.92
115392048	\$40.92	115393002	\$40.92	115393045	\$40.92
115392049	\$40.92	115393003	\$40.92	115393046	\$40.92
115392051	\$40.92	115393004	\$40.92	115393047	\$40.92
115392052	\$40.92	115393005	\$40.92	115393048	\$40.92
115392053	\$40.92	115393006	\$40.92	115393050	\$40.92
115392054	\$40.92	115393007	\$40.92	115393051	\$40.92
115392055	\$40.92	115393008	\$40.92	115393052	\$40.92
115392056	\$40.92	115393009	\$40.92	115393053	\$40.92
115392057	\$40.92	115393010	\$40.92	115393054	\$40.92
115392058	\$40.92	115393011	\$40.92	115393055	\$40.92
115392059	\$40.92	115393012	\$40.92	115393056	\$40.92
115392060	\$40.92	115393013	\$40.92	115393057	\$40.92
115392061	\$40.92	115393014	\$40.92	115393058	\$40.92
115392062	\$40.92	115393015	\$40.92	115393059	\$40.92
115392063	\$40.92	115393016	\$40.92	115393060	\$40.92
115392064	\$40.92	115393017	\$40.92	115393061	\$40.92
115392065	\$40.92	115393018	\$40.92	115393062	\$40.92
115392066	\$40.92	115393019	\$40.92	115393063	\$40.92
115392067	\$40.92	115393020	\$40.92	115393064	\$40.92
115392068	\$40.92	115393021	\$40.92	115393065	\$40.92
115392069	\$40.92	115393022	\$40.92	115393066	\$40.92
115392070	\$40.92	115393023	\$40.92	115393067	\$40.92
115392071	\$40.92	115393024	\$40.92	115393068	\$40.92
115392072	\$40.92	115393025	\$40.92	115393069	\$40.92
115392073	\$40.92	115393026	\$40.92	115393070	\$40.92
115392074	\$40.92	115393027	\$40.92	115393071	\$40.92
115392075	\$40.92	115393028	\$40.92	115393072	\$40.92
115392076	\$40.92	115393029	\$40.92	115393073	\$40.92
115392077	\$40.92	115393030	\$40.92	115393074	\$40.92
115392078	\$40.92	115393031	\$40.92	115393075	\$40.92
115392079	\$40.92	115393032	\$40.92	115393076	\$40.92



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115393077	\$40.92	115394023	\$40.92	115412006	\$68.20
115393078	\$40.92	115394024	\$40.92	115412007	\$68.20
115393079	\$40.92	115394025	\$40.92	115412008	\$68.20
115393080	\$40.92	115394026	\$40.92	115413001	\$68.20
115393081	\$40.92	115394027	\$40.92	115413002	\$68.20
115393082	\$40.92	115394028	\$40.92	115413003	\$68.20
115393083	\$40.92	115394029	\$40.92	115413004	\$68.20
115393084	\$40.92	115394030	\$40.92	115413005	\$68.20
115393085	\$40.92	115394031	\$40.92	115413006	\$68.20
115393086	\$40.92	115394032	\$40.92	115413007	\$68.20
115393087	\$40.92	115394033	\$40.92	115413008	\$68.20
115393088	\$40.92	115394034	\$40.92	115414001	\$68.20
115393089	\$40.92	115394035	\$40.92	115414002	\$68.20
115393090	\$40.92	115394036	\$40.92	115414003	\$68.20
115393091	\$40.92	115394037	\$40.92	115414004	\$68.20
115393092	\$40.92	115394038	\$40.92	115414005	\$68.20
115393093	\$40.92	115394039	\$40.92	115414006	\$68.20
115393094	\$40.92	115394040	\$40.92	115414007	\$68.20
115393095	\$40.92	115394041	\$40.92	115414008	\$68.20
115393096	\$40.92	115394042	\$40.92	115414009	\$68.20
115393097	\$40.92	115394043	\$40.92	115414010	\$68.20
115394001	\$40.92	115394044	\$40.92	115414011	\$68.20
115394002	\$40.92	115394045	\$40.92	115414012	\$68.20
115394003	\$40.92	115394046	\$40.92	115414013	\$68.20
115394004	\$40.92	115394047	\$40.92	115414014	\$68.20
115394005	\$40.92	115394048	\$40.92	115414015	\$68.20
115394006	\$40.92	115411001	\$68.20	115414016	\$68.20
115394007	\$40.92	115411002	\$68.20	115414017	\$68.20
115394008	\$40.92	115411003	\$68.20	115414018	\$68.20
115394009	\$40.92	115411004	\$68.20	115414019	\$68.20
115394010	\$40.92	115411005	\$68.20	115414020	\$68.20
115394011	\$40.92	115411006	\$68.20	115414021	\$68.20
115394012	\$40.92	115411007	\$68.20	115414022	\$68.20
115394013	\$40.92	115411008	\$68.20	115414023	\$68.20
115394014	\$40.92	115411009	\$68.20	115414024	\$68.20
115394015	\$40.92	115411010	\$68.20	115414025	\$68.20
115394016	\$40.92	115411011	\$68.20	115414026	\$68.20
115394017	\$40.92	115411012	\$68.20	115414027	\$68.20
115394018	\$40.92	115412001	\$68.20	115414028	\$68.20
115394019	\$40.92	115412002	\$68.20	115414029	\$68.20
115394020	\$40.92	115412003	\$68.20	115414030	\$68.20
115394021	\$40.92	115412004	\$68.20	115414031	\$68.20
115394022	\$40.92	115412005	\$68.20	115414032	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115414033	\$68.20	115431027	\$68.20	115440007	\$68.20
115414034	\$68.20	115431028	\$68.20	115440008	\$68.20
115414035	\$68.20	115431029	\$68.20	115440009	\$68.20
115414036	\$68.20	115431030	\$68.20	115440010	\$68.20
115414037	\$68.20	115431031	\$68.20	115440011	\$68.20
115414038	\$68.20	115431032	\$68.20	115440012	\$68.20
115414039	\$68.20	115431033	\$68.20	115440013	\$68.20
115414040	\$68.20	115431034	\$68.20	115440014	\$68.20
115414041	\$68.20	115431035	\$68.20	115440015	\$68.20
115414042	\$68.20	115431036	\$68.20	115440016	\$68.20
115414043	\$68.20	115431037	\$68.20	115440017	\$68.20
115414044	\$68.20	115431038	\$68.20	115440018	\$68.20
115414045	\$68.20	115431039	\$68.20	115440019	\$68.20
115414046	\$68.20	115431040	\$68.20	115440020	\$68.20
115414047	\$68.20	115431041	\$68.20	115440021	\$68.20
115414048	\$68.20	115431042	\$68.20	115440022	\$68.20
115414049	\$68.20	115431043	\$68.20	115440023	\$68.20
115431001	\$68.20	115432001	\$68.20	115440024	\$68.20
115431002	\$68.20	115432002	\$68.20	115440025	\$68.20
115431003	\$68.20	115432003	\$68.20	115440026	\$68.20
115431004	\$68.20	115432004	\$68.20	115440027	\$68.20
115431005	\$68.20	115432005	\$68.20	115440028	\$68.20
115431006	\$68.20	115432006	\$68.20	115440029	\$68.20
115431007	\$68.20	115432007	\$68.20	115440030	\$68.20
115431008	\$68.20	115432008	\$68.20	115440031	\$68.20
115431009	\$68.20	115432009	\$68.20	115440032	\$68.20
115431010	\$68.20	115432010	\$68.20	115440033	\$68.20
115431011	\$68.20	115432011	\$68.20	115440034	\$68.20
115431012	\$68.20	115432012	\$68.20	115440035	\$68.20
115431013	\$68.20	115432013	\$68.20	115440036	\$68.20
115431014	\$68.20	115432014	\$68.20	115440037	\$68.20
115431015	\$68.20	115432015	\$68.20	115440038	\$68.20
115431016	\$68.20	115432016	\$68.20	115440039	\$68.20
115431017	\$68.20	115432017	\$68.20	115451001	\$68.20
115431018	\$68.20	115432018	\$68.20	115451002	\$68.20
115431019	\$68.20	115432019	\$68.20	115451003	\$68.20
115431020	\$68.20	115432020	\$68.20	115451004	\$68.20
115431021	\$68.20	115440001	\$68.20	115451005	\$68.20
115431022	\$68.20	115440002	\$68.20	115451006	\$68.20
115431023	\$68.20	115440003	\$68.20	115451007	\$68.20
115431024	\$68.20	115440004	\$68.20	115451008	\$68.20
115431025	\$68.20	115440005	\$68.20	115451009	\$68.20
115431026	\$68.20	115440006	\$68.20	115451010	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115451011	\$68.20	115452014	\$68.20	115462012	\$68.20
115451012	\$68.20	115452015	\$68.20	115462013	\$68.20
115451013	\$68.20	115452016	\$68.20	115462014	\$68.20
115451014	\$68.20	115452017	\$68.20	115462015	\$68.20
115451015	\$68.20	115452018	\$68.20	115462016	\$68.20
115451016	\$68.20	115452019	\$68.20	115462017	\$68.20
115451017	\$68.20	115452020	\$68.20	115462018	\$68.20
115451018	\$68.20	115452021	\$68.20	115462019	\$68.20
115451019	\$68.20	115452022	\$68.20	115462020	\$68.20
115451020	\$68.20	115452023	\$68.20	115462021	\$68.20
115451021	\$68.20	115452024	\$68.20	115462022	\$68.20
115451022	\$68.20	115452025	\$68.20	115462023	\$68.20
115451023	\$68.20	115452026	\$68.20	115462024	\$68.20
115451024	\$68.20	115452027	\$68.20	115462025	\$68.20
115451025	\$68.20	115452028	\$68.20	115462026	\$68.20
115451026	\$68.20	115452029	\$68.20	115462027	\$68.20
115451027	\$68.20	115452030	\$68.20	115462028	\$68.20
115451028	\$68.20	115452031	\$68.20	115462029	\$68.20
115451029	\$68.20	115452032	\$68.20	115462030	\$68.20
115451030	\$68.20	115452033	\$68.20	115462031	\$68.20
115451031	\$68.20	115452034	\$68.20	115462032	\$68.20
115451032	\$68.20	115461001	\$68.20	115463001	\$68.20
115451033	\$68.20	115461002	\$68.20	115463002	\$68.20
115451034	\$68.20	115461003	\$68.20	115463003	\$68.20
115451035	\$68.20	115461004	\$68.20	115463004	\$68.20
115451036	\$68.20	115461005	\$68.20	115463005	\$68.20
115451037	\$68.20	115461006	\$68.20	115463006	\$68.20
115451038	\$68.20	115461007	\$68.20	115463007	\$68.20
115451039	\$68.20	115461008	\$68.20	115463008	\$68.20
115451040	\$68.20	115461009	\$68.20	115463009	\$68.20
115452001	\$68.20	115461010	\$68.20	115463010	\$68.20
115452002	\$68.20	115461011	\$68.20	115463011	\$68.20
115452003	\$68.20	115462001	\$68.20	115463012	\$68.20
115452004	\$68.20	115462002	\$68.20	115463013	\$68.20
115452005	\$68.20	115462003	\$68.20	115463014	\$68.20
115452006	\$68.20	115462004	\$68.20	115463015	\$68.20
115452007	\$68.20	115462005	\$68.20	115463016	\$68.20
115452008	\$68.20	115462006	\$68.20	115463017	\$68.20
115452009	\$68.20	115462007	\$68.20	115463018	\$68.20
115452010	\$68.20	115462008	\$68.20	115463019	\$68.20
115452011	\$68.20	115462009	\$68.20	115463020	\$68.20
115452012	\$68.20	115462010	\$68.20	115463021	\$68.20
115452013	\$68.20	115462011	\$68.20	115463022	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115463023	\$68.20	115471031	\$68.20	115473023	\$68.20
115463024	\$68.20	115471032	\$68.20	115473024	\$68.20
115463025	\$68.20	115471033	\$68.20	115473025	\$68.20
115463026	\$68.20	115471034	\$68.20	115473026	\$68.20
115463027	\$68.20	115471035	\$68.20	115473027	\$68.20
115463028	\$68.20	115471036	\$68.20	115473028	\$68.20
115463029	\$68.20	115471037	\$68.20	115473029	\$68.20
115463030	\$68.20	115471038	\$68.20	115473030	\$68.20
115463031	\$68.20	115471039	\$68.20	115473031	\$68.20
115463032	\$68.20	115472001	\$68.20	115474001	\$68.20
115463033	\$68.20	115472002	\$68.20	115474002	\$68.20
115463034	\$68.20	115472003	\$68.20	115474003	\$68.20
115463035	\$68.20	115472004	\$68.20	115474004	\$68.20
115471001	\$68.20	115472005	\$68.20	115474005	\$68.20
115471002	\$68.20	115472006	\$68.20	115474006	\$68.20
115471003	\$68.20	115472007	\$68.20	115481001	\$68.20
115471004	\$68.20	115472008	\$68.20	115481002	\$68.20
115471005	\$68.20	115472009	\$68.20	115481003	\$68.20
115471006	\$68.20	115472010	\$68.20	115481004	\$68.20
115471007	\$68.20	115472011	\$68.20	115481005	\$68.20
115471008	\$68.20	115472012	\$68.20	115481006	\$68.20
115471009	\$68.20	115473001	\$68.20	115481007	\$68.20
115471010	\$68.20	115473002	\$68.20	115481008	\$68.20
115471011	\$68.20	115473003	\$68.20	115481009	\$68.20
115471012	\$68.20	115473004	\$68.20	115481010	\$68.20
115471013	\$68.20	115473005	\$68.20	115481014	\$68.20
115471014	\$68.20	115473006	\$68.20	115481019	\$68.20
115471015	\$68.20	115473007	\$68.20	115481021	\$68.20
115471016	\$68.20	115473008	\$68.20	115481023	\$68.20
115471017	\$68.20	115473009	\$68.20	115481024	\$68.20
115471018	\$68.20	115473010	\$68.20	115481026	\$68.20
115471019	\$68.20	115473011	\$68.20	115481027	\$68.20
115471020	\$68.20	115473012	\$68.20	115481028	\$68.20
115471021	\$68.20	115473013	\$68.20	115481045	\$68.20
115471022	\$68.20	115473014	\$68.20	115481046	\$68.20
115471023	\$68.20	115473015	\$68.20	115481047	\$68.20
115471024	\$68.20	115473016	\$68.20	115481048	\$68.20
115471025	\$68.20	115473017	\$68.20	115481049	\$68.20
115471026	\$68.20	115473018	\$68.20	115481050	\$68.20
115471027	\$68.20	115473019	\$68.20	115481051	\$68.20
115471028	\$68.20	115473020	\$68.20	115481052	\$68.20
115471029	\$68.20	115473021	\$68.20	115481053	\$68.20
115471030	\$68.20	115473022	\$68.20	115481054	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115482001	\$68.20	115491003	\$68.20	115492031	\$68.20
115482002	\$68.20	115491004	\$68.20	115492032	\$68.20
115482003	\$68.20	115491005	\$68.20	115492033	\$68.20
115482004	\$68.20	115491006	\$68.20	115492034	\$68.20
115482005	\$68.20	115491007	\$68.20	115492035	\$68.20
115482006	\$68.20	115491008	\$68.20	115492036	\$68.20
115482007	\$68.20	115491009	\$68.20	115492037	\$68.20
115482008	\$68.20	115491010	\$68.20	115492038	\$68.20
115482009	\$68.20	115491011	\$68.20	115492039	\$68.20
115482010	\$68.20	115491012	\$68.20	115492040	\$68.20
115482011	\$68.20	115491013	\$68.20	115493001	\$68.20
115482012	\$68.20	115491014	\$68.20	115493002	\$68.20
115482013	\$68.20	115491015	\$68.20	115493003	\$68.20
115482014	\$68.20	115492001	\$68.20	115493004	\$68.20
115482015	\$68.20	115492002	\$68.20	115493005	\$68.20
115482016	\$68.20	115492003	\$68.20	115493006	\$68.20
115482017	\$68.20	115492004	\$68.20	115493007	\$68.20
115482018	\$68.20	115492005	\$68.20	115493008	\$68.20
115482019	\$68.20	115492006	\$68.20	115493009	\$68.20
115482020	\$68.20	115492007	\$68.20	115493010	\$68.20
115482021	\$68.20	115492008	\$68.20	115493011	\$68.20
115482022	\$68.20	115492009	\$68.20	115493012	\$68.20
115482023	\$68.20	115492010	\$68.20	115493013	\$68.20
115482024	\$68.20	115492011	\$68.20	115493014	\$68.20
115482025	\$68.20	115492012	\$68.20	115493015	\$68.20
115482026	\$68.20	115492013	\$68.20	115493016	\$68.20
115482027	\$68.20	115492014	\$68.20	115493017	\$68.20
115482028	\$68.20	115492015	\$68.20	115493018	\$68.20
115482029	\$68.20	115492016	\$68.20	115493019	\$68.20
115482030	\$68.20	115492017	\$68.20	115500002	\$982.22
115482031	\$68.20	115492018	\$68.20	115500004	\$1,309.62
115482032	\$68.20	115492019	\$68.20	115500008	\$1,309.62
115482033	\$68.20	115492020	\$68.20	115500015	\$5,975.18
115482034	\$68.20	115492021	\$68.20	115500016	\$2,619.26
115482035	\$68.20	115492022	\$68.20	115500017	\$1,309.62
115482036	\$68.20	115492023	\$68.20	115521001	\$68.20
115482037	\$68.20	115492024	\$68.20	115521002	\$68.20
115482038	\$68.20	115492025	\$68.20	115521003	\$68.20
115482039	\$68.20	115492026	\$68.20	115521004	\$68.20
115482040	\$68.20	115492027	\$68.20	115521005	\$68.20
115482041	\$68.20	115492028	\$68.20	115521006	\$68.20
115491001	\$68.20	115492029	\$68.20	115521007	\$68.20
115491002	\$68.20	115492030	\$68.20	115521008	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115521009	\$68.20	115531006	\$68.20	115533008	\$68.20
115521010	\$68.20	115531007	\$68.20	115533009	\$68.20
115521011	\$68.20	115531008	\$68.20	115533010	\$68.20
115521012	\$68.20	115531009	\$68.20	115533011	\$68.20
115521013	\$68.20	115531012	\$68.20	115533012	\$68.20
115521014	\$68.20	115532001	\$68.20	115533013	\$68.20
115521015	\$68.20	115532002	\$68.20	115533014	\$68.20
115521016	\$68.20	115532003	\$68.20	115533015	\$68.20
115521017	\$68.20	115532004	\$68.20	115533016	\$68.20
115521018	\$68.20	115532005	\$68.20	115534001	\$68.20
115521019	\$68.20	115532006	\$68.20	115534002	\$68.20
115521020	\$68.20	115532007	\$68.20	115534003	\$68.20
115521021	\$68.20	115532008	\$68.20	115534004	\$68.20
115521022	\$68.20	115532010	\$68.20	115534005	\$68.20
115521023	\$68.20	115532011	\$68.20	115534006	\$68.20
115521024	\$68.20	115532012	\$68.20	115534007	\$68.20
115521025	\$68.20	115532013	\$68.20	115534008	\$68.20
115521026	\$68.20	115532014	\$68.20	115534009	\$68.20
115521027	\$68.20	115532015	\$68.20	115534010	\$68.20
115521028	\$68.20	115532016	\$68.20	115560001	\$68.20
115521030	\$68.20	115532017	\$68.20	115560002	\$68.20
115521031	\$68.20	115532018	\$68.20	115560003	\$68.20
115521032	\$68.20	115532019	\$68.20	115560004	\$68.20
115522001	\$68.20	115532020	\$68.20	115560005	\$68.20
115522003	\$68.20	115532021	\$68.20	115560006	\$68.20
115522004	\$68.20	115532022	\$68.20	115560007	\$68.20
115522005	\$68.20	115532023	\$68.20	115560008	\$68.20
115522006	\$68.20	115532024	\$68.20	115560009	\$68.20
115522007	\$68.20	115532025	\$68.20	115560010	\$68.20
115522008	\$68.20	115532026	\$68.20	115560011	\$68.20
115522009	\$68.20	115532027	\$68.20	115560012	\$68.20
115522010	\$68.20	115532028	\$68.20	115560013	\$68.20
115522011	\$68.20	115532029	\$68.20	115560014	\$68.20
115522012	\$68.20	115532030	\$68.20	115560015	\$68.20
115522013	\$68.20	115532031	\$68.20	115560016	\$68.20
115522014	\$68.20	115532032	\$68.20	115560017	\$68.20
115522015	\$68.20	115533001	\$68.20	115560018	\$68.20
115522016	\$68.20	115533002	\$68.20	115560019	\$68.20
115522017	\$68.20	115533003	\$68.20	115560020	\$68.20
115531002	\$68.20	115533004	\$68.20	115560021	\$68.20
115531003	\$68.20	115533005	\$68.20	115560022	\$68.20
115531004	\$68.20	115533006	\$68.20	115560023	\$68.20
115531005	\$68.20	115533007	\$68.20	115560024	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115560025	\$68.20	115570013	\$68.20	115610003	\$68.20
115560026	\$68.20	115570014	\$68.20	115610004	\$68.20
115560027	\$68.20	115570015	\$68.20	115610005	\$68.20
115560028	\$68.20	115570016	\$68.20	115610006	\$68.20
115560029	\$68.20	115570017	\$68.20	115610007	\$68.20
115560030	\$68.20	115570018	\$68.20	115610008	\$68.20
115560031	\$68.20	115570019	\$68.20	115610009	\$68.20
115560032	\$68.20	115570020	\$68.20	115610010	\$68.20
115560033	\$68.20	115570021	\$68.20	115610011	\$68.20
115560034	\$68.20	115570022	\$68.20	115610012	\$68.20
115560035	\$68.20	115570023	\$68.20	115610013	\$68.20
115560036	\$68.20	115570024	\$68.20	115610014	\$68.20
115560037	\$68.20	115570025	\$68.20	115610015	\$68.20
115560038	\$68.20	115570026	\$68.20	115610016	\$68.20
115560039	\$68.20	115570027	\$68.20	115610017	\$68.20
115560040	\$68.20	115570028	\$68.20	115610018	\$68.20
115560041	\$68.20	115570029	\$68.20	115610019	\$68.20
115560042	\$68.20	115570030	\$68.20	115610020	\$68.20
115560043	\$68.20	115570031	\$68.20	115610021	\$68.20
115560044	\$68.20	115570032	\$68.20	115621001	\$68.20
115560045	\$68.20	115570033	\$68.20	115621002	\$68.20
115560046	\$68.20	115570034	\$68.20	115621003	\$68.20
115560047	\$68.20	115570035	\$68.20	115621004	\$68.20
115560048	\$68.20	115570036	\$68.20	115621005	\$68.20
115560049	\$68.20	115570037	\$68.20	115621006	\$68.20
115560050	\$68.20	115570038	\$68.20	115621007	\$68.20
115560051	\$68.20	115570039	\$68.20	115622001	\$68.20
115560052	\$68.20	115570040	\$68.20	115622002	\$68.20
115560053	\$68.20	115570041	\$68.20	115622003	\$68.20
115560054	\$68.20	115570042	\$68.20	115622004	\$68.20
115560055	\$68.20	115570043	\$68.20	115622005	\$68.20
115570001	\$68.20	115570044	\$68.20	115622006	\$68.20
115570002	\$68.20	115570045	\$68.20	115622007	\$68.20
115570003	\$68.20	115570046	\$68.20	115622008	\$68.20
115570004	\$68.20	115570047	\$68.20	115622009	\$68.20
115570005	\$68.20	115570048	\$68.20	115622010	\$68.20
115570006	\$68.20	115570049	\$68.20	115622011	\$68.20
115570007	\$68.20	115570050	\$68.20	115622012	\$68.20
115570008	\$68.20	115570051	\$68.20	115622013	\$68.20
115570009	\$68.20	115570052	\$68.20	115622014	\$68.20
115570010	\$68.20	115570053	\$68.20	115622015	\$68.20
115570011	\$68.20	115610001	\$68.20	115622016	\$68.20
115570012	\$68.20	115610002	\$68.20	115623001	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115623002	\$68.20	115640007	\$68.20	115651015	\$68.20
115623003	\$68.20	115640008	\$68.20	172010001	\$68.20
115623004	\$68.20	115640009	\$68.20	172010002	\$68.20
115623005	\$68.20	115640010	\$68.20	172010003	\$68.20
115623006	\$68.20	115640011	\$68.20	172010004	\$68.20
115624001	\$68.20	115640012	\$68.20	172010005	\$68.20
115624002	\$68.20	115640013	\$68.20	172010006	\$68.20
115624003	\$68.20	115640014	\$68.20	172010007	\$68.20
115624004	\$68.20	115641001	\$68.20	172010008	\$68.20
115624005	\$68.20	115641002	\$68.20	172010009	\$68.20
115624006	\$68.20	115641003	\$68.20	172010010	\$68.20
115624007	\$68.20	115641004	\$68.20	172010011	\$68.20
115624008	\$68.20	115641005	\$68.20	172010012	\$68.20
115624009	\$68.20	115641006	\$68.20	172010013	\$68.20
115624010	\$68.20	115642001	\$68.20	172010014	\$68.20
115630001	\$68.20	115642002	\$68.20	172010015	\$68.20
115630002	\$68.20	115642003	\$68.20	172010016	\$68.20
115630003	\$68.20	115650001	\$68.20	172010017	\$68.20
115630004	\$68.20	115650002	\$68.20	172010018	\$68.20
115630005	\$68.20	115650003	\$68.20	172010019	\$68.20
115630006	\$68.20	115650004	\$68.20	172010020	\$68.20
115630007	\$68.20	115650005	\$68.20	172010021	\$68.20
115630008	\$68.20	115650006	\$68.20	172010022	\$68.20
115630009	\$68.20	115650007	\$68.20	172010023	\$68.20
115630010	\$68.20	115650008	\$68.20	172010024	\$68.20
115630011	\$68.20	115650009	\$68.20	172010025	\$68.20
115630012	\$68.20	115650010	\$68.20	172010026	\$68.20
115630013	\$68.20	115650011	\$68.20	172010027	\$68.20
115630014	\$68.20	115650012	\$68.20	172010028	\$68.20
115630015	\$68.20	115651001	\$68.20	172010029	\$68.20
115630016	\$68.20	115651002	\$68.20	172010030	\$68.20
115630017	\$68.20	115651003	\$68.20	172010031	\$68.20
115630018	\$68.20	115651004	\$68.20	172010032	\$68.20
115630019	\$68.20	115651005	\$68.20	172010033	\$68.20
115630020	\$68.20	115651006	\$68.20	172010034	\$68.20
115630021	\$68.20	115651007	\$68.20	172010035	\$68.20
115630022	\$68.20	115651008	\$68.20	172010036	\$68.20
115640001	\$68.20	115651009	\$68.20	172010037	\$68.20
115640002	\$68.20	115651010	\$68.20	172010038	\$68.20
115640003	\$68.20	115651011	\$68.20	172010039	\$68.20
115640004	\$68.20	115651012	\$68.20	172010040	\$68.20
115640005	\$68.20	115651013	\$68.20	172010041	\$68.20
115640006	\$68.20	115651014	\$68.20	172010042	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172010043	\$68.20	172021023	\$68.20	172022015	\$68.20
172010044	\$68.20	172021024	\$68.20	172022016	\$68.20
172010045	\$68.20	172021025	\$68.20	172022017	\$68.20
172010046	\$68.20	172021026	\$68.20	172022018	\$68.20
172010047	\$68.20	172021027	\$68.20	172022019	\$68.20
172010048	\$68.20	172021028	\$68.20	172022020	\$68.20
172010049	\$68.20	172021029	\$68.20	172022021	\$68.20
172010050	\$68.20	172021030	\$68.20	172022022	\$68.20
172010051	\$68.20	172021031	\$68.20	172022023	\$68.20
172010052	\$68.20	172021032	\$68.20	172022024	\$68.20
172010053	\$68.20	172021033	\$68.20	172022025	\$68.20
172010054	\$68.20	172021034	\$68.20	172022027	\$68.20
172010055	\$68.20	172021035	\$68.20	172022028	\$68.20
172010056	\$68.20	172021036	\$68.20	172022029	\$68.20
172010057	\$68.20	172021037	\$68.20	172022030	\$68.20
172010058	\$68.20	172021039	\$68.20	172022031	\$68.20
172010059	\$68.20	172021040	\$68.20	172022032	\$68.20
172010060	\$68.20	172021041	\$68.20	172022033	\$68.20
172010061	\$68.20	172021042	\$68.20	172022034	\$68.20
172010062	\$68.20	172021043	\$68.20	172022035	\$68.20
172010063	\$68.20	172021044	\$68.20	172022036	\$68.20
172010064	\$68.20	172021045	\$68.20	172022037	\$68.20
172021001	\$68.20	172021046	\$68.20	172022038	\$68.20
172021002	\$68.20	172021047	\$68.20	172022040	\$68.20
172021003	\$68.20	172021048	\$68.20	172022041	\$68.20
172021004	\$68.20	172021049	\$68.20	172022042	\$68.20
172021005	\$68.20	172021050	\$68.20	172022043	\$68.20
172021006	\$68.20	172021051	\$68.20	172022044	\$68.20
172021007	\$68.20	172021052	\$68.20	172022045	\$68.20
172021008	\$68.20	172021053	\$68.20	172022046	\$68.20
172021009	\$68.20	172022001	\$68.20	172022047	\$68.20
172021010	\$68.20	172022002	\$68.20	172022048	\$68.20
172021011	\$68.20	172022003	\$68.20	172022049	\$68.20
172021012	\$68.20	172022004	\$68.20	172022050	\$68.20
172021013	\$68.20	172022005	\$68.20	172022051	\$68.20
172021014	\$68.20	172022006	\$68.20	172022052	\$68.20
172021015	\$68.20	172022007	\$68.20	172022053	\$68.20
172021016	\$68.20	172022008	\$68.20	172022054	\$68.20
172021017	\$68.20	172022009	\$68.20	172022055	\$68.20
172021018	\$68.20	172022010	\$68.20	172022056	\$68.20
172021020	\$68.20	172022011	\$68.20	172022057	\$68.20
172021021	\$68.20	172022012	\$68.20	172022059	\$68.20
172021022	\$68.20	172022014	\$68.20	172022060	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172022061	\$68.20	172040008	\$163.70	172091005	\$68.20
172022062	\$68.20	172040009	\$163.70	172091006	\$68.20
172022063	\$68.20	172040010	\$163.70	172091007	\$68.20
172022064	\$68.20	172040011	\$163.70	172091008	\$68.20
172022065	\$68.20	172040012	\$163.70	172091009	\$68.20
172022066	\$68.20	172040013	\$163.70	172091010	\$68.20
172022067	\$68.20	172040014	\$163.70	172091011	\$68.20
172022068	\$68.20	172040015	\$163.70	172091012	\$68.20
172022069	\$68.20	172040016	\$163.70	172091013	\$68.20
172022070	\$68.20	172040017	\$163.70	172091014	\$68.20
172022071	\$68.20	172040018	\$163.70	172091015	\$68.20
172022072	\$68.20	172040019	\$163.70	172091016	\$68.20
172022073	\$68.20	172040020	\$163.70	172091017	\$68.20
172022074	\$68.20	172040021	\$163.70	172091018	\$68.20
172022075	\$68.20	172040022	\$163.70	172091019	\$68.20
172022076	\$68.20	172040023	\$163.70	172091020	\$68.20
172022078	\$68.20	172040024	\$163.70	172091021	\$68.20
172022079	\$68.20	172040025	\$163.70	172091022	\$68.20
172022080	\$68.20	172040026	\$163.70	172091023	\$68.20
172022081	\$68.20	172050001	\$126.18	172091024	\$68.20
172022082	\$68.20	172050002	\$98.90	172091025	\$68.20
172022083	\$68.20	172050003	\$109.12	172091026	\$68.20
172022084	\$68.20	172050004	\$95.48	172091027	\$68.20
172022085	\$68.20	172050005	\$702.56	172091028	\$68.20
172022086	\$68.20	172050006	\$1,459.68	172091029	\$68.20
172022087	\$68.20	172050007	\$361.50	172091030	\$68.20
172022088	\$68.20	172090001	\$68.20	172091031	\$68.20
172022089	\$68.20	172090002	\$68.20	172091032	\$68.20
172022091	\$68.20	172090003	\$68.20	172091033	\$68.20
172022092	\$68.20	172090004	\$68.20	172091034	\$68.20
172022093	\$68.20	172090005	\$68.20	172091035	\$68.20
172022094	\$68.20	172090006	\$68.20	172091036	\$68.20
172022095	\$68.20	172090007	\$68.20	172091037	\$68.20
172022096	\$68.20	172090008	\$68.20	172091038	\$68.20
172030001	\$13,260.02	172090009	\$68.20	172092001	\$68.20
172030002	\$13,751.12	172090010	\$68.20	172092002	\$68.20
172040001	\$163.70	172090011	\$68.20	172092003	\$68.20
172040002	\$163.70	172090012	\$68.20	172092004	\$68.20
172040003	\$163.70	172090013	\$68.20	172092005	\$68.20
172040004	\$163.70	172091001	\$68.20	172092006	\$68.20
172040005	\$163.70	172091002	\$68.20	172092007	\$68.20
172040006	\$163.70	172091003	\$68.20	172092008	\$68.20
172040007	\$163.70	172091004	\$68.20	172092009	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172092010	\$68.20	172102013	\$68.20	172130005	\$204.62
172092011	\$68.20	172102014	\$68.20	172130006	\$2,182.72
172092012	\$68.20	172102015	\$68.20	172130007	\$460.40
172092013	\$68.20	172102016	\$68.20	172130008	\$2,319.14
172092014	\$68.20	172102017	\$68.20	172140001	\$6,752.78
172092015	\$68.20	172102018	\$68.20	172140002	\$3,396.84
172092016	\$68.20	172102019	\$68.20	172140003	\$777.58
172092017	\$68.20	172102020	\$68.20	172140004	\$3,857.26
172092018	\$68.20	172102021	\$68.20	172140005	\$184.16
172092019	\$68.20	172102022	\$68.20	172150002	\$68.20
172092020	\$68.20	172103001	\$68.20	172150003	\$68.20
172092021	\$68.20	172103002	\$68.20	172150004	\$68.20
172101001	\$68.20	172103003	\$68.20	172150008	\$68.20
172101002	\$68.20	172103004	\$68.20	172150009	\$68.20
172101003	\$68.20	172103005	\$68.20	172151001	\$68.20
172101004	\$68.20	172103006	\$68.20	172151002	\$68.20
172101005	\$68.20	172103007	\$68.20	172151003	\$68.20
172101006	\$68.20	172103008	\$68.20	172170001	\$68.20
172101007	\$68.20	172103009	\$68.20	172170002	\$68.20
172101008	\$68.20	172103010	\$68.20	172170003	\$68.20
172101009	\$68.20	172103011	\$68.20	172170004	\$68.20
172101010	\$68.20	172103012	\$68.20	172170005	\$68.20
172101011	\$68.20	172103013	\$68.20	172170006	\$68.20
172101012	\$68.20	172103014	\$68.20	172170007	\$68.20
172101013	\$68.20	172103015	\$68.20	172170008	\$68.20
172101014	\$68.20	172103017	\$68.20	172170009	\$68.20
172101015	\$68.20	172103018	\$68.20	172170010	\$68.20
172101016	\$68.20	172103019	\$68.20	172170011	\$68.20
172101017	\$68.20	172103020	\$68.20	172170012	\$68.20
172101018	\$68.20	172103021	\$68.20	172170013	\$68.20
172101019	\$68.20	172121001	\$68.20	172170014	\$68.20
172102001	\$68.20	172121002	\$68.20	172170015	\$68.20
172102002	\$68.20	172121003	\$68.20	172170016	\$68.20
172102003	\$68.20	172121004	\$68.20	172170017	\$68.20
172102004	\$68.20	172121005	\$68.20	172170018	\$68.20
172102005	\$68.20	172121006	\$68.20	172170019	\$68.20
172102006	\$68.20	172121007	\$68.20	172170020	\$68.20
172102007	\$68.20	172121008	\$68.20	172171001	\$68.20
172102008	\$68.20	172121009	\$68.20	172171002	\$68.20
172102009	\$68.20	172130001	\$4,638.28	172171003	\$68.20
172102010	\$68.20	172130002	\$272.84	172171004	\$68.20
172102011	\$68.20	172130003	\$341.04	172171005	\$68.20
172102012	\$68.20	172130004	\$341.04	172171006	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172171007	\$68.20	172181018	\$68.20	172210024	\$68.20
172171008	\$68.20	172181019	\$68.20	172220001	\$68.20
172171009	\$68.20	172181020	\$68.20	172220002	\$68.20
172171010	\$68.20	172181021	\$68.20	172220003	\$68.20
172171011	\$68.20	172181022	\$68.20	172220004	\$68.20
172171012	\$68.20	172182001	\$68.20	172220005	\$68.20
172171013	\$68.20	172182002	\$68.20	172220006	\$68.20
172171014	\$68.20	172182003	\$68.20	172220007	\$68.20
172172001	\$68.20	172182004	\$68.20	172220008	\$68.20
172172002	\$68.20	172182005	\$68.20	172220009	\$68.20
172172003	\$68.20	172182006	\$68.20	172220010	\$68.20
172172004	\$68.20	172182007	\$68.20	172220011	\$68.20
172172005	\$68.20	172182008	\$68.20	172220012	\$68.20
172172006	\$68.20	172182009	\$68.20	172220013	\$68.20
172172007	\$68.20	172182010	\$68.20	172220014	\$68.20
172172008	\$68.20	172182011	\$68.20	172220015	\$68.20
172173001	\$68.20	172182012	\$68.20	172220016	\$68.20
172173002	\$68.20	172182013	\$68.20	172220017	\$68.20
172173003	\$68.20	172182014	\$68.20	172220018	\$68.20
172180001	\$68.20	172182015	\$68.20	172220019	\$68.20
172180002	\$68.20	172210001	\$68.20	172220020	\$68.20
172180003	\$68.20	172210002	\$68.20	172220021	\$68.20
172180004	\$68.20	172210003	\$68.20	172220022	\$68.20
172180005	\$68.20	172210004	\$68.20	172220023	\$68.20
172180006	\$68.20	172210005	\$68.20	172220024	\$68.20
172180007	\$68.20	172210006	\$68.20	172220025	\$68.20
172181001	\$68.20	172210007	\$68.20	172220026	\$68.20
172181002	\$68.20	172210008	\$68.20	172220027	\$68.20
172181003	\$68.20	172210009	\$68.20	172220028	\$68.20
172181004	\$68.20	172210010	\$68.20	172220029	\$68.20
172181005	\$68.20	172210011	\$68.20	172221001	\$68.20
172181006	\$68.20	172210012	\$68.20	172221002	\$68.20
172181007	\$68.20	172210013	\$68.20	172221003	\$68.20
172181008	\$68.20	172210014	\$68.20	172221004	\$68.20
172181009	\$68.20	172210015	\$68.20	172221005	\$68.20
172181010	\$68.20	172210016	\$68.20	172221006	\$68.20
172181011	\$68.20	172210017	\$68.20	172221007	\$68.20
172181012	\$68.20	172210018	\$68.20	172221008	\$68.20
172181013	\$68.20	172210019	\$68.20	172221009	\$68.20
172181014	\$68.20	172210020	\$68.20	172221010	\$68.20
172181015	\$68.20	172210021	\$68.20	172221011	\$68.20
172181016	\$68.20	172210022	\$68.20	172221012	\$68.20
172181017	\$68.20	172210023	\$68.20	172221013	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172221014	\$68.20	172231005	\$68.20	172242001	\$68.20
172221015	\$68.20	172231006	\$68.20	172242002	\$68.20
172221016	\$68.20	172231007	\$68.20	172242003	\$68.20
172221017	\$68.20	172231008	\$68.20	172242004	\$68.20
172221018	\$68.20	172231009	\$68.20	172242005	\$68.20
172221019	\$68.20	172231010	\$68.20	172242006	\$68.20
172221020	\$68.20	172231011	\$68.20	172242007	\$68.20
172221021	\$68.20	172231012	\$68.20	172242008	\$68.20
172221022	\$68.20	172231013	\$68.20	172242009	\$68.20
172221023	\$68.20	172231014	\$68.20	172242010	\$68.20
172221024	\$68.20	172231015	\$68.20	172242011	\$68.20
172221025	\$68.20	172240001	\$68.20	172242012	\$68.20
172221026	\$68.20	172240002	\$68.20	172242013	\$68.20
172221027	\$68.20	172240003	\$68.20	172242014	\$68.20
172221028	\$68.20	172240004	\$68.20	172242015	\$68.20
172230001	\$68.20	172240005	\$68.20	172242016	\$68.20
172230002	\$68.20	172240006	\$68.20	172242017	\$68.20
172230003	\$68.20	172240007	\$68.20	172242018	\$68.20
172230004	\$68.20	172240008	\$68.20	172242019	\$68.20
172230005	\$68.20	172240009	\$68.20	172242020	\$68.20
172230006	\$68.20	172240010	\$68.20	172242021	\$68.20
172230007	\$68.20	172240011	\$68.20	172242022	\$68.20
172230008	\$68.20	172240012	\$68.20	172242023	\$68.20
172230009	\$68.20	172240013	\$68.20	172242024	\$68.20
172230010	\$68.20	172240014	\$68.20	172242025	\$68.20
172230011	\$68.20	172240015	\$68.20	172250001	\$68.20
172230012	\$68.20	172240016	\$68.20	172250002	\$68.20
172230013	\$68.20	172240017	\$68.20	172250003	\$68.20
172230014	\$68.20	172240018	\$68.20	172250004	\$68.20
172230015	\$68.20	172240019	\$68.20	172250005	\$68.20
172230016	\$68.20	172240020	\$68.20	172250006	\$68.20
172230017	\$68.20	172240021	\$68.20	172250007	\$68.20
172230018	\$68.20	172240022	\$68.20	172250008	\$68.20
172230019	\$68.20	172240023	\$68.20	172250009	\$68.20
172230020	\$68.20	172240024	\$68.20	172250010	\$68.20
172230021	\$68.20	172240025	\$68.20	172250011	\$68.20
172230022	\$68.20	172240026	\$68.20	172250012	\$68.20
172230023	\$68.20	172240027	\$68.20	172250013	\$68.20
172230024	\$68.20	172241001	\$68.20	172250014	\$68.20
172231001	\$68.20	172241002	\$68.20	172250015	\$68.20
172231002	\$68.20	172241003	\$68.20	172250016	\$68.20
172231003	\$68.20	172241004	\$68.20	172250017	\$68.20
172231004	\$68.20	172241005	\$68.20	172250018	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172250019	\$68.20	172261005	\$68.20	172263004	\$68.20
172250020	\$68.20	172261006	\$68.20	172263005	\$68.20
172251001	\$68.20	172261007	\$68.20	172263006	\$68.20
172251002	\$68.20	172261008	\$68.20	172263007	\$68.20
172251003	\$68.20	172261009	\$68.20	172263008	\$68.20
172251004	\$68.20	172261010	\$68.20	172263009	\$68.20
172251005	\$68.20	172261011	\$68.20	172263010	\$68.20
172251006	\$68.20	172261012	\$68.20	172263011	\$68.20
172251007	\$68.20	172261013	\$68.20	172263012	\$68.20
172251008	\$68.20	172261014	\$68.20	172263013	\$68.20
172251009	\$68.20	172261015	\$68.20	172263014	\$68.20
172251010	\$68.20	172261016	\$68.20	172263015	\$68.20
172251011	\$68.20	172261017	\$68.20	172263017	\$68.20
172251012	\$68.20	172261018	\$68.20	172263018	\$68.20
172251013	\$68.20	172262001	\$68.20	172263019	\$68.20
172251014	\$68.20	172262002	\$68.20	172263020	\$68.20
172251015	\$68.20	172262003	\$68.20	172263021	\$68.20
172251016	\$68.20	172262004	\$68.20	172263022	\$68.20
172251017	\$68.20	172262005	\$68.20	172263023	\$68.20
172251018	\$68.20	172262006	\$68.20	172263024	\$68.20
172251019	\$68.20	172262007	\$68.20	172263025	\$68.20
172251020	\$68.20	172262008	\$68.20	172263026	\$68.20
172251021	\$68.20	172262009	\$68.20	172263027	\$68.20
172251022	\$68.20	172262010	\$68.20	172263029	\$68.20
172252001	\$68.20	172262011	\$68.20	172270001	\$68.20
172252002	\$68.20	172262012	\$68.20	172270002	\$68.20
172252003	\$68.20	172262013	\$68.20	172270003	\$68.20
172252004	\$68.20	172262014	\$68.20	172270004	\$68.20
172252005	\$68.20	172262015	\$68.20	172270005	\$68.20
172252006	\$68.20	172262016	\$68.20	172270006	\$68.20
172252007	\$68.20	172262017	\$68.20	172270007	\$68.20
172252008	\$68.20	172262018	\$68.20	172270008	\$68.20
172252009	\$68.20	172262019	\$68.20	172270009	\$68.20
172252010	\$68.20	172262020	\$68.20	172270010	\$68.20
172252011	\$68.20	172262021	\$68.20	172270011	\$68.20
172260001	\$68.20	172262022	\$68.20	172270012	\$68.20
172260002	\$68.20	172262023	\$68.20	172270013	\$68.20
172260003	\$68.20	172262024	\$68.20	172270014	\$68.20
172260004	\$68.20	172262025	\$68.20	172270015	\$68.20
172261001	\$68.20	172262026	\$68.20	172270016	\$68.20
172261002	\$68.20	172263001	\$68.20	172270017	\$68.20
172261003	\$68.20	172263002	\$68.20	172270018	\$68.20
172261004	\$68.20	172263003	\$68.20	172270019	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172270020	\$68.20	172271021	\$68.20	172281007	\$68.20
172270021	\$68.20	172271022	\$68.20	172281008	\$68.20
172270022	\$68.20	172271023	\$68.20	172281009	\$68.20
172270023	\$68.20	172271024	\$68.20	172281010	\$68.20
172270024	\$68.20	172271025	\$68.20	172281011	\$68.20
172270025	\$68.20	172271026	\$68.20	172281012	\$68.20
172270026	\$68.20	172271027	\$68.20	172281013	\$68.20
172270027	\$68.20	172271028	\$68.20	172281014	\$68.20
172270028	\$68.20	172271029	\$68.20	172281015	\$68.20
172270029	\$68.20	172272001	\$68.20	172281016	\$68.20
172270030	\$68.20	172272002	\$68.20	172281017	\$68.20
172270031	\$68.20	172272003	\$68.20	172281018	\$68.20
172270032	\$68.20	172272004	\$68.20	172281019	\$68.20
172270033	\$68.20	172272005	\$68.20	172281020	\$68.20
172270034	\$68.20	172272006	\$68.20	172281021	\$68.20
172270035	\$68.20	172280001	\$68.20	172281022	\$68.20
172270036	\$68.20	172280002	\$68.20	172281023	\$68.20
172270037	\$68.20	172280003	\$68.20	172281024	\$68.20
172270038	\$68.20	172280004	\$68.20	172281025	\$68.20
172270039	\$68.20	172280005	\$68.20	172281026	\$68.20
172270040	\$68.20	172280006	\$68.20	172281027	\$68.20
172270041	\$68.20	172280007	\$68.20	172281028	\$68.20
172270042	\$68.20	172280008	\$68.20	172281029	\$68.20
172271001	\$68.20	172280009	\$68.20	172281030	\$68.20
172271002	\$68.20	172280010	\$68.20	172281031	\$68.20
172271003	\$68.20	172280011	\$68.20	172281032	\$68.20
172271004	\$68.20	172280012	\$68.20	172281033	\$68.20
172271005	\$68.20	172280013	\$68.20	172281034	\$68.20
172271006	\$68.20	172280014	\$68.20	172281035	\$68.20
172271007	\$68.20	172280015	\$68.20	172281036	\$68.20
172271008	\$68.20	172280016	\$68.20	172282001	\$68.20
172271009	\$68.20	172280017	\$68.20	172282002	\$68.20
172271010	\$68.20	172280018	\$68.20	172282003	\$68.20
172271011	\$68.20	172280019	\$68.20	172282004	\$68.20
172271012	\$68.20	172280020	\$68.20	172282005	\$68.20
172271013	\$68.20	172280021	\$68.20	172290001	\$68.20
172271014	\$68.20	172280022	\$68.20	172290002	\$68.20
172271015	\$68.20	172281001	\$68.20	172290003	\$68.20
172271016	\$68.20	172281002	\$68.20	172291001	\$68.20
172271017	\$68.20	172281003	\$68.20	172291002	\$68.20
172271018	\$68.20	172281004	\$68.20	172291003	\$68.20
172271019	\$68.20	172281005	\$68.20	172291004	\$68.20
172271020	\$68.20	172281006	\$68.20	172291005	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172291006	\$68.20	172300019	\$68.20	172312007	\$68.20
172291007	\$68.20	172302001	\$68.20	172312008	\$68.20
172291008	\$68.20	172302002	\$68.20	172320001	\$68.20
172291009	\$68.20	172302003	\$68.20	172320002	\$68.20
172291010	\$68.20	172302004	\$68.20	172320003	\$68.20
172291011	\$68.20	172302005	\$68.20	172320004	\$68.20
172291012	\$68.20	172302006	\$68.20	172320005	\$68.20
172291013	\$68.20	172302007	\$68.20	172320006	\$68.20
172291014	\$68.20	172302008	\$68.20	172320007	\$68.20
172291015	\$68.20	172302009	\$68.20	172320008	\$68.20
172291016	\$68.20	172302010	\$68.20	172320009	\$68.20
172291017	\$68.20	172302011	\$68.20	172320010	\$68.20
172291018	\$68.20	172302012	\$68.20	172320011	\$68.20
172291019	\$68.20	172310001	\$68.20	172320012	\$68.20
172291020	\$68.20	172310002	\$68.20	172320013	\$68.20
172291021	\$68.20	172310003	\$68.20	172320014	\$68.20
172291022	\$68.20	172310004	\$68.20	172320015	\$68.20
172291023	\$68.20	172310005	\$68.20	172320016	\$68.20
172291024	\$68.20	172311001	\$68.20	172320017	\$68.20
172291025	\$68.20	172311002	\$68.20	172320018	\$68.20
172291026	\$68.20	172311003	\$68.20	172320019	\$68.20
172291027	\$68.20	172311004	\$68.20	172320020	\$68.20
172291028	\$68.20	172311005	\$68.20	172320021	\$68.20
172291029	\$68.20	172311006	\$68.20	172320022	\$68.20
172291030	\$68.20	172311007	\$68.20	172321001	\$68.20
172291031	\$68.20	172311008	\$68.20	172321002	\$68.20
172291032	\$68.20	172311009	\$68.20	172321003	\$68.20
172291033	\$68.20	172311010	\$68.20	172321004	\$68.20
172300001	\$68.20	172311011	\$68.20	172321005	\$68.20
172300002	\$68.20	172311012	\$68.20	172321006	\$68.20
172300003	\$68.20	172311013	\$68.20	172321007	\$68.20
172300004	\$68.20	172311014	\$68.20	172321008	\$68.20
172300005	\$68.20	172311015	\$68.20	172321009	\$68.20
172300006	\$68.20	172311016	\$68.20	172321010	\$68.20
172300007	\$68.20	172311017	\$68.20	172321011	\$68.20
172300008	\$68.20	172311018	\$68.20	172321012	\$68.20
172300009	\$68.20	172311019	\$68.20	172321013	\$68.20
172300011	\$68.20	172312001	\$68.20	172321014	\$68.20
172300012	\$68.20	172312002	\$68.20	172321015	\$68.20
172300013	\$68.20	172312003	\$68.20	172321016	\$68.20
172300014	\$68.20	172312004	\$68.20	172322001	\$68.20
172300015	\$68.20	172312005	\$68.20	172322002	\$68.20
172300016	\$68.20	172312006	\$68.20	172322003	\$68.20



# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172322004	\$68.20	172325012	\$68.20	172330023	\$68.20
172322005	\$68.20	172325013	\$68.20	172330024	\$68.20
172322006	\$68.20	172325014	\$68.20	172330025	\$68.20
172322007	\$68.20	172325015	\$68.20	172330026	\$68.20
172322008	\$68.20	172325016	\$68.20	172330027	\$68.20
172322009	\$68.20	172325017	\$68.20	172330028	\$68.20
172322010	\$68.20	172325018	\$68.20	172330029	\$68.20
172322011	\$68.20	172325019	\$68.20	172330030	\$68.20
172322012	\$68.20	172325020	\$68.20	172330031	\$68.20
172322013	\$68.20	172325021	\$68.20	172330032	\$68.20
172323001	\$68.20	172325022	\$68.20	172330033	\$68.20
172323002	\$68.20	172325023	\$68.20	172330034	\$68.20
172323003	\$68.20	172325024	\$68.20	172330035	\$68.20
172323004	\$68.20	172325025	\$68.20	172330036	\$68.20
172323005	\$68.20	172325026	\$68.20	172330037	\$68.20
172323006	\$68.20	172325027	\$68.20	172330038	\$68.20
172323007	\$68.20	172325028	\$68.20	172330039	\$68.20
172323008	\$68.20	172325029	\$68.20	172330040	\$68.20
172323009	\$68.20	172325030	\$68.20	172330041	\$68.20
172323010	\$68.20	172325031	\$68.20	172330042	\$68.20
172323011	\$68.20	172325032	\$68.20	172330043	\$68.20
172324001	\$68.20	172330001	\$68.20	172330044	\$68.20
172324002	\$68.20	172330002	\$68.20	172330045	\$68.20
172324003	\$68.20	172330003	\$68.20	172330046	\$68.20
172324004	\$68.20	172330004	\$68.20	172330047	\$68.20
172324005	\$68.20	172330005	\$68.20	172330048	\$68.20
172324006	\$68.20	172330006	\$68.20	172330049	\$68.20
172324007	\$68.20	172330007	\$68.20	172330050	\$68.20
172324008	\$68.20	172330008	\$68.20	172330051	\$68.20
172324009	\$68.20	172330009	\$68.20	172330052	\$68.20
172324010	\$68.20	172330010	\$68.20	172330053	\$68.20
172324011	\$68.20	172330011	\$68.20	172330054	\$68.20
172325001	\$68.20	172330012	\$68.20	172330055	\$68.20
172325002	\$68.20	172330013	\$68.20	172330056	\$68.20
172325003	\$68.20	172330014	\$68.20	172331001	\$68.20
172325004	\$68.20	172330015	\$68.20	172331002	\$68.20
172325005	\$68.20	172330016	\$68.20	172331003	\$68.20
172325006	\$68.20	172330017	\$68.20	172331004	\$68.20
172325007	\$68.20	172330018	\$68.20	172331005	\$68.20
172325008	\$68.20	172330019	\$68.20	172331006	\$68.20
172325009	\$68.20	172330020	\$68.20	172331007	\$68.20
172325010	\$68.20	172330021	\$68.20	172331008	\$68.20
172325011	\$68.20	172330022	\$68.20	172340001	\$68.20



## Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172340002	\$68.20	172340045	\$68.20	172351024	\$68.20
172340003	\$68.20	172340046	\$68.20	172351025	\$68.20
172340004	\$68.20	172340047	\$68.20	172351026	\$68.20
172340005	\$68.20	172340048	\$68.20	172351027	\$68.20
172340006	\$68.20	172340049	\$68.20	172351028	\$68.20
172340007	\$68.20	172340050	\$68.20	172351029	\$68.20
172340008	\$68.20	172340051	\$68.20	172351030	\$68.20
172340009	\$68.20	172340052	\$68.20	172351031	\$68.20
172340010	\$68.20	172340053	\$68.20	172351032	\$68.20
172340011	\$68.20	172340054	\$68.20	172351033	\$68.20
172340012	\$68.20	172350001	\$68.20	172351034	\$68.20
172340013	\$68.20	172350002	\$68.20	172351035	\$68.20
172340014	\$68.20	172350003	\$68.20	172351036	\$68.20
172340015	\$68.20	172350004	\$68.20	172351037	\$68.20
172340016	\$68.20	172350005	\$68.20	172351038	\$68.20
172340017	\$68.20	172350006	\$68.20	172351039	\$68.20
172340018	\$68.20	172350007	\$68.20	172351040	\$68.20
172340019	\$68.20	172350008	\$68.20	172351041	\$68.20
172340020	\$68.20	172350009	\$68.20	172351042	\$68.20
172340021	\$68.20	172350011	\$68.20	172351043	\$68.20
172340022	\$68.20	172351001	\$68.20	172351044	\$68.20
172340023	\$68.20	172351002	\$68.20	172351045	\$68.20
172340024	\$68.20	172351003	\$68.20	172351046	\$68.20
172340025	\$68.20	172351004	\$68.20	172351047	\$68.20
172340026	\$68.20	172351005	\$68.20	172351048	\$68.20
172340027	\$68.20	172351006	\$68.20	172351049	\$68.20
172340028	\$68.20	172351007	\$68.20	172351050	\$68.20
172340029	\$68.20	172351008	\$68.20	172351051	\$68.20
172340030	\$68.20	172351009	\$68.20	172351052	\$68.20
172340031	\$68.20	172351010	\$68.20	172351053	\$68.20
172340032	\$68.20	172351011	\$68.20	172351054	\$68.20
172340033	\$68.20	172351012	\$68.20	172351055	\$68.20
172340034	\$68.20	172351013	\$68.20	172351056	\$68.20
172340035	\$68.20	172351014	\$68.20	172351057	\$68.20
172340036	\$68.20	172351015	\$68.20	172351058	\$68.20
172340037	\$68.20	172351016	\$68.20	172351059	\$68.20
172340038	\$68.20	172351017	\$68.20	172351060	\$68.20
172340039	\$68.20	172351018	\$68.20	172351061	\$68.20
172340040	\$68.20	172351019	\$68.20	172351062	\$68.20
172340041	\$68.20	172351020	\$68.20	172351063	\$68.20
172340042	\$68.20	172351021	\$68.20	172351064	\$68.20
172340043	\$68.20	172351022	\$68.20	172351065	\$68.20
172340044	\$68.20	172351023	\$68.20	172351066	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172351067	\$68.20	172362004	\$68.20	172362048	\$68.20
172351068	\$68.20	172362005	\$68.20	172362049	\$68.20
172351069	\$68.20	172362006	\$68.20	172362050	\$68.20
172351070	\$68.20	172362007	\$68.20	172362051	\$68.20
172351071	\$68.20	172362008	\$68.20	172362052	\$68.20
172351072	\$68.20	172362009	\$68.20	172362053	\$68.20
172351073	\$68.20	172362010	\$68.20	172362054	\$68.20
172352001	\$68.20	172362011	\$68.20	172362055	\$68.20
172352002	\$68.20	172362012	\$68.20	172362056	\$68.20
172352003	\$68.20	172362013	\$68.20	172362057	\$68.20
172352004	\$68.20	172362014	\$68.20	172362058	\$68.20
172352005	\$68.20	172362015	\$68.20	172362059	\$68.20
172352006	\$68.20	172362016	\$68.20	172362060	\$68.20
172352007	\$68.20	172362017	\$68.20	172362061	\$68.20
172352008	\$68.20	172362018	\$68.20	172362062	\$68.20
172352009	\$68.20	172362019	\$68.20	172362063	\$68.20
172352010	\$68.20	172362020	\$68.20	172362065	\$68.20
172352011	\$68.20	172362021	\$68.20	172362066	\$68.20
172352012	\$68.20	172362022	\$68.20	172362067	\$68.20
172352013	\$68.20	172362023	\$68.20	172362068	\$68.20
172352014	\$68.20	172362024	\$68.20	172362069	\$68.20
172352015	\$68.20	172362025	\$68.20	172362070	\$68.20
172352016	\$68.20	172362026	\$68.20	172362071	\$68.20
172352017	\$68.20	172362027	\$68.20	172362072	\$68.20
172352018	\$68.20	172362028	\$68.20	172362073	\$68.20
172352019	\$68.20	172362029	\$68.20	172362074	\$68.20
172352020	\$68.20	172362030	\$68.20	172362075	\$68.20
172352021	\$68.20	172362031	\$68.20	172362076	\$68.20
172361007	\$68.20	172362032	\$68.20	172362077	\$68.20
172361008	\$68.20	172362033	\$68.20	172362078	\$68.20
172361009	\$68.20	172362034	\$68.20	172362079	\$68.20
172361010	\$68.20	172362036	\$68.20	172362080	\$68.20
172361011	\$68.20	172362037	\$68.20	172362081	\$68.20
172361012	\$68.20	172362038	\$68.20	172362082	\$68.20
172361013	\$68.20	172362039	\$68.20	172362083	\$68.20
172361014	\$68.20	172362040	\$68.20	172362084	\$68.20
172361015	\$68.20	172362041	\$68.20	172362085	\$68.20
172361016	\$68.20	172362042	\$68.20	172362086	\$68.20
172361017	\$68.20	172362043	\$68.20	172362087	\$68.20
172361018	\$68.20	172362044	\$68.20	172362088	\$68.20
172362001	\$68.20	172362045	\$68.20	172362089	\$68.20
172362002	\$68.20	172362046	\$68.20	172362090	\$68.20
172362003	\$68.20	172362047	\$68.20	172363001	\$68.20

# Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172363002	\$68.20	172372020	\$68.20	172372068	\$68.20
172363003	\$68.20	172372021	\$68.20	172372069	\$68.20
172363004	\$68.20	172372022	\$68.20	172372070	\$68.20
172363005	\$68.20	172372023	\$68.20	172372071	\$68.20
172363006	\$68.20	172372024	\$68.20	172372072	\$68.20
172363007	\$68.20	172372025	\$68.20	172372074	\$68.20
172363008	\$68.20	172372026	\$68.20	172372075	\$68.20
172363009	\$68.20	172372027	\$68.20	172372076	\$68.20
172363010	\$68.20	172372028	\$68.20	172372077	\$68.20
172363011	\$68.20	172372029	\$68.20	172372078	\$68.20
172363012	\$68.20	172372031	\$68.20	172372079	\$68.20
172363013	\$68.20	172372032	\$68.20	172420002	\$1,507.44
172363014	\$68.20	172372033	\$68.20	172420003	\$306.94
172363015	\$68.20	172372034	\$68.20	172430001	\$68.20
172363016	\$68.20	172372035	\$68.20	172430002	\$68.20
172363017	\$68.20	172372036	\$68.20	172430003	\$68.20
172363018	\$68.20	172372037	\$68.20	172430004	\$68.20
172363019	\$68.20	172372038	\$68.20	172430005	\$68.20
172363020	\$68.20	172372039	\$68.20	172430006	\$68.20
172363021	\$68.20	172372040	\$68.20	172430007	\$68.20
172363022	\$68.20	172372041	\$68.20	172430008	\$68.20
172363023	\$68.20	172372042	\$68.20	172430009	\$68.20
172363024	\$68.20	172372043	\$68.20	172430010	\$68.20
172363025	\$68.20	172372044	\$68.20	172430011	\$68.20
172363026	\$68.20	172372046	\$68.20	172430012	\$68.20
172363027	\$68.20	172372047	\$68.20	172430013	\$68.20
172363028	\$68.20	172372048	\$68.20	172430014	\$68.20
172372001	\$68.20	172372049	\$68.20	172430015	\$68.20
172372002	\$68.20	172372050	\$68.20	172430016	\$68.20
172372003	\$68.20	172372051	\$68.20	172430017	\$68.20
172372004	\$68.20	172372053	\$68.20	172430018	\$68.20
172372005	\$68.20	172372054	\$68.20	172430019	\$68.20
172372007	\$68.20	172372056	\$68.20	172430020	\$68.20
172372008	\$68.20	172372057	\$68.20	172430021	\$68.20
172372009	\$68.20	172372058	\$68.20	172430022	\$68.20
172372011	\$68.20	172372059	\$68.20	172430023	\$68.20
172372012	\$68.20	172372060	\$68.20	172430024	\$68.20
172372013	\$68.20	172372061	\$68.20	172430025	\$68.20
172372014	\$68.20	172372063	\$68.20	172430026	\$68.20
172372015	\$68.20	172372064	\$68.20	172430027	\$68.20
172372016	\$68.20	172372065	\$68.20	172430028	\$68.20
172372017	\$68.20	172372066	\$68.20	172430029	\$68.20
172372019	\$68.20	172372067	\$68.20	172430030	\$68.20

## Assessment Roll

68-2286 - LMD 84-2 Zone 6

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172430031	\$68.20	172430033	\$68.20	172430035	\$68.20
172430032	\$68.20	172430034	\$68.20	172430036	\$68.20
Totals		Parcels	2,844	Levy	\$315,007.62

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110280037	\$2,112.00	110441048	\$55.00	110443016	\$55.00
110280038	\$2,640.00	110441049	\$55.00	110443017	\$55.00
110280040	\$5,610.00	110441050	\$55.00	110443018	\$55.00
110441001	\$55.00	110441051	\$55.00	110443019	\$55.00
110441002	\$55.00	110441052	\$55.00	110443020	\$55.00
110441003	\$55.00	110441053	\$55.00	110443021	\$55.00
110441004	\$55.00	110441054	\$55.00	110443022	\$55.00
110441005	\$55.00	110441055	\$55.00	110443023	\$55.00
110441006	\$55.00	110441056	\$55.00	110443024	\$55.00
110441007	\$55.00	110441057	\$55.00	110443025	\$55.00
110441008	\$55.00	110441058	\$55.00	110444001	\$55.00
110441009	\$55.00	110441059	\$55.00	110444002	\$55.00
110441010	\$55.00	110441060	\$55.00	110444003	\$55.00
110441011	\$55.00	110441061	\$55.00	110444004	\$55.00
110441012	\$55.00	110441062	\$55.00	110444005	\$55.00
110441013	\$55.00	110441063	\$55.00	110444006	\$55.00
110441014	\$55.00	110441064	\$55.00	110444007	\$55.00
110441015	\$55.00	110441065	\$55.00	110444008	\$55.00
110441016	\$55.00	110442001	\$55.00	110444009	\$55.00
110441017	\$55.00	110442002	\$55.00	110444010	\$55.00
110441018	\$55.00	110442003	\$55.00	110444011	\$55.00
110441019	\$55.00	110442004	\$55.00	110444012	\$55.00
110441020	\$55.00	110442005	\$55.00	110444013	\$55.00
110441021	\$55.00	110442006	\$55.00	110444014	\$55.00
110441022	\$55.00	110442008	\$55.00	110444015	\$55.00
110441023	\$55.00	110442009	\$55.00	110444016	\$55.00
110441024	\$55.00	110442010	\$55.00	110444017	\$55.00
110441025	\$55.00	110442011	\$55.00	110444018	\$55.00
110441026	\$55.00	110442012	\$55.00	110444019	\$55.00
110441032	\$55.00	110442013	\$55.00	110451001	\$55.00
110441033	\$55.00	110443001	\$55.00	110451002	\$55.00
110441034	\$55.00	110443002	\$55.00	110451003	\$55.00
110441035	\$55.00	110443003	\$55.00	110451004	\$55.00
110441036	\$55.00	110443004	\$55.00	110451005	\$55.00
110441037	\$55.00	110443005	\$55.00	110451006	\$55.00
110441038	\$55.00	110443006	\$55.00	110451007	\$55.00
110441039	\$55.00	110443007	\$55.00	110451008	\$55.00
110441040	\$55.00	110443008	\$55.00	110451009	\$55.00
110441041	\$55.00	110443009	\$55.00	110451010	\$55.00
110441042	\$55.00	110443010	\$55.00	110451011	\$55.00
110441045	\$55.00	110443013	\$55.00	110451012	\$55.00
110441046	\$55.00	110443014	\$55.00	110451013	\$55.00
110441047	\$55.00	110443015	\$55.00	110451014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110451015	\$55.00	110461006	\$55.00	110463006	\$55.00
110451016	\$55.00	110461007	\$55.00	110463007	\$55.00
110451017	\$55.00	110461008	\$55.00	110463008	\$55.00
110451018	\$55.00	110461009	\$55.00	110463009	\$55.00
110451019	\$55.00	110461010	\$55.00	110463010	\$55.00
110451020	\$55.00	110461011	\$55.00	110463011	\$55.00
110451021	\$55.00	110461012	\$55.00	110463012	\$55.00
110451022	\$55.00	110461013	\$55.00	110463013	\$55.00
110451023	\$55.00	110461014	\$55.00	110463014	\$55.00
110451024	\$55.00	110461015	\$55.00	110463015	\$55.00
110451025	\$55.00	110461016	\$55.00	110463016	\$55.00
110452001	\$55.00	110461017	\$55.00	110463017	\$55.00
110452002	\$55.00	110461018	\$55.00	110463018	\$55.00
110452003	\$55.00	110461019	\$55.00	110463019	\$55.00
110452004	\$55.00	110461020	\$55.00	110463020	\$55.00
110452005	\$55.00	110461021	\$55.00	110470001	\$10,296.00
110452006	\$55.00	110461022	\$55.00	110481001	\$55.00
110452007	\$55.00	110461023	\$55.00	110481002	\$55.00
110452008	\$55.00	110461024	\$55.00	110481003	\$55.00
110453001	\$55.00	110461025	\$55.00	110481004	\$55.00
110453002	\$55.00	110461026	\$55.00	110481005	\$55.00
110453003	\$55.00	110461027	\$55.00	110481006	\$55.00
110453004	\$55.00	110461028	\$55.00	110481007	\$55.00
110453005	\$55.00	110461029	\$55.00	110481008	\$55.00
110453006	\$55.00	110461030	\$55.00	110481009	\$55.00
110453007	\$55.00	110461031	\$55.00	110481010	\$55.00
110453008	\$55.00	110461032	\$55.00	110481011	\$55.00
110453009	\$55.00	110461033	\$55.00	110481012	\$55.00
110453010	\$55.00	110461034	\$55.00	110481013	\$55.00
110453011	\$55.00	110461035	\$55.00	110481014	\$55.00
110453012	\$55.00	110461036	\$55.00	110481015	\$55.00
110453013	\$55.00	110461037	\$55.00	110481016	\$55.00
110453014	\$55.00	110461038	\$55.00	110481017	\$55.00
110453015	\$55.00	110462001	\$55.00	110481018	\$55.00
110454001	\$55.00	110462002	\$55.00	110481019	\$55.00
110454002	\$55.00	110462003	\$55.00	110481020	\$55.00
110454003	\$55.00	110462004	\$55.00	110481021	\$55.00
110454004	\$55.00	110462005	\$55.00	110481022	\$55.00
110461001	\$55.00	110463001	\$55.00	110481023	\$55.00
110461002	\$55.00	110463002	\$55.00	110481024	\$55.00
110461003	\$55.00	110463003	\$55.00	110481025	\$55.00
110461004	\$55.00	110463004	\$55.00	110481026	\$55.00
110461005	\$55.00	110463005	\$55.00	110481027	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110482001	\$55.00	110483016	\$55.00	110491027	\$55.00
110482002	\$55.00	110483017	\$55.00	110491028	\$55.00
110482003	\$55.00	110483018	\$55.00	110491029	\$55.00
110482004	\$55.00	110483019	\$55.00	110491030	\$55.00
110482005	\$55.00	110483020	\$55.00	110491031	\$55.00
110482006	\$55.00	110483021	\$55.00	110491032	\$55.00
110482007	\$55.00	110483022	\$55.00	110491033	\$55.00
110482008	\$55.00	110483023	\$55.00	110491034	\$55.00
110482009	\$55.00	110483024	\$55.00	110491035	\$55.00
110482010	\$55.00	110483025	\$55.00	110491036	\$55.00
110482011	\$55.00	110483026	\$55.00	110492001	\$55.00
110482012	\$55.00	110483027	\$55.00	110492002	\$55.00
110482013	\$55.00	110483028	\$55.00	110492003	\$55.00
110482014	\$55.00	110483029	\$55.00	110492004	\$55.00
110482015	\$55.00	110483030	\$55.00	110492005	\$55.00
110482016	\$55.00	110483031	\$55.00	110492006	\$55.00
110482017	\$55.00	110483032	\$55.00	110492007	\$55.00
110482018	\$55.00	110491001	\$55.00	110492008	\$55.00
110482019	\$55.00	110491002	\$55.00	110492009	\$55.00
110482020	\$55.00	110491003	\$55.00	110492010	\$55.00
110482021	\$55.00	110491004	\$55.00	110492011	\$55.00
110482022	\$55.00	110491005	\$55.00	110492012	\$55.00
110482023	\$55.00	110491006	\$55.00	110492013	\$55.00
110482024	\$55.00	110491007	\$55.00	110492014	\$55.00
110482025	\$55.00	110491008	\$55.00	110492015	\$55.00
110482026	\$55.00	110491009	\$55.00	110492016	\$55.00
110482027	\$55.00	110491010	\$55.00	110493001	\$55.00
110482028	\$55.00	110491011	\$55.00	110493002	\$55.00
110483001	\$55.00	110491012	\$55.00	110493003	\$55.00
110483002	\$55.00	110491013	\$55.00	110493004	\$55.00
110483003	\$55.00	110491014	\$55.00	110493005	\$55.00
110483004	\$55.00	110491015	\$55.00	110493006	\$55.00
110483005	\$55.00	110491016	\$55.00	110493007	\$55.00
110483006	\$55.00	110491017	\$55.00	110493008	\$55.00
110483007	\$55.00	110491018	\$55.00	110493009	\$55.00
110483008	\$55.00	110491019	\$55.00	110493010	\$55.00
110483009	\$55.00	110491020	\$55.00	110493011	\$55.00
110483010	\$55.00	110491021	\$55.00	110493012	\$55.00
110483011	\$55.00	110491022	\$55.00	110493013	\$55.00
110483012	\$55.00	110491023	\$55.00	110493014	\$55.00
110483013	\$55.00	110491024	\$55.00	110493015	\$55.00
110483014	\$55.00	110491025	\$55.00	110493016	\$55.00
110483015	\$55.00	110491026	\$55.00	110494001	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
110494002	\$55.00	110502001	\$55.00	110505002	\$55.00
110494003	\$55.00	110502002	\$55.00	110505003	\$55.00
110494004	\$55.00	110502003	\$55.00	110505004	\$55.00
110494005	\$55.00	110502004	\$55.00	110505005	\$55.00
110494006	\$55.00	110502005	\$55.00	110505006	\$55.00
110494007	\$55.00	110502006	\$55.00	110505007	\$55.00
110494008	\$55.00	110502007	\$55.00	110505008	\$55.00
110494009	\$55.00	110502008	\$55.00	110505009	\$55.00
110494010	\$55.00	110502009	\$55.00	110505010	\$55.00
110494011	\$55.00	110502010	\$55.00	110505011	\$55.00
110494012	\$55.00	110502011	\$55.00	112151001	\$55.00
110494013	\$55.00	110502012	\$55.00	112151002	\$55.00
110494014	\$55.00	110502013	\$55.00	112151003	\$55.00
110494015	\$55.00	110502014	\$55.00	112151004	\$55.00
110494016	\$55.00	110502015	\$55.00	112151005	\$55.00
110494017	\$55.00	110502016	\$55.00	112151006	\$55.00
110494018	\$55.00	110502017	\$55.00	112151007	\$55.00
110494019	\$55.00	110502018	\$55.00	112151008	\$55.00
110494020	\$55.00	110502019	\$55.00	112152001	\$55.00
110495001	\$55.00	110502020	\$55.00	112152002	\$55.00
110495002	\$55.00	110502021	\$55.00	112152003	\$55.00
110495003	\$55.00	110502022	\$55.00	112152004	\$55.00
110495004	\$55.00	110502023	\$55.00	112152005	\$55.00
110495005	\$55.00	110503001	\$55.00	112152006	\$55.00
110495006	\$55.00	110503002	\$55.00	112152007	\$55.00
110495007	\$55.00	110503003	\$55.00	112152008	\$55.00
110495008	\$55.00	110503004	\$55.00	112152009	\$55.00
110495009	\$55.00	110503005	\$55.00	112152010	\$55.00
110495010	\$55.00	110503006	\$55.00	112153001	\$55.00
110495011	\$55.00	110503007	\$55.00	112153002	\$55.00
110495012	\$55.00	110504001	\$55.00	112153003	\$55.00
110495013	\$55.00	110504002	\$55.00	112153004	\$55.00
110501001	\$55.00	110504003	\$55.00	112153005	\$55.00
110501002	\$55.00	110504004	\$55.00	112153006	\$55.00
110501003	\$55.00	110504005	\$55.00	112153007	\$55.00
110501004	\$55.00	110504006	\$55.00	112153008	\$55.00
110501005	\$55.00	110504007	\$55.00	112154001	\$55.00
110501006	\$55.00	110504008	\$55.00	112154002	\$55.00
110501007	\$55.00	110504009	\$55.00	112154003	\$55.00
110501008	\$55.00	110504010	\$55.00	112154004	\$55.00
110501009	\$55.00	110504011	\$55.00	112154005	\$55.00
110501010	\$55.00	110504012	\$55.00	112154006	\$55.00
110501011	\$55.00	110505001	\$55.00	112154007	\$55.00



# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112154008	\$55.00	112163010	\$55.00	112172013	\$55.00
112161003	\$55.00	112163011	\$55.00	112172014	\$55.00
112161004	\$55.00	112163012	\$55.00	112172015	\$55.00
112161005	\$55.00	112163013	\$55.00	112172017	\$55.00
112161006	\$55.00	112163014	\$55.00	112172018	\$55.00
112161007	\$55.00	112163015	\$55.00	112172019	\$55.00
112161008	\$55.00	112163016	\$55.00	112172020	\$55.00
112161009	\$55.00	112164001	\$55.00	112172021	\$55.00
112161010	\$55.00	112164002	\$55.00	112172022	\$55.00
112161011	\$55.00	112164003	\$55.00	112172023	\$55.00
112161012	\$55.00	112164004	\$55.00	112172024	\$55.00
112161013	\$55.00	112165001	\$55.00	112172026	\$55.00
112161014	\$55.00	112165002	\$55.00	112172027	\$55.00
112161015	\$55.00	112171001	\$55.00	112172028	\$55.00
112161016	\$55.00	112171002	\$55.00	112181001	\$55.00
112161017	\$55.00	112171003	\$55.00	112181002	\$55.00
112161018	\$55.00	112171004	\$55.00	112181003	\$55.00
112161019	\$55.00	112171005	\$55.00	112181004	\$55.00
112162001	\$55.00	112171006	\$55.00	112181005	\$55.00
112162002	\$55.00	112171007	\$55.00	112181006	\$55.00
112162003	\$55.00	112171008	\$55.00	112181007	\$55.00
112162004	\$55.00	112171009	\$55.00	112181008	\$55.00
112162005	\$55.00	112171010	\$55.00	112181009	\$55.00
112162006	\$55.00	112171011	\$55.00	112181010	\$55.00
112162007	\$55.00	112171012	\$55.00	112181011	\$55.00
112162008	\$55.00	112171013	\$55.00	112181012	\$55.00
112162009	\$55.00	112171014	\$55.00	112181013	\$55.00
112162010	\$55.00	112171015	\$55.00	112181014	\$55.00
112162011	\$55.00	112171016	\$55.00	112181015	\$55.00
112162012	\$55.00	112171017	\$55.00	112182001	\$55.00
112162013	\$55.00	112171018	\$55.00	112182002	\$55.00
112162014	\$55.00	112172001	\$55.00	112182003	\$55.00
112162015	\$55.00	112172002	\$55.00	112182004	\$55.00
112162016	\$55.00	112172003	\$55.00	112182005	\$55.00
112163001	\$55.00	112172004	\$55.00	112182006	\$55.00
112163002	\$55.00	112172005	\$55.00	112182007	\$55.00
112163003	\$55.00	112172006	\$55.00	112182008	\$55.00
112163004	\$55.00	112172007	\$55.00	112182009	\$55.00
112163005	\$55.00	112172008	\$55.00	112182010	\$55.00
112163006	\$55.00	112172009	\$55.00	112182011	\$55.00
112163007	\$55.00	112172010	\$55.00	112182012	\$55.00
112163008	\$55.00	112172011	\$55.00	112182013	\$55.00
112163009	\$55.00	112172012	\$55.00	112182014	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112182015	\$55.00	112192010	\$55.00	112193025	\$55.00
112182016	\$55.00	112192011	\$55.00	112201001	\$55.00
112182017	\$55.00	112192012	\$55.00	112201002	\$55.00
112182018	\$55.00	112192013	\$55.00	112201003	\$55.00
112182019	\$55.00	112192014	\$55.00	112201004	\$55.00
112182020	\$55.00	112192015	\$55.00	112201005	\$55.00
112182021	\$55.00	112192016	\$55.00	112201006	\$55.00
112182022	\$55.00	112192017	\$55.00	112201007	\$55.00
112182023	\$55.00	112192018	\$55.00	112201008	\$55.00
112182024	\$55.00	112192019	\$55.00	112201009	\$55.00
112182025	\$55.00	112192020	\$55.00	112202001	\$55.00
112182026	\$55.00	112192021	\$55.00	112202002	\$55.00
112182027	\$55.00	112192022	\$55.00	112211003	\$55.00
112182028	\$55.00	112192023	\$55.00	112211004	\$55.00
112182029	\$55.00	112192024	\$55.00	112211005	\$55.00
112182030	\$55.00	112192025	\$55.00	112211006	\$55.00
112182031	\$55.00	112192026	\$55.00	112211007	\$55.00
112182032	\$55.00	112192027	\$55.00	112211009	\$55.00
112182033	\$55.00	112192028	\$55.00	112211010	\$55.00
112182034	\$55.00	112193001	\$55.00	112211011	\$55.00
112191001	\$55.00	112193002	\$55.00	112211012	\$55.00
112191002	\$55.00	112193003	\$55.00	112211013	\$55.00
112191003	\$55.00	112193004	\$55.00	112211014	\$55.00
112191004	\$55.00	112193005	\$55.00	112211015	\$55.00
112191005	\$55.00	112193006	\$55.00	112211016	\$55.00
112191006	\$55.00	112193007	\$55.00	112211017	\$55.00
112191007	\$55.00	112193008	\$55.00	112211018	\$55.00
112191008	\$55.00	112193009	\$55.00	112211019	\$55.00
112191009	\$55.00	112193010	\$55.00	112211020	\$55.00
112191010	\$55.00	112193011	\$55.00	112211022	\$55.00
112191011	\$55.00	112193012	\$55.00	112211023	\$55.00
112191012	\$55.00	112193013	\$55.00	112212001	\$55.00
112191013	\$55.00	112193014	\$55.00	112212002	\$55.00
112191014	\$55.00	112193015	\$55.00	112212005	\$55.00
112191015	\$55.00	112193016	\$55.00	112212007	\$55.00
112192001	\$55.00	112193017	\$55.00	112212008	\$55.00
112192002	\$55.00	112193018	\$55.00	112212009	\$55.00
112192003	\$55.00	112193019	\$55.00	112212010	\$55.00
112192005	\$55.00	112193020	\$55.00	112212011	\$55.00
112192006	\$55.00	112193021	\$55.00	112212012	\$55.00
112192007	\$55.00	112193022	\$55.00	112212013	\$55.00
112192008	\$55.00	112193023	\$55.00	112212014	\$55.00
112192009	\$55.00	112193024	\$55.00	112212015	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112212016	\$55.00	112231032	\$55.00	112241004	\$55.00
112212017	\$55.00	112231033	\$55.00	112241005	\$55.00
112212018	\$55.00	112231034	\$55.00	112241006	\$55.00
112212019	\$55.00	112231035	\$55.00	112241007	\$55.00
112212020	\$55.00	112231036	\$55.00	112241008	\$55.00
112212021	\$55.00	112231037	\$55.00	112241010	\$55.00
112212022	\$55.00	112231038	\$55.00	112242002	\$55.00
112212025	\$55.00	112231039	\$55.00	112242003	\$55.00
112212026	\$55.00	112231040	\$55.00	112242004	\$55.00
112212027	\$55.00	112231041	\$55.00	112242005	\$55.00
112213001	\$55.00	112231042	\$55.00	112242006	\$55.00
112213003	\$55.00	112231043	\$55.00	112242007	\$55.00
112231001	\$55.00	112231044	\$55.00	112242008	\$55.00
112231002	\$55.00	112231045	\$55.00	112242009	\$55.00
112231003	\$55.00	112231046	\$55.00	112242010	\$55.00
112231004	\$55.00	112231047	\$55.00	112242011	\$55.00
112231005	\$55.00	112232001	\$55.00	112242012	\$55.00
112231006	\$55.00	112232002	\$55.00	112242013	\$55.00
112231007	\$55.00	112232003	\$55.00	112242014	\$55.00
112231008	\$55.00	112232004	\$55.00	112242015	\$55.00
112231009	\$55.00	112232005	\$55.00	112242016	\$55.00
112231010	\$55.00	112233001	\$55.00	112242017	\$55.00
112231011	\$55.00	112233002	\$55.00	112242018	\$55.00
112231012	\$55.00	112233003	\$55.00	112242019	\$55.00
112231013	\$55.00	112233004	\$55.00	112242023	\$55.00
112231014	\$55.00	112233005	\$55.00	112251001	\$55.00
112231015	\$55.00	112233006	\$55.00	112251002	\$55.00
112231016	\$55.00	112233007	\$55.00	112251003	\$55.00
112231017	\$55.00	112233008	\$55.00	112251004	\$55.00
112231018	\$55.00	112234001	\$55.00	112251005	\$55.00
112231019	\$55.00	112234002	\$55.00	112251006	\$55.00
112231020	\$55.00	112234003	\$55.00	112251007	\$55.00
112231021	\$55.00	112234004	\$55.00	112251008	\$55.00
112231022	\$55.00	112234005	\$55.00	112251009	\$55.00
112231023	\$55.00	112234006	\$55.00	112251010	\$55.00
112231024	\$55.00	112234007	\$55.00	112251011	\$55.00
112231025	\$55.00	112234008	\$55.00	112251012	\$55.00
112231026	\$55.00	112234009	\$55.00	112251013	\$55.00
112231027	\$55.00	112235001	\$55.00	112251014	\$55.00
112231028	\$55.00	112235002	\$55.00	112251015	\$55.00
112231029	\$55.00	112241001	\$55.00	112251016	\$55.00
112231030	\$55.00	112241002	\$55.00	112252001	\$55.00
112231031	\$55.00	112241003	\$55.00	112252002	\$55.00

# Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112252003	\$55.00	112253030	\$55.00	112272002	\$55.00
112252004	\$55.00	112253031	\$55.00	112272003	\$55.00
112252005	\$55.00	112253032	\$55.00	112272004	\$55.00
112252006	\$55.00	112253033	\$55.00	112272005	\$55.00
112252007	\$55.00	112254001	\$55.00	112272006	\$55.00
112252008	\$55.00	112254002	\$55.00	112273001	\$55.00
112252009	\$55.00	112254003	\$55.00	112273002	\$55.00
112252010	\$55.00	112254004	\$55.00	112273003	\$55.00
112252011	\$55.00	112254005	\$55.00	112273004	\$55.00
112252012	\$55.00	112254006	\$55.00	112273005	\$55.00
112252013	\$55.00	112254007	\$55.00	112273006	\$55.00
112252014	\$55.00	112254008	\$55.00	112273007	\$55.00
112252015	\$55.00	112254009	\$55.00	112273008	\$55.00
112252016	\$55.00	112254010	\$55.00	112273009	\$55.00
112253001	\$55.00	112254011	\$55.00	112273010	\$55.00
112253002	\$55.00	112254012	\$55.00	112273011	\$55.00
112253003	\$55.00	112254013	\$55.00	112273012	\$55.00
112253004	\$55.00	112254014	\$55.00	112273013	\$55.00
112253005	\$55.00	112255001	\$55.00	112273014	\$55.00
112253006	\$55.00	112255002	\$55.00	112273015	\$55.00
112253007	\$55.00	112271001	\$55.00	112273016	\$55.00
112253008	\$55.00	112271002	\$55.00	112273017	\$55.00
112253009	\$55.00	112271003	\$55.00	112273018	\$55.00
112253010	\$55.00	112271004	\$55.00	112273019	\$55.00
112253011	\$55.00	112271005	\$55.00	112273020	\$55.00
112253012	\$55.00	112271006	\$55.00	112273021	\$55.00
112253013	\$55.00	112271007	\$55.00	112273022	\$55.00
112253014	\$55.00	112271008	\$55.00	112273023	\$55.00
112253015	\$55.00	112271009	\$55.00	112273024	\$55.00
112253016	\$55.00	112271010	\$55.00	112273025	\$55.00
112253017	\$55.00	112271011	\$55.00	112273026	\$55.00
112253018	\$55.00	112271012	\$55.00	112273027	\$55.00
112253019	\$55.00	112271013	\$55.00	112273028	\$55.00
112253020	\$55.00	112271015	\$55.00	112273029	\$55.00
112253021	\$55.00	112271016	\$55.00	112273030	\$55.00
112253022	\$55.00	112271017	\$55.00	112273031	\$55.00
112253023	\$55.00	112271018	\$55.00	112274001	\$55.00
112253024	\$55.00	112271019	\$55.00	112274002	\$55.00
112253025	\$55.00	112271020	\$55.00	112274003	\$55.00
112253026	\$55.00	112271021	\$55.00	112274004	\$55.00
112253027	\$55.00	112271022	\$55.00	112274005	\$55.00
112253028	\$55.00	112271023	\$55.00	112274006	\$55.00
112253029	\$55.00	112272001	\$55.00	112274007	\$55.00

## Assessment Roll

68-2287 - LMD 84-2 Zone 7

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112274008	\$55.00	112274018	\$55.00	112274028	\$55.00
112274009	\$55.00	112274019	\$55.00	112274029	\$55.00
112274010	\$55.00	112274020	\$55.00	112274030	\$55.00
112274011	\$55.00	112274021	\$55.00	112274031	\$55.00
112274012	\$55.00	112274022	\$55.00	112341020	\$55.00
112274013	\$55.00	112274023	\$55.00	112341021	\$55.00
112274014	\$55.00	112274024	\$55.00	112341022	\$55.00
112274015	\$55.00	112274025	\$55.00	112341023	\$55.00
112274016	\$55.00	112274026	\$55.00	112341024	\$55.00
112274017	\$55.00	112274027	\$55.00		
<b>Totals</b>		<b>Parcels 1,061</b>		<b>Levy \$78,793.00</b>	

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101301001	\$623.70	101306012	\$623.70	101312006	\$623.70
101301002	\$623.70	101306013	\$623.70	101312007	\$623.70
101301003	\$623.70	101306014	\$623.70	101312008	\$623.70
101301004	\$623.70	101306015	\$623.70	101312009	\$623.70
101301005	\$623.70	101306016	\$623.70	101312010	\$623.70
101301006	\$623.70	101306017	\$623.70	101312011	\$623.70
101301007	\$623.70	101306018	\$623.70	101312012	\$623.70
101302001	\$623.70	101306019	\$623.70	101312013	\$623.70
101302002	\$623.70	101306020	\$623.70	101312014	\$623.70
101302003	\$623.70	101306021	\$623.70	101312015	\$623.70
101302004	\$623.70	101306022	\$623.70	101312016	\$623.70
101302005	\$623.70	101307001	\$623.70	101313001	\$623.70
101302006	\$623.70	101307002	\$623.70	101313002	\$623.70
101302007	\$623.70	101307003	\$623.70	101313003	\$623.70
101303001	\$623.70	101307004	\$623.70	101313004	\$623.70
101303002	\$623.70	101307005	\$623.70	101313005	\$623.70
101303003	\$623.70	101307006	\$623.70	101313006	\$623.70
101303004	\$623.70	101310001	\$623.70	101313007	\$623.70
101303005	\$623.70	101310002	\$623.70	101313008	\$623.70
101303006	\$623.70	101310003	\$623.70	101313009	\$623.70
101303007	\$623.70	101310004	\$623.70	101313010	\$623.70
101303008	\$623.70	101310005	\$623.70	101313011	\$623.70
101304001	\$623.70	101310006	\$623.70	101313012	\$623.70
101304002	\$623.70	101310007	\$623.70	101313013	\$623.70
101304003	\$623.70	101310008	\$623.70	101313014	\$623.70
101304004	\$623.70	101310009	\$623.70	101313015	\$623.70
101304005	\$623.70	101310010	\$623.70	101313016	\$623.70
101304006	\$623.70	101310011	\$623.70	101313017	\$623.70
101304007	\$623.70	101310012	\$623.70	101313018	\$623.70
101305001	\$623.70	101310013	\$623.70	101320001	\$623.70
101305002	\$623.70	101310014	\$623.70	101320002	\$623.70
101305003	\$623.70	101310015	\$623.70	101320003	\$623.70
101306001	\$623.70	101310016	\$623.70	101320004	\$623.70
101306002	\$623.70	101310017	\$623.70	101320005	\$623.70
101306003	\$623.70	101310018	\$623.70	101320006	\$623.70
101306004	\$623.70	101310019	\$623.70	101320007	\$623.70
101306005	\$623.70	101310020	\$623.70	101320008	\$623.70
101306006	\$623.70	101310021	\$623.70	101320009	\$623.70
101306007	\$623.70	101312001	\$623.70	101320010	\$623.70
101306008	\$623.70	101312002	\$623.70	101320011	\$623.70
101306009	\$623.70	101312003	\$623.70	101320012	\$623.70
101306010	\$623.70	101312004	\$623.70	101320013	\$623.70
101306011	\$623.70	101312005	\$623.70	101320014	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101320015	\$623.70	101332023	\$623.70	101342017	\$623.70
101320016	\$623.70	101333001	\$623.70	101342018	\$623.70
101320017	\$623.70	101333002	\$623.70	101343001	\$623.70
101320018	\$623.70	101333003	\$623.70	101343002	\$623.70
101331001	\$623.70	101333004	\$623.70	101343003	\$623.70
101331002	\$623.70	101333005	\$623.70	101343004	\$623.70
101331003	\$623.70	101333006	\$623.70	101343005	\$623.70
101331004	\$623.70	101333007	\$623.70	101343006	\$623.70
101331005	\$623.70	101333008	\$623.70	101343007	\$623.70
101331006	\$623.70	101333009	\$623.70	101343008	\$623.70
101331007	\$623.70	101334001	\$623.70	101343009	\$623.70
101331008	\$623.70	101334002	\$623.70	101344001	\$623.70
101331009	\$623.70	101334003	\$623.70	101344002	\$623.70
101331010	\$623.70	101341001	\$623.70	101344003	\$623.70
101331011	\$623.70	101341002	\$623.70	101344004	\$623.70
101331012	\$623.70	101341003	\$623.70	101344005	\$623.70
101331013	\$623.70	101341004	\$623.70	101344006	\$623.70
101331014	\$623.70	101341005	\$623.70	101344007	\$623.70
101331015	\$623.70	101341006	\$623.70	101344008	\$623.70
101331016	\$623.70	101341007	\$623.70	101344009	\$623.70
101331017	\$623.70	101341008	\$623.70	101344010	\$623.70
101332001	\$623.70	101341009	\$623.70	101344011	\$623.70
101332002	\$623.70	101341010	\$623.70	101344012	\$623.70
101332003	\$623.70	101341011	\$623.70	101344013	\$623.70
101332004	\$623.70	101341012	\$623.70	101344014	\$623.70
101332005	\$623.70	101341013	\$623.70	101344015	\$623.70
101332006	\$623.70	101341014	\$623.70	101344016	\$623.70
101332007	\$623.70	101342001	\$623.70	101344017	\$623.70
101332008	\$623.70	101342002	\$623.70	101344018	\$623.70
101332009	\$623.70	101342003	\$623.70	101380001	\$623.70
101332010	\$623.70	101342004	\$623.70	101380002	\$623.70
101332011	\$623.70	101342005	\$623.70	101380003	\$623.70
101332012	\$623.70	101342006	\$623.70	101380004	\$623.70
101332013	\$623.70	101342007	\$623.70	101380005	\$623.70
101332014	\$623.70	101342008	\$623.70	101380006	\$623.70
101332015	\$623.70	101342009	\$623.70	101380007	\$623.70
101332016	\$623.70	101342010	\$623.70	101380008	\$623.70
101332017	\$623.70	101342011	\$623.70	101380013	\$623.70
101332018	\$623.70	101342012	\$623.70	101380014	\$623.70
101332019	\$623.70	101342013	\$623.70	101380015	\$623.70
101332020	\$623.70	101342014	\$623.70	101380016	\$623.70
101332021	\$623.70	101342015	\$623.70	101380017	\$623.70
101332022	\$623.70	101342016	\$623.70	101391001	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
101391002	\$623.70	102361013	\$623.70	102361057	\$623.70
101391003	\$623.70	102361014	\$623.70	102361058	\$623.70
101391004	\$623.70	102361015	\$623.70	102361059	\$623.70
101391005	\$623.70	102361016	\$623.70	102361060	\$623.70
101391006	\$623.70	102361017	\$623.70	102361061	\$623.70
101391007	\$623.70	102361018	\$623.70	102361062	\$623.70
101391008	\$623.70	102361019	\$623.70	102361063	\$623.70
101391009	\$623.70	102361020	\$623.70	102361064	\$623.70
101391010	\$623.70	102361021	\$623.70	102361065	\$623.70
101391011	\$623.70	102361022	\$623.70	102361066	\$623.70
101392001	\$623.70	102361023	\$623.70	102361067	\$623.70
101392002	\$623.70	102361024	\$623.70	102361068	\$623.70
101392003	\$623.70	102361025	\$623.70	102361069	\$623.70
101392004	\$623.70	102361026	\$623.70	102361070	\$623.70
101392005	\$623.70	102361027	\$623.70	102361071	\$623.70
101440001	\$1,247.42	102361028	\$623.70	102361072	\$623.70
101440002	\$1,247.42	102361029	\$623.70	102361073	\$623.70
101440003	\$1,247.42	102361030	\$623.70	102361074	\$623.70
101440004	\$1,247.42	102361031	\$623.70	102361075	\$623.70
101440005	\$1,247.42	102361032	\$623.70	102361076	\$623.70
101440006	\$1,247.42	102361033	\$623.70	102361077	\$623.70
101440007	\$1,247.42	102361034	\$623.70	102361078	\$623.70
101440008	\$1,247.42	102361035	\$623.70	102361079	\$623.70
101440009	\$1,247.42	102361036	\$623.70	102361080	\$623.70
101440010	\$1,247.42	102361038	\$623.70	102361081	\$623.70
101440011	\$1,247.42	102361039	\$623.70	102361083	\$623.70
101440013	\$2,494.84	102361040	\$623.70	102361084	\$623.70
101440014	\$2,650.76	102361041	\$623.70	102361085	\$623.70
101440018	\$1,247.42	102361042	\$623.70	102361086	\$623.70
101440019	\$1,216.22	102361043	\$623.70	102361087	\$623.70
101440020	\$15,468.00	102361044	\$623.70	102361088	\$623.70
102361001	\$623.70	102361045	\$623.70	102361089	\$623.70
102361002	\$623.70	102361046	\$623.70	102361090	\$623.70
102361003	\$623.70	102361047	\$623.70	102362001	\$623.70
102361004	\$623.70	102361048	\$623.70	102362002	\$623.70
102361005	\$623.70	102361049	\$623.70	102362003	\$623.70
102361006	\$623.70	102361050	\$623.70	102362004	\$623.70
102361007	\$623.70	102361051	\$623.70	102362005	\$623.70
102361008	\$623.70	102361052	\$623.70	102362006	\$623.70
102361009	\$623.70	102361053	\$623.70	102362007	\$623.70
102361010	\$623.70	102361054	\$623.70	102362008	\$623.70
102361011	\$623.70	102361055	\$623.70	102362009	\$623.70
102361012	\$623.70	102361056	\$623.70	102362010	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102362011	\$623.70	102391001	\$623.70	102391044	\$623.70
102362012	\$623.70	102391002	\$623.70	102391045	\$623.70
102362013	\$623.70	102391003	\$623.70	102391046	\$623.70
102362014	\$623.70	102391004	\$623.70	102391047	\$623.70
102362015	\$623.70	102391005	\$623.70	102391048	\$623.70
102362016	\$623.70	102391006	\$623.70	102391049	\$623.70
102362017	\$623.70	102391007	\$623.70	102391050	\$623.70
102362018	\$623.70	102391008	\$623.70	102391051	\$623.70
102362019	\$623.70	102391009	\$623.70	102391052	\$623.70
102362020	\$623.70	102391010	\$623.70	102391053	\$623.70
102362021	\$623.70	102391011	\$623.70	102391054	\$623.70
102362022	\$623.70	102391012	\$623.70	102391055	\$623.70
102362023	\$623.70	102391013	\$623.70	102391056	\$623.70
102362024	\$623.70	102391014	\$623.70	102391057	\$623.70
102362026	\$623.70	102391015	\$623.70	102391058	\$623.70
102362027	\$623.70	102391016	\$623.70	102391059	\$623.70
102362028	\$623.70	102391017	\$623.70	102391060	\$623.70
102362029	\$623.70	102391018	\$623.70	102391061	\$623.70
102362030	\$623.70	102391019	\$623.70	102391062	\$623.70
102362031	\$623.70	102391020	\$623.70	102391063	\$623.70
102362032	\$623.70	102391021	\$623.70	102391064	\$623.70
102362033	\$623.70	102391022	\$623.70	102391065	\$623.70
102380020	\$112,267.80	102391023	\$623.70	102391066	\$623.70
102380051	\$34,304.04	102391024	\$623.70	102391067	\$623.70
102381001	\$623.70	102391025	\$623.70	102391068	\$623.70
102381002	\$623.70	102391026	\$623.70	102391069	\$623.70
102381003	\$623.70	102391027	\$623.70	102391070	\$623.70
102381004	\$623.70	102391028	\$623.70	102391071	\$623.70
102381005	\$623.70	102391029	\$623.70	102391072	\$623.70
102381006	\$623.70	102391030	\$623.70	102392001	\$623.70
102381007	\$623.70	102391031	\$623.70	102392002	\$623.70
102381008	\$623.70	102391032	\$623.70	102392003	\$623.70
102381009	\$623.70	102391033	\$623.70	102392004	\$623.70
102381010	\$623.70	102391034	\$623.70	102392005	\$623.70
102381011	\$623.70	102391035	\$623.70	102392006	\$623.70
102381012	\$623.70	102391036	\$623.70	102392007	\$623.70
102381013	\$623.70	102391037	\$623.70	102392008	\$623.70
102381014	\$623.70	102391038	\$623.70	102392009	\$623.70
102381015	\$623.70	102391039	\$623.70	102392010	\$623.70
102381016	\$623.70	102391040	\$623.70	102392011	\$623.70
102381017	\$623.70	102391041	\$623.70	102392012	\$623.70
102381018	\$623.70	102391042	\$623.70	102392013	\$623.70
102381019	\$623.70	102391043	\$623.70	102392014	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102392015	\$623.70	102392058	\$623.70	102393039	\$623.70
102392016	\$623.70	102392059	\$623.70	102393040	\$623.70
102392017	\$623.70	102392060	\$623.70	102393041	\$623.70
102392018	\$623.70	102392061	\$623.70	102393042	\$623.70
102392019	\$623.70	102392062	\$623.70	102393043	\$623.70
102392020	\$623.70	102393001	\$623.70	102393044	\$623.70
102392021	\$623.70	102393002	\$623.70	102393045	\$623.70
102392022	\$623.70	102393003	\$623.70	102393046	\$623.70
102392023	\$623.70	102393004	\$623.70	102393047	\$623.70
102392024	\$623.70	102393005	\$623.70	102393048	\$623.70
102392025	\$623.70	102393006	\$623.70	102393049	\$623.70
102392026	\$623.70	102393007	\$623.70	102393050	\$623.70
102392027	\$623.70	102393008	\$623.70	102393051	\$623.70
102392028	\$623.70	102393009	\$623.70	102393052	\$623.70
102392029	\$623.70	102393010	\$623.70	102393053	\$623.70
102392030	\$623.70	102393011	\$623.70	102393054	\$623.70
102392031	\$623.70	102393012	\$623.70	102393055	\$623.70
102392032	\$623.70	102393013	\$623.70	102393056	\$623.70
102392033	\$623.70	102393014	\$623.70	102393057	\$623.70
102392034	\$623.70	102393015	\$623.70	102393058	\$623.70
102392035	\$623.70	102393016	\$623.70	102393059	\$623.70
102392036	\$623.70	102393017	\$623.70	102393060	\$623.70
102392037	\$623.70	102393018	\$623.70	102393061	\$623.70
102392038	\$623.70	102393019	\$623.70	102393062	\$623.70
102392039	\$623.70	102393020	\$623.70	102393063	\$623.70
102392040	\$623.70	102393021	\$623.70	102393064	\$623.70
102392041	\$623.70	102393022	\$623.70	102394001	\$623.70
102392042	\$623.70	102393023	\$623.70	102394002	\$623.70
102392043	\$623.70	102393024	\$623.70	102394003	\$623.70
102392044	\$623.70	102393025	\$623.70	102394004	\$623.70
102392045	\$623.70	102393026	\$623.70	102394005	\$623.70
102392046	\$623.70	102393027	\$623.70	102394006	\$623.70
102392047	\$623.70	102393028	\$623.70	102394007	\$623.70
102392048	\$623.70	102393029	\$623.70	102394008	\$623.70
102392049	\$623.70	102393030	\$623.70	102394009	\$623.70
102392050	\$623.70	102393031	\$623.70	102394010	\$623.70
102392051	\$623.70	102393032	\$623.70	102394011	\$623.70
102392052	\$623.70	102393033	\$623.70	102394012	\$623.70
102392053	\$623.70	102393034	\$623.70	102394013	\$623.70
102392054	\$623.70	102393035	\$623.70	102394014	\$623.70
102392055	\$623.70	102393036	\$623.70	102394015	\$623.70
102392056	\$623.70	102393037	\$623.70	102394016	\$623.70
102392057	\$623.70	102393038	\$623.70	102394017	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102394018	\$623.70	102394061	\$623.70	102431008	\$623.70
102394019	\$623.70	102394062	\$623.70	102431009	\$623.70
102394020	\$623.70	102394063	\$623.70	102431010	\$623.70
102394021	\$623.70	102394064	\$623.70	102431011	\$623.70
102394022	\$623.70	102394065	\$623.70	102431012	\$623.70
102394023	\$623.70	102394066	\$623.70	102432001	\$623.70
102394024	\$623.70	102394067	\$623.70	102432002	\$623.70
102394025	\$623.70	102394068	\$623.70	102432003	\$623.70
102394026	\$623.70	102394069	\$623.70	102432004	\$623.70
102394027	\$623.70	102394070	\$623.70	102432005	\$623.70
102394028	\$623.70	102394071	\$623.70	102432006	\$623.70
102394029	\$623.70	102394072	\$623.70	102432007	\$623.70
102394030	\$623.70	102394073	\$623.70	102432009	\$623.70
102394031	\$623.70	102394074	\$623.70	102432010	\$623.70
102394032	\$623.70	102394075	\$623.70	102432016	\$623.70
102394033	\$623.70	102394076	\$623.70	102433001	\$623.70
102394034	\$623.70	102394077	\$623.70	102433002	\$623.70
102394035	\$623.70	102394078	\$623.70	102433003	\$623.70
102394036	\$623.70	102394079	\$623.70	102433004	\$623.70
102394037	\$623.70	102394080	\$623.70	102433005	\$623.70
102394038	\$623.70	102394081	\$623.70	102433006	\$623.70
102394039	\$623.70	102394082	\$623.70	102433007	\$623.70
102394040	\$623.70	102394083	\$623.70	102433008	\$623.70
102394041	\$623.70	102394084	\$623.70	102433009	\$623.70
102394042	\$623.70	102394085	\$623.70	102433010	\$623.70
102394043	\$623.70	102394086	\$623.70	102433011	\$623.70
102394044	\$623.70	102394087	\$623.70	102433012	\$623.70
102394045	\$623.70	102394088	\$623.70	102433013	\$623.70
102394046	\$623.70	102394089	\$623.70	102433014	\$623.70
102394047	\$623.70	102394090	\$623.70	102441001	\$623.70
102394048	\$623.70	102394091	\$623.70	102441002	\$623.70
102394049	\$623.70	102394092	\$623.70	102441003	\$623.70
102394050	\$623.70	102394093	\$623.70	102441004	\$623.70
102394051	\$623.70	102394094	\$623.70	102441005	\$623.70
102394052	\$623.70	102394095	\$623.70	102441006	\$623.70
102394053	\$623.70	102394096	\$623.70	102441007	\$623.70
102394054	\$623.70	102431001	\$623.70	102441008	\$623.70
102394055	\$623.70	102431002	\$623.70	102441009	\$623.70
102394056	\$623.70	102431003	\$623.70	102441010	\$623.70
102394057	\$623.70	102431004	\$623.70	102441011	\$623.70
102394058	\$623.70	102431005	\$623.70	102441012	\$623.70
102394059	\$623.70	102431006	\$623.70	102441013	\$623.70
102394060	\$623.70	102431007	\$623.70	102441014	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102441015	\$623.70	102443002	\$623.70	102451005	\$623.70
102441016	\$623.70	102443003	\$623.70	102452001	\$623.70
102441017	\$623.70	102443004	\$623.70	102452002	\$623.70
102442001	\$623.70	102443005	\$623.70	102452003	\$623.70
102442002	\$623.70	102443006	\$623.70	102452004	\$623.70
102442003	\$623.70	102443007	\$623.70	102452005	\$623.70
102442004	\$623.70	102443008	\$623.70	102452006	\$623.70
102442005	\$623.70	102443009	\$623.70	102452007	\$623.70
102442006	\$623.70	102443010	\$623.70	102452008	\$623.70
102442007	\$623.70	102443011	\$623.70	102452009	\$623.70
102442008	\$623.70	102443012	\$623.70	102452010	\$623.70
102442009	\$623.70	102443013	\$623.70	102452011	\$623.70
102442010	\$623.70	102443014	\$623.70	102461001	\$623.70
102442011	\$623.70	102443015	\$623.70	102461002	\$623.70
102442012	\$623.70	102443016	\$623.70	102461003	\$623.70
102442013	\$623.70	102443017	\$623.70	102461004	\$623.70
102442014	\$623.70	102443018	\$623.70	102461005	\$623.70
102442015	\$623.70	102443019	\$623.70	102461006	\$623.70
102442016	\$623.70	102443020	\$623.70	102461007	\$623.70
102442017	\$623.70	102443021	\$623.70	102461008	\$623.70
102442018	\$623.70	102443022	\$623.70	102461009	\$623.70
102442019	\$623.70	102443023	\$623.70	102461010	\$623.70
102442020	\$623.70	102443024	\$623.70	102461011	\$623.70
102442021	\$623.70	102443025	\$623.70	102461012	\$623.70
102442022	\$623.70	102443026	\$623.70	102461013	\$623.70
102442023	\$623.70	102443027	\$623.70	102461014	\$623.70
102442024	\$623.70	102443028	\$623.70	102461015	\$623.70
102442025	\$623.70	102443029	\$623.70	102461016	\$623.70
102442026	\$623.70	102443030	\$623.70	102461017	\$623.70
102442027	\$623.70	102443031	\$623.70	102461018	\$623.70
102442028	\$623.70	102443032	\$623.70	102461019	\$623.70
102442029	\$623.70	102443033	\$623.70	102461020	\$623.70
102442030	\$623.70	102443034	\$623.70	102461021	\$623.70
102442031	\$623.70	102443035	\$623.70	102461022	\$623.70
102442032	\$623.70	102443036	\$623.70	102461023	\$623.70
102442033	\$623.70	102443037	\$623.70	102461024	\$623.70
102442034	\$623.70	102443038	\$623.70	102461025	\$623.70
102442035	\$623.70	102443039	\$623.70	102461026	\$623.70
102442036	\$623.70	102443040	\$623.70	102461027	\$623.70
102442037	\$623.70	102451001	\$623.70	102461028	\$623.70
102442038	\$623.70	102451002	\$623.70	102461029	\$623.70
102442039	\$623.70	102451003	\$623.70	102461030	\$623.70
102443001	\$623.70	102451004	\$623.70	102461031	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102462001	\$623.70	102474002	\$623.70	102482013	\$623.70
102462002	\$623.70	102474003	\$623.70	102482014	\$623.70
102462003	\$623.70	102474004	\$623.70	102482015	\$623.70
102462004	\$623.70	102474005	\$623.70	102482016	\$623.70
102462005	\$623.70	102474006	\$623.70	102482017	\$623.70
102462006	\$623.70	102474007	\$623.70	102482018	\$623.70
102462007	\$623.70	102474008	\$623.70	102482019	\$623.70
102471001	\$623.70	102474009	\$623.70	102482020	\$623.70
102472001	\$623.70	102474010	\$623.70	102482021	\$623.70
102472002	\$623.70	102474011	\$623.70	102482022	\$623.70
102472003	\$623.70	102474012	\$623.70	102482023	\$623.70
102472004	\$623.70	102474013	\$623.70	102482024	\$623.70
102472005	\$623.70	102474014	\$623.70	102482025	\$623.70
102472006	\$623.70	102474015	\$623.70	102483001	\$623.70
102472007	\$623.70	102474016	\$623.70	102483002	\$623.70
102472008	\$623.70	102474017	\$623.70	102483003	\$623.70
102472009	\$623.70	102475001	\$623.70	102483004	\$623.70
102472010	\$623.70	102475002	\$623.70	102483005	\$623.70
102472011	\$623.70	102475003	\$623.70	102483006	\$623.70
102472012	\$623.70	102475004	\$623.70	102483007	\$623.70
102473001	\$623.70	102475005	\$623.70	102483008	\$623.70
102473002	\$623.70	102476001	\$623.70	102483009	\$623.70
102473003	\$623.70	102476002	\$623.70	102483010	\$623.70
102473004	\$623.70	102481001	\$623.70	102484001	\$623.70
102473005	\$623.70	102481002	\$623.70	102484002	\$623.70
102473006	\$623.70	102481003	\$623.70	102484003	\$623.70
102473007	\$623.70	102481004	\$623.70	102484004	\$623.70
102473008	\$623.70	102481005	\$623.70	102484005	\$623.70
102473009	\$623.70	102481006	\$623.70	102484006	\$623.70
102473010	\$623.70	102481007	\$623.70	102484007	\$623.70
102473011	\$623.70	102481008	\$623.70	102484008	\$623.70
102473012	\$623.70	102482001	\$623.70	102484009	\$623.70
102473013	\$623.70	102482002	\$623.70	102484010	\$623.70
102473014	\$623.70	102482003	\$623.70	102484011	\$623.70
102473015	\$623.70	102482004	\$623.70	102484012	\$623.70
102473016	\$623.70	102482005	\$623.70	102484013	\$623.70
102473017	\$623.70	102482006	\$623.70	102484014	\$623.70
102473018	\$623.70	102482007	\$623.70	102484015	\$623.70
102473019	\$623.70	102482008	\$623.70	102484016	\$623.70
102473020	\$623.70	102482009	\$623.70	102484017	\$623.70
102473021	\$623.70	102482010	\$623.70	102484018	\$623.70
102473022	\$623.70	102482011	\$623.70	102484019	\$623.70
102474001	\$623.70	102482012	\$623.70	102484020	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102484021	\$623.70	102512013	\$623.70	102521031	\$623.70
102484022	\$623.70	102512014	\$623.70	102521032	\$623.70
102484023	\$623.70	102512015	\$623.70	102521033	\$623.70
102511001	\$623.70	102512016	\$623.70	102521036	\$623.70
102511002	\$623.70	102512017	\$623.70	102521037	\$623.70
102511003	\$623.70	102512018	\$623.70	102521038	\$623.70
102511004	\$623.70	102512019	\$623.70	102521039	\$623.70
102511005	\$623.70	102512020	\$623.70	102521040	\$623.70
102511006	\$623.70	102512021	\$623.70	102521041	\$623.70
102511007	\$623.70	102512022	\$623.70	102521042	\$623.70
102511008	\$623.70	102512023	\$623.70	102521043	\$623.70
102511009	\$623.70	102512024	\$623.70	102521044	\$623.70
102511010	\$623.70	102512025	\$623.70	102521045	\$623.70
102511011	\$623.70	102512026	\$623.70	102521046	\$623.70
102511012	\$623.70	102512027	\$623.70	102521047	\$623.70
102511013	\$623.70	102512028	\$623.70	102521048	\$623.70
102511014	\$623.70	102512029	\$623.70	102521050	\$623.70
102511015	\$623.70	102512030	\$623.70	102521051	\$623.70
102511016	\$623.70	102512031	\$623.70	102521052	\$623.70
102511017	\$623.70	102512032	\$623.70	102521053	\$623.70
102511018	\$623.70	102521001	\$623.70	102521054	\$623.70
102511019	\$623.70	102521002	\$623.70	102521055	\$623.70
102511020	\$623.70	102521003	\$623.70	102521056	\$623.70
102511021	\$623.70	102521004	\$623.70	102521057	\$623.70
102511022	\$623.70	102521005	\$623.70	102521058	\$623.70
102511023	\$623.70	102521008	\$623.70	102522001	\$623.70
102511024	\$623.70	102521009	\$623.70	102522002	\$623.70
102511025	\$623.70	102521010	\$623.70	102522003	\$623.70
102511026	\$623.70	102521011	\$623.70	102522004	\$623.70
102511027	\$623.70	102521012	\$623.70	102522005	\$623.70
102511028	\$623.70	102521013	\$623.70	102522006	\$623.70
102512001	\$623.70	102521014	\$623.70	102522007	\$623.70
102512002	\$623.70	102521015	\$623.70	102522008	\$623.70
102512003	\$623.70	102521016	\$623.70	102522009	\$623.70
102512004	\$623.70	102521021	\$623.70	102522010	\$623.70
102512005	\$623.70	102521022	\$623.70	102522011	\$623.70
102512006	\$623.70	102521023	\$623.70	102522012	\$623.70
102512007	\$623.70	102521024	\$623.70	102522013	\$623.70
102512008	\$623.70	102521025	\$623.70	102522014	\$623.70
102512009	\$623.70	102521027	\$623.70	102522015	\$623.70
102512010	\$623.70	102521028	\$623.70	102522016	\$623.70
102512011	\$623.70	102521029	\$623.70	102522017	\$623.70
102512012	\$623.70	102521030	\$623.70	102522018	\$623.70



## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102522019	\$623.70	102532003	\$623.70	102541003	\$623.70
102522020	\$623.70	102532004	\$623.70	102541009	\$623.70
102522021	\$623.70	102532005	\$623.70	102541010	\$623.70
102531008	\$623.70	102532006	\$623.70	102541011	\$623.70
102531009	\$623.70	102532007	\$623.70	102541012	\$623.70
102531010	\$623.70	102532008	\$623.70	102541013	\$623.70
102531011	\$623.70	102532009	\$623.70	102541014	\$623.70
102531012	\$623.70	102532010	\$623.70	102541015	\$623.70
102531013	\$623.70	102532011	\$623.70	102541016	\$623.70
102531014	\$623.70	102532012	\$623.70	102541017	\$623.70
102531015	\$623.70	102532013	\$623.70	102541018	\$623.70
102531016	\$623.70	102532014	\$623.70	102541019	\$623.70
102531017	\$623.70	102532015	\$623.70	102541020	\$623.70
102531018	\$623.70	102532016	\$623.70	102541021	\$623.70
102531019	\$623.70	102532017	\$623.70	102541022	\$623.70
102531020	\$623.70	102532018	\$623.70	102541023	\$623.70
102531021	\$623.70	102532019	\$623.70	102541024	\$623.70
102531022	\$623.70	102532020	\$623.70	102541025	\$623.70
102531023	\$623.70	102532021	\$623.70	102541026	\$623.70
102531024	\$623.70	102532022	\$623.70	102541027	\$623.70
102531025	\$623.70	102532023	\$623.70	102541028	\$623.70
102531026	\$623.70	102532024	\$623.70	102541029	\$623.70
102531027	\$623.70	102532025	\$623.70	102541030	\$623.70
102531028	\$623.70	102532026	\$623.70	102541031	\$623.70
102531029	\$623.70	102532027	\$623.70	102541032	\$623.70
102531030	\$623.70	102532028	\$623.70	102541033	\$623.70
102531031	\$623.70	102532029	\$623.70	102541034	\$623.70
102531032	\$623.70	102532030	\$623.70	102541035	\$623.70
102531033	\$623.70	102532031	\$623.70	102541036	\$623.70
102531034	\$623.70	102532032	\$623.70	102541037	\$623.70
102531035	\$623.70	102532033	\$623.70	102541038	\$623.70
102531036	\$623.70	102532034	\$623.70	102541039	\$623.70
102531037	\$623.70	102532035	\$623.70	102541040	\$623.70
102531039	\$623.70	102532036	\$623.70	102541041	\$623.70
102531041	\$623.70	102532037	\$623.70	102541042	\$623.70
102531043	\$623.70	102532038	\$623.70	102541043	\$623.70
102531045	\$623.70	102532039	\$623.70	102541044	\$623.70
102531047	\$623.70	102532044	\$623.70	102541045	\$623.70
102531049	\$623.70	102532045	\$623.70	102541046	\$623.70
102531054	\$623.70	102532046	\$623.70	102541047	\$623.70
102531055	\$623.70	102532047	\$623.70	102541048	\$623.70
102532001	\$623.70	102541001	\$623.70	102541049	\$623.70
102532002	\$623.70	102541002	\$623.70	102541050	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102541051	\$623.70	102543002	\$623.70	102551031	\$623.70
102541052	\$623.70	102543003	\$623.70	102551032	\$623.70
102542001	\$623.70	102543004	\$623.70	102551033	\$623.70
102542002	\$623.70	102543005	\$623.70	102551034	\$623.70
102542003	\$623.70	102543006	\$623.70	102552003	\$623.70
102542004	\$623.70	102543007	\$623.70	102552004	\$623.70
102542005	\$623.70	102543008	\$623.70	102552005	\$623.70
102542006	\$623.70	102543009	\$623.70	102552006	\$623.70
102542007	\$623.70	102543010	\$623.70	102552007	\$623.70
102542008	\$623.70	102543011	\$623.70	102552008	\$623.70
102542009	\$623.70	102543012	\$623.70	102552009	\$623.70
102542010	\$623.70	102543013	\$623.70	102552010	\$623.70
102542011	\$623.70	102543014	\$623.70	102552011	\$623.70
102542012	\$623.70	102551001	\$623.70	102552012	\$623.70
102542013	\$623.70	102551002	\$623.70	102552013	\$623.70
102542014	\$623.70	102551003	\$623.70	102552014	\$623.70
102542015	\$623.70	102551004	\$623.70	102552015	\$623.70
102542016	\$623.70	102551005	\$623.70	102552016	\$623.70
102542017	\$623.70	102551006	\$623.70	102552017	\$623.70
102542018	\$623.70	102551007	\$623.70	102552018	\$623.70
102542019	\$623.70	102551008	\$623.70	102552019	\$623.70
102542020	\$623.70	102551009	\$623.70	102552020	\$623.70
102542021	\$623.70	102551010	\$623.70	102552021	\$623.70
102542022	\$623.70	102551011	\$623.70	102552022	\$623.70
102542023	\$623.70	102551012	\$623.70	102552023	\$623.70
102542024	\$623.70	102551013	\$623.70	102552024	\$623.70
102542025	\$623.70	102551014	\$623.70	102552025	\$623.70
102542026	\$623.70	102551015	\$623.70	102552026	\$623.70
102542027	\$623.70	102551016	\$623.70	102552027	\$623.70
102542028	\$623.70	102551017	\$623.70	102552028	\$623.70
102542029	\$623.70	102551018	\$623.70	102552029	\$623.70
102542030	\$623.70	102551019	\$623.70	102552030	\$623.70
102542031	\$623.70	102551020	\$623.70	102552031	\$623.70
102542032	\$623.70	102551021	\$623.70	102552032	\$623.70
102542033	\$623.70	102551022	\$623.70	102552036	\$623.70
102542034	\$623.70	102551023	\$623.70	102552037	\$623.70
102542035	\$623.70	102551024	\$623.70	102561001	\$623.70
102542036	\$623.70	102551025	\$623.70	102561002	\$623.70
102542037	\$623.70	102551026	\$623.70	102561003	\$623.70
102542038	\$623.70	102551027	\$623.70	102561004	\$623.70
102542039	\$623.70	102551028	\$623.70	102561005	\$623.70
102542040	\$623.70	102551029	\$623.70	102561006	\$623.70
102543001	\$623.70	102551030	\$623.70	102561007	\$623.70



## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102561008	\$623.70	102562010	\$623.70	102572015	\$623.70
102561009	\$623.70	102562011	\$623.70	102572016	\$623.70
102561010	\$623.70	102562012	\$623.70	102572017	\$623.70
102561011	\$623.70	102562013	\$623.70	102572018	\$623.70
102561012	\$623.70	102562014	\$623.70	102572019	\$623.70
102561013	\$623.70	102562015	\$623.70	102572020	\$623.70
102561014	\$623.70	102562016	\$623.70	102572021	\$623.70
102561015	\$623.70	102562017	\$623.70	102572022	\$623.70
102561016	\$623.70	102562018	\$623.70	102572023	\$623.70
102561017	\$623.70	102562019	\$623.70	102572024	\$623.70
102561018	\$623.70	102562020	\$623.70	102572025	\$623.70
102561019	\$623.70	102562021	\$623.70	102572026	\$623.70
102561020	\$623.70	102562022	\$623.70	102572027	\$623.70
102561021	\$623.70	102562023	\$623.70	102572028	\$623.70
102561022	\$623.70	102562024	\$623.70	102572029	\$623.70
102561023	\$623.70	102562025	\$623.70	102572030	\$623.70
102561024	\$623.70	102562026	\$623.70	102572031	\$623.70
102561025	\$623.70	102571001	\$623.70	102572032	\$623.70
102561026	\$623.70	102571002	\$623.70	102572033	\$623.70
102561027	\$623.70	102571003	\$623.70	102572034	\$623.70
102561028	\$623.70	102571004	\$623.70	102572035	\$623.70
102561029	\$623.70	102571005	\$623.70	102572036	\$623.70
102561030	\$623.70	102571006	\$623.70	102573001	\$623.70
102561031	\$623.70	102571007	\$623.70	102573002	\$623.70
102561032	\$623.70	102571008	\$623.70	102573003	\$623.70
102561033	\$623.70	102571009	\$623.70	102573004	\$623.70
102561034	\$623.70	102571010	\$623.70	102573005	\$623.70
102561035	\$623.70	102571011	\$623.70	102573006	\$623.70
102561036	\$623.70	102571012	\$623.70	102573007	\$623.70
102561037	\$623.70	102572001	\$623.70	102573008	\$623.70
102561038	\$623.70	102572002	\$623.70	102573009	\$623.70
102561039	\$623.70	102572003	\$623.70	102573010	\$623.70
102561040	\$623.70	102572004	\$623.70	102573011	\$623.70
102561041	\$623.70	102572005	\$623.70	102573012	\$623.70
102562001	\$623.70	102572006	\$623.70	102573013	\$623.70
102562002	\$623.70	102572007	\$623.70	102573014	\$623.70
102562003	\$623.70	102572008	\$623.70	102573015	\$623.70
102562004	\$623.70	102572009	\$623.70	102573016	\$623.70
102562005	\$623.70	102572010	\$623.70	102573017	\$623.70
102562006	\$623.70	102572011	\$623.70	102573018	\$623.70
102562007	\$623.70	102572012	\$623.70	102573019	\$623.70
102562008	\$623.70	102572013	\$623.70	102573020	\$623.70
102562009	\$623.70	102572014	\$623.70	102573021	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102573022	\$623.70	102580044	\$623.70	102592001	\$623.70
102573023	\$623.70	102580045	\$623.70	102592002	\$623.70
102573024	\$623.70	102580046	\$623.70	102592003	\$623.70
102573025	\$623.70	102580047	\$623.70	102592004	\$623.70
102580001	\$623.70	102580048	\$623.70	102592005	\$623.70
102580002	\$623.70	102580049	\$623.70	102592006	\$623.70
102580003	\$623.70	102580050	\$623.70	102592007	\$623.70
102580004	\$623.70	102580051	\$623.70	102592008	\$623.70
102580005	\$623.70	102580052	\$623.70	102593001	\$623.70
102580006	\$623.70	102580053	\$623.70	102593002	\$623.70
102580011	\$623.70	102580054	\$623.70	102593003	\$623.70
102580012	\$623.70	102580055	\$623.70	102593004	\$623.70
102580013	\$623.70	102580056	\$623.70	102593005	\$623.70
102580014	\$623.70	102580057	\$623.70	102593006	\$623.70
102580015	\$623.70	102580058	\$623.70	102593007	\$623.70
102580016	\$623.70	102580059	\$623.70	102593008	\$623.70
102580017	\$623.70	102580060	\$623.70	102593009	\$623.70
102580018	\$623.70	102580061	\$623.70	102593010	\$623.70
102580019	\$623.70	102580062	\$623.70	102593011	\$623.70
102580020	\$623.70	102580063	\$623.70	102593012	\$623.70
102580021	\$623.70	102580064	\$623.70	102593013	\$623.70
102580022	\$623.70	102580065	\$623.70	102593014	\$623.70
102580023	\$623.70	102580066	\$623.70	102593015	\$623.70
102580024	\$623.70	102580070	\$623.70	102593016	\$623.70
102580025	\$623.70	102580071	\$623.70	102593017	\$623.70
102580026	\$623.70	102580072	\$623.70	102593018	\$623.70
102580027	\$623.70	102580073	\$623.70	102593019	\$623.70
102580028	\$623.70	102591001	\$623.70	102593020	\$623.70
102580029	\$623.70	102591002	\$623.70	102593021	\$623.70
102580030	\$623.70	102591003	\$623.70	102593022	\$623.70
102580031	\$623.70	102591004	\$623.70	102593023	\$623.70
102580032	\$623.70	102591005	\$623.70	102593024	\$623.70
102580033	\$623.70	102591006	\$623.70	102593025	\$623.70
102580034	\$623.70	102591007	\$623.70	102593026	\$623.70
102580035	\$623.70	102591008	\$623.70	102593027	\$623.70
102580036	\$623.70	102591009	\$623.70	102593028	\$623.70
102580037	\$623.70	102591010	\$623.70	102593029	\$623.70
102580038	\$623.70	102591011	\$623.70	102593030	\$623.70
102580039	\$623.70	102591012	\$623.70	102594001	\$623.70
102580040	\$623.70	102591013	\$623.70	102594002	\$623.70
102580041	\$623.70	102591014	\$623.70	102594003	\$623.70
102580042	\$623.70	102591015	\$623.70	102594004	\$623.70
102580043	\$623.70	102591016	\$623.70	102594005	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102594006	\$623.70	102602004	\$623.70	102611016	\$623.70
102594007	\$623.70	102602005	\$623.70	102611017	\$623.70
102594008	\$623.70	102602006	\$623.70	102611019	\$623.70
102594009	\$623.70	102602007	\$623.70	102611020	\$623.70
102594010	\$623.70	102602008	\$623.70	102611024	\$623.70
102594011	\$623.70	102602009	\$623.70	102611026	\$623.70
102595001	\$623.70	102602010	\$623.70	102611027	\$623.70
102595002	\$623.70	102602011	\$623.70	102611028	\$623.70
102595003	\$623.70	102602012	\$623.70	102611029	\$623.70
102601001	\$623.70	102602013	\$623.70	102612001	\$623.70
102601002	\$623.70	102602014	\$623.70	102612002	\$623.70
102601003	\$623.70	102602016	\$623.70	102612003	\$623.70
102601004	\$623.70	102602017	\$623.70	102612004	\$623.70
102601005	\$623.70	102602018	\$623.70	102612005	\$623.70
102601006	\$623.70	102602019	\$623.70	102612006	\$623.70
102601007	\$623.70	102602020	\$623.70	102612007	\$623.70
102601008	\$623.70	102602021	\$623.70	102612008	\$623.70
102601009	\$623.70	102602022	\$623.70	102612009	\$623.70
102601010	\$623.70	102602023	\$623.70	102612010	\$623.70
102601011	\$623.70	102602024	\$623.70	102612011	\$623.70
102601012	\$623.70	102602025	\$623.70	102612012	\$623.70
102601013	\$623.70	102602026	\$623.70	102612013	\$623.70
102601014	\$623.70	102602027	\$623.70	102612014	\$623.70
102601015	\$623.70	102602028	\$623.70	102612015	\$623.70
102601016	\$623.70	102602029	\$623.70	102612016	\$623.70
102601017	\$623.70	102602030	\$623.70	102612017	\$623.70
102601018	\$623.70	102602031	\$623.70	102612018	\$623.70
102601019	\$623.70	102602033	\$623.70	102613001	\$623.70
102601020	\$623.70	102611001	\$623.70	102613002	\$623.70
102601021	\$623.70	102611002	\$623.70	102613003	\$623.70
102601022	\$623.70	102611003	\$623.70	102613004	\$623.70
102601023	\$623.70	102611004	\$623.70	102613005	\$623.70
102601024	\$623.70	102611005	\$623.70	102613006	\$623.70
102601025	\$623.70	102611006	\$623.70	102613007	\$623.70
102601026	\$623.70	102611007	\$623.70	102613008	\$623.70
102601027	\$623.70	102611008	\$623.70	102613009	\$623.70
102601028	\$623.70	102611009	\$623.70	102613010	\$623.70
102601029	\$623.70	102611010	\$623.70	102613011	\$623.70
102601030	\$623.70	102611011	\$623.70	102613012	\$623.70
102601031	\$623.70	102611012	\$623.70	102613013	\$623.70
102602001	\$623.70	102611013	\$623.70	102613014	\$623.70
102602002	\$623.70	102611014	\$623.70	102613015	\$623.70
102602003	\$623.70	102611015	\$623.70	102613016	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102613017	\$623.70	102621037	\$623.70	102630016	\$623.70
102613018	\$623.70	102621038	\$623.70	102630017	\$623.70
102613019	\$623.70	102621039	\$623.70	102630018	\$623.70
102613020	\$623.70	102621040	\$623.70	102630019	\$623.70
102613021	\$623.70	102621041	\$623.70	102630020	\$623.70
102613022	\$623.70	102621042	\$623.70	102630022	\$623.70
102613023	\$623.70	102621043	\$623.70	102630023	\$623.70
102621001	\$623.70	102621044	\$623.70	102630024	\$623.70
102621002	\$623.70	102622001	\$623.70	102630026	\$623.70
102621003	\$623.70	102622002	\$623.70	102630027	\$623.70
102621004	\$623.70	102622003	\$623.70	102630028	\$623.70
102621005	\$623.70	102622004	\$623.70	102630031	\$623.70
102621006	\$623.70	102622005	\$623.70	102630032	\$623.70
102621007	\$623.70	102622006	\$623.70	102630034	\$623.70
102621008	\$623.70	102622007	\$623.70	102641001	\$623.70
102621009	\$623.70	102622008	\$623.70	102641002	\$623.70
102621010	\$623.70	102622009	\$623.70	102641003	\$623.70
102621011	\$623.70	102622010	\$623.70	102641004	\$623.70
102621012	\$623.70	102623001	\$623.70	102641005	\$623.70
102621013	\$623.70	102623002	\$623.70	102641006	\$623.70
102621014	\$623.70	102623003	\$623.70	102641009	\$623.70
102621015	\$623.70	102623004	\$623.70	102641010	\$623.70
102621016	\$623.70	102623007	\$623.70	102641011	\$623.70
102621017	\$623.70	102623008	\$623.70	102641012	\$623.70
102621018	\$623.70	102623009	\$623.70	102641013	\$623.70
102621019	\$623.70	102623012	\$623.70	102641014	\$623.70
102621020	\$623.70	102623013	\$623.70	102641015	\$623.70
102621021	\$623.70	102623014	\$623.70	102641016	\$623.70
102621022	\$623.70	102623015	\$623.70	102641017	\$623.70
102621023	\$623.70	102630002	\$623.70	102641018	\$623.70
102621024	\$623.70	102630003	\$623.70	102641020	\$623.70
102621025	\$623.70	102630004	\$623.70	102642004	\$623.70
102621026	\$623.70	102630005	\$623.70	102642008	\$623.70
102621027	\$623.70	102630006	\$623.70	102643001	\$623.70
102621028	\$623.70	102630007	\$623.70	102643002	\$623.70
102621029	\$623.70	102630008	\$623.70	102643003	\$623.70
102621030	\$623.70	102630009	\$623.70	102643004	\$623.70
102621031	\$623.70	102630010	\$623.70	102643005	\$623.70
102621032	\$623.70	102630011	\$623.70	102643006	\$623.70
102621033	\$623.70	102630012	\$623.70	102643007	\$623.70
102621034	\$623.70	102630013	\$623.70	102643008	\$623.70
102621035	\$623.70	102630014	\$623.70	102643009	\$623.70
102621036	\$623.70	102630015	\$623.70	102643010	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102643011	\$623.70	102661022	\$623.70	102663012	\$623.70
102643012	\$623.70	102661023	\$623.70	102664001	\$623.70
102643013	\$623.70	102661024	\$623.70	102664002	\$623.70
102643014	\$623.70	102661025	\$623.70	102664003	\$623.70
102643015	\$623.70	102661026	\$623.70	102664004	\$623.70
102643016	\$623.70	102661027	\$623.70	102664005	\$623.70
102651003	\$623.70	102661028	\$623.70	102664006	\$623.70
102651005	\$623.70	102661029	\$623.70	102664007	\$623.70
102651006	\$623.70	102661030	\$623.70	102664008	\$623.70
102651008	\$623.70	102662001	\$623.70	102664009	\$623.70
102651009	\$623.70	102662002	\$623.70	102664010	\$623.70
102651010	\$623.70	102662003	\$623.70	102664011	\$623.70
102651011	\$623.70	102662004	\$623.70	102664012	\$623.70
102651012	\$623.70	102662005	\$623.70	102664013	\$623.70
102651013	\$623.70	102662006	\$623.70	102664014	\$623.70
102651014	\$623.70	102662007	\$623.70	102664015	\$623.70
102651015	\$623.70	102662008	\$623.70	102664016	\$623.70
102651016	\$623.70	102662009	\$623.70	102664017	\$623.70
102651017	\$623.70	102662010	\$623.70	102664018	\$623.70
102651018	\$623.70	102662011	\$623.70	102664019	\$623.70
102651027	\$623.70	102662012	\$623.70	102664020	\$623.70
102651029	\$623.70	102662013	\$623.70	102664021	\$623.70
102651030	\$623.70	102662014	\$623.70	102664022	\$623.70
102651031	\$623.70	102662015	\$623.70	102664023	\$623.70
102652001	\$623.70	102662016	\$623.70	102671002	\$623.70
102652004	\$623.70	102662017	\$623.70	102671003	\$623.70
102652005	\$623.70	102662018	\$623.70	102671004	\$623.70
102652006	\$623.70	102662019	\$623.70	102671005	\$623.70
102652007	\$623.70	102662020	\$623.70	102671010	\$623.70
102652008	\$623.70	102662021	\$623.70	102671011	\$623.70
102652009	\$623.70	102662022	\$623.70	102671012	\$623.70
102652010	\$623.70	102662023	\$623.70	102671013	\$623.70
102652011	\$623.70	102663001	\$623.70	102671014	\$623.70
102652012	\$623.70	102663002	\$623.70	102671019	\$623.70
102652013	\$623.70	102663003	\$623.70	102671020	\$623.70
102652017	\$623.70	102663004	\$623.70	102671021	\$623.70
102652019	\$623.70	102663005	\$623.70	102671022	\$623.70
102661016	\$623.70	102663006	\$623.70	102671023	\$623.70
102661017	\$623.70	102663007	\$623.70	102671024	\$623.70
102661018	\$623.70	102663008	\$623.70	102671025	\$623.70
102661019	\$623.70	102663009	\$623.70	102671026	\$623.70
102661020	\$623.70	102663010	\$623.70	102671027	\$623.70
102661021	\$623.70	102663011	\$623.70	102671028	\$623.70

## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102671029	\$623.70	102673008	\$623.70	102681006	\$623.70
102671030	\$623.70	102673009	\$623.70	102681007	\$623.70
102671031	\$623.70	102673010	\$623.70	102681008	\$623.70
102671032	\$623.70	102673011	\$623.70	102681009	\$623.70
102672001	\$623.70	102673012	\$623.70	102681010	\$623.70
102672002	\$623.70	102673013	\$623.70	102681011	\$623.70
102672003	\$623.70	102673014	\$623.70	102681012	\$623.70
102672004	\$623.70	102673015	\$623.70	102682001	\$623.70
102672005	\$623.70	102674001	\$623.70	102682002	\$623.70
102672006	\$623.70	102674002	\$623.70	102682003	\$623.70
102672007	\$623.70	102674003	\$623.70	102682004	\$623.70
102672008	\$623.70	102674004	\$623.70	102682005	\$623.70
102672009	\$623.70	102674005	\$623.70	102682006	\$623.70
102672010	\$623.70	102674006	\$623.70	102682007	\$623.70
102672011	\$623.70	102674007	\$623.70	102682008	\$623.70
102672012	\$623.70	102674008	\$623.70	102682009	\$623.70
102672013	\$623.70	102674009	\$623.70	102682010	\$623.70
102672014	\$623.70	102674010	\$623.70	102682011	\$623.70
102672015	\$623.70	102674011	\$623.70	102682015	\$623.70
102672016	\$623.70	102674012	\$623.70	102682016	\$623.70
102672017	\$623.70	102674013	\$623.70	102682017	\$623.70
102672018	\$623.70	102674014	\$623.70	102682018	\$623.70
102672019	\$623.70	102674015	\$623.70	102682019	\$623.70
102672020	\$623.70	102674016	\$623.70	102682020	\$623.70
102672021	\$623.70	102674017	\$623.70	102682021	\$623.70
102672022	\$623.70	102674019	\$623.70	102682022	\$623.70
102672023	\$623.70	102674020	\$623.70	102682023	\$623.70
102672024	\$623.70	102675001	\$623.70	102682024	\$623.70
102672025	\$623.70	102675002	\$623.70	102682025	\$623.70
102672026	\$623.70	102675003	\$623.70	102682026	\$623.70
102672027	\$623.70	102675004	\$623.70	102682027	\$623.70
102672028	\$623.70	102675005	\$623.70	102683001	\$623.70
102672029	\$623.70	102675006	\$623.70	102683002	\$623.70
102672030	\$623.70	102675007	\$623.70	102683003	\$623.70
102672031	\$623.70	102675008	\$623.70	102683004	\$623.70
102672032	\$623.70	102675009	\$623.70	102683005	\$623.70
102673001	\$623.70	102675010	\$623.70	102683006	\$623.70
102673002	\$623.70	102675011	\$623.70	102683007	\$623.70
102673003	\$623.70	102681001	\$623.70	102683008	\$623.70
102673004	\$623.70	102681002	\$623.70	102683009	\$623.70
102673005	\$623.70	102681003	\$623.70	102683010	\$623.70
102673006	\$623.70	102681004	\$623.70	102683011	\$623.70
102673007	\$623.70	102681005	\$623.70	102683012	\$623.70



# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102683013	\$623.70	102685020	\$623.70	102692017	\$623.70
102683014	\$623.70	102685021	\$623.70	102692018	\$623.70
102683015	\$623.70	102685022	\$623.70	102692019	\$623.70
102683016	\$623.70	102685023	\$623.70	102692020	\$623.70
102683017	\$623.70	102685024	\$623.70	102692021	\$623.70
102683018	\$623.70	102685025	\$623.70	102692022	\$623.70
102683019	\$623.70	102685026	\$623.70	102692023	\$623.70
102683020	\$623.70	102685027	\$623.70	102692024	\$623.70
102683021	\$623.70	102691001	\$623.70	102692025	\$623.70
102683022	\$623.70	102691002	\$623.70	102692026	\$623.70
102684001	\$623.70	102691003	\$623.70	102692027	\$623.70
102684002	\$623.70	102691005	\$623.70	102692028	\$623.70
102684003	\$623.70	102691006	\$623.70	102692029	\$623.70
102684004	\$623.70	102691007	\$623.70	102692030	\$623.70
102684005	\$623.70	102691008	\$623.70	102692031	\$623.70
102684006	\$623.70	102691009	\$623.70	102692032	\$623.70
102684007	\$623.70	102691010	\$623.70	102692033	\$623.70
102684008	\$623.70	102691011	\$623.70	102692034	\$623.70
102684009	\$623.70	102691012	\$623.70	102692035	\$623.70
102684010	\$623.70	102691013	\$623.70	102692036	\$623.70
102684011	\$623.70	102691014	\$623.70	102692037	\$623.70
102684012	\$623.70	102691015	\$623.70	102692038	\$623.70
102684013	\$623.70	102691016	\$623.70	102692039	\$623.70
102684014	\$623.70	102691017	\$623.70	102692040	\$623.70
102685001	\$623.70	102691018	\$623.70	102693001	\$623.70
102685002	\$623.70	102691019	\$623.70	102693002	\$623.70
102685003	\$623.70	102691020	\$623.70	102693003	\$623.70
102685004	\$623.70	102692001	\$623.70	102693004	\$623.70
102685005	\$623.70	102692002	\$623.70	102693005	\$623.70
102685006	\$623.70	102692003	\$623.70	102693006	\$623.70
102685007	\$623.70	102692004	\$623.70	102693007	\$623.70
102685008	\$623.70	102692005	\$623.70	102693008	\$623.70
102685009	\$623.70	102692006	\$623.70	102693009	\$623.70
102685010	\$623.70	102692007	\$623.70	102693010	\$623.70
102685011	\$623.70	102692008	\$623.70	102693011	\$623.70
102685012	\$623.70	102692009	\$623.70	102693012	\$623.70
102685013	\$623.70	102692010	\$623.70	102693013	\$623.70
102685014	\$623.70	102692011	\$623.70	102693014	\$623.70
102685015	\$623.70	102692012	\$623.70	102693015	\$623.70
102685016	\$623.70	102692013	\$623.70	102694001	\$623.70
102685017	\$623.70	102692014	\$623.70	102694002	\$623.70
102685018	\$623.70	102692015	\$623.70	102694003	\$623.70
102685019	\$623.70	102692016	\$623.70	102694004	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102694005	\$623.70	102703006	\$623.70	102711006	\$623.70
102694006	\$623.70	102703007	\$623.70	102711007	\$623.70
102694007	\$623.70	102703008	\$623.70	102711008	\$623.70
102694008	\$623.70	102703009	\$623.70	102711009	\$623.70
102694009	\$623.70	102703010	\$623.70	102711010	\$623.70
102694010	\$623.70	102703011	\$623.70	102711011	\$623.70
102694011	\$623.70	102703012	\$623.70	102711012	\$623.70
102694012	\$623.70	102703013	\$623.70	102711013	\$623.70
102695001	\$623.70	102703014	\$623.70	102711014	\$623.70
102695002	\$623.70	102703015	\$623.70	102711015	\$623.70
102695003	\$623.70	102703016	\$623.70	102711016	\$623.70
102695004	\$623.70	102703017	\$623.70	102711017	\$623.70
102695005	\$623.70	102703018	\$623.70	102711018	\$623.70
102695006	\$623.70	102703019	\$623.70	102711019	\$623.70
102695007	\$623.70	102703020	\$623.70	102711020	\$623.70
102695008	\$623.70	102703021	\$623.70	102711021	\$623.70
102696001	\$623.70	102703022	\$623.70	102711022	\$623.70
102696002	\$623.70	102703023	\$623.70	102711023	\$623.70
102696003	\$623.70	102704001	\$623.70	102711024	\$623.70
102696004	\$623.70	102704002	\$623.70	102711025	\$623.70
102701001	\$623.70	102704003	\$623.70	102711026	\$623.70
102701002	\$623.70	102704004	\$623.70	102711027	\$623.70
102701003	\$623.70	102704005	\$623.70	102711028	\$623.70
102701004	\$623.70	102704006	\$623.70	102711029	\$623.70
102701006	\$623.70	102704007	\$623.70	102711030	\$623.70
102701007	\$623.70	102704008	\$623.70	102711031	\$623.70
102701008	\$623.70	102704009	\$623.70	102712001	\$623.70
102702001	\$623.70	102704010	\$623.70	102712002	\$623.70
102702002	\$623.70	102704011	\$623.70	102712003	\$623.70
102702003	\$623.70	102704012	\$623.70	102712004	\$623.70
102702004	\$623.70	102704013	\$623.70	102712005	\$623.70
102702005	\$623.70	102704014	\$623.70	102712006	\$623.70
102702006	\$623.70	102704015	\$623.70	102712007	\$623.70
102702007	\$623.70	102704016	\$623.70	102712008	\$623.70
102702008	\$623.70	102704017	\$623.70	102712009	\$623.70
102702009	\$623.70	102704018	\$623.70	102712010	\$623.70
102702010	\$623.70	102704019	\$623.70	102712011	\$623.70
102702011	\$623.70	102704020	\$623.70	102712012	\$623.70
102703001	\$623.70	102711001	\$623.70	102712013	\$623.70
102703002	\$623.70	102711002	\$623.70	102712014	\$623.70
102703003	\$623.70	102711003	\$623.70	102713001	\$623.70
102703004	\$623.70	102711004	\$623.70	102713002	\$623.70
102703005	\$623.70	102711005	\$623.70	102713003	\$623.70



## Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102713004	\$623.70	102714031	\$623.70	102722004	\$623.70
102713005	\$623.70	102714032	\$623.70	102722005	\$623.70
102713006	\$623.70	102721001	\$623.70	102723001	\$623.70
102713007	\$623.70	102721002	\$623.70	102723002	\$623.70
102713008	\$623.70	102721003	\$623.70	102723003	\$623.70
102713009	\$623.70	102721004	\$623.70	102723004	\$623.70
102713010	\$623.70	102721005	\$623.70	102723005	\$623.70
102713011	\$623.70	102721006	\$623.70	102723006	\$623.70
102713012	\$623.70	102721007	\$623.70	102723007	\$623.70
102713013	\$623.70	102721008	\$623.70	102730001	\$623.70
102713014	\$623.70	102721009	\$623.70	102730002	\$623.70
102713015	\$623.70	102721010	\$623.70	102730003	\$623.70
102713016	\$623.70	102721011	\$623.70	102730004	\$623.70
102714001	\$623.70	102721012	\$623.70	102730005	\$623.70
102714002	\$623.70	102721013	\$623.70	102730006	\$623.70
102714003	\$623.70	102721014	\$623.70	102730007	\$623.70
102714004	\$623.70	102721015	\$623.70	102730008	\$623.70
102714005	\$623.70	102721016	\$623.70	102730009	\$623.70
102714006	\$623.70	102721017	\$623.70	102730010	\$623.70
102714007	\$623.70	102721018	\$623.70	102730011	\$623.70
102714008	\$623.70	102721019	\$623.70	102730012	\$623.70
102714009	\$623.70	102721020	\$623.70	102730013	\$623.70
102714010	\$623.70	102721021	\$623.70	102730014	\$623.70
102714011	\$623.70	102721022	\$623.70	102730015	\$623.70
102714012	\$623.70	102721023	\$623.70	102730016	\$623.70
102714013	\$623.70	102721024	\$623.70	102730017	\$623.70
102714014	\$623.70	102721025	\$623.70	102730018	\$623.70
102714015	\$623.70	102721026	\$623.70	102730019	\$623.70
102714016	\$623.70	102721027	\$623.70	102730020	\$623.70
102714017	\$623.70	102721028	\$623.70	102730021	\$623.70
102714018	\$623.70	102721029	\$623.70	102730022	\$623.70
102714019	\$623.70	102721030	\$623.70	102730023	\$623.70
102714020	\$623.70	102721031	\$623.70	102730024	\$623.70
102714021	\$623.70	102721032	\$623.70	102730025	\$623.70
102714022	\$623.70	102721033	\$623.70	102730026	\$623.70
102714023	\$623.70	102721034	\$623.70	102730027	\$623.70
102714024	\$623.70	102721035	\$623.70	102730028	\$623.70
102714025	\$623.70	102721036	\$623.70	102730029	\$623.70
102714026	\$623.70	102721037	\$623.70	102730030	\$623.70
102714027	\$623.70	102721038	\$623.70	102730031	\$623.70
102714028	\$623.70	102722001	\$623.70	102730032	\$623.70
102714029	\$623.70	102722002	\$623.70	102730033	\$623.70
102714030	\$623.70	102722003	\$623.70	102730034	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102730035	\$623.70	102742027	\$623.70	102750019	\$623.70
102730036	\$623.70	102742028	\$623.70	102750020	\$623.70
102730037	\$623.70	102742029	\$623.70	102750021	\$623.70
102730038	\$623.70	102742030	\$623.70	102750022	\$623.70
102730039	\$623.70	102742031	\$623.70	102750023	\$623.70
102730040	\$623.70	102742034	\$623.70	102750024	\$623.70
102730041	\$623.70	102742035	\$623.70	102750025	\$623.70
102730042	\$623.70	102742036	\$623.70	102750026	\$623.70
102730043	\$623.70	102742037	\$623.70	102750027	\$623.70
102730044	\$623.70	102742038	\$623.70	102750028	\$623.70
102730045	\$623.70	102742039	\$623.70	102750029	\$623.70
102730046	\$623.70	102742040	\$623.70	102750030	\$623.70
102730047	\$623.70	102742041	\$623.70	102750031	\$623.70
102730048	\$623.70	102742042	\$623.70	102750032	\$623.70
102730049	\$623.70	102742043	\$623.70	102750033	\$623.70
102730050	\$623.70	102742044	\$623.70	102750034	\$623.70
102730051	\$623.70	102742045	\$623.70	102750035	\$623.70
102730052	\$623.70	102742046	\$623.70	102750036	\$623.70
102730053	\$623.70	102742047	\$623.70	102760003	\$623.70
102730054	\$623.70	102742048	\$623.70	102760018	\$623.70
102730055	\$623.70	102742049	\$623.70	102760019	\$623.70
102730056	\$623.70	102742050	\$623.70	102760020	\$623.70
102730057	\$623.70	102742051	\$623.70	102760021	\$623.70
102730058	\$623.70	102742057	\$623.70	102760023	\$623.70
102730059	\$623.70	102742059	\$623.70	102760024	\$623.70
102730060	\$623.70	102750001	\$623.70	102760025	\$623.70
102730061	\$623.70	102750002	\$623.70	102771001	\$623.70
102730062	\$623.70	102750003	\$623.70	102771002	\$623.70
102730063	\$623.70	102750004	\$623.70	102771003	\$623.70
102730064	\$623.70	102750005	\$623.70	102771004	\$623.70
102730065	\$623.70	102750006	\$623.70	102771005	\$623.70
102730066	\$623.70	102750007	\$623.70	102771006	\$623.70
102730067	\$623.70	102750008	\$623.70	102771007	\$623.70
102730068	\$623.70	102750009	\$623.70	102771008	\$623.70
102730069	\$623.70	102750010	\$623.70	102771009	\$623.70
102730070	\$623.70	102750011	\$623.70	102771010	\$623.70
102730071	\$623.70	102750012	\$623.70	102771011	\$623.70
102730072	\$623.70	102750013	\$623.70	102771012	\$623.70
102742021	\$623.70	102750014	\$623.70	102771013	\$623.70
102742022	\$623.70	102750015	\$623.70	102771014	\$623.70
102742023	\$623.70	102750016	\$623.70	102771015	\$623.70
102742025	\$623.70	102750017	\$623.70	102771016	\$623.70
102742026	\$623.70	102750018	\$623.70	102771017	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102771018	\$623.70	102772005	\$623.70	102773032	\$623.70
102771019	\$623.70	102772006	\$623.70	102773033	\$623.70
102771020	\$623.70	102772007	\$623.70	102773034	\$623.70
102771021	\$623.70	102772008	\$623.70	102774001	\$623.70
102771022	\$623.70	102772009	\$623.70	102774002	\$623.70
102771023	\$623.70	102772010	\$623.70	102774003	\$623.70
102771024	\$623.70	102772011	\$623.70	102774004	\$623.70
102771025	\$623.70	102772012	\$623.70	102774005	\$623.70
102771026	\$623.70	102772013	\$623.70	102774006	\$623.70
102771027	\$623.70	102772014	\$623.70	102774007	\$623.70
102771028	\$623.70	102772015	\$623.70	102774008	\$623.70
102771029	\$623.70	102772016	\$623.70	102774009	\$623.70
102771030	\$623.70	102773001	\$623.70	102774010	\$623.70
102771031	\$623.70	102773002	\$623.70	102774013	\$623.70
102771032	\$623.70	102773003	\$623.70	102774014	\$623.70
102771033	\$623.70	102773004	\$623.70	102774015	\$623.70
102771034	\$623.70	102773005	\$623.70	102774017	\$623.70
102771035	\$623.70	102773006	\$623.70	102774018	\$623.70
102771036	\$623.70	102773007	\$623.70	102774019	\$623.70
102771037	\$623.70	102773008	\$623.70	102774020	\$623.70
102771038	\$623.70	102773009	\$623.70	102774021	\$623.70
102771039	\$623.70	102773010	\$623.70	102774022	\$623.70
102771040	\$623.70	102773011	\$623.70	102774023	\$623.70
102771041	\$623.70	102773012	\$623.70	102774024	\$623.70
102771042	\$623.70	102773013	\$623.70	102774025	\$623.70
102771043	\$623.70	102773014	\$623.70	102774026	\$623.70
102771044	\$623.70	102773015	\$623.70	102774027	\$623.70
102771045	\$623.70	102773016	\$623.70	102774028	\$623.70
102771046	\$623.70	102773017	\$623.70	102774031	\$623.70
102771047	\$623.70	102773018	\$623.70	102774032	\$623.70
102771048	\$623.70	102773019	\$623.70	102774033	\$623.70
102771049	\$623.70	102773020	\$623.70	102791001	\$623.70
102771050	\$623.70	102773021	\$623.70	102791002	\$623.70
102771051	\$623.70	102773022	\$623.70	102791003	\$623.70
102771052	\$623.70	102773023	\$623.70	102791004	\$623.70
102771053	\$623.70	102773024	\$623.70	102791005	\$623.70
102771054	\$623.70	102773025	\$623.70	102791006	\$623.70
102771055	\$623.70	102773026	\$623.70	102791007	\$623.70
102771056	\$623.70	102773027	\$623.70	102791008	\$623.70
102772001	\$623.70	102773028	\$623.70	102792001	\$623.70
102772002	\$623.70	102773029	\$623.70	102792002	\$623.70
102772003	\$623.70	102773030	\$623.70	102792003	\$623.70
102772004	\$623.70	102773031	\$623.70	102792004	\$623.70

# Assessment Roll

68-2290 - LMD 84-2 Zone 10

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102792005	\$623.70	102802011	\$623.70	102811022	\$623.70
102792006	\$623.70	102802012	\$623.70	102811023	\$623.70
102792007	\$623.70	102802013	\$623.70	102811024	\$623.70
102792008	\$623.70	102802014	\$623.70	102811025	\$623.70
102792009	\$623.70	102802015	\$623.70	102812001	\$623.70
102792010	\$623.70	102802016	\$623.70	102830002	\$107,777.08
102792011	\$623.70	102802017	\$623.70	102830006	\$4,521.88
102792012	\$623.70	102802018	\$623.70	102830007	\$9,636.30
102792013	\$623.70	102802019	\$623.70	102830008	\$11,507.44
102792014	\$623.70	102802020	\$623.70	102830009	\$2,463.64
102792015	\$623.70	102802021	\$623.70	102830010	\$1,995.86
102792016	\$623.70	102811001	\$623.70	102830011	\$3,586.32
102792017	\$623.70	102811002	\$623.70	102830012	\$6,237.10
102792018	\$623.70	102811004	\$623.70	112120001	\$623.70
102801005	\$623.70	102811005	\$623.70	112120002	\$623.70
102801008	\$623.70	102811006	\$623.70	112120003	\$623.70
102801009	\$623.70	102811007	\$623.70	112120004	\$623.70
102801010	\$623.70	102811008	\$623.70	112120005	\$623.70
102801011	\$623.70	102811009	\$623.70	112120006	\$623.70
102802001	\$623.70	102811010	\$623.70	112120007	\$623.70
102802002	\$623.70	102811011	\$623.70	112120008	\$623.70
102802003	\$623.70	102811013	\$623.70	112120009	\$623.70
102802004	\$623.70	102811015	\$623.70	112120010	\$623.70
102802005	\$623.70	102811016	\$623.70	112120011	\$623.70
102802006	\$623.70	102811017	\$623.70	112120012	\$623.70
102802007	\$623.70	102811018	\$623.70	112120013	\$623.70
102802008	\$623.70	102811019	\$623.70	112120014	\$623.70
102802009	\$623.70	102811020	\$623.70	112120015	\$623.70
102802010	\$623.70	102811021	\$623.70	112120016	\$623.70

**Totals**

**Parcels 2,925**

**Levy \$2,139,202.62**

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
115541001	\$255.32	115543002	\$255.32	115552012	\$255.32
115541002	\$255.32	115543003	\$255.32	115552013	\$255.32
115541003	\$255.32	115543004	\$255.32	115552014	\$255.32
115541004	\$255.32	115543005	\$255.32	122210035	\$1,314.96
115541005	\$255.32	115543006	\$255.32	122210053	\$255.32
115541006	\$255.32	115543007	\$255.32	122210056	\$255.32
115541007	\$255.32	115543008	\$255.32	122210057	\$255.32
115541008	\$255.32	115543009	\$255.32	122210058	\$255.32
115541009	\$255.32	115543010	\$255.32	122210059	\$255.32
115541010	\$255.32	115543011	\$255.32	122210060	\$255.32
115541011	\$255.32	115543012	\$255.32	122210061	\$255.32
115541012	\$255.32	115543013	\$255.32	122210072	\$255.32
115541013	\$255.32	115543014	\$255.32	122210073	\$255.32
115541014	\$255.32	115543015	\$255.32	122210075	\$255.32
115541015	\$255.32	115543016	\$255.32	122210076	\$255.32
115541016	\$255.32	115543017	\$255.32	122210080	\$255.32
115541017	\$255.32	115543018	\$255.32	122210082	\$255.32
115541018	\$255.32	115551001	\$255.32	122210083	\$255.32
115541019	\$255.32	115551002	\$255.32	122210084	\$255.32
115541020	\$255.32	115551003	\$255.32	122251001	\$255.32
115541021	\$255.32	115551004	\$255.32	122251002	\$255.32
115541022	\$255.32	115551005	\$255.32	122251003	\$255.32
115541023	\$255.32	115551006	\$255.32	122251004	\$255.32
115541024	\$255.32	115551007	\$255.32	122251005	\$255.32
115541025	\$255.32	115551008	\$255.32	122251006	\$255.32
115541026	\$255.32	115551009	\$255.32	122251007	\$255.32
115541027	\$255.32	115551010	\$255.32	122251008	\$255.32
115541028	\$255.32	115551011	\$255.32	122251009	\$255.32
115542001	\$255.32	115551012	\$255.32	122251010	\$255.32
115542002	\$255.32	115551013	\$255.32	122251011	\$255.32
115542003	\$255.32	115551014	\$255.32	122251012	\$255.32
115542004	\$255.32	115551015	\$255.32	122251013	\$255.32
115542005	\$255.32	115552001	\$255.32	122251014	\$255.32
115542006	\$255.32	115552002	\$255.32	122251015	\$255.32
115542007	\$255.32	115552003	\$255.32	122251016	\$255.32
115542008	\$255.32	115552004	\$255.32	122251017	\$255.32
115542009	\$255.32	115552005	\$255.32	122251018	\$255.32
115542010	\$255.32	115552006	\$255.32	122251019	\$255.32
115542011	\$255.32	115552007	\$255.32	122251020	\$255.32
115542012	\$255.32	115552008	\$255.32	122251021	\$255.32
115542013	\$255.32	115552009	\$255.32	122251022	\$255.32
115542014	\$255.32	115552010	\$255.32	122251024	\$255.32
115543001	\$255.32	115552011	\$255.32	122251025	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122251026	\$255.32	122251070	\$255.32	122252034	\$255.32
122251027	\$255.32	122251071	\$255.32	122252035	\$255.32
122251028	\$255.32	122251072	\$255.32	122252036	\$255.32
122251029	\$255.32	122251073	\$255.32	122252037	\$255.32
122251030	\$255.32	122251074	\$255.32	122252038	\$255.32
122251031	\$255.32	122251075	\$255.32	122252039	\$255.32
122251032	\$255.32	122251076	\$255.32	122252040	\$255.32
122251033	\$255.32	122251077	\$255.32	122252041	\$255.32
122251034	\$255.32	122251078	\$255.32	122252042	\$255.32
122251035	\$255.32	122251079	\$255.32	122252043	\$255.32
122251036	\$255.32	122251080	\$255.32	122253001	\$255.32
122251037	\$255.32	122252001	\$255.32	122253002	\$255.32
122251038	\$255.32	122252002	\$255.32	122253003	\$255.32
122251039	\$255.32	122252003	\$255.32	122253004	\$255.32
122251040	\$255.32	122252004	\$255.32	122253005	\$255.32
122251041	\$255.32	122252005	\$255.32	122253006	\$255.32
122251042	\$255.32	122252006	\$255.32	122253007	\$255.32
122251043	\$255.32	122252007	\$255.32	122253009	\$255.32
122251044	\$255.32	122252008	\$255.32	122253010	\$255.32
122251045	\$255.32	122252009	\$255.32	122253011	\$255.32
122251046	\$255.32	122252010	\$255.32	122253012	\$255.32
122251047	\$255.32	122252011	\$255.32	122253013	\$255.32
122251048	\$255.32	122252012	\$255.32	122253014	\$255.32
122251049	\$255.32	122252013	\$255.32	122253015	\$255.32
122251051	\$255.32	122252014	\$255.32	122253016	\$255.32
122251052	\$255.32	122252015	\$255.32	122253017	\$255.32
122251053	\$255.32	122252016	\$255.32	122253018	\$255.32
122251054	\$255.32	122252017	\$255.32	122253019	\$255.32
122251055	\$255.32	122252018	\$255.32	122253020	\$255.32
122251056	\$255.32	122252020	\$255.32	122253021	\$255.32
122251057	\$255.32	122252021	\$255.32	122253022	\$255.32
122251058	\$255.32	122252022	\$255.32	122253023	\$255.32
122251059	\$255.32	122252023	\$255.32	122253024	\$255.32
122251060	\$255.32	122252024	\$255.32	122253025	\$255.32
122251061	\$255.32	122252025	\$255.32	122253026	\$255.32
122251062	\$255.32	122252026	\$255.32	122253027	\$255.32
122251063	\$255.32	122252027	\$255.32	122253028	\$255.32
122251064	\$255.32	122252028	\$255.32	122253029	\$255.32
122251065	\$255.32	122252029	\$255.32	122253030	\$255.32
122251066	\$255.32	122252030	\$255.32	122253031	\$255.32
122251067	\$255.32	122252031	\$255.32	122253032	\$255.32
122251068	\$255.32	122252032	\$255.32	122253033	\$255.32
122251069	\$255.32	122252033	\$255.32	122253035	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122253036	\$255.32	122261021	\$255.32	122262028	\$255.32
122253037	\$255.32	122261022	\$255.32	122262029	\$255.32
122253038	\$255.32	122261023	\$255.32	122262030	\$255.32
122253039	\$255.32	122261024	\$255.32	122271001	\$255.32
122253040	\$255.32	122261025	\$255.32	122271002	\$255.32
122253041	\$255.32	122261026	\$255.32	122271003	\$255.32
122253042	\$255.32	122261027	\$255.32	122271004	\$255.32
122253043	\$255.32	122261028	\$255.32	122271005	\$255.32
122253044	\$255.32	122261029	\$255.32	122271006	\$255.32
122253045	\$255.32	122261030	\$255.32	122271007	\$255.32
122253046	\$255.32	122261031	\$255.32	122271008	\$255.32
122253047	\$255.32	122261033	\$255.32	122271009	\$255.32
122253048	\$255.32	122261034	\$255.32	122271010	\$255.32
122253049	\$255.32	122261035	\$255.32	122271011	\$255.32
122253050	\$255.32	122261036	\$255.32	122271012	\$255.32
122253051	\$255.32	122261037	\$255.32	122271013	\$255.32
122253052	\$255.32	122262001	\$255.32	122271014	\$255.32
122253053	\$255.32	122262002	\$255.32	122271015	\$255.32
122253054	\$255.32	122262003	\$255.32	122271016	\$255.32
122253055	\$255.32	122262004	\$255.32	122271017	\$255.32
122253056	\$255.32	122262005	\$255.32	122271018	\$255.32
122253057	\$255.32	122262006	\$255.32	122271020	\$255.32
122253058	\$255.32	122262007	\$255.32	122271021	\$255.32
122261001	\$255.32	122262008	\$255.32	122271022	\$255.32
122261002	\$255.32	122262009	\$255.32	122271023	\$255.32
122261003	\$255.32	122262010	\$255.32	122271024	\$255.32
122261004	\$255.32	122262011	\$255.32	122271025	\$255.32
122261005	\$255.32	122262012	\$255.32	122271026	\$255.32
122261006	\$255.32	122262013	\$255.32	122271027	\$255.32
122261007	\$255.32	122262014	\$255.32	122271028	\$255.32
122261008	\$255.32	122262015	\$255.32	122271029	\$255.32
122261009	\$255.32	122262016	\$255.32	122271030	\$255.32
122261010	\$255.32	122262017	\$255.32	122271031	\$255.32
122261011	\$255.32	122262018	\$255.32	122271032	\$255.32
122261012	\$255.32	122262019	\$255.32	122271033	\$255.32
122261013	\$255.32	122262020	\$255.32	122271034	\$255.32
122261014	\$255.32	122262021	\$255.32	122271035	\$255.32
122261015	\$255.32	122262022	\$255.32	122271036	\$255.32
122261016	\$255.32	122262023	\$255.32	122271037	\$255.32
122261017	\$255.32	122262024	\$255.32	122271038	\$255.32
122261018	\$255.32	122262025	\$255.32	122271039	\$255.32
122261019	\$255.32	122262026	\$255.32	122271040	\$255.32
122261020	\$255.32	122262027	\$255.32	122271041	\$255.32



## Assessment Roll

68-2294 - LMD 84-2 Zone 14  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122271042	\$255.32	122272020	\$255.32	122282018	\$255.32
122271043	\$255.32	122272021	\$255.32	122282019	\$255.32
122271045	\$255.32	122272022	\$255.32	122282020	\$255.32
122271046	\$255.32	122272023	\$255.32	122282021	\$255.32
122271047	\$255.32	122281001	\$255.32	122282022	\$255.32
122271048	\$255.32	122281002	\$255.32	122282023	\$255.32
122271049	\$255.32	122281003	\$255.32	122282024	\$255.32
122271050	\$255.32	122281004	\$255.32	122291001	\$255.32
122271051	\$255.32	122281005	\$255.32	122291002	\$255.32
122271052	\$255.32	122281006	\$255.32	122291003	\$255.32
122271053	\$255.32	122281007	\$255.32	122291004	\$255.32
122271054	\$255.32	122281008	\$255.32	122291005	\$255.32
122271055	\$255.32	122281009	\$255.32	122291006	\$255.32
122271056	\$255.32	122281010	\$255.32	122291007	\$255.32
122271057	\$255.32	122281011	\$255.32	122291008	\$255.32
122271058	\$255.32	122281012	\$255.32	122291009	\$255.32
122271059	\$255.32	122281013	\$255.32	122291010	\$255.32
122271060	\$255.32	122281014	\$255.32	122291011	\$255.32
122271061	\$255.32	122281017	\$255.32	122291012	\$255.32
122271062	\$255.32	122281020	\$255.32	122291013	\$255.32
122271063	\$255.32	122281021	\$255.32	122291014	\$255.32
122271064	\$255.32	122281022	\$255.32	122291015	\$255.32
122271065	\$255.32	122281023	\$255.32	122291016	\$255.32
122271066	\$255.32	122281026	\$255.32	122291017	\$255.32
122272001	\$255.32	122281027	\$255.32	122291018	\$255.32
122272002	\$255.32	122281028	\$255.32	122292001	\$255.32
122272003	\$255.32	122281029	\$255.32	122292002	\$255.32
122272004	\$255.32	122281031	\$255.32	122292003	\$255.32
122272005	\$255.32	122281032	\$255.32	122292004	\$255.32
122272006	\$255.32	122281033	\$255.32	122292005	\$255.32
122272007	\$255.32	122282001	\$255.32	122292006	\$255.32
122272008	\$255.32	122282002	\$255.32	122292007	\$255.32
122272009	\$255.32	122282003	\$255.32	122292008	\$255.32
122272010	\$255.32	122282004	\$255.32	122311001	\$255.32
122272011	\$255.32	122282005	\$255.32	122311002	\$255.32
122272012	\$255.32	122282006	\$255.32	122311003	\$255.32
122272013	\$255.32	122282007	\$255.32	122311004	\$255.32
122272014	\$255.32	122282008	\$255.32	122311005	\$255.32
122272015	\$255.32	122282009	\$255.32	122311006	\$255.32
122272016	\$255.32	122282010	\$255.32	122311007	\$255.32
122272017	\$255.32	122282015	\$255.32	122311008	\$255.32
122272018	\$255.32	122282016	\$255.32	122311009	\$255.32
122272019	\$255.32	122282017	\$255.32	122311010	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122311011	\$255.32	122323005	\$255.32	122340003	\$255.32
122311012	\$255.32	122323006	\$255.32	122340004	\$255.32
122311013	\$255.32	122323007	\$255.32	122340005	\$255.32
122311014	\$255.32	122323008	\$255.32	122340006	\$255.32
122311015	\$255.32	122323009	\$255.32	122340007	\$255.32
122311016	\$255.32	122323010	\$255.32	122340008	\$255.32
122311017	\$255.32	122331001	\$255.32	122340009	\$255.32
122311018	\$255.32	122331002	\$255.32	122340010	\$255.32
122311019	\$255.32	122331003	\$255.32	122340011	\$255.32
122311020	\$255.32	122331004	\$255.32	122340012	\$255.32
122311021	\$255.32	122331005	\$255.32	122340013	\$255.32
122312001	\$255.32	122331006	\$255.32	122340014	\$255.32
122312002	\$255.32	122331007	\$255.32	122340015	\$255.32
122312003	\$255.32	122331008	\$255.32	122340016	\$255.32
122312004	\$255.32	122331009	\$255.32	122340017	\$255.32
122312005	\$255.32	122331010	\$255.32	122340018	\$255.32
122312006	\$255.32	122331011	\$255.32	122340019	\$255.32
122312007	\$255.32	122331012	\$255.32	122340020	\$255.32
122312008	\$255.32	122331013	\$255.32	122340021	\$255.32
122312009	\$255.32	122332001	\$255.32	122340022	\$255.32
122312010	\$255.32	122332002	\$255.32	122340023	\$255.32
122312011	\$255.32	122332003	\$255.32	122340024	\$255.32
122321001	\$255.32	122332004	\$255.32	122340025	\$255.32
122321002	\$255.32	122332005	\$255.32	122340026	\$255.32
122321003	\$255.32	122332006	\$255.32	122340036	\$255.32
122321004	\$255.32	122332007	\$255.32	122340037	\$255.32
122321005	\$255.32	122332008	\$255.32	122340038	\$255.32
122321006	\$255.32	122332009	\$255.32	122340042	\$255.32
122321007	\$255.32	122332010	\$255.32	122340043	\$255.32
122321008	\$255.32	122332011	\$255.32	122340044	\$255.32
122321009	\$255.32	122332012	\$255.32	122340045	\$255.32
122321010	\$255.32	122332013	\$255.32	122340046	\$255.32
122321011	\$255.32	122332014	\$255.32	122340047	\$255.32
122321012	\$255.32	122332015	\$255.32	122340048	\$255.32
122322001	\$255.32	122332016	\$255.32	122340049	\$255.32
122322002	\$255.32	122332017	\$255.32	122340050	\$255.32
122322003	\$255.32	122332018	\$255.32	122351005	\$255.32
122322004	\$255.32	122332019	\$255.32	122351006	\$255.32
122322005	\$255.32	122332020	\$255.32	122351011	\$255.32
122323001	\$255.32	122332021	\$255.32	122351012	\$255.32
122323002	\$255.32	122332022	\$255.32	122351013	\$255.32
122323003	\$255.32	122340001	\$255.32	122351014	\$255.32
122323004	\$255.32	122340002	\$255.32	122351015	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122351016	\$255.32	122361012	\$255.32	122371020	\$255.32
122351017	\$255.32	122361013	\$255.32	122372001	\$255.32
122351018	\$255.32	122361014	\$255.32	122372002	\$255.32
122351019	\$255.32	122361015	\$255.32	122372003	\$255.32
122351020	\$255.32	122361017	\$255.32	122372004	\$255.32
122351021	\$255.32	122361018	\$255.32	122372005	\$255.32
122351034	\$255.32	122361019	\$255.32	122372006	\$255.32
122351035	\$255.32	122361021	\$255.32	122372007	\$255.32
122351036	\$255.32	122361022	\$255.32	122372008	\$255.32
122351037	\$255.32	122362001	\$255.32	122372009	\$255.32
122351038	\$255.32	122362002	\$255.32	122372014	\$255.32
122351039	\$255.32	122362003	\$255.32	122372015	\$255.32
122351040	\$255.32	122362009	\$255.32	122372016	\$255.32
122351041	\$255.32	122362010	\$255.32	122372017	\$255.32
122351042	\$255.32	122362011	\$255.32	122372018	\$255.32
122351043	\$255.32	122362012	\$255.32	122372019	\$255.32
122351044	\$255.32	122362013	\$255.32	122372020	\$255.32
122351045	\$255.32	122363009	\$255.32	122372021	\$255.32
122351046	\$255.32	122363011	\$255.32	122372022	\$255.32
122351047	\$255.32	122363012	\$255.32	122372023	\$255.32
122351048	\$255.32	122363013	\$255.32	122372024	\$255.32
122351049	\$255.32	122363014	\$255.32	122372025	\$255.32
122351050	\$255.32	122363015	\$255.32	122372026	\$255.32
122352001	\$255.32	122363016	\$255.32	122372027	\$255.32
122352002	\$255.32	122363017	\$255.32	122372028	\$255.32
122352003	\$255.32	122363018	\$255.32	122372029	\$255.32
122352004	\$255.32	122371001	\$255.32	122372030	\$255.32
122352005	\$255.32	122371002	\$255.32	122372031	\$255.32
122352006	\$255.32	122371003	\$255.32	122372032	\$255.32
122352015	\$255.32	122371004	\$255.32	122372033	\$255.32
122352016	\$255.32	122371005	\$255.32	122372034	\$255.32
122352017	\$255.32	122371006	\$255.32	122372035	\$255.32
122352018	\$255.32	122371007	\$255.32	122372036	\$255.32
122352019	\$255.32	122371008	\$255.32	122373001	\$255.32
122352020	\$255.32	122371009	\$255.32	122373002	\$255.32
122352021	\$255.32	122371012	\$255.32	122373003	\$255.32
122352022	\$255.32	122371013	\$255.32	122373004	\$255.32
122361001	\$255.32	122371014	\$255.32	122373005	\$255.32
122361002	\$255.32	122371015	\$255.32	122373006	\$255.32
122361008	\$255.32	122371016	\$255.32	122373007	\$255.32
122361009	\$255.32	122371017	\$255.32	122373008	\$255.32
122361010	\$255.32	122371018	\$255.32	122373009	\$255.32
122361011	\$255.32	122371019	\$255.32	122373010	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122381001	\$255.32	122382035	\$255.32	122410002	\$255.32
122381004	\$255.32	122382036	\$255.32	122410003	\$255.32
122381005	\$255.32	122383001	\$255.32	122410004	\$255.32
122381006	\$255.32	122383002	\$255.32	122410007	\$9,255.88
122381007	\$255.32	122383003	\$255.32	122411001	\$153.20
122381008	\$255.32	122383004	\$255.32	122411002	\$153.20
122381009	\$255.32	122383005	\$255.32	122411003	\$153.20
122381010	\$255.32	122391001	\$255.32	122411004	\$153.20
122381011	\$255.32	122391002	\$255.32	122411005	\$153.20
122382001	\$255.32	122391003	\$255.32	122411006	\$153.20
122382002	\$255.32	122391004	\$255.32	122411007	\$153.20
122382003	\$255.32	122392001	\$255.32	122411008	\$153.20
122382004	\$255.32	122392002	\$255.32	122411009	\$153.20
122382005	\$255.32	122392003	\$255.32	122411010	\$153.20
122382006	\$255.32	122392004	\$255.32	122411011	\$153.20
122382007	\$255.32	122392005	\$255.32	122411012	\$153.20
122382008	\$255.32	122392006	\$255.32	122411013	\$153.20
122382009	\$255.32	122392007	\$255.32	122411014	\$153.20
122382010	\$255.32	122392008	\$255.32	122411015	\$153.20
122382011	\$255.32	122392009	\$255.32	122411016	\$153.20
122382012	\$255.32	122392010	\$255.32	122411017	\$153.20
122382013	\$255.32	122392011	\$255.32	122411018	\$153.20
122382014	\$255.32	122392012	\$255.32	122411019	\$153.20
122382015	\$255.32	122393001	\$255.32	122411020	\$153.20
122382016	\$255.32	122393002	\$255.32	122411021	\$153.20
122382017	\$255.32	122393003	\$255.32	122411022	\$153.20
122382018	\$255.32	122393004	\$255.32	122411023	\$153.20
122382019	\$255.32	122393005	\$255.32	122411024	\$153.20
122382020	\$255.32	122393006	\$255.32	122411025	\$153.20
122382021	\$255.32	122393007	\$255.32	122411026	\$153.20
122382022	\$255.32	122393008	\$255.32	122411027	\$153.20
122382023	\$255.32	122393009	\$255.32	122411028	\$153.20
122382024	\$255.32	122393010	\$255.32	122411029	\$153.20
122382025	\$255.32	122393011	\$255.32	122411030	\$153.20
122382026	\$255.32	122393012	\$255.32	122411032	\$153.20
122382027	\$255.32	122393013	\$255.32	122411033	\$153.20
122382028	\$255.32	122393014	\$255.32	122411034	\$153.20
122382029	\$255.32	122393015	\$255.32	122411035	\$153.20
122382030	\$255.32	122393016	\$255.32	122411036	\$153.20
122382031	\$255.32	122393017	\$255.32	122411037	\$153.20
122382032	\$255.32	122393018	\$255.32	122411038	\$153.20
122382033	\$255.32	122393019	\$255.32	122411039	\$153.20
122382034	\$255.32	122393020	\$255.32	122411040	\$153.20

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122411041	\$153.20	122412020	\$153.20	122412063	\$153.20
122411042	\$153.20	122412021	\$153.20	122412064	\$153.20
122411043	\$153.20	122412022	\$153.20	122412065	\$153.20
122411044	\$153.20	122412023	\$153.20	122412066	\$153.20
122411045	\$153.20	122412024	\$153.20	122412067	\$153.20
122411046	\$153.20	122412025	\$153.20	122412068	\$153.20
122411047	\$153.20	122412026	\$153.20	122412069	\$153.20
122411048	\$153.20	122412027	\$153.20	122412070	\$153.20
122411049	\$153.20	122412028	\$153.20	122412071	\$153.20
122411050	\$153.20	122412029	\$153.20	122412072	\$153.20
122411051	\$153.20	122412030	\$153.20	122413001	\$153.20
122411052	\$153.20	122412031	\$153.20	122413002	\$153.20
122411053	\$153.20	122412032	\$153.20	122413003	\$153.20
122411054	\$153.20	122412033	\$153.20	122413004	\$153.20
122411055	\$153.20	122412034	\$153.20	122413005	\$153.20
122411056	\$153.20	122412035	\$153.20	122413006	\$153.20
122411057	\$153.20	122412036	\$153.20	122413007	\$153.20
122411058	\$153.20	122412037	\$153.20	122413008	\$153.20
122411059	\$153.20	122412038	\$153.20	122413009	\$153.20
122411060	\$153.20	122412039	\$153.20	122413010	\$153.20
122411061	\$153.20	122412040	\$153.20	122413011	\$153.20
122411062	\$153.20	122412041	\$153.20	122413012	\$153.20
122411063	\$153.20	122412042	\$153.20	122413013	\$153.20
122411064	\$153.20	122412043	\$153.20	122413014	\$153.20
122412001	\$153.20	122412044	\$153.20	122413015	\$153.20
122412002	\$153.20	122412045	\$153.20	122413016	\$153.20
122412003	\$153.20	122412046	\$153.20	122413017	\$153.20
122412004	\$153.20	122412047	\$153.20	122413018	\$153.20
122412005	\$153.20	122412048	\$153.20	122413019	\$153.20
122412006	\$153.20	122412049	\$153.20	122413020	\$153.20
122412007	\$153.20	122412050	\$153.20	122413021	\$153.20
122412008	\$153.20	122412051	\$153.20	122413022	\$153.20
122412009	\$153.20	122412052	\$153.20	122413023	\$153.20
122412010	\$153.20	122412053	\$153.20	122413024	\$153.20
122412011	\$153.20	122412054	\$153.20	122413025	\$153.20
122412012	\$153.20	122412055	\$153.20	122413026	\$153.20
122412013	\$153.20	122412056	\$153.20	122413027	\$153.20
122412014	\$153.20	122412057	\$153.20	122413028	\$153.20
122412015	\$153.20	122412058	\$153.20	122413029	\$153.20
122412016	\$153.20	122412059	\$153.20	122413030	\$153.20
122412017	\$153.20	122412060	\$153.20	122413031	\$153.20
122412018	\$153.20	122412061	\$153.20	122413032	\$153.20
122412019	\$153.20	122412062	\$153.20	122413033	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122413034	\$153.20	122414005	\$153.20	122414048	\$153.20
122413035	\$153.20	122414006	\$153.20	122414049	\$153.20
122413036	\$153.20	122414007	\$153.20	122414050	\$153.20
122413037	\$153.20	122414008	\$153.20	122414051	\$153.20
122413038	\$153.20	122414009	\$153.20	122414052	\$153.20
122413039	\$153.20	122414010	\$153.20	122414053	\$153.20
122413040	\$153.20	122414011	\$153.20	122414054	\$153.20
122413041	\$153.20	122414012	\$153.20	122414055	\$153.20
122413042	\$153.20	122414013	\$153.20	122414056	\$153.20
122413043	\$153.20	122414014	\$153.20	122414057	\$153.20
122413044	\$153.20	122414015	\$153.20	122414058	\$153.20
122413045	\$153.20	122414016	\$153.20	122414059	\$153.20
122413046	\$153.20	122414017	\$153.20	122414060	\$153.20
122413047	\$153.20	122414018	\$153.20	122414061	\$153.20
122413048	\$153.20	122414019	\$153.20	122414062	\$153.20
122413049	\$153.20	122414020	\$153.20	122414063	\$153.20
122413050	\$153.20	122414021	\$153.20	122414064	\$153.20
122413051	\$153.20	122414022	\$153.20	122414065	\$153.20
122413052	\$153.20	122414023	\$153.20	122414066	\$153.20
122413053	\$153.20	122414024	\$153.20	122414067	\$153.20
122413054	\$153.20	122414025	\$153.20	122414068	\$153.20
122413055	\$153.20	122414026	\$153.20	122414069	\$153.20
122413056	\$153.20	122414027	\$153.20	122414070	\$153.20
122413057	\$153.20	122414028	\$153.20	122414071	\$153.20
122413058	\$153.20	122414029	\$153.20	122414072	\$153.20
122413059	\$153.20	122414030	\$153.20	122415001	\$153.20
122413060	\$153.20	122414031	\$153.20	122415002	\$153.20
122413061	\$153.20	122414032	\$153.20	122415003	\$153.20
122413062	\$153.20	122414033	\$153.20	122415004	\$153.20
122413063	\$153.20	122414034	\$153.20	122415005	\$153.20
122413064	\$153.20	122414035	\$153.20	122415006	\$153.20
122413065	\$153.20	122414036	\$153.20	122415007	\$153.20
122413066	\$153.20	122414037	\$153.20	122415008	\$153.20
122413067	\$153.20	122414038	\$153.20	122415009	\$153.20
122413068	\$153.20	122414039	\$153.20	122415010	\$153.20
122413069	\$153.20	122414040	\$153.20	122415011	\$153.20
122413070	\$153.20	122414041	\$153.20	122415012	\$153.20
122413071	\$153.20	122414042	\$153.20	122415013	\$153.20
122413072	\$153.20	122414043	\$153.20	122415014	\$153.20
122414001	\$153.20	122414044	\$153.20	122415015	\$153.20
122414002	\$153.20	122414045	\$153.20	122415016	\$153.20
122414003	\$153.20	122414046	\$153.20	122415017	\$153.20
122414004	\$153.20	122414047	\$153.20	122415018	\$153.20

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122415019	\$153.20	122415062	\$153.20	122415105	\$153.20
122415020	\$153.20	122415063	\$153.20	122415106	\$153.20
122415021	\$153.20	122415064	\$153.20	122415107	\$153.20
122415022	\$153.20	122415065	\$153.20	122415108	\$153.20
122415023	\$153.20	122415066	\$153.20	122415109	\$153.20
122415024	\$153.20	122415067	\$153.20	122415110	\$153.20
122415025	\$153.20	122415068	\$153.20	122415111	\$153.20
122415026	\$153.20	122415069	\$153.20	122415112	\$153.20
122415027	\$153.20	122415070	\$153.20	122421001	\$255.32
122415028	\$153.20	122415071	\$153.20	122421002	\$255.32
122415029	\$153.20	122415072	\$153.20	122421003	\$255.32
122415030	\$153.20	122415073	\$153.20	122421004	\$255.32
122415031	\$153.20	122415074	\$153.20	122421005	\$255.32
122415032	\$153.20	122415075	\$153.20	122421006	\$255.32
122415033	\$153.20	122415076	\$153.20	122421007	\$255.32
122415034	\$153.20	122415077	\$153.20	122421008	\$255.32
122415035	\$153.20	122415078	\$153.20	122421009	\$255.32
122415036	\$153.20	122415079	\$153.20	122421010	\$255.32
122415037	\$153.20	122415080	\$153.20	122421011	\$255.32
122415038	\$153.20	122415081	\$153.20	122421012	\$255.32
122415039	\$153.20	122415082	\$153.20	122421013	\$255.32
122415040	\$153.20	122415083	\$153.20	122421017	\$255.32
122415041	\$153.20	122415084	\$153.20	122421018	\$255.32
122415042	\$153.20	122415085	\$153.20	122421019	\$255.32
122415043	\$153.20	122415086	\$153.20	122421020	\$255.32
122415044	\$153.20	122415087	\$153.20	122421021	\$255.32
122415045	\$153.20	122415088	\$153.20	122421022	\$255.32
122415046	\$153.20	122415089	\$153.20	122421023	\$255.32
122415047	\$153.20	122415090	\$153.20	122421024	\$255.32
122415048	\$153.20	122415091	\$153.20	122421025	\$255.32
122415049	\$153.20	122415092	\$153.20	122421026	\$255.32
122415050	\$153.20	122415093	\$153.20	122421027	\$255.32
122415051	\$153.20	122415094	\$153.20	122421028	\$255.32
122415052	\$153.20	122415095	\$153.20	122421029	\$255.32
122415053	\$153.20	122415096	\$153.20	122421030	\$255.32
122415054	\$153.20	122415097	\$153.20	122421031	\$255.32
122415055	\$153.20	122415098	\$153.20	122421032	\$255.32
122415056	\$153.20	122415099	\$153.20	122421033	\$255.32
122415057	\$153.20	122415100	\$153.20	122421034	\$255.32
122415058	\$153.20	122415101	\$153.20	122421035	\$255.32
122415059	\$153.20	122415102	\$153.20	122421036	\$255.32
122415060	\$153.20	122415103	\$153.20	122421037	\$255.32
122415061	\$153.20	122415104	\$153.20	122421038	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122421040	\$255.32	122422024	\$255.32	122432003	\$255.32
122421041	\$255.32	122422025	\$255.32	122432004	\$255.32
122421042	\$255.32	122422026	\$255.32	122432005	\$255.32
122421043	\$255.32	122422027	\$255.32	122432006	\$255.32
122421044	\$255.32	122431001	\$255.32	122432007	\$255.32
122421045	\$255.32	122431002	\$255.32	122432008	\$255.32
122421046	\$255.32	122431003	\$255.32	122432009	\$255.32
122421047	\$255.32	122431004	\$255.32	122433001	\$255.32
122421048	\$255.32	122431005	\$255.32	122433002	\$255.32
122421049	\$255.32	122431006	\$255.32	122433003	\$255.32
122421050	\$255.32	122431007	\$255.32	122433004	\$255.32
122421051	\$255.32	122431008	\$255.32	122433005	\$255.32
122421052	\$255.32	122431009	\$255.32	122433006	\$255.32
122421053	\$255.32	122431010	\$255.32	122433007	\$255.32
122421054	\$255.32	122431011	\$255.32	122433008	\$255.32
122421055	\$255.32	122431012	\$255.32	122433009	\$255.32
122421056	\$255.32	122431013	\$255.32	122433010	\$255.32
122421057	\$255.32	122431014	\$255.32	122433011	\$255.32
122421058	\$255.32	122431015	\$255.32	122433012	\$255.32
122421059	\$255.32	122431016	\$255.32	122433013	\$255.32
122422001	\$255.32	122431017	\$255.32	122433014	\$255.32
122422002	\$255.32	122431018	\$255.32	122433015	\$255.32
122422003	\$255.32	122431019	\$255.32	122433016	\$255.32
122422004	\$255.32	122431020	\$255.32	122433017	\$255.32
122422005	\$255.32	122431021	\$255.32	122433018	\$255.32
122422006	\$255.32	122431022	\$255.32	122433019	\$255.32
122422007	\$255.32	122431023	\$255.32	122433020	\$255.32
122422008	\$255.32	122431024	\$255.32	122433021	\$255.32
122422009	\$255.32	122431025	\$255.32	122441001	\$255.32
122422010	\$255.32	122431026	\$255.32	122441002	\$255.32
122422011	\$255.32	122431027	\$255.32	122441003	\$255.32
122422012	\$255.32	122431028	\$255.32	122441004	\$255.32
122422013	\$255.32	122431029	\$255.32	122441005	\$255.32
122422014	\$255.32	122431030	\$255.32	122441006	\$255.32
122422015	\$255.32	122431031	\$255.32	122441007	\$255.32
122422016	\$255.32	122431032	\$255.32	122441008	\$255.32
122422017	\$255.32	122431033	\$255.32	122441009	\$255.32
122422018	\$255.32	122431034	\$255.32	122441010	\$255.32
122422019	\$255.32	122431035	\$255.32	122441011	\$255.32
122422020	\$255.32	122431036	\$255.32	122441012	\$255.32
122422021	\$255.32	122431037	\$255.32	122441013	\$255.32
122422022	\$255.32	122432001	\$255.32	122441014	\$255.32
122422023	\$255.32	122432002	\$255.32	122441015	\$255.32



## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122441016	\$255.32	122441061	\$255.32	122462007	\$255.32
122441017	\$255.32	122441062	\$255.32	122462008	\$255.32
122441018	\$255.32	122441063	\$255.32	122462009	\$255.32
122441019	\$255.32	122441064	\$255.32	122462010	\$255.32
122441020	\$255.32	122441065	\$255.32	122462011	\$255.32
122441021	\$255.32	122441066	\$255.32	122462012	\$255.32
122441023	\$255.32	122441067	\$255.32	122462013	\$255.32
122441024	\$255.32	122441068	\$255.32	122462014	\$255.32
122441025	\$255.32	122441069	\$255.32	122462015	\$255.32
122441026	\$255.32	122441070	\$255.32	122462016	\$255.32
122441027	\$255.32	122441071	\$255.32	122471001	\$255.32
122441028	\$255.32	122441072	\$255.32	122471002	\$255.32
122441029	\$255.32	122441073	\$255.32	122471003	\$255.32
122441030	\$255.32	122441074	\$255.32	122471004	\$255.32
122441031	\$255.32	122441075	\$255.32	122471005	\$255.32
122441032	\$255.32	122441076	\$255.32	122471006	\$255.32
122441033	\$255.32	122451001	\$255.32	122471007	\$255.32
122441034	\$255.32	122451002	\$255.32	122471008	\$255.32
122441035	\$255.32	122451003	\$255.32	122471009	\$255.32
122441036	\$255.32	122451004	\$255.32	122471010	\$255.32
122441037	\$255.32	122451005	\$255.32	122471011	\$255.32
122441038	\$255.32	122451006	\$255.32	122471012	\$255.32
122441039	\$255.32	122451007	\$255.32	122472001	\$255.32
122441040	\$255.32	122451008	\$255.32	122472002	\$255.32
122441041	\$255.32	122451009	\$255.32	122472003	\$255.32
122441042	\$255.32	122451010	\$255.32	122472004	\$255.32
122441043	\$255.32	122451011	\$255.32	122472005	\$255.32
122441044	\$255.32	122451012	\$255.32	122472006	\$255.32
122441045	\$255.32	122451013	\$255.32	122472007	\$255.32
122441046	\$255.32	122451014	\$255.32	122472008	\$255.32
122441047	\$255.32	122451015	\$255.32	122472009	\$255.32
122441048	\$255.32	122452001	\$255.32	122472010	\$255.32
122441049	\$255.32	122452002	\$255.32	122472011	\$255.32
122441050	\$255.32	122452003	\$255.32	122472012	\$255.32
122441052	\$255.32	122452004	\$255.32	122472013	\$255.32
122441053	\$255.32	122461001	\$255.32	122472014	\$255.32
122441054	\$255.32	122461002	\$255.32	122472015	\$255.32
122441055	\$255.32	122462001	\$255.32	122472016	\$255.32
122441056	\$255.32	122462002	\$255.32	122472017	\$255.32
122441057	\$255.32	122462003	\$255.32	122472018	\$255.32
122441058	\$255.32	122462004	\$255.32	122472019	\$255.32
122441059	\$255.32	122462005	\$255.32	122481001	\$255.32
122441060	\$255.32	122462006	\$255.32	122481002	\$255.32



# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122481003	\$255.32	122500006	\$255.32	122521006	\$255.32
122481004	\$255.32	122500007	\$255.32	122521007	\$255.32
122481005	\$255.32	122500008	\$255.32	122521008	\$255.32
122481006	\$255.32	122500009	\$255.32	122521009	\$255.32
122481007	\$255.32	122500010	\$255.32	122521010	\$255.32
122481008	\$255.32	122500011	\$255.32	122521011	\$255.32
122481009	\$255.32	122500012	\$255.32	122521012	\$255.32
122482001	\$255.32	122511001	\$255.32	122521013	\$255.32
122482002	\$255.32	122511002	\$255.32	122521014	\$255.32
122482003	\$255.32	122511003	\$255.32	122521015	\$255.32
122482004	\$255.32	122511004	\$255.32	122521016	\$255.32
122483001	\$255.32	122511005	\$255.32	122521017	\$255.32
122483002	\$255.32	122511006	\$255.32	122521018	\$255.32
122483003	\$255.32	122511007	\$255.32	122521019	\$255.32
122483004	\$255.32	122511008	\$255.32	122521020	\$255.32
122483005	\$255.32	122511009	\$255.32	122522001	\$255.32
122483006	\$255.32	122511010	\$255.32	122522002	\$255.32
122483007	\$255.32	122511011	\$255.32	122522003	\$255.32
122483008	\$255.32	122511012	\$255.32	122522004	\$255.32
122483009	\$255.32	122511013	\$255.32	122522005	\$255.32
122483010	\$255.32	122511014	\$255.32	122522006	\$255.32
122491001	\$255.32	122511015	\$255.32	122522007	\$255.32
122491002	\$255.32	122511016	\$255.32	122531001	\$255.32
122491003	\$255.32	122511017	\$255.32	122531002	\$255.32
122491004	\$255.32	122511018	\$255.32	122531003	\$255.32
122491005	\$255.32	122511019	\$255.32	122531004	\$255.32
122491006	\$255.32	122511020	\$255.32	122531005	\$255.32
122491007	\$255.32	122511021	\$255.32	122531006	\$255.32
122491008	\$255.32	122511022	\$255.32	122531007	\$255.32
122491009	\$255.32	122511023	\$255.32	122531008	\$255.32
122491010	\$255.32	122511024	\$255.32	122531009	\$255.32
122492001	\$255.32	122512001	\$255.32	122531010	\$255.32
122492002	\$255.32	122512002	\$255.32	122531011	\$255.32
122492003	\$255.32	122512003	\$255.32	122531012	\$255.32
122492004	\$255.32	122512004	\$255.32	122531013	\$255.32
122492005	\$255.32	122512005	\$255.32	122531014	\$255.32
122492006	\$255.32	122512006	\$255.32	122531015	\$255.32
122492007	\$255.32	122512007	\$255.32	122531016	\$255.32
122500001	\$255.32	122521001	\$255.32	122531017	\$255.32
122500002	\$255.32	122521002	\$255.32	122531018	\$255.32
122500003	\$255.32	122521003	\$255.32	122531020	\$255.32
122500004	\$255.32	122521004	\$255.32	122531021	\$255.32
122500005	\$255.32	122521005	\$255.32	122531022	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122531023	\$255.32	122541006	\$255.32	122551004	\$255.32
122531024	\$255.32	122541007	\$255.32	122551005	\$255.32
122531025	\$255.32	122541008	\$255.32	122551006	\$255.32
122531026	\$255.32	122541009	\$255.32	122551007	\$255.32
122531027	\$255.32	122541010	\$255.32	122551008	\$255.32
122531028	\$255.32	122541011	\$255.32	122551009	\$255.32
122531029	\$255.32	122541012	\$255.32	122551011	\$255.32
122531030	\$255.32	122541013	\$255.32	122551012	\$255.32
122531031	\$255.32	122541014	\$255.32	122551013	\$255.32
122531032	\$255.32	122541015	\$255.32	122551015	\$255.32
122531033	\$255.32	122541016	\$255.32	122551016	\$255.32
122531034	\$255.32	122541017	\$255.32	122551017	\$255.32
122532001	\$255.32	122541019	\$255.32	122551018	\$255.32
122532002	\$255.32	122541020	\$255.32	122551019	\$255.32
122532003	\$255.32	122541021	\$255.32	122551020	\$255.32
122532004	\$255.32	122541022	\$255.32	122551021	\$255.32
122532005	\$255.32	122541023	\$255.32	122551022	\$255.32
122532006	\$255.32	122541024	\$255.32	122551024	\$255.32
122532007	\$255.32	122541025	\$255.32	122551025	\$255.32
122532008	\$255.32	122541026	\$255.32	122551026	\$255.32
122532009	\$255.32	122541027	\$255.32	122551028	\$255.32
122532010	\$255.32	122541028	\$255.32	122551029	\$255.32
122532011	\$255.32	122541029	\$255.32	122551030	\$255.32
122532012	\$255.32	122541031	\$255.32	122551031	\$255.32
122532013	\$255.32	122541032	\$255.32	122551032	\$255.32
122532015	\$255.32	122541033	\$255.32	122551033	\$255.32
122532016	\$255.32	122541034	\$255.32	122551034	\$255.32
122532017	\$255.32	122541035	\$255.32	122551035	\$255.32
122532018	\$255.32	122541036	\$255.32	122551036	\$255.32
122532019	\$255.32	122541037	\$255.32	122551038	\$255.32
122532020	\$255.32	122541038	\$255.32	122551039	\$255.32
122532021	\$255.32	122541039	\$255.32	122551040	\$255.32
122532022	\$255.32	122541040	\$255.32	122551041	\$255.32
122532023	\$255.32	122541041	\$255.32	122551042	\$255.32
122532024	\$255.32	122541042	\$255.32	122551043	\$255.32
122532025	\$255.32	122541043	\$255.32	122551044	\$255.32
122532026	\$255.32	122541044	\$255.32	122551045	\$255.32
122532027	\$255.32	122541045	\$255.32	122551046	\$255.32
122541001	\$255.32	122541046	\$255.32	122551047	\$255.32
122541002	\$255.32	122541047	\$255.32	122551049	\$255.32
122541003	\$255.32	122551001	\$255.32	122551050	\$255.32
122541004	\$255.32	122551002	\$255.32	122551052	\$255.32
122541005	\$255.32	122551003	\$255.32	122551053	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122551054	\$255.32	122552019	\$255.32	122562014	\$255.32
122551055	\$255.32	122552020	\$255.32	122562015	\$255.32
122551056	\$255.32	122552021	\$255.32	122562016	\$255.32
122551057	\$255.32	122552022	\$255.32	122562017	\$255.32
122551059	\$255.32	122552023	\$255.32	122562018	\$255.32
122551060	\$255.32	122552024	\$255.32	122562019	\$255.32
122551061	\$255.32	122552025	\$255.32	122562021	\$255.32
122551062	\$255.32	122552026	\$255.32	122562022	\$255.32
122551063	\$255.32	122552027	\$255.32	122562023	\$255.32
122551064	\$255.32	122561002	\$255.32	122562024	\$255.32
122551066	\$255.32	122561003	\$255.32	122562025	\$255.32
122551067	\$255.32	122561004	\$255.32	122562026	\$255.32
122551068	\$255.32	122561006	\$255.32	122562027	\$255.32
122551069	\$255.32	122561007	\$255.32	122562028	\$255.32
122551070	\$255.32	122561008	\$255.32	122562029	\$255.32
122551071	\$255.32	122561009	\$255.32	122562030	\$255.32
122551072	\$255.32	122561010	\$255.32	122562032	\$255.32
122551073	\$255.32	122561011	\$255.32	122562033	\$255.32
122551074	\$255.32	122561012	\$255.32	122562034	\$255.32
122551076	\$255.32	122561013	\$255.32	122562035	\$255.32
122551077	\$255.32	122561014	\$255.32	122562036	\$255.32
122551078	\$255.32	122561016	\$255.32	122562037	\$255.32
122551079	\$255.32	122561017	\$255.32	122562038	\$255.32
122551080	\$255.32	122561018	\$255.32	122562039	\$255.32
122551081	\$255.32	122561019	\$255.32	122562040	\$255.32
122551082	\$255.32	122561020	\$255.32	122562041	\$255.32
122552001	\$255.32	122561021	\$255.32	122562042	\$255.32
122552002	\$255.32	122561023	\$255.32	122670029	\$592.88
122552003	\$255.32	122561024	\$255.32	122670031	\$7,559.42
122552004	\$255.32	122561025	\$255.32	122670032	\$49.40
122552005	\$255.32	122561026	\$255.32	122670033	\$135.86
122552006	\$255.32	122562001	\$255.32	122670034	\$704.06
122552007	\$255.32	122562002	\$255.32	122670035	\$172.92
122552008	\$255.32	122562003	\$255.32	122670036	\$1,963.96
122552009	\$255.32	122562004	\$255.32	122670037	\$1,296.96
122552010	\$255.32	122562005	\$255.32	122670038	\$4,743.16
122552011	\$255.32	122562006	\$255.32	122670039	\$716.40
122552012	\$255.32	122562007	\$255.32	122670040	\$3,322.68
122552013	\$255.32	122562009	\$255.32	122670043	\$852.28
122552014	\$255.32	122562010	\$255.32	122670048	\$247.04
122552015	\$255.32	122562011	\$255.32	122670049	\$247.04
122552016	\$255.32	122562012	\$255.32	122670050	\$247.04
122552017	\$255.32	122562013	\$255.32	122680001	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
122680002	\$255.32	122680045	\$255.32	123340020	\$255.32
122680003	\$255.32	122680046	\$255.32	123340021	\$255.32
122680004	\$255.32	122680047	\$255.32	123340022	\$255.32
122680005	\$255.32	122680049	\$255.32	123340023	\$255.32
122680006	\$255.32	122680050	\$255.32	123340024	\$255.32
122680007	\$255.32	122680051	\$255.32	123340025	\$255.32
122680008	\$255.32	122680052	\$255.32	123340026	\$255.32
122680009	\$255.32	122680053	\$255.32	123340027	\$255.32
122680010	\$255.32	122680054	\$255.32	123340028	\$255.32
122680011	\$255.32	122680055	\$255.32	123340029	\$255.32
122680012	\$255.32	122680056	\$255.32	123340030	\$255.32
122680013	\$255.32	122680057	\$255.32	123340031	\$255.32
122680014	\$255.32	122680058	\$255.32	123340032	\$255.32
122680015	\$255.32	122680059	\$255.32	123340033	\$255.32
122680016	\$255.32	122680060	\$255.32	123340034	\$255.32
122680017	\$255.32	122680061	\$255.32	123340035	\$255.32
122680018	\$255.32	122680062	\$255.32	123340036	\$255.32
122680019	\$255.32	122680063	\$255.32	123361001	\$255.32
122680020	\$255.32	122680064	\$255.32	123361002	\$255.32
122680021	\$255.32	122680065	\$255.32	123361003	\$255.32
122680022	\$255.32	122680066	\$255.32	123361004	\$255.32
122680023	\$255.32	123330006	\$255.32	123361005	\$255.32
122680024	\$255.32	123330030	\$255.32	123361006	\$255.32
122680025	\$255.32	123330031	\$255.32	123361007	\$255.32
122680026	\$255.32	123340001	\$255.32	123361008	\$255.32
122680027	\$255.32	123340002	\$255.32	123361009	\$255.32
122680028	\$255.32	123340003	\$255.32	123361010	\$255.32
122680029	\$255.32	123340004	\$255.32	123361011	\$255.32
122680030	\$255.32	123340005	\$255.32	123361012	\$255.32
122680031	\$255.32	123340006	\$255.32	123361013	\$255.32
122680032	\$255.32	123340007	\$255.32	123361014	\$255.32
122680033	\$255.32	123340008	\$255.32	123361015	\$255.32
122680034	\$255.32	123340009	\$255.32	123361016	\$255.32
122680035	\$255.32	123340010	\$255.32	123361017	\$255.32
122680036	\$255.32	123340011	\$255.32	123361018	\$255.32
122680037	\$255.32	123340012	\$255.32	123361019	\$255.32
122680038	\$255.32	123340013	\$255.32	123361020	\$255.32
122680039	\$255.32	123340014	\$255.32	123361021	\$255.32
122680040	\$255.32	123340015	\$255.32	123361022	\$255.32
122680041	\$255.32	123340016	\$255.32	123361023	\$255.32
122680042	\$255.32	123340017	\$255.32	123361024	\$255.32
122680043	\$255.32	123340018	\$255.32	123361025	\$255.32
122680044	\$255.32	123340019	\$255.32	123361026	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123361027	\$255.32	123371002	\$255.32	123372018	\$255.32
123361028	\$255.32	123371003	\$255.32	123372019	\$255.32
123361029	\$255.32	123371004	\$255.32	123372020	\$255.32
123361030	\$255.32	123371005	\$255.32	123372021	\$255.32
123361031	\$255.32	123371006	\$255.32	123372022	\$255.32
123361032	\$255.32	123371007	\$255.32	123372023	\$255.32
123361033	\$255.32	123371008	\$255.32	123372024	\$255.32
123361034	\$255.32	123371009	\$255.32	123372025	\$255.32
123361035	\$255.32	123371010	\$255.32	123372026	\$255.32
123361036	\$255.32	123371011	\$255.32	123372027	\$255.32
123361037	\$255.32	123371012	\$255.32	123372028	\$255.32
123361038	\$255.32	123371013	\$255.32	123372029	\$255.32
123361039	\$255.32	123371014	\$255.32	123372030	\$255.32
123361040	\$255.32	123371015	\$255.32	123373001	\$255.32
123361041	\$255.32	123371016	\$255.32	123373002	\$255.32
123361042	\$255.32	123371017	\$255.32	123373003	\$255.32
123361043	\$255.32	123371018	\$255.32	123373004	\$255.32
123361044	\$255.32	123371019	\$255.32	123373005	\$255.32
123361045	\$255.32	123371020	\$255.32	123373006	\$255.32
123361046	\$255.32	123371021	\$255.32	123373007	\$255.32
123362001	\$255.32	123371022	\$255.32	123373008	\$255.32
123362002	\$255.32	123371023	\$255.32	123373009	\$255.32
123362003	\$255.32	123371024	\$255.32	123373010	\$255.32
123362004	\$255.32	123371025	\$255.32	123373011	\$255.32
123362005	\$255.32	123371026	\$255.32	123374001	\$255.32
123362006	\$255.32	123371027	\$255.32	123374002	\$255.32
123362007	\$255.32	123372001	\$255.32	123374003	\$255.32
123362008	\$255.32	123372002	\$255.32	123374004	\$255.32
123362009	\$255.32	123372003	\$255.32	123374005	\$255.32
123362010	\$255.32	123372004	\$255.32	123374006	\$255.32
123362011	\$255.32	123372005	\$255.32	123374007	\$255.32
123362012	\$255.32	123372006	\$255.32	123374008	\$255.32
123362013	\$255.32	123372007	\$255.32	123374009	\$255.32
123362014	\$255.32	123372008	\$255.32	123374010	\$255.32
123362015	\$255.32	123372009	\$255.32	123374011	\$255.32
123362016	\$255.32	123372010	\$255.32	123374012	\$255.32
123362017	\$255.32	123372011	\$255.32	123374013	\$255.32
123362018	\$255.32	123372012	\$255.32	123374014	\$255.32
123362019	\$255.32	123372013	\$255.32	123374015	\$255.32
123362020	\$255.32	123372014	\$255.32	123374016	\$255.32
123362021	\$255.32	123372015	\$255.32	123374017	\$255.32
123362022	\$255.32	123372016	\$255.32	123374018	\$255.32
123371001	\$255.32	123372017	\$255.32	123381001	\$255.32

# Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
123381002	\$255.32	168330003	\$255.32	172080022	\$255.32
123381003	\$255.32	168330004	\$255.32	172080023	\$255.32
123381004	\$255.32	168330006	\$255.32	172080024	\$255.32
123381005	\$255.32	168330007	\$255.32	172080025	\$255.32
123381006	\$255.32	168330008	\$255.32	172080026	\$255.32
123381007	\$255.32	168330009	\$255.32	172080027	\$255.32
123381008	\$255.32	168330013	\$510.66	172080028	\$255.32
123381009	\$255.32	172060002	\$255.32	172080029	\$255.32
123382001	\$255.32	172060003	\$255.32	172080030	\$255.32
123382002	\$255.32	172060004	\$255.32	172080031	\$255.32
123382003	\$255.32	172061001	\$255.32	172080032	\$255.32
123382004	\$255.32	172061002	\$255.32	172080033	\$255.32
123382007	\$255.32	172061003	\$255.32	172080034	\$255.32
123382008	\$255.32	172061004	\$255.32	172081001	\$255.32
123382009	\$255.32	172061005	\$255.32	172081002	\$255.32
123382010	\$255.32	172061006	\$255.32	172081003	\$255.32
123382011	\$255.32	172061007	\$255.32	172081004	\$255.32
123382012	\$255.32	172061008	\$255.32	172081005	\$255.32
123382013	\$255.32	172061009	\$255.32	172081006	\$255.32
123382014	\$255.32	172061010	\$255.32	172081007	\$255.32
123382015	\$255.32	172061011	\$255.32	172081008	\$255.32
123382016	\$255.32	172061012	\$255.32	172081009	\$255.32
123382017	\$255.32	172080001	\$255.32	172081010	\$255.32
123382018	\$255.32	172080002	\$255.32	172081011	\$255.32
123382019	\$255.32	172080003	\$255.32	172081012	\$255.32
123382020	\$255.32	172080004	\$255.32	172081013	\$255.32
123382021	\$255.32	172080005	\$255.32	172081014	\$255.32
123382022	\$255.32	172080006	\$255.32	172081015	\$255.32
123382023	\$255.32	172080007	\$255.32	172081016	\$255.32
123382024	\$255.32	172080008	\$255.32	172081017	\$255.32
123382025	\$255.32	172080009	\$255.32	172081018	\$255.32
123382026	\$255.32	172080010	\$255.32	172081019	\$255.32
123382027	\$255.32	172080011	\$255.32	172082001	\$255.32
123382028	\$255.32	172080012	\$255.32	172082002	\$255.32
123382029	\$255.32	172080013	\$255.32	172082003	\$255.32
123382030	\$255.32	172080014	\$255.32	172082004	\$255.32
123382031	\$255.32	172080015	\$255.32	172082005	\$255.32
123382032	\$255.32	172080016	\$255.32	172082006	\$255.32
123382033	\$255.32	172080017	\$255.32	172082007	\$255.32
123382034	\$255.32	172080018	\$255.32	172082008	\$255.32
123382035	\$255.32	172080019	\$255.32	172440001	\$255.32
123382036	\$255.32	172080020	\$255.32	172440002	\$255.32
123382038	\$255.32	172080021	\$255.32	172440003	\$255.32

## Assessment Roll

68-2294 - LMD 84-2 Zone 14

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
172440004	\$255.32	172440012	\$255.32	172440020	\$255.32
172440005	\$255.32	172440013	\$255.32	172440021	\$255.32
172440006	\$255.32	172440014	\$255.32	172440022	\$255.32
172440007	\$255.32	172440015	\$255.32	172440023	\$255.32
172440008	\$255.32	172440016	\$255.32	172440024	\$255.32
172440009	\$255.32	172440017	\$255.32	172440025	\$255.32
172440010	\$255.32	172440018	\$255.32		
172440011	\$255.32	172440019	\$255.32		
<b>Totals</b>		<b>Parcels 2,344</b>		<b>Levy \$587,878.00</b>	

## Assessment Roll

68-2295 - LMD 84-2 Zone 15

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
102400004	\$992.22	102400038	\$575.20	102400088	\$287.60
102400006	\$841.22	102400039	\$934.70	102400089	\$3,821.48
102400023	\$816.06	102400040	\$719.00	102400092	\$704.62
102400026	\$75.48	102400078	\$560.82	102400094	\$665.06
102400029	\$359.50	102400080	\$704.62	102410005	\$801.68
102400030	\$445.78	102400081	\$2,671.08	102410007	\$1,757.94
102400031	\$463.74	102400082	\$956.26	102410010	\$395.44
102400032	\$391.84	102400083	\$546.44	102410011	\$452.96
102400033	\$639.90	102400084	\$1,269.02	102410012	\$1,344.52
102400034	\$571.60	102400086	\$1,998.82		
102400037	\$503.30	102400087	\$287.60		
<b>Totals</b>		<b>Parcels 31</b>		<b>Levy</b>	<b>\$27,555.50</b>



# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121431008	\$110.00	121441011	\$110.00	121461019	\$110.00
121431009	\$110.00	121441012	\$110.00	121461020	\$110.00
121431010	\$110.00	121442004	\$110.00	121461021	\$110.00
121431011	\$110.00	121442005	\$110.00	121461022	\$110.00
121431012	\$110.00	121442006	\$110.00	121461023	\$110.00
121431013	\$110.00	121442007	\$110.00	121461024	\$110.00
121431014	\$110.00	121442008	\$110.00	121461025	\$110.00
121431015	\$110.00	121443001	\$110.00	121461026	\$110.00
121431016	\$110.00	121443002	\$110.00	121461027	\$110.00
121431017	\$110.00	121443003	\$110.00	121461028	\$110.00
121431018	\$110.00	121443004	\$110.00	121461029	\$110.00
121431019	\$110.00	121443005	\$110.00	121461030	\$110.00
121432001	\$110.00	121443006	\$110.00	121461031	\$110.00
121432002	\$110.00	121443012	\$110.00	121462001	\$110.00
121432003	\$110.00	121443013	\$110.00	121462002	\$110.00
121432004	\$110.00	121443014	\$110.00	121462003	\$110.00
121432005	\$110.00	121443015	\$110.00	121462004	\$110.00
121432006	\$110.00	121443016	\$110.00	121462005	\$110.00
121432015	\$110.00	121443017	\$110.00	121462006	\$110.00
121432016	\$110.00	121443018	\$110.00	121462007	\$110.00
121432017	\$110.00	121443019	\$110.00	121462008	\$110.00
121432018	\$110.00	121443020	\$110.00	121462009	\$110.00
121432019	\$110.00	121443021	\$110.00	121462010	\$110.00
121432020	\$110.00	121443022	\$110.00	121462011	\$110.00
121432021	\$110.00	121443023	\$110.00	121462012	\$110.00
121432022	\$110.00	121461001	\$110.00	121462013	\$110.00
121433009	\$110.00	121461002	\$110.00	121462014	\$110.00
121433010	\$110.00	121461003	\$110.00	121462015	\$110.00
121433011	\$110.00	121461004	\$110.00	121462016	\$110.00
121433012	\$110.00	121461005	\$110.00	121463001	\$110.00
121433013	\$110.00	121461006	\$110.00	121463002	\$110.00
121433014	\$110.00	121461007	\$110.00	121463003	\$110.00
121433015	\$110.00	121461008	\$110.00	121463004	\$110.00
121433016	\$110.00	121461009	\$110.00	121463005	\$110.00
121433017	\$110.00	121461010	\$110.00	121463006	\$110.00
121441001	\$110.00	121461011	\$110.00	121463007	\$110.00
121441002	\$110.00	121461012	\$110.00	121463008	\$110.00
121441003	\$110.00	121461013	\$110.00	121463009	\$110.00
121441004	\$110.00	121461014	\$110.00	121463010	\$110.00
121441007	\$110.00	121461015	\$110.00	121463011	\$110.00
121441008	\$110.00	121461016	\$110.00	121464003	\$110.00
121441009	\$110.00	121461017	\$110.00	121464004	\$110.00
121441010	\$110.00	121461018	\$110.00	121464005	\$110.00

# Assessment Roll

68-2297 - LMD 84-2 Zone 17

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
121464006	\$110.00	121472007	\$110.00	121481012	\$110.00
121464007	\$110.00	121472008	\$110.00	121481013	\$110.00
121464008	\$110.00	121472009	\$110.00	121481014	\$110.00
121464009	\$110.00	121472010	\$110.00	121482001	\$110.00
121464010	\$110.00	121472011	\$110.00	121482002	\$110.00
121464011	\$110.00	121472012	\$110.00	121482003	\$110.00
121464012	\$110.00	121472013	\$110.00	121482004	\$110.00
121464013	\$110.00	121472014	\$110.00	121482008	\$110.00
121464014	\$110.00	121472015	\$110.00	121482009	\$110.00
121464015	\$110.00	121472016	\$110.00	121482010	\$110.00
121464016	\$110.00	121472017	\$110.00	121482011	\$110.00
121464017	\$110.00	121472018	\$110.00	121482012	\$110.00
121471001	\$110.00	121472019	\$110.00	121482013	\$110.00
121471002	\$110.00	121481001	\$110.00	121482014	\$110.00
121471003	\$110.00	121481002	\$110.00	121482015	\$110.00
121471004	\$110.00	121481003	\$110.00	121482016	\$110.00
121471005	\$110.00	121481004	\$110.00	121482017	\$110.00
121471007	\$110.00	121481005	\$110.00	121482018	\$110.00
121472001	\$110.00	121481006	\$110.00	121482019	\$110.00
121472002	\$110.00	121481007	\$110.00	121482020	\$110.00
121472003	\$110.00	121481008	\$110.00	121482021	\$110.00
121472004	\$110.00	121481009	\$110.00	121482023	\$110.00
121472005	\$110.00	121481010	\$110.00	121482024	\$110.00
121472006	\$110.00	121481011	\$110.00	121482025	\$110.00
<b>Totals</b>		<b>Parcels 201</b>		<b>Levy \$22,110.00</b>	

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119060018	\$271.14	119061048	\$54.22	119490036	\$100.00
119060020	\$375.06	119061050	\$54.22	119490037	\$100.00
119060022	\$347.96	119061051	\$54.22	119490038	\$100.00
119061001	\$54.22	119061052	\$54.22	119490039	\$100.00
119061002	\$54.22	119061053	\$54.22	119490040	\$100.00
119061003	\$54.22	119061054	\$54.22	119490041	\$100.00
119061004	\$54.22	119061055	\$54.22	119490042	\$100.00
119061005	\$54.22	119061056	\$54.22	119490043	\$100.00
119061006	\$54.22	119490001	\$100.00	119490044	\$100.00
119061007	\$54.22	119490002	\$100.00	119490045	\$100.00
119061008	\$54.22	119490003	\$100.00	119490046	\$100.00
119061009	\$54.22	119490004	\$100.00	119490047	\$100.00
119061010	\$54.22	119490005	\$100.00	119490048	\$100.00
119061011	\$54.22	119490006	\$100.00	119490049	\$100.00
119061013	\$54.22	119490007	\$100.00	119490050	\$100.00
119061014	\$54.22	119490008	\$100.00	119490051	\$100.00
119061015	\$54.22	119490009	\$100.00	119490052	\$100.00
119061018	\$54.22	119490010	\$100.00	119490053	\$100.00
119061019	\$54.22	119490011	\$100.00	119490054	\$100.00
119061020	\$54.22	119490012	\$100.00	119490055	\$100.00
119061021	\$54.22	119490013	\$100.00	119490056	\$100.00
119061022	\$54.22	119490014	\$100.00	119490057	\$100.00
119061023	\$54.22	119490015	\$100.00	119490058	\$100.00
119061025	\$54.22	119490016	\$100.00	119490059	\$100.00
119061026	\$54.22	119490017	\$100.00	119490060	\$100.00
119061027	\$54.22	119490018	\$100.00	119490061	\$100.00
119061028	\$54.22	119490019	\$100.00	119490062	\$100.00
119061029	\$54.22	119490020	\$100.00	119490063	\$100.00
119061030	\$54.22	119490021	\$100.00	119490064	\$100.00
119061031	\$54.22	119490022	\$100.00	119490066	\$100.00
119061033	\$54.22	119490023	\$100.00	119490067	\$100.00
119061034	\$54.22	119490024	\$100.00	119490068	\$100.00
119061035	\$54.22	119490025	\$100.00	119490069	\$100.00
119061036	\$54.22	119490026	\$100.00	119490070	\$100.00
119061037	\$54.22	119490027	\$100.00	119490071	\$100.00
119061038	\$54.22	119490028	\$100.00	119490072	\$100.00
119061039	\$54.22	119490029	\$100.00	119490073	\$100.00
119061041	\$54.22	119490030	\$100.00	119511001	\$100.00
119061043	\$54.22	119490031	\$100.00	119511002	\$100.00
119061044	\$54.22	119490032	\$100.00	119511003	\$100.00
119061045	\$54.22	119490033	\$100.00	119511004	\$100.00
119061046	\$54.22	119490034	\$100.00	119511005	\$100.00
119061047	\$54.22	119490035	\$100.00	119511006	\$100.00

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119511007	\$100.00	119514004	\$100.00	119523001	\$100.00
119512001	\$100.00	119515001	\$100.00	119523002	\$100.00
119512002	\$100.00	119515002	\$100.00	119523003	\$100.00
119512003	\$100.00	119515003	\$100.00	119523004	\$100.00
119512004	\$100.00	119515004	\$100.00	119523005	\$100.00
119512005	\$100.00	119521001	\$100.00	119523006	\$100.00
119512006	\$100.00	119521002	\$100.00	119523007	\$100.00
119512007	\$100.00	119521003	\$100.00	119523008	\$100.00
119512008	\$100.00	119521004	\$100.00	119530001	\$100.00
119512009	\$100.00	119521005	\$100.00	119530002	\$100.00
119512011	\$100.00	119521006	\$100.00	119530003	\$100.00
119512012	\$100.00	119521007	\$100.00	119530004	\$100.00
119512013	\$100.00	119521008	\$100.00	119530008	\$100.00
119512014	\$100.00	119521009	\$100.00	119530009	\$100.00
119512015	\$100.00	119521011	\$100.00	119530010	\$100.00
119512016	\$100.00	119521012	\$100.00	119530011	\$100.00
119512017	\$100.00	119521013	\$100.00	119530012	\$100.00
119512018	\$100.00	119521014	\$100.00	119530013	\$100.00
119512019	\$100.00	119521015	\$100.00	119530015	\$100.00
119512020	\$100.00	119521016	\$100.00	119530016	\$100.00
119512021	\$100.00	119521017	\$100.00	119530017	\$100.00
119512022	\$100.00	119521018	\$100.00	119530018	\$100.00
119512023	\$100.00	119521019	\$100.00	119530019	\$100.00
119512024	\$100.00	119521020	\$100.00	119530020	\$100.00
119512025	\$100.00	119521021	\$100.00	119530021	\$100.00
119512026	\$100.00	119521022	\$100.00	119530022	\$100.00
119512027	\$100.00	119521023	\$100.00	119530023	\$100.00
119512028	\$100.00	119521024	\$100.00	119530025	\$100.00
119512029	\$100.00	119522001	\$100.00	119530026	\$100.00
119512030	\$100.00	119522002	\$100.00	119530028	\$100.00
119513001	\$100.00	119522003	\$100.00	119530029	\$100.00
119513002	\$100.00	119522004	\$100.00	119530030	\$100.00
119513003	\$100.00	119522005	\$100.00	119530031	\$100.00
119513004	\$100.00	119522006	\$100.00	119530032	\$100.00
119513005	\$100.00	119522007	\$100.00	119530033	\$100.00
119513006	\$100.00	119522008	\$100.00	119530034	\$100.00
119513007	\$100.00	119522009	\$100.00	119530035	\$100.00
119513008	\$100.00	119522010	\$100.00	119530036	\$100.00
119513009	\$100.00	119522011	\$100.00	119530038	\$100.00
119513010	\$100.00	119522012	\$100.00	119530039	\$100.00
119514001	\$100.00	119522013	\$100.00	119530040	\$100.00
119514002	\$100.00	119522014	\$100.00	119530041	\$100.00
119514003	\$100.00	119522015	\$100.00	119530042	\$100.00

# Assessment Roll

68-2298 - LMD 84-2 Zone 18

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
119530044	\$100.00	119540035	\$100.00	119550022	\$100.00
119530047	\$100.00	119540037	\$100.00	119550023	\$100.00
119530048	\$100.00	119540038	\$100.00	119550024	\$100.00
119530049	\$100.00	119540039	\$100.00	119550025	\$100.00
119530052	\$100.00	119540040	\$100.00	119550026	\$100.00
119530053	\$100.00	119540041	\$100.00	119550027	\$100.00
119540001	\$100.00	119540042	\$100.00	119550028	\$100.00
119540002	\$100.00	119540043	\$100.00	119550029	\$100.00
119540003	\$100.00	119540044	\$100.00	119550030	\$100.00
119540004	\$100.00	119540045	\$100.00	119550031	\$100.00
119540006	\$100.00	119540046	\$100.00	119550032	\$100.00
119540007	\$100.00	119540047	\$100.00	119550033	\$100.00
119540008	\$100.00	119540048	\$100.00	119550034	\$100.00
119540009	\$100.00	119540049	\$100.00	119550035	\$100.00
119540010	\$100.00	119540050	\$100.00	119550036	\$100.00
119540011	\$100.00	119540051	\$100.00	119550037	\$100.00
119540012	\$100.00	119540052	\$100.00	119550039	\$100.00
119540013	\$100.00	119540053	\$100.00	119550040	\$100.00
119540014	\$100.00	119540054	\$100.00	119550041	\$100.00
119540015	\$100.00	119540055	\$100.00	119550042	\$100.00
119540016	\$100.00	119540056	\$100.00	119550043	\$100.00
119540017	\$100.00	119540057	\$100.00	119550044	\$100.00
119540018	\$100.00	119550001	\$100.00	119550045	\$100.00
119540019	\$100.00	119550002	\$100.00	119550046	\$100.00
119540020	\$100.00	119550003	\$100.00	119550047	\$100.00
119540021	\$100.00	119550004	\$100.00	119550048	\$100.00
119540022	\$100.00	119550005	\$100.00	119550049	\$100.00
119540023	\$100.00	119550006	\$100.00	119550050	\$100.00
119540024	\$100.00	119550007	\$100.00	119550051	\$100.00
119540026	\$100.00	119550008	\$100.00	119550052	\$100.00
119540027	\$100.00	119550009	\$100.00	119550053	\$100.00
119540028	\$100.00	119550015	\$100.00	119550054	\$100.00
119540029	\$100.00	119550016	\$100.00	119550055	\$100.00
119540030	\$100.00	119550017	\$100.00	119550056	\$100.00
119540031	\$100.00	119550018	\$100.00	119550062	\$100.00
119540032	\$100.00	119550019	\$100.00	119550063	\$100.00
119540033	\$100.00	119550020	\$100.00	119550064	\$100.00
119540034	\$100.00	119550021	\$100.00		

**Totals**

**Parcels 371**

**Levy \$35,596.72**

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108042008	\$126.00	108080042	\$126.00	108090024	\$126.00
108042009	\$126.00	108080043	\$126.00	108090025	\$126.00
108042010	\$126.00	108080044	\$126.00	108090026	\$126.00
108042011	\$126.00	108080045	\$126.00	108090029	\$126.00
108080001	\$126.00	108080046	\$126.00	108090030	\$126.00
108080002	\$126.00	108080047	\$126.00	108090031	\$126.00
108080003	\$126.00	108080049	\$126.00	108090032	\$126.00
108080004	\$126.00	108080050	\$126.00	108090033	\$126.00
108080005	\$126.00	108080051	\$126.00	108090034	\$126.00
108080006	\$126.00	108080052	\$126.00	108090035	\$126.00
108080007	\$126.00	108080053	\$126.00	108090036	\$126.00
108080008	\$126.00	108080054	\$126.00	108090037	\$126.00
108080009	\$126.00	108080055	\$126.00	108090038	\$126.00
108080010	\$126.00	108080057	\$126.00	108090039	\$126.00
108080011	\$126.00	108080058	\$126.00	108090040	\$126.00
108080012	\$126.00	108080059	\$126.00	108090041	\$126.00
108080013	\$126.00	108080060	\$126.00	108090052	\$126.00
108080014	\$126.00	108080061	\$126.00	108090053	\$126.00
108080015	\$126.00	108080062	\$126.00	108090054	\$126.00
108080016	\$126.00	108080063	\$126.00	108090055	\$126.00
108080018	\$126.00	108090001	\$126.00	108090056	\$126.00
108080019	\$126.00	108090002	\$126.00	108090057	\$126.00
108080020	\$126.00	108090003	\$126.00	108090058	\$126.00
108080021	\$126.00	108090004	\$126.00	108090059	\$126.00
108080022	\$126.00	108090005	\$126.00	108090060	\$126.00
108080023	\$126.00	108090006	\$126.00	108090061	\$126.00
108080024	\$126.00	108090007	\$126.00	108090062	\$126.00
108080025	\$126.00	108090008	\$126.00	108090063	\$126.00
108080026	\$126.00	108090009	\$126.00	108090064	\$126.00
108080027	\$126.00	108090010	\$126.00	108090065	\$126.00
108080028	\$126.00	108090011	\$126.00	108090066	\$126.00
108080029	\$126.00	108090012	\$126.00	108090067	\$126.00
108080030	\$126.00	108090013	\$126.00	108090068	\$126.00
108080031	\$126.00	108090014	\$126.00	108090069	\$126.00
108080032	\$126.00	108090015	\$126.00	108090070	\$126.00
108080033	\$126.00	108090016	\$126.00	108090071	\$126.00
108080035	\$126.00	108090017	\$126.00	108090072	\$126.00
108080036	\$126.00	108090018	\$126.00	108090073	\$126.00
108080037	\$126.00	108090019	\$126.00	108100001	\$126.00
108080038	\$126.00	108090020	\$126.00	108100002	\$126.00
108080039	\$126.00	108090021	\$126.00	108100003	\$126.00
108080040	\$126.00	108090022	\$126.00	108100004	\$126.00
108080041	\$126.00	108090023	\$126.00	108100005	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108100006	\$126.00	108100054	\$126.00	108110039	\$126.00
108100007	\$126.00	108100055	\$126.00	108110040	\$126.00
108100009	\$126.00	108100056	\$126.00	108110041	\$126.00
108100010	\$126.00	108100057	\$126.00	108110042	\$126.00
108100011	\$126.00	108100058	\$126.00	108110043	\$126.00
108100012	\$126.00	108110001	\$126.00	108110044	\$126.00
108100013	\$126.00	108110002	\$126.00	108110045	\$126.00
108100014	\$126.00	108110003	\$126.00	108110046	\$126.00
108100016	\$126.00	108110004	\$126.00	108110047	\$126.00
108100017	\$126.00	108110005	\$126.00	108110048	\$126.00
108100018	\$126.00	108110006	\$126.00	108110049	\$126.00
108100019	\$126.00	108110007	\$126.00	108110050	\$126.00
108100020	\$126.00	108110008	\$126.00	108110051	\$126.00
108100021	\$126.00	108110009	\$126.00	108110052	\$126.00
108100022	\$126.00	108110010	\$126.00	108121001	\$126.00
108100023	\$126.00	108110011	\$126.00	108121002	\$126.00
108100024	\$126.00	108110012	\$126.00	108121003	\$126.00
108100025	\$126.00	108110013	\$126.00	108121004	\$126.00
108100026	\$126.00	108110014	\$126.00	108121005	\$126.00
108100027	\$126.00	108110015	\$126.00	108121006	\$126.00
108100028	\$126.00	108110016	\$126.00	108121007	\$126.00
108100029	\$126.00	108110017	\$126.00	108121008	\$126.00
108100030	\$126.00	108110018	\$126.00	108121009	\$126.00
108100031	\$126.00	108110019	\$126.00	108121010	\$126.00
108100032	\$126.00	108110020	\$126.00	108121011	\$126.00
108100034	\$126.00	108110021	\$126.00	108121012	\$126.00
108100035	\$126.00	108110022	\$126.00	108121013	\$126.00
108100036	\$126.00	108110023	\$126.00	108121014	\$126.00
108100037	\$126.00	108110024	\$126.00	108121015	\$126.00
108100038	\$126.00	108110025	\$126.00	108121016	\$126.00
108100039	\$126.00	108110026	\$126.00	108121017	\$126.00
108100040	\$126.00	108110027	\$126.00	108121018	\$126.00
108100041	\$126.00	108110028	\$126.00	108121019	\$126.00
108100042	\$126.00	108110029	\$126.00	108121020	\$126.00
108100043	\$126.00	108110030	\$126.00	108121021	\$126.00
108100044	\$126.00	108110031	\$126.00	108121022	\$126.00
108100047	\$126.00	108110032	\$126.00	108121023	\$126.00
108100048	\$126.00	108110033	\$126.00	108121024	\$126.00
108100049	\$126.00	108110034	\$126.00	108121025	\$126.00
108100050	\$126.00	108110035	\$126.00	108121026	\$126.00
108100051	\$126.00	108110036	\$126.00	108121027	\$126.00
108100052	\$126.00	108110037	\$126.00	108121028	\$126.00
108100053	\$126.00	108110038	\$126.00	108121029	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19  
Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108121030	\$126.00	108141020	\$126.00	108153014	\$126.00
108121031	\$126.00	108141021	\$126.00	108153015	\$126.00
108121032	\$126.00	108142001	\$126.00	108153016	\$126.00
108121033	\$126.00	108142002	\$126.00	108153017	\$126.00
108121034	\$126.00	108142003	\$126.00	108153018	\$126.00
108121035	\$126.00	108143001	\$126.00	108153019	\$126.00
108121036	\$126.00	108143002	\$126.00	108153020	\$126.00
108121037	\$126.00	108143003	\$126.00	108153021	\$126.00
108121038	\$126.00	108143004	\$126.00	108153022	\$126.00
108121039	\$126.00	108143005	\$126.00	108153023	\$126.00
108121040	\$126.00	108143006	\$126.00	108153024	\$126.00
108121041	\$126.00	108143007	\$126.00	108153025	\$126.00
108121042	\$126.00	108143008	\$126.00	108161001	\$126.00
108122001	\$126.00	108143009	\$126.00	108161002	\$126.00
108122002	\$126.00	108143010	\$126.00	108161003	\$126.00
108122003	\$126.00	108143011	\$126.00	108161004	\$126.00
108122004	\$126.00	108143012	\$126.00	108161005	\$126.00
108122005	\$126.00	108143013	\$126.00	108161006	\$126.00
108122006	\$126.00	108143014	\$126.00	108161007	\$126.00
108122007	\$126.00	108151001	\$126.00	108161008	\$126.00
108122008	\$126.00	108151002	\$126.00	108161009	\$126.00
108122009	\$126.00	108151003	\$126.00	108161010	\$126.00
108122010	\$126.00	108151004	\$126.00	108161011	\$126.00
108122011	\$126.00	108151005	\$126.00	108161012	\$126.00
108141001	\$126.00	108151006	\$126.00	108161013	\$126.00
108141002	\$126.00	108151007	\$126.00	108161014	\$126.00
108141003	\$126.00	108151008	\$126.00	108161015	\$126.00
108141004	\$126.00	108152001	\$126.00	108161016	\$126.00
108141005	\$126.00	108152002	\$126.00	108161017	\$126.00
108141006	\$126.00	108152003	\$126.00	108162001	\$126.00
108141007	\$126.00	108153001	\$126.00	108162002	\$126.00
108141008	\$126.00	108153002	\$126.00	108162003	\$126.00
108141009	\$126.00	108153003	\$126.00	108162004	\$126.00
108141010	\$126.00	108153004	\$126.00	108162005	\$126.00
108141011	\$126.00	108153005	\$126.00	108162006	\$126.00
108141012	\$126.00	108153006	\$126.00	108162007	\$126.00
108141013	\$126.00	108153007	\$126.00	108162008	\$126.00
108141014	\$126.00	108153008	\$126.00	108163001	\$126.00
108141015	\$126.00	108153009	\$126.00	108163002	\$126.00
108141016	\$126.00	108153010	\$126.00	108163003	\$126.00
108141017	\$126.00	108153011	\$126.00	108163004	\$126.00
108141018	\$126.00	108153012	\$126.00	108163005	\$126.00
108141019	\$126.00	108153013	\$126.00	108163006	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108164001	\$126.00	108172018	\$126.00	108182019	\$126.00
108164002	\$126.00	108172019	\$126.00	108182020	\$126.00
108164003	\$126.00	108172020	\$126.00	108182021	\$126.00
108164004	\$126.00	108172021	\$126.00	108182022	\$126.00
108164005	\$126.00	108172022	\$126.00	108182023	\$126.00
108164006	\$126.00	108172023	\$126.00	108182024	\$126.00
108164007	\$126.00	108172024	\$126.00	108182025	\$126.00
108164008	\$126.00	108172025	\$126.00	108182026	\$126.00
108164009	\$126.00	108172026	\$126.00	108182027	\$126.00
108164010	\$126.00	108181001	\$126.00	108191001	\$126.00
108164011	\$126.00	108181002	\$126.00	108191002	\$126.00
108164012	\$126.00	108181003	\$126.00	108191003	\$126.00
108164013	\$126.00	108181004	\$126.00	108191004	\$126.00
108164014	\$126.00	108181005	\$126.00	108191005	\$126.00
108164015	\$126.00	108181006	\$126.00	108191006	\$126.00
108164016	\$126.00	108181007	\$126.00	108191007	\$126.00
108164017	\$126.00	108181008	\$126.00	108191008	\$126.00
108164018	\$126.00	108181009	\$126.00	108191009	\$126.00
108171001	\$126.00	108181010	\$126.00	108191010	\$126.00
108171002	\$126.00	108181011	\$126.00	108191011	\$126.00
108171003	\$126.00	108181012	\$126.00	108191012	\$126.00
108171004	\$126.00	108181013	\$126.00	108191013	\$126.00
108171005	\$126.00	108181014	\$126.00	108191014	\$126.00
108171006	\$126.00	108181015	\$126.00	108191015	\$126.00
108171007	\$126.00	108181016	\$126.00	108191016	\$126.00
108171008	\$126.00	108182001	\$126.00	108191017	\$126.00
108172001	\$126.00	108182002	\$126.00	108191018	\$126.00
108172002	\$126.00	108182003	\$126.00	108191019	\$126.00
108172003	\$126.00	108182004	\$126.00	108191020	\$126.00
108172004	\$126.00	108182005	\$126.00	108191021	\$126.00
108172005	\$126.00	108182006	\$126.00	108191022	\$126.00
108172006	\$126.00	108182007	\$126.00	108191023	\$126.00
108172007	\$126.00	108182008	\$126.00	108192001	\$126.00
108172008	\$126.00	108182009	\$126.00	108192002	\$126.00
108172009	\$126.00	108182010	\$126.00	108192003	\$126.00
108172010	\$126.00	108182011	\$126.00	108192004	\$126.00
108172011	\$126.00	108182012	\$126.00	108192005	\$126.00
108172012	\$126.00	108182013	\$126.00	108192006	\$126.00
108172013	\$126.00	108182014	\$126.00	108192007	\$126.00
108172014	\$126.00	108182015	\$126.00	108192008	\$126.00
108172015	\$126.00	108182016	\$126.00	108192009	\$126.00
108172016	\$126.00	108182017	\$126.00	108192010	\$126.00
108172017	\$126.00	108182018	\$126.00	108192011	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108192012	\$126.00	108211001	\$126.00	108221013	\$126.00
108192013	\$126.00	108211002	\$126.00	108222001	\$126.00
108201001	\$126.00	108211003	\$126.00	108222002	\$126.00
108201002	\$126.00	108211004	\$126.00	108222003	\$126.00
108201003	\$126.00	108211005	\$126.00	108222004	\$126.00
108201004	\$126.00	108211006	\$126.00	108222005	\$126.00
108201005	\$126.00	108211007	\$126.00	108222006	\$126.00
108201006	\$126.00	108211008	\$126.00	108222007	\$126.00
108201007	\$126.00	108211009	\$126.00	108222008	\$126.00
108201008	\$126.00	108211010	\$126.00	108222009	\$126.00
108201009	\$126.00	108211011	\$126.00	108222010	\$126.00
108201010	\$126.00	108212001	\$126.00	108222011	\$126.00
108201011	\$126.00	108212002	\$126.00	108222012	\$126.00
108201012	\$126.00	108212003	\$126.00	108222013	\$126.00
108201013	\$126.00	108212004	\$126.00	108222014	\$126.00
108201014	\$126.00	108212005	\$126.00	108222015	\$126.00
108201015	\$126.00	108212006	\$126.00	108222016	\$126.00
108202002	\$126.00	108212007	\$126.00	108222017	\$126.00
108202003	\$126.00	108212008	\$126.00	108222018	\$126.00
108202004	\$126.00	108212009	\$126.00	108222019	\$126.00
108202005	\$126.00	108212010	\$126.00	108222020	\$126.00
108202006	\$126.00	108212011	\$126.00	108222021	\$126.00
108202007	\$126.00	108212012	\$126.00	108222022	\$126.00
108202008	\$126.00	108212013	\$126.00	108222023	\$126.00
108202009	\$126.00	108212014	\$126.00	108231001	\$126.00
108202010	\$126.00	108212015	\$126.00	108231002	\$126.00
108202011	\$126.00	108212016	\$126.00	108231003	\$126.00
108202012	\$126.00	108212017	\$126.00	108231004	\$126.00
108202013	\$126.00	108212018	\$126.00	108231005	\$126.00
108202014	\$126.00	108212019	\$126.00	108231006	\$126.00
108202015	\$126.00	108212020	\$126.00	108231007	\$126.00
108202016	\$126.00	108221001	\$126.00	108231008	\$126.00
108202017	\$126.00	108221002	\$126.00	108231009	\$126.00
108202018	\$126.00	108221003	\$126.00	108231010	\$126.00
108202019	\$126.00	108221004	\$126.00	108231011	\$126.00
108202020	\$126.00	108221005	\$126.00	108231012	\$126.00
108202021	\$126.00	108221006	\$126.00	108231013	\$126.00
108202022	\$126.00	108221007	\$126.00	108231014	\$126.00
108202023	\$126.00	108221008	\$126.00	108231015	\$126.00
108202024	\$126.00	108221009	\$126.00	108231016	\$126.00
108202025	\$126.00	108221010	\$126.00	108231017	\$126.00
108202026	\$126.00	108221011	\$126.00	108231018	\$126.00
108202027	\$126.00	108221012	\$126.00	108231019	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108232001	\$126.00	108260019	\$126.00	108261017	\$126.00
108232002	\$126.00	108260020	\$126.00	108261018	\$126.00
108232003	\$126.00	108260021	\$126.00	108261019	\$126.00
108232004	\$126.00	108260022	\$126.00	108261020	\$126.00
108232005	\$126.00	108260023	\$126.00	108261021	\$126.00
108232006	\$126.00	108260024	\$126.00	108261022	\$126.00
108232007	\$126.00	108260025	\$126.00	108261023	\$126.00
108232008	\$126.00	108260026	\$126.00	108261024	\$126.00
108232009	\$126.00	108260027	\$126.00	108261025	\$126.00
108232010	\$126.00	108260028	\$126.00	108261026	\$126.00
108232011	\$126.00	108260029	\$126.00	108261027	\$126.00
108232012	\$126.00	108260030	\$126.00	108261029	\$126.00
108232013	\$126.00	108260031	\$126.00	108261030	\$126.00
108232014	\$126.00	108260032	\$126.00	108261031	\$126.00
108232015	\$126.00	108260033	\$126.00	108261032	\$126.00
108232016	\$126.00	108260034	\$126.00	108261033	\$126.00
108232017	\$126.00	108260035	\$126.00	108261034	\$126.00
108232018	\$126.00	108260036	\$126.00	108261035	\$126.00
108232019	\$126.00	108260037	\$126.00	108261036	\$126.00
108232020	\$126.00	108260038	\$126.00	108261037	\$126.00
108233001	\$126.00	108260039	\$126.00	108261039	\$126.00
108233002	\$126.00	108260040	\$126.00	108261040	\$126.00
108233003	\$126.00	108260041	\$126.00	108261041	\$126.00
108233004	\$126.00	108260042	\$126.00	108261042	\$126.00
108233005	\$126.00	108260043	\$126.00	108261043	\$126.00
108233006	\$126.00	108260044	\$126.00	108291001	\$126.00
108233007	\$126.00	108260045	\$126.00	108291002	\$126.00
108234001	\$126.00	108260046	\$126.00	108291003	\$126.00
108234002	\$126.00	108261001	\$126.00	108291004	\$126.00
108234003	\$126.00	108261002	\$126.00	108291005	\$126.00
108234004	\$126.00	108261003	\$126.00	108291006	\$126.00
108234005	\$126.00	108261004	\$126.00	108291007	\$126.00
108234006	\$126.00	108261005	\$126.00	108291008	\$126.00
108234007	\$126.00	108261006	\$126.00	108291009	\$126.00
108234008	\$126.00	108261007	\$126.00	108291010	\$126.00
108234009	\$126.00	108261008	\$126.00	108291011	\$126.00
108234010	\$126.00	108261009	\$126.00	108291012	\$126.00
108260013	\$126.00	108261010	\$126.00	108291013	\$126.00
108260014	\$126.00	108261011	\$126.00	108291014	\$126.00
108260015	\$126.00	108261012	\$126.00	108291015	\$126.00
108260016	\$126.00	108261013	\$126.00	108291016	\$126.00
108260017	\$126.00	108261014	\$126.00	108291017	\$126.00
108260018	\$126.00	108261015	\$126.00	108291018	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108291019	\$126.00	108300013	\$126.00	108311016	\$126.00
108291020	\$126.00	108300014	\$126.00	108311017	\$126.00
108291021	\$126.00	108300015	\$126.00	108311018	\$126.00
108291022	\$126.00	108300016	\$126.00	108312001	\$126.00
108291023	\$126.00	108300017	\$126.00	108312002	\$126.00
108291024	\$126.00	108300018	\$126.00	108312003	\$126.00
108291025	\$126.00	108300019	\$126.00	108312004	\$126.00
108291026	\$126.00	108300020	\$126.00	108312005	\$126.00
108291027	\$126.00	108300021	\$126.00	108312006	\$126.00
108292001	\$126.00	108300022	\$126.00	108312007	\$126.00
108292002	\$126.00	108300023	\$126.00	108312008	\$126.00
108292003	\$126.00	108300024	\$126.00	108312009	\$126.00
108292004	\$126.00	108300025	\$126.00	108312010	\$126.00
108292005	\$126.00	108300026	\$126.00	108312011	\$126.00
108292006	\$126.00	108300027	\$126.00	108312012	\$126.00
108292007	\$126.00	108300028	\$126.00	108312013	\$126.00
108292008	\$126.00	108300029	\$126.00	108312014	\$126.00
108292009	\$126.00	108300030	\$126.00	108312015	\$126.00
108292010	\$126.00	108300031	\$126.00	108312016	\$126.00
108292011	\$126.00	108300032	\$126.00	108312017	\$126.00
108292012	\$126.00	108300033	\$126.00	108312018	\$126.00
108292013	\$126.00	108300034	\$126.00	108341002	\$126.00
108292014	\$126.00	108300035	\$126.00	108341006	\$126.00
108292015	\$126.00	108300036	\$126.00	108341007	\$126.00
108292016	\$126.00	108300037	\$126.00	108341008	\$126.00
108292017	\$126.00	108300038	\$126.00	108341009	\$126.00
108292018	\$126.00	108300039	\$126.00	108341010	\$126.00
108292019	\$126.00	108300040	\$126.00	108341011	\$126.00
108292020	\$126.00	108311001	\$126.00	108341012	\$126.00
108292021	\$126.00	108311002	\$126.00	108341013	\$126.00
108292022	\$126.00	108311003	\$126.00	108341014	\$126.00
108300001	\$126.00	108311004	\$126.00	108341015	\$126.00
108300002	\$126.00	108311005	\$126.00	108341016	\$126.00
108300003	\$126.00	108311006	\$126.00	108341017	\$126.00
108300004	\$126.00	108311007	\$126.00	108341018	\$126.00
108300005	\$126.00	108311008	\$126.00	108341019	\$126.00
108300006	\$126.00	108311009	\$126.00	108341020	\$126.00
108300007	\$126.00	108311010	\$126.00	108341021	\$126.00
108300008	\$126.00	108311011	\$126.00	108341025	\$126.00
108300009	\$126.00	108311012	\$126.00	108341027	\$126.00
108300010	\$126.00	108311013	\$126.00	108342001	\$126.00
108300011	\$126.00	108311014	\$126.00	108342002	\$126.00
108300012	\$126.00	108311015	\$126.00	108342003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108342004	\$126.00	108351016	\$126.00	108361001	\$126.00
108342005	\$126.00	108351017	\$126.00	108361002	\$126.00
108342006	\$126.00	108351018	\$126.00	108361003	\$126.00
108342007	\$126.00	108352001	\$126.00	108361004	\$126.00
108342008	\$126.00	108352002	\$126.00	108361005	\$126.00
108342009	\$126.00	108352003	\$126.00	108361006	\$126.00
108342010	\$126.00	108352004	\$126.00	108361007	\$126.00
108342012	\$126.00	108352005	\$126.00	108361008	\$126.00
108342013	\$126.00	108352006	\$126.00	108361009	\$126.00
108342014	\$126.00	108352007	\$126.00	108361010	\$126.00
108342015	\$126.00	108352008	\$126.00	108361011	\$126.00
108342016	\$126.00	108352009	\$126.00	108361012	\$126.00
108342017	\$126.00	108352010	\$126.00	108361013	\$126.00
108342018	\$126.00	108353001	\$126.00	108361014	\$126.00
108342019	\$126.00	108353002	\$126.00	108361015	\$126.00
108342020	\$126.00	108353003	\$126.00	108362001	\$126.00
108342021	\$126.00	108353004	\$126.00	108362002	\$126.00
108342022	\$126.00	108353005	\$126.00	108362003	\$126.00
108342023	\$126.00	108353006	\$126.00	108362004	\$126.00
108342024	\$126.00	108353007	\$126.00	108362005	\$126.00
108342025	\$126.00	108353008	\$126.00	108362006	\$126.00
108342028	\$126.00	108353009	\$126.00	108362007	\$126.00
108342029	\$126.00	108353010	\$126.00	108362008	\$126.00
108342030	\$126.00	108353011	\$126.00	108362009	\$126.00
108342031	\$126.00	108353012	\$126.00	108362010	\$126.00
108342032	\$126.00	108353013	\$126.00	108362011	\$126.00
108342033	\$126.00	108353014	\$126.00	108362012	\$126.00
108342034	\$126.00	108353015	\$126.00	108362013	\$126.00
108351001	\$126.00	108353016	\$126.00	108362014	\$126.00
108351002	\$126.00	108353017	\$126.00	108363001	\$126.00
108351003	\$126.00	108353018	\$126.00	108363002	\$126.00
108351004	\$126.00	108353019	\$126.00	108363003	\$126.00
108351005	\$126.00	108353020	\$126.00	108363004	\$126.00
108351006	\$126.00	108353021	\$126.00	108363005	\$126.00
108351007	\$126.00	108353022	\$126.00	108363006	\$126.00
108351008	\$126.00	108353023	\$126.00	108363007	\$126.00
108351009	\$126.00	108353024	\$126.00	108363008	\$126.00
108351010	\$126.00	108353025	\$126.00	108363009	\$126.00
108351011	\$126.00	108353026	\$126.00	108363010	\$126.00
108351012	\$126.00	108353027	\$126.00	108363011	\$126.00
108351013	\$126.00	108353028	\$126.00	108363012	\$126.00
108351014	\$126.00	108353029	\$126.00	108363013	\$126.00
108351015	\$126.00	108353030	\$126.00	108363014	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108363015	\$126.00	108372028	\$126.00	108391005	\$126.00
108363016	\$126.00	108372029	\$126.00	108391006	\$126.00
108371001	\$126.00	108372030	\$126.00	108391007	\$126.00
108371002	\$126.00	108372031	\$126.00	108391008	\$126.00
108371003	\$126.00	108372032	\$126.00	108391009	\$126.00
108371004	\$126.00	108372033	\$126.00	108391010	\$126.00
108371005	\$126.00	108372034	\$126.00	108391011	\$126.00
108371006	\$126.00	108372035	\$126.00	108391012	\$126.00
108371007	\$126.00	108372036	\$126.00	108391013	\$126.00
108371008	\$126.00	108372037	\$126.00	108391014	\$126.00
108371009	\$126.00	108372038	\$126.00	108392001	\$126.00
108371010	\$126.00	108372039	\$126.00	108392002	\$126.00
108371011	\$126.00	108372040	\$126.00	108392003	\$126.00
108371012	\$126.00	108372041	\$126.00	108392004	\$126.00
108371013	\$126.00	108381001	\$126.00	108392005	\$126.00
108371014	\$126.00	108381002	\$126.00	108392006	\$126.00
108372001	\$126.00	108381003	\$126.00	108392007	\$126.00
108372002	\$126.00	108381004	\$126.00	108392008	\$126.00
108372003	\$126.00	108382001	\$126.00	108392009	\$126.00
108372004	\$126.00	108382002	\$126.00	108392010	\$126.00
108372005	\$126.00	108382003	\$126.00	108392011	\$126.00
108372006	\$126.00	108382004	\$126.00	108401001	\$126.00
108372007	\$126.00	108382005	\$126.00	108401002	\$126.00
108372008	\$126.00	108383001	\$126.00	108401003	\$126.00
108372009	\$126.00	108383002	\$126.00	108401004	\$126.00
108372010	\$126.00	108383003	\$126.00	108401005	\$126.00
108372011	\$126.00	108383004	\$126.00	108401006	\$126.00
108372012	\$126.00	108383005	\$126.00	108401007	\$126.00
108372013	\$126.00	108383006	\$126.00	108401008	\$126.00
108372014	\$126.00	108384001	\$126.00	108401009	\$126.00
108372015	\$126.00	108384002	\$126.00	108401010	\$126.00
108372016	\$126.00	108384003	\$126.00	108401011	\$126.00
108372017	\$126.00	108384004	\$126.00	108401012	\$126.00
108372018	\$126.00	108384005	\$126.00	108401013	\$126.00
108372019	\$126.00	108384006	\$126.00	108401014	\$126.00
108372020	\$126.00	108384007	\$126.00	108401015	\$126.00
108372021	\$126.00	108384008	\$126.00	108401017	\$126.00
108372022	\$126.00	108384009	\$126.00	108401018	\$126.00
108372023	\$126.00	108384010	\$126.00	108401019	\$126.00
108372024	\$126.00	108391001	\$126.00	108401020	\$126.00
108372025	\$126.00	108391002	\$126.00	108401021	\$126.00
108372026	\$126.00	108391003	\$126.00	108401022	\$126.00
108372027	\$126.00	108391004	\$126.00	108401023	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108401024	\$126.00	108401070	\$126.00	108411025	\$126.00
108401025	\$126.00	108401071	\$126.00	108411026	\$126.00
108401026	\$126.00	108401072	\$126.00	108411027	\$126.00
108401027	\$126.00	108401073	\$126.00	108411028	\$126.00
108401028	\$126.00	108401074	\$126.00	108411029	\$126.00
108401029	\$126.00	108401075	\$126.00	108411030	\$126.00
108401030	\$126.00	108401076	\$126.00	108411031	\$126.00
108401032	\$126.00	108401077	\$126.00	108411032	\$126.00
108401033	\$126.00	108401078	\$126.00	108411033	\$126.00
108401034	\$126.00	108410001	\$126.00	108411034	\$126.00
108401035	\$126.00	108410002	\$126.00	108411035	\$126.00
108401036	\$126.00	108410003	\$126.00	108411036	\$126.00
108401037	\$126.00	108410004	\$126.00	108411038	\$126.00
108401038	\$126.00	108410005	\$126.00	108411039	\$126.00
108401039	\$126.00	108410006	\$126.00	108411040	\$126.00
108401040	\$126.00	108410007	\$126.00	108411041	\$126.00
108401041	\$126.00	108410008	\$126.00	108411042	\$126.00
108401042	\$126.00	108410009	\$126.00	108411043	\$126.00
108401043	\$126.00	108410010	\$126.00	108411044	\$126.00
108401044	\$126.00	108410011	\$126.00	108411045	\$126.00
108401045	\$126.00	108411001	\$126.00	108411046	\$126.00
108401046	\$126.00	108411002	\$126.00	108411048	\$126.00
108401048	\$126.00	108411003	\$126.00	108411049	\$126.00
108401049	\$126.00	108411004	\$126.00	108411050	\$126.00
108401050	\$126.00	108411005	\$126.00	108411051	\$126.00
108401051	\$126.00	108411006	\$126.00	108421001	\$126.00
108401052	\$126.00	108411007	\$126.00	108421002	\$126.00
108401053	\$126.00	108411008	\$126.00	108421003	\$126.00
108401054	\$126.00	108411009	\$126.00	108421004	\$126.00
108401055	\$126.00	108411010	\$126.00	108421005	\$126.00
108401056	\$126.00	108411011	\$126.00	108421006	\$126.00
108401057	\$126.00	108411012	\$126.00	108421007	\$126.00
108401058	\$126.00	108411013	\$126.00	108421008	\$126.00
108401059	\$126.00	108411014	\$126.00	108421009	\$126.00
108401060	\$126.00	108411015	\$126.00	108421010	\$126.00
108401061	\$126.00	108411016	\$126.00	108421011	\$126.00
108401062	\$126.00	108411017	\$126.00	108421012	\$126.00
108401064	\$126.00	108411019	\$126.00	108421013	\$126.00
108401065	\$126.00	108411020	\$126.00	108421014	\$126.00
108401066	\$126.00	108411021	\$126.00	108421015	\$126.00
108401067	\$126.00	108411022	\$126.00	108421016	\$126.00
108401068	\$126.00	108411023	\$126.00	108421017	\$126.00
108401069	\$126.00	108411024	\$126.00	108421018	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108421019	\$126.00	108441024	\$126.00	108461035	\$126.00
108421020	\$126.00	108441025	\$126.00	108461037	\$126.00
108421021	\$126.00	108441026	\$126.00	108461038	\$126.00
108421023	\$126.00	108441027	\$126.00	108461039	\$126.00
108421024	\$126.00	108441028	\$126.00	108461040	\$126.00
108421025	\$126.00	108441029	\$126.00	108461041	\$126.00
108421026	\$126.00	108441030	\$126.00	108461042	\$126.00
108421027	\$126.00	108441031	\$126.00	108461043	\$126.00
108421028	\$126.00	108441032	\$126.00	108461044	\$126.00
108421029	\$126.00	108441033	\$126.00	108461045	\$126.00
108421030	\$126.00	108461001	\$126.00	108461046	\$126.00
108421031	\$126.00	108461002	\$126.00	108461047	\$126.00
108421032	\$126.00	108461003	\$126.00	108461048	\$126.00
108421033	\$126.00	108461004	\$126.00	108461049	\$126.00
108421034	\$126.00	108461005	\$126.00	108461050	\$126.00
108421035	\$126.00	108461006	\$126.00	108461051	\$126.00
108421036	\$126.00	108461007	\$126.00	108461052	\$126.00
108421037	\$126.00	108461008	\$126.00	108461053	\$126.00
108421038	\$126.00	108461009	\$126.00	108461054	\$126.00
108421039	\$126.00	108461010	\$126.00	108461056	\$126.00
108421040	\$126.00	108461011	\$126.00	108461057	\$126.00
108441001	\$126.00	108461012	\$126.00	108461058	\$126.00
108441002	\$126.00	108461013	\$126.00	108461059	\$126.00
108441003	\$126.00	108461014	\$126.00	108461060	\$126.00
108441004	\$126.00	108461015	\$126.00	108461061	\$126.00
108441005	\$126.00	108461016	\$126.00	108461062	\$126.00
108441006	\$126.00	108461017	\$126.00	108461063	\$126.00
108441007	\$126.00	108461018	\$126.00	108461064	\$126.00
108441008	\$126.00	108461019	\$126.00	108461065	\$126.00
108441009	\$126.00	108461021	\$126.00	108461066	\$126.00
108441010	\$126.00	108461022	\$126.00	108461067	\$126.00
108441011	\$126.00	108461023	\$126.00	108461068	\$126.00
108441012	\$126.00	108461024	\$126.00	108461069	\$126.00
108441013	\$126.00	108461025	\$126.00	108461070	\$126.00
108441014	\$126.00	108461026	\$126.00	108462001	\$126.00
108441015	\$126.00	108461027	\$126.00	108462002	\$126.00
108441017	\$126.00	108461028	\$126.00	108462003	\$126.00
108441018	\$126.00	108461029	\$126.00	108462004	\$126.00
108441019	\$126.00	108461030	\$126.00	108462005	\$126.00
108441020	\$126.00	108461031	\$126.00	108462006	\$126.00
108441021	\$126.00	108461032	\$126.00	108462007	\$126.00
108441022	\$126.00	108461033	\$126.00	108462008	\$126.00
108441023	\$126.00	108461034	\$126.00	108462009	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
108462010	\$126.00	108504010	\$126.00	112303004	\$126.00
108462011	\$126.00	108504011	\$126.00	112303005	\$126.00
108462012	\$126.00	108504012	\$126.00	112303006	\$126.00
108462013	\$126.00	112301001	\$126.00	112303007	\$126.00
108462014	\$126.00	112301002	\$126.00	112303008	\$126.00
108462016	\$126.00	112301003	\$126.00	112303009	\$126.00
108462017	\$126.00	112301004	\$126.00	112303010	\$126.00
108462018	\$126.00	112301005	\$126.00	112303012	\$126.00
108462019	\$126.00	112301006	\$126.00	112303013	\$126.00
108462020	\$126.00	112301007	\$126.00	112303014	\$126.00
108462021	\$126.00	112301008	\$126.00	112303015	\$126.00
108462022	\$126.00	112301009	\$126.00	112303016	\$126.00
108462023	\$126.00	112301010	\$126.00	112303017	\$126.00
108462024	\$126.00	112301011	\$126.00	112303018	\$126.00
108462025	\$126.00	112301013	\$126.00	112303019	\$126.00
108462026	\$126.00	112301014	\$126.00	112303020	\$126.00
108462027	\$126.00	112301016	\$126.00	112303021	\$126.00
108462028	\$126.00	112301017	\$126.00	112303022	\$126.00
108462029	\$126.00	112301018	\$126.00	112303023	\$126.00
108462030	\$126.00	112301019	\$126.00	112303024	\$126.00
108462031	\$126.00	112301020	\$126.00	112303025	\$126.00
108462032	\$126.00	112301021	\$126.00	112303026	\$126.00
108501015	\$126.00	112301022	\$126.00	112341002	\$126.00
108501016	\$126.00	112301023	\$126.00	112341003	\$126.00
108501017	\$126.00	112301024	\$126.00	112341004	\$126.00
108501018	\$126.00	112301025	\$126.00	112341005	\$126.00
108501019	\$126.00	112301027	\$126.00	112341006	\$126.00
108501020	\$126.00	112301028	\$126.00	112341007	\$126.00
108501021	\$126.00	112301029	\$126.00	112341008	\$126.00
108501022	\$126.00	112301030	\$126.00	112341009	\$126.00
108501023	\$126.00	112301031	\$126.00	112341010	\$126.00
108501024	\$126.00	112302001	\$126.00	112341019	\$126.00
108501025	\$126.00	112302002	\$126.00	112341026	\$126.00
108501026	\$126.00	112302003	\$126.00	112342006	\$126.00
108504001	\$126.00	112302004	\$126.00	112342007	\$126.00
108504002	\$126.00	112302005	\$126.00	112342008	\$126.00
108504003	\$126.00	112302006	\$126.00	112342009	\$126.00
108504004	\$126.00	112302008	\$126.00	112342010	\$126.00
108504005	\$126.00	112302009	\$126.00	112342011	\$126.00
108504006	\$126.00	112302010	\$126.00	112342012	\$126.00
108504007	\$126.00	112303001	\$126.00	112342013	\$126.00
108504008	\$126.00	112303002	\$126.00	112342016	\$126.00
108504009	\$126.00	112303003	\$126.00	112342017	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
112342018	\$126.00	112352016	\$126.00	112382013	\$126.00
112342019	\$126.00	112352017	\$126.00	112382014	\$126.00
112342020	\$126.00	112352018	\$126.00	112382015	\$126.00
112342021	\$126.00	112352019	\$126.00	112382016	\$126.00
112342028	\$126.00	112360002	\$126.00	112382017	\$126.00
112342034	\$126.00	112360003	\$126.00	112382018	\$126.00
112342035	\$126.00	112360004	\$126.00	112382019	\$126.00
112342038	\$126.00	112360006	\$126.00	112382020	\$126.00
112342039	\$126.00	112360007	\$126.00	112382026	\$126.00
112342040	\$126.00	112360008	\$126.00	112382027	\$126.00
112342041	\$126.00	112360009	\$126.00	112382028	\$126.00
112342042	\$126.00	112360010	\$126.00	112382029	\$126.00
112351002	\$126.00	112360011	\$126.00	112382030	\$126.00
112351003	\$126.00	112360020	\$126.00	112382031	\$126.00
112351004	\$126.00	112360028	\$126.00	112382032	\$126.00
112351005	\$126.00	112360031	\$126.00	112382033	\$126.00
112351006	\$126.00	112381001	\$126.00	113071001	\$126.00
112351007	\$126.00	112381002	\$126.00	113071002	\$126.00
112351009	\$126.00	112381003	\$126.00	113071003	\$126.00
112351010	\$126.00	112381004	\$126.00	113071004	\$126.00
112351011	\$126.00	112381005	\$126.00	113071005	\$126.00
112351012	\$126.00	112381006	\$126.00	113071006	\$126.00
112351013	\$126.00	112381007	\$126.00	113071007	\$126.00
112351014	\$126.00	112381008	\$126.00	113071008	\$126.00
112351015	\$126.00	112381009	\$126.00	113071009	\$126.00
112351016	\$126.00	112381010	\$126.00	113071010	\$126.00
112351018	\$126.00	112381011	\$126.00	113071011	\$126.00
112351019	\$126.00	112381012	\$126.00	113071012	\$126.00
112351020	\$126.00	112381013	\$126.00	113071013	\$126.00
112351021	\$126.00	112381014	\$126.00	113071014	\$126.00
112351022	\$126.00	112381015	\$126.00	113071015	\$126.00
112351023	\$126.00	112382001	\$126.00	113071016	\$126.00
112351030	\$126.00	112382002	\$126.00	113071017	\$126.00
112351036	\$126.00	112382003	\$126.00	113071018	\$126.00
112351037	\$126.00	112382004	\$126.00	113071019	\$126.00
112351038	\$126.00	112382005	\$126.00	113071020	\$126.00
112352006	\$126.00	112382006	\$126.00	113071021	\$126.00
112352007	\$126.00	112382007	\$126.00	113071022	\$126.00
112352008	\$126.00	112382008	\$126.00	113071023	\$126.00
112352009	\$126.00	112382009	\$126.00	113071024	\$126.00
112352010	\$126.00	112382010	\$126.00	113071025	\$126.00
112352011	\$126.00	112382011	\$126.00	113071026	\$126.00
112352015	\$126.00	112382012	\$126.00	113071027	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113071028	\$126.00	113072026	\$126.00	113080037	\$126.00
113071029	\$126.00	113072027	\$126.00	113080038	\$126.00
113071030	\$126.00	113072028	\$126.00	113091001	\$126.00
113071031	\$126.00	113072029	\$126.00	113091002	\$126.00
113071032	\$126.00	113072030	\$126.00	113091003	\$126.00
113071033	\$126.00	113072031	\$126.00	113091004	\$126.00
113071034	\$126.00	113072032	\$126.00	113091005	\$126.00
113071035	\$126.00	113080001	\$126.00	113091006	\$126.00
113071036	\$126.00	113080002	\$126.00	113091007	\$126.00
113071037	\$126.00	113080003	\$126.00	113091008	\$126.00
113071038	\$126.00	113080004	\$126.00	113091009	\$126.00
113071039	\$126.00	113080005	\$126.00	113091010	\$126.00
113071040	\$126.00	113080006	\$126.00	113091011	\$126.00
113071041	\$126.00	113080007	\$126.00	113091012	\$126.00
113071042	\$126.00	113080008	\$126.00	113091013	\$126.00
113071043	\$126.00	113080009	\$126.00	113091014	\$126.00
113071044	\$126.00	113080010	\$126.00	113091015	\$126.00
113071046	\$126.00	113080011	\$126.00	113091016	\$126.00
113072001	\$126.00	113080012	\$126.00	113091017	\$126.00
113072002	\$126.00	113080013	\$126.00	113091018	\$126.00
113072003	\$126.00	113080014	\$126.00	113091019	\$126.00
113072004	\$126.00	113080015	\$126.00	113091020	\$126.00
113072005	\$126.00	113080016	\$126.00	113091021	\$126.00
113072006	\$126.00	113080017	\$126.00	113091022	\$126.00
113072007	\$126.00	113080018	\$126.00	113091023	\$126.00
113072008	\$126.00	113080019	\$126.00	113091024	\$126.00
113072009	\$126.00	113080020	\$126.00	113091025	\$126.00
113072010	\$126.00	113080021	\$126.00	113091026	\$126.00
113072011	\$126.00	113080022	\$126.00	113091027	\$126.00
113072012	\$126.00	113080023	\$126.00	113092001	\$126.00
113072013	\$126.00	113080024	\$126.00	113092002	\$126.00
113072014	\$126.00	113080025	\$126.00	113092003	\$126.00
113072015	\$126.00	113080026	\$126.00	113092004	\$126.00
113072016	\$126.00	113080027	\$126.00	113092005	\$126.00
113072017	\$126.00	113080028	\$126.00	113092006	\$126.00
113072018	\$126.00	113080029	\$126.00	113092007	\$126.00
113072019	\$126.00	113080030	\$126.00	113092008	\$126.00
113072020	\$126.00	113080031	\$126.00	113093002	\$126.00
113072021	\$126.00	113080032	\$126.00	113093003	\$126.00
113072022	\$126.00	113080033	\$126.00	113093004	\$126.00
113072023	\$126.00	113080034	\$126.00	113093005	\$126.00
113072024	\$126.00	113080035	\$126.00	113093006	\$126.00
113072025	\$126.00	113080036	\$126.00	113093007	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113094001	\$126.00	113111014	\$126.00	113124004	\$126.00
113094002	\$126.00	113111015	\$126.00	113124005	\$126.00
113094003	\$126.00	113111016	\$126.00	113124006	\$126.00
113094004	\$126.00	113111017	\$126.00	113124007	\$126.00
113094005	\$126.00	113111018	\$126.00	113124008	\$126.00
113094006	\$126.00	113112001	\$126.00	113131001	\$126.00
113094007	\$126.00	113112002	\$126.00	113131002	\$126.00
113094008	\$126.00	113112003	\$126.00	113131003	\$126.00
113094009	\$126.00	113112004	\$126.00	113131004	\$126.00
113094010	\$126.00	113112005	\$126.00	113131005	\$126.00
113094011	\$126.00	113112006	\$126.00	113131006	\$126.00
113094012	\$126.00	113121001	\$126.00	113131007	\$126.00
113094013	\$126.00	113121002	\$126.00	113131008	\$126.00
113094014	\$126.00	113121003	\$126.00	113131009	\$126.00
113094015	\$126.00	113121004	\$126.00	113131010	\$126.00
113094016	\$126.00	113121005	\$126.00	113131011	\$126.00
113094017	\$126.00	113121006	\$126.00	113131012	\$126.00
113094018	\$126.00	113121007	\$126.00	113131013	\$126.00
113094019	\$126.00	113121010	\$126.00	113132001	\$126.00
113094020	\$126.00	113122001	\$126.00	113132002	\$126.00
113094021	\$126.00	113122002	\$126.00	113132003	\$126.00
113094022	\$126.00	113122003	\$126.00	113132004	\$126.00
113094023	\$126.00	113122004	\$126.00	113132005	\$126.00
113094024	\$126.00	113122005	\$126.00	113132006	\$126.00
113094025	\$126.00	113122006	\$126.00	113132007	\$126.00
113094026	\$126.00	113122007	\$126.00	113132008	\$126.00
113094027	\$126.00	113122008	\$126.00	113132009	\$126.00
113094028	\$126.00	113123001	\$126.00	113132010	\$126.00
113094029	\$126.00	113123002	\$126.00	113132011	\$126.00
113094030	\$126.00	113123003	\$126.00	113133001	\$126.00
113111001	\$126.00	113123004	\$126.00	113133002	\$126.00
113111002	\$126.00	113123005	\$126.00	113133003	\$126.00
113111003	\$126.00	113123006	\$126.00	113133004	\$126.00
113111004	\$126.00	113123007	\$126.00	113133005	\$126.00
113111005	\$126.00	113123010	\$126.00	113133011	\$126.00
113111006	\$126.00	113123011	\$126.00	113133013	\$126.00
113111007	\$126.00	113123012	\$126.00	113133014	\$126.00
113111008	\$126.00	113123013	\$126.00	113133015	\$126.00
113111009	\$126.00	113123014	\$126.00	113133016	\$126.00
113111010	\$126.00	113123015	\$126.00	113133017	\$126.00
113111011	\$126.00	113124001	\$126.00	113134001	\$126.00
113111012	\$126.00	113124002	\$126.00	113134002	\$126.00
113111013	\$126.00	113124003	\$126.00	113134003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113134004	\$126.00	113150039	\$126.00	113170003	\$126.00
113134005	\$126.00	113150041	\$126.00	113170004	\$126.00
113140015	\$126.00	113150042	\$126.00	113170005	\$126.00
113140016	\$126.00	113150043	\$126.00	113170006	\$126.00
113140017	\$126.00	113150044	\$126.00	113170007	\$126.00
113140018	\$126.00	113150045	\$126.00	113170008	\$126.00
113150001	\$126.00	113150046	\$126.00	113170009	\$126.00
113150002	\$126.00	113150047	\$126.00	113170010	\$126.00
113150003	\$126.00	113150048	\$126.00	113170011	\$126.00
113150004	\$126.00	113150049	\$126.00	113170012	\$126.00
113150005	\$126.00	113150050	\$126.00	113170013	\$126.00
113150006	\$126.00	113150051	\$126.00	113170014	\$126.00
113150007	\$126.00	113150052	\$126.00	113170015	\$126.00
113150008	\$126.00	113150054	\$126.00	113170016	\$126.00
113150009	\$126.00	113150055	\$126.00	113170017	\$126.00
113150010	\$126.00	113150056	\$126.00	113170018	\$126.00
113150011	\$126.00	113150057	\$126.00	113170019	\$126.00
113150012	\$126.00	113150058	\$126.00	113170020	\$126.00
113150013	\$126.00	113150059	\$126.00	113170021	\$126.00
113150014	\$126.00	113150060	\$126.00	113170022	\$126.00
113150015	\$126.00	113150061	\$126.00	113170023	\$126.00
113150016	\$126.00	113150062	\$126.00	113170024	\$126.00
113150017	\$126.00	113150063	\$126.00	113170025	\$126.00
113150018	\$126.00	113150064	\$126.00	113170027	\$126.00
113150019	\$126.00	113150065	\$126.00	113170028	\$126.00
113150020	\$126.00	113150066	\$126.00	113170029	\$126.00
113150022	\$126.00	113150067	\$126.00	113170030	\$126.00
113150023	\$126.00	113150068	\$126.00	113170031	\$126.00
113150024	\$126.00	113150069	\$126.00	113170032	\$126.00
113150025	\$126.00	113150070	\$126.00	113170033	\$126.00
113150026	\$126.00	113150071	\$126.00	113170034	\$126.00
113150027	\$126.00	113150072	\$126.00	113170035	\$126.00
113150028	\$126.00	113150073	\$126.00	113170036	\$126.00
113150029	\$126.00	113150074	\$126.00	113170037	\$126.00
113150030	\$126.00	113150075	\$126.00	113170038	\$126.00
113150031	\$126.00	113150076	\$126.00	113170039	\$126.00
113150032	\$126.00	113150077	\$126.00	113170040	\$126.00
113150033	\$126.00	113150078	\$126.00	113170041	\$126.00
113150034	\$126.00	113150079	\$126.00	113170042	\$126.00
113150035	\$126.00	113150080	\$126.00	113170043	\$126.00
113150036	\$126.00	113150081	\$126.00	113170044	\$126.00
113150037	\$126.00	113170001	\$126.00	113181002	\$126.00
113150038	\$126.00	113170002	\$126.00	113181003	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113181004	\$126.00	113192008	\$126.00	113202021	\$126.00
113181005	\$126.00	113192009	\$126.00	113202022	\$126.00
113181006	\$126.00	113192010	\$126.00	113202023	\$126.00
113181007	\$126.00	113192011	\$126.00	113202024	\$126.00
113181008	\$126.00	113192012	\$126.00	113202025	\$126.00
113181009	\$126.00	113192013	\$126.00	113202026	\$126.00
113181010	\$126.00	113192014	\$126.00	113203001	\$126.00
113182001	\$126.00	113192015	\$126.00	113203002	\$126.00
113182002	\$126.00	113192016	\$126.00	113203003	\$126.00
113182003	\$126.00	113192017	\$126.00	113203004	\$126.00
113182004	\$126.00	113192018	\$126.00	113204001	\$126.00
113182005	\$126.00	113201001	\$126.00	113204002	\$126.00
113182006	\$126.00	113201002	\$126.00	113204003	\$126.00
113182007	\$126.00	113201003	\$126.00	113204004	\$126.00
113182008	\$126.00	113201004	\$126.00	113204005	\$126.00
113182009	\$126.00	113201005	\$126.00	113204006	\$126.00
113182010	\$126.00	113201006	\$126.00	113211001	\$126.00
113182011	\$126.00	113201007	\$126.00	113211002	\$126.00
113182012	\$126.00	113201008	\$126.00	113211003	\$126.00
113182013	\$126.00	113201009	\$126.00	113211004	\$126.00
113182014	\$126.00	113201010	\$126.00	113211005	\$126.00
113182015	\$126.00	113201011	\$126.00	113211006	\$126.00
113182016	\$126.00	113201012	\$126.00	113211007	\$126.00
113182017	\$126.00	113202001	\$126.00	113211008	\$126.00
113182018	\$126.00	113202002	\$126.00	113211009	\$126.00
113182019	\$126.00	113202003	\$126.00	113211010	\$126.00
113183001	\$126.00	113202004	\$126.00	113211011	\$126.00
113183002	\$126.00	113202005	\$126.00	113211012	\$126.00
113183003	\$126.00	113202006	\$126.00	113211013	\$126.00
113183004	\$126.00	113202007	\$126.00	113211014	\$126.00
113183005	\$126.00	113202008	\$126.00	113211015	\$126.00
113191001	\$126.00	113202009	\$126.00	113211016	\$126.00
113191002	\$126.00	113202010	\$126.00	113211017	\$126.00
113191003	\$126.00	113202011	\$126.00	113212001	\$126.00
113191004	\$126.00	113202012	\$126.00	113212002	\$126.00
113191005	\$126.00	113202013	\$126.00	113212003	\$126.00
113192001	\$126.00	113202014	\$126.00	113212004	\$126.00
113192002	\$126.00	113202015	\$126.00	113212005	\$126.00
113192003	\$126.00	113202016	\$126.00	113212006	\$126.00
113192004	\$126.00	113202017	\$126.00	113212007	\$126.00
113192005	\$126.00	113202018	\$126.00	113212008	\$126.00
113192006	\$126.00	113202019	\$126.00	113212009	\$126.00
113192007	\$126.00	113202020	\$126.00	113212010	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113212011	\$126.00	113222029	\$126.00	113241007	\$126.00
113212012	\$126.00	113231001	\$126.00	113241008	\$126.00
113212013	\$126.00	113231002	\$126.00	113241009	\$126.00
113212014	\$126.00	113231003	\$126.00	113241010	\$126.00
113212015	\$126.00	113231004	\$126.00	113241011	\$126.00
113212016	\$126.00	113231005	\$126.00	113241012	\$126.00
113221001	\$126.00	113231006	\$126.00	113241013	\$126.00
113221002	\$126.00	113231007	\$126.00	113242001	\$126.00
113221003	\$126.00	113231008	\$126.00	113242002	\$126.00
113221004	\$126.00	113232001	\$126.00	113242003	\$126.00
113221005	\$126.00	113232002	\$126.00	113242004	\$126.00
113221006	\$126.00	113232003	\$126.00	113242005	\$126.00
113221007	\$126.00	113232004	\$126.00	113242006	\$126.00
113221008	\$126.00	113232005	\$126.00	113242007	\$126.00
113221009	\$126.00	113232006	\$126.00	113242008	\$126.00
113221010	\$126.00	113232007	\$126.00	113242009	\$126.00
113221011	\$126.00	113232008	\$126.00	113242010	\$126.00
113221012	\$126.00	113232009	\$126.00	113242011	\$126.00
113222001	\$126.00	113232010	\$126.00	113242012	\$126.00
113222002	\$126.00	113232011	\$126.00	113242013	\$126.00
113222003	\$126.00	113233001	\$126.00	113242014	\$126.00
113222004	\$126.00	113233002	\$126.00	113242015	\$126.00
113222005	\$126.00	113233003	\$126.00	113242016	\$126.00
113222006	\$126.00	113233004	\$126.00	113242017	\$126.00
113222007	\$126.00	113233005	\$126.00	113242018	\$126.00
113222009	\$126.00	113233006	\$126.00	113242019	\$126.00
113222010	\$126.00	113233007	\$126.00	113242020	\$126.00
113222011	\$126.00	113233008	\$126.00	113242021	\$126.00
113222012	\$126.00	113233009	\$126.00	113242022	\$126.00
113222013	\$126.00	113233010	\$126.00	113242023	\$126.00
113222014	\$126.00	113233011	\$126.00	113242024	\$126.00
113222015	\$126.00	113233012	\$126.00	113242025	\$126.00
113222016	\$126.00	113233013	\$126.00	113242026	\$126.00
113222017	\$126.00	113233014	\$126.00	113242027	\$126.00
113222018	\$126.00	113233015	\$126.00	113242028	\$126.00
113222019	\$126.00	113233016	\$126.00	113242029	\$126.00
113222022	\$126.00	113233017	\$126.00	113243001	\$126.00
113222023	\$126.00	113241001	\$126.00	113243002	\$126.00
113222024	\$126.00	113241002	\$126.00	113243003	\$126.00
113222025	\$126.00	113241003	\$126.00	113243004	\$126.00
113222026	\$126.00	113241004	\$126.00	113243005	\$126.00
113222027	\$126.00	113241005	\$126.00	113243006	\$126.00
113222028	\$126.00	113241006	\$126.00	113243007	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113243008	\$126.00	113262011	\$126.00	113321013	\$126.00
113243009	\$126.00	113262012	\$126.00	113321014	\$126.00
113243010	\$126.00	113262013	\$126.00	113321015	\$126.00
113261001	\$126.00	113262014	\$126.00	113321016	\$126.00
113261002	\$126.00	113262015	\$126.00	113321017	\$126.00
113261003	\$126.00	113262016	\$126.00	113321018	\$126.00
113261004	\$126.00	113262017	\$126.00	113321019	\$126.00
113261005	\$126.00	113262018	\$126.00	113321020	\$126.00
113261006	\$126.00	113262019	\$126.00	113321021	\$126.00
113261007	\$126.00	113262020	\$126.00	113321022	\$126.00
113261008	\$126.00	113262021	\$126.00	113321023	\$126.00
113261009	\$126.00	113263001	\$126.00	113321024	\$126.00
113261010	\$126.00	113263002	\$126.00	113321025	\$126.00
113261011	\$126.00	113263003	\$126.00	113321026	\$126.00
113261012	\$126.00	113263004	\$126.00	113321027	\$126.00
113261013	\$126.00	113263005	\$126.00	113322001	\$126.00
113261014	\$126.00	113263006	\$126.00	113322002	\$126.00
113261015	\$126.00	113263007	\$126.00	113322003	\$126.00
113261016	\$126.00	113263008	\$126.00	113322004	\$126.00
113261017	\$126.00	113263009	\$126.00	113322005	\$126.00
113261018	\$126.00	113263010	\$126.00	113322006	\$126.00
113261019	\$126.00	113264001	\$126.00	113322007	\$126.00
113261020	\$126.00	113264002	\$126.00	113322008	\$126.00
113261021	\$126.00	113264003	\$126.00	113322009	\$126.00
113261022	\$126.00	113264004	\$126.00	113322010	\$126.00
113261023	\$126.00	113264005	\$126.00	113322011	\$126.00
113261024	\$126.00	113264006	\$126.00	113322012	\$126.00
113261025	\$126.00	113264007	\$126.00	113322013	\$126.00
113261026	\$126.00	113264008	\$126.00	113322014	\$126.00
113261027	\$126.00	113264009	\$126.00	113322015	\$126.00
113261028	\$126.00	113264010	\$126.00	113322016	\$126.00
113261029	\$126.00	113321001	\$126.00	113322017	\$126.00
113261030	\$126.00	113321002	\$126.00	113322018	\$126.00
113262001	\$126.00	113321003	\$126.00	113371001	\$126.00
113262002	\$126.00	113321004	\$126.00	113371002	\$126.00
113262003	\$126.00	113321005	\$126.00	113371003	\$126.00
113262004	\$126.00	113321006	\$126.00	113371004	\$126.00
113262005	\$126.00	113321007	\$126.00	113371005	\$126.00
113262006	\$126.00	113321008	\$126.00	113371006	\$126.00
113262007	\$126.00	113321009	\$126.00	113371007	\$126.00
113262008	\$126.00	113321010	\$126.00	113371008	\$126.00
113262009	\$126.00	113321011	\$126.00	113371009	\$126.00
113262010	\$126.00	113321012	\$126.00	113371010	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113371011	\$126.00	113372015	\$126.00	113383009	\$126.00
113371012	\$126.00	113372016	\$126.00	113383010	\$126.00
113371013	\$126.00	113372017	\$126.00	113383011	\$126.00
113371014	\$126.00	113372018	\$126.00	113383012	\$126.00
113371015	\$126.00	113372019	\$126.00	113383013	\$126.00
113371016	\$126.00	113372020	\$126.00	113383014	\$126.00
113371017	\$126.00	113372021	\$126.00	113391001	\$126.00
113371018	\$126.00	113372022	\$126.00	113391002	\$126.00
113371019	\$126.00	113372023	\$126.00	113391003	\$126.00
113371020	\$126.00	113372024	\$126.00	113391004	\$126.00
113371021	\$126.00	113372025	\$126.00	113391005	\$126.00
113371022	\$126.00	113372026	\$126.00	113391006	\$126.00
113371023	\$126.00	113381001	\$126.00	113391007	\$126.00
113371024	\$126.00	113381002	\$126.00	113391008	\$126.00
113371025	\$126.00	113381003	\$126.00	113391009	\$126.00
113371026	\$126.00	113381004	\$126.00	113391010	\$126.00
113371027	\$126.00	113381005	\$126.00	113391011	\$126.00
113371028	\$126.00	113381006	\$126.00	113391012	\$126.00
113371029	\$126.00	113381007	\$126.00	113391015	\$126.00
113371030	\$126.00	113381008	\$126.00	113391016	\$126.00
113371031	\$126.00	113381009	\$126.00	113391017	\$126.00
113371032	\$126.00	113381010	\$126.00	113391018	\$126.00
113371033	\$126.00	113382001	\$126.00	113391019	\$126.00
113371034	\$126.00	113382002	\$126.00	113391020	\$126.00
113371035	\$126.00	113382003	\$126.00	113391021	\$126.00
113371036	\$126.00	113382004	\$126.00	113391022	\$126.00
113371037	\$126.00	113382005	\$126.00	113392001	\$126.00
113371038	\$126.00	113382006	\$126.00	113392002	\$126.00
113371039	\$126.00	113382007	\$126.00	113392003	\$126.00
113372001	\$126.00	113382008	\$126.00	113392004	\$126.00
113372002	\$126.00	113382009	\$126.00	113392007	\$126.00
113372003	\$126.00	113382010	\$126.00	113392008	\$126.00
113372004	\$126.00	113382011	\$126.00	113392009	\$126.00
113372005	\$126.00	113382012	\$126.00	113392010	\$126.00
113372006	\$126.00	113382013	\$126.00	113392011	\$126.00
113372007	\$126.00	113383001	\$126.00	113392012	\$126.00
113372008	\$126.00	113383002	\$126.00	113392013	\$126.00
113372009	\$126.00	113383003	\$126.00	113392014	\$126.00
113372010	\$126.00	113383004	\$126.00	113392015	\$126.00
113372011	\$126.00	113383005	\$126.00	113392016	\$126.00
113372012	\$126.00	113383006	\$126.00	113392017	\$126.00
113372013	\$126.00	113383007	\$126.00	113392018	\$126.00
113372014	\$126.00	113383008	\$126.00	113392019	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113393001	\$126.00	113401036	\$126.00	113402043	\$126.00
113393002	\$126.00	113402001	\$126.00	113402044	\$126.00
113393003	\$126.00	113402002	\$126.00	113402045	\$126.00
113393004	\$126.00	113402003	\$126.00	113402046	\$126.00
113393005	\$126.00	113402004	\$126.00	113402047	\$126.00
113393006	\$126.00	113402005	\$126.00	113402048	\$126.00
113393007	\$126.00	113402006	\$126.00	113402049	\$126.00
113393008	\$126.00	113402007	\$126.00	113402050	\$126.00
113393009	\$126.00	113402008	\$126.00	113403001	\$126.00
113401001	\$126.00	113402009	\$126.00	113410001	\$126.00
113401002	\$126.00	113402010	\$126.00	113410002	\$126.00
113401003	\$126.00	113402011	\$126.00	113410003	\$126.00
113401004	\$126.00	113402012	\$126.00	113410004	\$126.00
113401005	\$126.00	113402013	\$126.00	113410005	\$126.00
113401006	\$126.00	113402014	\$126.00	113410006	\$126.00
113401007	\$126.00	113402015	\$126.00	113410007	\$126.00
113401008	\$126.00	113402016	\$126.00	113410008	\$126.00
113401009	\$126.00	113402017	\$126.00	113410009	\$126.00
113401010	\$126.00	113402018	\$126.00	113410010	\$126.00
113401011	\$126.00	113402019	\$126.00	113410011	\$126.00
113401012	\$126.00	113402020	\$126.00	113410012	\$126.00
113401013	\$126.00	113402021	\$126.00	113410013	\$126.00
113401014	\$126.00	113402022	\$126.00	113410014	\$126.00
113401015	\$126.00	113402023	\$126.00	113410015	\$126.00
113401017	\$126.00	113402024	\$126.00	113410016	\$126.00
113401018	\$126.00	113402025	\$126.00	113410017	\$126.00
113401019	\$126.00	113402026	\$126.00	113410018	\$126.00
113401020	\$126.00	113402027	\$126.00	113410019	\$126.00
113401021	\$126.00	113402028	\$126.00	113410020	\$126.00
113401022	\$126.00	113402029	\$126.00	113410021	\$126.00
113401023	\$126.00	113402030	\$126.00	113410022	\$126.00
113401024	\$126.00	113402031	\$126.00	113410023	\$126.00
113401025	\$126.00	113402032	\$126.00	113410024	\$126.00
113401026	\$126.00	113402033	\$126.00	113410025	\$126.00
113401027	\$126.00	113402034	\$126.00	113410026	\$126.00
113401028	\$126.00	113402035	\$126.00	113410029	\$126.00
113401029	\$126.00	113402036	\$126.00	113410030	\$126.00
113401030	\$126.00	113402037	\$126.00	113410031	\$126.00
113401031	\$126.00	113402038	\$126.00	113410032	\$126.00
113401032	\$126.00	113402039	\$126.00	113410033	\$126.00
113401033	\$126.00	113402040	\$126.00	113410034	\$126.00
113401034	\$126.00	113402041	\$126.00	113410035	\$126.00
113401035	\$126.00	113402042	\$126.00	113410036	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
113410037	\$126.00	116290065	\$126.00	120032021	\$126.00
113410038	\$126.00	116290066	\$126.00	120032022	\$126.00
113410039	\$126.00	116310011	\$126.00	120032023	\$126.00
113410040	\$126.00	116310012	\$126.00	120032024	\$126.00
113410041	\$126.00	116310065	\$126.00	120032025	\$126.00
113410042	\$126.00	116310067	\$126.00	120033001	\$126.00
113410043	\$126.00	116320009	\$126.00	120033002	\$126.00
113410044	\$126.00	116320012	\$126.00	120033003	\$126.00
113410045	\$126.00	116320031	\$126.00	120033004	\$126.00
113410046	\$126.00	116320032	\$126.00	120033005	\$126.00
113410047	\$126.00	120031001	\$126.00	120033006	\$126.00
113410048	\$126.00	120031002	\$126.00	120033007	\$126.00
113410052	\$126.00	120031003	\$126.00	120033008	\$126.00
113410053	\$126.00	120031004	\$126.00	120033009	\$126.00
113410054	\$126.00	120031005	\$126.00	120033010	\$126.00
113410055	\$126.00	120031006	\$126.00	120033011	\$126.00
113410056	\$126.00	120031007	\$126.00	120033012	\$126.00
113410057	\$126.00	120031008	\$126.00	120033013	\$126.00
113410058	\$126.00	120031009	\$126.00	120033014	\$126.00
113410059	\$126.00	120031010	\$126.00	120033015	\$126.00
113410060	\$126.00	120031011	\$126.00	120033016	\$126.00
113410061	\$126.00	120031012	\$126.00	120033017	\$126.00
113410062	\$126.00	120031013	\$126.00	120033018	\$126.00
113410063	\$126.00	120032001	\$126.00	120033019	\$126.00
113410064	\$126.00	120032002	\$126.00	120033020	\$126.00
113410065	\$126.00	120032003	\$126.00	120034001	\$126.00
113410066	\$126.00	120032004	\$126.00	120034002	\$126.00
113410067	\$126.00	120032005	\$126.00	120034003	\$126.00
113410068	\$126.00	120032006	\$126.00	120034004	\$126.00
113410069	\$126.00	120032007	\$126.00	120034005	\$126.00
113410070	\$126.00	120032008	\$126.00	120034006	\$126.00
113410071	\$126.00	120032009	\$126.00	120034008	\$126.00
113410072	\$126.00	120032010	\$126.00	120034009	\$126.00
113410073	\$126.00	120032011	\$126.00	120034010	\$126.00
113410074	\$126.00	120032012	\$126.00	120034011	\$126.00
113410075	\$126.00	120032013	\$126.00	120034012	\$126.00
114210001	\$126.00	120032014	\$126.00	120034013	\$126.00
114210002	\$126.00	120032015	\$126.00	120034015	\$126.00
114210010	\$126.00	120032016	\$126.00	120034016	\$126.00
114210011	\$126.00	120032017	\$126.00	120034017	\$126.00
114210012	\$126.00	120032018	\$126.00	120034018	\$126.00
116290063	\$126.00	120032019	\$126.00	120034019	\$126.00
116290064	\$126.00	120032020	\$126.00	120034020	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120034021	\$126.00	120054008	\$126.00	120060035	\$126.00
120034022	\$126.00	120054009	\$126.00	120060036	\$126.00
120034023	\$126.00	120054010	\$126.00	120060037	\$126.00
120034024	\$126.00	120054011	\$126.00	120060038	\$126.00
120034025	\$126.00	120054012	\$126.00	120060039	\$126.00
120034026	\$126.00	120054013	\$126.00	120060040	\$126.00
120034027	\$126.00	120054014	\$126.00	120060041	\$126.00
120034028	\$126.00	120054015	\$126.00	120060042	\$126.00
120034029	\$126.00	120054016	\$126.00	120060044	\$126.00
120034030	\$126.00	120060001	\$126.00	120060045	\$126.00
120034031	\$126.00	120060002	\$126.00	120060046	\$126.00
120034032	\$126.00	120060003	\$126.00	120060047	\$126.00
120034033	\$126.00	120060004	\$126.00	120060048	\$126.00
120034034	\$126.00	120060005	\$126.00	120060049	\$126.00
120034035	\$126.00	120060006	\$126.00	120060050	\$126.00
120051009	\$126.00	120060007	\$126.00	120060051	\$126.00
120051010	\$126.00	120060008	\$126.00	120060052	\$126.00
120051011	\$126.00	120060009	\$126.00	120060053	\$126.00
120051012	\$126.00	120060010	\$126.00	120060054	\$126.00
120051013	\$126.00	120060011	\$126.00	120060055	\$126.00
120051014	\$126.00	120060012	\$126.00	120060056	\$126.00
120051015	\$126.00	120060013	\$126.00	120060057	\$126.00
120052001	\$126.00	120060014	\$126.00	120060058	\$126.00
120052002	\$126.00	120060015	\$126.00	120060060	\$126.00
120052003	\$126.00	120060016	\$126.00	120060061	\$126.00
120052004	\$126.00	120060017	\$126.00	120060062	\$126.00
120052005	\$126.00	120060018	\$126.00	120060063	\$126.00
120052006	\$126.00	120060019	\$126.00	120060064	\$126.00
120052007	\$126.00	120060020	\$126.00	120060065	\$126.00
120053001	\$126.00	120060021	\$126.00	120060066	\$126.00
120053002	\$126.00	120060022	\$126.00	120060067	\$126.00
120053003	\$126.00	120060023	\$126.00	120060068	\$126.00
120053004	\$126.00	120060024	\$126.00	120060069	\$126.00
120053005	\$126.00	120060025	\$126.00	120060070	\$126.00
120053006	\$126.00	120060026	\$126.00	120060071	\$126.00
120053007	\$126.00	120060027	\$126.00	120060072	\$126.00
120053008	\$126.00	120060028	\$126.00	120060073	\$126.00
120054001	\$126.00	120060029	\$126.00	120060074	\$126.00
120054002	\$126.00	120060030	\$126.00	120100001	\$126.00
120054003	\$126.00	120060031	\$126.00	120100002	\$126.00
120054004	\$126.00	120060032	\$126.00	120100003	\$126.00
120054006	\$126.00	120060033	\$126.00	120100004	\$126.00
120054007	\$126.00	120060034	\$126.00	120100005	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120100006	\$126.00	120111024	\$126.00	120121022	\$126.00
120100007	\$126.00	120112011	\$126.00	120121023	\$126.00
120100008	\$126.00	120112012	\$126.00	120121024	\$126.00
120100009	\$126.00	120112013	\$126.00	120121025	\$126.00
120100010	\$126.00	120112014	\$126.00	120122001	\$126.00
120100011	\$126.00	120112015	\$126.00	120122002	\$126.00
120100012	\$126.00	120112019	\$126.00	120122003	\$126.00
120100013	\$126.00	120112020	\$126.00	120122004	\$126.00
120100014	\$126.00	120112021	\$126.00	120122005	\$126.00
120100015	\$126.00	120112022	\$126.00	120122006	\$126.00
120100016	\$126.00	120112023	\$126.00	120122007	\$126.00
120100017	\$126.00	120113001	\$126.00	120122008	\$126.00
120100018	\$126.00	120113002	\$126.00	120122009	\$126.00
120100019	\$126.00	120113003	\$126.00	120122010	\$126.00
120100020	\$126.00	120113004	\$126.00	120122011	\$126.00
120100021	\$126.00	120113005	\$126.00	120122012	\$126.00
120100022	\$126.00	120113006	\$126.00	120122013	\$126.00
120100023	\$126.00	120113007	\$126.00	120122014	\$126.00
120100024	\$126.00	120113008	\$126.00	120122015	\$126.00
120100025	\$126.00	120113009	\$126.00	120122016	\$126.00
120100026	\$126.00	120113010	\$126.00	120122017	\$126.00
120100027	\$126.00	120113011	\$126.00	120122018	\$126.00
120100028	\$126.00	120121001	\$126.00	120122019	\$126.00
120100029	\$126.00	120121002	\$126.00	120122020	\$126.00
120100030	\$126.00	120121003	\$126.00	120122021	\$126.00
120100031	\$126.00	120121004	\$126.00	120122022	\$126.00
120100032	\$126.00	120121005	\$126.00	120122023	\$126.00
120100033	\$126.00	120121006	\$126.00	120122024	\$126.00
120100034	\$126.00	120121007	\$126.00	120122025	\$126.00
120100035	\$126.00	120121008	\$126.00	120122026	\$126.00
120100036	\$126.00	120121009	\$126.00	120123002	\$126.00
120100037	\$126.00	120121010	\$126.00	120123003	\$126.00
120100038	\$126.00	120121011	\$126.00	120123004	\$126.00
120100040	\$126.00	120121012	\$126.00	120123005	\$126.00
120111011	\$126.00	120121013	\$126.00	120123006	\$126.00
120111012	\$126.00	120121014	\$126.00	120123007	\$126.00
120111017	\$126.00	120121015	\$126.00	120123008	\$126.00
120111018	\$126.00	120121016	\$126.00	120123009	\$126.00
120111019	\$126.00	120121017	\$126.00	120123011	\$126.00
120111020	\$126.00	120121018	\$126.00	120123012	\$126.00
120111021	\$126.00	120121019	\$126.00	120123013	\$126.00
120111022	\$126.00	120121020	\$126.00	120123014	\$126.00
120111023	\$126.00	120121021	\$126.00	120123015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120123016	\$126.00	120143001	\$126.00	120151002	\$126.00
120123017	\$126.00	120143002	\$126.00	120151003	\$126.00
120123018	\$126.00	120143003	\$126.00	120151004	\$126.00
120123019	\$126.00	120143004	\$126.00	120151005	\$126.00
120123020	\$126.00	120143005	\$126.00	120151006	\$126.00
120123021	\$126.00	120143006	\$126.00	120151007	\$126.00
120123022	\$126.00	120143007	\$126.00	120151008	\$126.00
120123024	\$126.00	120143009	\$126.00	120151009	\$126.00
120123027	\$126.00	120143010	\$126.00	120151013	\$126.00
120141002	\$126.00	120144001	\$126.00	120151014	\$126.00
120141003	\$126.00	120144002	\$126.00	120151015	\$126.00
120141004	\$126.00	120144003	\$126.00	120151016	\$126.00
120141005	\$126.00	120144004	\$126.00	120151017	\$126.00
120141006	\$126.00	120144005	\$126.00	120151018	\$126.00
120141007	\$126.00	120144006	\$126.00	120151019	\$126.00
120141008	\$126.00	120144007	\$126.00	120151020	\$126.00
120141009	\$126.00	120144008	\$126.00	120151021	\$126.00
120141010	\$126.00	120144009	\$126.00	120151022	\$126.00
120141011	\$126.00	120144010	\$126.00	120151023	\$126.00
120141012	\$126.00	120144011	\$126.00	120151024	\$126.00
120141013	\$126.00	120144012	\$126.00	120151025	\$126.00
120141014	\$126.00	120144013	\$126.00	120151026	\$126.00
120141015	\$126.00	120144014	\$126.00	120151027	\$126.00
120141016	\$126.00	120144015	\$126.00	120151028	\$126.00
120141017	\$126.00	120144016	\$126.00	120151029	\$126.00
120141018	\$126.00	120144017	\$126.00	120151030	\$126.00
120141019	\$126.00	120144018	\$126.00	120151031	\$126.00
120141020	\$126.00	120144019	\$126.00	120151032	\$126.00
120141021	\$126.00	120144020	\$126.00	120151033	\$126.00
120141022	\$126.00	120145001	\$126.00	120152001	\$126.00
120142001	\$126.00	120145002	\$126.00	120152002	\$126.00
120142002	\$126.00	120145003	\$126.00	120152004	\$126.00
120142003	\$126.00	120145004	\$126.00	120152005	\$126.00
120142004	\$126.00	120145005	\$126.00	120152006	\$126.00
120142005	\$126.00	120145006	\$126.00	120152007	\$126.00
120142006	\$126.00	120145007	\$126.00	120152008	\$126.00
120142007	\$126.00	120145008	\$126.00	120152009	\$126.00
120142008	\$126.00	120145009	\$126.00	120152010	\$126.00
120142009	\$126.00	120145010	\$126.00	120152011	\$126.00
120142010	\$126.00	120145011	\$126.00	120152012	\$126.00
120142011	\$126.00	120145012	\$126.00	120152013	\$126.00
120142012	\$126.00	120145013	\$126.00	120152014	\$126.00
120142013	\$126.00	120151001	\$126.00	120152015	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120153001	\$126.00	120162012	\$126.00	120171020	\$126.00
120153002	\$126.00	120162013	\$126.00	120171021	\$126.00
120153003	\$126.00	120162014	\$126.00	120171022	\$126.00
120153004	\$126.00	120162015	\$126.00	120171023	\$126.00
120153005	\$126.00	120162016	\$126.00	120171024	\$126.00
120153006	\$126.00	120162017	\$126.00	120171025	\$126.00
120153007	\$126.00	120162018	\$126.00	120171026	\$126.00
120153008	\$126.00	120162019	\$126.00	120171027	\$126.00
120153009	\$126.00	120162020	\$126.00	120171028	\$126.00
120153010	\$126.00	120162021	\$126.00	120171029	\$126.00
120153011	\$126.00	120162022	\$126.00	120171030	\$126.00
120153012	\$126.00	120162023	\$126.00	120171031	\$126.00
120153013	\$126.00	120162024	\$126.00	120171035	\$126.00
120153014	\$126.00	120162025	\$126.00	120171036	\$126.00
120153015	\$126.00	120162026	\$126.00	120171037	\$126.00
120153016	\$126.00	120162027	\$126.00	120171038	\$126.00
120153017	\$126.00	120162028	\$126.00	120171039	\$126.00
120153018	\$126.00	120162029	\$126.00	120171040	\$126.00
120153019	\$126.00	120162030	\$126.00	120171041	\$126.00
120153020	\$126.00	120162031	\$126.00	120171042	\$126.00
120153021	\$126.00	120162032	\$126.00	120171043	\$126.00
120153022	\$126.00	120162033	\$126.00	120172001	\$126.00
120153023	\$126.00	120162034	\$126.00	120172002	\$126.00
120153024	\$126.00	120162035	\$126.00	120172003	\$126.00
120161001	\$126.00	120171001	\$126.00	120172004	\$126.00
120161002	\$126.00	120171002	\$126.00	120172005	\$126.00
120161003	\$126.00	120171003	\$126.00	120172006	\$126.00
120161004	\$126.00	120171004	\$126.00	120181001	\$126.00
120161005	\$126.00	120171005	\$126.00	120181002	\$126.00
120161006	\$126.00	120171006	\$126.00	120181003	\$126.00
120161007	\$126.00	120171007	\$126.00	120181004	\$126.00
120161008	\$126.00	120171008	\$126.00	120181005	\$126.00
120162001	\$126.00	120171009	\$126.00	120181006	\$126.00
120162002	\$126.00	120171010	\$126.00	120181007	\$126.00
120162003	\$126.00	120171011	\$126.00	120181008	\$126.00
120162004	\$126.00	120171012	\$126.00	120181009	\$126.00
120162005	\$126.00	120171013	\$126.00	120181010	\$126.00
120162006	\$126.00	120171014	\$126.00	120181011	\$126.00
120162007	\$126.00	120171015	\$126.00	120181012	\$126.00
120162008	\$126.00	120171016	\$126.00	120181013	\$126.00
120162009	\$126.00	120171017	\$126.00	120181014	\$126.00
120162010	\$126.00	120171018	\$126.00	120181015	\$126.00
120162011	\$126.00	120171019	\$126.00	120181016	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120181017	\$126.00	120210016	\$126.00	120223005	\$126.00
120181018	\$126.00	120210017	\$126.00	120223006	\$126.00
120181019	\$126.00	120210018	\$126.00	120223007	\$126.00
120181020	\$126.00	120210019	\$126.00	120223008	\$126.00
120181021	\$126.00	120210020	\$126.00	120223009	\$126.00
120181022	\$126.00	120210021	\$126.00	120223010	\$126.00
120181023	\$126.00	120210022	\$126.00	120231001	\$126.00
120181024	\$126.00	120210023	\$126.00	120231002	\$126.00
120181025	\$126.00	120210024	\$126.00	120231003	\$126.00
120181026	\$126.00	120210025	\$126.00	120231004	\$126.00
120181027	\$126.00	120221001	\$126.00	120231005	\$126.00
120181028	\$126.00	120221002	\$126.00	120231006	\$126.00
120181029	\$126.00	120221003	\$126.00	120231007	\$126.00
120182002	\$126.00	120221004	\$126.00	120231008	\$126.00
120182003	\$126.00	120221005	\$126.00	120231009	\$126.00
120182004	\$126.00	120221006	\$126.00	120232001	\$126.00
120182005	\$126.00	120221007	\$126.00	120232002	\$126.00
120182006	\$126.00	120221008	\$126.00	120232003	\$126.00
120182007	\$126.00	120221009	\$126.00	120232004	\$126.00
120182008	\$126.00	120221010	\$126.00	120232005	\$126.00
120182009	\$126.00	120221011	\$126.00	120232006	\$126.00
120182010	\$126.00	120221012	\$126.00	120232007	\$126.00
120182011	\$126.00	120221013	\$126.00	120232008	\$126.00
120182012	\$126.00	120221014	\$126.00	120232009	\$126.00
120182013	\$126.00	120221015	\$126.00	120232010	\$126.00
120182014	\$126.00	120222001	\$126.00	120232011	\$126.00
120182015	\$126.00	120222002	\$126.00	120232012	\$126.00
120182016	\$126.00	120222003	\$126.00	120232013	\$126.00
120210001	\$126.00	120222004	\$126.00	120232014	\$126.00
120210002	\$126.00	120222005	\$126.00	120232015	\$126.00
120210003	\$126.00	120222006	\$126.00	120232016	\$126.00
120210004	\$126.00	120222007	\$126.00	120232017	\$126.00
120210005	\$126.00	120222008	\$126.00	120232018	\$126.00
120210006	\$126.00	120222009	\$126.00	120232019	\$126.00
120210007	\$126.00	120222010	\$126.00	120232020	\$126.00
120210008	\$126.00	120222011	\$126.00	120232021	\$126.00
120210009	\$126.00	120222012	\$126.00	120241001	\$126.00
120210010	\$126.00	120222013	\$126.00	120241002	\$126.00
120210011	\$126.00	120222014	\$126.00	120241003	\$126.00
120210012	\$126.00	120223001	\$126.00	120241004	\$126.00
120210013	\$126.00	120223002	\$126.00	120241005	\$126.00
120210014	\$126.00	120223003	\$126.00	120241006	\$126.00
120210015	\$126.00	120223004	\$126.00	120241007	\$126.00



# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120241008	\$126.00	120260016	\$126.00	120321002	\$126.00
120242001	\$126.00	120260017	\$126.00	120321003	\$126.00
120242002	\$126.00	120260018	\$126.00	120321004	\$126.00
120242003	\$126.00	120260019	\$126.00	120321005	\$126.00
120242004	\$126.00	120260020	\$126.00	120321006	\$126.00
120242005	\$126.00	120260021	\$126.00	120321013	\$126.00
120242006	\$126.00	120260022	\$126.00	120321014	\$126.00
120242007	\$126.00	120260023	\$126.00	120321015	\$126.00
120242008	\$126.00	120260024	\$126.00	120321016	\$126.00
120242009	\$126.00	120260025	\$126.00	120321017	\$126.00
120242010	\$126.00	120260026	\$126.00	120321018	\$126.00
120250001	\$126.00	120260027	\$126.00	120321019	\$126.00
120250002	\$126.00	120260028	\$126.00	120321020	\$126.00
120250003	\$126.00	120260029	\$126.00	120321021	\$126.00
120250004	\$126.00	120311001	\$126.00	120321022	\$126.00
120250005	\$126.00	120311002	\$126.00	120321023	\$126.00
120250006	\$126.00	120311003	\$126.00	120321024	\$126.00
120250007	\$126.00	120311004	\$126.00	120321025	\$126.00
120250008	\$126.00	120311005	\$126.00	120321026	\$126.00
120250009	\$126.00	120311006	\$126.00	120321027	\$126.00
120250010	\$126.00	120311007	\$126.00	120321030	\$126.00
120250011	\$126.00	120311008	\$126.00	120321031	\$126.00
120250012	\$126.00	120311009	\$126.00	120321032	\$126.00
120250013	\$126.00	120311010	\$126.00	120322001	\$126.00
120250014	\$126.00	120311011	\$126.00	120322002	\$126.00
120250015	\$126.00	120312001	\$126.00	120322003	\$126.00
120250016	\$126.00	120312004	\$126.00	120322004	\$126.00
120250017	\$126.00	120312005	\$126.00	120322005	\$126.00
120250029	\$126.00	120312006	\$126.00	120322006	\$126.00
120260001	\$126.00	120312007	\$126.00	120322007	\$126.00
120260002	\$126.00	120312008	\$126.00	120322008	\$126.00
120260003	\$126.00	120312009	\$126.00	120322009	\$126.00
120260004	\$126.00	120312014	\$126.00	120322010	\$126.00
120260005	\$126.00	120312015	\$126.00	120322015	\$126.00
120260006	\$126.00	120312016	\$126.00	120322016	\$126.00
120260008	\$126.00	120312017	\$126.00	120322018	\$126.00
120260009	\$126.00	120312018	\$126.00	120322019	\$126.00
120260010	\$126.00	120312019	\$126.00	120351001	\$126.00
120260011	\$126.00	120312023	\$126.00	120351002	\$126.00
120260012	\$126.00	120312024	\$126.00	120351003	\$126.00
120260013	\$126.00	120312025	\$126.00	120351004	\$126.00
120260014	\$126.00	120312026	\$126.00	120352001	\$126.00
120260015	\$126.00	120321001	\$126.00	120352002	\$126.00

# Assessment Roll

68-2299 - LMD 84-2 Zone 19

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
120352003	\$126.00	120381008	\$126.00	120381039	\$126.00
120352004	\$126.00	120381009	\$126.00	120381040	\$126.00
120352005	\$126.00	120381010	\$126.00	120381041	\$126.00
120352007	\$126.00	120381011	\$126.00	120381042	\$126.00
120353001	\$126.00	120381012	\$126.00	120381043	\$126.00
120353002	\$126.00	120381014	\$126.00	120381044	\$126.00
120353003	\$126.00	120381015	\$126.00	120381046	\$126.00
120353004	\$126.00	120381016	\$126.00	120381047	\$126.00
120353005	\$126.00	120381017	\$126.00	120381048	\$126.00
120353006	\$126.00	120381018	\$126.00	120381049	\$126.00
120353007	\$126.00	120381020	\$126.00	120381051	\$126.00
120353008	\$126.00	120381021	\$126.00	120381053	\$126.00
120353009	\$126.00	120381022	\$126.00	120381054	\$126.00
120353010	\$126.00	120381023	\$126.00	120381055	\$126.00
120353011	\$126.00	120381024	\$126.00	120381057	\$126.00
120353012	\$126.00	120381025	\$126.00	120381058	\$126.00
120360001	\$126.00	120381027	\$126.00	120381059	\$126.00
120360002	\$126.00	120381028	\$126.00	120381060	\$126.00
120360003	\$126.00	120381029	\$126.00	120381061	\$126.00
120360004	\$126.00	120381030	\$126.00	120381062	\$126.00
120381001	\$126.00	120381031	\$126.00	120381063	\$126.00
120381002	\$126.00	120381032	\$126.00	120381064	\$126.00
120381003	\$126.00	120381034	\$126.00	120381065	\$126.00
120381005	\$126.00	120381035	\$126.00	120381067	\$126.00
120381006	\$126.00	120381036	\$126.00	120381069	\$126.00
120381007	\$126.00	120381038	\$126.00	120381070	\$126.00
<b>Totals</b>		<b>Parcels 3,690</b>		<b>Levy \$464,940.00</b>	

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114040019	\$415.22	114071034	\$415.22	114081028	\$415.22
114040020	\$415.22	114071035	\$415.22	114081029	\$415.22
114070014	\$2,346.04	114071036	\$415.22	114081030	\$415.22
114070015	\$747.40	114071037	\$415.22	114081031	\$415.22
114070016	\$13,619.54	114071038	\$415.22	114081032	\$415.22
114070017	\$1,847.76	114071039	\$415.22	114081033	\$415.22
114070018	\$1,577.86	114071041	\$415.22	114081035	\$415.22
114070019	\$622.84	114071042	\$415.22	114081036	\$415.22
114070020	\$4,899.70	114071043	\$415.22	114081037	\$415.22
114070021	\$4,775.14	114071044	\$415.22	114081038	\$415.22
114070022	\$1,017.30	114071045	\$415.22	114081039	\$415.22
114070039	\$10,795.98	114071046	\$415.22	114081040	\$415.22
114070040	\$415.22	114071047	\$415.22	114081041	\$415.22
114071001	\$415.22	114071048	\$415.22	114082001	\$415.22
114071002	\$415.22	114071050	\$415.22	114082002	\$415.22
114071003	\$415.22	114071051	\$415.22	114082003	\$415.22
114071004	\$415.22	114071052	\$415.22	114082004	\$415.22
114071005	\$415.22	114071053	\$415.22	114082005	\$415.22
114071006	\$415.22	114071054	\$415.22	114082006	\$415.22
114071008	\$415.22	114071055	\$415.22	114082007	\$415.22
114071009	\$415.22	114081001	\$415.22	114082008	\$415.22
114071010	\$415.22	114081002	\$415.22	114082009	\$415.22
114071011	\$415.22	114081003	\$415.22	114082010	\$415.22
114071012	\$415.22	114081005	\$415.22	114082011	\$415.22
114071013	\$415.22	114081006	\$415.22	114082013	\$415.22
114071014	\$415.22	114081007	\$415.22	114082014	\$415.22
114071015	\$415.22	114081009	\$415.22	114082015	\$415.22
114071016	\$415.22	114081010	\$415.22	114082016	\$415.22
114071017	\$415.22	114081012	\$415.22	114082017	\$415.22
114071018	\$415.22	114081013	\$415.22	114082019	\$415.22
114071019	\$415.22	114081014	\$415.22	114082020	\$415.22
114071020	\$415.22	114081015	\$415.22	114082022	\$415.22
114071021	\$415.22	114081016	\$415.22	114082023	\$415.22
114071023	\$415.22	114081017	\$415.22	114082024	\$415.22
114071024	\$415.22	114081018	\$415.22	114082025	\$415.22
114071025	\$415.22	114081019	\$415.22	114082027	\$415.22
114071026	\$415.22	114081020	\$415.22	114082028	\$415.22
114071027	\$415.22	114081021	\$415.22	114082029	\$415.22
114071028	\$415.22	114081022	\$415.22	114083001	\$415.22
114071029	\$415.22	114081023	\$415.22	114083002	\$415.22
114071030	\$415.22	114081025	\$415.22	114083003	\$415.22
114071032	\$415.22	114081026	\$415.22	114083004	\$415.22
114071033	\$415.22	114081027	\$415.22	114083005	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114083006	\$415.22	114083055	\$415.22	114091004	\$415.22
114083007	\$415.22	114083056	\$415.22	114091005	\$415.22
114083008	\$415.22	114083057	\$415.22	114091006	\$415.22
114083009	\$415.22	114083058	\$415.22	114091007	\$415.22
114083010	\$415.22	114083059	\$415.22	114091008	\$415.22
114083011	\$415.22	114083060	\$415.22	114091009	\$415.22
114083012	\$415.22	114083061	\$415.22	114091010	\$415.22
114083014	\$415.22	114083062	\$415.22	114091012	\$415.22
114083015	\$415.22	114083064	\$415.22	114091013	\$415.22
114083016	\$415.22	114083065	\$415.22	114091014	\$415.22
114083017	\$415.22	114083066	\$415.22	114091015	\$415.22
114083018	\$415.22	114083067	\$415.22	114091016	\$415.22
114083019	\$415.22	114083068	\$415.22	114091017	\$415.22
114083020	\$415.22	114083069	\$415.22	114091018	\$415.22
114083021	\$415.22	114083070	\$415.22	114091020	\$415.22
114083022	\$415.22	114083071	\$415.22	114091021	\$415.22
114083023	\$415.22	114083072	\$415.22	114091022	\$415.22
114083025	\$415.22	114083073	\$415.22	114091023	\$415.22
114083026	\$415.22	114083075	\$415.22	114091024	\$415.22
114083027	\$415.22	114083076	\$415.22	114091025	\$415.22
114083028	\$415.22	114083077	\$415.22	114091026	\$415.22
114083029	\$415.22	114083078	\$415.22	114091028	\$415.22
114083030	\$415.22	114083080	\$415.22	114091029	\$415.22
114083031	\$415.22	114083081	\$415.22	114091030	\$415.22
114083032	\$415.22	114083082	\$415.22	114091031	\$415.22
114083034	\$415.22	114083083	\$415.22	114091032	\$415.22
114083035	\$415.22	114083084	\$415.22	114091033	\$415.22
114083036	\$415.22	114083085	\$415.22	114091034	\$415.22
114083037	\$415.22	114083086	\$415.22	114091036	\$415.22
114083038	\$415.22	114083087	\$415.22	114091037	\$415.22
114083039	\$415.22	114083089	\$415.22	114091038	\$415.22
114083040	\$415.22	114083090	\$415.22	114091039	\$415.22
114083041	\$415.22	114083091	\$415.22	114091041	\$415.22
114083043	\$415.22	114083092	\$415.22	114091042	\$415.22
114083044	\$415.22	114083093	\$415.22	114091043	\$415.22
114083046	\$415.22	114083094	\$415.22	114111001	\$415.22
114083047	\$415.22	114083095	\$415.22	114111002	\$415.22
114083048	\$415.22	114083096	\$415.22	114111003	\$415.22
114083049	\$415.22	114083097	\$415.22	114111004	\$415.22
114083050	\$415.22	114083098	\$415.22	114111005	\$415.22
114083051	\$415.22	114091001	\$415.22	114111006	\$415.22
114083052	\$415.22	114091002	\$415.22	114111007	\$415.22
114083053	\$415.22	114091003	\$415.22	114111008	\$415.22

## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114111009	\$415.22	114114007	\$415.22	114123009	\$415.22
114111010	\$415.22	114114008	\$415.22	114123010	\$415.22
114111011	\$415.22	114114009	\$415.22	114123011	\$415.22
114111012	\$415.22	114114010	\$415.22	114123012	\$415.22
114111013	\$415.22	114114011	\$415.22	114123013	\$415.22
114112001	\$415.22	114114012	\$415.22	114123014	\$415.22
114112002	\$415.22	114114013	\$415.22	114123015	\$415.22
114112003	\$415.22	114114014	\$415.22	114123016	\$415.22
114112004	\$415.22	114114015	\$415.22	114130005	\$415.22
114112005	\$415.22	114114016	\$415.22	114130006	\$415.22
114112006	\$415.22	114114017	\$415.22	114130007	\$415.22
114112007	\$415.22	114114018	\$415.22	114130008	\$415.22
114112008	\$415.22	114114019	\$415.22	114130009	\$415.22
114112009	\$415.22	114114020	\$415.22	114230002	\$415.22
114112010	\$415.22	114114021	\$415.22	114230003	\$415.22
114112011	\$415.22	114121001	\$415.22	114230004	\$415.22
114112012	\$415.22	114121002	\$415.22	114230005	\$415.22
114113001	\$415.22	114121003	\$415.22	114230006	\$415.22
114113002	\$415.22	114121004	\$415.22	114230007	\$415.22
114113003	\$415.22	114121005	\$415.22	114230008	\$415.22
114113004	\$415.22	114121006	\$415.22	114230009	\$415.22
114113005	\$415.22	114121007	\$415.22	114230010	\$415.22
114113006	\$415.22	114121008	\$415.22	114230011	\$415.22
114113007	\$415.22	114121009	\$415.22	114230012	\$415.22
114113008	\$415.22	114121010	\$415.22	114230013	\$415.22
114113009	\$415.22	114122001	\$415.22	114230014	\$415.22
114113010	\$415.22	114122002	\$415.22	114230015	\$415.22
114113011	\$415.22	114122003	\$415.22	114230016	\$415.22
114113012	\$415.22	114122004	\$415.22	114230017	\$415.22
114113013	\$415.22	114122005	\$415.22	114230018	\$415.22
114113014	\$415.22	114122006	\$415.22	114230019	\$415.22
114113015	\$415.22	114122007	\$415.22	114230020	\$415.22
114113016	\$415.22	114122008	\$415.22	114230021	\$415.22
114113017	\$415.22	114122009	\$415.22	114230022	\$415.22
114113018	\$415.22	114122010	\$415.22	114230023	\$415.22
114113019	\$415.22	114123001	\$415.22	114230024	\$415.22
114113020	\$415.22	114123002	\$415.22	114230025	\$415.22
114114001	\$415.22	114123003	\$415.22	114230026	\$415.22
114114002	\$415.22	114123004	\$415.22	114230027	\$415.22
114114003	\$415.22	114123005	\$415.22	114230028	\$415.22
114114004	\$415.22	114123006	\$415.22	114230030	\$415.22
114114005	\$415.22	114123007	\$415.22	114230031	\$415.22
114114006	\$415.22	114123008	\$415.22	114230032	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114230033	\$415.22	114242002	\$415.22	114251009	\$415.22
114230034	\$415.22	114242003	\$415.22	114251010	\$415.22
114230035	\$415.22	114242004	\$415.22	114251011	\$415.22
114230036	\$415.22	114242005	\$415.22	114252001	\$415.22
114230037	\$415.22	114242006	\$415.22	114252002	\$415.22
114230038	\$415.22	114242007	\$415.22	114252003	\$415.22
114230039	\$415.22	114242008	\$415.22	114252004	\$415.22
114230041	\$415.22	114242009	\$415.22	114252005	\$415.22
114230042	\$415.22	114242010	\$415.22	114252006	\$415.22
114230043	\$415.22	114242011	\$415.22	114252007	\$415.22
114230044	\$415.22	114242012	\$415.22	114252008	\$415.22
114230045	\$415.22	114242013	\$415.22	114252009	\$415.22
114230046	\$415.22	114242014	\$415.22	114252010	\$415.22
114230047	\$415.22	114242015	\$415.22	114252011	\$415.22
114230048	\$415.22	114242016	\$415.22	114252012	\$415.22
114230049	\$415.22	114242017	\$415.22	114252013	\$415.22
114230050	\$415.22	114242018	\$415.22	114252017	\$415.22
114230051	\$415.22	114242019	\$415.22	114252018	\$415.22
114230052	\$415.22	114242020	\$415.22	114252019	\$415.22
114230053	\$415.22	114242021	\$415.22	114253001	\$415.22
114230054	\$415.22	114242022	\$415.22	114253002	\$415.22
114230055	\$415.22	114242023	\$415.22	114253003	\$415.22
114230056	\$415.22	114242024	\$415.22	114253004	\$415.22
114230057	\$415.22	114242025	\$415.22	114253005	\$415.22
114230058	\$415.22	114243001	\$415.22	114253006	\$415.22
114230059	\$415.22	114243002	\$415.22	114253007	\$415.22
114230060	\$415.22	114243003	\$415.22	114253008	\$415.22
114230061	\$415.22	114243004	\$415.22	114253009	\$415.22
114241001	\$415.22	114243005	\$415.22	114253010	\$415.22
114241002	\$415.22	114243006	\$415.22	114253011	\$415.22
114241003	\$415.22	114243007	\$415.22	114253012	\$415.22
114241004	\$415.22	114243008	\$415.22	114253013	\$415.22
114241005	\$415.22	114243009	\$415.22	114253014	\$415.22
114241006	\$415.22	114243011	\$415.22	114253015	\$415.22
114241007	\$415.22	114243012	\$415.22	114253016	\$415.22
114241008	\$415.22	114251001	\$415.22	114253017	\$415.22
114241009	\$415.22	114251002	\$415.22	114253018	\$415.22
114241010	\$415.22	114251003	\$415.22	114261002	\$415.22
114241011	\$415.22	114251004	\$415.22	114261003	\$415.22
114241012	\$415.22	114251005	\$415.22	114261004	\$415.22
114241013	\$415.22	114251006	\$415.22	114261005	\$415.22
114241014	\$415.22	114251007	\$415.22	114261006	\$415.22
114242001	\$415.22	114251008	\$415.22	114261007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114261008	\$415.22	114263009	\$415.22	114272020	\$415.22
114261009	\$415.22	114263010	\$415.22	114272021	\$415.22
114261010	\$415.22	114263011	\$415.22	114272022	\$415.22
114261011	\$415.22	114271001	\$415.22	114272023	\$415.22
114261012	\$415.22	114271003	\$415.22	114272024	\$415.22
114261013	\$415.22	114271004	\$415.22	114272025	\$415.22
114261015	\$415.22	114271005	\$415.22	114272026	\$415.22
114261016	\$415.22	114271006	\$415.22	114272027	\$415.22
114261017	\$415.22	114271007	\$415.22	114272028	\$415.22
114261018	\$415.22	114271008	\$415.22	114272029	\$415.22
114261019	\$415.22	114271009	\$415.22	114273001	\$415.22
114261020	\$415.22	114271010	\$415.22	114273002	\$415.22
114261021	\$415.22	114271011	\$415.22	114273003	\$415.22
114261022	\$415.22	114271012	\$415.22	114273004	\$415.22
114262001	\$415.22	114271013	\$415.22	114273005	\$415.22
114262002	\$415.22	114271014	\$415.22	114273006	\$415.22
114262003	\$415.22	114271015	\$415.22	114273007	\$415.22
114262004	\$415.22	114271016	\$415.22	114273008	\$415.22
114262005	\$415.22	114271017	\$415.22	114273009	\$415.22
114262006	\$415.22	114271018	\$415.22	114273010	\$415.22
114262007	\$415.22	114271019	\$415.22	114281001	\$415.22
114262008	\$415.22	114271020	\$415.22	114281002	\$415.22
114262009	\$415.22	114271021	\$415.22	114281003	\$415.22
114262010	\$415.22	114271022	\$415.22	114281004	\$415.22
114262011	\$415.22	114272001	\$415.22	114281005	\$415.22
114262012	\$415.22	114272002	\$415.22	114281006	\$415.22
114262013	\$415.22	114272003	\$415.22	114281007	\$415.22
114262014	\$415.22	114272004	\$415.22	114281008	\$415.22
114262015	\$415.22	114272005	\$415.22	114281009	\$415.22
114262016	\$415.22	114272006	\$415.22	114281010	\$415.22
114262017	\$415.22	114272007	\$415.22	114281011	\$415.22
114262018	\$415.22	114272008	\$415.22	114281012	\$415.22
114262019	\$415.22	114272009	\$415.22	114281013	\$415.22
114262020	\$415.22	114272010	\$415.22	114281014	\$415.22
114262021	\$415.22	114272011	\$415.22	114281015	\$415.22
114263001	\$415.22	114272012	\$415.22	114281016	\$415.22
114263002	\$415.22	114272013	\$415.22	114281017	\$415.22
114263003	\$415.22	114272014	\$415.22	114281018	\$415.22
114263004	\$415.22	114272015	\$415.22	114281019	\$415.22
114263005	\$415.22	114272016	\$415.22	114281020	\$415.22
114263006	\$415.22	114272017	\$415.22	114281021	\$415.22
114263007	\$415.22	114272018	\$415.22	114281022	\$415.22
114263008	\$415.22	114272019	\$415.22	114281023	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114281024	\$415.22	114292021	\$415.22	114301015	\$415.22
114281025	\$415.22	114292022	\$415.22	114301016	\$415.22
114281031	\$415.22	114293001	\$415.22	114301017	\$415.22
114281032	\$415.22	114293002	\$415.22	114301018	\$415.22
114282001	\$415.22	114293003	\$415.22	114301019	\$415.22
114282002	\$415.22	114293004	\$415.22	114301020	\$415.22
114282003	\$415.22	114293005	\$415.22	114301021	\$415.22
114282004	\$415.22	114293006	\$415.22	114301022	\$415.22
114282005	\$415.22	114293007	\$415.22	114301023	\$415.22
114282006	\$415.22	114293008	\$415.22	114301024	\$415.22
114282007	\$415.22	114293009	\$415.22	114301025	\$415.22
114282008	\$415.22	114293010	\$415.22	114301026	\$415.22
114291001	\$415.22	114293011	\$415.22	114301027	\$415.22
114291002	\$415.22	114293012	\$415.22	114301028	\$415.22
114291003	\$415.22	114293013	\$415.22	114301029	\$415.22
114291004	\$415.22	114293014	\$415.22	114301030	\$415.22
114291005	\$415.22	114293015	\$415.22	114301031	\$415.22
114291006	\$415.22	114293016	\$415.22	114301032	\$415.22
114291007	\$415.22	114293017	\$415.22	114301033	\$415.22
114291008	\$415.22	114293018	\$415.22	114301034	\$415.22
114291009	\$415.22	114293019	\$415.22	114301035	\$415.22
114291010	\$415.22	114293020	\$415.22	114301036	\$415.22
114291011	\$415.22	114293021	\$415.22	114301037	\$415.22
114292001	\$415.22	114293022	\$415.22	114301038	\$415.22
114292002	\$415.22	114293023	\$415.22	114302001	\$415.22
114292003	\$415.22	114293024	\$415.22	114302002	\$415.22
114292004	\$415.22	114293025	\$415.22	114302003	\$415.22
114292005	\$415.22	114293026	\$415.22	114303001	\$415.22
114292006	\$415.22	114293027	\$415.22	114303002	\$415.22
114292007	\$415.22	114301001	\$415.22	114303003	\$415.22
114292008	\$415.22	114301002	\$415.22	114303004	\$415.22
114292009	\$415.22	114301003	\$415.22	114303005	\$415.22
114292010	\$415.22	114301004	\$415.22	114303006	\$415.22
114292011	\$415.22	114301005	\$415.22	114303007	\$415.22
114292012	\$415.22	114301006	\$415.22	114303008	\$415.22
114292013	\$415.22	114301007	\$415.22	114303009	\$415.22
114292014	\$415.22	114301008	\$415.22	114303010	\$415.22
114292015	\$415.22	114301009	\$415.22	114303011	\$415.22
114292016	\$415.22	114301010	\$415.22	114303012	\$415.22
114292017	\$415.22	114301011	\$415.22	114303013	\$415.22
114292018	\$415.22	114301012	\$415.22	114303014	\$415.22
114292019	\$415.22	114301013	\$415.22	114303015	\$415.22
114292020	\$415.22	114301014	\$415.22	114303016	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114303017	\$415.22	114311030	\$415.22	114321005	\$415.22
114303018	\$415.22	114311031	\$415.22	114321006	\$415.22
114303019	\$415.22	114311032	\$415.22	114321007	\$415.22
114303020	\$415.22	114311033	\$415.22	114321008	\$415.22
114303021	\$415.22	114311034	\$415.22	114321009	\$415.22
114303022	\$415.22	114311036	\$415.22	114321010	\$415.22
114303023	\$415.22	114311037	\$415.22	114321011	\$415.22
114303024	\$415.22	114311038	\$415.22	114321012	\$415.22
114303025	\$415.22	114311039	\$415.22	114321013	\$415.22
114303026	\$415.22	114311040	\$415.22	114321014	\$415.22
114303027	\$415.22	114311041	\$415.22	114321015	\$415.22
114303028	\$415.22	114311042	\$415.22	114321016	\$415.22
114303029	\$415.22	114311043	\$415.22	114321017	\$415.22
114303030	\$415.22	114311044	\$415.22	114321018	\$415.22
114303031	\$415.22	114311045	\$415.22	114321019	\$415.22
114303032	\$415.22	114311046	\$415.22	114321020	\$415.22
114311001	\$415.22	114311048	\$415.22	114321021	\$415.22
114311002	\$415.22	114311049	\$415.22	114321022	\$415.22
114311003	\$415.22	114311050	\$415.22	114321023	\$415.22
114311004	\$415.22	114311051	\$415.22	114321024	\$415.22
114311005	\$415.22	114311052	\$415.22	114321025	\$415.22
114311006	\$415.22	114311053	\$415.22	114321026	\$415.22
114311007	\$415.22	114311054	\$415.22	114321027	\$415.22
114311008	\$415.22	114311055	\$415.22	114321028	\$415.22
114311009	\$415.22	114311056	\$415.22	114321029	\$415.22
114311010	\$415.22	114311057	\$415.22	114322001	\$415.22
114311011	\$415.22	114311058	\$415.22	114322002	\$415.22
114311012	\$415.22	114311059	\$415.22	114322003	\$415.22
114311013	\$415.22	114311060	\$415.22	114322004	\$415.22
114311015	\$415.22	114311061	\$415.22	114322005	\$415.22
114311016	\$415.22	114311062	\$415.22	114322006	\$415.22
114311017	\$415.22	114311064	\$415.22	114322007	\$415.22
114311018	\$415.22	114311065	\$415.22	114322008	\$415.22
114311019	\$415.22	114311066	\$415.22	114322009	\$415.22
114311020	\$415.22	114311067	\$415.22	114322010	\$415.22
114311021	\$415.22	114311068	\$415.22	114322011	\$415.22
114311022	\$415.22	114311069	\$415.22	114322012	\$415.22
114311023	\$415.22	114311070	\$415.22	114322013	\$415.22
114311024	\$415.22	114311071	\$415.22	114322014	\$415.22
114311025	\$415.22	114311072	\$415.22	114322015	\$415.22
114311027	\$415.22	114311073	\$415.22	114322016	\$415.22
114311028	\$415.22	114321001	\$415.22	114322017	\$415.22
114311029	\$415.22	114321002	\$415.22	114322018	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114322019	\$415.22	114332004	\$415.22	114340026	\$415.22
114322020	\$415.22	114332005	\$415.22	114340027	\$415.22
114322021	\$415.22	114332006	\$415.22	114340028	\$415.22
114322022	\$415.22	114332007	\$415.22	114340029	\$415.22
114323001	\$415.22	114332008	\$415.22	114350001	\$415.22
114323002	\$415.22	114332009	\$415.22	114350002	\$415.22
114323003	\$415.22	114332010	\$415.22	114350003	\$415.22
114323004	\$415.22	114332011	\$415.22	114350004	\$415.22
114323005	\$415.22	114332012	\$415.22	114350005	\$415.22
114323006	\$415.22	114332013	\$415.22	114350006	\$415.22
114323007	\$415.22	114332014	\$415.22	114350007	\$415.22
114323008	\$415.22	114332015	\$415.22	114350008	\$415.22
114323009	\$415.22	114332016	\$415.22	114350009	\$415.22
114323010	\$415.22	114332017	\$415.22	114350010	\$415.22
114323011	\$415.22	114332018	\$415.22	114350011	\$415.22
114323012	\$415.22	114332019	\$415.22	114350012	\$415.22
114323013	\$415.22	114332020	\$415.22	114350013	\$415.22
114323014	\$415.22	114332021	\$415.22	114350014	\$415.22
114323015	\$415.22	114332022	\$415.22	114350015	\$415.22
114323016	\$415.22	114332023	\$415.22	114350016	\$415.22
114323017	\$415.22	114340001	\$415.22	114350017	\$415.22
114331001	\$415.22	114340002	\$415.22	114350018	\$415.22
114331002	\$415.22	114340003	\$415.22	114350019	\$415.22
114331003	\$415.22	114340004	\$415.22	114350020	\$415.22
114331004	\$415.22	114340005	\$415.22	114350021	\$415.22
114331005	\$415.22	114340006	\$415.22	114350022	\$415.22
114331006	\$415.22	114340007	\$415.22	114350023	\$415.22
114331007	\$415.22	114340008	\$415.22	114350024	\$415.22
114331008	\$415.22	114340009	\$415.22	114350025	\$415.22
114331009	\$415.22	114340010	\$415.22	114350026	\$415.22
114331010	\$415.22	114340011	\$415.22	114350027	\$415.22
114331011	\$415.22	114340012	\$415.22	114350028	\$415.22
114331012	\$415.22	114340013	\$415.22	114350029	\$415.22
114331013	\$415.22	114340014	\$415.22	114350030	\$415.22
114331014	\$415.22	114340015	\$415.22	114350031	\$415.22
114331015	\$415.22	114340016	\$415.22	114350032	\$415.22
114331017	\$415.22	114340017	\$415.22	114350033	\$415.22
114331018	\$415.22	114340018	\$415.22	114350034	\$415.22
114331019	\$415.22	114340019	\$415.22	114350035	\$415.22
114331020	\$415.22	114340020	\$415.22	114350036	\$415.22
114332001	\$415.22	114340021	\$415.22	114350037	\$415.22
114332002	\$415.22	114340022	\$415.22	114350038	\$415.22
114332003	\$415.22	114340025	\$415.22	114350039	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114350040	\$415.22	114362013	\$415.22	114381008	\$415.22
114350041	\$415.22	114362014	\$415.22	114381009	\$415.22
114350042	\$415.22	114362015	\$415.22	114381010	\$415.22
114350043	\$415.22	114362016	\$415.22	114381011	\$415.22
114350044	\$415.22	114362017	\$415.22	114381012	\$415.22
114350045	\$415.22	114362018	\$415.22	114381013	\$415.22
114350046	\$415.22	114371001	\$415.22	114381014	\$415.22
114361001	\$415.22	114371002	\$415.22	114381015	\$415.22
114361002	\$415.22	114371003	\$415.22	114381016	\$415.22
114361003	\$415.22	114371004	\$415.22	114381018	\$415.22
114361004	\$415.22	114371005	\$415.22	114381019	\$415.22
114361005	\$415.22	114371006	\$415.22	114381020	\$415.22
114361006	\$415.22	114371007	\$415.22	114381021	\$415.22
114361007	\$415.22	114371008	\$415.22	114381023	\$415.22
114361008	\$415.22	114371009	\$415.22	114381024	\$415.22
114361009	\$415.22	114371010	\$415.22	114381025	\$415.22
114361010	\$415.22	114371011	\$415.22	114381026	\$415.22
114361011	\$415.22	114371012	\$415.22	114381027	\$415.22
114361012	\$415.22	114371013	\$415.22	114381028	\$415.22
114361013	\$415.22	114371014	\$415.22	114381029	\$415.22
114361014	\$415.22	114371015	\$415.22	114381030	\$415.22
114361015	\$415.22	114371016	\$415.22	114382001	\$415.22
114361016	\$415.22	114371017	\$415.22	114382002	\$415.22
114361017	\$415.22	114371018	\$415.22	114382003	\$415.22
114361018	\$415.22	114371019	\$415.22	114382004	\$415.22
114361019	\$415.22	114371020	\$415.22	114382005	\$415.22
114361020	\$415.22	114371021	\$415.22	114382006	\$415.22
114361023	\$415.22	114371022	\$415.22	114382007	\$415.22
114361024	\$415.22	114372001	\$415.22	114382008	\$415.22
114361025	\$415.22	114372002	\$415.22	114382010	\$415.22
114361026	\$415.22	114372003	\$415.22	114382011	\$415.22
114362001	\$415.22	114372004	\$415.22	114382012	\$415.22
114362002	\$415.22	114372005	\$415.22	114382013	\$415.22
114362003	\$415.22	114372006	\$415.22	114382014	\$415.22
114362004	\$415.22	114372007	\$415.22	114382015	\$415.22
114362005	\$415.22	114372008	\$415.22	114382016	\$415.22
114362006	\$415.22	114372009	\$415.22	114382017	\$415.22
114362007	\$415.22	114381001	\$415.22	114382018	\$415.22
114362008	\$415.22	114381002	\$415.22	114382020	\$415.22
114362009	\$415.22	114381003	\$415.22	114382021	\$415.22
114362010	\$415.22	114381004	\$415.22	114382022	\$415.22
114362011	\$415.22	114381005	\$415.22	114382023	\$415.22
114362012	\$415.22	114381006	\$415.22	114382024	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114382026	\$415.22	114401001	\$415.22	114410008	\$415.22
114382027	\$415.22	114401002	\$415.22	114410009	\$415.22
114382028	\$415.22	114401003	\$415.22	114410010	\$415.22
114382029	\$415.22	114401004	\$415.22	114410011	\$415.22
114382030	\$415.22	114401005	\$415.22	114410012	\$415.22
114382031	\$415.22	114401006	\$415.22	114410013	\$415.22
114382033	\$415.22	114401007	\$415.22	114410014	\$415.22
114382034	\$415.22	114401008	\$415.22	114410015	\$415.22
114382035	\$415.22	114401009	\$415.22	114410016	\$415.22
114382036	\$415.22	114401010	\$415.22	114410017	\$415.22
114382038	\$415.22	114401012	\$415.22	114410018	\$415.22
114382039	\$415.22	114401013	\$415.22	114410019	\$415.22
114382040	\$415.22	114401014	\$415.22	114410020	\$415.22
114382041	\$415.22	114401015	\$415.22	114410021	\$415.22
114382042	\$415.22	114401016	\$415.22	114410022	\$415.22
114382043	\$415.22	114401018	\$415.22	114410023	\$415.22
114382045	\$415.22	114401019	\$415.22	114410024	\$415.22
114382046	\$415.22	114401020	\$415.22	114410025	\$415.22
114382047	\$415.22	114401021	\$415.22	114410026	\$415.22
114382048	\$415.22	114401022	\$415.22	114410027	\$415.22
114382049	\$415.22	114401023	\$415.22	114410028	\$415.22
114382050	\$415.22	114401024	\$415.22	114410029	\$415.22
114382052	\$415.22	114401026	\$415.22	114410030	\$415.22
114382053	\$415.22	114401027	\$415.22	114410031	\$415.22
114382054	\$415.22	114401028	\$415.22	114410032	\$415.22
114382055	\$415.22	114401030	\$415.22	114410033	\$415.22
114382056	\$415.22	114401031	\$415.22	114410034	\$415.22
114382057	\$415.22	114401032	\$415.22	114410035	\$415.22
114382059	\$415.22	114401033	\$415.22	114410036	\$415.22
114382060	\$415.22	114401035	\$415.22	114410037	\$415.22
114382061	\$415.22	114401036	\$415.22	114410038	\$415.22
114382062	\$415.22	114401037	\$415.22	114410039	\$415.22
114382064	\$415.22	114401038	\$415.22	114410040	\$415.22
114382065	\$415.22	114401039	\$415.22	114410041	\$415.22
114382067	\$415.22	114401040	\$415.22	114410042	\$415.22
114382068	\$415.22	114401041	\$415.22	114410043	\$415.22
114390001	\$415.22	114410001	\$415.22	114410044	\$415.22
114390002	\$415.22	114410002	\$415.22	114410045	\$415.22
114390003	\$415.22	114410003	\$415.22	114410046	\$415.22
114390004	\$415.22	114410004	\$415.22	114410047	\$415.22
114390005	\$415.22	114410005	\$415.22	114410048	\$415.22
114390006	\$415.22	114410006	\$415.22	114410049	\$415.22
114390007	\$415.22	114410007	\$415.22	114410050	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114410051	\$415.22	114423001	\$415.22	114432006	\$415.22
114410052	\$415.22	114423002	\$415.22	114432007	\$415.22
114410053	\$415.22	114423003	\$415.22	114432008	\$415.22
114410054	\$415.22	114423004	\$415.22	114432009	\$415.22
114410055	\$415.22	114423005	\$415.22	114432010	\$415.22
114410056	\$415.22	114423006	\$415.22	114432011	\$415.22
114410057	\$415.22	114423007	\$415.22	114432012	\$415.22
114421001	\$415.22	114423008	\$415.22	114432013	\$415.22
114421002	\$415.22	114423009	\$415.22	114432014	\$415.22
114421003	\$415.22	114423010	\$415.22	114432015	\$415.22
114421004	\$415.22	114423011	\$415.22	114432016	\$415.22
114421005	\$415.22	114423012	\$415.22	114432017	\$415.22
114421006	\$415.22	114423013	\$415.22	114432018	\$415.22
114421007	\$415.22	114423014	\$415.22	114432019	\$415.22
114421008	\$415.22	114423015	\$415.22	114432020	\$415.22
114421009	\$415.22	114423018	\$415.22	114432021	\$415.22
114421010	\$415.22	114423019	\$415.22	114432022	\$415.22
114421011	\$415.22	114423020	\$415.22	114432023	\$415.22
114421012	\$415.22	114423021	\$415.22	114432024	\$415.22
114421013	\$415.22	114423022	\$415.22	114432026	\$415.22
114421014	\$415.22	114423023	\$415.22	114432027	\$415.22
114421015	\$415.22	114423024	\$415.22	114432028	\$415.22
114421016	\$415.22	114431001	\$415.22	114432029	\$415.22
114421017	\$415.22	114431002	\$415.22	114432030	\$415.22
114421018	\$415.22	114431003	\$415.22	114432032	\$415.22
114421019	\$415.22	114431004	\$415.22	114441001	\$415.22
114421020	\$415.22	114431005	\$415.22	114441002	\$415.22
114421021	\$415.22	114431006	\$415.22	114441003	\$415.22
114421022	\$415.22	114431007	\$415.22	114441004	\$415.22
114422001	\$415.22	114431008	\$415.22	114441005	\$415.22
114422002	\$415.22	114431009	\$415.22	114441006	\$415.22
114422003	\$415.22	114431010	\$415.22	114441007	\$415.22
114422004	\$415.22	114431011	\$415.22	114441008	\$415.22
114422005	\$415.22	114431012	\$415.22	114441009	\$415.22
114422006	\$415.22	114431013	\$415.22	114441010	\$415.22
114422007	\$415.22	114431014	\$415.22	114441011	\$415.22
114422008	\$415.22	114431015	\$415.22	114442001	\$415.22
114422009	\$415.22	114431016	\$415.22	114442002	\$415.22
114422010	\$415.22	114431017	\$415.22	114442003	\$415.22
114422011	\$415.22	114432002	\$415.22	114442004	\$415.22
114422012	\$415.22	114432003	\$415.22	114442005	\$415.22
114422013	\$415.22	114432004	\$415.22	114442006	\$415.22
114422014	\$415.22	114432005	\$415.22	114442007	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114442008	\$415.22	114452010	\$415.22	114453029	\$415.22
114442009	\$415.22	114452011	\$415.22	114461001	\$415.22
114442010	\$415.22	114452012	\$415.22	114461002	\$415.22
114442011	\$415.22	114452013	\$415.22	114461003	\$415.22
114442012	\$415.22	114452014	\$415.22	114461004	\$415.22
114442013	\$415.22	114452015	\$415.22	114461005	\$415.22
114442014	\$415.22	114452016	\$415.22	114461006	\$415.22
114442015	\$415.22	114452017	\$415.22	114462001	\$415.22
114442016	\$415.22	114452018	\$415.22	114462002	\$415.22
114442017	\$415.22	114452019	\$415.22	114462003	\$415.22
114442018	\$415.22	114452020	\$415.22	114462004	\$415.22
114443001	\$415.22	114452021	\$415.22	114462005	\$415.22
114443002	\$415.22	114452022	\$415.22	114462006	\$415.22
114443003	\$415.22	114452023	\$415.22	114462007	\$415.22
114443004	\$415.22	114452024	\$415.22	114462008	\$415.22
114443005	\$415.22	114452025	\$415.22	114462009	\$415.22
114443006	\$415.22	114452026	\$415.22	114462010	\$415.22
114443007	\$415.22	114453001	\$415.22	114462011	\$415.22
114443008	\$415.22	114453002	\$415.22	114462012	\$415.22
114443009	\$415.22	114453003	\$415.22	114463001	\$415.22
114443010	\$415.22	114453004	\$415.22	114463002	\$415.22
114443011	\$415.22	114453005	\$415.22	114463004	\$415.22
114443015	\$415.22	114453006	\$415.22	114463005	\$415.22
114443016	\$415.22	114453007	\$415.22	114463006	\$415.22
114443017	\$415.22	114453008	\$415.22	114463007	\$415.22
114443018	\$415.22	114453009	\$415.22	114463008	\$415.22
114451001	\$415.22	114453010	\$415.22	114463009	\$415.22
114451002	\$415.22	114453011	\$415.22	114463010	\$415.22
114451003	\$415.22	114453012	\$415.22	114463011	\$415.22
114451004	\$415.22	114453013	\$415.22	114463012	\$415.22
114451005	\$415.22	114453014	\$415.22	114463013	\$415.22
114451006	\$415.22	114453015	\$415.22	114463014	\$415.22
114451007	\$415.22	114453016	\$415.22	114463015	\$415.22
114451008	\$415.22	114453017	\$415.22	114463016	\$415.22
114452001	\$415.22	114453018	\$415.22	114463017	\$415.22
114452002	\$415.22	114453019	\$415.22	114463018	\$415.22
114452003	\$415.22	114453020	\$415.22	114463019	\$415.22
114452004	\$415.22	114453023	\$415.22	114463020	\$415.22
114452005	\$415.22	114453024	\$415.22	114463021	\$415.22
114452006	\$415.22	114453025	\$415.22	114463022	\$415.22
114452007	\$415.22	114453026	\$415.22	114463023	\$415.22
114452008	\$415.22	114453027	\$415.22	114464001	\$415.22
114452009	\$415.22	114453028	\$415.22	114464002	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114464003	\$415.22	114471025	\$415.22	114481008	\$415.22
114464004	\$415.22	114471026	\$415.22	114481009	\$415.22
114464005	\$415.22	114471027	\$415.22	114481010	\$415.22
114464006	\$415.22	114471028	\$415.22	114481011	\$415.22
114465001	\$415.22	114472001	\$415.22	114481012	\$415.22
114465002	\$415.22	114472002	\$415.22	114481013	\$415.22
114465003	\$415.22	114472003	\$415.22	114481014	\$415.22
114465004	\$415.22	114472004	\$415.22	114481015	\$415.22
114466001	\$415.22	114472005	\$415.22	114481016	\$415.22
114466002	\$415.22	114472006	\$415.22	114481018	\$415.22
114466003	\$415.22	114472007	\$415.22	114481019	\$415.22
114466004	\$415.22	114472008	\$415.22	114481020	\$415.22
114466005	\$415.22	114472009	\$415.22	114481021	\$415.22
114466006	\$415.22	114472010	\$415.22	114481022	\$415.22
114466007	\$415.22	114472011	\$415.22	114481023	\$415.22
114466008	\$415.22	114472012	\$415.22	114481024	\$415.22
114466009	\$415.22	114472013	\$415.22	114481025	\$415.22
114466010	\$415.22	114472014	\$415.22	114481026	\$415.22
114466011	\$415.22	114472015	\$415.22	114481027	\$415.22
114471001	\$415.22	114472016	\$415.22	114481028	\$415.22
114471002	\$415.22	114472017	\$415.22	114481030	\$415.22
114471003	\$415.22	114472018	\$415.22	114481031	\$415.22
114471004	\$415.22	114472019	\$415.22	114481033	\$415.22
114471005	\$415.22	114472020	\$415.22	114481034	\$415.22
114471006	\$415.22	114472021	\$415.22	114481035	\$415.22
114471007	\$415.22	114472022	\$415.22	114481036	\$415.22
114471008	\$415.22	114472023	\$415.22	114481037	\$415.22
114471009	\$415.22	114472024	\$415.22	114481039	\$415.22
114471010	\$415.22	114473001	\$415.22	114481040	\$415.22
114471011	\$415.22	114473002	\$415.22	114481041	\$415.22
114471012	\$415.22	114473003	\$415.22	114481042	\$415.22
114471013	\$415.22	114473004	\$415.22	114481044	\$415.22
114471014	\$415.22	114473005	\$415.22	114481045	\$415.22
114471015	\$415.22	114473006	\$415.22	114481046	\$415.22
114471016	\$415.22	114473007	\$415.22	114481047	\$415.22
114471017	\$415.22	114473008	\$415.22	114481048	\$415.22
114471018	\$415.22	114473009	\$415.22	114481049	\$415.22
114471019	\$415.22	114481001	\$415.22	114481051	\$415.22
114471020	\$415.22	114481002	\$415.22	114481052	\$415.22
114471021	\$415.22	114481003	\$415.22	114481053	\$415.22
114471022	\$415.22	114481004	\$415.22	114481054	\$415.22
114471023	\$415.22	114481005	\$415.22	114481055	\$415.22
114471024	\$415.22	114481006	\$415.22	114481057	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114481058	\$415.22	114491008	\$415.22	114491059	\$415.22
114481059	\$415.22	114491009	\$415.22	114491060	\$415.22
114481060	\$415.22	114491010	\$415.22	114511001	\$415.22
114481061	\$415.22	114491011	\$415.22	114511002	\$415.22
114481063	\$415.22	114491013	\$415.22	114511003	\$415.22
114481064	\$415.22	114491014	\$415.22	114511004	\$415.22
114481065	\$415.22	114491015	\$415.22	114511005	\$415.22
114481066	\$415.22	114491017	\$415.22	114511006	\$415.22
114481067	\$415.22	114491018	\$415.22	114511007	\$415.22
114481068	\$415.22	114491019	\$415.22	114511008	\$415.22
114481069	\$415.22	114491021	\$415.22	114511009	\$415.22
114481071	\$415.22	114491022	\$415.22	114511010	\$415.22
114481072	\$415.22	114491023	\$415.22	114511012	\$415.22
114481073	\$415.22	114491024	\$415.22	114511013	\$415.22
114481074	\$415.22	114491025	\$415.22	114511014	\$415.22
114481075	\$415.22	114491026	\$415.22	114511015	\$415.22
114481076	\$415.22	114491027	\$415.22	114511016	\$415.22
114481077	\$415.22	114491028	\$415.22	114511017	\$415.22
114481078	\$415.22	114491029	\$415.22	114511018	\$415.22
114481079	\$415.22	114491031	\$415.22	114511019	\$415.22
114481080	\$415.22	114491032	\$415.22	114511021	\$415.22
114481082	\$415.22	114491033	\$415.22	114511022	\$415.22
114481083	\$415.22	114491035	\$415.22	114511023	\$415.22
114481084	\$415.22	114491036	\$415.22	114511024	\$415.22
114481085	\$415.22	114491037	\$415.22	114511026	\$415.22
114481086	\$415.22	114491039	\$415.22	114511027	\$415.22
114481087	\$415.22	114491040	\$415.22	114511028	\$415.22
114481088	\$415.22	114491041	\$415.22	114511029	\$415.22
114481090	\$415.22	114491042	\$415.22	114511030	\$415.22
114481091	\$415.22	114491044	\$415.22	114511031	\$415.22
114481092	\$415.22	114491045	\$415.22	114511032	\$415.22
114481093	\$415.22	114491046	\$415.22	114511033	\$415.22
114481094	\$415.22	114491047	\$415.22	114511035	\$415.22
114481095	\$415.22	114491048	\$415.22	114511036	\$415.22
114481096	\$415.22	114491050	\$415.22	114511037	\$415.22
114481097	\$415.22	114491051	\$415.22	114511038	\$415.22
114481098	\$415.22	114491052	\$415.22	114511039	\$415.22
114491001	\$415.22	114491053	\$415.22	114511040	\$415.22
114491002	\$415.22	114491054	\$415.22	114511042	\$415.22
114491003	\$415.22	114491055	\$415.22	114511043	\$415.22
114491004	\$415.22	114491056	\$415.22	114511044	\$415.22
114491005	\$415.22	114491057	\$415.22	114511045	\$415.22
114491007	\$415.22	114491058	\$415.22	114511046	\$415.22



# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114521001	\$415.22	114521050	\$415.22	114531016	\$415.22
114521002	\$415.22	114521051	\$415.22	114531017	\$415.22
114521003	\$415.22	114521052	\$415.22	114531018	\$415.22
114521004	\$415.22	114521054	\$415.22	114531020	\$415.22
114521005	\$415.22	114521055	\$415.22	114531021	\$415.22
114521006	\$415.22	114521056	\$415.22	114531022	\$415.22
114521007	\$415.22	114521057	\$415.22	114531024	\$415.22
114521008	\$415.22	114521058	\$415.22	114531025	\$415.22
114521009	\$415.22	114521059	\$415.22	114531026	\$415.22
114521010	\$415.22	114521060	\$415.22	114531027	\$415.22
114521012	\$415.22	114521061	\$415.22	114531028	\$415.22
114521013	\$415.22	114521063	\$415.22	114531030	\$415.22
114521014	\$415.22	114521064	\$415.22	114531031	\$415.22
114521015	\$415.22	114521065	\$415.22	114531032	\$415.22
114521016	\$415.22	114521066	\$415.22	114531033	\$415.22
114521018	\$415.22	114521067	\$415.22	114531034	\$415.22
114521019	\$415.22	114521068	\$415.22	114531036	\$415.22
114521021	\$415.22	114521069	\$415.22	114531037	\$415.22
114521022	\$415.22	114521070	\$415.22	114531039	\$415.22
114521024	\$415.22	114521072	\$415.22	114531040	\$415.22
114521025	\$415.22	114521073	\$415.22	114531041	\$415.22
114521026	\$415.22	114521074	\$415.22	114531042	\$415.22
114521027	\$415.22	114521075	\$415.22	114531043	\$415.22
114521028	\$415.22	114521076	\$415.22	114531044	\$415.22
114521029	\$415.22	114521077	\$415.22	114531046	\$415.22
114521030	\$415.22	114521078	\$415.22	114531047	\$415.22
114521031	\$415.22	114521080	\$415.22	114531049	\$415.22
114521033	\$415.22	114521081	\$415.22	114531050	\$415.22
114521034	\$415.22	114521082	\$415.22	114531051	\$415.22
114521035	\$415.22	114521083	\$415.22	114531053	\$415.22
114521036	\$415.22	114531001	\$415.22	114531055	\$415.22
114521037	\$415.22	114531002	\$415.22	114531056	\$415.22
114521038	\$415.22	114531003	\$415.22	114531057	\$415.22
114521039	\$415.22	114531004	\$415.22	114531058	\$415.22
114521040	\$415.22	114531005	\$415.22	114531059	\$415.22
114521041	\$415.22	114531006	\$415.22	114531060	\$415.22
114521043	\$415.22	114531008	\$415.22	114531061	\$415.22
114521044	\$415.22	114531009	\$415.22	114531063	\$415.22
114521045	\$415.22	114531010	\$415.22	114531064	\$415.22
114521046	\$415.22	114531011	\$415.22	114531065	\$415.22
114521047	\$415.22	114531012	\$415.22	114531066	\$415.22
114521048	\$415.22	114531013	\$415.22	114531067	\$415.22
114521049	\$415.22	114531015	\$415.22	114531068	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114531069	\$415.22	114532026	\$415.22	114541034	\$415.22
114531071	\$415.22	114532027	\$415.22	114541035	\$415.22
114531072	\$415.22	114532028	\$415.22	114541036	\$415.22
114531073	\$415.22	114532029	\$415.22	114541037	\$415.22
114531074	\$415.22	114532030	\$415.22	114541038	\$415.22
114531075	\$415.22	114532031	\$415.22	114541039	\$415.22
114531076	\$415.22	114532032	\$415.22	114541040	\$415.22
114531078	\$415.22	114532033	\$415.22	114541042	\$415.22
114531079	\$415.22	114532034	\$415.22	114541043	\$415.22
114531080	\$415.22	114532035	\$415.22	114541044	\$415.22
114531081	\$415.22	114532036	\$415.22	114541045	\$415.22
114531083	\$415.22	114532037	\$415.22	114541046	\$415.22
114531085	\$415.22	114532038	\$415.22	114551001	\$415.22
114531086	\$415.22	114532039	\$415.22	114551002	\$415.22
114531087	\$415.22	114532041	\$415.22	114551003	\$415.22
114531089	\$415.22	114532042	\$415.22	114551005	\$415.22
114531090	\$415.22	114541001	\$415.22	114551006	\$415.22
114531091	\$415.22	114541002	\$415.22	114551007	\$415.22
114531092	\$415.22	114541003	\$415.22	114551008	\$415.22
114532001	\$415.22	114541004	\$415.22	114551010	\$415.22
114532002	\$415.22	114541005	\$415.22	114551011	\$415.22
114532003	\$415.22	114541007	\$415.22	114551012	\$415.22
114532004	\$415.22	114541008	\$415.22	114551013	\$415.22
114532005	\$415.22	114541009	\$415.22	114551014	\$415.22
114532006	\$415.22	114541010	\$415.22	114551015	\$415.22
114532007	\$415.22	114541011	\$415.22	114551017	\$415.22
114532008	\$415.22	114541013	\$415.22	114551018	\$415.22
114532009	\$415.22	114541014	\$415.22	114551019	\$415.22
114532010	\$415.22	114541015	\$415.22	114551020	\$415.22
114532011	\$415.22	114541016	\$415.22	114551021	\$415.22
114532012	\$415.22	114541017	\$415.22	114551022	\$415.22
114532013	\$415.22	114541019	\$415.22	114551023	\$415.22
114532014	\$415.22	114541020	\$415.22	114551025	\$415.22
114532015	\$415.22	114541021	\$415.22	114551026	\$415.22
114532016	\$415.22	114541022	\$415.22	114551027	\$415.22
114532017	\$415.22	114541023	\$415.22	114551028	\$415.22
114532018	\$415.22	114541024	\$415.22	114551029	\$415.22
114532020	\$415.22	114541026	\$415.22	114551030	\$415.22
114532021	\$415.22	114541027	\$415.22	114551031	\$415.22
114532022	\$415.22	114541029	\$415.22	114551032	\$415.22
114532023	\$415.22	114541030	\$415.22	114551033	\$415.22
114532024	\$415.22	114541031	\$415.22	114551035	\$415.22
114532025	\$415.22	114541032	\$415.22	114551036	\$415.22

## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114551037	\$415.22	114571042	\$415.22	114572006	\$415.22
114551038	\$415.22	114571043	\$415.22	114572007	\$415.22
114551039	\$415.22	114571045	\$415.22	114572009	\$415.22
114551040	\$415.22	114571046	\$415.22	114572010	\$415.22
114551041	\$415.22	114571047	\$415.22	114572011	\$415.22
114560007	\$415.22	114571048	\$415.22	114572012	\$415.22
114560008	\$415.22	114571049	\$415.22	114572014	\$415.22
114560009	\$415.22	114571050	\$415.22	114572015	\$415.22
114560010	\$415.22	114571051	\$415.22	114572016	\$415.22
114560020	\$415.22	114571052	\$415.22	114572017	\$415.22
114560021	\$415.22	114571054	\$415.22	114572018	\$415.22
114571001	\$415.22	114571055	\$415.22	114572020	\$415.22
114571002	\$415.22	114571056	\$415.22	114572021	\$415.22
114571003	\$415.22	114571057	\$415.22	114572022	\$415.22
114571005	\$415.22	114571059	\$415.22	114572023	\$415.22
114571006	\$415.22	114571060	\$415.22	114572025	\$415.22
114571007	\$415.22	114571062	\$415.22	114572026	\$415.22
114571008	\$415.22	114571063	\$415.22	114572027	\$415.22
114571010	\$415.22	114571064	\$415.22	114572028	\$415.22
114571011	\$415.22	114571065	\$415.22	114572029	\$415.22
114571012	\$415.22	114571066	\$415.22	114572030	\$415.22
114571014	\$415.22	114571067	\$415.22	114572031	\$415.22
114571016	\$415.22	114571068	\$415.22	114572033	\$415.22
114571017	\$415.22	114571069	\$415.22	114572034	\$415.22
114571018	\$415.22	114571070	\$415.22	114572036	\$415.22
114571020	\$415.22	114571072	\$415.22	114572037	\$415.22
114571021	\$415.22	114571073	\$415.22	114572038	\$415.22
114571023	\$415.22	114571074	\$415.22	114581001	\$415.22
114571024	\$415.22	114571075	\$415.22	114581002	\$415.22
114571025	\$415.22	114571076	\$415.22	114581003	\$415.22
114571026	\$415.22	114571077	\$415.22	114581004	\$415.22
114571027	\$415.22	114571079	\$415.22	114581005	\$415.22
114571028	\$415.22	114571081	\$415.22	114581006	\$415.22
114571029	\$415.22	114571082	\$415.22	114581007	\$415.22
114571030	\$415.22	114571083	\$415.22	114581008	\$415.22
114571031	\$415.22	114571084	\$415.22	114581010	\$415.22
114571032	\$415.22	114571085	\$415.22	114581011	\$415.22
114571034	\$415.22	114571086	\$415.22	114581012	\$415.22
114571035	\$415.22	114572001	\$415.22	114581013	\$415.22
114571037	\$415.22	114572002	\$415.22	114581014	\$415.22
114571039	\$415.22	114572003	\$415.22	114581015	\$415.22
114571040	\$415.22	114572004	\$415.22	114581016	\$415.22
114571041	\$415.22	114572005	\$415.22	114581017	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114581019	\$415.22	114581070	\$415.22	114591036	\$415.22
114581020	\$415.22	114581071	\$415.22	114591037	\$415.22
114581021	\$415.22	114581072	\$415.22	114592001	\$415.22
114581023	\$415.22	114581073	\$415.22	114592002	\$415.22
114581024	\$415.22	114581074	\$415.22	114592003	\$415.22
114581025	\$415.22	114581075	\$415.22	114592004	\$415.22
114581026	\$415.22	114581076	\$415.22	114592005	\$415.22
114581027	\$415.22	114581077	\$415.22	114592006	\$415.22
114581028	\$415.22	114581078	\$415.22	114592007	\$415.22
114581029	\$415.22	114581079	\$415.22	114592008	\$415.22
114581031	\$415.22	114591001	\$415.22	114592009	\$415.22
114581032	\$415.22	114591002	\$415.22	114592010	\$415.22
114581033	\$415.22	114591003	\$415.22	114592011	\$415.22
114581034	\$415.22	114591004	\$415.22	114592012	\$415.22
114581035	\$415.22	114591005	\$415.22	114592013	\$415.22
114581036	\$415.22	114591006	\$415.22	114592014	\$415.22
114581037	\$415.22	114591007	\$415.22	114592015	\$415.22
114581039	\$415.22	114591008	\$415.22	114592016	\$415.22
114581040	\$415.22	114591010	\$415.22	114592017	\$415.22
114581041	\$415.22	114591011	\$415.22	114592018	\$415.22
114581042	\$415.22	114591012	\$415.22	114592019	\$415.22
114581044	\$415.22	114591013	\$415.22	114592020	\$415.22
114581045	\$415.22	114591014	\$415.22	114592021	\$415.22
114581046	\$415.22	114591015	\$415.22	114592022	\$415.22
114581047	\$415.22	114591016	\$415.22	114592023	\$415.22
114581048	\$415.22	114591017	\$415.22	114592024	\$415.22
114581049	\$415.22	114591018	\$415.22	114601001	\$415.22
114581050	\$415.22	114591019	\$415.22	114601002	\$415.22
114581052	\$415.22	114591020	\$415.22	114601003	\$415.22
114581053	\$415.22	114591021	\$415.22	114601004	\$415.22
114581054	\$415.22	114591022	\$415.22	114601005	\$415.22
114581055	\$415.22	114591023	\$415.22	114601006	\$415.22
114581057	\$415.22	114591024	\$415.22	114601007	\$415.22
114581058	\$415.22	114591025	\$415.22	114601008	\$415.22
114581059	\$415.22	114591026	\$415.22	114601009	\$415.22
114581060	\$415.22	114591027	\$415.22	114601010	\$415.22
114581062	\$415.22	114591028	\$415.22	114601011	\$415.22
114581063	\$415.22	114591029	\$415.22	114601012	\$415.22
114581064	\$415.22	114591030	\$415.22	114601013	\$415.22
114581065	\$415.22	114591031	\$415.22	114601014	\$415.22
114581066	\$415.22	114591032	\$415.22	114601015	\$415.22
114581067	\$415.22	114591033	\$415.22	114601016	\$415.22
114581068	\$415.22	114591035	\$415.22	114601017	\$415.22

# Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
114603001	\$415.22	116171008	\$415.22	116181010	\$415.22
114603002	\$415.22	116171011	\$415.22	116181011	\$415.22
114603003	\$415.22	116171012	\$415.22	116181012	\$415.22
114603004	\$415.22	116171013	\$415.22	116181013	\$415.22
114603005	\$415.22	116171014	\$415.22	116181014	\$415.22
114603006	\$415.22	116171015	\$415.22	116182001	\$415.22
114603007	\$415.22	116171016	\$415.22	116182002	\$415.22
114603008	\$415.22	116171017	\$415.22	116182003	\$415.22
114603009	\$415.22	116171018	\$415.22	116182004	\$415.22
114603010	\$415.22	116171019	\$415.22	116182005	\$415.22
114603011	\$415.22	116171020	\$415.22	116182006	\$415.22
114603012	\$415.22	116172001	\$415.22	116182007	\$415.22
114603013	\$415.22	116172002	\$415.22	116182008	\$415.22
114603014	\$415.22	116172003	\$415.22	116182009	\$415.22
114603015	\$415.22	116172004	\$415.22	116182010	\$415.22
114603016	\$415.22	116172005	\$415.22	116182011	\$415.22
114603017	\$415.22	116172006	\$415.22	116182012	\$415.22
114603018	\$415.22	116172007	\$415.22	116191001	\$415.22
114603019	\$415.22	116172008	\$415.22	116191002	\$415.22
114611001	\$415.22	116172009	\$415.22	116191003	\$415.22
114611002	\$415.22	116172010	\$415.22	116191004	\$415.22
114611003	\$415.22	116172011	\$415.22	116191005	\$415.22
114611004	\$415.22	116172012	\$415.22	116191006	\$415.22
114611005	\$415.22	116172013	\$415.22	116191007	\$415.22
114611006	\$415.22	116172014	\$415.22	116191008	\$415.22
114612001	\$415.22	116172015	\$415.22	116192001	\$415.22
114612002	\$415.22	116172016	\$415.22	116192002	\$415.22
114612003	\$415.22	116172017	\$415.22	116192003	\$415.22
114612004	\$415.22	116172018	\$415.22	116192004	\$415.22
114612005	\$415.22	116172019	\$415.22	116192006	\$415.22
114612006	\$415.22	116172020	\$415.22	116192007	\$415.22
114612007	\$415.22	116172021	\$415.22	116192008	\$415.22
114612008	\$415.22	116172022	\$415.22	116192009	\$415.22
114612009	\$415.22	116172023	\$415.22	116192010	\$415.22
114612010	\$415.22	116181001	\$415.22	116192011	\$415.22
114612011	\$415.22	116181002	\$415.22	116192012	\$415.22
116171001	\$415.22	116181003	\$415.22	116192013	\$415.22
116171002	\$415.22	116181004	\$415.22	116192014	\$415.22
116171003	\$415.22	116181005	\$415.22	116192015	\$415.22
116171004	\$415.22	116181006	\$415.22	116192016	\$415.22
116171005	\$415.22	116181007	\$415.22	116192017	\$415.22
116171006	\$415.22	116181008	\$415.22	116192018	\$415.22
116171007	\$415.22	116181009	\$415.22	116192019	\$415.22

## Assessment Roll

68-2300 - LMD 84-2 Zone 20

Fiscal Year 2022



APN	Levy	APN	Levy	APN	Levy
116192020	\$415.22	116201007	\$415.22	116202010	\$415.22
116192021	\$415.22	116201008	\$415.22	116202011	\$415.22
116192022	\$415.22	116201009	\$415.22	116202012	\$415.22
116192023	\$415.22	116201010	\$415.22	116202013	\$415.22
116192024	\$415.22	116202003	\$415.22	116202014	\$415.22
116201001	\$415.22	116202004	\$415.22	116202015	\$415.22
116201002	\$415.22	116202005	\$415.22	116202016	\$415.22
116201003	\$415.22	116202006	\$415.22	116202023	\$415.22
116201004	\$415.22	116202007	\$415.22	275100003	\$415.22
116201005	\$415.22	116202008	\$415.22		
116201006	\$415.22	116202009	\$415.22		
<b>Totals</b>		<b>Parcels 2,482</b>		<b>Levy \$1,068,673.40</b>	

# APPENDIX B

## Assessment Diagrams



SPICER CONSULTING  
GROUP





## Landscape Maintenance District No. 84 - 2 ZONE 1







## Landscape Maintenance District No. 84 - 2

### ZONE 2



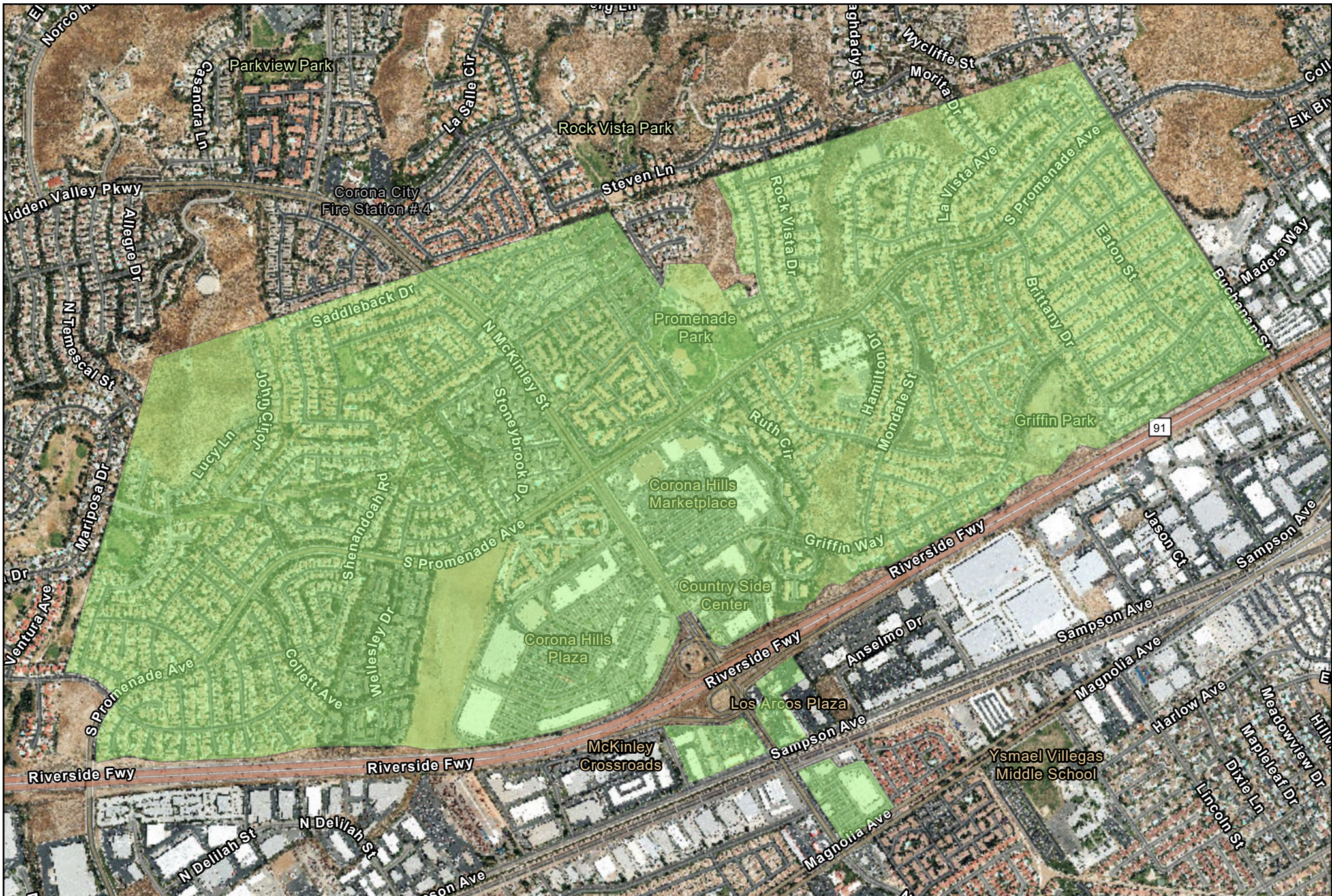




## Landscape Maintenance District No. 84 - 2 ZONE 4







## Landscape Maintenance District No. 84 - 2

### ZONE 6







## Landscape Maintenance District No. 84 - 2 ZONE 7



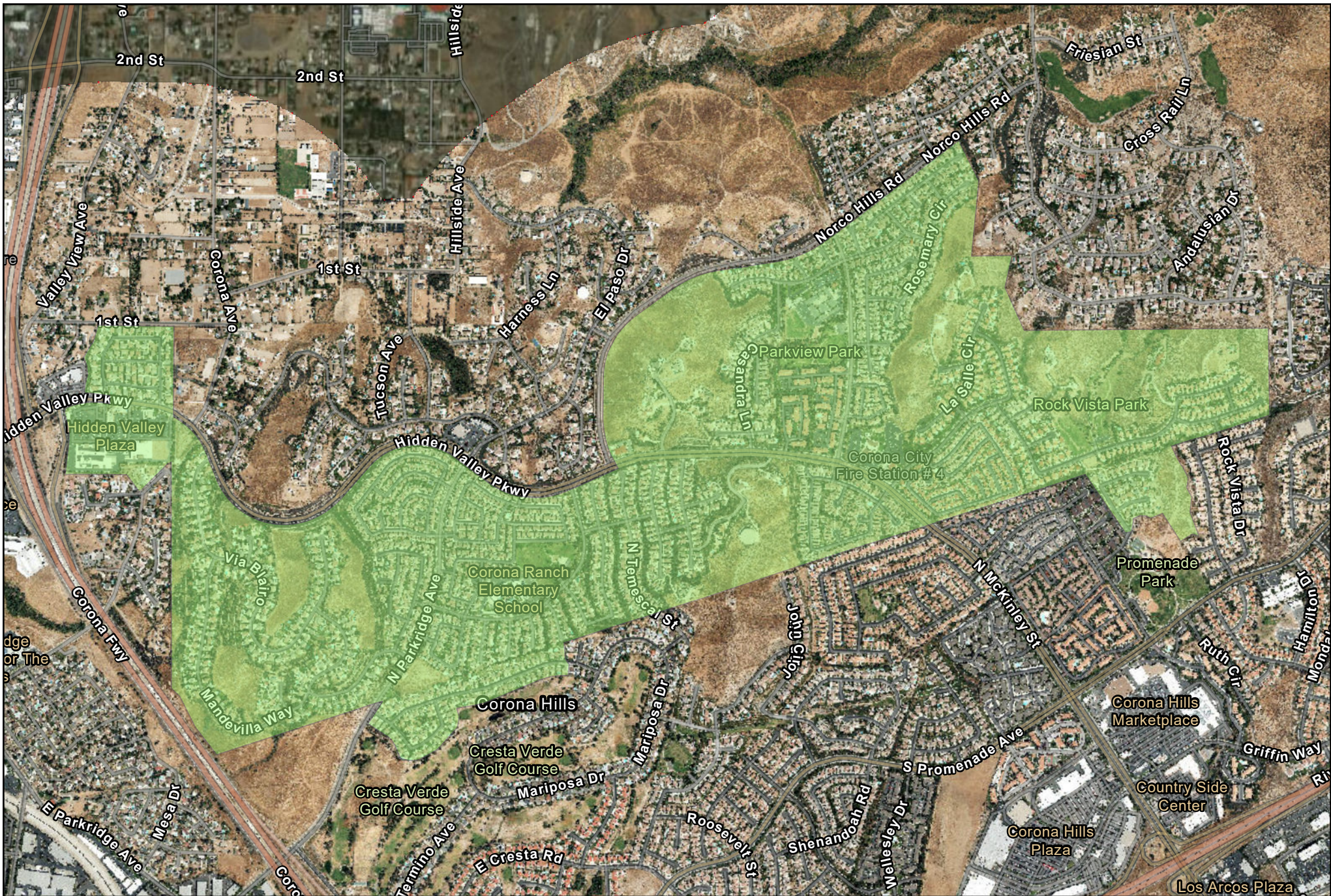




## Landscape Maintenance District No. 84 - 2 ZONE 10





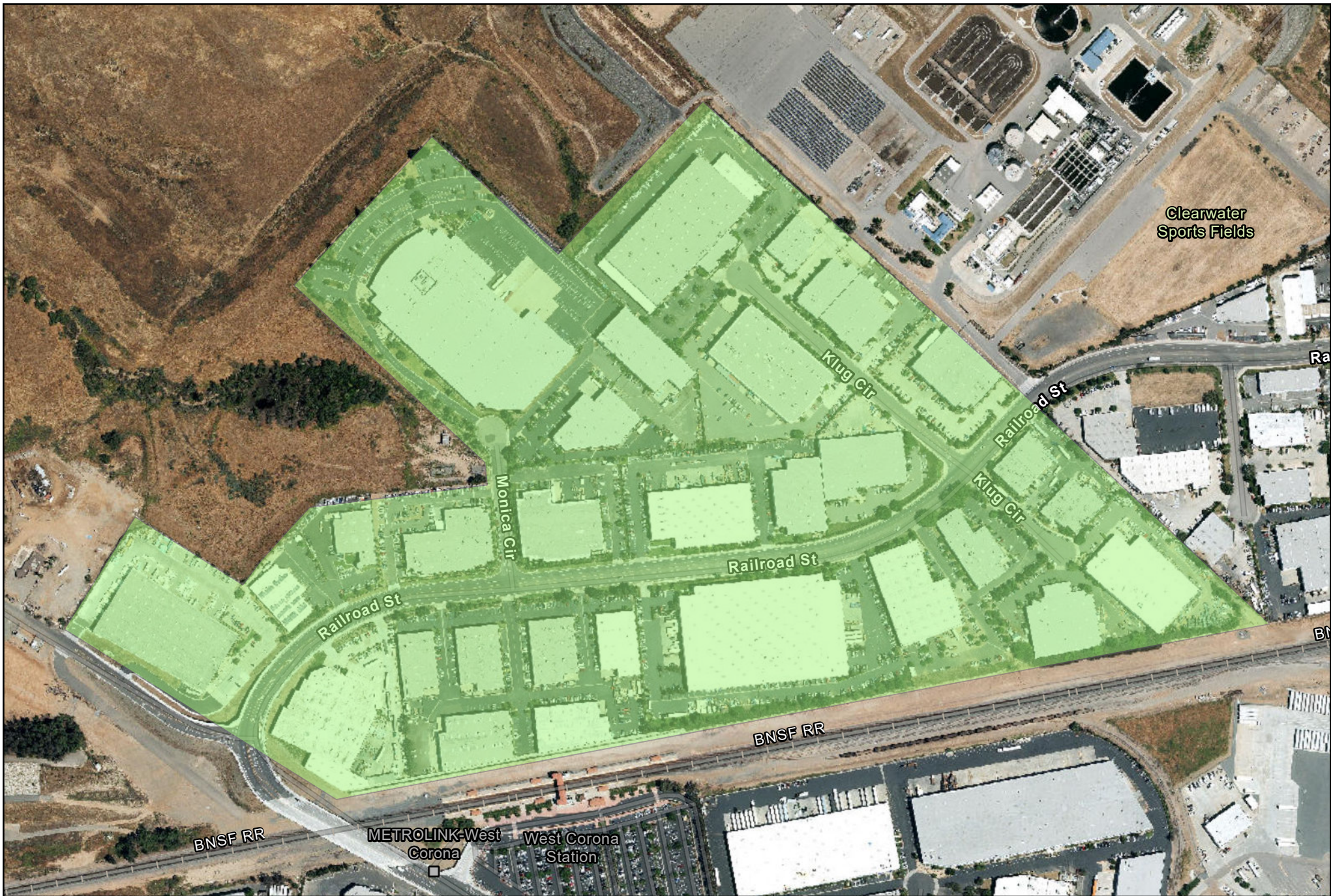


## Landscape Maintenance District No. 84 - 2

### ZONE 14







**Landscape Maintenance District No. 84 - 2**  
**ZONE 15**







**Landscape Maintenance District No. 84 - 2**  
**ZONE 17**



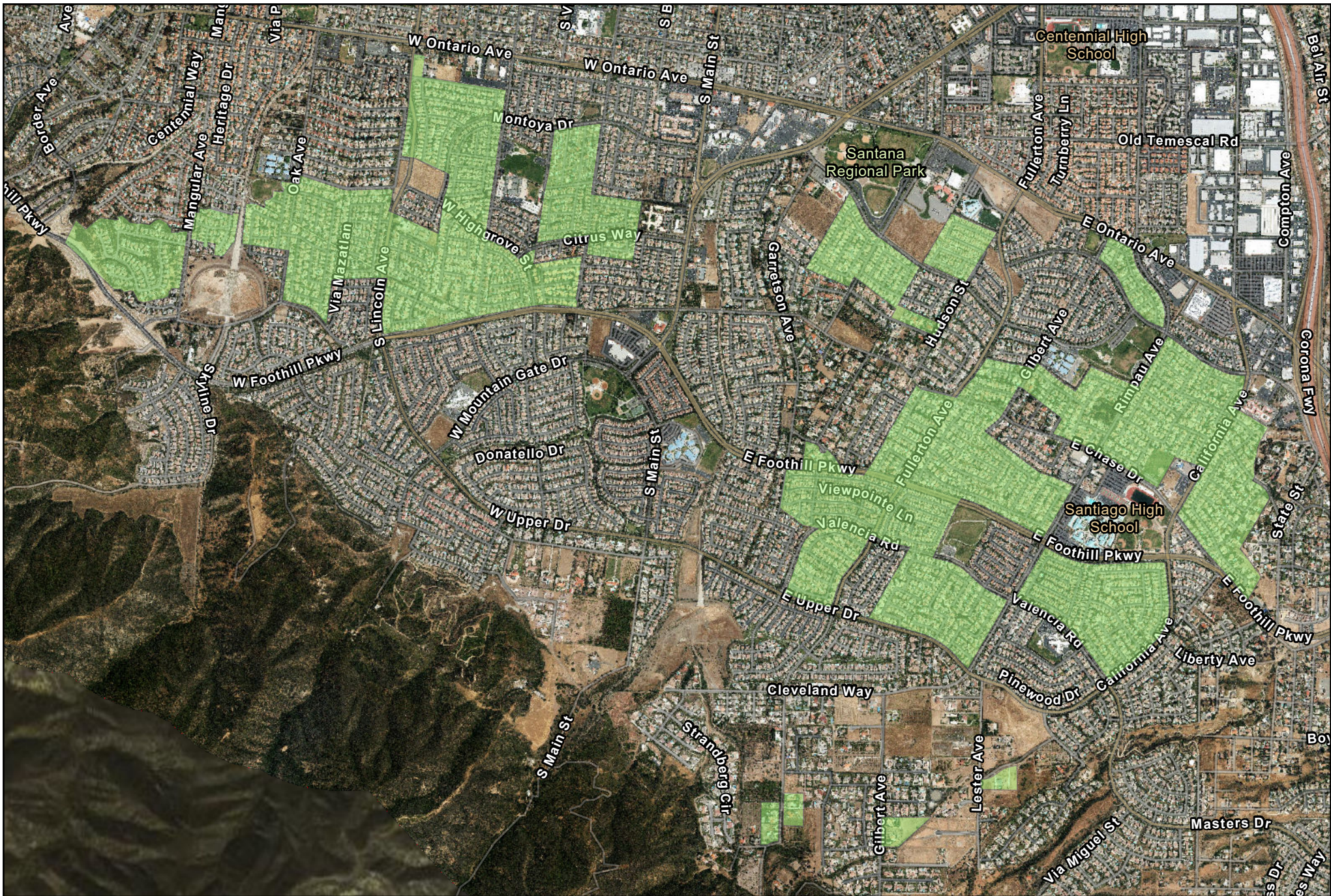




Landscape Maintenance District No. 84 - 2  
ZONE 18



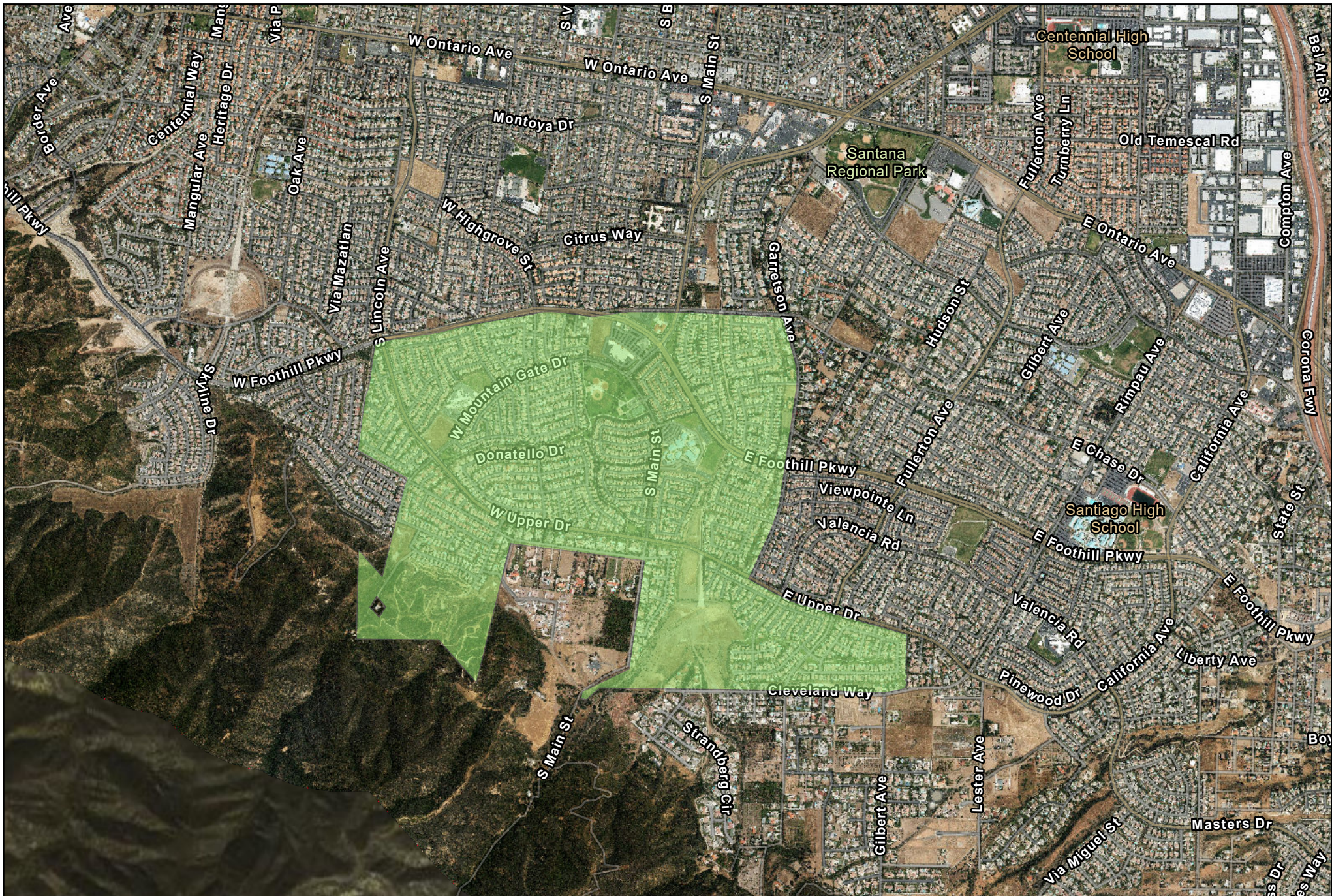




Landscape Maintenance District No. 84 - 2  
ZONE 19







## Landscape Maintenance District No. 84 - 2

### ZONE 20





# APPENDIX C

## Capital Improvement Projects



SPIKER CONSULTING  
G R O U P

The Community Services Department is developing a master plan for each zone that would include capital projects, operational activities, and revenue requirements to meet the objectives and service levels desired. Revenue requirements are set to cover annual operating costs and build reserves over time to perform focused capital replacements year over year, or large capital replacements in one anticipated year. Projects will be brought before City Council for approval as they are developed through the master plan. Zone specific projects are listed below:

#### *Zone 1 Capital Project*

In Fiscal Year 2012, all turf was removed and replaced with decomposed granite and trees on drip irrigation. Constituents have expressed a desire to add more color to the area, and so funds will be used to add in some additional vegetation. Future projects will be developed through the master plan process referenced above.

#### *Zone 2 Capital Project*

In Fiscal Year 2018, Zone 2 retrofitted approximately 28,000 square feet of landscaping, consisting of parkway turf removal and replanting and irrigation retrofit of the medians along Corydon Street. Future projects will be developed through the master plan process referenced above.

#### *Zone 4 Capital Project*

Zone 4 had 7,000 square feet of parkway turf along Ontario Avenue removed and replaced with low-water use plants and high-efficiency irrigation in Fiscal Year 2018. In future years, upon build-up of reserves, the City will re-bid the previously designed areas along Fullerton Avenues and Old Temescal Road. Future projects will be developed through the master plan process referenced above.

#### *Zone 6 Capital Project*

In Fiscal Year 2018, the medians along Promenade Avenue in Zone 6 received in-fill planting. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 7 Capital Project*

The 62,780 square feet of landscaping renovation for Zone 7 was completed in Fiscal Year 2018. The landscape renovation project in Zone 7 parkways along Ontario Avenue from Oak to Mangular Avenues was completed in Fiscal Year 2019. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 10 Capital Projects*

The first year landscape renovation project in Zone 10 was completed by the end of the Fiscal Year 2018. This project renovated approximately 125,000 square feet of landscaping for Year 1 of Zone 10's ten-year capital improvement plan.

The parkways along the south side of Oakridge Drive were completed in FY 2020. The Oakridge portion of the project renovated 12,400 square feet of parkways, totaling \$105,000. Year 2 construction was completed during FY 2021. This project rehabilitated 63,745 square feet of slope areas and parkways, including the removal of ice plant, installation of low-precipitation rotary nozzles and acacia for slope stability. Additionally, a new irrigation controller, decomposed granite and bench seating was installed in an open space area along Rutland Drive. The total project cost was \$711,551.15.

Additionally, the City of Corona contracted with Ninyo & Moore, a geotechnical and environmental sciences consulting firm, to further examine several slope areas in Zone 10, Areas 55, 89, and 272. These areas were previously observed to have some surficial slope erosion and damage to concrete drainage ditches which required more investigation. After receiving the report from Ninyo & Moore, the City focused in on an area behind two homes located along Dominguez Rancho Road based on Ninyo & Moore's findings. The City subsequently requested a more detailed report, including soils sampling and testing, focused on this area from a company named GeoTek, Inc. GeoTek's findings indicate that future remediation actions will be necessary on the slope in this area, however, the slope itself at its base is stable. The City is currently working with an engineering design firm, Hunsaker and Associates, for design services based upon GeoTek's recommendations. Cost estimates are unavailable at this time, since the final design solution is unknown.

#### *Zone 14 Capital Projects*

Just over 23,000 square feet of turf was removed from the parkways along Hidden Valley Parkway in Zone 14 and replaced with drip irrigation and low-water use plants in Fiscal Year 2018. In Fiscal Year 2020, the turf removal from parkways on Hidden Valley

Parkway continued from the current project limits all the way to the Zone 14 boundary near Ranch Vista Road. This area totals almost 47,000 square feet, and cost approximately \$370,000. Additional areas for turf removal projects will continue to be identified for future projects. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

#### *Zone 15 Capital Projects*

The project to remove and re-landscape the turf along both sides of Railroad was completed in Fiscal Year 2018.

#### *Zone 17 Capital Projects*

13,629 square feet of landscaping for Zone 17 was renovated in Fiscal Year 2018. The turf was removed and replaced with an efficient drip system and low water use plant materials. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 18 Capital Projects*

Zone 18 parkways and monument area at the corner of River Road and Lincoln Avenue, totaling 24,569 square feet of landscaping, were renovated to include water-efficient plants, drip irrigation, in addition to some cobblestone hardscape, in Fiscal Year 2018. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 19 Capital Projects*

The City continues to look for opportunities to help reduce expenses for the zone, such as rebates for landscaping renovations and low-interest loans. Future projects will be developed through the master plan process referenced above pending availability of funds.

#### *Zone 20 Capital Projects*

Approximately 68,700 square feet of landscaping was renovated in Zone 20 in Fiscal Year 2018. Planned projects for the greenbelt area include: installing additional pet waste stations, replacing lighting as needed, developing a schedule for bench and picnic table replacement and completing these replacements, replacing fitness equipment, and replacing trash cans. Future projects will be developed through the master plan process referenced above.

A landscape audit is planned to be completed for each meter, along with additional contract work to include: identifying and fixing any irrigation issues, completing in-fill planting, identifying and completing additional weeding and area clean-up projects, fertilizing, and mulching.

\*All rebate funding for the various zones has been received by Fiscal Year 2020.

## Zone 10 Slope Maintenance Prioritization

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
133	1690 OAKRIDGE DR	3,195.26	3	1	Complete		
53	1691 OAKRIDGE DR	64,682.45	3	1	Complete		
65	1691 OAKRIDGE DR	11,287.38	3	1	Complete		
267	1305 OAKRIDGE DR	7,888.40	5	1	Complete		
286	1690 OAKRIDGE DR	13,091.00	7	1	Complete		
164	1691 OAKRIDGE DR	969.03	9	1	Complete		
76	1305 OAKRIDGE DR	97,523.62	11	1	Complete		
97	1305 OAKRIDGE DR	27,409.66	11	1	Complete		
268	1305 OAKRIDGE DR	16,830.93	11	1	Complete		
129	1690 OAKRIDGE DR	138,377.16	11	1	Complete		
166	1690 OAKRIDGE DR	51,101.87	11	1	Complete		
115	1691 OAKRIDGE DR	129,243.74	11	1	Complete		
167	1691 OAKRIDGE DR	10,920.96	11	1	Complete		
118	1305 OAKRIDGE DR	168.00	12	1	Complete		
102	1690 OAKRIDGE DR	3,338.00	12	1	Complete		
141	1690 OAKRIDGE DR	5,401.00	12	1	Complete		
114	1691 OAKRIDGE DR	6,908.00	12	1	Complete		
52	1691 OAKRIDGE DR	241.00	12	1	Complete		
121	1691 OAKRIDGE DR	132.00	12	1	Complete		
150	1691 OAKRIDGE DR	167.00	12	1	Complete		
165	1691 OAKRIDGE DR	212.00	12	1	Complete		
280		67,400.76	4	1.5	Not Irrigated		
269	1588 SAN PONTE	19,960.47	2	2	Complete		
271	1208 DOMINGUEZ RANCH RD	16,679.64	3	2	Complete		
270	1588 SAN PONTE	23,616.44	3	2	Complete		
21	3786 GREEN RIVER RD A	23,616.44	3	2	Complete		
1	825 HIGHLAND VIEW DR	93,375.95	3	2	Complete		
44	1208 DOMINGUEZ RANCH RD	48,077.57	5	2	Complete		
281	825 HIGHLAND VIEW DR	248,977.00	6	2	Complete		
272	1208 DOMINGUEZ RANCH RD	17,987.41	9	2	Complete		
86	1588 SAN PONTE	67,886.30	10	2	Complete		
7	3786 GREEN RIVER RD A	203,956.15	11	2	Construction		
20	1208 DOMINGUEZ RANCH RD	44,105.23	12	2	Complete		
49	1208 DOMINGUEZ RANCH RD	590.00	12	2	Complete		
60	1208 DOMINGUEZ RANCH RD	605.00	12	2	Complete		
63	1250 CANYON CREST DR	917.00	12	2	Complete		
71	1250 CANYON CREST DR	5,931.00	12	2	Complete		
74	1250 CANYON CREST DR	148.00	12	2	Complete		
81	1250 CANYON CREST DR	1,132.00	12	2	Complete		
83	1250 CANYON CREST DR	1,303.00	12	2	Complete		
93	1250 CANYON CREST DR	1,343.00	12	2	Complete		
130	1588 SAN PONTE	1,522.00	12	2	Complete		
3	825 HIGHLAND VIEW DR	572.00	12	2	Complete		
4	825 HIGHLAND VIEW DR	1,097.00	12	2	Complete		
289	1554 BALDY VIEW CI	4,486.00	3	3	Design	\$2.00	\$8,972.00
259	1554 BALDY VIEW CI	19,752.22	3	3	Design	\$2.00	\$39,504.44

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
265	3692 ALVARADO CI	5,507.45	3	3	Design	\$2.00	\$11,014.90
148	1151 SERFAS CLUB DR	103,390.70	5	3	Design	\$2.00	\$206,781.40
254	1554 BALDY VIEW CI	2,271.90	5	3	Design	\$2.00	\$4,543.80
82	3260 GREEN RIVER RD	96,772.78	5	3	Design	\$2.00	\$193,545.56
266	3692 ALVARADO CI	25,898.84	5	3	Design	\$2.00	\$51,797.69
283	4194 GREEN RIVER RD	17,311.00	5	3	Design	\$2.00	\$34,622.00
273	4194 GREEN RIVER RD	11,079.13	5	3	Design	\$2.00	\$22,158.25
196	1554 BALDY VIEW CI	41,577.72	6	3	Design	\$2.00	\$83,155.43
253	1554 BALDY VIEW CI	12,320.77	6	3	Design	\$2.00	\$24,641.53
25	2828 RIDGELINE DR	69,244.77	6	3	Design	\$2.00	\$138,489.54
41	4194 GREEN RIVER RD	35,466.54	6	3	Design	\$2.00	\$70,933.08
220	1554 BALDY VIEW CI	9,463.84	7	3	Design	\$2.00	\$18,927.69
108	1151 SERFAS CLUB DR	51,632.54	8	3	Design	\$2.00	\$103,265.08
244	1151 SERFAS CLUB DR	25,279.48	9	3	Design	\$2.00	\$50,558.97
13	4194 GREEN RIVER RD	6,315.64	9	3	Design	\$2.00	\$12,631.28
200	1554 BALDY VIEW CI	3,675.86	10	3	Design	\$2.00	\$7,351.71
119	3692 ALVARADO CI	158,666.54	10	3	Design	\$2.00	\$317,333.07
192	1554 BALDY VIEW CI	43,823.08	11	3	Design	\$2.00	\$87,646.16
199	1554 BALDY VIEW CI	43,341.46	11	3	Design	\$2.00	\$86,682.92
106	1151 SERFAS CLUB DR	9,776.00	12	3	Design	\$2.00	\$19,552.00
151	3692 ALVARADO CI	441.00	12	3	Design	\$2.00	\$882.00
10	4194 GREEN RIVER RD	1,113.00	12	3	Design	\$2.00	\$2,226.00
11	4194 GREEN RIVER RD	626.00	12	3	Design	\$2.00	\$1,252.00
227	1611 MONTANA RANCH RD	11,103.57	3	4			
242	3787 GREEN RIVER RD A	19,404.22	3	4			
282	2997 JUNIPER DR	17,518.00	4	4			
109	1172 SAN LORENZO LN	1,425.00	5	4			
120	1172 SAN LORENZO LN	334.00	6	4			
225	1611 MONTANA RANCH RD	11,558.63	6	4			
2	2997 JUNIPER DR	357,052.16	6	4			
116	1172 SAN LORENZO LN	588.00	7	4			
213	1611 MONTANA RANCH RD	33,894.98	7	4			
226	1611 MONTANA RANCH RD	25,324.24	8	4			
0	3787 GREEN RIVER RD A	309,614.97	9	4			
241	3787 GREEN RIVER RD A	65,031.78	9	4			
222	1611 MONTANA RANCH RD	7,270.63	11	4			
252	1611 MONTANA RANCH RD	5,080.69	11	4			
204	1611 MONTANA RANCH RD	4,886.00	12	4			
212	1611 MONTANA RANCH RD	760.00	12	4			
214	1611 MONTANA RANCH RD	1,147.32	12	4			
248	1665 CALLE DEL ORO	11,003.78	3	5			
245	1660 PASEO GRANDE	31,526.14	5	5			
288	2950 WILDERNESS CI	6,266.00	5	5			
75	2830 RIDGELINE DR	112,960.29	7	5			
246	1660 PASEO GRANDE	20,423.09	8	5			
218	1665 CALLE DEL ORO	57,816.52	8	5			



Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
247	1660 PASEO GRANDE	45,442.36	9	5			
249	1665 CALLE DEL ORO	6,542.60	9	5			
250	1665 CALLE DEL ORO	8,781.19	9	5			
209	2950 WILDERNESS CI	27,806.01	9	5			
195	2950 WILDERNESS CI	8,268.92	10	5			
191	1660 PASEO GRANDE	59,342.44	11	5			
210	1660 PASEO GRANDE	8,434.00	11	5			
240	1660 PASEO GRANDE	1,185.00	11	5			
232	1665 CALLE DEL ORO	1,103.00	11	5			
236	1665 CALLE DEL ORO	881.00	11	5			
284	2830 RIDGELINE DR	95,493.00	11	5			
243	2830 RIDGELINE DR	87,938.07	11	5			
180	2950 WILDERNESS CI	1,237.00	11	5			
181	2950 WILDERNESS CI	15,168.62	11	5			
190	2950 WILDERNESS CI	971.00	11	5			
193	2950 WILDERNESS CI	2,297.00	11	5			
194	2950 WILDERNESS CI	805.00	11	5			
197	2950 WILDERNESS CI	1,856.00	11	5			
198	2950 WILDERNESS CI	5,293.29	11	5			
205	2950 WILDERNESS CI	1,126.17	11	5			
206	2950 WILDERNESS CI	551.00	11	5			
207	2950 WILDERNESS CI	2,225.71	11	5			
261	2950 WILDERNESS CI	3,905.08	11	5			
262	2950 WILDERNESS CI	4,333.23	11	5			
107	1120 SERFAS CLUB DR	8,777.66	5	6			
46	1036 REDBERRY LN	20,949.71	6	6			
55	1036 REDBERRY LN	22,407.43	6	6			
258	2890 GREEN RIVER RD	104,312.22	7	6			
35	1036 REDBERRY LN	1,974.18	9	6			
38	1036 REDBERRY LN	55,676.26	9	6			
275	1036 REDBERRY LN	1,511.61	9	6			
276	1036 REDBERRY LN	13,609.38	9	6			
285	2890 GREEN RIVER RD	22,386.00	9	6			
125	2890 GREEN RIVER RD	172,423.94	9	6			
175	2890 GREEN RIVER RD	27,728.94	9	6			
39	1036 REDBERRY LN	2,522.00	11	6			
73	1036 REDBERRY LN	841.00	11	6			
103	1120 SERFAS CLUB DR	16,692.00	11	6			
113	1120 SERFAS CLUB DR	23,054.69	11	6			
144	1120 SERFAS CLUB DR	1,629.00	11	6			
169	1120 SERFAS CLUB DR	1,214.00	11	6			
168	2890 GREEN RIVER RD	227.00	11	6			
257	2820 GREEN RIVER RD #A	78,232.68	7	7			
264	3258 GREEN RIVER RD	8,010.89	8	7			
80	3261 GREEN RIVER RD	44,342.45	8	7			
28	3695 GREEN RIVER RD	50,706.07	8	7			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
68	3258 GREEN RIVER RD	9,128.15	9	7			
90	3258 GREEN RIVER RD	4,340.99	9	7			
96	3258 GREEN RIVER RD	21,692.30	9	7			
112	3258 GREEN RIVER RD	25,095.72	9	7			
104	3261 GREEN RIVER RD	1,982.77	9	7			
29	3695 GREEN RIVER RD	15,631.53	9	7			
171	3950 SAN RAMON	2,229.99	9	7			
178	3950 SAN RAMON	49,481.00	9	7			
155	2820 GREEN RIVER RD #A	99,537.06	10	7			
274	3695 GREEN RIVER RD	27,013.74	11	7			
87	3258 GREEN RIVER RD	760.00	12	7			
89	3258 GREEN RIVER RD	728.00	12	7			
138	3258 GREEN RIVER RD	242.00	12	7			
69	3261 GREEN RIVER RD	15,894.16	12	7			
77	3261 GREEN RIVER RD	606.00	12	7			
78	3261 GREEN RIVER RD	760.00	12	7			
278	3261 GREEN RIVER RD	2,546.38	12	7			
279	3261 GREEN RIVER RD	878.18	12	7			
30	3695 GREEN RIVER RD	2,400.00	12	7			
43	3695 GREEN RIVER RD	5,103.00	12	7			
61	3695 GREEN RIVER RD	2,082.37	12	7			
62	3695 GREEN RIVER RD	1,291.00	12	7			
70	3695 GREEN RIVER RD	2,075.00	12	7			
173	3950 SAN RAMON	1,729.00	12	7			
174	3950 SAN RAMON	264.00	12	7			
176	3950 SAN RAMON	327.00	12	7			
177	3950 SAN RAMON	1,904.00	12	7			
187	1598 MONTANA RANCH RD	156,015.03	7	8			
217	1625 CALLE DEL ORO	40,851.44	7	8			
251	1625 CALLE DEL ORO	23,496.80	8	8			
48	1242 DOMINGUEZ RANCH RD	17,468.69	9	8			
208	1598 MONTANA RANCH RD	29,304.08	9	8			
219	1598 MONTANA RANCH RD	19,873.11	9	8			
277	1598 MONTANA RANCH RD	112,046.11	9	8			
64	2831 RIDGELINE DR	22,128.68	9	8			
287	3059 DIAMOND VIEW CI	79,444.00	9	8			
147	3059 DIAMOND VIEW CI	124,151.28	9	8			
260	3059 DIAMOND VIEW CI	13,469.38	9	8			
255	2598 GREEN RIVER RD	54,796.70	10	8			
160	2820 GREEN RIVER RD #B	2,383.15	10	8			
183	2598 GREEN RIVER RD	158,465.93	11	8			
163	2820 GREEN RIVER RD #B	15,641.23	11	8			
47	1242 DOMINGUEZ RANCH RD	537.00	12	8			
211	1598 MONTANA RANCH RD	4,320.00	12	8			
215	1625 CALLE DEL ORO	1,661.58	12	8			
216	1625 CALLE DEL ORO	502.00	12	8			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
221	1625 CALLE DEL ORO	1,847.00	12	8			
231	1625 CALLE DEL ORO	523.00	12	8			
95	2820 GREEN RIVER RD #B	5,516.00	12	8			
111	2820 GREEN RIVER RD #B	3,214.00	12	8			
131	2820 GREEN RIVER RD #B	171.00	12	8			
134	2820 GREEN RIVER RD #B	764.00	12	8			
137	2820 GREEN RIVER RD #B	377.00	12	8			
142	2820 GREEN RIVER RD #B	1,074.00	12	8			
153	2820 GREEN RIVER RD #B	1,051.00	12	8			
159	2820 GREEN RIVER RD #B	632.00	12	8			
162	2820 GREEN RIVER RD #B	4,262.00	12	8			
172	2820 GREEN RIVER RD #B	2,768.00	12	8			
56	2831 RIDGELINE DR	2,353.00	12	8			
184	3059 DIAMOND VIEW CI	304.00	12	8			
22	975 HIGHLAND VIEW DR	2,058.27	6	9			
101	1250 CANYON CREST DR	1,600.00	9	9			
51	1250 CANYON CREST DR	278,585.04	9	9			
98	1251 CANYON CREST DR	59,353.27	9	9			
203	2210 GREEN RIVER RD	26,668.80	9	9			
234	2210 GREEN RIVER RD	10,908.72	9	9			
256	2210 GREEN RIVER RD	7,268.20	9	9			
19	975 HIGHLAND VIEW DR	10,521.92	9	9			
92	1251 CANYON CREST DR	21,612.06	11	9			
235	2210 GREEN RIVER RD	38,820.39	11	9			
239	2210 GREEN RIVER RD	46,560.87	11	9			
67	1251 CANYON CREST DR	1,163.00	12	9			
79	1251 CANYON CREST DR	223.00	12	9			
84	1251 CANYON CREST DR	547.00	12	9			
85	1251 CANYON CREST DR	11,034.17	12	9			
263	1251 CANYON CREST DR	12,872.17	12	9			
201	2210 GREEN RIVER RD	1,260.00	12	9			
202	2210 GREEN RIVER RD	4,306.00	12	9			
223	2210 GREEN RIVER RD	730.00	12	9			
224	2210 GREEN RIVER RD	1,032.00	12	9			
230	2210 GREEN RIVER RD	1,836.82	12	9			
18	975 HIGHLAND VIEW DR	807.00	12	9			
24	975 HIGHLAND VIEW DR	1,673.00	12	9			
26	975 HIGHLAND VIEW DR	4,718.00	12	9			
186	2451 GREEN RIVER RD	1,480.78	9	10			
33	3787 GREEN RIVER RD B	2,169.06	9	10			
94	1143 RIDGELINE DR	1,402.85	10	10			
237	2081 GREEN RIVER RD	7,021.70	11	10			
40	3005 RIDGELINE DR	1,271.33	11	10			
9	3786 GREEN RIVER RD B	19,465.56	11	10			
17	3786 GREEN RIVER RD B	24,543.92	11	10			
50		318.00	12	10			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
139		771.00	12	10			
99	1143 RIDGELINE DR	3,261.00	12	10			
127	1143 RIDGELINE DR	611.00	12	10			
233	2081 GREEN RIVER RD	5,221.00	12	10			
182	2451 GREEN RIVER RD	2,118.00	12	10			
185	2451 GREEN RIVER RD	1,603.00	12	10			
188	2451 GREEN RIVER RD	14,546.00	12	10			
189	2451 GREEN RIVER RD	8,496.00	12	10			
228	2451 GREEN RIVER RD	648.00	12	10			
229	2451 GREEN RIVER RD	1,928.00	12	10			
238	2451 GREEN RIVER RD	1,635.00	12	10			
91	2817 GREEN RIVER RD	4,367.00	12	10			
105	2817 GREEN RIVER RD	723.00	12	10			
110	2817 GREEN RIVER RD	1,243.00	12	10			
117	2817 GREEN RIVER RD	424.00	12	10			
123	2817 GREEN RIVER RD	169.00	12	10			
124	2817 GREEN RIVER RD	3,799.00	12	10			
161	2817 GREEN RIVER RD	1,725.00	12	10			
170	2817 GREEN RIVER RD	1,587.00	12	10			
179	2817 GREEN RIVER RD	447.00	12	10			
27	2825 RIDGELINE DR	5,242.00	12	10			
31	2825 RIDGELINE DR	2,442.00	12	10			
32	2825 RIDGELINE DR	3,374.00	12	10			
34	2825 RIDGELINE DR	611.00	12	10			
37	2825 RIDGELINE DR	6,887.00	12	10			
42	2825 RIDGELINE DR	9,051.00	12	10			
45	2825 RIDGELINE DR	3,773.00	12	10			
54	2825 RIDGELINE DR	5,146.00	12	10			
57	2825 RIDGELINE DR	6,883.00	12	10			
72	2825 RIDGELINE DR	773.00	12	10			
100	2825 RIDGELINE DR	2,399.00	12	10			
122	2825 RIDGELINE DR	42.00	12	10			
126	2825 RIDGELINE DR	518.00	12	10			
128	2825 RIDGELINE DR	719.00	12	10			
132	2825 RIDGELINE DR	9.00	12	10			
135	2825 RIDGELINE DR	9.00	12	10			
136	2825 RIDGELINE DR	329.00	12	10			
140	2825 RIDGELINE DR	9.00	12	10			
143	2825 RIDGELINE DR	9.00	12	10			
145	2825 RIDGELINE DR	936.00	12	10			
146	2825 RIDGELINE DR	9.00	12	10			
149	2825 RIDGELINE DR	9.00	12	10			
152	2825 RIDGELINE DR	9.00	12	10			
154	2825 RIDGELINE DR	9.00	12	10			
156	2825 RIDGELINE DR	411.00	12	10			
157	2825 RIDGELINE DR	9.00	12	10			

Appendix C Capital Improvement Projects

FID	Meter Address	Area (SF)	Total Cond.	CIP Year	Status	Est. Cost	Total Cost
158	2825 RIDGELINE DR	9.00	12	10			
36	3005 RIDGELINE DR	7,243.00	12	10			
6	3786 GREEN RIVER RD B	16,648.00	12	10			
58	3786 GREEN RIVER RD B	282.00	12	10			
59	3786 GREEN RIVER RD B	725.00	12	10			
66	3786 GREEN RIVER RD B	2,974.00	12	10			
88	3786 GREEN RIVER RD B	1,702.00	12	10			
5	3787 GREEN RIVER RD B	14,569.00	12	10			
8	3787 GREEN RIVER RD B	12,014.00	12	10			
15	3787 GREEN RIVER RD B	3,190.00	12	10			
23	3787 GREEN RIVER RD B	5,271.00	12	10			
12	4192 GREEN RIVER RD	684.00	12	10			
14	4192 GREEN RIVER RD	4,667.00	12	10			
16	4192 GREEN RIVER RD	1,792.00	12	10			



SPIKER CONSULTING  
GROUP

## **RESOLUTION NO. 2021-063**

### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, CONFIRMING THE DIAGRAM AND ASSESSMENT WITHIN ZONES 1, 2, 4, 7, 10, 14, 15, 17, 18, AND 20 OF LANDSCAPE MAINTENANCE DISTRICT NO. 84-2 FOR FISCAL YEAR 2022**

**WHEREAS**, on June 2, 2021, the City Council of the City of Corona (the “City Council”) adopted Resolution No. 2021-042, a resolution of intention pursuant to Section 22624 of the Streets and Highways Code, which among other things, scheduled a public hearing on the levy and collection of assessments on the lots and parcels of the assessable property within Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20 of Landscape Maintenance District No. 84-2 (the “District”) for Fiscal Year 2022 pursuant to the Landscaping and Lighting Act of 1972, Part 2 (commencing with Section 22500) of Division 15 of the Streets and Highways Code (the “Act”) for 6:30 p.m. on July 7, 2021, in the City Council Chambers of the City of Corona, at 400 South Vicentia Avenue, Corona, California; and

**WHEREAS**, notice of said hearing was duly published as required by Sections 22552 and 22553 of said Act; and

**WHEREAS**, at the time and place of said hearing, as set forth in said resolution of intention, the City Council held the hearing and afforded all interested persons an opportunity to be heard, and considered all oral statements and all written protests or communications made or filed by any interested persons, and at the conclusion of said hearing determined that a majority protest, to wit: written protests filed and not withdrawn by property owners owning more than 50 percent of the area of assessable land within the District, had not been received.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORONA, CALIFORNIA, AS FOLLOWS:**

**SECTION 1. Findings and Approval of Final Report.** The City Council find that:

- (a) The foregoing recitals are true and correct;
- (b) Compliance has been maintained with all of the applicable requirements of the Act;
- (c) A majority protest to the levy and collection of the proposed assessment has not been filed;
- (d) The City Council may therefore proceed to confirm the boundary and assessment for the District for Fiscal Year 2022, and order levy and collection of the assessment;
- (e) The assessment proposed to be levied on the lots and parcels of assessable property within the District for the maintenance and servicing of public landscaping and

appurtenant facilities during Fiscal Year 2022, as contained in the Final Annual Engineer's Report as it pertains to Zones 1, 2, 4, 7, 10, 14, 15, 17, 18, and 20, prepared by Spicer Consulting Group, LLC on file with the City Clerk (the "Report"), are based on the proportionate special benefit derived by such lots and parcels from the availability of such public landscaping and appurtenant facilities;

(f) The proportionate special benefit derived by each such lot or parcel has been determined in relationship to the entirety of the cost of the maintenance and servicing of such public landscaping and appurtenant facilities;

(g) Such assessments do not exceed the reasonable cost of the proportional special benefit conferred on each such lot and parcel;

(h) Such assessments will not be increased over the amounts previously approved by the electors of the District or as otherwise permitted by the Act and Article XIID of the California Constitution; and

(i) Based on the foregoing and the full record before the City Council, the Report as whole and each part thereof are finally approved and confirmed.

**SECTION 2. Levy of Assessment.** Pursuant to Section 22631 of the Streets and Highways Code, the adoption of this resolution constitutes the levy of the assessment for the maintenance and servicing of public landscaping and appurtenant facilities within the District during Fiscal Year 2022, as contained in the Report, and such assessment is hereby levied. The City Clerk is directed to file a certified copy of this resolution together with the diagram and assessment contained in the Report with the County Auditor of the County of Riverside, who, pursuant to Section 22645 of the Streets and Highways Code, shall enter on the County Assessment Roll opposite each lot or parcel of land the amount assessed thereupon, as shown in the said assessment.

**PASSED, APPROVED AND ADOPTED** this 7th day of July, 2021.

\_\_\_\_\_  
Mayor of the City of Corona, California

**ATTEST:**

\_\_\_\_\_  
City Clerk of the City of Corona, California



**CERTIFICATION**

I, Sylvia Edwards, City Clerk of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly passed and adopted by the City Council of the City of Corona, California, at its regular meeting thereof held on the 7th day of July, 2021, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAINED:**

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the official seal of the City of Corona, California, this 7th day of July, 2021.

---

City Clerk of the City of Corona, California

[SEAL]



Staff Report

---

**File #:** 21-0646

---

**REQUEST FOR CITY COUNCIL ACTION**

**DATE:** 07/07/2021

**TO:** Honorable Mayor and City Council Members

**FROM:** Community Development Department

**SUBJECT:**

Precise Plan Modification 2020-0004 for the review of the demolition of an existing convenience store and the reconstruction of a 3,628 square foot convenience store and modification to the existing signage associated with an existing automobile service station located at 230 S. Lincoln Avenue in the C-3 (General Community Commercial) zone.

**EXECUTIVE SUMMARY:**

Precise Plan Modification 2020-0004 (PPM2020-0004) is an application to rehabilitate an existing automobile service station that involves the demolition of an existing 2,056 square foot convenience store that will be replaced by a new 3,628 square foot convenience store. Signage associated with the existing service station is also being modified in addition to the on-site circulation.

**RECOMMENDED ACTION:**

**That the City Council:**

- a. Take no action, thereby affirming the Planning and Housing Commission's action granting PPM2020-0004, based on the findings contained in the staff report and conditions of approval.

OR

- b. Set the item for review at a subsequent meeting.

**BACKGROUND & HISTORY:**

The project site is 0.50 acres and located at 230 S. Lincoln Avenue in the C-3 (General Commercial) zone. The property includes an existing automobile service station with four double-sided fuel pumps, a 2,056 square foot single-story convenience store, a freestanding price sign located on the southeast corner of the property and an existing 55'-6" high freeway sign that faces State Route 91.

The owner and operator of the service station is proposing to demolish the existing convenience store and replace it with a new 3,628 square foot two-story building to accommodate a 7-Eleven convenience store with the store's office located on the second floor. The existing fuel canopy and fuel pumps are to remain in place and are not affected by the rehabilitation. The existing pylon signs are also to remain in place with the sign cabinets being modified to accommodate space for the 7-Eleven name.

## **ANALYSIS:**

### Site Plan

The existing convenience store is located near the northwest corner of the project site and is angled away from the north and west property lines. The fuel canopy is located near Lincoln Avenue and in the front of the convenience store. The owner proposes to demolish the existing convenience store and reconstruct a new convenience store that will have a zero setback to the north and west property lines. The zero setback allows the building to create a solid perimeter condition along the property lines, especially along the west property line adjacent to the existing alley. The C-3 zone requires a front yard and street side yard setback of 10 feet and allows a zero setback for interior side yards and rear yard.

New parking spaces are proposed in front of the convenience store and along the property's north and west property lines. A single loading space is also located near the north property line. New landscaping will be installed in the areas in front of the new parking spaces and along Lincoln Avenue and D Street. A new trash enclosure is proposed to the south of the convenience store with the opening facing the alley. The City's waste service provider will access the trash enclosure from the alley without having to access the project site. The trash enclosure will also be fully enclosed with a perimeter block wall, metal gates, and a metal screen between the roof and side walls.

### Architecture

The new convenience store will be two stories. The storefront is flanked by two columns, accent medallions, and decorative lighting. An aluminum awning is mounted above the entrance. The primary exterior building materials include stucco and stone veneer. The color palette is neutral.

The height of the building is 22 feet measured to the top of the first-floor parapet wall, and 29 feet high to the top of the second-floor parapet wall. The building complies with the 40-foot building height limit established by the C-3 zone.

The mechanical equipment for the convenience store will be placed on the building's first floor roof behind a parapet wall and will not be visible from ground view. The Planning and Housing Commission added a condition of approval that the upper portion of the building's façade have a varied roofline instead of a flat parapet roofline.

### Access

The project site has two existing driveways on Lincoln Avenue, and two existing driveways on D Street. The two driveways on Lincoln Avenue are restricted to right-in and right-out turn movements. Left turn movements are restricted because of the existing southbound left-turn lanes

on Lincoln Avenue in front of the project site. The City's Traffic Engineer is requiring the easternmost driveway on D Street to be removed because of its proximity to the Lincoln Avenue and D Street intersection. Additionally, eliminating the easternmost driveway will improve the on-site circulation. The driveway to the west will remain and allows right and left turn movements.

No additional rights-of-way are required for Lincoln Avenue and D Street adjacent to the project site. However, the project will require the applicant to grind and overlay the west half of Lincoln Avenue adjacent to the site, plus 10 feet from the centerline on the east half of Lincoln Avenue. Additional requirements include grinding and overlay the north half of D Street adjacent to the site, plus 10 feet from the centerline on the south side of D Street. The existing driveways from the street are also required to be improved to the City's current commercial driveway standards.

### Parking

The City's Parking Ordinance requires convenience stores to have one parking space for every 250 square feet of building area. Therefore, the new convenience store requires the site to have 14 parking spaces. The site provides the 14 parking spaces.

### Signage

The property contains an existing 31'-6" high pylon sign on the southeast corner of the property. The pylon sign was constructed and permitted in and around 1991. The overall size of the existing sign is 175 square feet, which includes 25 square feet of gas price information. Gas price signage up to 25 square feet is exempt from the City's allowed signage area per state law.

The applicant is proposing to remove the bottom two sign cabinets that currently advertise Food Mart and V-Power from the on-site pylon sign and add a new sign cabinet for the 7-Eleven. The sign will have a total sign area of 172 square feet, which includes the 25 square feet of signage for gasoline prices. The size of the sign is within the sign area originally approved, and the changes do not affect the height or structural components.

The property's existing freeway pole sign facing State Route 91 is 55.5 feet high. The overall sign area is 461 square feet and currently advertises Shell and McDonalds. McDonalds is located on the adjacent property south of the project site. The sign was originally constructed in 1965 and its height was permitted by Variance 65-14, which allowed the sign to exceed the maximum height of 40 feet. The McDonalds sign cabinet was permitted by Conditional Use Permit 77-10, which allowed the signage to technically be advertised as an off-site sign. McDonalds also obtained approval with Variance 77-04, which allowed the sign area to be increased from 300 square feet to 461 square feet. To not exceed the overall sign area allowed by V77-04, the applicant is proposing to reduce the existing Shell sign cabinet to accommodate space for a new sign cabinet for 7-Eleven. Additionally, the existing McDonalds sign cabinet will be re-centered over the sign's three existing support posts to provide a symmetrical appearance. The overall square footage for the freeway sign will be 438 square feet, which is within the 461 square foot sign area approved by V77-04.

The Planning and Housing Commission added a condition of approval to require the sign cabinets to be encased in a comprehensive manner rather than having the appearance of three separate sign cabinets.

**FINANCIAL IMPACT:**

The applicant paid the application processing fees of \$5,408 to cover the cost of the Precise Plan Modification.

**ENVIRONMENTAL ANALYSIS:**

Per Section 15301 of the State Guideline for Implementing the California Environmental Quality Act (CEQA) and Section 3.22 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 1 (Existing Facilities) categorical exemption. The project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store on property that is fully developed with a gas station, parking, and landscaping with adequate access from the adjacent streets. The proposed modifications to the property are not expected to result in any impacts to the environment.

**PLANNING AND HOUSING COMMISSION ACTION:**

At its meeting of June 21, 2021, the Planning and Housing Commission considered the subject matter and took the following action:

Motion was made, seconded (Meza/Siqueland) and carried with Commissioner Woody voting "No" that the Planning and Housing Commission adopt Resolution No. 2570 granting PPM2020-0004, based on the findings contained in the staff report and the conditions of approval including the conditions added by the Commission. The added conditions of approval require the following:

- a) A photometric analysis at the time of plan check to ensure the property has adequate exterior lighting for security purposes and that the applicant submit a security camera plan for the exterior of the property.
- b) The second-floor office shall be limited to the convenience store operation.
- c) The upper portion of the building shall have a varied roofline rather than a flat parapet roofline.
- d) The signage cabinets on the freeway pole sign shall be encased in a comprehensive manner to provide a more uniform appearance.
- e) The freeway sign poles shall be refinished and painted.
- f) Security fencing shall be installed around the base of the freeway pole sign.
- g) As shown in the staff report for the trash enclosure exhibit, the trash enclosure shall be fully enclosed, which includes the space between the roof and side walls. The gates shall also be

designed with an automatic lock system.

The minutes of the Planning and Housing Commission meeting are included as Exhibit 4.

**PREPARED BY:** JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

**Attachments:**

1. Exhibit 1 - Locational and zoning map
2. Exhibit 2 - Site plan for PPM2020-0004
3. Exhibit 3 - Planning and Housing Commission staff report
4. Exhibit 4 - Draft minutes of the Planning and Housing Commission meeting of June 21, 2021



# LOCATIONAL & ZONING MAP



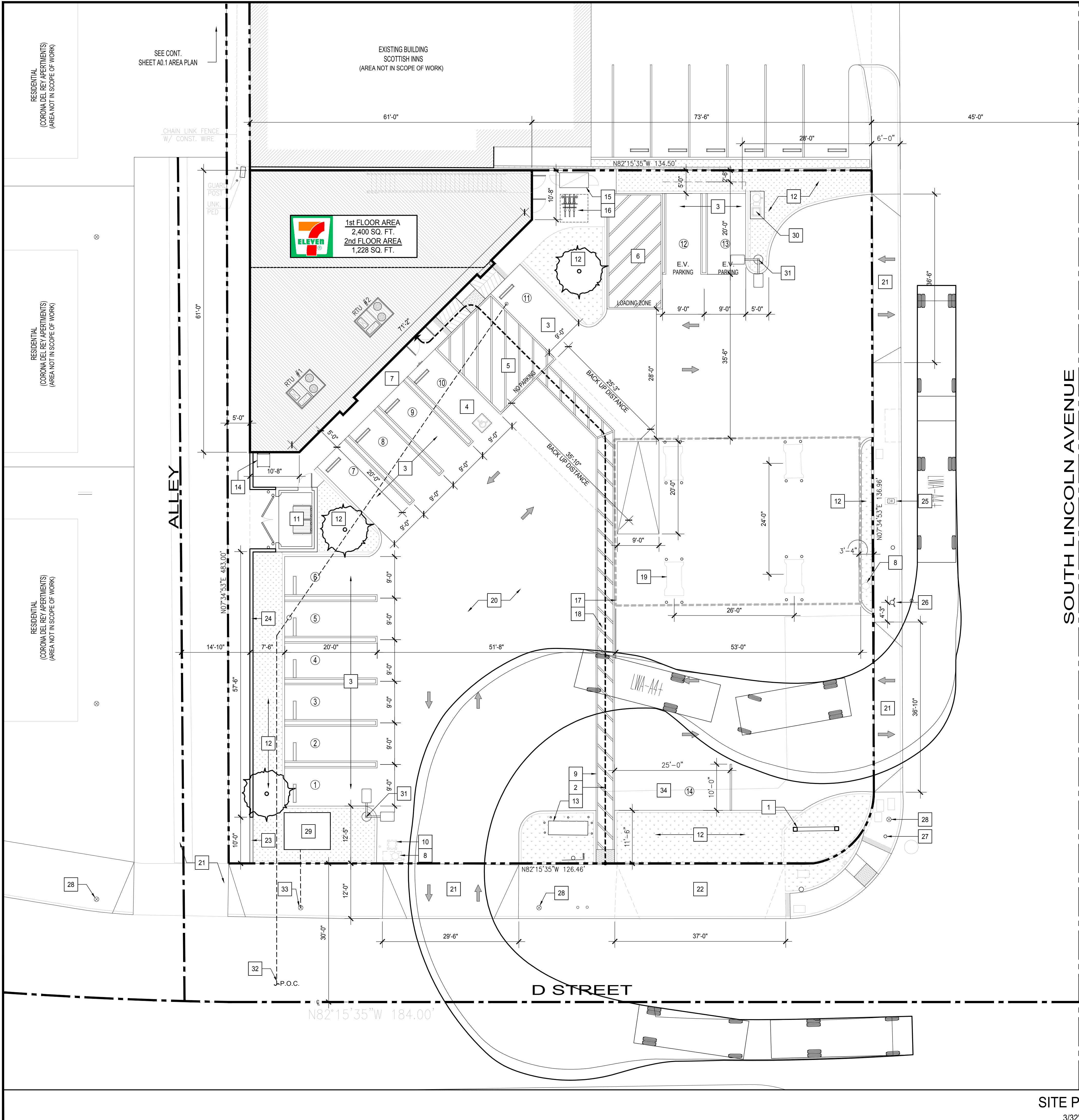
Date: 06/08/2021

230 S. LINCOLN AVENUE  
PPM2020-0004



**EXHIBIT 1** 2410





SITE PLAN  
3/32" = 1'-0"

1



VICINITY MAP

**SITE DATA**

APN:	118-171-050	OCCUPANCY:	MERCANTILE
ZONING:	C-3 (GENERAL COMMUNITY COMMERCIAL)	CONSTRUCTION:	V-B
GENERAL PLAN:	GC (GENERAL COMMERCIAL)	BUILDING HEIGHT:	25'-0" (C-STORE)

SCOPE OF WORK: DEMOLITION OF EXISTING CONVENIENCE STORE; GROUND-UP CONSTRUCTION OF NEW CONVENIENCE STORE WITH TWO FLOORS. EXISTING FUEL SYSTEM TO REMAIN.

	SQ. FT.	RATIO
LOT AREA	21,780	100%
BUILDING AREA	3,501	16%
1st FLOOR	2,400	
2nd FLOOR	1,228	
ELECTRICAL ROOM	(35)	
STAIRWELL	(92)	
CANOPY AREA (4 MPD)	1,600	7%
LANDSCAPING	2,205	10%

PARKING	TYPE	STALL SIZE		STALL QTY. (AREA/250)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
REGULAR	9'-0" x 20'-0"		9'-0" x 20'-0"	14	13
	ACCESSIBLE	9'-0" x 20'-0"	9'-0" x 20'-0"		1
TOTAL					14

**KEYNOTES**

NO.	DESCRIPTION
1	(E) PYLON SIGN, REFER TO DETAIL 2 / SHEET A2.1
2	(N) ACCESSIBLE PATH FROM PUBLIC RIGHT-OF-WAY
3	(N) PARKING STALL (9'-0" x 20'-0")
4	(N) ACCESSIBLE PARKING STALL (9'-0" x 20'-0")
5	(N) ACCESS AISLE
6	(N) LOADING ZONE (12' x 25')
7	(N) CONCRETE WALK, ACCESSIBLE
8	(E) YARDLIGHT TO BE REMOVED
9	(N) STRIPING
10	(E) AIR/VAC UNIT TO BE RELOCATED
11	(N) LOCKED TRASH ENCLOSURE (14'-0" x 9'-0") PER CITY STANDARD, REFER TO SHEET A0.2
12	(N) LANDSCAPE AREA, REFER TO SHEET L1.0
13	(E) PROPANE TANK
14	(N) CO2 TANK ENCLOSURE
15	(N) LONG-TERM BICYCLE LOCKER
16	(N) SHORT-TERM BICYCLE RACK
17	(E) FUEL CANOPY
18	(E) UNDERGROUND STORAGE TANKS
19	(E) FUEL DISPENSER (TYP.)
20	(E) ASPHALT PAVEMENT
21	(E) DRIVEWAY TO REMAIN & IMPROVE PER CITY STANDARDS AND ACCESSIBILITY REQUIREMENTS
22	(E) DRIVEWAY TO BE CLOSED
23	(N) 3'-0"(h) DECORATIVE BLOCK WALL UNDER SEPARATE PERMIT
24	(N) 6'-0"(h) DECORATIVE BLOCK WALL UNDER SEPARATE PERMIT
25	(E) WATER METER; (N) 1-1/2" ABS DOMESTIC WATER LINE
26	(E) (2) - 4" BLOW-OFFS
27	(E) TRAFFIC SIGNAL
28	(E) POWER POLE
29	(N) 8' x 10' TRANSFORMER PAD
30	(N) AIR / WATER UNIT
31	(N) YARDLIGHTS
32	(E) SEWER MAIN CONNECTION; (N) 4" PVC SEWER LINE
33	(N) POWER POLE W/ UNDERGROUND CONDUITS TO (N) TRANSFORMER
34	(N) PARALLEL PARKING STALL 10'-0" X 25'-0"

**SHEET INDEX**

SHEET	DRAWING TITLE
A0.0	SITE PLAN, PROJECT INFO
A0.1	AREA PLAN, SIGN DETAILS
A0.2	TRASH ENCLOSURE DETAILS
A1.0	FLOOR PLAN - 1st FLOOR, SHELVEING DATA
A1.1	FLOOR PLAN - 2nd FLOOR
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS (COLOR)
A2.2	STOREFRONT ELEVATION, SCHEDULE
A3.0	ROOF PLAN
A4.0	RENDERINGS
L1.0	CONCEPTUAL LANDSCAPE PLAN
C-1	PRELIMINARY GRADING AND DRAINAGE NOTES
C-2	PRELIMINARY GRADING PLAN

5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649  
T: 714-892-8810  
714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

4/16/21

**PROTO 10-23-2019**

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # **DPR2019-0016**  
PROJECT # **39435**  
SCALE 3/32" = 1'-0"  
DRAWN JB  
DRAWING TITLE  
SITE PLAN  
SHEET  
**A0.0**  
**EXHIBIT 2**





Staff Report

File #: 21-0569

**PLANNING AND HOUSING COMMISSION  
STAFF REPORT**

DATE: 6/21/2021  
TO: Honorable Chair and Commissioners  
FROM: Community Development Department

**APPLICATION REQUEST:**

**PPM2020-0004:** A precise plan modification to demolish an existing 2,056 square foot convenience store and construct a new 3,628 square foot convenience store, reconfigure the parking lot and landscaping, and add new signage for an existing Shell gas station located at 230 S. Lincoln Avenue in the C-3 (General Community Commercial) zone. (Applicant: Adan Madrid with ASI Development, 5932 Bolsa Avenue, Suite 107, Huntington Beach, CA 92649).

**RECOMMENDED ACTION:**

**That the Planning and Housing Commission** adopt Resolution No. 2570 GRANTING PPM2020-0004 based on the findings contained in the staff report and conditions of approval.

**PROJECT SITE SUMMARY**

**Area of Property:** 0.50 acres

**Existing Zoning:** C-3 (General Community Commercial)

**Existing General Plan:** GC (General Commercial)

**Existing Land Use:** Shell gas station and convenience store

**Proposed Land Use:** Shell gas station and 7-Eleven convenience store

**Surrounding Zoning/Land Uses:**

**N:** C-3/Motel

**E:** Lincoln Avenue with C-3/undeveloped commercial beyond

**S:** D Street with C-3/McDonald's drive-through restaurant beyond

**W:** Corona Del Rey apartments/R-3

**BACKGROUND**

The 0.50-acre property is located at 230 S. Lincoln Avenue and zoned C-3 (General Community Commercial). The property is developed with a Shell gas station that includes four double-sided fuel pumps, a 2,056 square foot single-story convenience store and a freestanding price sign on the

southeast corner of the property. The property also contains an existing 55'-6" high freeway sign that is located by the 91 freeway. The sign is located on a narrow extension of the property that terminates adjacent to the freeway. Refer to the Locational & Zoning Map attached as Exhibit 2.

The applicant is proposing to demolish the existing convenience store and replace it with a new 3,628 square foot two-story building to accommodate a 7-Eleven convenience store with offices on the second floor. The parking and landscaping on-site are being upgraded, and the existing freestanding signs are being modified to include an additional cabinet for 7-Eleven. No changes are proposed to the existing Shell fuel canopy and fuel pumps. The building modification proposed by this precise plan modification application, PPM2020-0004, affects more than 30 percent of the building facade; therefore, the proposal requires approval of the Planning and Housing Commission. It should be noted that there is no existing precise plan record for the original development of the gas station and convenience store because its development predates the city's Precise Plan review process, which was established in 1999.

The project was initially reviewed by city staff at the Development Plan Review meeting on August 8, 2019. The applicant submitted a formal precise plan modification application on July 2, 2020, which was reviewed and determined incomplete by the Project and Environmental Review Committee on July 23, 2020. The applicant subsequently submitted a complete application, and the application was scheduled for the May 21, 2021 Planning and Housing Commission meeting.

## **PROJECT DESCRIPTION**

### **Site Plan**

As shown by the applicant's site plan in Exhibit 3.A, the project site is located on the northwest corner of Lincoln Avenue and D Street. The existing fuel canopy is located on the eastern portion of the property. A new convenience store is proposed on the northwest corner of the property with its main entrance located on the southeast side of the building.

New parking spaces are proposed in front of the store and along the property's north and west perimeters. A single loading space is located at the north perimeter of the property next to the convenience store. New landscaping will be installed along the property's north, east, south, and west perimeters. A new trash enclosure is proposed at the property's west perimeter, which is accessible by Waste Management from the adjacent alley that abuts the west side of the property.

The development standards for the C-3 zone in the Corona Municipal Code require a minimum front yard setback of 10 feet, a street side yard setback of 10 feet, and no setbacks for the interior side or rear yards. Based on the location of the new convenience store and the overall design of the site, the project meets the setbacks required by the zone.

### **Floor Plan**

The floor plans for the 7-Eleven convenience store are shown in Exhibits 3.C and 3.D. The convenience store is located on the first floor, which is 2,400 square feet. The store features a merchandise sales area, including a hot food, coffee, soda fountain, slurpee station, refrigerators, restroom, electrical room, backroom, hallway, and stairs. The second floor is 1,228 square feet and includes two offices, a restroom, and stairs. The second floor will be used by convenience store

personnel for their daily office functions. Access into the offices is from a separate door located at the northeast corner of the building.

### **Architecture**

The convenience store is a two-story structure with a flat roof. The storefront is flanked by two columns, accent medallions, and decorative lighting. An aluminum awning is mounted above the entrance. The primary exterior building materials include stucco and stone veneer. The color palette is neutral. The C-3 zone does not prescribe a specific architectural theme for commercial buildings. The elevation plans are shown in Exhibit 3.E. A rendering of the project is attached as Exhibit 3.F.

The height of the building is 22 feet measured to the top of the first-floor parapet wall, and 29 feet high to the top of the second-floor parapet wall. The building complies with the 40-foot building height limit established by the C-3 zone.

The mechanical equipment for the convenience store will be placed on the building's first floor roof behind a parapet wall and will not be visible from ground view. The mechanical equipment is shown on the roof plan on Exhibit 3.G.

The new trash enclosure will have a stone veneer finish along the bottom portion, stucco finish to match the building along the top portion, a metal screen mesh on the upmost portion, and a standing seam metal roof. The design of the trash enclosure prevents illegal dumping and unauthorized individuals from accessing the waste bins. Plans for the trash enclosure are shown in Exhibit 3.H.

### **Access and Parking**

The property has two existing driveways on Lincoln Avenue, and two existing driveways on D Street. The two driveways on Lincoln Avenue are restricted to right-in and right-out turns. Because of the two existing left-turn southbound lanes in front of the project site on Lincoln Avenue, left turn movements at these driveways are prohibited. For the two driveways on D Street, the City's Traffic Engineer is requiring the driveway to the east to be removed because it is too close to the Lincoln and D Street intersection. Additionally, eliminating the eastern driveway will improve the site's internal circulation. The west driveway will remain, and allow for full turn movements.

The General Plan classifies Lincoln Avenue as a secondary four-lane street and D Street as a collector street. Both streets are fully improved with curb, gutter, and sidewalk; and both streets are constructed to their ultimate right-of-way widths. Therefore, street widenings and dedications are not necessary. However, the Public Works Department is requiring the applicant to make the following public improvements:

- Repair any curb, gutter and sidewalk that needs repair along both streets.
- Grind and overlay the west half of Lincoln Avenue adjacent to the site, plus 10 feet on the east half of Lincoln Avenue.
- Grind and overlay the north half of D Street adjacent to the site, plus 10 feet on the south side of D Street.
- Upgrade the existing driveways to the City's current commercial driveway standards.

Per the Corona Municipal Code, the parking required for convenience stores is one space for every 250 square feet of building area (1:250). Based on the size of the proposed building, 14 parking spaces are required. Currently, the Corona Municipal Code (CMC) requires service stations to provide a minimum of 3 parking spaces. However, at the time of its original development, the site was not required to provide parking for the fuel canopy. Because the canopy is not being enlarged or reconstructed, parking is only required for the building (CMC 17.90.050). The project is providing 14 parking spaces onsite, which complies with the City's parking requirements. Table A summarizes the parking requirements for the project site.

Table A - Parking Summary

Use	Square Footage	Parking Ratio	Parking Required	Parking Provided
1 <sup>st</sup> Floor Convenience Store	2,273 sq. ft. <sup>1</sup>	1:250	9	
2 <sup>nd</sup> Floor Office	1,228 sq. ft.	1:250	5	
<b>Total</b>			<b>14</b>	<b>14</b>

1. The 2,273 sq. ft. floor area is the net square footage for the 1<sup>st</sup> floor convenience store. It excludes the electrical room (35 sq. ft.) and stairwell (92 sq. ft.), which are not required to be parked per CMC § 17.04.258.

### **Landscaping**

The entire project site will be relandscaped (Exhibit 3.J). The plant pallet features a variety of drought tolerant materials, including three types of trees and a variety of flowering shrubs and groundcover. Prior to the issuance of building permits, the applicant's landscape plans will be reviewed by the Community Development Department for compliance with the Corona Municipal Code and landscape design guidelines for commercial properties.

### **Fence and Walls**

The applicant will construct a new block wall along the west perimeter of the property from the building to the south property line to separate the property from the adjacent alley. The wall is 6 feet in height, with the exception of the 10-foot section of the wall that is located closest to the south property line. This 10-foot section will be 3 feet in height because the area falls within the property's front yard setback area, and the area is located next to the driveway of the adjacent alley. The 3-foot high height complies with the Corona Municipal Code's corner cut-off visibility requirements for driveway and street intersections. The new block wall is required to be a split face block, and is subject to a standard conditioned of approval requiring an anti-graffiti coating. The property's north perimeter contains an existing wrought iron fence, which will remain in place.

### **Signage**

An exterior 7-Eleven wall sign is conceptually shown on the southeast elevation of the proposed building (Exhibit 3.E). Wall signs are required to comply with the sign standards for the C-3 zone (Corona Municipal Code Chapter 17.74). The standards regulate the allowable size, height, and location of wall and freestanding signs.

The property contains an existing 31'-6" high pylon sign on the southeast corner of the property. The pylon sign was constructed in around 1991 and was permitted with an overall sign area of 175 square feet, which includes 25 square feet of gas price information that the State exempts from city regulations. The sign is considered nonconforming because it exceeds the current allowable height and sign area for freestanding signs in the C-3 zone. However, the applicant can modify the existing sign provided it is not structurally altered or enlarged.

The applicant is proposing to remove the bottom two cabinets ("Food Mart" and "V-Power") from the on-site pylon sign, and add a new sign cabinet for 7-Eleven between the existing Shell and gas price cabinets. The sign will have a total sign area of 172 square feet, including the 25 square feet of the gas price signage exempted under state law. The size of the sign is within the sign area originally approved, and the changes do not affect the height or structural components.

The property's existing freeway sign is 55.5 feet high, has a sign area of 461 square feet and currently advertises Shell and McDonalds, which is located south of the project site. The sign was originally constructed in 1965. Its height was permitted by Variance 65-14 which allowed the sign to exceed the sign code's maximum allowable sign height of 40 feet for freeway signs. The off-site McDonalds sign was permitted by Conditional Use Permit 77-10. McDonalds also obtained approval of Variance 77-04, which allowed the sign area to be increased from 300 square feet to 461 square feet. The applicant is proposing to reduce the existing Shell sign cabinet in order to accommodate a new sign cabinet for 7-Eleven. In addition, the existing McDonalds sign cabinet will be re-centered over the sign's three existing support posts. The overall square footage for the freeway sign will be 438 square feet, which is within the 461 square foot sign area approved by V77-04. Photos of the existing signs and the proposed changes to the signs are shown in Exhibit 3.I.

## **ENVIRONMENTAL ANALYSIS**

Per Section 15301 of the State Guideline for Implementing the California Environmental Quality Act (CEQA) and Section 3.22 of the City's Local CEQA Guidelines, a Notice of Exemption has been prepared for the project because the project qualifies as a Class 1 (Existing Facilities) categorical exemption. The project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store on property that is fully developed with a gas station, parking, and landscaping with adequate access from the adjacent streets. The proposed modifications to the property are not expected to result in any impacts to the environment. The Notice of Exemption is attached as Exhibit 4.

## **FISCAL IMPACT**

The applicant has paid the application processing fees to cover the cost of the precise plan modification review, as required by City resolution.

## **PUBLIC NOTICE AND COMMENTS**

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly News* and posted at the project site. As of the preparation of this report, the Community Development Department has not received any inquiries from the public in response to the notice.

## STAFF ANALYSIS

The proposed project will result in the rehabilitation of an older gas station that is in need of improvements. The new convenience store is capable of complying with the applicable development standards for the C-3 zone, including building setbacks and height limitation. The architectural design and color palette proposed for the building are compatible with the residential and commercial buildings in the area. The building's two-story design is in scale with the neighboring two-story motel and residential buildings. The new parking spaces and landscaping conform to current development standards. The modifications to the existing freestanding signs remain in compliance with their existing approvals. The overall site improvements will enhance the property, retain existing and attract new customers, and provide a "facelift" that will enhance the area, which is heavily traveled due to its proximity to the 91 freeway.

PPM2020-0004 is consistent with General Plan Land Use Policy LU-4.4, which promotes the adaptive re-use and infill of economically underutilized, obsolete, and dilapidated commercial and industrial sites within existing urbanized areas, in consideration of the uses, scale, and character of adjoining uses.

The Planning Division recommends approval of PPM2020-0004 based on the findings listed below and staff's recommended conditions of approval.

## FINDINGS OF APPROVAL FOR PPM2020-0004

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because the project qualifies as a Class 1 (Existing Facilities) categorical exemption. The project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store on property that is fully developed with a gas station, parking and landscaping with adequate access from the adjacent streets. The proposed modifications to the property are not expected to result in any impacts to the environment.
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91 of the Corona Municipal Code exist in reference to PPM2020-0004 for the following reasons.
  - a. *The proposal is consistent with the site's General Commercial land use designation of the General Plan because the General Commercial designation accommodates a broad range of commercial uses, including gas stations with convenience stores.*
  - b. *The proposal complies with the C-3 zone and other design standards governed by the Corona Municipal Code.*
  - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempt from further review.*
  - d. *The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as demonstrated in Exhibit A of this report. The proposed modifications are capable of meeting the minimum building setback requirements, parking,*

*landscaping, architectural design, and other applicable development standards as prescribed by the C-3 zone.*

- e. The design, scale and layout of the proposed modifications will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the development standards for the C-3 zone and other applicable development standards governed by the Corona Municipal Code to ensure orderly development.*
- f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood by improving an outdated convenience store, and will provide for harmonious, orderly, and attractive development of the site by bringing the parking and landscaping in conformance with current development standards.*
- g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing and will retain a reasonably adequate level of maintenance. As shown by the applicant's plans, the architecture of the building features construction materials that are commonly used in commercial buildings and are of high quality in nature. The neutral color scheme is pleasant, and the proposed landscaping will enhance the overall look of the property.*
- h. The proposed architecture for the new convenience store is compatible with the character of the surrounding neighborhood and will enhance the visual appearance of the surrounding neighborhood by providing an attractive development. Additionally, the proposal includes new landscaping for the entire project site, which will further enhance the surrounding area.*

3. The proposal is consistent with the General Plan for the following reason:

- a. PPM2020-0004 is consistent with General Plan Land Use Policy LU-4.4, which promotes the adaptive re-use and infill of economically underutilized, obsolete, and dilapidated commercial and industrial sites within existing urbanized areas, in consideration of the uses, scale, and character of adjoining uses.*

4. The proposal is consistent with the C-3 (General Community Commercial) zone for the following reason:

- a. The project is consistent with the C-3 zone because the proposed 7-Eleven convenience store is a permitted use in the C-3 zone. The project is also capable of complying with the development standards of the C-3 zone in terms of building setbacks, building height, parking, and landscaping.*

**PREPARED BY:** LUPITA GARCIA, ASSOCIATE PLANNER

**REVIEWED BY:** SANDRA YANG, SENIOR PLANNER

---

**File #:** 21-0569

---

**REVIEWED BY:** JAY EASTMAN, PLANNING MANAGER

**SUBMITTED BY:** JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

**EXHIBITS**

1. - Resolution No. 2570
2. - Locational and Zoning Map
- 3.A - Site Plan
- 3.B - Conditions of Approval
- 3.C - First Floor Plan
- 3.D - Second Floor Plan
- 3.E - Elevations
- 3.F - Color Street Scape View Rendering
- 3.G - Roof Plans
- 3.H - Trash Enclosure Plans
- 3.I - Photographs of existing & proposed signs
- 3.J - Conceptual Landscape Plan
- 3.K - Applicant's letter dated December 29, 2020
4. - Environmental Documentation

Case Planner: Lupita Garcia (951) 736-2293





**RESOLUTION NO. 2570**

**APPLICATION NUMBER: PPM2020-0004**

**A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN MODIFICATION TO DEMOLISH AN EXISTING 2,056 SQUARE FOOT CONVENIENCE STORE AND CONSTRUCT A NEW 3,628 SQUARE FOOT CONVENIENCE STORE, RECONFIGURE THE PARKING LOT AND LANDSCAPING, AND NEW SIGNAGE AT AN EXISTING SHELL GAS STATION LOCATED AT 230 S. LINCOLN AVENUE IN THE C-3 (GENERAL COMMERCIAL) ZONE. (APPLICANT: ADAN MADRID, ASI DEVELOPMENT)**

**WHEREAS**, the application to the City of Corona, California, for a Precise Plan Modification 2020-0004 under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the demolition of an existing 2,056 square foot convenience store, construction of a new 3,628 square foot convenience store, reconfiguration of the parking lot and landscaping, and the addition of new signage at an existing Shell gas station located at 230 S. Lincoln Avenue in the C-3 (General Commercial) zone.

**WHEREAS**, the Planning and Housing Commission held a noticed public hearing for PPM2020-0004 on June 21, 2021, as required by law; and

**WHEREAS**, the Planning and Housing Commission finds that this project is exempt from CEQA pursuant to Section 15301 of the State CEQA Guidelines and Section 3.22 of the City of Corona Local Guidelines for Implementing CEQA because the project qualifies as a Class 1 (Existing Facilities) categorical exemption since the project site is already developed and is in an urbanized area, and the additional area is less than 10,000 square feet.

**WHEREAS**, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan Modification as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PPM2020-0004 based on the evidence presented to the Commission during said hearing; and

**WHEREAS**, the Planning and Housing Commission based its recommendation to approve the PPM2020-0004 on certain conditions of approval and the findings set forth below.

**NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:**

**SECTION 1. CEQA Findings.** As the decision-making body for this PPM2020-0004, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as an exemption under CEQA per Section 15301 of the State Guidelines and Section 3.22 of the City of Corona adopted Local Guidelines for Implementing CEQA, because the project qualifies as a Class 1 (Existing Facilities) categorical exemption since the project site is already developed and is in an urbanized area, and the additional area is less than 10,000 square feet.

**SECTION 2. Precise Plan Modification Findings.** Pursuant to Corona Municipal Code (“CMC”) Section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because the project qualifies as a Class 1 (Existing Facilities) categorical exemption. The project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store on property that is fully developed with a gas station, parking and landscaping with adequate access from the adjacent streets. The proposed modifications to the property are not expected to result in any impacts to the environment.
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code exist in reference to PPM2020-0004 for the following reasons.
  - a. *The proposal is consistent with the site’s General Commercial land use designation of the General Plan because the General Commercial designation accommodates a broad range of commercial uses, including gas stations with convenience stores.*
  - b. *The proposal complies with the C-3 zone and other design standards governed by the Corona Municipal Code.*
  - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempt from further review.*
  - d. *The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as demonstrated in Exhibit A of this report. The proposed modifications are capable of meeting the minimum building setback requirements, parking, landscaping, architectural design, and other applicable development standards as prescribed by the C-3 zone.*

- e. The design, scale and layout of the proposed modifications will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the development standards for the C-3 zone and other applicable development standards governed by the Corona Municipal Code to ensure orderly development.*
  - f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood by improving an outdated convenience store, and will provide for harmonious, orderly, and attractive development of the site by bringing the parking and landscaping in conformance with current development standards.*
  - g. The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing and will retain a reasonably adequate level of maintenance. As shown by the applicant's plans, the architecture of the building features construction materials that are commonly used in commercial buildings and are of high quality in nature. The neutral color scheme is pleasant, and the proposed landscaping will enhance the overall look of the property.*
  - h. The proposed architecture for the new convenience store is compatible with the character of the surrounding neighborhood and will enhance the visual appearance of the surrounding neighborhood by providing an attractive development. Additionally, the proposal includes new landscaping for the entire project site, which will further enhance the surrounding area.*
3. The proposal is consistent with the General Plan for the following reason:
- a. PPM2020-0004 is consistent with General Plan Land Use Policy LU-4.4, which promotes the adaptive re-use and infill of economically underutilized, obsolete, and dilapidated commercial and industrial sites within existing urbanized areas, in consideration of the uses, scale, and character of adjoining uses.*
4. The proposal is consistent with the C-3 (General Community Commercial) zone for the following reason:
- a. The project is consistent with the C-3 zone because the proposed 7-Eleven convenience store is a permitted use in the C-3 zone. The project is also capable of complying with the development standards of the C-3 zone in terms of building setbacks, building height, parking, and landscaping.*

**BE IT FURTHER RESOLVED** that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan Modification.

Adopted this 21<sup>st</sup> day of June, 2021.



Craig Siqueland, Chair  
Planning and Housing Commission  
City of Corona, California

**ATTEST:**



Stella West  
Secretary, Planning and Housing Commission  
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 21<sup>st</sup> day of June, 2021, and was duly passed and adopted by the following vote, to wit:

**AYES:** Siqueland, Alexander, Meza and Sherman

**NOES:** Woody

**ABSENT:** None

**ABSTAINED:** None



Stella West  
Secretary, Planning and Housing Commission  
City of Corona, California



# LOCATIONAL & ZONING MAP



Date: 06/08/2021

**230 S. LINCOLN AVENUE  
PPM2020-0004**





# Project Conditions

## City of Corona

**Project Number: PPM2020-0004**

**Description: PP MODIFICATION TO REPLACE AN EXISTING CONVENIENCE STORE.**

**Applied: 7/2/2020**

**Approved:**

**Site Address: 230 S LINCOLN AVE CORONA, CA 92882**

**Closed:**

**Expired:**

**Status: RECEIVED**

**Applicant: ASI Development**

**Parent Project:**

**5932 Bolsa Ave, Ste 107 Huntington Beach CA, 92649**

**Details: Demo, redesign and reconstruction of an existing convenience store associated with an existing Shell gas station along with reconfiguration of the surface parking lot and landscaping and new signage**

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
<ol style="list-style-type: none"><li>1. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.</li><li>2. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.</li><li>3. Roofing material shall be Class A.</li><li>4. Plans for food preparation areas shall be approved by the Riverside County Health Dept. prior to plan check approval from this department.</li><li>5. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.</li><li>6. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.</li><li>7. Upon tenant improvement plan check submittal there may be additional Building Department requirements.</li><li>8. Fees - a. Occupancy fee of \$255.00 at the time of permit per unit. b. Property Development Tax at \$960.00 per dwelling unit. c. Storm water drainage fee at \$0.13 per square foot for Residential/ \$0.025 per square foot for Commercial \u0026 Manufacturing. d. School Fees shall be paid prior to issuance of permit. Provide copy of receipt to the Building Department.</li><li>9. Separate permits are required for all fences, wall, light standards, Signs, and trash enclosures.</li><li>10. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.</li><li>11. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.</li><li>12. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.</li><li>13. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance</li><li>14. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance</li><li>15. Provide accessible parking calculations indicating the required number of accessible spaces including van spaces.</li><li>16. Provide the minimum number of EV, clean air, and carpool/vanpool parking spaces; minimum shade trees, bicycle parking and other site facilities as required by the California Green Building Standards Code.</li></ol>	





# Project Conditions

## City of Corona

BUILDING	Dana Andrews
	<ol style="list-style-type: none"> <li>17. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.</li> <li>18. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Provide enlarged plans and details for construction of trash/recycling enclosures.</li> <li>19. Construction documents shall be prepared in accordance to current applicable codes (2019 Codes).</li> <li>20. Provide Accessible Route from Public Way, No abrupt Changes in Path of Travel, Ramps Shall Not Exceed 8.33% Slope, Cross Slope Shall Not Exceed 2%.</li> <li>21. Provide list of Deferred Submittals. Deferred submittals shall be submitted to Building Dept for Review &amp; Approval before beginning installation.</li> <li>22. Provide a list of required Special Inspections per 2019 CBC section 1705 &amp; required Structural Observations.</li> <li>23. At the time of plan check please incorporate the required California Green Code Mandatory Measures such as E.V. and or Solar Ready, clean air vehicle parking, bicycle parking, best management practices and storm water pollution prevention, light pollution reduction, energy efficiency, indoor and outdoor water usage efficiency, construction waste management plan, etc.</li> </ol>
FIRE	Cindi Schmitz
	<ol style="list-style-type: none"> <li>1. Place Fire Department DPR comments on plans as general notes.</li> <li>2. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal.</li> <li>3. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</li> <li>4. A minimum fire flow of 1500 gallons per minute at 20 psi shall be provided.</li> <li>5. Fire hydrants are to be spaced a maximum 300 feet apart.</li> <li>6. Provide Class A roofing material on all structures per the Corona Municipal Code.</li> <li>7. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.</li> <li>8. Any overhead obstruction such as the second story of a building, Porte cochere, etc., that intrudes into the required clear width of fire vehicle access drives shall provide a minimum clear height of fifteen (15) feet unless otherwise approved by the Fire Chief.</li> </ol>
PLANNING	Lupita Garcia
	<ol style="list-style-type: none"> <li>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</li> </ol>



# Project Conditions

## City of Corona

PLANNING	Lupita Garcia
<p>2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</p> <p>3. This permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, Precise Plan permit within two (2) years after the effective date of the Precise Plan approval and if construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed.</p> <p>4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees.</p> <p>5. All landscaping, onsite and within the parkway, shall be installed per the approved plans prior to issuance of certificate of occupancy.</p> <p>6. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$2,500 to the Planning Division for landscape plan check and inspection services. This is separate from the Building Division's landscape plan check submittal fee. Any money left remaining from the deposit will be reimbursed to the developer upon project completion.</p> <p>7. All signage shall comply with the sign standards under Chapter 17.74 of the Corona Municipal Code for the C-3 zone in addition to any previously approved variance. Signs shall be submitted and permitted separately over the public counter.</p> <p>8. This project is subject to applicable MSHCP fees at time of building permit issuance.</p> <p>9. If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission must be contacted within 24 hours. The Native American Heritage Commission must then immediately identify the "most likely descendant(s)" of receiving notification of the discovery. The most likely descendant (s) shall then make recommendations within 48 hours, and engage in consultations concerning the treatment of the remains as provided in Public Resources Code 5097.98.</p> <p>10. The applicant shall install an anti-graffiti coat or some type of planting material on all new block walls, including the new block wall proposed on the westerly perimeter adjacent to the alley, which shall be constructed of split-face block.</p> <p>11. All new onsite and parkway landscaping shall comply with the City's commercial landscaping requirements established under Chapter 17.70 of the Corona Municipal Code and the Landscape Design Guidelines for Commercial &amp; Industrial Developments.</p> <p>12. The applicant shall obtain a building permit for the improvements associated with PPM2020-0004.</p> <p>13. Any structural changes to the existing pylon sign located on the corner of Lincoln Avenue and D Street shall require the sign to be brought into compliance with current codes as prescribed per CMC 17.74 Signs.</p> <p>14. Any increase to the sign area or sign height for the existing freeway pylon sign requires the approval of a major variance application.</p> <p>15. Prior to plancheck submittal, the applicant shall revise the height of the existing freeway sign to 55'-6" as approved by the 1965 Variance.</p> <p>16. At the time of plancheck submittal, the applicant shall submit a photometric analysis to ensure that the property has adequate exterior lighting for security purposes. The applicant shall also submit a security camera plan for the exterior of the property to the Community Development Department for review. [Added by the Planning and Housing Commission on June 21, 2021.]</p>	





# Project Conditions

## City of Corona

PLANNING	Lupita Garcia
	<ol style="list-style-type: none"> <li>17. The second-floor office area shall be restricted to staff and employees associated with the convenience store and gas station and shall not be sublet to another tenant for any other use. [Added by the Planning and Housing Commission on June 21, 2021.]</li> <li>18. The applicant shall enhance the upper portion of the building's façade with an additional feature to create a break in the flat roofline design. [Added by the Planning &amp; Housing Commission on June 21, 2021.]</li> <li>19. Prior to receiving a final on the sign permit, the applicant shall encase or frame the overall display area for the freeway sign. The frame shall fill in the space on both sides of the Shell and 7-11 sign cabinets to meet the width of the McDonald's sign cabinet to create a more uniformed look for the display area. [Added by the Planning and Housing Commission on June 21, 2021.]</li> <li>20. Prior to receiving a final on the sign permit, the applicant shall refinish and repaint the freeway sign poles. [Added by the Planning and Housing Commission on June 21, 2021.]</li> <li>21. Prior to receiving a final on the sign permit, the applicant shall install security fencing around the base of the of the freeway to control unwanted access to the sign poles. [Added by the Planning and Housing Commission on June 21, 2021.]</li> <li>22. The trash enclosure gates shall not open/encroach into the alley. Per the trash enclosure exhibit provided in the staff report, the trash enclosure shall be fully enclosed to prevent openings, including the space between the roof and the roof and side walls. The trash enclosure gates shall be designed with an automatic locking system. The plans submitted to the Building Division for a building permit shall reflect the trash enclosure revisions. [Added by the Planning and Housing Commission on June 21, 2021.]</li> </ol>
PUBLIC WORKS	
	<ol style="list-style-type: none"> <li>1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.</li> <li>2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.</li> <li>3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.</li> <li>4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.</li> <li>5. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.</li> <li>6. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.</li> <li>7. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.</li> <li>8. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.</li> </ol>



# Project Conditions

## City of Corona

### PUBLIC WORKS

9. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
- (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
  - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code, unless otherwise extended or shortened by the Public Works Director or Building Official.
  - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.

10. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:
- a) All street facilities along Lincoln Ave, D St, and public alley half-width plus 10-ft fronting the property.
  - b) All drainage facilities
  - c) All required grading, including erosion control.
  - d) All required sewer, water and reclaimed water facilities.
  - e) All required landscaping
  - f) All under grounding of overhead utilities, except for cables greater than 32k volts.
11. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
12. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.
13. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.
14. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.
15. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
16. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
17. Prior to issuance of a grading permit, the project shall incorporate LID Principles (Site Design) and Source Control BMPs, as applicable and feasible, into the project plans for review and approval by the Public Works Department.
18. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.
19. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.



## Project Conditions

### City of Corona

#### PUBLIC WORKS

20. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All residential lots shall drain toward the street. Lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.
21. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.
22. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall include the following:
  - a) All local and/or major arterial highways' vertical and horizontal alignments shall be approved by the Director of the Public Works Department.
  - b) All driveways shall conform to the applicable City of Corona standards and shall be shown on the street improvement plans.
  - c) All street intersections shall be at ninety (90) degrees or as approved by the Public Works Director.
  - d) All reverse curves shall have a minimum tangent of fifty (50) feet in length.
  - e) Under grounding of existing and proposed utility lines.
  - f) Street lights.
  - g) Construction of any missing sidewalk and closure of driveway approach as shown on the site plan.
  - h) All other public improvements shall conform to City of Corona standards.
23. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.
24. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.
25. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.
26. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.
27. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.
28. Prior to recordation or approval of improvement plans, the applicant shall obtain all necessary easements for any required offsite water and sewer facilities.
29. Prior to issuance of any building permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
30. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
31. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.

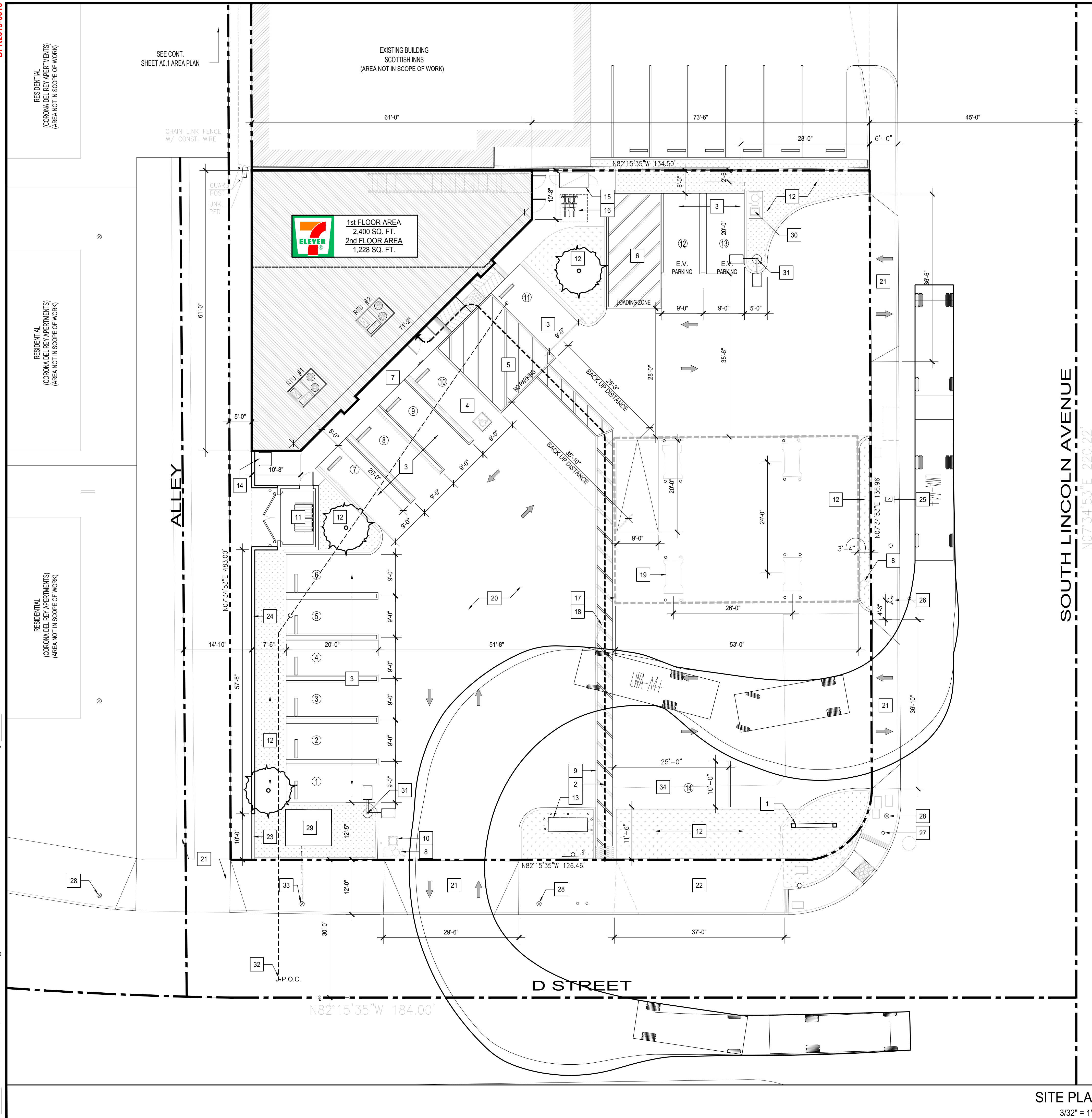


## Project Conditions

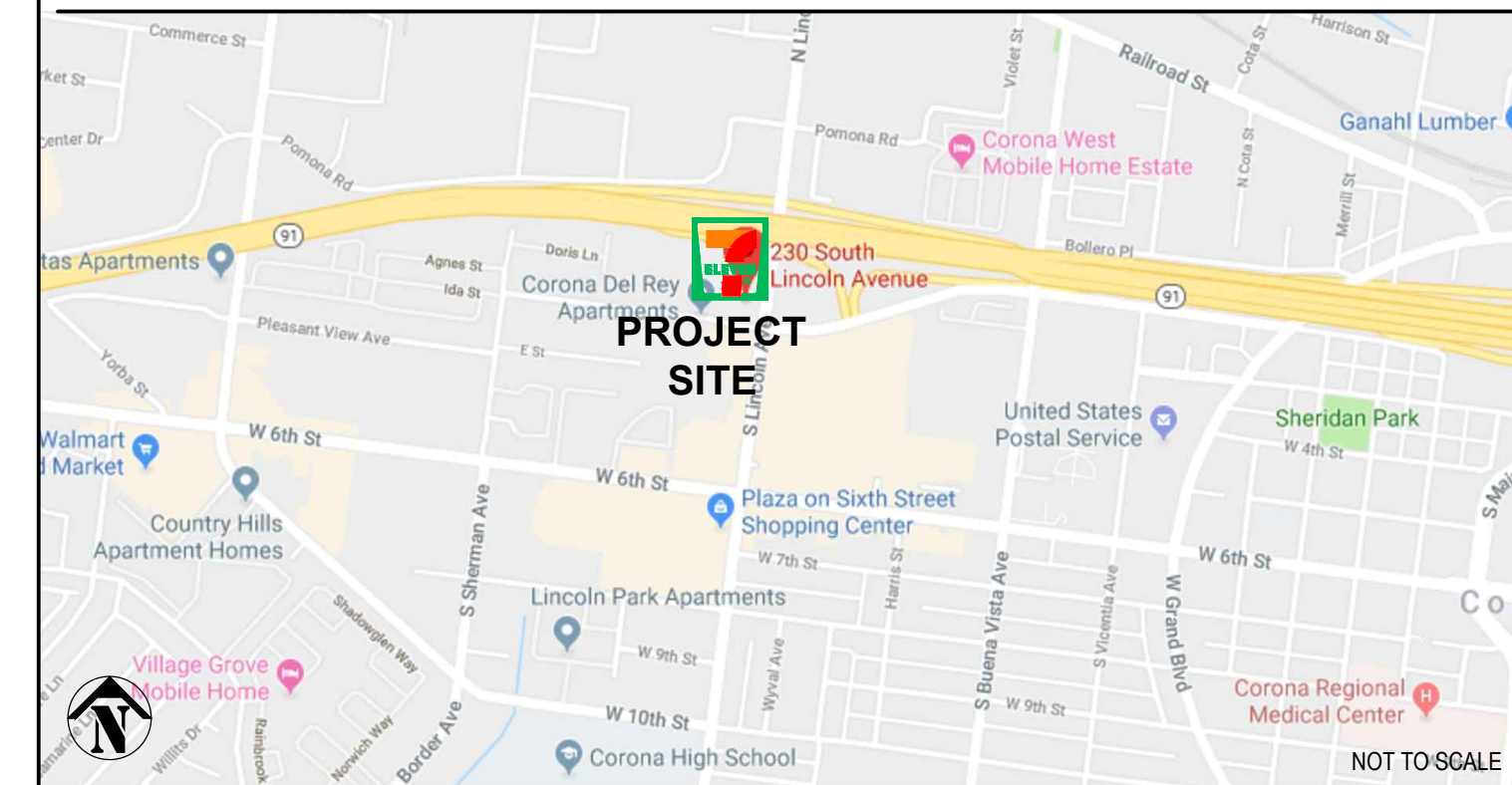
### City of Corona

PUBLIC WORKS	
32. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to any modifications to existing potable water services, sewer laterals, and reduced pressure principle assemblies within the public right of way and-or easements.	
33. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.	
34. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.	
35. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.	
36. Static pressures exceeding 80 psi require an individual pressure regulator.	





## VICINITY MAP



## SITE DATA

APN:	118-171-050	OCCUPANCY:	MERCANTILE
ZONING:	C-3 (GENERAL COMMUNITY COMMERCIAL)	CONSTRUCTION:	V-B
GENERAL PLAN:	G-C (GENERAL COMMERCIAL)	BUILDING HEIGHT:	25'-0" (C-STORE)
SCOPE OF WORK: DEMOLITION OF EXISTING CONVENIENCE STORE; GROUND-UP CONSTRUCTION OF NEW CONVENIENCE STORE WITH TWO FLOORS. EXISTING FUEL SYSTEM TO REMAIN.			

		SQ. FT.	RATIO
LOT AREA		21,780	100%
BUILDING AREA		3,501	16%
	1st FLOOR	2,400	
	2nd FLOOR	1,228	
	ELECTRICAL ROOM	(35)	
	STAIRWELL	(92)	
CANOPY AREA (4 MPD)		1,600	7%
LANDSCAPING		2,205	10%

PARKING	TYPE	STALL SIZE		STALL QTY. (AREA/250)	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
	REGULAR	9'-0" x 20'-0"	9'-0" x 20'-0"	14	13
	ACCESSIBLE	9'-0" x 20'-0"	9'-0" x 20'-0"		1
	TOTAL				14

## KEYNOTES

NO.	DESCRIPTION
1	(E) PYLON SIGN, REFER TO DETAIL 2 / SHEET A2.1
2	(N) ACCESSIBLE PATH FROM PUBLIC RIGHT-OF-WAY
3	(N) PARKING STALL (9'-0" x 20'-0")
4	(N) ACCESSIBLE PARKING STALL (9'-0" x 20'-0")
5	(N) ACCESS AISLE
6	(N) LOADING ZONE (12' x 25')
7	(N) CONCRETE WALK, ACCESSIBLE
8	(E) YARDLIGHT TO BE REMOVED
9	(N) STRIPING
10	(E) AIR/VAC UNIT TO BE RELOCATED
11	(N) LOCKED TRASH ENCLOSURE (14'-0" x 9'-0") PER CITY STANDARD, REFER TO SHEET A0.2
12	(N) LANDSCAPE AREA, REFER TO SHEET L1.0
13	(E) PROPANE TANK
14	(N) C02 TANK ENCLOSURE
15	(N) LONG-TERM BICYCLE LOCKER
16	(N) SHORT-TERM BICYCLE RACK
17	(E) FUEL CANOPY
18	(E) UNDERGROUND STORAGE TANKS
19	(E) FUEL DISPENSER (TYP.)
20	(E) ASPHALT PAVEMENT
21	(E) DRIVEWAY TO REMAIN & IMPROVE PER CITY STANDARDS AND ACCESSIBILITY REQUIREMENTS
22	(E) DRIVEWAY TO BE CLOSED
23	(N) 3'-0"(h) DECORATIVE BLOCK WALL UNDER SEPARATE PERMIT
24	(N) 6'-0"(h) DECORATIVE BLOCK WALL UNDER SEPARATE PERMIT
25	(E) WATER METER; (N) 1-½" ABS DOMESTIC WATER LINE
26	(E) (2) - 4" BLOW-OFFS
27	(E) TRAFFIC SIGNAL
28	(E) POWER POLE
29	(N) 8' x 10' TRANSFORMER PAD
30	(N) AIR / WATER UNIT
31	(N) YARDLIGHTS
32	(E) SEWER MAIN CONNECTION; (N) 4" PVC SEWER LINE
33	(N) POWER POLE W/ UNDERGROUND CONDUITS TO (N) TRANSFORMER
34	(N) PARALLEL PARKING STALL 10'-0" X 25'-0"

## SHEET INDEX

SHEET	DRAWING TITLE
A0.0	SITE PLAN, PROJECT INFO
A0.1	AREA PLAN, SIGN DETAILS
A0.2	TRASH ENCLOSURE DETAILS
A1.0	FLOOR PLAN - 1st FLOOR, SHELVING DATA
A1.1	FLOOR PLAN - 2nd FLOOR
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS (COLOR)
A2.2	STOREFRONT ELEVATION, SCHEDULE
A3.0	ROOF PLAN
A4.0	RENDERINGS
L1.0	CONCEPTUAL LANDSCAPE PLAN
C-1	PRELIMINARY GRADING AND DRAINAGE NOTES
C-2	PRELIMINARY GRADING PLAN



5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649

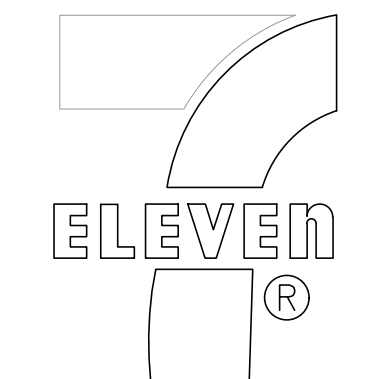
T. 714-892-8810

714-892-8812

F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP #	DPR2019-0016
------	--------------

PROJECT #	<b>39435</b>
-----------	--------------

SCALE  $3/32" = 1'-0"$

DRAWN JB

DRAWING TITLE
---------------

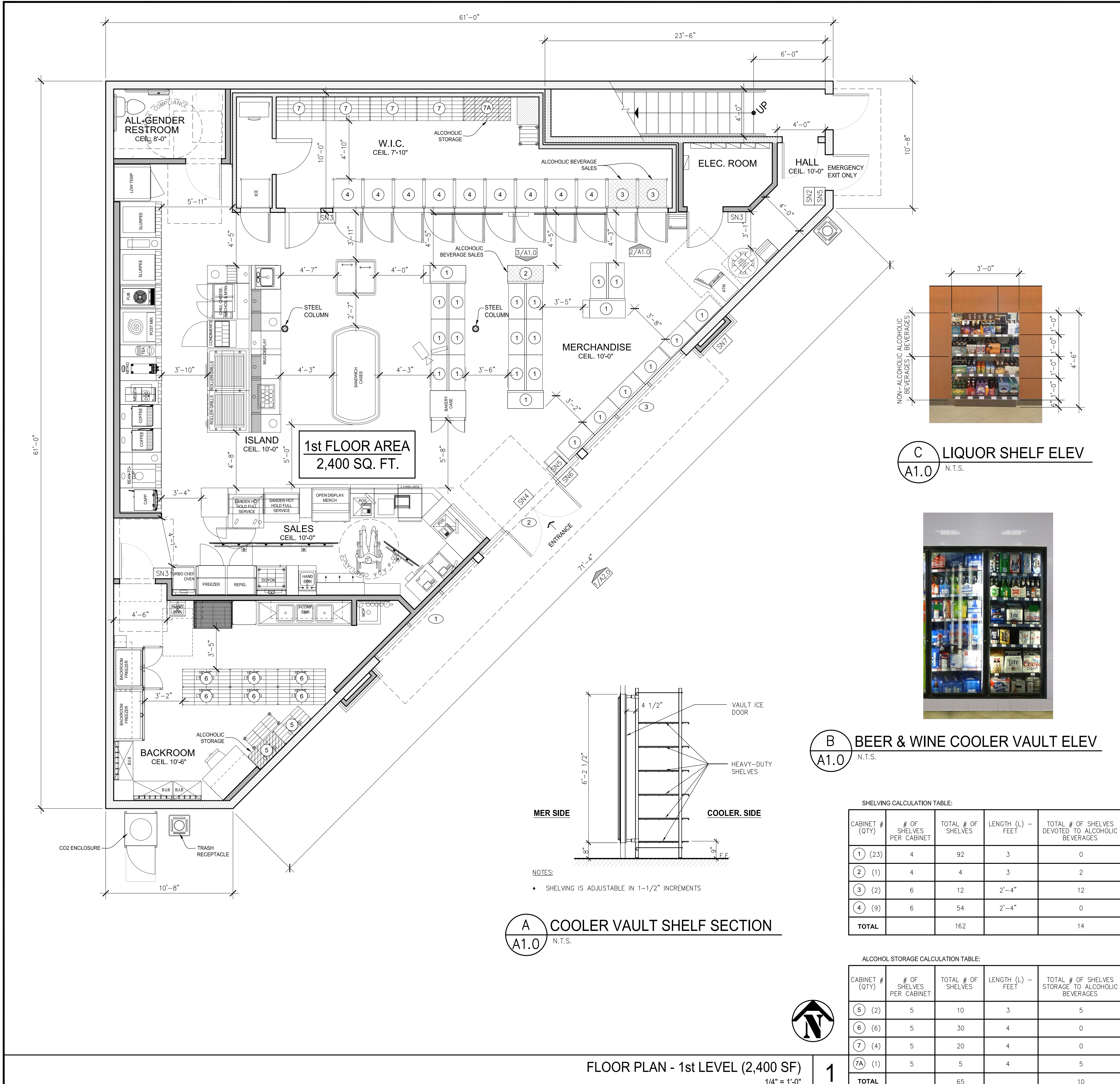
## SITE PLAN

SHEET

# A0.0

## EXHIBIT 3.A





LEGEND

- CABINET #
- WINDOW TAG
- SIGNAGE
- I.D. NUMBER
- SHEET NUMBER
- ELEV. I.D.
- REVISION DELTA NUMBER
- HEIGHT INDICATE

LAYOUT DATA

GENERAL		BACKROOM	
• ROLLER GRILLS	2 (SELF SERVE)	• OVERHEAD SHELVING	25 FT
• SANDWICH CASE	8'	• FLOOR SHELVING	32 FT
• VAULT DOORS	11	BUILDING	
• LOW TEMP DOORS	1	• TOTAL	2,395 SQ FT
• ICE MERCHANT DOORS	1	• SALES FLOOR	1,567 SQ FT
• NOVELTY CASE	1 (ENDCAP)	• BACKROOM	749 SQ FT
• BAKERY CASE	1 (L.G.)	• OCCUPANCY	32 SQ FT
• SLURPEE BARRELS	8	• TRAVEL DISTANCE	66 FT
• GAS	Y	• COMMON PATH OF TRAVEL	48 FT
• BEER	Y	• RESTROOMS REQ'D	1
• WINE	Y	• EXITS REQ'D	1
• LIQUOR	Y		
MERCHANDISE			
• GONDOLA UNITS (80"H)	14		
• END CAPS (60"H)	04		
• POWER WINGS	(01) - NOT IN TOTAL		
• LOW WALLS (36"H)	04		
• HIGH WALLS (72"H)	02		
TOTAL	24		
OCCUPANCY CALCULATION			
• MERCHANDISE	1,567 SF / 60 =	27 PEOPLE	
• KITCHEN / SALES	261 SF / 200 =	2 PEOPLE	
• STORAGE / BACK ROOM	749 SF / 300 =	3 PEOPLE	
• OFFICE	0 SF / 100 =	0 PEOPLE	
• RESTROOM	76 SF / N/A =	0 PEOPLE	
TOTAL		=	32 PEOPLE

WALL LEGEND

- (E) WALL TO REMAIN
- (N) 4" WALL THICK PER NOTE, LOW WALL (H=5'-0")
- (N) 4" WALL THICK PER NOTE, HIGH WALL
- (N) 6" WALL THICK PER NOTE, HIGH WALL
- (N) WALK-IN COOLER WALL, PREFABRICATED GALVANIZED FINISH, PROVIDE BY KYSOR RR#24921

SHELVING DATA (BACKROOM, STORAGE, DRY STORAGE)

- (6) 5-TIER 4'-0" X 1'-6" = 140'-0" L.F.
  - (2) 5-TIER 3'-0" X 1'-6" = 15'-0" L.F.
  - (1) 5-TIER 2'-0" X 2'-0" = 10'-0" L.F.
  - (1) 5-TIER 3'-0" X 1'-2" = 15'-0" L.F.
  - TOTAL = 165'-0" L.F.
- NOTE:
- NSF APPROVED SHELVING
  - MAXIMUM HEIGHT SHALL BE 5'-8" INCLUDING STOCKING GOODS, SEE ELEVATION.

SIGNAGE NOTES

- SN1 ALL GENDER RESTROOM
- SN2 FOR EMERGENCY EXIT ONLY
- SN3 EMPLOYEES ONLY
- SN4 THIS DOOR IS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. (NOTE: THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.)
- SN5 EMERGENCY EXIT ONLY TACTILE SIGN PER LOCAL BUILDING CODE
- SN6 ENTRANCE SIGN
- SN7 ACCESSIBLE ENTRANCE SIGN
- SN8 INTERIOR SECURITY CAMERAS BY OTHERS, TYPICAL

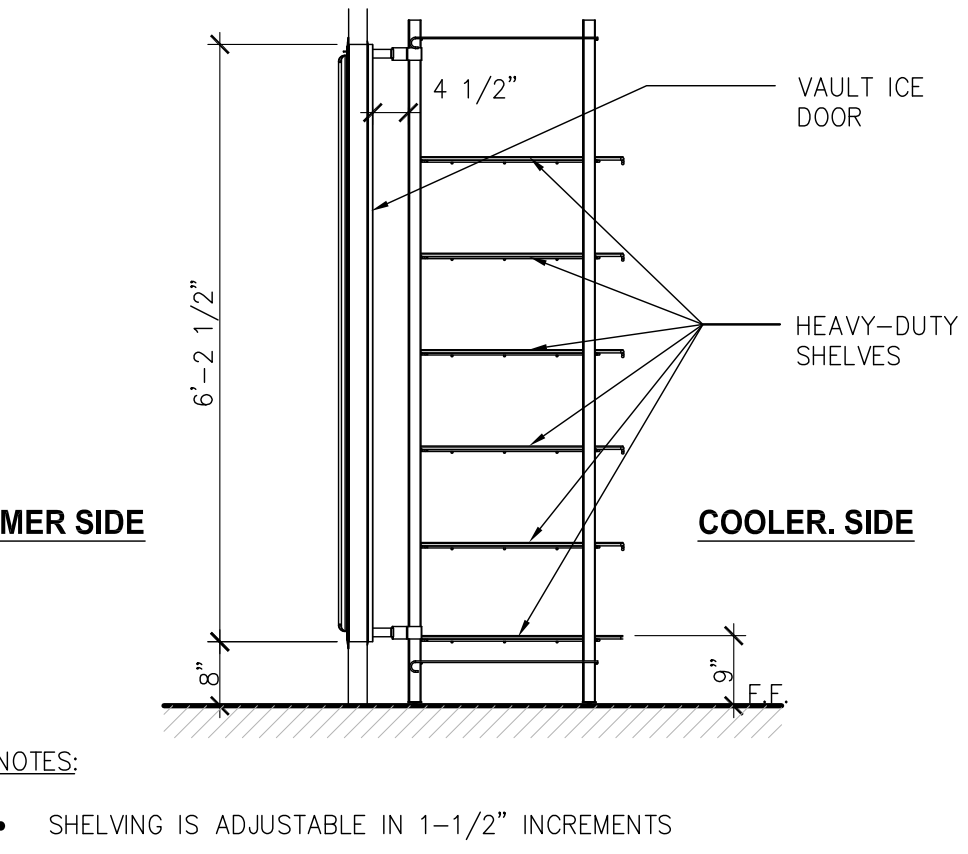
SHELVING CALCULATION TABLE:

CABINET # (QTY)	# OF SHELVES PER CABINET	TOTAL # OF SHELVES	LENGTH (L) - FEET	TOTAL # OF SHELVES DEVOTED TO ALCOHOLIC BEVERAGES	TOTAL LINEAR FEET OF SHELVES*	TOTAL LINEAR FEET OF SHELVES DEVOTED TO ALCOHOLIC BEVERAGES**	PERCENTAGE OF SHELF SPACE DEVOTED TO ALCOHOLIC BEVERAGES***	DESCRIPTION
1 (23)	4	92	3	0	276	0	-	GONDOLAS AT MERCHANDISE AREA
2 (1)	4	4	3	2	12	6	-	GONDOLAS AT MERCHANDISE AREA
3 (2)	6	12	2'-4"	12	28	28	-	SHELVES AT W.I.C.
4 (9)	6	54	2'-4"	0	112	0	-	SHELVES AT W.I.C.
TOTAL		162		14	428	34	7.94%	-

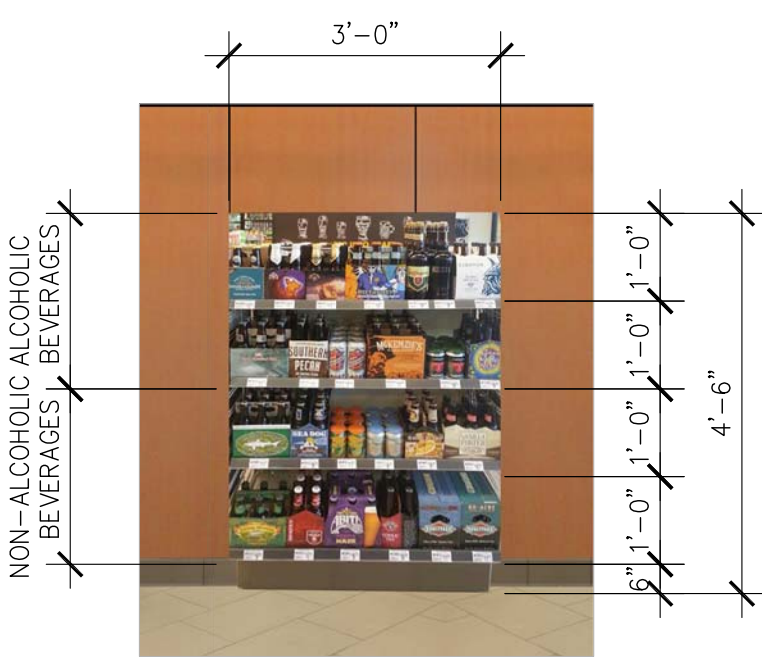
ALCOHOL STORAGE CALCULATION TABLE:

CABINET # (QTY)	# OF SHELVES PER CABINET	TOTAL # OF SHELVES	LENGTH (L) - FEET	TOTAL # OF SHELVES STORAGE TO ALCOHOLIC BEVERAGES	TOTAL LINEAR FEET OF SHELVES*	TOTAL LINEAR FEET OF SHELVES STORAGE TO ALCOHOLIC BEVERAGES**	PERCENTAGE OF SHELF SPACE STORAGE TO ALCOHOLIC BEVERAGES***	DESCRIPTION
5 (2)	5	10	3	5	30	15	-	SHELVES AT BACKROOM
6 (6)	5	30	4	0	120	0	-	SHELVES AT BACKROOM
7 (4)	5	20	4	0	80	0	-	SHELVES AT W.I.C.
7A (1)	5	5	4	5	20	20	-	SHELVES AT W.I.C.
TOTAL		65		10	250	35	14%	-

A COOLER VAULT SHELF SECTION



C LIQUOR SHELF ELEV



B BEER & WINE COOLER VAULT ELEV



FLOOR PLAN - 1st LEVEL (2,400 SF)

1

**ASI DEVELOPMENT**

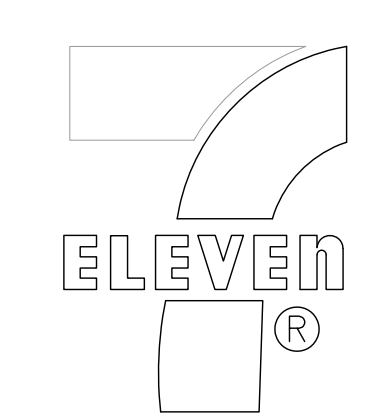
5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649

T: 714-892-8810  
714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

12/22/20



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # **DPR2019-0016**  
PROJECT # **39435**  
SCALE AS NOTED  
DRAWN JB

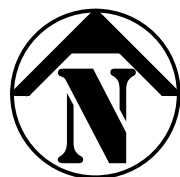
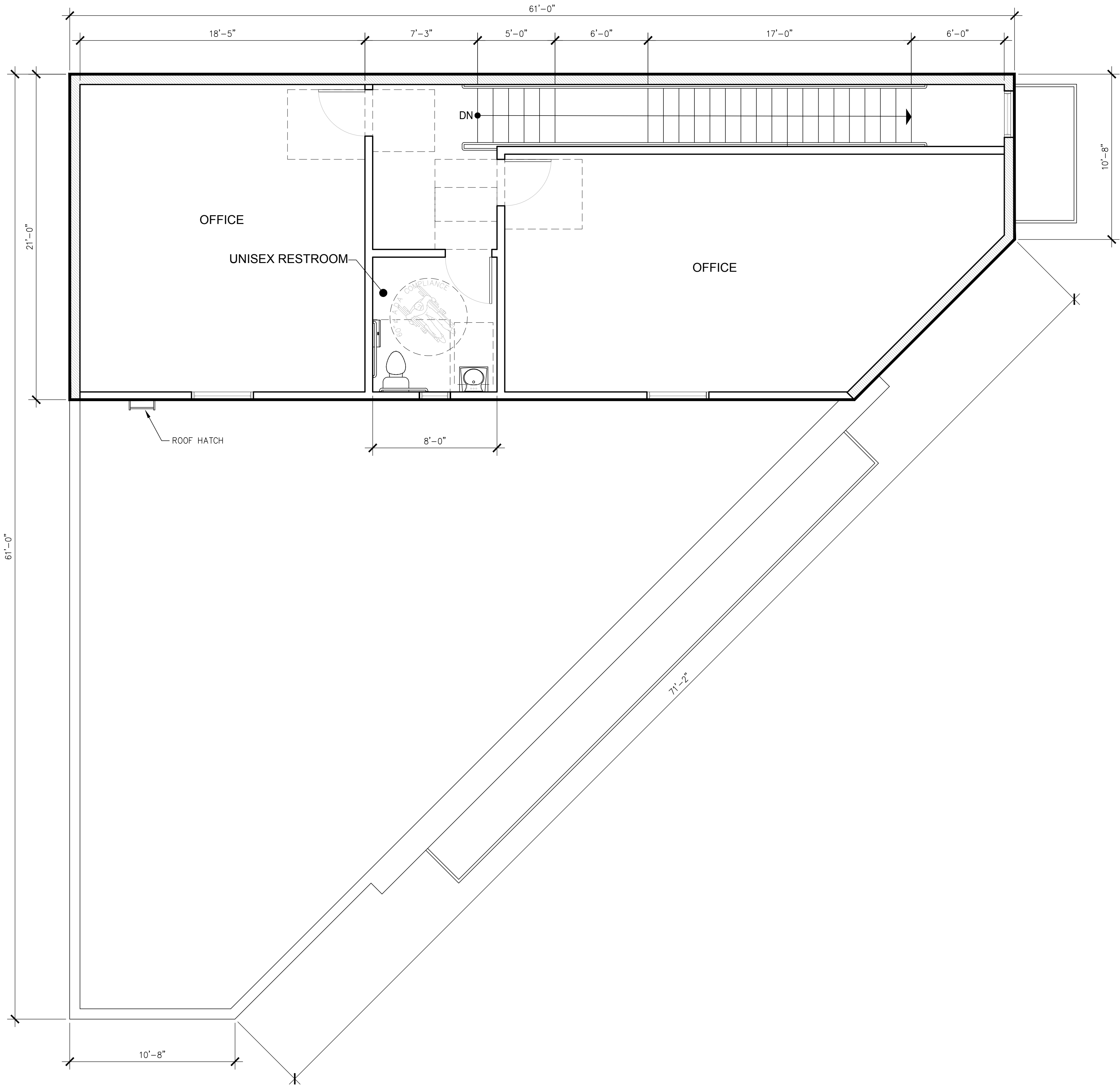
DRAWING TITLE

FLOOR PLAN -  
1st LEVEL,  
SHELVING DATA

SHEET

A1.0  
**EXHIBIT 3.C**





FLOOR PLAN - 2nd LEVEL (1,228 SF)  
1/4" = 1'-0"

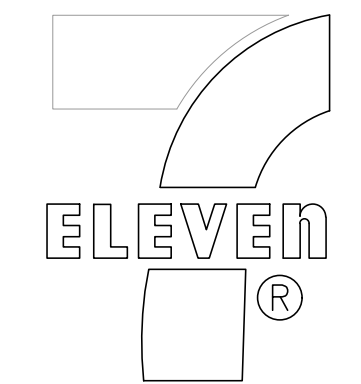


5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649  
T: 714-892-8810  
F: 714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

2/18/21



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882  
DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # **DPR2019-0016**  
PROJECT # **39435**  
SCALE 1/4" = 1'-0"  
DRAWN JB

DRAWING TITLE

FLOOR PLAN -  
2nd LEVEL

SHEET

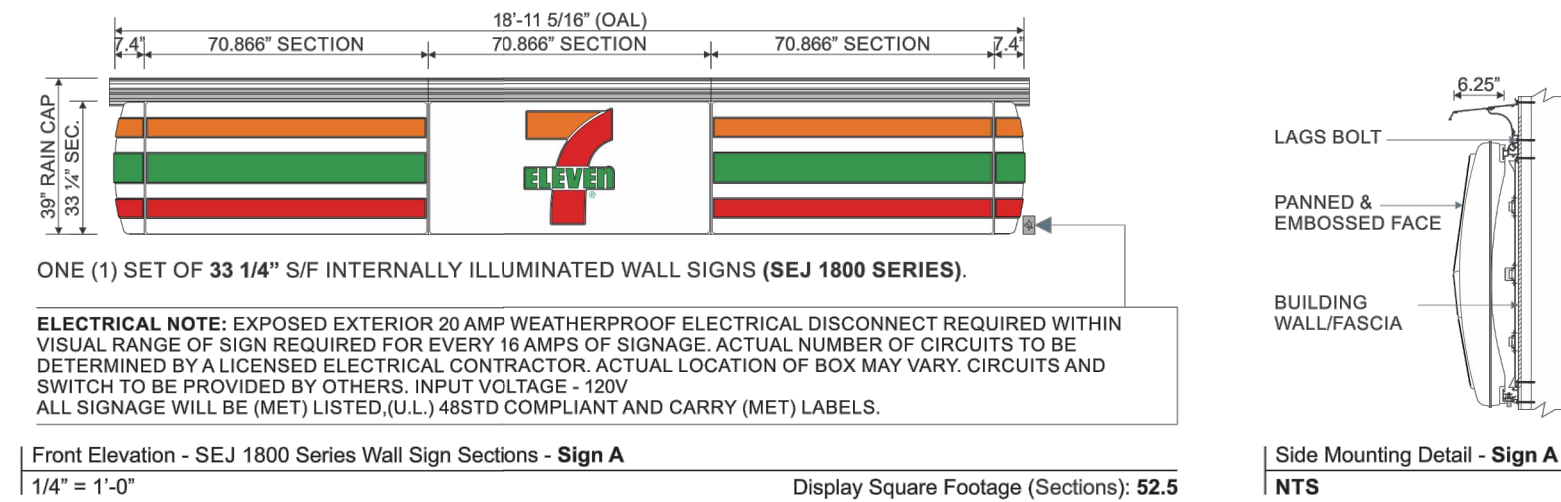
A1 1

EXHIBIT 3.D

ENTITLEMENT

2424





## KEYNOTES

- |   |   |    |  |    |  |
|---|---|----|--|----|--|
| 1 | SMOOTH STUCCO FINISH<br>LA HABRA STUCCO #31512 ASHENVILLE   | 8  | ALUMINUM AWNING BY OTHER.<br>COLOR:SEAL SKIN/SW #7675                  | 15 | 10" WHITE VINYL ADDRESS NUMBER AT INTERIOR OF GLASS.<br>INSTALL FROM BACK OF TRANSOMS WINDOW GLASS |
| 2 | SMOOTH STUCCO FINISH<br>LA HABRA STUCCO #524 ALAMO  | 9  | EXTERIOR SIGNAGE FOR REFERENCE ONLY.<br>UNDER SEPARATE PERMIT          | 16 | EXTERIOR STUCCO EXPANSION SCREED.  |
| 3 | SMOOTH STUCCO FINISH<br>LA HABRA STUCCO #50 CRYSTAL WHITE   | 10 | GLASS DOOR<br>FRAME COLOR: ANODIZED ALUMINUM                           | 17 | OVERFLOW DOWNSPOUT.  |
| 4 | STONE VENEER: BY CULTURED STONE<br>STYLE & COLOR: PRO-FIT LEDGESTONE "MOJAVE"<br>INSTALLATION METHOD: DRY STACK (TIGHTLY STACKED) | 11 | METAL EXIT DOOR WITH PUSH BAR.<br>COLOR:SEAL SKIN/SW #7675             | 18 | LED WALL PACK.<br>REFER TO ELECTRICAL PLAN FOR MORE INFORMATION.                                   |
| 5 | EPS FOAM TRIM. PER MANUFACTURE<br>COLOR: CRYSTAL WHITE  | 12 | 7-ELEVEN WINDOW GRAPHICS FOR REFERENCE ONLY.<br>UNDER SEPARATE PERMIT. | 19 | LED EGRESS LIGHT.<br>REFER TO ELECTRICAL PLAN FOR MORE INFORMATION.                                |
| 6 | EPS FOAM CORNICE. PER MANUFACTURE<br>COLOR: CRYSTAL WHITE   | 13 | FROSTED WINDOW FILM AT INTERIOR OF GLASS.                              | 20 | ACCESSIBLE SIGNAGE   |
| 7 | ALUMINUM STORE FRONT SYSTEM PER PLAN<br>FRAME COLOR: ANODIZED ALUMINUM  | 14 | BLOCK OUT WINDOW AT INTERIOR OF GLASS.                                 | 21 | EXTERIOR LED WALL LIGHT.<br>REFER TO ELECTRICAL PLAN FOR MORE INFORMATION.                         |
|   |   |    |  | 22 | FOAM ARCHITECTURAL MEDALLIONS BY MANUFACTURE.  |
|   |   |    |  | 23 | MECHANICAL RTU ON ROOF BEYOND.   |



5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649

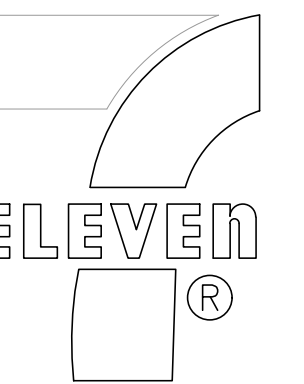
T: 714-892-8810  
714-892-8812

F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed, copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

AMP

18/21

**PROTO 10-23-2019**

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

\_\_\_\_\_

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # **DPR2019-0016**

PROJECT #	<b>39435</b>
-----------	--------------

SCALE  $1/4" = 1'-0"$

DRAWN JB

DRAWING TITLE

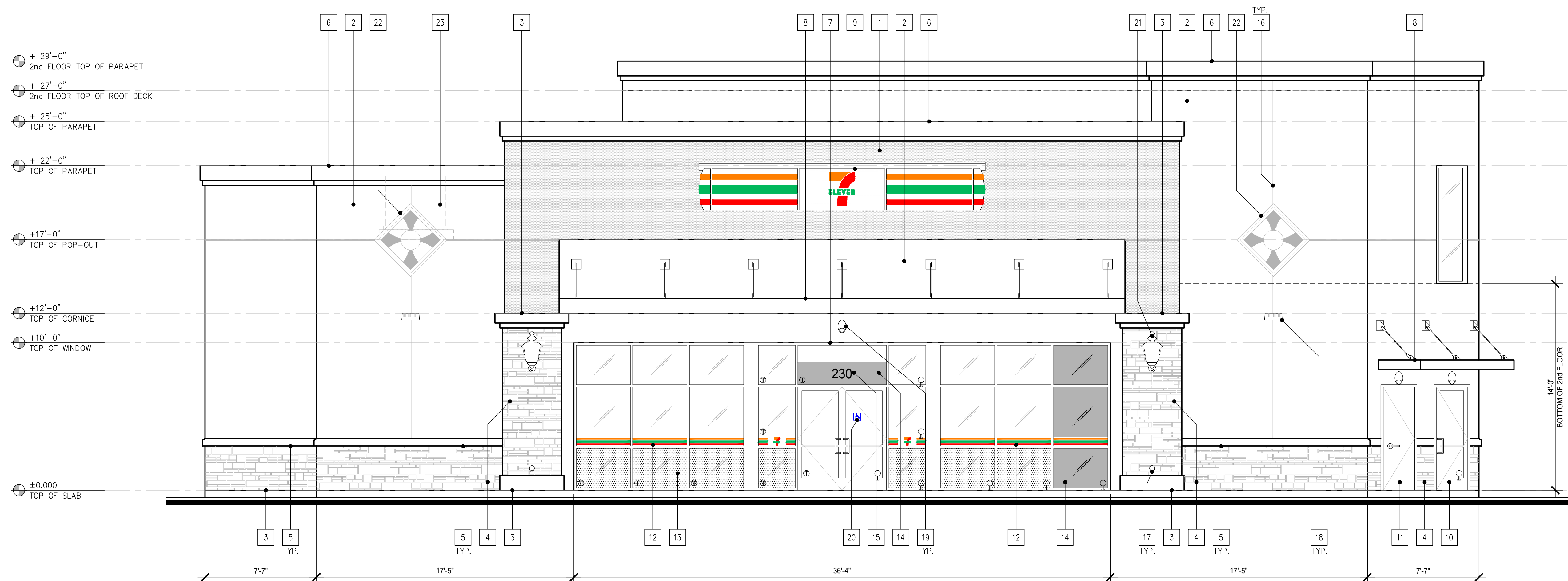
EXTERIOR  
ELEVATION

SHEET

Δ2 n

## EXHIBIT 3.E

## ENTITLEMENT



ELEVATION - SOUTHEAST

$$1/4'' = 1'-0''$$





AERIAL PLAN  
NTS

6



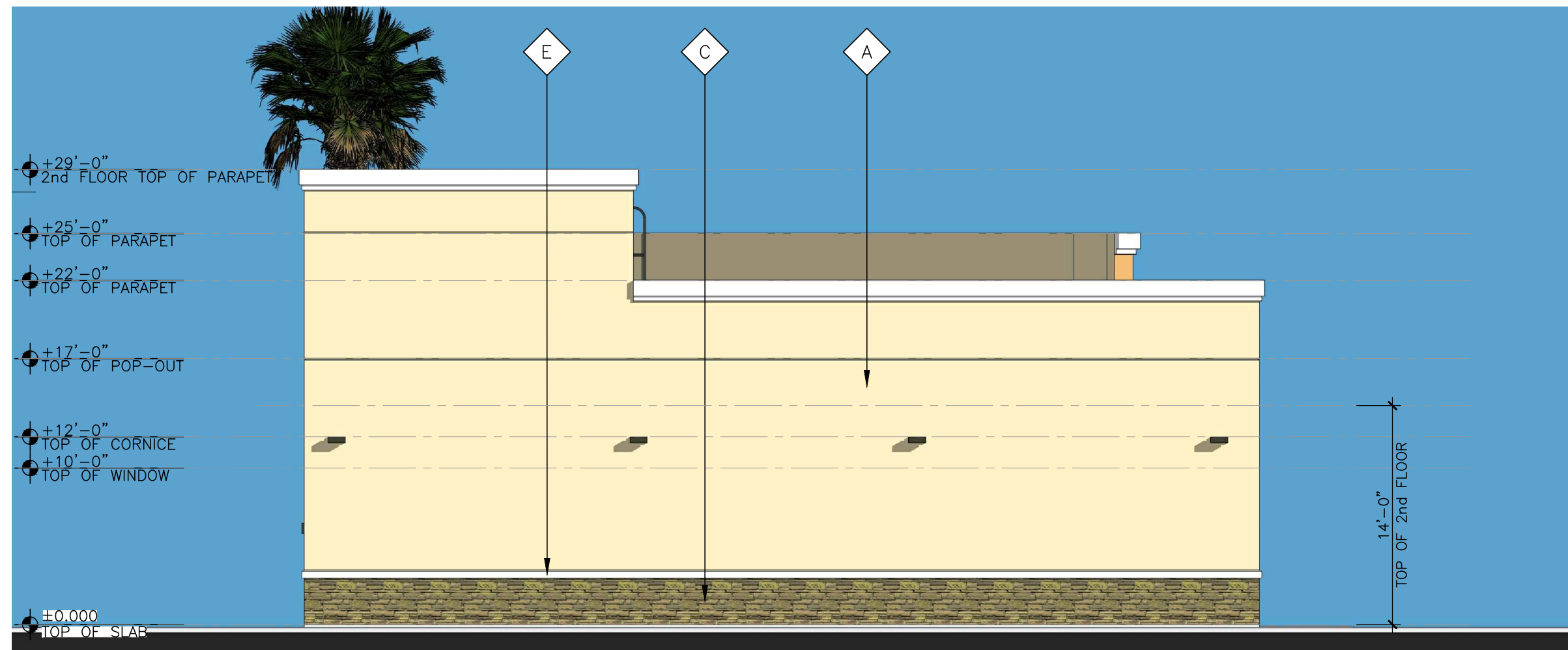
ELEVATION - SOUTHEAST  
1/8" = 1'-0"

5



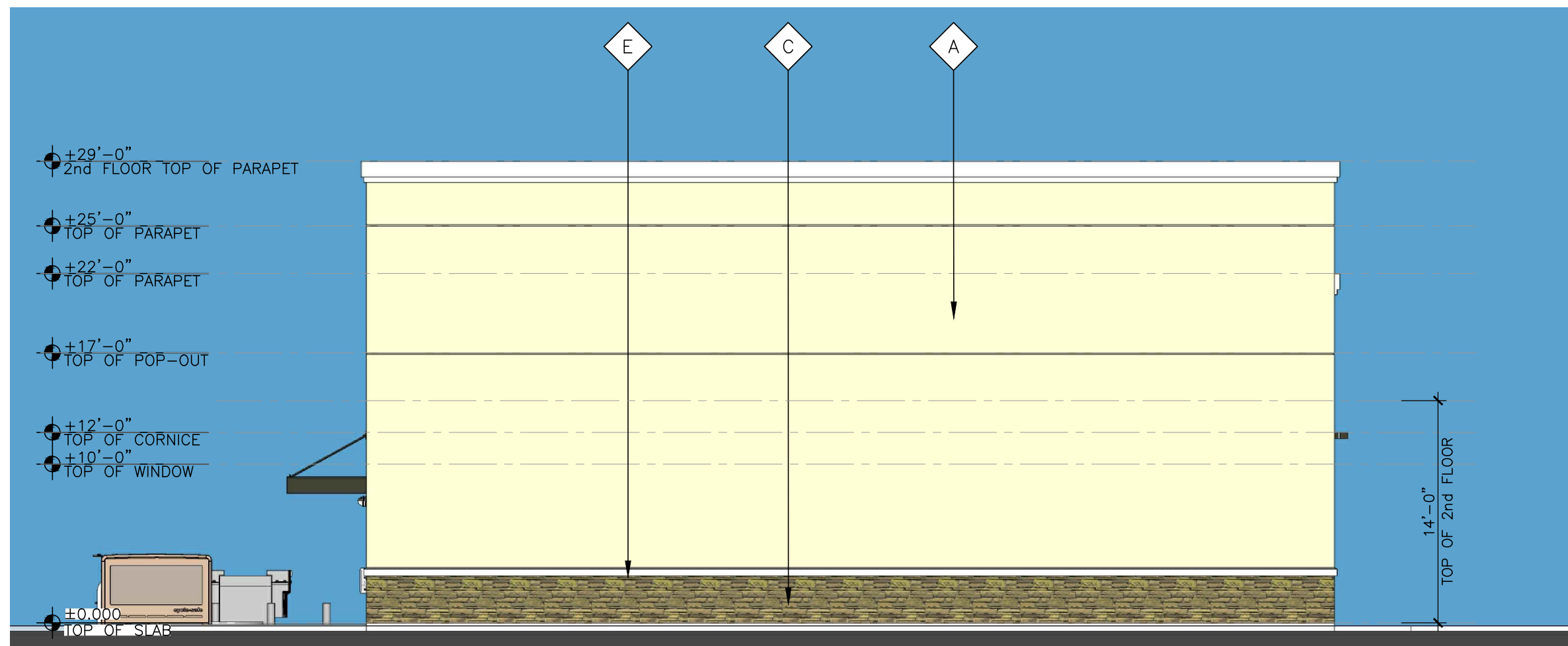
ELEVATION - SOUTH  
1/8" = 1'-0"

4



ELEVATION - WEST  
1/8" = 1'-0"

3



ELEVATION - NORTH  
1/8" = 1'-0"

2



ELEVATION - EAST  
1/8" = 1'-0"

1

KEY NOTES

- A SMOOTH STUCCO FINISH MERLEX STUCCO #P-6 EL DORADO
- B EXTERIOR DECORATIVE WALL TILE
- C STONE VENEER: BY CULTURED STONE STYLE & COLOR: PRO-FIT LEDGESTONE "MOJAVE" INSTALLATION METHOD: DRY STACK (TIGHTLY STACKED)
- D ENTRANCE DOOR
- E SKIRTING 2x6
- F ALUMINUM STORE FRONT SYSTEM GLASS COLOR & STYLE: TINTED FRAME COLOR: ANODIZED ALUMINUM
- G 7-SEVEN SIGN - UNDER SEPARATE SUBMITTAL

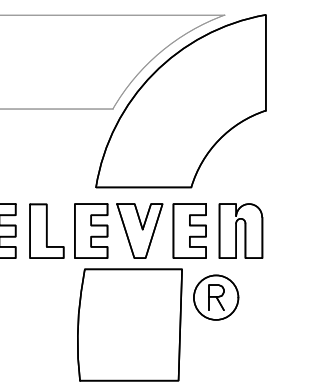


5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649  
T: 714-892-8810  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

2/18/21



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.
DP #	DPR2019-0016	
PROJECT #	39435	
SCALE	1/8" = 1'-0"	
DRAWN	JB	

DRAWING TITLE

EXTERIOR  
ELEVATIONS  
(COLOR)

SHEET

A2.2





VIEW FROM D STREET  
N.T.S.

3



VIEW FROM LINCOLN AVENUE  
N.T.S.

2



BIRD'S EYE PERSEPCTIVE  
N.T.S.

4

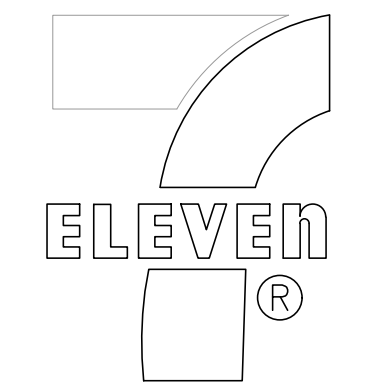


5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649  
T: 714-892-8810  
F: 714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

2/18/21



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882  
DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # **DPR2019-0016**  
PROJECT # **39435**  
SCALE N.T.S.  
DRAWN JB

DRAWING TITLE

RENDERINGS

SHEET

A4.0  
**EXHIBIT 3.F**

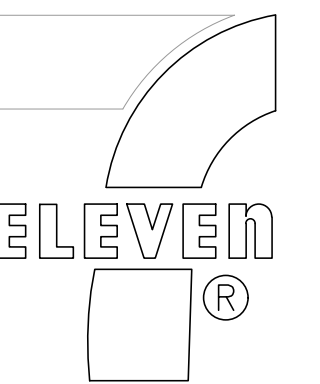
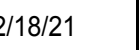




ROOF PLAN  
1/4" = 1'-0"

—

1	(N) HVAC #1 (7.5 TONS)
2	(N) HVAC #2 (7.5 TONS)
3	(N) LADDER
4	(N) 8" EXHAUST DUCT UP THRU ROOF WITH ROOF CAP AND INSECT SCREEN
5	(N) 3" SANITARY VENT THRU ROOF WITH INSECT SCREEN
6	(N) WALKING PAD
7	(N) GRAVITY VENTILATOR & BAROMETRIC RELIEF DAMPER (H=24" MAX.)
8	(N) 5'-0" HT. PARAPET WALL
9	(N) 8'-0" HT. PARAPET WALL
10	(N) 2'-0" HT. PARAPET WALL



**PROTO 10-23-2019**

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.
DP #	<b>DPR2019-0016</b>	
PROJECT #	<b>39435</b>	
SCALE	1/4" = 1'-0"	
DRAWN	JB	

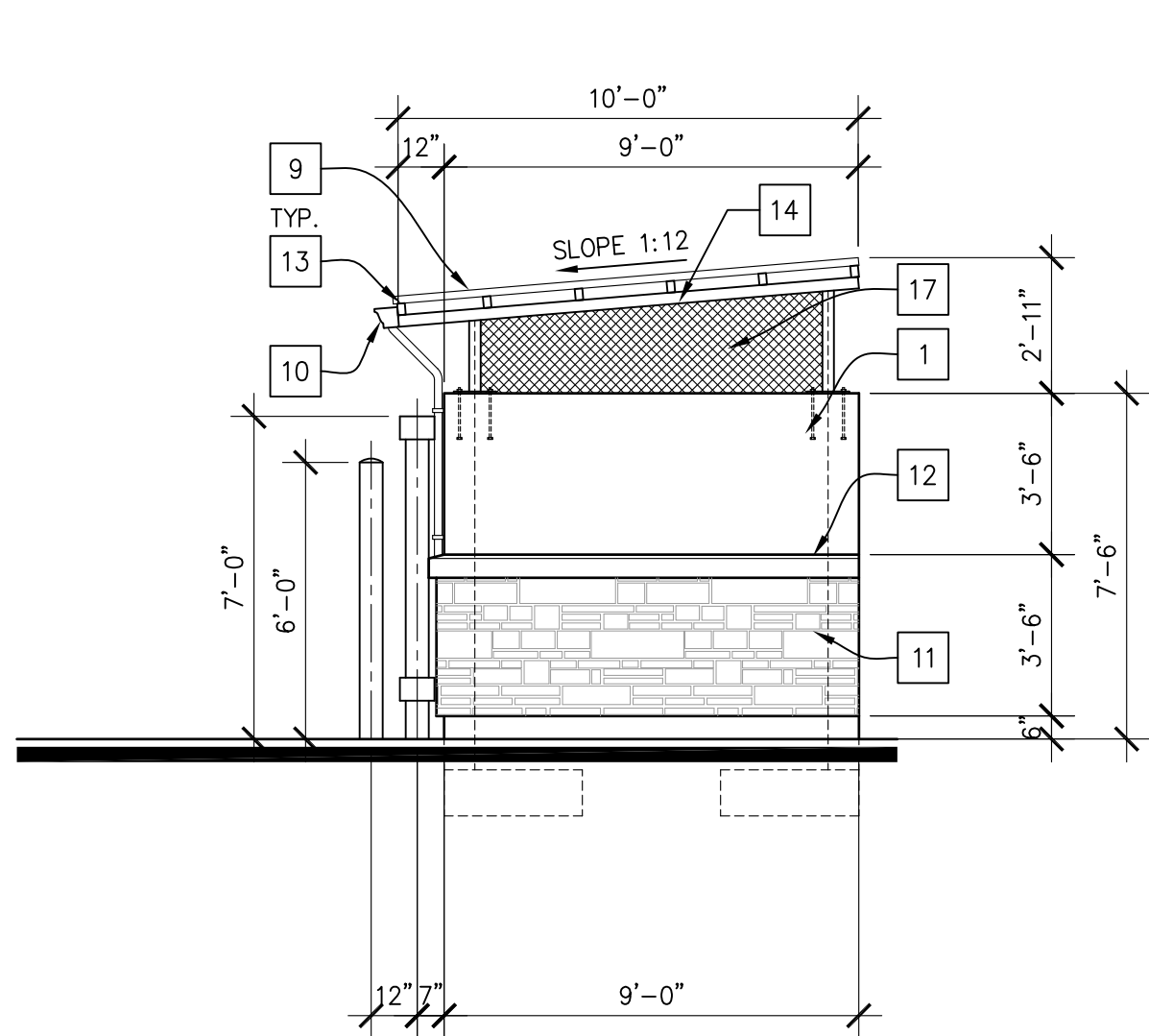
DRAWING TITLE

## ROOF PLAN

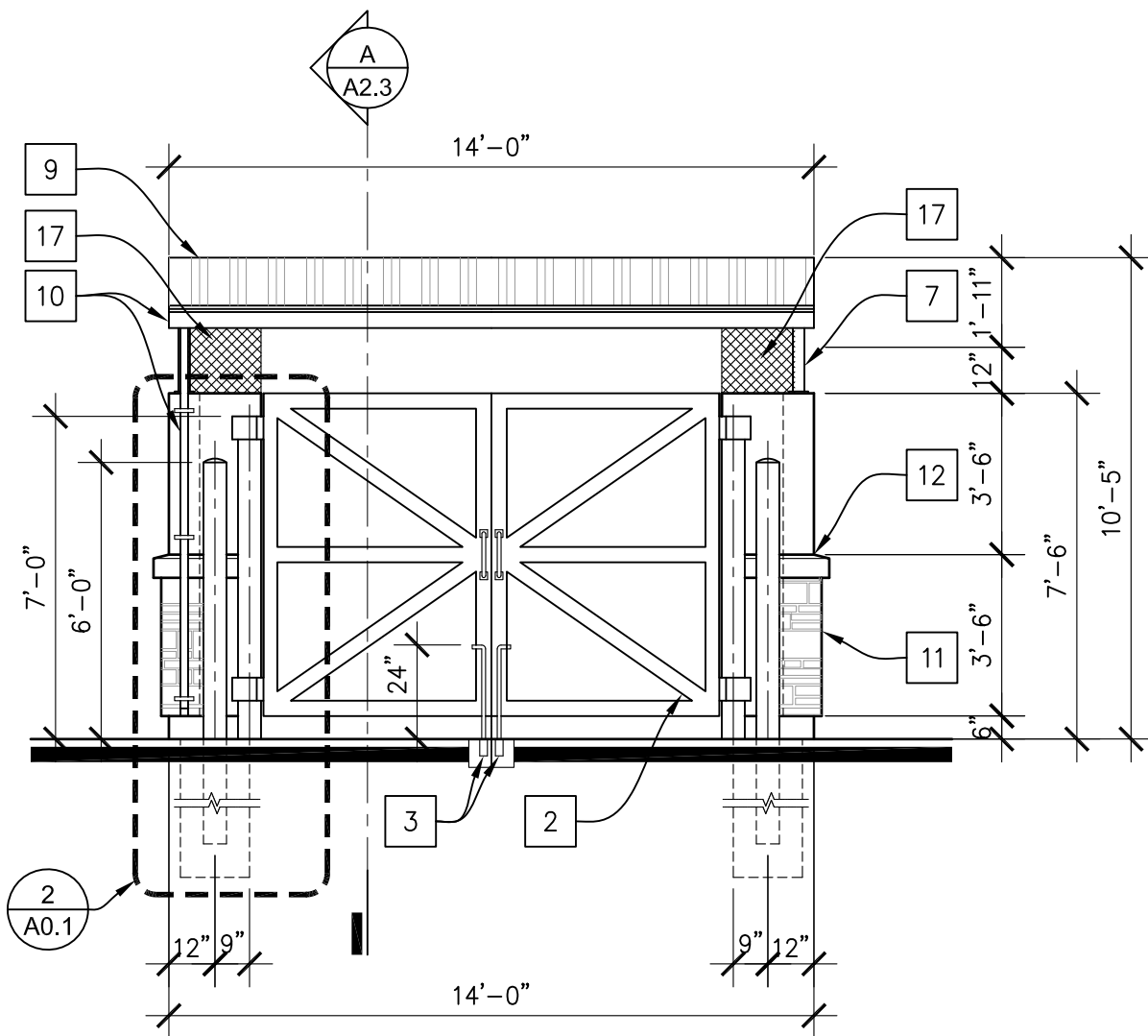
SHEET

A.3.0

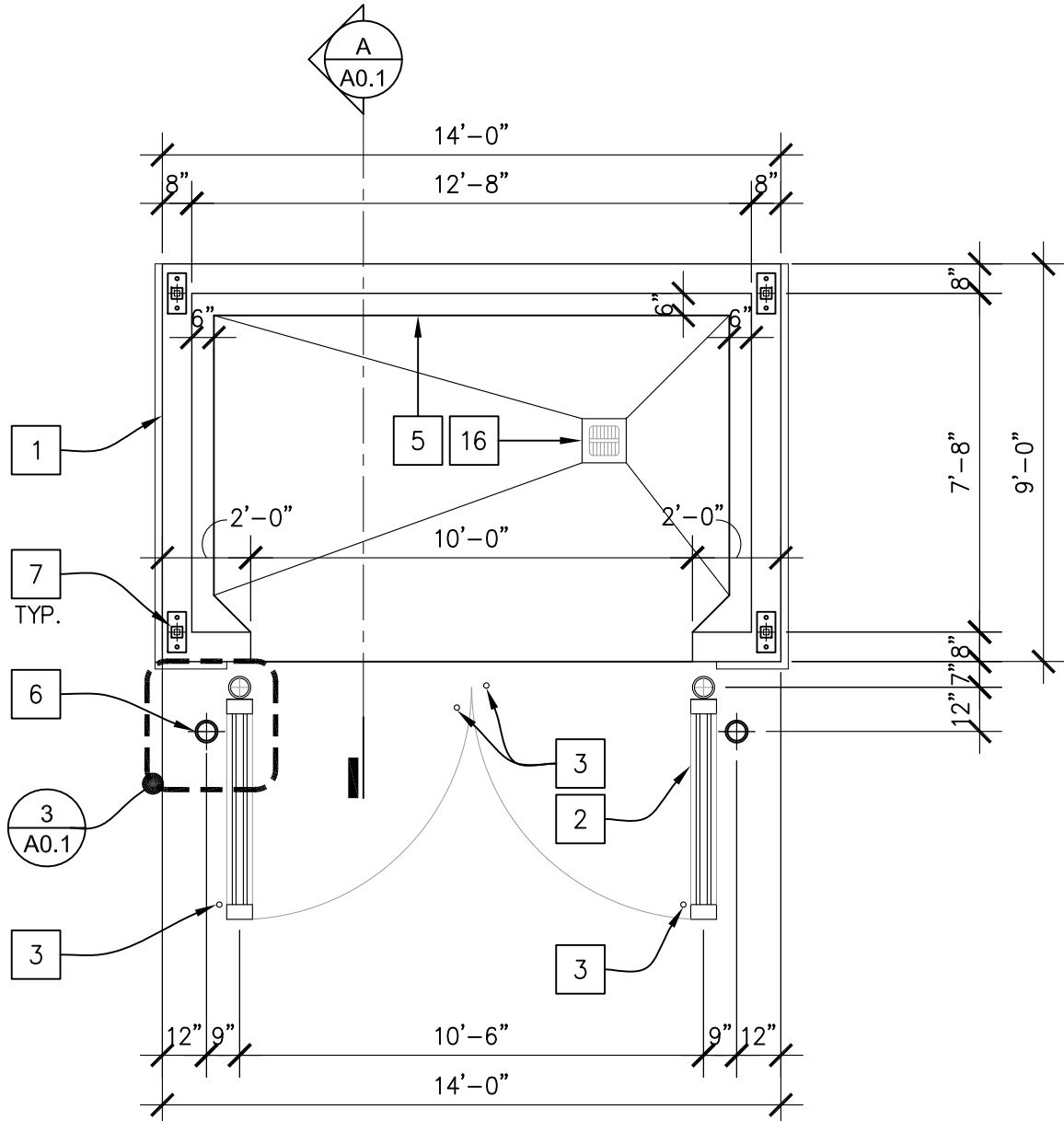
**EXHIBIT 3.G** ENTIT



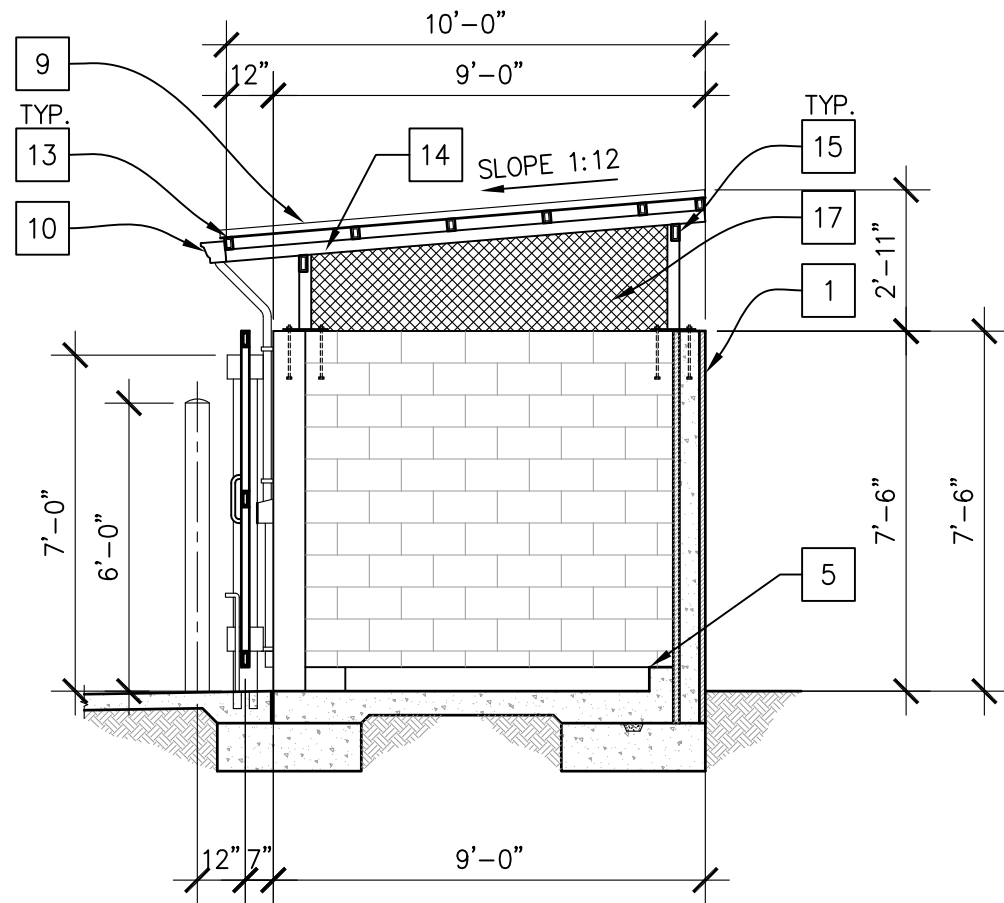
RIGHT ELEVATION



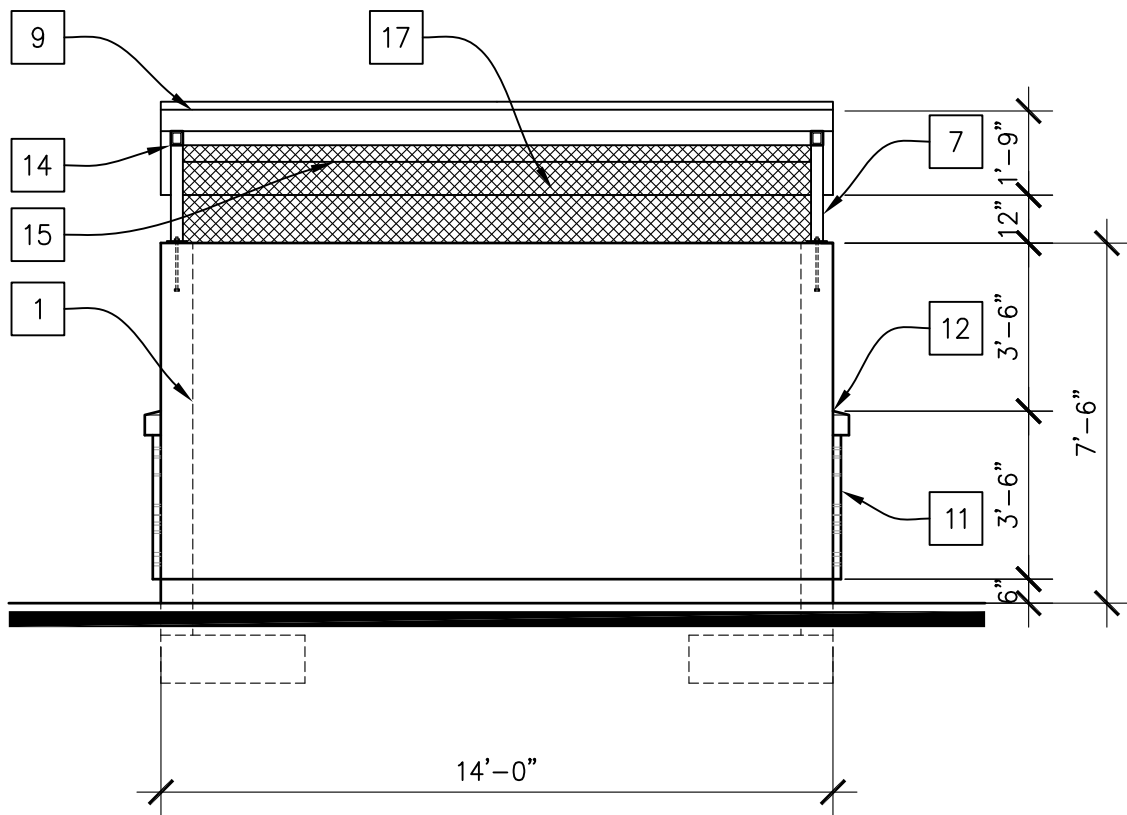
FRONT ELEVATION



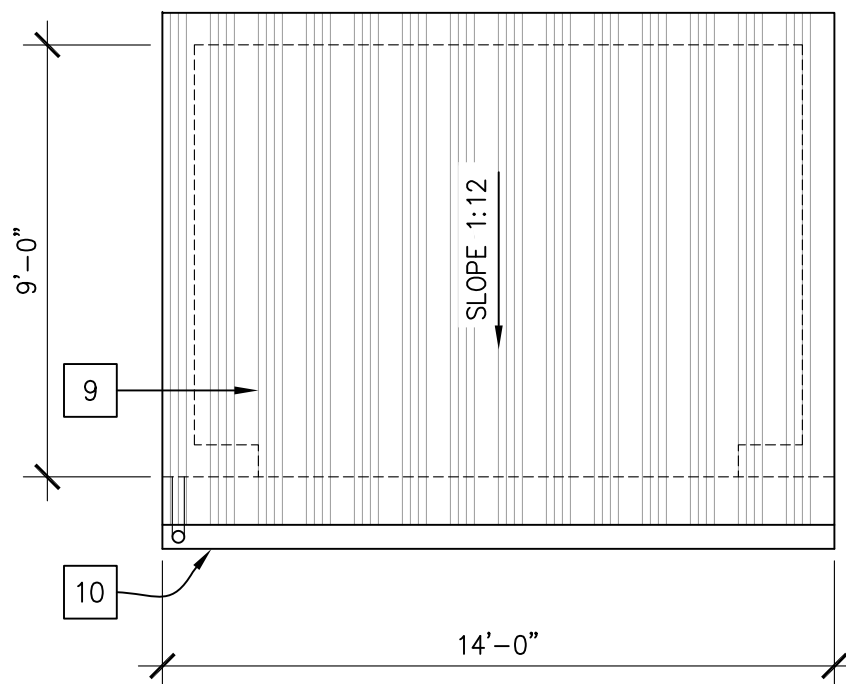
FLOOR PLAN



SECTION A-A



REAR ELEVATION



ROOF PLAN

GENERAL NOTES

- 1. TRASH ENCLOSURE TO BE LOCKED AT ALL TIMES.
- 2. CLEARANCE BETWEEN ROOF AND WALLS SHALL BE ENCLOSED WITH MESH-LIKE SCREEN.

KEYNOTES

- 1 8" CMU WALL, STUCCO ALL AROUND AT OUTSIDE TO MATCH WITH MAIN BUILDING. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION
- 2 MUELLER ENCLOSURE GATE OR EQUAL. FINISHED: SEAL SKIN COLOR/SW#7675
- 3 PROVIDE 3/4" PVC SLEEVES IN CONCRETE. TYP.
- 4 6" PROVIDE CONCRETE PAD IN FRONT OF TRASH ENCLOSURE ENTRANCE
- 5 6" CURB PROTECTION INSIDE.
- 6 SAFETY BOLLARD. SEE DETAIL 5/A2.3
- 7 HSS 3" x 3" STEEL POST. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION
- 8 HOSE BIB W/ ZURN BFP-9 PRESSURE VACUUM BREAKER
- 9 STANDING SEAM METAL ROOF U-PANEL 24 GA. (AEP U PANEL/LA RR 25763 - OR EQUAL). FINISHED: DURA TECH/COOL WEATHERED COPPER COLOR PER MANUFACTURE
- 10 METAL GUTTER W/ DOWNSPOUT. PER MANUFACTURE FINISHED: SEAL SKIN COLOR/SW#7675
- 11 STONE VENEER: BY CULTURED STONE STYLE & COLOR: PRO-FIT LEDGESTONE "MOJAVE" INSTALLATION PER MANUFACTURE
- 12 EPS FOAM 3x6. PER MANUFACTURE
- 13 METAL TUBE JOIST CAPPED AT EACH END. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION. FINISHED: SEAL SKIN/SW7675
- 14 METAL TUBE BEAM CAPPED AT EACH END. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION. FINISHED: SEAL SKIN/SW7675
- 15 3"x METAL TUBE BEAM. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION. FINISHED: SEAL SKIN/SW7675
- 16 12"x12" CATCH BASIN NDS PART #1200 (OR APPROVED EQUAL) AND 12"x12" GRATE NDS #1213 (OR APPROVED EQUAL)
- 17 METAL SCREEN MESH ATTACH TO STEEL POST FINISHED: COLOR TO MATCH STEEL POST



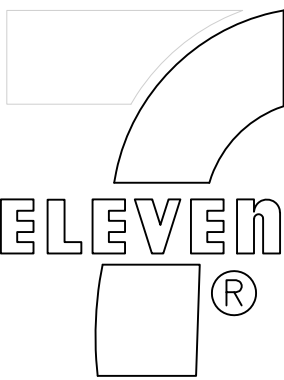
5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649

T: 714-892-8810  
714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP

10/8/20



PROTO 10-23-2019

PROJECT

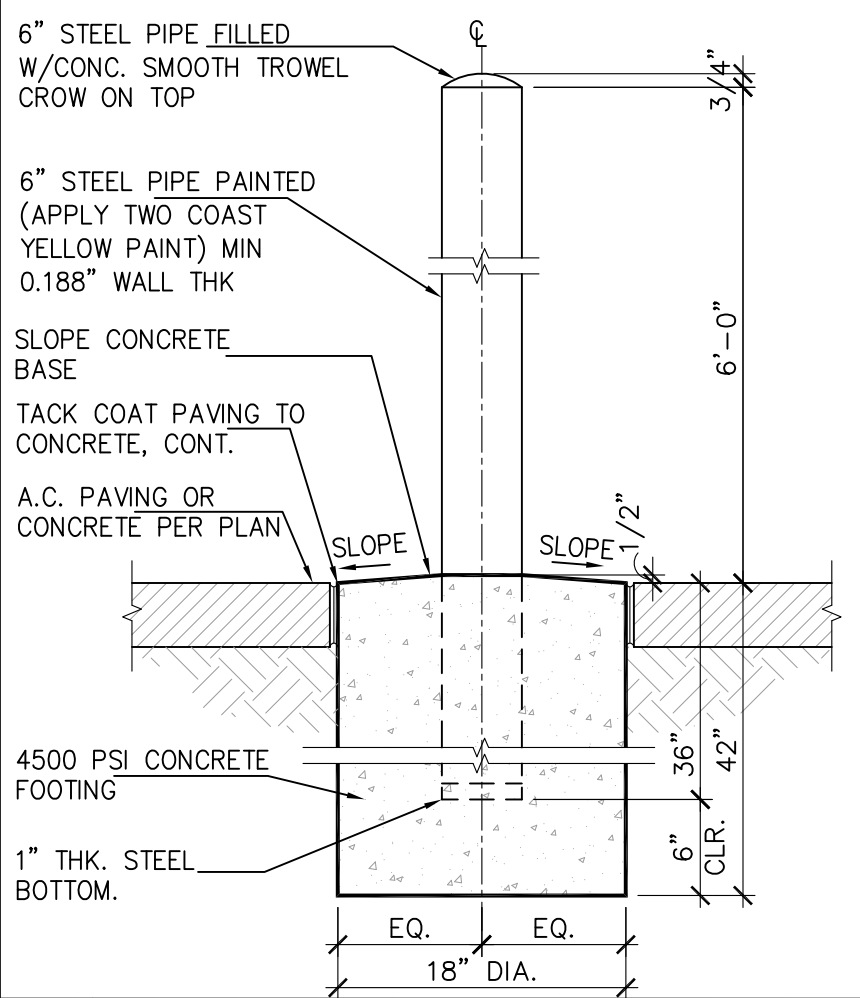
230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

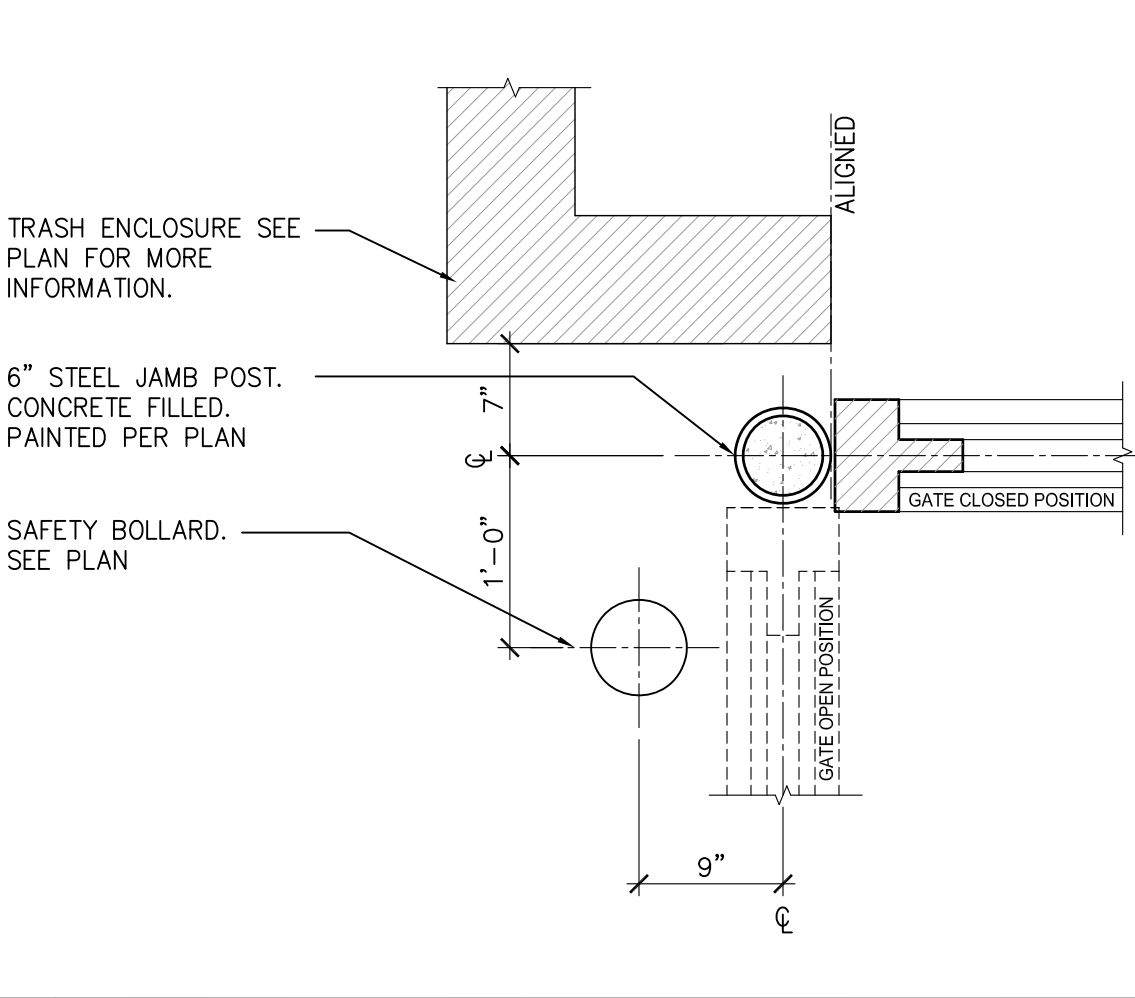
TRASH ENCLOSURE

1/4" = 1'-0"

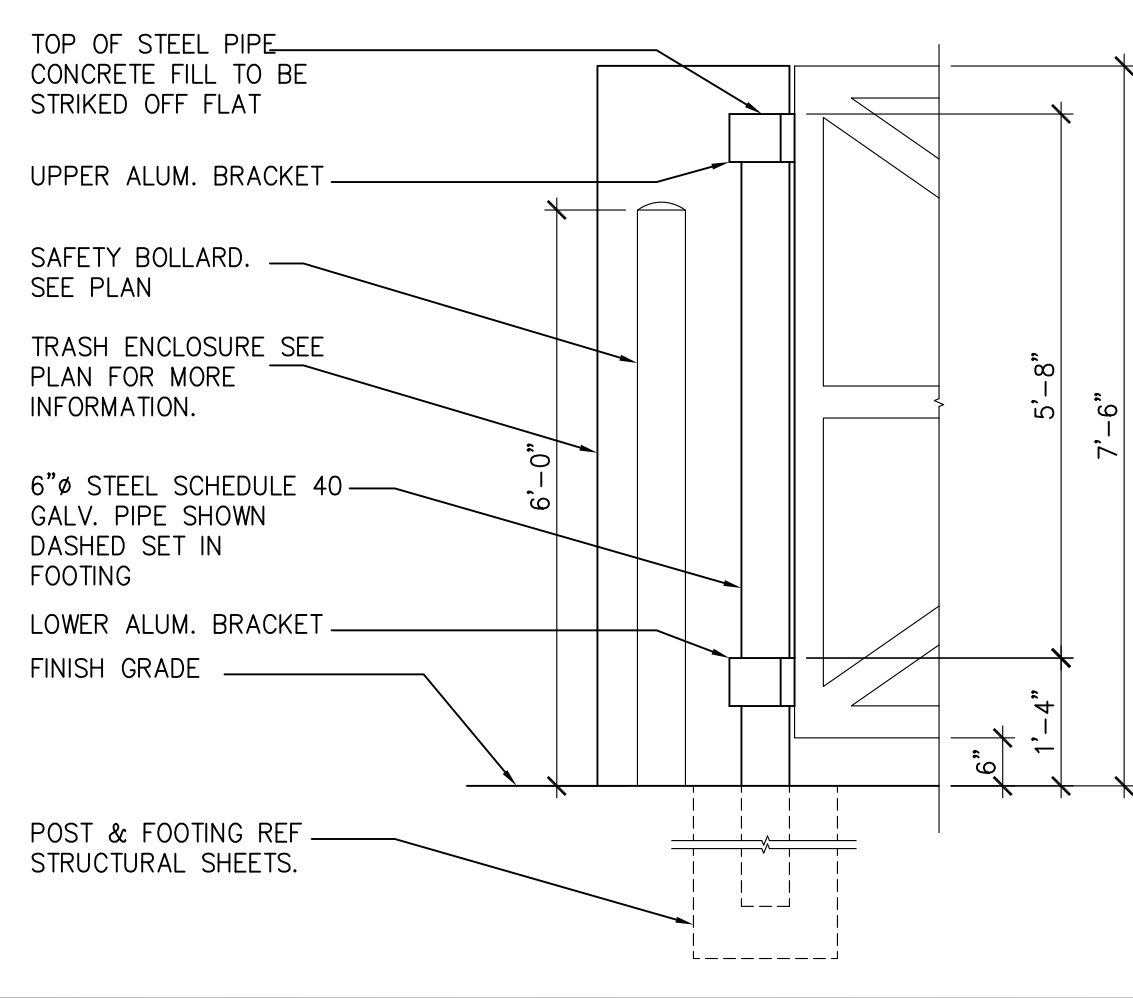
1



5 PIPE BOLLARD DETAIL SCALE: N.T.S.



3 GATE BOLLARD PLAN SCALE: 1"=1'-0"



2 GATE BOLLARD DETAIL SCALE: 1/2"=1'-0"

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP #	DPR2019-0016
PROJECT #	39435
SCALE	AS NOTED
DRAWN	JB

TRASH ENCLOSURE  
DETAILS

SHEET

A0.2

EXHIBIT 3.H



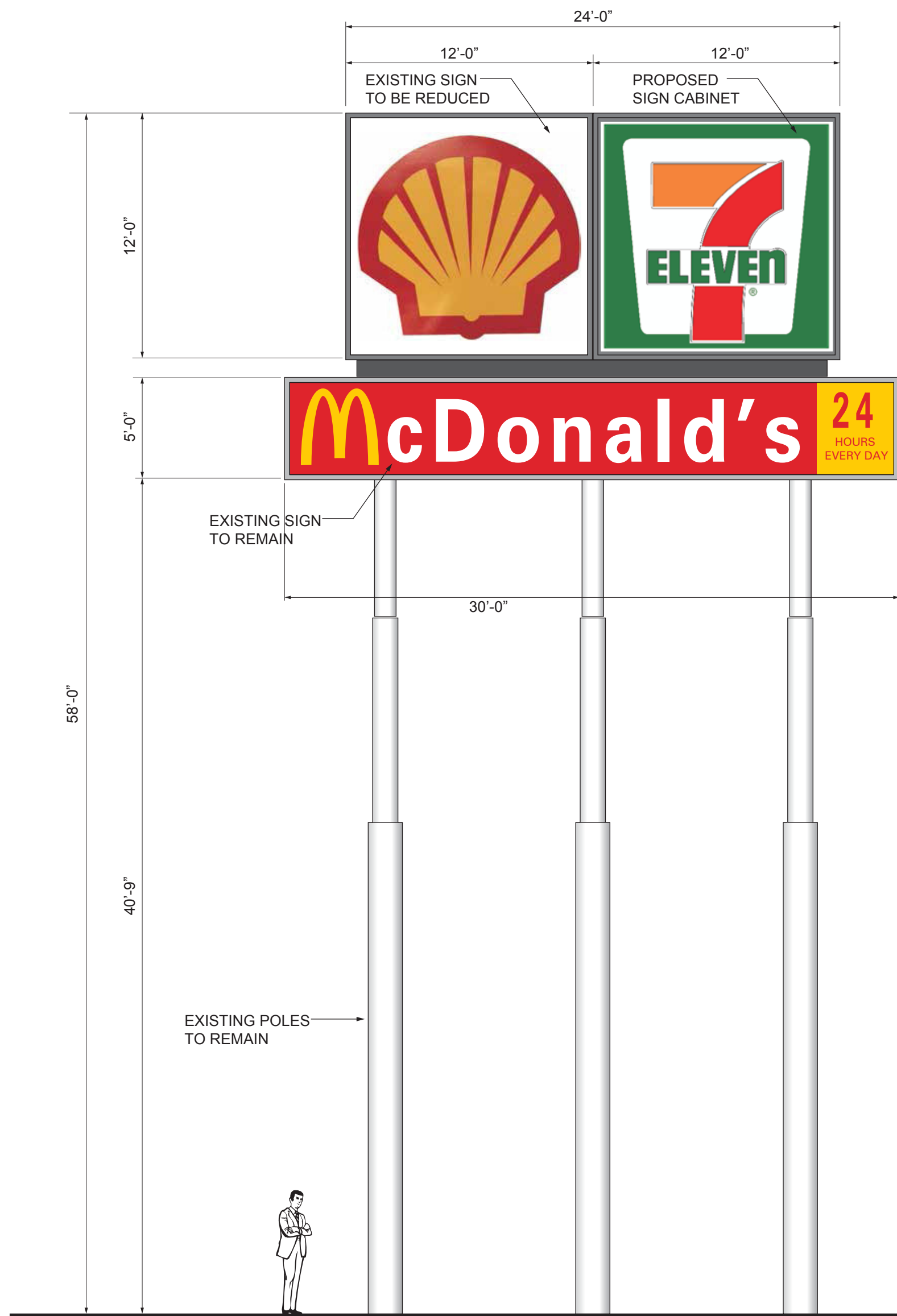


**Photo 1:** Looking northwest from the intersection of S. Lincoln Ave and "D" Street.



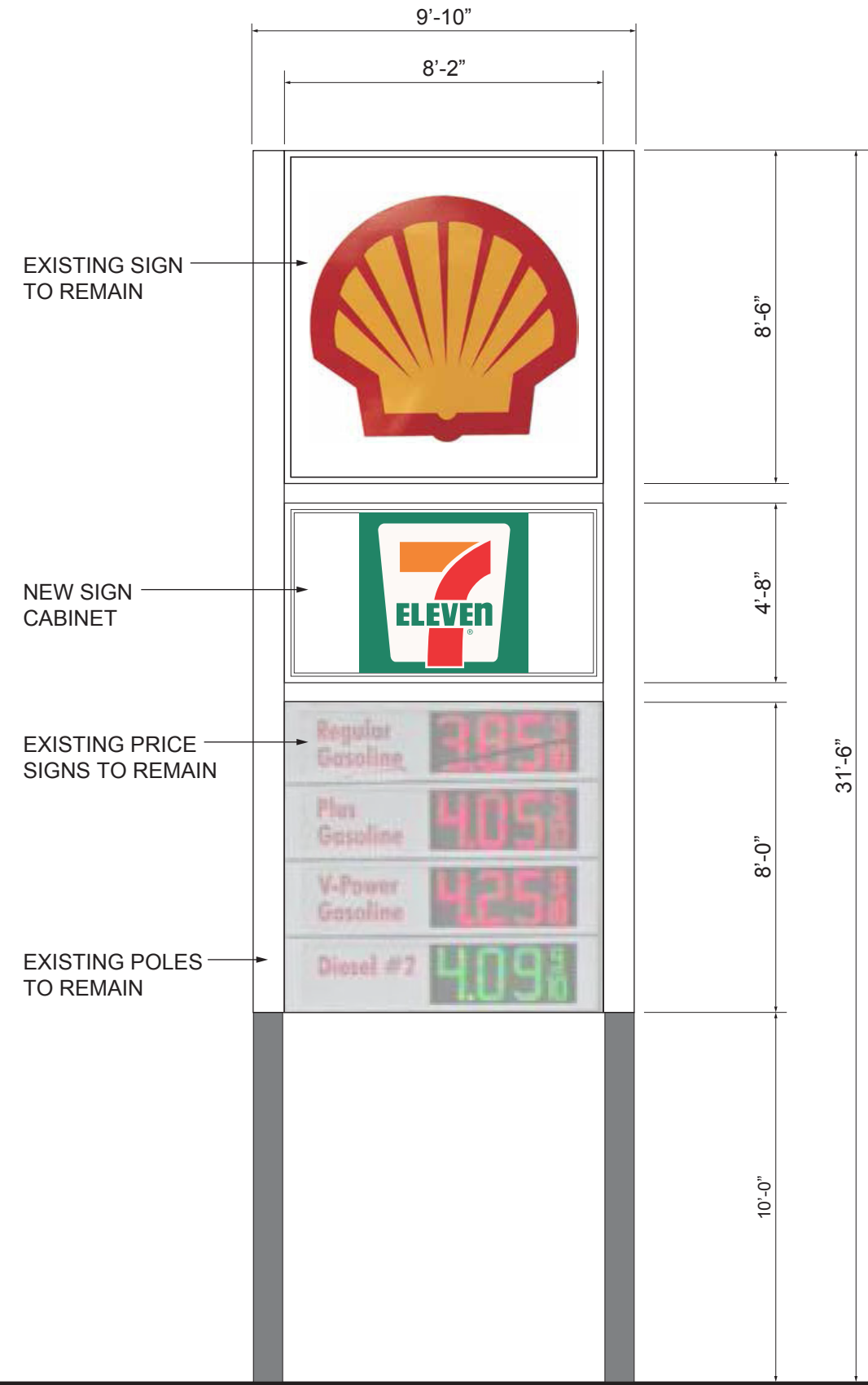
**Photo 14:** Looking west at existing freeway sign from rear parking lot of Scottish Inn & Suites

**EXHIBIT 3.1**



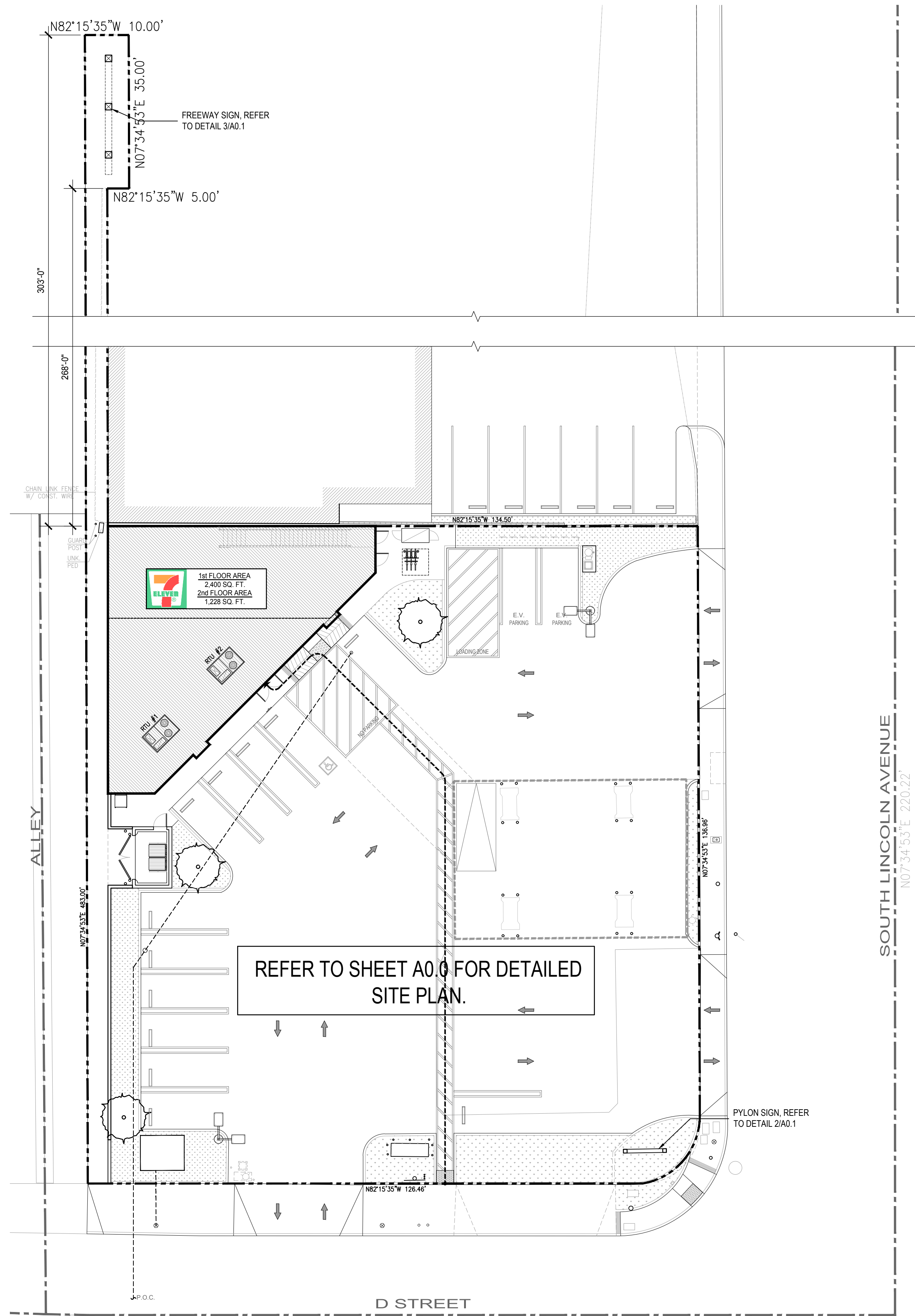
FREEWAY SIGN  
1/4" = 1'-0"

3



PYLON SIGN  
1/4" = 1'-0"

2



AREA PLAN  
1/16" = 1'-0"

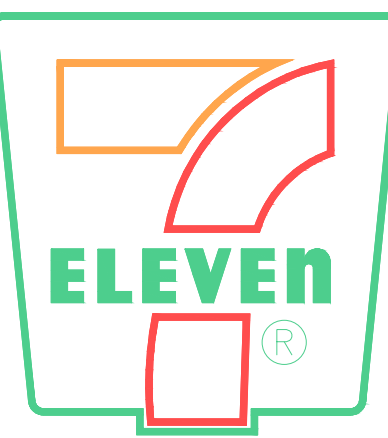
1



5932 Bolsa Avenue, Ste. #107  
Huntington Beach, CA 92649  
T: 714-892-8810  
F: 714-892-8812  
F: 800-342-0507

ASI Development 2006 © expressly reserves all common law copyright and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.

STAMP



PROTO 10-23-2019

PROJECT

230 SOUTH LINCOLN AVENUE  
@ D STREET  
CORONA, CA 92882

DPR2019-0016 | GROUND-UP 2,400 S

#	DATE	REVISION
-	09/14/20	PLANNING REV.

DP # DPR2019-0016

PROJECT # 39435

SCALE AS NOTED

DRAWN JB

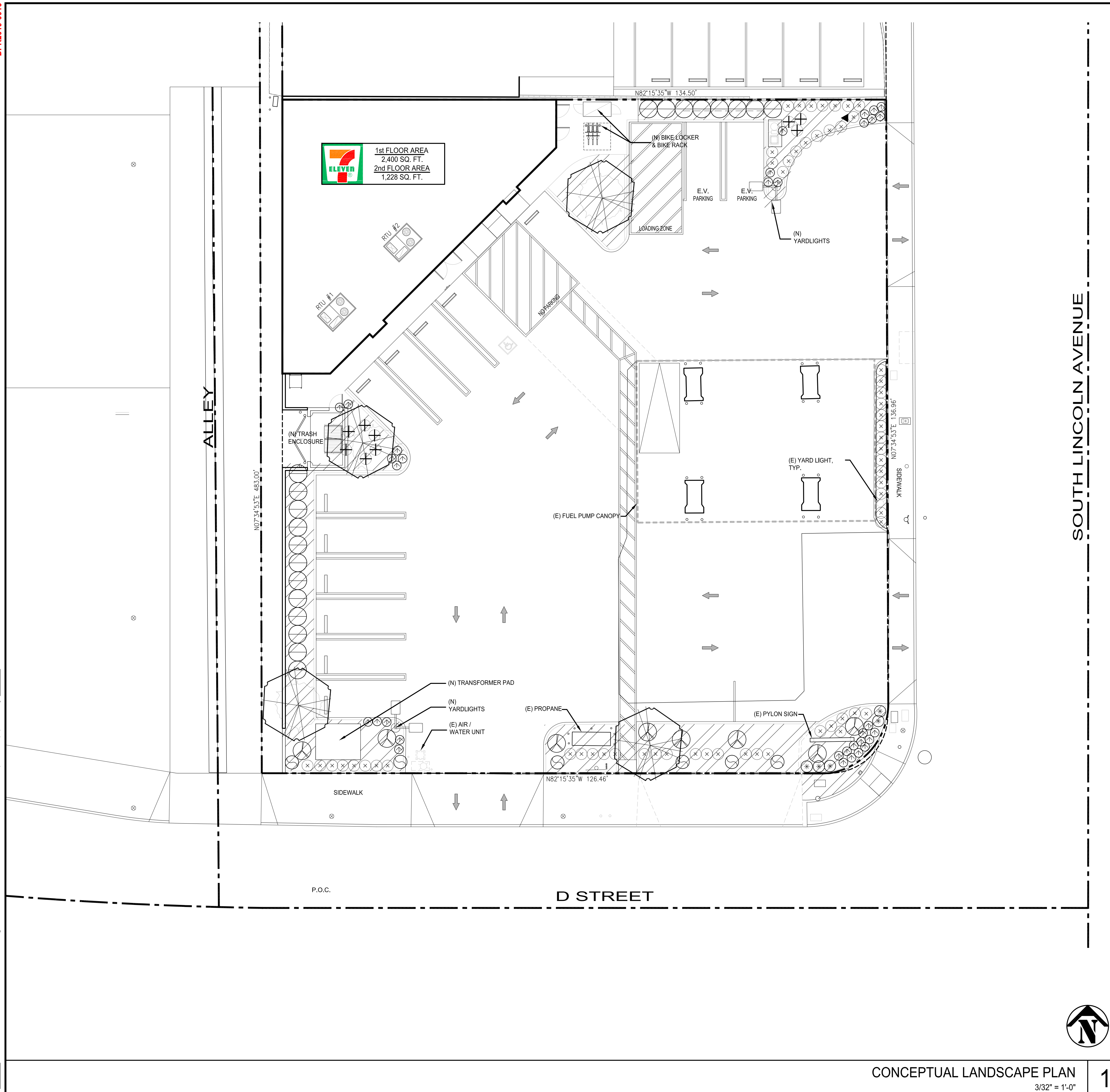
DRAWING TITLE















AREA PLAN,  
SIGN DETAILS

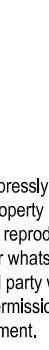
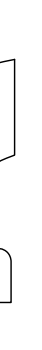
SHEET

A0.1





PLANT LEGEND				
SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MATURE H X W	WATER USE COMMENTS
	TREES: LAGERSTROEMIA 'TUSCARORA' RED CRAPE MYRTLE	4	24" BOX 20" x 9"	MODERATE
	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM	0	20" BTH 25" x 20"	LOW
	RHUS LANCEA AFRICAN SUMAC	0	36" BOX 25" x 25"	LOW
	SHRUBS: CALLISTEMON 'LITTLE JOHN' COMPACT BOTTLEBRUSH	62	15 GALLON 36" x 30"	LOW
	ELAEAGNUS P. 'FRUITLANDII' SILVERBERRY	26	15 GALLON 6" x 4"	LOW
	HEMEROCALLIS 'STELLA D'ORO' YELLOW DAYLILY	37	15 GALLON 24" x 24"	MODERATE
	LEPTOSPERMUM S. 'SNOW WHITE' NEW ZEALAND TEA TREE	3	15 GALLON 4" x 4"	LOW
	MUHLENBERGIA RIGENS DEER GRASS	6	15 GALLON 30" x 30"	LOW
	PHORMIUM T. 'AMAZING RED' NEW ZEALAND FLAX	9	15 GALLON 3" x 3"	LOW
	ROSA F. 'ICEBERG' WHITE FLORIBUNDA ROSE	5	15 GALLON 30" x 30"	MODERATE
	SALVIA LEUCANTHA MEXICAN BUSH SAGE	7	15 GALLON 3" x 3"	LOW
	WESTRINGIA F. 'SMOKEY' COAST ROSEMARY	0	15 GALLON 4" x 4"	LOW
	VINES: PARTHENOCISSUS TRICUSPIDATA BOSTON IVY	1	15 GALLON	MODERATE
GROUNDCOVERS:				
	CARISSA M. 'GREEN CARPET' PROSTRATE NATAL PLUM		1 GALLON @ 30" O.C.	MODERATE (THORNS TO DETER LOITERING)
	PYRACANTHA C. 'LOW BOY' PROSTRATE FIRETHORN		1 GALLON @ 5' O.C.	LOW (THORNS TO DETER LOITERING)
NOTES:				
PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH. AREAS OF GROUNDCOVER PLANTED FROM FLATS SHALL BE MULCHED WITH A ONE AND ONE HALF INCH (1 1/2") MINIMUM LAYER OF ORGANIC WOOD MULCH.				
LINEAL 'DEEP ROOT' BARRIERS, 24" DEEP ARE REQUIRED WHEN TREE IS WITHIN 5' OF PAVING/CURB/HARDSCAPE.				
REDUCE VISIBILITY OF WATER METERS, BACKFLOW PREVENTORS AND UTILITY CABINETS WITH LANDSCAPING.				
IRRIGATION WILL BE BY DRIPLINE WITH A WEATHER BASED AUTOMATIC CONTROLLER.				
MAXIMUM APPLIED WATER ALLOWANCE:				
(45.0)(0.62)(0.45 x 2,012) = 25,261 G.P.Y.				
TOTAL LANDSCAPE AREA = 2,012 SQ. FT.				

 <p><b>ASI DEVELOPMENT</b> ARCHITECTURE • ENGINEERING • LANDSCAPE ARCHITECTURE</p>		
5932 Bolsa Avenue, Ste. #107 Huntington Beach, CA 92649		
T:	714-892-8810	
	714-892-8812	
F:	800-342-0507	
ASI Development 2006 © expressly reserves all common law copyrights and property right in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of ASI Development.		
STAMP		
3/9/21		
		
<b>PROTO 10-23-2019</b>		
PROJECT		
<div style="writing-mode: vertical-rl; transform: rotate(180deg);">             230 SOUTH LINCOLN AVENUE @ D STREET CORONA, CA 92882           </div> <div style="position: absolute; right: 0; writing-mode: vertical-rl; transform: rotate(180deg);">             DPR2019-0016   GROUND-UP 2,400 S           </div>		
#	DATE	REVISION
-	09/14/20	PLANNING REV.
DP #	<b>DPR2019-0016</b>	
PROJECT #	<b>39435</b>	
SCALE		
DRAWN		
DRAWING TITLE		
<h1 style="margin: 0;">CONCEPTUAL LANDSCAPE PLAN</h1>		
SHEET		
<h1 style="margin: 0;">L1.0</h1>		

# APPLICATION SUPPLEMENTAL

230 S. Lincoln Ave., Corona, CA

Updated: December 29, 2020

## APPLICATION REQUEST:

The applicant is requesting approval of a Major Precise Plan Modification pursuant to Chapter 17.91 of Title 17 of the Corona Municipal Code ("CMC") to demolish an existing 1-story 2,056 sq. ft. convenience store associated with an existing Shell gas station and to replace it with a new 2,400 sq. ft. convenience store with a partial 2-story consisting of 1,228 sq. ft. of general office space.

The applicant is also requesting approval to add signage to the existing legal non-conforming multi-tenant freeway sign previously approved for a total of 461 sq. ft. by Variance no. V77-04. The existing Shell cabinet sign will be reduced in size to 12 ft. x 12 ft. and the proposed 7-Eleven sign cabinet will measure 12 ft. x 12 ft. so that the aggregate square footage of all the signage does not exceed the previously approved 461 square feet. The existing McDonald's sign cabinet will also be repositioned so as to be centered on the three (3) existing support structures.

## SUBJECT PROPERTY / EXISTING CONDITIONS AND ENTITLEMENTS:

The subject property is in the C-3 General Community Commercial Zone and is located on the northwest corner of Lincoln Avenue and "D" Street and consists of one (1) irregular-shaped parcel approximately 0.5 acres in size with approximately 136 linear feet of frontage on Lincoln Avenue and approximately 126 linear feet of frontage on "D" Street. The subject property is developed with a Shell gas station consisting of a fueling canopy with four (4) Multi-Product Dispensers (MPD's), underground fuel storage tanks located near the street corner and a 2,056 sq. ft. convenience store licensed by the State Department of Alcoholic Beverage Control (ABC) to engage in the off-sale of beer and wine.<sup>1</sup> The subject property is also developed with an asphalt surface parking lot with minimal landscaping and a 32-ft. tall 2-leg free-standing fuel pricing and business identification sign at the street corner.

The subject property also has a 5-ft. wide strip of land along the westerly property line that extends north towards State Hwy 91 and terminates in a 10-ft. wide x 30-ft long area that is developed with an on-premise 55-ft. – 6-inch tall freeway sign currently shared by Shell and McDonald's. The freeway sign was originally approved circa 1965 for a 204 sq. ft. Texaco sign along with a Variance to exceed the height limit. The City later approved Conditional Use Permit (CUP-77-10) and Variance (V-77-04) circa 1978 to add a double-faced McDonald's sign consisting of 257 sq. ft. per sign face for a total aggregate sign area of 461 square feet.

---

<sup>1</sup> ABC Type-20 License no. 416101 currently active and transferred from License no. 135777 having an original issue date of Mar. 15, 1983

There are no records of a prior Conditional Use Permit approval for the off-sale of alcoholic beverages for the subject property. It is the applicant's understanding that the ABC license origination date of March 15, 1983 for license no 135777 (now license no. 416101) pre-dates the City's requirement for approval of a Conditional Use Permit for retail establishments engaged in the off-sale of alcoholic beverages in the C-3 General Community Commercial Zone.

**SURROUNDING ZONES:**

North: C-3 General Community Commercial  
South: C-3 General Community Commercial  
East: State Hwy 91 on-ramp and off-ramps with C-3 General Community Commercial beyond  
West: 20-ft. wide public alley with R-3 Multiple Family Residential beyond

**SURROUNDING LAND USES:**

North: Scottish Inn & Suites  
South: McDonald's  
East: State Hwy 91 on-ramps and off-ramps  
West: 20-ft. wide public alley with multi-family residential beyond

**PRECISE PLAN MODIFICATION REQUIRED FINDINGS – SECTION 17.91.070:**

***A. The proposal is consistent with the Corona General Plan;***

The subject property is zoned C-3 General Community Commercial, which is consistent with the General Plan land use designation. "Automobile Service Stations" are a permitted use in the C-3 zone and "Convenience stores" with the off-sale of alcoholic beverages are a conditionally permitted use in the C-3 zone.

***B. The proposal complies with the zoning ordinance, other applicable provisions of the Corona Municipal Code and, if applicable, the South Corona Community Facilities Plan or Specific Plans;***

Please see attached code compliance matrix.

***C. The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed;***

The project qualifies as an exempt project under Section 15322 (In-Fill Development Projects) of the California Environmental Quality Act (CEQA) guidelines.

- D. The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking, and other physical features of the proposal;*

The applicant is requesting approval of a Major Precise Plan Modification pursuant to Chapter 17.91 of Title 17 of the Corona Municipal Code ("CMC") to demolish an existing 1-story 2,056 sq. ft. convenience store associated with an existing Shell gas station and to replace it with a new 2,400 sq. ft. convenience store with a partial 2-story consisting of 1,228 sq. ft. of general office space. The subject property is 21,780 sq. ft. in size and fronts on a secondary arterial street and a collector street with existing points of ingress and egress. The proposed site plan complies with the City's minimum landscaping, parking, and setback requirements. Please see attached code compliance matrix.

- E. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses;*

The primary use of the subject property has been a gasoline service station and convenience store for several decades and it has operated without any issues or concerns with the adjoining Scottish Inn & Suites to the north and the existing multi-family residential located across the public alley to the west. There also have not been any issues of compatibility with the McDonalds to the south. The proposed new convenience store, revised site plan, landscaping and parking as well as the proposed decorative block wall along the westerly property line will refresh the property with new aesthetically pleasing architecture, landscaping and screening.

- F. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood and will provide for the harmonious, orderly and attractive development of the site;*

The proposed convenience store will be located towards the northwest corner of the property in a "Homeplate" configuration with the storefront oriented towards the street corner. The building elevations will incorporate various architectural design elements including but not limited to a varying roofline, a prominent entrance with stone veneer, decorative wall lighting and an aluminum awning. The proposed stucco paint color scheme juxtaposed with the stone veneer and aluminum awning along with new landscaping will also be attractive and enhance the visual character of the area. In addition, the proposed partial 2<sup>nd</sup> story will abut the adjoining 3-story Scottish Inn & Suites building which is in keeping with the existing size and scale of development.

- G. The design of the proposed development would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture and color that will remain aesthetically appealing and will retain a reasonably adequate level of maintenance;*

The proposed convenience store will be located towards the northwest corner of the property in a "Homeplate" configuration with the storefront oriented towards the street corner. The building elevations will incorporate various architectural design elements including but not limited to a varying roofline, a prominent entrance with stone veneer, decorative wall lighting and an aluminum awning. The proposed stucco paint color scheme juxtaposed with the stone veneer and aluminum awning along with new landscaping will also be attractive and enhance the visual character of the area. In addition, the proposed partial 2<sup>nd</sup> story will abut the adjoining 3-story Scottish Inn & Suites building which is in keeping with the existing size and scale of development.

- H. The proposed development is compatible with and enhances the design of existing buildings and other physical features of the site.*

The proposed replacement convenience store, off-street parking, landscaping, and trash enclosure are in harmony with the existing underground fuel storage tanks, as well as with the existing fuel canopy and gasoline pumps which will remain. The proposed site plan has also been fully vetted with Planning Staff and the various City departments through the Development Plan Review application process.





## CITY OF CORONA

### PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

#### Name, Description and Location of Project:

**PPM2020-0004:** A precise plan modification application to replace an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store, reconfigure the parking lot and landscaping, and new signage for an existing Shell gas station located at 230 S. Lincoln Avenue in the C-3 (General Community Commercial) zone.

#### Entity or Person Undertaking Project:

- ☐ A. Public Agency:
- ☒ B. Other (private): Adan Madrid  
ASI Development  
5932 Bolsa Avenue, Suite 107  
Huntington Beach, CA 92649

#### Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
- ☐ B. The project is a Ministerial Project.
- ☐ C. The project is an Emergency Project.
- ☐ D. The project constitutes a feasibility or planning study.
- ☒ E. The project is categorically exempt: **Class 1 Categorical Exemption under CEQA Section 15301 (Existing Facilities)** because the project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store, a reconfiguration of the parking lot and landscaping, and new signage. The activity is not expected to result in any impacts to the environment.
- ☐ F. The project is a statutory exemption:
- ☐ G. The project is otherwise exempt on the following basis:
- ☐ H. The project involves another public agency which constitutes the lead agency. Name of Lead Agency:

Date: \_\_\_\_\_

\_\_\_\_\_  
Lupita Garcia, Associate Planner  
Lead Agency Representative



## NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF  
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA  
COMMUNITY DEVELOPMENT DEPARTMENT  
400 S. VICENTIA AVE, SUITE 120  
CORONA, CA 92882

1. Project title: PPM2020-0004
2. Project location (specific): 230 S. Lincoln Avenue Corona, CA 92882 Assessor's Parcel Number: 118-171-050
3. a. Project location - City of Corona  
b. Project location - County of Riverside
3. Description of nature, purpose and beneficiaries of project:

**PPM2020-0004:** A precise plan modification application to replace an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store, reconfigure the parking lot and landscaping, and new signage for an existing Shell gas station located at 230 S. Lincoln Avenue in the C-3 (General Community Commercial) zone.

5. Name of public agency approving project: City of Corona
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:

a. Adan Madrid, ASI Development, 5932 Bolsa Avenue, Suite 107, Huntington Beach, CA 92649

7. Exempt Status (check one):
  - a. ☐ Ministerial Project (Pub. Res. Code § 21080(b)(1);
  - b. ☐ Not a project.
  - c. ☐ Emergency project (Pub. Res. Code § 21080(b)(4);
  - d. ☒ **Categorical Exemption. State type and class number: **Class 1 Categorical Exemption Under CEQA Section 15301 (Existing Facilities)** because the project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store, a reconfiguration of the parking lot and landscaping, and new signage. The activity is not expected to result in any impacts to the environment.**
  - e. ☐ Declared Emergency (Pub. Res. Code § 21080(b)(3);
  - f. ☐ Statutory Exemption. State code section number
  - g. ☐ Other: Explain:

8. Reasons why the project is exempt: PPM2020-0004 qualifies under review for Class 1 Categorical Exemption under CEQA Section 15301 (Existing Facilities) because the project consists of replacing an existing 2,056 square foot convenience store with a new 3,628 square foot convenience store, a reconfiguration to the parking lot and landscaping, and new signage for an existing Shell gas station.
9. Contact Person/Telephone No.: Lupita Garcia / (951) 736-2293
10. Attach Preliminary Exemption Assessment (Form "A") before filing:

Date received for filing: \_\_\_\_\_

Signature: \_\_\_\_\_  
Lupita Garcia, Associate Planner  
Lead Agency Representative



# City of Corona

*400 S. Vicentia Ave.  
Corona, CA 92882*

## **Planning and Housing Commission Minutes - Draft**

**Monday, June 21, 2021**

**Council Chambers - 6:00 p.m.**



**Craig Siqueland, Chair  
Karen Alexander, Vice Chair  
Diana Meza, Commissioner  
Bridget Sherman, Commissioner  
Matt Woody, Commissioner**

## ROLLCALL

**Present** 5 - Vice Chair Karen Alexander, Chair Craig Siqueland, Commissioner Diana Meza, Commissioner Bridget Sherman, and Commissioner Matt Woody

## CALL TO ORDER

Chair Siqueland called the meeting to order.

## PLEDGE OF ALLEGIANCE

Vice Chair Alexander led the Pledge of Allegiance.

## COMMUNICATIONS FROM THE PUBLIC

None.

## MEETING MINUTES

**These minutes were approved.**

1. Approval of minutes for the Planning and Housing Commission meeting of Monday, May 24, 2021.

**Attachments:** [Planning and Housing Commission minutes - DRAFT](#)

**A motion was made by Vice Chair Alexander, seconded by Commissioner Sherman, that these minutes be approved. The motion carried by the following vote:**

**Aye:** 4 - Vice Chair Alexander, Commissioner Meza, Commissioner Sherman, and Commissioner Woody

**Abstain:** 1 - Chair Siqueland

## CONSENT ITEMS

None.

## PUBLIC HEARINGS

2. **PPM2020-0004:** A precise plan modification to demolish an existing 2,056 square foot convenience store and construct a new 3,628 square foot convenience store, reconfigure the parking lot and landscaping, and add new signage for an existing Shell gas station located at 230 S. Lincoln Avenue in the C-3 (General Community Commercial) zone. (Applicant: Adan Madrid with ASI Development, 5932 Bolsa Avenue, Suite 107, Huntington Beach, CA 92649).

**Attachments:** [Staff Report](#)[Exhibit 1 - Resolution No. 2570](#)[Exhibit 2 - Locational Zoning Map](#)[Exhibit 3.A - Site Plan](#)[Exhibit 3.B - Conditions of Approval](#)[Exhibit 3.C - First Floor Plan](#)[Exhibit 3.D - Second Floor Plan](#)[Exhibit 3.E - Elevations](#)[Exhibit 3.F - Color Street Scape View Rendering](#)[Exhibit 3.G - Roof Plan](#)[Exhibit 3.H - Trash Enclosure Plan](#)[Exhibit 3.I - Photographs of existing & proposed signs](#)[Exhibit 3.J - Conceptual Landscape Plan](#)[Exhibit 3.K - Applicant's letter dated December 29, 2020](#)[Exhibit 4 - Environmental Documentation](#)[Powerpoint Presentation](#)

Lupita Garcia, Associate Planner, reviewed the staff report and exhibits for PPM2020-0004.

Discussion ensued between city staff, the Commissioners and applicant, Adan Madrid with ASI Development, regarding set backs on the north and west side of the building, public safety, use of the second floor, the freeway sign cabinets and aesthetics, designated employee parking, the roof line of the gas station, and the trash enclosure. The applicant stated he is open to discussing modifications. Commissioner Woody expressed his concern with the safety of the residential apartment complex located west of the project, conversations he had with apartment residents, and materials stored at the rear of the gas station. He requested that lighting and surveillance cameras be added to the alleyway to keep nearby residents safe.

Joe Morgan, resident, expressed his concern about not seeing a second floor elevator, specifically related to accessibility improvements. He would like to see old freeway signs brought up to current design standards.

**A motion was made Commissioner Woody to continue the item to the first meeting in August. Motion did not receive a second. An alternative motion was made by Commissioner Meza, seconded by Chair Siqueland, that the Planning and Housing Commission adopt Resolution No. 2570 granting PPM2020-0004 based on the findings contained in the staff report and conditions of approval, with the added conditions #16, #17, #18, #19, #20, #21 and #22 under the Planning Division that state: At the time of building permit plan check submittal, the applicant shall submit a photometric analysis to ensure that the property has adequate exterior lighting for security purposes; The applicant shall submit a security camera plan for the exterior of the property to the Community Development Department for review; the**

second-floor office area shall be restricted to staff and employees associated with the convenience store and gas station and shall not be sublet to another tenant or any other use; The applicant shall enhance the upper portion of the building's façade with an additional feature to create a break in the design of the flat roof line; Prior to receiving a final on the sign permit, the applicant shall encase or frame the overall display area for the freeway sign, and the frame shall fill in the space on both sides of the Shell and 7-11 sign cabinets to meet the width of the McDonald's sign cabinet, to create a more uniform look for the display area; Prior to receiving a final on the sign permit, the applicant shall refinish and repaint the freeway sign poles; prior to receiving a final on the sign permit, the applicant shall install security fencing around the base of the freeway sign to control unwanted access to the sign poles; the trash enclosure gates shall not open or encroach into the alley, and per the trash enclosure exhibit provided in the staff report, the trash enclosure shall be fully enclosed to prevent openings to prevent loitering, dumping and camping. The motion carried by the following vote:

**Aye:** 4 - Vice Chair Alexander, Chair Siqueland, Commissioner Meza, and Commissioner Sherman

**Nay:** 1 - Commissioner Woody

## WRITTEN COMMUNICATIONS

None.

## ADMINISTRATIVE REPORTS

### 3. Housing Element Update 2021-2029 Draft Document

**Attachments:** [Staff Report](#)

[Housing Element Update 2021-2029 Draft](#)

[Powerpoint Presentation](#)

Joanne Coletta, Director, presented a report on the Housing Element Update for the planning period of 2021-2029. Discussion ensued with the Commissioners in regards to how the locations are chosen for housing and potential rezoning.

Joe Morgan, resident, expressed that housing should be more spread out throughout the city, not just near public transportation.

## PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

## ADJOURNMENT

Chair Siqueland adjourned the meeting at 7:57 p.m. to the Planning and Housing Commission meeting of Monday, July 12, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.

