

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Meeting Agenda

Monday, October 11, 2021

Council Chambers - 6:00 p.m.



Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner

CALL TO ORDER

PLEDGE OF ALLEGIANCE

COMMUNICATIONS FROM THE PUBLIC

Persons wishing to address the Planning and Housing Commission are requested to state their name for the record. This portion of the agenda is intended for public comment. State law prohibits the Planning and Housing Commission from discussing or taking action on items not listed on the agenda. The Planning and Housing Commission will appreciate your cooperation in keeping your comments brief. Please observe a three minute limit to communications.

MEETING MINUTES

1. **MINUTES** - [Approval of minutes for the Planning and Housing Commission meeting of August 23, 2021.](#)

Attachments: [08232021 - Planning and Housing Comm minutes - DRAFT](#)

CONSENT ITEMS

(Items listed below are not advertised as public hearings.)

2. **CONSENT CALENDAR** - [PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 \(PP2018-0005\) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. \(Applicant: Greg Gill\).](#)

That the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the finding contained in the staff report.

Attachments: [Staff Report](#)
[Exhibit 1 - Resolution No. 2576](#)
[Exhibit 2 - Locational and Zoning Map](#)
[Exhibit 3.A - Staff Report for PP2018-0005](#)
[Exhibit 3.B - Site Plan, approved August 26, 2019](#)
[Exhibit 3.C - Conditions of Approval](#)
[Exhibit 3.D - Applicant's letter, dated July 29, 2021](#)

3. **CONSENT CALENDAR** - [PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. \(Applicant: Aaron Packard\)](#)

That the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the finding contained in the staff report.

Attachments:

[Staff Report](#)

[Exhibit 1 - Resolution No. 2579](#)

[Exhibit 2 - Locational & Zoning Map](#)

[Exhibit 3.A - Staff Report for PPM2019-0005](#)

[Exhibit 3.B - Site Plan, Approved January 21, 2020](#)

[Exhibit 3.C - Conditions of Approval](#)

[Exhibit 3.D - Letter Submitted by KWC Engineers on behalf of the Applicant](#)

PUBLIC HEARINGS

(Items listed below are advertised as public hearings requiring review by the Planning and Housing Commission.)

4. **PUBLIC HEARING** - [GPA2021-0001: General Plan Housing Element Update for Planning Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. \(Applicant: City of Corona\)](#)

That the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environmental Impact Report (SCH#2018081039) and APPROVAL of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029.

Attachments:

[Staff Report](#)

[Exhibit 1 - Resolution No. 2578](#)

[Exhibit 2 - Housing Element Update Draft 2021-2029](#)

[Exhibit 3- Housing Programs Revised Redlined Version](#)

[Exhibit 4 - General Plan EIR Addendum](#)

5. **PUBLIC HEARING** - [PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial \(EC\) designation of the Dos Lagos Specific Plan \(SP99-03\). \(Applicant: Griffin Hauptert of Griffco Land, LLC.\)](#)

That the Planning and Housing Commission recommend adoption the Mitigated Negative Declaration and Mitigation Monitoring Plan and APPROVAL of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval.

Attachments:

[Staff Report](#)

[Exhibit 1 - Locational and Zoning Map](#)

[Exhibit 2.A - Parcel Map](#)

[Exhibit 2.B - Conditions of Approval](#)

[Exhibit 2.C - Site Plan](#)

[Exhibit 2.D - Applicant's letter dated October 7, 2020](#)

[Exhibit 3 - Environmental Documentation](#)

6. **PUBLIC HEARING** - [PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial \(EC\) designation of the Dos Lagos Specific Plan \(SP99-03\). \(Applicant: Griffin Hauptert of Griffco Land, LLC.\)](#)

That the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 APPROVING PP2020-0006 based on the findings contained in the staff report and conditions of approval.

Attachments:

[Staff Report](#)

[Exhibit 1 - Resolution No. 2575](#)

[Exhibit 2 - Locational and Zoning Map](#)

[Exhibit 3.A - Site Plan](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Parcel Map](#)

[Exhibit 3.D - Grading Plan](#)

[Exhibit 3.E - Elevations for Building 1](#)

[Exhibit 3.F - Elevations for Building 2](#)

[Exhibit 3.G - Floor Plan](#)

[Exhibit 3.H - Signage](#)

[Exhibit 3.I - Conceptual Landscape Plan](#)

[Exhibit 3.J - Applicant's letter dated October 7, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

7. **PUBLIC HEARING** - [V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. \(Applicant: Ralph Cervantes of Pettit Engineering\)](#)

That the Planning and Housing Commission adopt Resolution No. 2577 GRANTING V2021-0001, based on the findings contained in the staff report and conditions of approval.

Attachments:

[Staff Report](#)

[Exhibit 1 - Resolution No. 2577](#)

[Exhibit 2- Locational & Zoning Map](#)

[Exhibit 3.A - Site Plan & Patio Details](#)

[Exhibit 3.B - Conditions of Approval](#)

[Exhibit 3.C - Photographs of the site and vicinity](#)

[Exhibit 3.D - Applicant's letter dated September 20, 2021](#)

[Exhibit 4 - Environmental Documentation](#)

WRITTEN COMMUNICATIONS

ADMINISTRATIVE REPORTS

Report by Director, Joanne Coletta

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

ADJOURNMENT

The next meeting of the Planning and Housing Commission is scheduled for Monday, October 25, 2021, commencing at 6:00 p.m. in the City Council Chambers, 400 S. Vicentia Avenue.

Corona City Hall Online, All the Time- www.CoronaCA.gov

NOTICE TO THE PUBLIC:

If you challenge any items on the agendas in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning and Housing Commission at or prior to this public hearing.

Agendas for all Planning and Housing Commission meetings are posted at least 72 hours prior to the meeting in the entry way at City Hall. A complete agenda packet is available for public inspection during business hours at the Planning & Development Department. Any materials relating to an item on the agenda which are distributed to all, or majority of all, members of the Planning and Housing Commission after the posting of the agenda will also be available at the same time for public inspection during business hours at the Planning & Development Department.

Written communications from the public for the agenda must be received by the Planning & Development Department seven (7) days prior to the Planning and Housing Commission meeting. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the ADA Coordinator at (951) 736-2235. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

MEETING IS BEING RECORDED

City of Corona

*400 S. Vicentia Ave.
Corona, CA 92882*

Planning and Housing Commission Minutes - Draft

Monday, August 23, 2021

Council Chambers - 6:00 p.m.



**Craig Siqueland, Chair
Karen Alexander, Vice Chair
Diana Meza, Commissioner
Bridget Sherman, Commissioner
Matt Woody, Commissioner**

ROLLCALL

Present 5 - Vice Chair Karen Alexander, Chair Craig Siqueland, Commissioner Diana Meza, Commissioner Bridget Sherman, and Commissioner Matt Woody

CALL TO ORDER

Chair Siqueland called the meeting to order.

PLEDGE OF ALLEGIANCE

Vice Chair Alexander led the Pledge of Allegiance.

COMMUNICATIONS FROM THE PUBLIC

None.

MEETING MINUTES

These minutes were approved.

1. [21-0782](#) Approval of minutes for the Planning and Housing Commission meeting of July 12, 2021.

Attachments: [07122021 - Planning and Housing Commission minutes - DRAFT](#)

A motion was made by Commissioner Sherman, seconded by Vice Chair Alexander, that these Minutes be approved. The motion carried by the following vote:

Aye: 5 - Vice Chair Alexander, Chair Siqueland, Commissioner Meza, Commissioner Sherman, and Commissioner Woody

CONSENT ITEMS

2. [21-0783](#) Review of Steadfast River Run, L.P. request to the Corona Housing Authority to consent to the sale of the River Run Senior Apartments to Avanath River Run, LP. (Applicant: Steadfast River Run, L.P.)

Attachments: [Staff Report](#)

[Exhibit 1 - Location Map](#)

[Exhibit 2 - Assignment of Amended and Restated Affordable Housing Agreement](#)

[Exhibit 3 - Assignment of Regulatory Agreement](#)

[Exhibit 4 - Subordination Agreement](#)

Vice Chair Alexander asked to pull the item from the Consent Calendar.

Cynthia Lara, Administrative Services Manager, reviewed the staff report and exhibits

for the Steadfast request to sell the River Run Senior Apartment project to Avanath River Run, L.P.

Discussion ensued between city staff, Commissioners and the applicant's representatives, Connor Mortland and Nick Dunlap. Vice Chair Alexander asked questions about maintaining affordability for the residents from one owner to the next, future improvements and expressed her concerns with landscape. Commissioner Woody asked questions regarding the existing loan balance and about the applicant purchasing more properties like the River Run Senior Apartments. He also shared his support for the applicant. Commissioner Meza asked the applicant to clarify that there will be no increase of rental cost after the new renovations are made. The applicant representatives clarified that they invest in tenant upgrades for asset preservation purposes, and rent increases/decreases for affordable units are dictated by HUD's annual income criteria.

A motion was made by Commissioner Woody, seconded by Vice Chair Alexander, that the Planning and Housing Commission recommend approval of Steadfast River Run, L.P. request to sell the River Run Senior Apartment project to Avanath River Run, L.P. The motion carried by the following vote:

Aye: 5 - Vice Chair Alexander, Chair Siqueland, Commissioner Meza, Commissioner Sherman, and Commissioner Woody

PUBLIC HEARINGS

3. [21-0744](#) HRLM2021-0001: Application to nominate a home, built in 1928 and located at 1205 Palm Avenue, as an Historic Landmark on the Corona Register of Historic Resource. (Applicant: Steve and Beata Bizal)

Attachments: [Staff Report](#)

[Exhibit 1 - Locational and Zoning Map](#)

[Exhibit 2.A - Statement of Architectural Significance](#)

[Exhibit 2.B - Statement of Historical Significance](#)

[Exhibit 2.C - 2021 Photographs of Subject Property](#)

[Exhibit 3 - Environmental Documentation](#)

[Power Point Presentation](#)

Rafael Torres, Assistant Planner, reviewed the staff report and exhibits for HRLM2021-0001.

Discussion ensued with city staff, Commissioners and the applicant, Steve Bizal. Commissioner Sherman asked if the addition made to the home in 2009 would be a part of the historical features. Jay Eastman, Planning Manager, explained that the addition is not a contributing factor for the home to be nominated as a historical structure, and therefore the additions are not historic. However, the additions could become historic over time. The Commission asked, and staff clarified, that all future

work to the property would need to be designed in a manner that is consistent with the character of the landmark structure. Chair Siqueland read three written comments from the public. One letter was submitted via email from Jose Flores, who was opposed to the approval. Two letters were received prior to the start of the meeting from John & Margaret Johnson and Georgia Lambert Randall, both in favor of the approval. Steve Bizal, the applicant, expressed his love for his home, the unique structure and architect work. Mr. Bizal responded to concerns from his neighbor. The Commissioners shared their admiration for the home. Vice Chair Alexander expressed concern with landscaping obscuring the house. Chair Siqueland asked that the City's heritage inventory records be revised to clarify that the residence was constructed in 1928.

A motion was made by Commissioner Woody, seconded by Commissioner Meza, that the Planning and Housing Commission recommend approval of Historic Resource Landmark 2021-0001 (HRLM2021-0001) to the City Council based on the findings contained in the staff report. The motion carried by the following vote:

Aye: 5 - Vice Chair Alexander, Chair Siqueland, Commissioner Meza, Commissioner Sherman, and Commissioner Woody

WRITTEN COMMUNICATIONS

None.

ADMINISTRATIVE REPORTS

Jay Eastman, Planning Manager, announced that the Planning Division is working on putting together a Study Session for The Planning & Housing Commissioners on Monday September 20, 2021 to discuss the City's parking standards. Mr. Eastman also mentioned that City staff had a meeting with HCD on Monday August 23, 2021 regarding the City's draft Housing Element Update, and staff will be working to make revisions as necessary to meet required deadlines.

PLANNING AND HOUSING COMMISSIONERS' REPORTS AND COMMENTS

None.

ADJOURNMENT

Chair Siqueland adjourned the meeting at 7:17 p.m. to the Planning and Housing Commission meeting of Tuesday, September 7, 2021, commencing at 6:00 p.m. in the City Hall Council Chambers.



Staff Report

File #: 21-0870

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: October 11, 2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PPE2021-0002: Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005) for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street. (Applicant: Greg Gill with Fitness International, LLC, 3161 Michelson Drive, Suite 600, Irvine, CA 92612).

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2576 granting a two-year extension of time for PP2018-0005, based on the finding contained in the staff report.

PROJECT SUMMARY:

PP2018-0005 was approved by the Planning and Housing Commission on August 26, 2019, to allow the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street (Exhibit 2).

Corona Municipal Code (CMC) Section 17.91.110 governs time limits for Precise Plans. Most projects approved by a Precise Plan are required to utilize the permit within two years of its approval. Utilizing a permit is defined as follows:

17.91.110(D)

The permit must be utilized, or if the permit involves a building, construction must be commenced and carried on diligently to completion of at least one usable unit, prior to the expiration of the time limit. If the time limit expires, any privilege, permit or variance granted shall be deemed to have lapsed.

PP2018-0005 was set to expire on August 26, 2021. The applicant, Greg Gill, submitted an initial letter, dated July 29, 2021, requesting that the City extend PP2018-0005 an additional two years. The applicant subsequently submitted application fees, forms and required documents, and the City initiated the request on August 18, 2021. The Planning and Housing Commission has the authority to extend the time limit upon a finding of unavoidable delay; therefore, the expiration of PP2018-

0005 has been tolled until which time the Planning and Housing Commission makes its determination.

The applicant is requesting an extension because the current COVID-19 pandemic has severely impacted the health club industry, creating an unavoidable delay in the construction of the new LA Fitness building. The applicant has stated that a two-year extension will allow the company time to evaluate the impacts of COVID-19, as well as the company's financial strength.

The review and approval of PP2018-0005 included public noticing and public hearings before the Planning and Housing Commission and City Council. The time extension does not require a public hearing or notice to the public, as there are no proposed changes to the project or conditions of project approval.

FINDINGS OF APPROVAL FOR PPE2021-0002

1. In accordance with CMC Section 17.91.110, the Planning & Housing Commission is authorized to extend the time of a precise plan upon the finding of unavoidable delay. The project approved by PP2018-0005 has been unavoidably delayed for the following reason:
 - a. *The current COVID-19 pandemic has severely impacted the health club industry, as health clubs were closed most of the year in 2020, and the re-opening of health clubs was allowed only with capacity restrictions. These unforeseen circumstances have impacted the financial stability of Fitness International, which owns LA Fitness, and has caused a delay in the construction of the new LA Fitness building on Sixth Street; therefore, additional time is necessary for the company to evaluate their current financial situation and allow the applicant to process construction plans with the City, obtain building permits, and construct the project.*

PREPARED BY: LUPITA GARCIA, ASSOCIATE PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2576
2. Locational and Zoning Map
- 3.A Staff Report for PP2018-0005, August 26, 2019
- 3.B PP2018-0005 Site Plan, approved August 26, 2019
- 3.C PP2018-0005 Conditions of Approval
- 3.D Applicant's letter, dated July 29, 2021

Case Planner: Lupita Garcia (951) 736-2262



RESOLUTION NO. 2576

APPLICATION NUMBER: PPE2021-0002

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN EXTENSION APPLICATION REQUESTING A 2-YEAR EXTENSION OF TIME FOR PRECISE PLAN 2018-0005 (PP2018-0005), WHICH WAS ORIGINALLY APPROVED BY THE PLANNING & HOUSING COMMISSION ON AUGUST 26, 2019, FOR THE DEVELOPMENT OF A 37,000 SQUARE FOOT LA FITNESS HEALTH CLUB AND A 9,300 SQUARE FOOT COMMERCIAL PAD LOCATED AT 1415 AND 1435 W. SIXTH STREET IN THE C-3 (GENERAL COMMUNITY COMMERCIAL) ZONE. (APPLICANT: GREG GILL WITH FITNESS INTERNATIONAL, LLC)

WHEREAS, the application to the City of Corona, California, for a Precise Plan Extension under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the Application requesting a 2-year extension of time for Precise Plan 2018-0005 (PP2018-0005), which was originally approved by the Planning & Housing Commission on August 26, 2019, for the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad located at 1415 and 1435 W. Sixth Street in the C-3 (General Community Commercial) zone.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PPE2021-0002 on October 11, 2021, as required by law; and

WHEREAS, the Planning and Housing Commission finds that, pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15060(c), and Section 3.01 of the City of Corona Local Guidelines for Implementing CEQA, the extension of time is not subject to CEQA because it will not result in a direct or reasonably foreseeable indirect physical change in the environment.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to grant a Precise Plan Extension as set forth in Corona

Municipal Code Section 17.91.110(E) do exist in reference to PPE2021-0002, based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PPE2021-0002 on the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this PPE2021-0001, the Planning and Housing Commission has determined that the time extension does not require an environmental assessment because, pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15060(c) and Section 3.01 of the City of Corona Local Guidelines for Implementing CEQA, the extension of time is not subject to CEQA since it will not result in a direct or reasonably foreseeable indirect physical change in the environment.

SECTION 2. Precise Plan Extension Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.110(E) and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. In accordance with CMC Section 17.91.110(E), the Planning & Housing Commission is authorized to extend the time of a precise plan upon the finding of unavoidable delay. The project approved by PP2018-0005 has been unavoidably delayed for the following reason:
 - a. *The current COVID-19 pandemic has severely impacted the health club industry, as health clubs were closed most of the year in 2020, and the re-opening of health clubs was allowed only with capacity restrictions. These unforeseen circumstances have impacted the financial stability of Fitness International, which owns LA Fitness, and has caused a delay in the construction of the new LA Fitness building on Sixth Street; therefore, additional time is necessary for the company to evaluate their current financial situation and allow the applicant to process construction plans with the City, obtain building permits, and construct the project.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan Extension.

Adopted this 11th day of October, 2021.

Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021., and was duly passed and adopted by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAINED:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

LOCATIONAL & ZONING MAP



Date: 09/21/2021

PP2018-0005
1415 and 1435 W. Sixth Street





Staff Report

File #: 19-0737

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 8/26/2019

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

PP2018-0005: A precise plan application to review the site plan and architecture of a 37,000 square foot LA Fitness health club and a 9,300 square foot commercial pad on five acres located north of west Sixth Street and east of Smith Avenue (1415 and 1435 W. Sixth Street) in the C-3 (General Community Commercial) zone. (Applicant: Greg Gill for Fitness International, LLC, 3161 Michelson Drive, Suite 600, Irvine, CA 92612).

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2540 **GRANTING PP2018-0005**, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 5 acres
Existing Zoning: C-3 (General Community Commercial)
Existing General Plan: GC (General Commercial)
Existing Land Use: Vacant lot
Proposed Land Use: Health Fitness Club

Surrounding Zoning/Land Uses:

N: R1-7.2 (Single Family Residential, minimum lot size 7,200 square feet/Single Family residences
E: C-3 (General Community Commercial)/Commercial developments
S: west Sixth Street and C-3 (General Community Commercial)/Commercial Center
W: C-3 (General Community Commercial)/ Commercial Center

BACKGROUND

The project site is 5 acres and currently undeveloped. The Phase I Environmental Site Assessment prepared for the project site by Salem Engineering Group, Inc. (April 19, 2018), provided historical aerial photographs from 1931, which showed the site being used for agricultural purposes along with several structures. In 1961, aerial photographs show several structures and possible motel buildings

on the south and southeast portions of the project site. The eastern portion of the property appears to have residential structures and orchards. By 1975 the residential structures were demolished and by 1989 the motel structures were demolished. Since then the project site has remained undeveloped.

The proposed LA Fitness health club was reviewed by staff as DPR2018-0009 on May 10, 2018. The applicant was advised to do community outreach with the adjacent residential neighborhood to the north located on Pleasant View Avenue. On July 16, 2018, a letter was mailed to the six residential properties located adjacent to the project site (1416, 1420, 1424, 1428, 1432 and 1436 Pleasant View Avenue) to introduce the proposed LA Fitness health club. The letter included an aerial map, the landscape plan for the project and the building's floor plan. Additionally, the letter discussed the construction of a new six-foot high CMU block wall along the shared property line of the project site and residential properties. The wall design along this property line will be a combination of retaining and freestanding block walls due to the slight difference in grade. The retaining wall portions range from zero to four feet high and the freestanding block wall be 6 feet high. Cross-sections and wall details were also included with the letter provided to the residences. On August 13, 2018, the applicant mailed letters to all properties within a 500-foot radius, introducing the project and welcoming any feedback. The applicant received one response via email, which was from the property owner at 1416 Pleasant View Avenue inquiring about the portion of the project site that abuts Pleasant View Avenue, which is the retention area infiltration system. Copies of the letters are attached as Exhibits J-K.

The precise plan application was submitted to the city on September 6, 2018 and reviewed by staff at the Project and Environmental Review Committee meeting on September 20, 2018. The Committee issued an application incomplete letter to the applicant indicating the items necessary to complete the application. The application was eventually determined to be complete in July 2019 and cleared for public hearing before Planning and Housing Commission on August 26, 2019.

PROJECT DESCRIPTION

Site Plan

The project site is comprised of two parcels that were created by a lot line adjustment that merged the previous four parcels on the project site into two. The larger parcel is 3.6 acres and contains the majority of the parking lot and the 37,000 square foot LA Fitness building (Pad A). The smaller parcel 1.4 acres and contains a portion of the parking lot and the future 9,300 square foot commercial pad (Pad B). The site will have reciprocal access and parking that will be shared among the tenants of the center.

The main entrance to the health club is located on the southerly side of the building. The building will be surrounded on all four sides by landscaping, sidewalk and parking spaces. The trash enclosure will be located behind the building on the northeasterly side. At this time, Pad B is anticipated to accommodate a building that can be divided into multiple tenant spaces. The final design of the building will be reviewed by staff in the future once the owner has a user or users for the building.

The C-3 zone requires a front yard setback of 10 feet and a landscape setback of 20 feet in areas adjacent to a residential zone. The LA Fitness health club building will be set back approximately 323 feet from the north (front) property line adjacent to west Sixth Street, 98 feet from the south (rear) property line adjacent to the existing residences, 90 feet from the east property line, and 92 feet from the west property line. Landscape setbacks are also provided at 10 feet along the front and side

property lines, and 20 feet along the rear property line. Based on the site design, the project meets the setbacks required by the zone.

On the northeast corner of the property there is a 35'x107' retention area infiltration system that abuts Pleasant View Avenue to the north. The area will consist of landscaping and hardscape and will capture additional runoff created by the proposed health club project. This area will be secured on all sides with a six-foot high wrought iron fence with an access gate provided from the project site. This area will be maintained in the same manner as the rest of the project site by the owner's management company.

Floor Plan

The LA Fitness health club's floor plan is shown in Exhibit C. The health club features a reception area, an office area, a kid's club, men and women lockers, showers, and restrooms. The fitness areas consist of cardio, circuit, free weights, a high intensity/personal training room, an aerobics room, a cycling room, a basketball room, and a lap pool. The main entrance for all patrons and employees is located on the south side of the building.

Operating Hours

The health club's operating hours will be from 4:00 a.m. to 12:00 a.m., Monday through Thursday, 4:00 a.m. to 10:00 p.m. on Fridays, and 7:00 a.m. to 8:00 p.m. Saturday and Sunday. LA Fitness also adjusts their hours accordingly based on the demand from their patrons and in some cases their locations may operate 24 hours. All operations and activities associated with the health club are done indoors.

Architecture

The building proposed for LA Fitness is a single-story structure with CMU splitface block throughout the majority of the building with a precision block accent stripe on the upmost portion of the building and on the bottom portion of the building. The building's main entrance (south elevation) will incorporate the national prototype design for LA Fitness, including a large glazed opening at the main entrance, flanked by a vertical tower element finished in longboard aluminum siding in a brown color called *Light National Walnut*. The longboard siding is textured with powder coating that will provide long lasting high-quality design for many years with no painting or staining required. The upmost portion of the tower will contain a LA Fitness wall sign. An entry column will also be finished with longboard aluminum siding and will contain the LA Fitness logo.

The south elevation of the building will incorporate six openings with suspending eyebrows finished with a clear anodized aluminum with clear glazing. The sides (west and east elevations) of the building will contain CMU splitface columns to break-up the solid wall appearance. The rear (north elevation) of the building, which faces existing single-family residences will incorporate glass blocks to add visual interest and allow natural light into the building, while at the same time eliminating any views into the existing residential properties as the glass is not see-through. The roofline incorporates a raised building element with skylights to provide additional light into the building.

The colors for the building include various shades of grays with brown and tan accent colors. The height of the building is approximately 35'-5" high which is below the 40-foot height limit established by the C-3 zone. The C-3 zone does not prescribe a specific architectural theme for commercial buildings which allows the proposed building to have architectural variation provided there is compatibility among the color and materials with the commercial buildings in the area. The applicant's

elevations are shown in Exhibit D.

Access, Circulation And Parking

Access to the project site is taken from two proposed driveways on west Sixth Street. The driveways allow full turn movements in and out of the site because of the existing two-way left turn median lane on Sixth Street.

Sixth Street is classified as a four lane mixed-use boulevard on the City's General Plan circulation map. Additionally, the street is fully improved with curb, gutter, parkway, and sidewalk and has an overall width of 80 feet. As part of the project, the applicant is responsible for repairing any curb, gutter, parkway, and sidewalk that needs repair. This typically includes grind and overlay half street plus ten along the property's frontage.

Internal circulation is facilitated by several drive aisles located throughout the site, with the two primary drive aisles located on the south side of the property with access from Sixth Street. Additionally, Pads A and B have reciprocal ingress, egress, and parking rights over all the common areas which include the center's driveways, drive aisles, and parking spaces. The shared use of the common areas is established under the center's CCRs.

Per the Corona Municipal Code, the parking required for retail uses within a commercial center of five acres or more are allowed to use a ratio of one parking space for every 250 square feet of building area (1:250). The parking ratio for a health club is one parking space for every 150 square feet of building area (1:150) and parking for eating establishments is one parking space for every 100 square feet of building area (1:100). The proposed LA Fitness health club requires 247 parking spaces.

Although the future uses for Pad B are unknown the applicant is proposing parking to accommodate a mix of eating establishments and retail uses. Pad B includes 4,200 square feet for retail space and 5,100 square feet for eating establishments. The total parking for Pad B requires 68 parking spaces. Based on the combined uses proposed for the center at this time, a total of 315 parking spaces are required and provided. Table A depicts the parking requirements for the center.

**Table A
Parking Summary**

Use	Square Footage	Parking Ratio	Parking Required	Parking Provided
Pad A				
LA Fitness	37,000	1:150	247	--
Pad B				
Retail	4,200	1:250	17	--
Restaurant	5,100	1:100	51	--
Total Required and Provided			315	315

Landscaping

The applicant will be landscaping Pad A and the portion of Pad B containing parking spaces. As shown in Exhibit F, the applicant's landscape plan illustrates landscaping around the LA Fitness building, parking lot, and around the property's north, east, west, and south perimeters, with the

exception of the southwest corner which is the location for Pad B. Pad B will be covered in a hydroseed mix until the pad is ready to be developed. The retention infiltration area located on the northeast side of the property adjacent to Pleasant View Avenue, will contain filter fabric with crushed rock. The plant pallet features a variety of drought tolerant materials including six types of trees, flowering shrubs, and groundcover. The main entrance along Sixth Street will be enhanced with 24-inch box trees. The tree landscaping in the parking lot and along the remaining perimeters will include a combination of 24- and 36-inch box trees. Prior to the issuance of building permits for the project, the applicant's landscape plans will be reviewed by the Community Development Department for compliance with the Corona Municipal Code and landscape design guidelines for commercial properties.

Fence And Walls

The applicant will construct a new six-foot high decorative block wall along the east and west perimeters. Along the north perimeter a combination retaining wall and freestanding block wall will be constructed. The height of the retaining wall ranges from zero to four feet and the freestanding block wall is 6 feet high. Because the existing residential properties are at a slightly lower grade elevation than the project site, the retaining wall is required in order to provide the residences a clean wall line along the property line. The block walls are required to be constructed of decorative block and be finished with an anti-graffiti coating. The standard requirement for the anti-graffiti coating is secured in the conditions of approval. Prior to the issuance of building permits for the project, the applicant shall submit separate fence and wall plans to the Building Division which will be reviewed by the Community Development Department for compliance with the Corona Municipal Code.

Signage

Exterior wall signs are conceptually shown on the south elevation of the building (Exhibits G1-G2). Wall signs are required to comply with the sign standards under Chapter 17.74 of the Corona Municipal Code in terms of allowable square footage, height, and location and will be reviewed under a separate permit by the Community Development Department prior to installation. No signage is shown on the north elevation facing the residential properties.

A freestanding pylon sign is also proposed at the front of the project site near Sixth Street. The overall height of the pylon sign will be 15 feet with a sign area of approximately 50 square feet per sign face. The post will have a stone veneer base and a decorative pole. A conceptual rendering of the proposed pylon sign is shown in Exhibit G3. The pylon sign is also required to comply with the sign standards under Chapter 17.74 of the Corona Municipal Code in terms of allowable square footage, height, and location and will be reviewed under a separate permit by the Community Development Department prior to installation.

ENVIRONMENTAL ANALYSIS

Per Section 15070 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA) and Section 6.02 of the City's Local Guidelines, a Mitigated Negative Declaration was prepared for the project because the Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the project mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant or potentially significant effect on the environment. The Mitigation Negative Declaration is recommended for adoption (Exhibit I).

FISCAL IMPACT

The applicant paid \$13,351.75 in application processing fees for the precise plan application.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the *Sentinel Weekly News* and posted at the project site. As of the preparation of this report, the Community Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

The proposed project will result in the development of a 37,000 square foot LA Fitness health club and a 9,300 square foot future commercial building on Pad B that has been vacant and underutilized for the past 30 years. The proposed use is permitted in the C-3 zone. As demonstrated by the applicant's plans the project is capable of complying with the development standards of the C-3 zone in terms of setbacks, parking, landscaping, and building height restrictions. The architecture and color scheme proposed for the building are compatible with the existing commercial uses in the surrounding area. The applicant is proposing to landscape the entire project site, which will further enhance the proposed commercial center.

Development of the proposed project would fulfill several General Plan policies including Policies 1.1.1, 1.1.2, 1.1.3 and 1.11.1 which all encourage and emphasize having a community that contains a diversity of land uses that supports the needs of Corona's residents and help maintain Corona as a self-sustaining city. The project also fulfills General Plan Policy 1.4.4 which encourages the adaptive re-use of economically underutilized commercial sites that are within existing urbanized areas. Therefore, PP2018-0005 is recommended for approval based on the following findings and conditions of approval attached as Exhibit B.

FINDINGS OF APPROVAL FOR PP2018-0005

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:
 - a. *The project applicant has agreed to revise the project to avoid these significant effects or to mitigate the effects to a point where it is clear that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit B.*
 - b. *There is no substantial evidence before the City that the revised project may have a significant effect.*
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the corona Municipal Code do exist in reference to PP2018-0005 for the following reasons.
 - a. *The proposal is consistent with the General Commercial land use designation of the General Plan because this land use is intended for a broad range of commercial uses, including health clubs.*

- b. *The proposal complies with the development standards of the C-3 zone and other design standards governed by the Corona Municipal Code.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, a Mitigated Negative Declaration is recommended for adoption as the initial study identifies potentially significant effects on the environment, but project applicant has agreed to revise the project to avoid these significant effects or to mitigate the effects to a point where it is clear that no significant effects would occur.*
 - d. *The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as demonstrated in Exhibit A of this report.*
 - e. *The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the C-3 zone and other applicable development standards governed by the Corona Municipal Code to ensure orderly development.*
 - f. *The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood by improving a vacant infill property, and will provide for harmonious, orderly and attractive development of the site.*
 - g. *The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing and will retain a reasonably adequate level of maintenance. As shown by the applicant's plans, the architecture of the building features construction materials that are commonly used in commercial buildings and are quality in nature. The color scheme is visibly appealing, and the proposed landscaping will enhance the overall look of the new commercial center.*
3. The proposal is consistent with the General Plan for the following reasons:
- a. *PP2018-0005 conforms to General Plan Policies 1.1.1, 1.1.2, 1.1.3 and 1.11.1 which all encourage and emphasize having a community that contains a diversity of land uses that supports the needs of Corona's residents and help maintain corona as a self-sustaining city, because the C-3 zone provides more flexibility on the types of commercial land uses allowed on the property.*
 - b. *PP2018-0005 fulfills General Plan Policy 1.4.4 which encourages the adaptive re-use of economically underutilized commercial sites that are within existing urbanized areas because the C-3 zone will allow the site to be developed with commercial land uses based on market demands.*
4. The proposal is consistent with the C-3 (General Community Commercial) Zone for the following

reason:

- a. *The project is consistent with the C-3 zone because the proposed health club is a permitted use in the C-3 zone. The project is also capable of complying with the development standards of the C-3 zone in terms of building setbacks, building height, parking, and landscaping.*

PREPARED BY: LUPITA GARCIA, ASSISTANT PLANNER

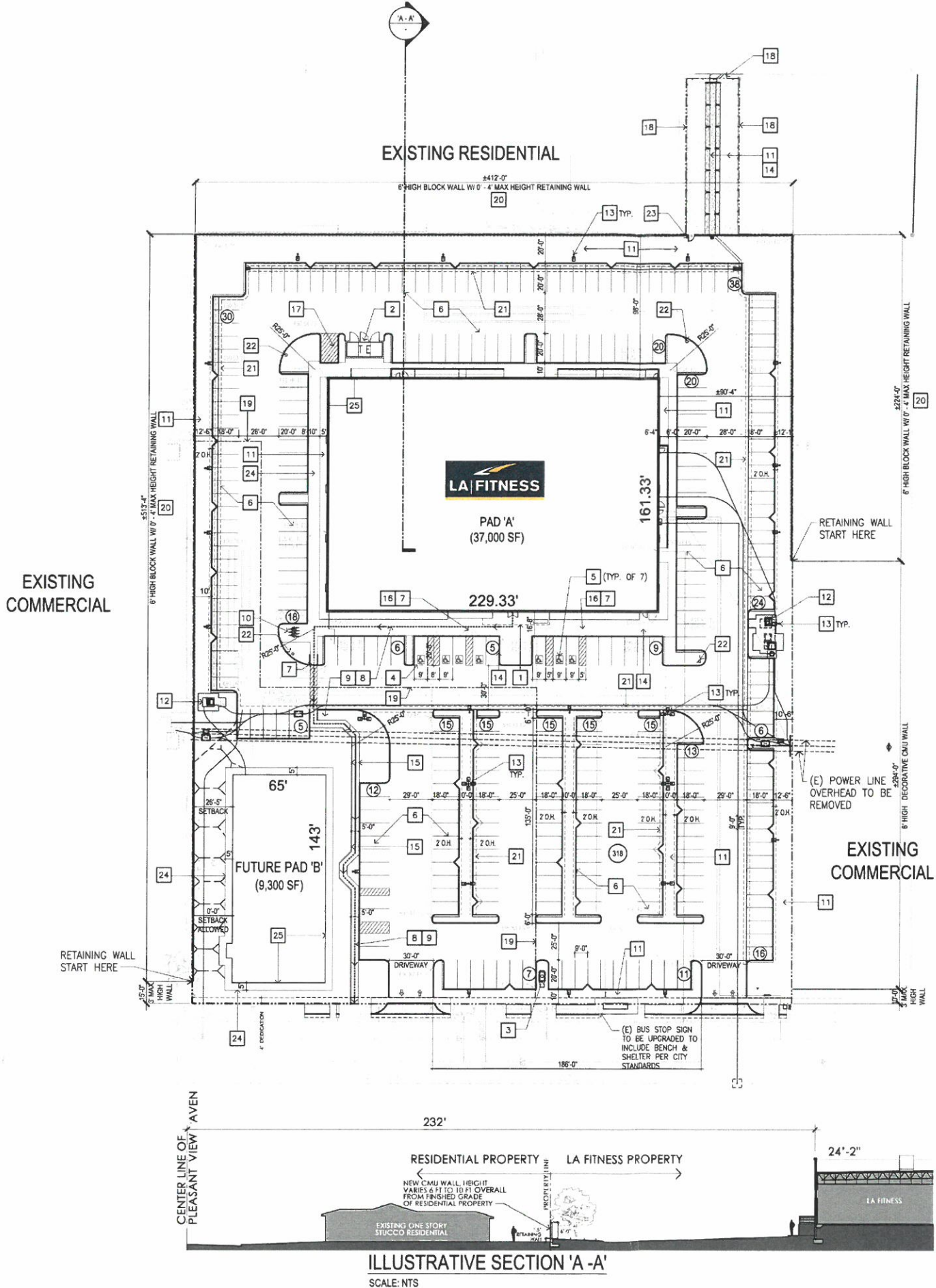
REVIEWED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2540
2. Locational and Zoning Map
3. Exhibit A - Site Plan
4. Exhibit B - Conditions of Approval
5. Exhibit C - Floor Plan
6. Exhibit D - Colored Elevations
7. Exhibit E - Wall Elevations
8. Exhibit F - Colored Landscape Plan
9. Exhibit G1-G3 - Proposed Signage
10. Exhibit H - Applicant's letter dated August 23, 2018, addressing criteria for Precise Plans
11. Exhibit I - Environmental Documentation
12. Exhibit J - Letter dated July 13, 2018 sent to six properties adjacent to project site along Pleasant View Avenue
13. Exhibit K - Letter dated August 8, 2018 sent to all properties within 500 feet

Case Planner: Lupita Garcia (951) 736-2293



KEY NOTES:

- LA FITNESS BUILDING ADDRESS: THE NUMBERS SHALL CONTRAST WITH THEIR BACK GROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1. SEE SIGN DWGS.
- TRASH ENCLOSURE PER CITY STANDARDS
- NEW PYLON SIGN PER SEPARATE PERMIT
- VAN ACCESSIBLE PARKING
- STANDARD ACCESSIBLE PARKING (TYPICAL OF 7 INCLUDED 1 VAN)
- STANDARD PARKING STALLS
- TRUNCATED DOMES
- LINE OF DISABLED ACCESS PATH OF TRAVEL (MIN. 4'-0" WIDE / 5% MAX SLOPE & 2% CROSS SLOPE)
- ACCESSIBLE ROUTE
- BICYCLE RACKS
- LANDSCAPED AREA SEE LANDSCAPE DRAWINGS & CIVIL SHEET C-2
- ELECTRICAL TRANSFORMER
- SITE LIGHT POLE / FIXTURE & BASE
- HARDSCAPE AREA SEE LANDSCAPE DRAWINGS
- REDWOOD HEADER
- A.D.A RAMP
- LOADING AREA
- NEW WROUGHT IRON FENCE & GATE PER SEPARATE PERMIT
- PARCEL LINE PER LLA18-002
- NEW 6' HIGH DECORATIVE BLOCK & RETAINING WALL (SEE CIVIL SHEET C-2 & C-4) PER SEPARATE PERMIT. REFER TO SHEET A-4 FOR BLOCK FINISH GUTTER LINE. SEE CIVIL SHEET C-2
- PROPOSE FIRE HYDRANT. SEE CIVIL SHEET C-4
- INSTALL 4'-0" METAL GATE FOR ACCESS
- CONCRETE SIDEWALK
- BUILDING LINE

THE ZONING & GENERAL PLAN:
ZONING IS C-3 (GENERAL COMMUNITY COMMERCIAL) AND
THE GENERAL PLAN DESIGNATION IS GC (GENERAL COMMERCIAL).

FIRE GENERAL NOTES:

- PLACE FIRE DEPARTMENT DPR COMMENTS ON PLANS AS GENERAL NOTES.
- ANY REVISED SITE PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR SCREEN CHECK APPROVAL PRIOR TO BUILDING PLAN SUBMITTAL.
- PLANS SHALL SHOW A MINIMUM DRIVE WIDTH OF 28 FEET.
- PROVIDE PLANS FOR TWO (2) ALL WEATHER SURFACE ACCESS WAYS TO BE APPROVED BY THE FIRE PREVENTION MANAGER AND CONSTRUCT THE ACCESS WAY(S) TO ACCOMMODATE 70,000 LBS GVW DURING ALL PHASES OF CONSTRUCTION.
- ALL PROJECTS SHALL COMPLY WITH THE CITY OF CORONA FIRE DEPARTMENT SITE CONSTRUCTION STANDARD, A COPY OF WHICH IS AVAILABLE AT THE FIRE DEPARTMENT COUNTER. PROJECTS SHALL HAVE APPROVED ALL WEATHER ACCESS FROM TWO (2) DIRECTIONS AND FIRE HYDRANTS PROVIDING THE REQUIRED FIRE FLOW TESTED AND ACCEPTED PRIOR TO COMBUSTIBLE CONSTRUCTION.
- PROVIDE A MINIMUM TWENTY-FIVE (25) FOOT INSIDE AND FIFTY (50) FOOT OUTSIDE RADIUS FOR ACCESS DRIVE(S).
- STREET AND DRIVE GRADES SHALL NOT EXCEED 10% UNLESS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
- ANY OVERHEAD OBSTRUCTION SUCH AS THE SECOND STORY OF A BUILDING, PORTE COCHERE, ETC., THAT INTRUDES INTO THE REQUIRED CLEAR WIDTH OF FIRE VEHICLE ACCESS DRIVES SHALL PROVIDE A MINIMUM CLEAR HEIGHT OF FIFTEEN (15) FEET UNLESS OTHERWISE APPROVED BY THE FIRE CHIEF.
- A KNOX BOX SHALL BE PROVIDED FOR THE FOLLOWING BUILDING(S):
- A MINIMUM FIRE FLOW OF 3000 GPM SHALL BE PROVIDED.
- THE FIRE SERVICE WATERLINE SHALL BE LOOPED AND PROVIDED WITH TWO (2) SEPARATE POINTS OF CONNECTION.
- FIRE HYDRANTS ARE TO BE SPACED A MAXIMUM 250 FEET APART.
- PROVIDE CLASS A ROOFING MATERIAL.
- PER 511 OF THE CORONA MUNICIPAL CODE, A PUBLIC SAFETY RADIO COMMUNICATION STUDY IS REQUIRED. CONSULT WITH THE FIRE DEPARTMENT FOR SPECIFIC REQUIREMENTS FOR THIS STUDY.
- GROVES AND WEED ABATEMENT SHALL BE MAINTAINED SO AS NOT TO POSE A FIRE HAZARD UNTIL TIME OF DEVELOPMENT.
- A SPECIFIC ADDRESS, ASSIGNED BY THE CITY OF CORONA, SHALL BE PROVIDED FOR EACH BUILDING AS SPECIFIED BY THE FIRE DEPARTMENT ADDRESS STANDARD WHICH CAN BE OBTAINED AT THE FIRE DEPARTMENT COUNTER AT CITY HALL. ADDRESS MUST BE ILLUMINATED DURING ALL HOURS OF DARKNESS.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PRIOR TO OCCUPANCY. FIRE EXTINGUISHERS SHALL BEAR A CALIFORNIA STATE FIRE MARSHAL'S SERVICE TAG. IT SHALL BE APPROPRIATELY RATED FOR THE HAZARD; IT SHALL BE MOUNTED SO THAT THE TOP OF THE EXTINGUISHER IS NO HIGHER THAN FIVE (5) FEET ABOVE FLOOR LEVEL; AND SHALL BE LOCATED SUCH THAT THE TRAVEL DISTANCE TO AN EXTINGUISHER DOES NOT EXCEED SEVENTY-FIVE (75) FEET.
- OBTAIN THE FOLLOWING FIRE DEPARTMENT PERMIT(S): PLACE OF ASSEMBLY
- AT NO TIME SHALL FIRE HYDRANTS OR FIRE LANES BE BLOCKED BY BUILDING MATERIALS, STORAGE, EQUIPMENT, AND/OR VEHICLES.
- HAZARDOUS MATERIALS DISCLOSURE AND BUSINESS EMERGENCY PLAN REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO OCCUPANCY OR USE.
- FR-0098-SUBMIT SEPARATE DETAILED PLANS FOR REVIEW AND APPROVAL OF THE ON-SITE UNDERGROUND FIRELINE, OVERHEAD FIRE SPRINKLERS AND ALARM SYSTEM.

LEGEND:

- PROPERTY LINE
- REDWOOD HEADER
- ACCESSIBLE PATH OF TRAVEL
- RETAINING WALL
- DEDICATION (NEW PROPERTY LINE)
- PARCEL LINE
- SITE LIGHT POLE
- MONUMENT SIGN

TRASH ENCLOSURE PAD 'A'

60 S.F./10,000 S.F.
REQUIRED: 3.7X60 =222 S.F.
PROVIDED: 12'X26' =312 S.F.

PROJECT SUMMARY:

SITE AREA: ±5 ACRE		PAD BUILDING	
		RETAIL	RESTAURANT
LA FITNESS (PAD 'A')	37,000		
PAD 'B'		4,200	5,100
TOTAL BUILDING		46,300	
PARKING REQUIRED	@ 1/150 @ 1/250 @ 1/100		
LA FITNESS (PAD 'A')	247		
RETAIL		17	
RESTAURANT			51
TOTAL REQUIRED		315	
PARKING PROVIDED		315	

A-1
Site Plan

05.30.2019
AO#: 2018-061

Architects Orange

Applicant:
LA FITNESS.
2600 Michelson Dr. Ste. 300 Irvine, CA 92612 (949) 255 7296

LA FITNESS - Corona, CA West SIXTH Street, Corona, CA

144 North O

EXHIBIT 3.B



DPR Comments City of Corona

Project Number: PP2018-0005

Description: PRECISE PLAN

Applied: 8/31/2018

Approved:

Site Address: 1415 W SIXTH ST CORONA, CA 92882

Closed:

Expired:

Status: APPROVED

Applicant: FITNESS INTERNATIONAL, LLC

Parent Project: DPR2018-0009

3161 MICHELSON DRIVE, SUITE 600 IRVINE CA, 92612

Details: PP FOR A 37,000 SQ FT LA FITNESS ON 5 ACRES.

LIST OF COMMENTS	
DEPARTMENT	CONTACT
BUILDING	
<ol style="list-style-type: none">1. Please provide a legible copy of the performed code analysis to the building division for approval. A PDF copy can be sent to oscar.davalos@coronaca.gov2. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.3. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.4. Roofing material shall be Class A.5. Pool area shall be enclosed with fencing in compliance with Corona Municipal Code (CMC) Sec 15.24. {THIS CONDITION WAS REMOVED BY THE PLANNING & HOUSING COMMISSION AT THE MEETING ON AUGUST 26, 2019}.6. Submit pool plans to Riverside County Health Department for approval.7. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.8. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.9. Upon tenant improvement plan check submittal there may be additional Building Department requirements.10. Separate permits are required for all fences, walls and paving.11. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.12. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.13. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.14. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance15. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance16. All construction documents need to be prepared in accordance to the current applicable codes.17. The trash enclosure needs to be designed compliant with city requirements and accessible for people with disabilities including a path of travel to the enclosure.	



DPR Comments City of Corona

FIRE	
<ol style="list-style-type: none"> 1. Place Fire Department DPR comments on plans as general notes. 2. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal. 3. Plans shall show a minimum drive width of 28 feet for designated fire lanes. 4. Provide plans for two (2) all weather surface access ways to be approved by the Fire Prevention Manager and construct the access way(s) to accommodate 70,000 lbs GVW during all phases of construction. 5. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the Fire Department counter. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction. 6. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s). 7. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer. 8. Any overhead obstruction such as the second story of a building, porte cochere, etc., that intrudes into the required clear width of fire vehicle access drives shall provide a minimum clear height of fifteen (15) feet unless otherwise approved by the Fire Chief. 9. A Knox Box shall be provided for the following building(s): 10. A minimum fire flow of 3000 gpm shall be provided. 11. The fire service waterline shall be looped and provided with two (2) separate points of connection. 12. Fire hydrants are to be spaced a maximum 250 feet apart. 13. Provide Class A roofing material. 14. Per 511 of the Corona Municipal Code, a public safety radio communication study is required. Consult with the Fire Department for specific requirements for this study. 15. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development. 16. A specific address, assigned by the City of Corona, shall be provided for each building as specified by the fire department address standard which can be obtained at the fire department counter at City Hall. Address must be illuminated during all hours of darkness. 17. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet. 18. Obtain the following fire department permit(s): Place of Assembly 19. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles. 20. FR-0098-Submit separate detailed plans for review and approval of the on-site underground fireline, overhead fire sprinklers and alarm system. 	
PLANNING	Lupita Garcia
<ol style="list-style-type: none"> 1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 	



DPR Comments City of Corona

PLANNING	Lupita Garcia
	<ol style="list-style-type: none"> 2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 3. This Precise Plan hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof within two (2) years after the construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed. 4. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees. 5. The applicant or his successor in interest shall comply with the mitigation measures in the Mitigated Negative Declaration prepared for the project. 6. All landscaping, onsite and within the parkway, shall be installed per the approved plans prior to issuance of certificate of occupancy. 7. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$5,000 to the Planning Division for landscape plan check and inspection services. This is separate from the Building Division's landscape plan check submittal fee. Any money left remaining from the deposit will be reimbursed to the developer upon project completion. 8. All signage shall comply with the sign standards under Chapter 17.74 of the Corona Municipal Code for the C-3 zone. Signs shall be submitted and permitted separately over the public counter. Signage is prohibited on the north side of the building. 9. The north, east and west block walls shall be constructed of decorative block and installed prior to issuance of a certificate of occupancy. 10. The northeast corner of the property (the retention area infiltration system that abuts Pleasant View Avenue) shall be secured on all sides with a six-foot high wrought iron fence and a six-foot high wrought iron gate prior to issuance of a certificate of occupancy. 11. This project is subject to Riverside County's MSCHP fees. 12. All perimeter block walls for the project shall be treated with an anti-graffiti coating, except along the side facing the residential properties. 13. Trash enclosures shall be constructed of decorative block and shall contain a decorative trellis cover. 14. The applicant shall install security cameras in the parking lot with signage indicating the property is under surveillance. The security tapes shall be kept for 30 days for retention purposes. [ADDED AT THE PLANNING & HOUSING COMMISSION MEETING ON AUGUST 26, 2019]. 15. The applicant shall install a temporary three-foot high white vinyl fence or other fencing approved by the Community Development Department around Pad B to prevent loitering with signage indicating private property. The temporary fence shall be removed with the development of Pad B. [ADDED AT THE PLANNING & HOUSING COMMISSION MEETING ON AUGUST 26, 2019]. 16. The parking lot light poles located along the north perimeter of the project site shall be designed to prevent glare on to the adjacent residential properties to the north. The light poles will be determined by staff in conjunction with staff's review of the project's photometric analysis and light fixture design plan which the applicant shall submit to the city prior to issuance of a building permit. [ADDED AT THE PLANNING & HOUSING COMMISSION MEETING ON AUGUST 26, 2019].



DPR Comments

City of Corona

PUBLIC WORKS	Emily Stadnik
<p>1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.</p> <p>2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.</p> <p>3. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property.</p> <p>4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.</p> <p>5. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration.</p> <p>6. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.</p> <p>7. Off-site easements required to support proposed drainage outletting to Pleasant View Avenue shall be secured prior to grading permit issuance. Access for maintenance of said facilities shall also be granted.</p> <p>8. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.</p> <p>9. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.</p> <p>10. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:</p> <p>(a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.</p> <p>(b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.</p> <p>(c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.</p> <p>Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.</p> <p>11. Prior to issuance of a building permit, the developer shall ensure that a homeowner's association or property owner's association is established for the purpose of maintaining all private streets, common areas and private utilities. The association documents, including any necessary Covenants, Conditions and Restrictions (CC&Rs), shall be subject to the review and approval of the Public Works Department.</p> <p>Maintenance of all onsite BMPs for water quality purposes shall be included, as well as offsite drainage areas, outletting to Pleasant View Avenue.</p>	



DPR Comments

City of Corona

PUBLIC WORKS	Emily Stadnik
<p>12. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:</p> <p>a) All street facilities:</p> <p>Sixth Street shall be core cut to determine r-values of existing AC paving. Minimum grind and overlay to 1/2 street width is required for existing streets, unless newly repaved. All missing improvements along with project frontage shall be constructed, including upgrading of any existing facilities that do not meet current City standards. This includes but is not limited to street, curb and gutter, sidewalk, parkway improvements, landscaping, irrigation, street lights, fire hydrants, etc.</p> <p>b) All missing drainage facilities on West Sixth Street and Pleasant View Avenue. All drainage improvements for outlet of flow along pleasant View Avenue.</p> <p>c) All required grading, including erosion control.</p> <p>d) All required sewer, water and reclaimed water facilities.</p> <p>e) All required landscaping and/or park facilities.</p> <p>f) All under grounding of overhead utilities, except for cables greater than 32k volts.</p> <p>g) Street improvements to include protecting FIBER OPTIC CABLE and conduit along project frontage. If conduit and cable cannot be protected, then conduit and cable must be improved to current City Standards and Specifications.</p> <p>13. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.</p> <p>14. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.</p> <p>15. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.</p> <p>16. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.</p> <p>17. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.</p> <p>18. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.</p> <p>19. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.</p> <p>20. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.</p> <p>21. Prior to issuance of any grading permit, any environmental Phase I and Phase II findings and recommended actions to remove contamination resulting from previous use of the subject site shall be implemented.</p> <p>22. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.</p> <p>23. Prior to Planning Commission, a Preliminary WQMP shall be submitted to the Public Works Land Development Section for review and approval; applicable plan check fees shall be paid at time of submittal.</p> <p>24. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Public Works Land Development Section for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.</p>	



DPR Comments

City of Corona

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<p>25. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC \u0026R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.</p> <p>26. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future homeowners and/or occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.</p> <p>27. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.</p> <p>28. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.</p> <p>29. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.</p> <p>30. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All residential lots shall drain toward the street. Lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.</p> <p>31. Prior to building permit issuance the applicant shall provide all of the necessary documents and fees needed to annex this project into a City of Corona Community Facilities District (CFD) 2016-3 (Maintenance Services). All assessable parcels therein shall be subject to annual CFD charges (special taxes or assessments). The developer shall be responsible for all costs incurred during annexation into the CFDs.</p> <p>32. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.</p> <p>33. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall include the following:</p> <ol style="list-style-type: none"> a) All local and/or major arterial highways' vertical and horizontal alignments shall be approved by the Director of the Public Works Department. b) All driveways shall conform to the applicable City of Corona standards and shall be shown on the street improvement plans. c) All street intersections shall be at ninety (90) degrees or as approved by the Public Works Director. d) All reverse curves shall have a minimum tangent of fifty (50) feet in length. e) Under grounding of existing and proposed utility lines. f) Street lights. g) All other public improvements shall conform to City of Corona standards. <p>34. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.</p> <p>35. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.</p> <p>36. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.</p>	



DPR Comments

City of Corona

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	<p>37. The applicant shall provide a separate irrigation water service for all HOA- CFD landscaped lots or easements.</p> <p>38. The landscape plans of all parkway and Landscape Maintenance District (LMD) and Community Facilities District (CFD) lots shall be prepared by a licensed Landscape Architect and shall be submitted to the City for review and approval.</p> <p>39. The developer shall install automatic irrigation to all street trees separated from adjacent residences by a fence or wall prior to the issuance of a Certificate of Occupancy.</p> <p>40. Traffic Division Prior to issuance of Certificate of Occupancy, bus shelter improvements along the frontage of the project site shall be completed to the satisfaction of the Transportation Planning Supervisor.</p> <p>41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.</p> <p>42. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.</p> <p>43. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.</p> <p>44. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.</p> <p>45. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.</p> <p>46. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.</p> <p>47. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.</p> <p>48. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.</p> <p>49. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.</p> <p>50. Static pressures exceeding 80 psi require an individual pressure regulator.</p>



July 29, 2021

Planning & Housing Commission
C/O Lupita Garcia, Associate Planner
Community Development Department
City of Corona 400 S. Vicentia Ave
Corona, CA 92882

Re: Community Development Department
PP2018 – 0005 Extension of Time

To Whom It May Concern:

This letter is in support of our request to extend our Permit Plan Application PP2018 - 005 for an additional 2 years as we consider development of the site for an LA Fitness Club. This will provide time to gain financial strength related to Covid-19 impacts.

Sincerely,

A handwritten signature in blue ink, appearing to read "Greg Gill". The signature is stylized with loops and a long horizontal stroke at the end.

Greg Gill SRVP Development



Staff Report

File #: 21-0901

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PPE2021-0001: Application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street. (Applicant: Aaron Packard, Gold Coast Properties CA1, LLC., 16115 SW 117th Avenue, Unit B2, Miami, FL 33177)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2579 granting a two-year extension of time for PPM2019-0005, based on the finding contained in the staff report.

PROJECT SUMMARY:

PPM2019-0005 was approved by the Planning and Housing Commission on January 21, 2020 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street (Exhibit 2).

Corona Municipal Code (CMC) Section 17.91.110 governs time limits for Precise Plans. Most projects approved by a Precise Plan are required to utilize the permit within two years of its approval. Utilizing a permit is defined as follows:

17.91.110(D)

The permit must be utilized, or if the permit involves a building, construction must be commenced and carried on diligently to completion of at least one usable unit, prior to the expiration of the time limit. If the time limit expires, any privilege, permit or variance granted shall be deemed to have lapsed.

PPM2019-0005 is set to expire January 21, 2022. The Planning and Housing Commission has the authority to extend the time limit upon a finding of unavoidable delay.

The project is currently in the Building Division's plan check process. The applicant, Mr. Packard, is

uncertain that he will be able to complete construction of the project before the Precise Plan approval expires. The applicant is seeking a two-year extension to complete the plan check, obtain permits, and complete construction. The applicant has stated that the project has been delayed due to situations related to the COVID-19 pandemic.

The review and approval of PPM2019-0005 included public noticing and public hearings before the Planning and Housing Commission and City Council. The extension of time does not require a public hearing or notice to the public, as there are no proposed changes to the project or conditions of project approval.

FINDINGS OF APPROVAL FOR PPE2021-0001

1. In accordance with CMC Section 17.91.110, the Planning and Housing Commission is authorized to extend the time of a precise plan upon the finding of unavoidable delay. The project approved by PPM2019-0005 has been avoidably delayed for the following reason:

- a. The current COVID-19 pandemic has impacted the applicant's ability to construct the hotel project within the first two years of the project's approval. The additional two-year extension of time would allow the applicant additional time to complete the plan check process and obtain the necessary permits for construction.*

PREPARED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2579
2. Locational and Zoning Map
- 3.A Staff Report for PPM2019-0005, January 21, 2020
- 3.B PPM2019-0005 Site Plan, approved January 21, 2020
- 3.C PPM2019-0005 Conditions of Approval
- 3.D Letter submitted by KWC Engineers on behalf of the Applicant

Case Planner: Sandra Yang (951) 736-2262



RESOLUTION NO. 2579

APPLICATION NUMBER: PPE2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN EXTENSION APPLICATION REQUESTING A 2-YEAR EXTENSION OF TIME FOR PRECISE PLAN MODIFICATION 2019-0005 FOR THE DEVELOPMENT OF A 48,413-SQUARE-FOOT HOTEL WITH 122 ROOMS ON 5.02 ACRES LOCATED AT 2370 TUSCANY STREET IN THE CC (COMMERCIAL CENTER) ZONE OF THE EL CERRITO SPECIFIC PLAN (SP-91-2). (APPLICANT: AARON PACKARD, GOLD COAST PROPERTIES CA1, LLC.)

WHEREAS, the application to the City of Corona, California, for a Precise Plan Extension under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the application requesting a 2-year extension of time for Precise Plan Modification 2019-0005 for the development of a 48,413-square-foot hotel with 122 rooms on 5.02 acres, located at 2370 Tuscany Street.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PPE2021-0001 on October 11, 2021, as required by law; and

WHEREAS, the Planning and Housing Commission finds that, pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15060(c), and Section 3.01 of the City of Corona Local Guidelines for Implementing CEQA, the extension of time is not subject to CEQA because it will not result in a direct or reasonably foreseeable indirect physical change in the environment.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan Extension as set forth in Corona Municipal Code Section 17.91.110(E) do exist in reference to PPE2021-0001, based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve PPE2021-0001 on the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this PPE2021-0001, the Planning and Housing Commission has determined that the time extension does not require an environmental assessment because, pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15060(c) and Section 3.01 of the City of Corona Local Guidelines for Implementing CEQA, the extension of time is not subject to CEQA since it will not result in a direct or reasonably foreseeable indirect physical change in the environment.

SECTION 2. Precise Plan Extension Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.110(E) and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. In accordance with CMC Section 17.91.110(E), the Planning and Housing Commission is authorized to extend the time of a precise plan upon the finding of unavoidable delay. The project approved by PPM2019-0005 has been avoidably delayed for the following reason:
 - a. *The current COVID-19 pandemic has impacted the applicant’s ability to construct the hotel project within the first two years of the project’s approval. The additional two-year extension of time would allow the applicant additional time to complete the plan check process and obtain the necessary permits for construction.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan Extension.

Adopted this 11th day of October, 2021.

Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES:

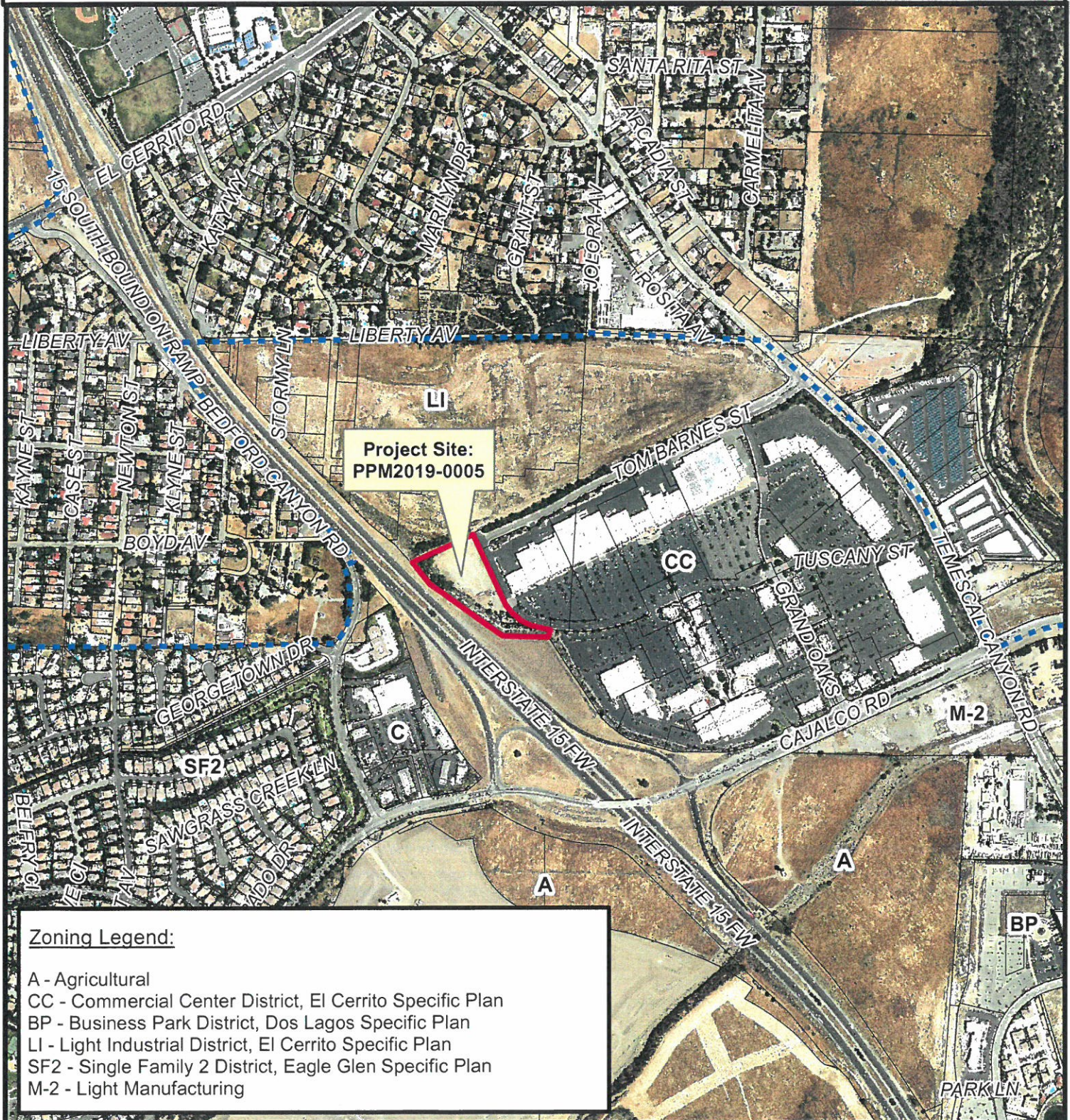
NOES:

ABSENT:

ABSTAINED:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

LOCATIONAL & ZONING MAP



Date: 09/27/2021

PPM2019-0005
Gold Coast Properties CA1



EXHIBIT 2



Staff Report

File #: 20-0034

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 1/21/2020

TO: Honorable Chair and Commissioners

FROM: Community Development Department

APPLICATION REQUEST:

PPM2019-0005: Application to review the site plan, architecture, and signage associated with the construction of a 48,413 square foot four-story hotel containing 122 rooms proposed on 5.02 acres located on the south side of Tom Barnes Street, east of Interstate 15 in the Commercial Center designation of the El Cerrito Specific Plan (Applicant: Aaron Packard, Gold Coast Properties CA1, LLC, 16155 SW 11th Avenue, Unit B2, Miami, FL 33177).

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2548 **GRANTING PPM2019-0005** based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 5.02 acres

Existing Zoning: Commercial Center designation, El Cerrito Specific Plan (SP91-02)

Existing General Plan: General Commercial

Existing Land Use: Vacant Commercial

Proposed Land Use: Hotel

Surrounding Zoning/Land Uses:

N: Light Industrial (El Cerrito Specific Plan) / Vacant Industrial

E: Commercial Center (El Cerrito Specific Plan) / Vacant Commercial

S: Interstate 15 Freeway and Commercial Center (El Cerrito Specific Plan) / Vacant Industrial

W: Interstate 15 Freeway

BACKGROUND

The purpose of PPM2019-0005 is to review the site plan, architecture, landscaping and signage associated with a 48,413 square foot four-story hotel containing 122 rooms located on a vacant 5.02-acre pad within The Crossings in the Commercial Center (CC) designation of the El Cerrito Specific Plan (SP91-02). The hotel was originally contemplated in The Crossings commercial center Environmental Impact Report (EIR) certified by the City Council on April 17, 2002. The Crossings is

a comprehensively planned commercial center on 113.5 acres located adjacent to Interstate 15, north of Cajalco Road and west of Temescal Canyon Road.

A 79,545 square foot four-story hotel with 121 rooms was previously entitled on the project site in 2008. The tenant for the hotel was Hilton Garden Inn and the project featured a similar layout as the current proposal in terms of the building, parking lot, and access locations. The hotel, however, was not constructed and the entitlement expired in 2010.

The current application, PPM2019-0005, is for a WoodSprings Suites, which is an extended stay hotel. The application was reviewed by staff at the Project and Environmental Review Committee meeting on July 11, 2019. The applicant was issued an application incomplete letter due to missing application items. The applicant over time submitted the required application materials to staff with the application finally considered complete on December 30, 2019 and was cleared for public hearing before the Planning and Housing Commission.

PROJECT DESCRIPTION

Site Plan

As shown in Exhibit A, the building is centrally located on the project site with parking spaces located along the perimeters of the pad and around the building. The building's front entrance is located on the east side facing Tuscany Street. Trash enclosures are provided in the parking lot behind the building to the west. The building's location complies with all applicable building setbacks prescribed by the El Cerrito Specific Plan for developments proposed within the CC designation, including a special 50-foot setback to the freeway right-of-way. The project meets this requirement by providing a distance of 140 feet from the freeway right-of-way.

Architecture

The architecture proposed for the hotel reflects its signature look for the WoodSpring Suites chain. The hotel does implement materials and colors that are consistent with the existing commercial buildings within the Crossings center. The specific plan does not prescribe a specific architectural theme for buildings in the CC designation. As shown by the applicant's colored elevation plans in Exhibit D, the building's exterior finish consists primarily of horizontal siding with stone veneer which is applied along the bottom portion of the building. The roof design is a cross gable style concrete barrel shaped tiles in a charcoal color. The black and white elevation plans, however, indicate asphalt shingles as the roofing material. The Community Development Department is requiring the roofing material to be concrete tiles which is a better quality, aesthetically attractive and consistent with materials used on other commercial buildings in the vicinity and in general the city. Therefore, a condition of approval reflecting this requirement is included in the project's conditions of approval in Exhibit B to ensure that there is no confusion over the required roofing material during the plancheck process. The building's entrance features a covered structure consisting of wood beams and stone veneer columns. The building has an overall height of approximately 49 feet, which is below the 55-foot building height limit established for commercial buildings within the CC designation. The elevation plans and color/material palette are attached as Exhibit D.

Floor Plan

Exhibit C depicts the hotel's floor plans. The main entrance is located on the east side of the building. Secondary access points are located on the west side of the building as well as at the north and south wings of the building. As shown on the first floor plan, the hotel includes a lobby with a registration area at the entrance. Beyond the lobby area is a staff laundry room, miscellaneous employee rooms, a fitness room, guest laundry room and guestrooms. Additional guestrooms are located on the second, third, and fourth floors. As WoodSpring Suites is an extended stay hotel, each guestroom will include a sink and a two-burner cooktop.

Landscaping

Per the applicant's conceptual landscape plan in Exhibit E, trees are being provided along the perimeters of the site's parking lot and at the north and south ends of the building. The plant palette for the parking lot and around the building also includes a variety of shrubs and ornamental grasses. All plant materials are required to be drought tolerant. Three-foot high shrubs will be installed along the project frontage as a headlight buffer for vehicles parked perpendicular to Tuscany Street. As the plan is only conceptual at this time, all plant materials are not graphically shown on the plan, particularly along the perimeters of the site which only depicts trees. To ensure that these areas will receive additional landscaping such as shrubs, groundcover, and other ornamental landscape materials, a condition of approval is added to the conditions of approval to reflect this requirement.

A water quality management basin (WQMP) is proposed along the project frontage between the parking lot and Tuscany Street. The purpose of the basin is to capture and treat surface water from the project site before allowing the water to enter into the city's drainage system. The basin will contain landscape materials that are appropriate for water quality management basins.

The site has an existing slope along the west perimeter adjacent to I-15 that is approximately 35 feet in height which was originally landscaped at the time the Crossings center was developed. The applicant is installing additional landscaping along the base of the slope consisting of palm trees and shrubs to enhance the site and slope. The rest of the slope area will remain in its existing landscaped condition. The slope is a part of the common area maintenance within the entire Crossings center.

The applicant is required to submit landscape plans to the city for plancheck which will be reviewed by the applicable city departments in greater detail during this process for compliance with the city's landscape requirements under Chapter 17.70 of the CMC and the El Cerrito Specific Plan.

Signage

The project's signage is attached as Exhibit F. Wall signage is proposed on the north, south, and east sides of the building. Each sign is approximately 95 square feet in size. Per the El Cerrito Specific Plan, wall signs in the CC designation is allowed at a ratio of 1.25 square foot of sign area per one linear foot of building elevation. Based on the linear measurement of the hotel's east elevation which is 243 feet, a maximum of 303 square feet of signage is allowed on the east elevation. Therefore, the proposed 95 square foot sign on this elevation complies with the specific plan's sign standard. The north side of the building has a linear measurement of approximately 48 feet as well as the south side. Thus, the north and south sides of the building are limited to no more

than 60 square feet of signage per elevation. The project is conditioned to reduce the 95 square foot signs proposed on these two elevations to no more than 60 square feet per elevation. This requirement is reflected on the project's conditions of approval in Exhibit B.

Two directional signs are proposed at the two parking lot entrances of the project site to guide guests into the site from Tuscany Street. Each directional sign is 5 feet high and has a sign face area of 8 square feet. The specific plan permits directional signs up to 5 feet in height with a maximum sign face area of 25 square feet. Therefore, the proposed directional signs comply with the sign standards. The sign standards, however, indicate that directional signs shall be consistent in terms of design and material as the other directional signs within the commercial center. Staff has determined that even though the hotel is technically located within the Crossing commercial center and takes access from an internal roadway within the commercial center, the hotel site is located within its own separate pad and is not part of the retail shops. The hotel is also isolated towards the northeast corner of the commercial center. Therefore, a different design for the directional signs would be acceptable in this case.

The hotel will be sharing pylon signage with The Crossings. The pylon sign program for the center was recently revised to accommodate the widening changes that occurred on the Cajalco Road and Interstate 15 interchange near the center. Freeway signage is still available for the center along Interstate 15.

ACCESS, CIRCULATION AND PARKING

The Crossings primary access is from Grand Oaks via Cajalco Road. An internal private road, Tuscany Street, provides additional circulation within the center and is the point of access for the project site in addition to Tom Barnes Street. Tom Barnes Street is located north of The Crossings and will provide secondary access to the hotel site. Internal circulation is facilitated by 25 to 30 foot wide drive aisle. Vehicular circulation throughout the site is adequate and sufficient sight distance is provided at all internal sections and corners. Also, the Public Works Department is requiring paved vehicular access to three existing sewer manholes that are located near the bottom of the slope at the west perimeter of the site.

The hotel is required to provide parking based on a ratio of one parking space per room plus two spaces for the manager's office for a total of 124 spaces. The hotel site provides 144 parking spaces which are all contained on the project site.

ENVIRONMENTAL ANALYSIS

Per Section 15162 of the State Guidelines for Implementing the California Environmental Quality Act (CEQA), no subsequent environmental evaluation is required when an Environmental Impact Report (EIR) has been certified for a project and no substantial changes have been made to the project. On April 17, 2002, the city certified the Crossings EIR which analyzed the 113.5-acre Crossings commercial center. The analysis included the project site and a 120-room hotel. The current proposal is a 122-room hotel, which is not considered a substantial change from what was originally analyzed in the EIR. Therefore, the current proposal is not expected to result in new significant environmental effects from what was previously analyzed in the EIR. Therefore, a Notice of Exemption was prepared for the project which is attached as Exhibit H.

FISCAL IMPACT

The applicant paid \$5,436.00 in application processing fees.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Community Development Department has not received any responses from the public.

STAFF ANALYSIS

The project is consistent with the CC designation of the El Cerrito Specific Plan because it provides an attractive hotel building that is intended to meet the needs of residents and travelers on Interstate 15. The proposed project is an essential component to the Crossings commercial center because the various commercial enterprises capitalize on patrons of the hotel through shopping, recreation, and commerce.

The project adheres to the development standards of the CC designation pertaining to building setbacks, building height, landscaping, and parking. The architecture proposed complements the commercial buildings within the Crossing commercial center. The project fulfills several General Plan policies related to providing a range of uses and goods to support the needs of Corona's residents, generating jobs, and maintaining revenue-generating land uses to help the city maintain a competitive edge and a strong sales tax base. Therefore, based on the following findings and the conditions of approval in Exhibit B, PPM2019-0005 is recommended for approval.

FINDINGS OF APPROVAL FOR PPM2019-0005

1. A preliminary exemption assessment has been conducted by the City of Corona and it has shown that this project does not require further environmental assessment because the project was previously evaluated under the Crossings Environmental Impact Report (EIR) which was certified April 17, 2002. The previous EIR included the project site and a 120-room hotel in its analysis. The current proposal is a 122-room hotel and is not considered a substantial change from what was originally analyzed. Therefore, the current proposal is not expected to result in new significant environmental effects from what was previously analyzed in the EIR.
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91 of the Corona Municipal Code do exist in reference to PPM2019-0005 for the following reasons:
 - a. *The proposal is consistent with the General Commercial land use designation of the General Plan because this land use is intended for commercial uses.*
 - b. *The proposal complies with the Commercial Center designation of the El Cerrito Specific Plan because hotels are a permitted use.*
 - c. *The proposal has been reviewed in compliance with the California Environmental Quality Act (CEQA) and all applicable requirements and procedures of the act have been followed. As justified in Finding # 1, the project is exempted from further review under CEQA as the project site was previously analyzed under The Crossings Environmental Impact Report which was certified by the City of Corona on April 17, 2002. The proposed project is not expected to result in any significant impacts to the*

- environment.
- d. *The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as demonstrated in Exhibit A of this report.*
 - e. *The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for properties located within the Commercial Center designation of the El Cerrito Specific Plan.*
 - f. *The architectural design of the proposed development is compatible with the character of the surrounding commercial buildings, will enhance the visual character of the neighborhood by improving vacant undeveloped property, and will provide for harmonious, orderly and attractive development of the site which is demonstrated by this application.*
 - g. *The design of the proposed development will provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture, and color that is aesthetically appealing and will retain a reasonably adequate level of maintenance as demonstrated by the applicant's plans for this application.*

3. The proposal is consistent with the General Plan for the following reasons:

- a. *The proposed hotel project is consistent with the project site's General Plan designation of General Commercial which is intended for various commercial, retail and service related uses.*
- b. *The project meets the intent of General Plan Policy 1.1.1 which is to accommodate uses that support the diverse needs of Corona's residents including opportunities for living, commercial, employment, recreation, education, culture, entertainment, civic engagement, and social and spiritual activity that are in balance with natural open spaces because the hotel is being located within an existing regional commercial center that already provides various retail establishments, eating places and entertainment .*
- c. *The project meets the intent of General Plan Policy 1.1.2 which is to emphasize the development of uses that sustain Corona as a cohesive, distinct, and self-sustaining community and minimize the need for Corona's residents to travel to surrounding communities for retail goods, services, and employment because the hotel will accommodate the visiting public.*
- d. *The project meets the intent of General Plan Policy 1.2.9 which is to promote the development of new jobs by generating uses along the freeway corridors to maximize visibility because the hotel will increase the city's service population by providing more job opportunity.*
- e. *The project meets the intent of General Plan Policy 1.11.1 which is to encourage a comprehensive range of retail, services, and other commercial uses in the City that provide goods and services to meet the diverse needs of Corona's residents and businesses as the hotel expands upon services needed in the city.*
- f. *The project meets the intent of General Plan Policy 5.4.1 which is to encourage the expansion of visitor-serving opportunities by encouraging an appropriate mix of revenue-generating land uses to maintain a competitive edge and a strong sales tax*

base because the hotel will accommodate the visiting public.

4. The proposal is consistent with granting criteria for precise plans under Section 14.6.4 of the El Cerrito Specific Plan for the following reasons:

a. The proposed project conforms to the General Plan, the El Cerrito Specific Plan, and all provisions of the Corona Municipal Code for the following reasons.

- i. The project site is designated General Commercial on the General Plan land use map which accommodates various commercial uses.*
- ii. The proposed project is a four-story hotel which is a permitted use in the Commercial Center designation of the El Cerrito Specific Plan. The project is designed to comply with the building setbacks, building height, landscaping, and parking requirements of the El Cerrito Specific Plan and Corona Municipal Code as demonstrated by this application.*

b. The project will not unnecessarily remove trees, will preserve natural landforms and ridgelines, does not include excessive or unsightly grading of hillsides and otherwise will not adversely affect the natural beauty of the City for the following reason:

- i. The project site is currently a vacant pad located within an existing developed commercial site. Development of the project will not unnecessarily remove trees from the site as the pad is primarily a dirt pad that was previously graded at the time The Crossings center was developed and used as a staging area for equipment. The development will not impact the landscaping within the existing westerly slope that borders Interstate 15 which was installed at the time of the development of the Crossing center.*

c. The project will not adversely affect the views, sunlight, or privacy of any nearby residences because the project is not located nearby or adjacent to any existing land uses, provides adequate buffering between residential and non-residential uses, and otherwise is in the best interest of the public health, safety, and general welfare for the following reason:

- i. The project site is zoned commercial and surrounded by non-residential land uses located in the same zone and vacant property to the north that is zoned light industrial.*

d. The structure, site plan, and landscaping are in scale and harmony with existing and future development adjacent to the site, and in the vicinity and with the landforms and vegetation in the vicinity of the site.

- i. The proposed hotel has a building height of approximately 49 which is compatible with the structures within the commercial center. The tallest in-line tenant building within the commercial center is 45 feet with the tallest architectural feature at approximately 65 feet. Furthermore, the hotel is appropriately situated at the northwesterly corner of the commercial center by Interstate 15. The hotel's location, the landscaping and overall site design*

complement and enhance the commercial center.

- e. The structure, site plan, and landscaping create an internal sense of order, provide a visually pleasing setting for occupants, visitors and the general community, are appropriate to the function of the site, and provide safe and convenient access to the property for pedestrians, cyclists and vehicles.*
 - i. As demonstrated by this application and the applicant's plans, development of the project site includes the construction of a private sidewalk along Tuscany Street along the project's frontage to allow for safe pedestrian access between the existing commercial center and hotel site. In addition, two points of vehicular access will be provided to the site for ingress and egress. The project site will have landscaping throughout, and the architecture of the hotel complements the retail buildings in terms of materials, colors, and building height. The overall design and layout of the project will provide a visually pleasing setting for occupants, visitors and the general community.*
 - f. To the maximum extent feasible, the project includes the maintenance, rehabilitation and improvement of existing sites, structures and landscaping, and will correct any violations of the zoning ordinance, building code, or other provisions of the Municipal Code that exist on the site.*
 - i. The project site is an undeveloped pad with no zoning or building code violations.*
 - g. The design and location of the signs are consistent with the character and scale of the buildings to which they are attached or which are located on the same site, and the signs are visually harmonious with surrounding development and there are no illegal signs on the site.*
 - i. The proposed hotel will be developed in its own pad separate from other commercial buildings within the Crossing center. The signage proposed of the project are visually harmonious with the design of the hotel in terms of color and location, and there are no illegal signs currently erected on the project site.*
5. The proposed development is compatible with and enhances the design of existing buildings and other physical features of the site as demonstrated by this application.

PREPARED BY: SANDRA YANG, SENIOR PLANNER

SUBMITTED BY: JOANNE COLETTA, COMMUNITY DEVELOPMENT DIRECTOR

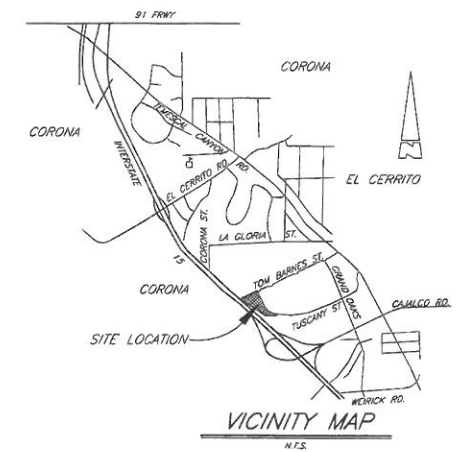
EXHIBITS

1. Resolution No. 2548
2. Locational and Zoning Map.
3. Exhibit A - Site Plan and Conceptual Grading Plan.
4. Exhibit B - Conditions of Approval.
5. Exhibit C - Floor Plans.
6. Exhibit D - Elevations Plans.
7. Exhibit E - Conceptual Landscape Plan.
8. Exhibit F - Signage.
9. Exhibit G - Applicant's letter dated June 12, 2019 regarding the project.
10. Exhibit H - Environmental Documentation.

Case Planner: Sandra Yang (951) 736-2262

2370 TUSCANY STREET APN 279-140-013 PRECISE PLAN

IN THE CITY OF CORONA, COUNTY OF RIVERSIDE,
JANUARY 2020



BUILDING ANALYSIS

OCCUPANCY TYPE:	R-1	BUILDING FLOOR AREA:	12,338 SF
CONSTRUCTION TYPE:	V-A	GROUND FLOOR:	12,023 SF
GUEST ROOM UNITS:	128 UNITS	SECOND FLOOR:	12,023 SF
BUILDING HEIGHT:	4 STORY	THIRD FLOOR:	48,413 SF
		TOTAL:	

STATISTICAL INFORMATION

WATER SUPPLY:	EXISTING SERVICE FROM CITY OF CORONA DEPARTMENT OF WATER & POWER: (951) 736-2263
SEWER DISPOSAL:	EXISTING SERVICE FROM CITY OF CORONA DEPARTMENT OF WATER & POWER: (951) 736-2263
DRAINAGE:	EXISTING SERVICE FROM CITY OF CORONA DEPARTMENT OF PUBLIC WORKS - STORMWATER: (951) 736-2263

UTILITY NOTES:

WATER	CITY OF CORONA 400 S. VICENTA AVENUE CORONA, CA 92882 (951) 736-2262	POWER	SOUTHERN CALIFORNIA EDISON 1351 E. FRANCIS STREET ONTARIO, CA 91761 (800) 930-8539
	ELSHORE VALLEY MUNICIPAL WATER DISTRICT 31315 CHANEY STREET LAKE ELSHORE, CA 92531 (951) 674-3146	PHONE	AT&T 3083 ADAMS AVENUE RIVERSIDE, CA 92504 (800) 303-3000
	METROPOLITAN WATER DISTRICT 700 N. ALAMEDA STREET, 4TH FLOOR, RM 559 (714) 217-7200		AIR TOUCH CELLULAR 3 PARK PLAZA IRVINE, CA 92613 (949) 225-7611
SEWER	CITY OF CORONA 400 S. VICENTA AVENUE CORONA, CA 92882 (951) 736-2263	CABLE TV	MEGA ONE 2300 POMONA ROAD CORONA, CA 91720 (951) 270-3371
GAS	SOUTHERN CALIFORNIA GAS CO. 1801 N. LUCINDA AVENUE REDLANDS, CA 92374 (909) 335-7744		

PROJECT ANALYSIS

PROPERTY USE:
PROPOSED 122 ROOM, 4 STORY HOTEL

SITE LOCATION

2370 TUSCANY STREET
CORONA, CA 92882

SITE SUMMARY

APN 279-140-013
ZONE: COMMERCIAL
TOTAL SITE AREA: 5.02 AC
TOTAL USABLE AREA: 2.77 AC
BUILDING COVERAGE: 5.7% OF TOTAL SITE AREA
LANDSCAPED COVERAGE: 24% (51,029 SF)
PARKING LOT COVERAGE: 35% (77,123 SF)
TRASH ENCLOSURE CALCS:
REQUIRED: 6050 TRASH ENCL/10,000SF OF FLOOR AREA
48,413SF FLOOR = 290.5 SF TRASH ENCL
PROVIDED: 290.5 SF TRASH ENCL

PARKING SUMMARY

REQUIRED:
HOTEL (159/ROOM): 122 SPACES
25P FOR EMPLOYEES: 2 SPACES
TOTAL REQUIRED: 124 SPACES
PROVIDED:
STANDARD: 134 SPACES
ADA SPACES: 5 SPACES
TRAILER: 2 SPACES
LOADING: 2 SPACES
TOTAL PROVIDED: 144 SPACES

GENERAL NOTES:

- PREPARED: MAY 2019
- NET ACREAGE: 5.02 ACRES (INCLUDE SLOPES, STREETS & PAD AREA)
- GROSS ACREAGE: 2.77 ACRES
- GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL
- LAND USE AND ZONING:
PROPOSED USE: COMMERCIAL
EXISTING USE: VACANT
EXISTING ZONING: EL CERRITO SPA-91-2
PROPOSED ZONING: EL CERRITO SPA- (AMENDED)
ADJACENT LAND USE, ZONING AND GENERAL PLAN DESIGNATION:
LAND USE:
NORTH: VACANT
SOUTH: COMMERCIAL/INTERSTATE 15
EAST: COMMERCIAL
WEST: COMMERCIAL/FREEWAY/INTERSTATE 15
- ALL LOT LINES AND DIMENSIONS ARE APPROXIMATE
- ALL STREETS HEREOF SHALL BE PUBLIC STREETS, EXCEPT WITHIN THE COMMERCIAL CENTER ZONE WHICH SHALL BE PRIVATE EASEMENT FOR ACCESS.
- ALL SLOPES ASCENDING FROM THE STREET R.O.W. TO BE MAINTAINED BY OWNER OR POA
- OWNER WILL MAINTAIN ALL INTERIOR SLOPES
- SOURCES OF TOPOGRAPHY IS FLOWN AERIAL SURVEY BY ARROWHEAD MAPPING DATED MAY, 2008
- THOMAS BROS. GUIDE, RIVERSIDE COUNTY, PAGES 773-75 (2004)
- ALL SEWER AND STORM DRAIN LINES ARE PRIVATELY MAINTAINED UNLESS OTHERWISE NOTED.
- ALL WATER LINES ARE TO BE PUBLICLY MAINTAINED.
- RETAINING WALLS SHOWN SHALL BE PER SEPARATE PERMIT.

ABBREVIATIONS:

AB	AGGREGATE BASE	G	GAS LINE (SIZE AS NOTED)
AC	ASPHALTIC CONCRETE	GB	GRADE BREAK
AV	AIR VAC	HP	HIGH POINT
BC	BEGIN CURVE	IE	INVERT ELEVATION
BO	BLOW OFF	LE	LENGTH OR LENGTH OF ARC
BCR	BEGIN CURB RETURN	LP	LOW POINT
BVC	BEGIN VERTICAL CURVE	MP	MANHOLE
CB	CATCH BASIN	PL	PROPERTY LINE
CL	CENTERLINE	P	POWER POLE
CO	CLEAROUT	PB	PULL BOX
CONE	CONCRETE	PE	ELECTRICAL PEDESTAL
DM	DIAMETER	P.P.	PROTECT IN PLACE
DWY	DRIVEWAY	PVI	POINT OF VERTICAL INTERSECTION
END	END CURVE	PWT	PAVEMENT
ECR	END CURB RETURN	R/W	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SEWAGE SEWER (SIZE AS NOTED)
EL	ELEVATION	SMH	SEWER MANHOLE
EX	EXISTING	STA	STATION
EXP	EDGE OF PAVEMENT	SW	SIDEWALK
EP	EDGE OF PAVEMENT	TB	TRAFFIC BOX/ TRAFFIC FIBER BOX
FG	FINISHED GRADE	TC	TOP OF CURB
F/H	FIRE HYDRANT	W	WATER LINE (SIZE AS NOTED)
FL	FLOWLINE	WM	WATER METER
FS	FINISHED SURFACE	WV	WATER VALVE
		()	EXISTING ITEM

LEGEND:

—	CENTERLINE	—	PROPERTY LINE
—	EXISTING FENCE	—	PROPOSED CURB AND GUTTER
—	EXISTING CURB AND GUTTER	—	PROPOSED SIDEWALK
—	EXISTING EDGE OF PAVEMENT	—	EXISTING STREET LIGHT
—	EXISTING CONCRETE EDGE	—	EXISTING FIRE HYDRANT
—	EXISTING SEWER	—	EXISTING WATER METER
—	EXISTING STORM DRAIN	—	EXISTING BLOW OFF
—	EXISTING WATER	—	EXISTING BLOW OFF
—	EXISTING STORM DRAIN	—	EXISTING POWER POLE/ TELEPHONE POLE
—	PROPOSED SEWER	—	TOP/TOE SLOPE
—	PROPOSED WATER	—	DAILY/GRADING LIMITS
—	PROPOSED STORM DRAIN		

OWNER/DEVELOPER: GOLD COAST PREMIER PROPERTIES
16155 SW 117TH AVE, UNIT B
MIAMI, FL 33177
(786) 701-3584
AARON PACKARD

ENGINEER: KWC ENGINEERS
1800 COMPTON AVE, SUITE #100
CORONA, CA 92881-7158
(951) 734-2130 x235
MIKE TANG

SITE PLAN
WOODSPRING SUITES
CITY OF CORONA

PREPARED FOR: GOLD COAST PROPERTIES CA5, LLC
16155 SW 117TH ST, UNIT B2
MIAMI, FL 33177

EXHIBIT 3.B



Project Conditions

City of Corona

Project Number: PPM2019-0005

Description: MODIFY PP01-020M FOR NEW HOTEL WOODSPRINGS SUITES

Applied: 6/13/2019

Approved: 1/21/2020

Site Address: 2370 TUSCANY ST CORONA, CA 92881

Closed:

Expired:

Status: APPROVED

**Applicant: GOLD COAST PROPERTIES CA1, LLC
16155 SW 117TH AVENUE, UNIT B2 MIAMI FL, 33177**

Parent Project:

Details:

LIST OF CONDITIONS

DEPARTMENT	CONTACT
BUILDING	Oscar Davalos
<p>1. BUILDING DEPARTMENT CONDITIONS</p> <p>2. Construction Documents need to be prepared in accordance to the latest applicable codes and standards.</p> <p>3. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.</p> <p>4. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.</p> <p>5. Roofing material shall be Class A.</p> <p>6. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.</p> <p>7. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.</p> <p>8. Separate permits are required for all fences, walls and paving.</p> <p>9. Comply with the Corona Burglary Ordinance # 15.52. Copies are available at the Building Department counter.</p> <p>10. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.</p> <p>11. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.</p> <p>12. All Fees Including Development Fees Must Be Paid in Full Prior to NIC or C of O Issuance</p> <p>13. All Fees Including City Impact Fees Must Be Paid in Full Prior to NIC or C of O Issuance</p> <p>14. The trash enclosure and path of travel to the enclosure shall be accessible for people with disabilities.</p> <p>15. Deferred submittals must be clearly identified on the building plans. Submittals such as; fire sprinklers, fire alarms, trusses, etc.</p> <p>16. Need to provide a code analysis for the project and submit it to the Building Division for screen check. The code analysis needs to include distances to the property line, type of construction, sprinkler requirements, setbacks, etc.</p>	
FIRE	Cindi Schmitz
<p>1. Place Fire Department DPR comments on plans as general notes.</p> <p>2. Plans shall show a minimum drive width of 28 feet.</p>	



Project Conditions

City of Corona

FIRE	Cindi Schmitz
	<ol style="list-style-type: none"> 3. Provide plans for two (2) all weather surface access ways to be approved by the Fire Prevention Manager and construct the access way(s) to accommodate 70,000 lbs GVW during all phases of construction. 4. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the Fire Department counter. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction. 5. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s). 6. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer. 7. Any overhead obstruction such as the second story of a building, porte cochere, etc., that intrudes into the required clear width of fire vehicle access drives shall provide a minimum clear height of fifteen (15) feet unless otherwise approved by the Fire Chief. 8. Modify the site plan to provide an all weather access within 150 feet of portions of exterior walls of the first story of the building as measured by an unobstructed route around the exterior of the building. 9. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site. 10. A Knox Box shall be provided for the building. 11. A minimum fire flow of 3000 gpm shall be provided. 12. The fire service waterline shall be looped and provided with two (2) separate points of connection. 13. Fire hydrants are to be spaced a maximum 250 feet apart. 14. Provide Class A roofing material. 15. A fire facilities fee of \$231.00 per acre is required per Corona Municipal Code Section 3.36.030 and must be paid prior to building permit issuance. 16. Per 511 of the Corona Municipal Code, a public safety radio communication study is required. Consult with the Fire Department for specific requirements for this study. 17. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development. 18. A specific address, assigned by the City of Corona, shall be provided for each building as specified by the fire department address standard which can be obtained at the fire department counter at City Hall. Address must be illuminated during all hours of darkness. 19. Obtain the following fire department permit(s): Place of Assembly 20. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles. 21. Multiple unit buildings shall have suite number identification assigned by the Fire Department. Submit an exhibit for review and approval to the Fire Department. A copy of the Premise Identification Standard is available at coronaca.gov 22. FR-0098-Submit separate plans for review and approval of fire sprinklers, underground fireline and fire alarm system. 23. FR-0099-Submit a plan dedicated for fire access and fire equipment.
PLANNING	Sandra Yang
	<ol style="list-style-type: none"> 1. This Precise Plan hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof within two (2) years after the construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have lapsed. 2. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees.



Project Conditions

City of Corona

PLANNING	Sandra Yang
<ol style="list-style-type: none"> 3. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 4. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 5. The roofing material for the hotel shall be concrete barrel shaped tiles as shown on the colored elevation plans in Exhibit D. 6. The north, east, and south perimeters of the site shall be landscaped with additional plant materials other than trees. The additional landscaping may include shrubs, groundcover, and/or ornamental landscape materials including decorative rocks and boulders. 7. Separate permits shall be obtained for any signage proposed for the site prior to installation. 8. All signage shall be constructed in accordance with the sign program contained in this application, with the exception of the signs on the north and south elevations which shall be reduced to no more than 60 square feet per elevation. 9. This project is subject to Riverside County's MSCHP fee for commercial development. The fee shall be paid at time of issuance of a building permit. 10. Landscape plans shall be submitted as a separate submittal to the Building Division for plancheck. At time of submittal, the applicant shall submit a landscape deposit in the amount of \$5000 to the Planning Division to cover plancheck and inspection services which will be provided by a Planning landscape consultant. Any money left remaining from this deposit will be reimbursed to the applicant upon project completion. This deposit is separate from the Building Division's landscape plancheck submittal fee which does not cover the Planning Division's review of the landscape plans. 	
PUBLIC WORKS	Emily Stadnik
<ol style="list-style-type: none"> 1. The Public Works and the Departments of Water and Power, Maintenance and Parks and Landscaping Conditions of Approval for the subject application and shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Public Works Department Land Development Section. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail. 2. Prior to issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed project will not unreasonably interfere with the use of any easement holder of the property. 3. The submitted site plan shall correctly show all existing easements, traveled ways, and drainage courses. Any omission or misrepresentation of these documents may require said site plan to be resubmitted for further consideration. 4. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Public Works Department. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans. 	



Project Conditions

City of Corona

PUBLIC WORKS	Emily Stadnik
	<p>5. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:</p> <ul style="list-style-type: none"> (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day. (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official. (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site. <p>Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.</p> <p>6. Prior to issuance of a building permit, the developer shall ensure that a homeowner's association or property owner's association is established for the purpose of maintaining all private streets, common areas and private utilities. The association documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Public Works Department.</p> <p>Existing Master CC&R's for Crossings Development shall be revised, if necessary, to include verbiage for the hotel portion on Parcel 4, and any additional maintenance area constructed per this development.</p> <p>7. Prior to issuance of a building permit, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:</p> <ul style="list-style-type: none"> a) Any missing improvements along Tuscany Street along the project frontage, tying into existing improvements, shall be constructed. b) All drainage facilities supporting the proposed project, and connecting to public storm drains. c) All required grading, including erosion control. d) All required sewer, water and reclaimed water facilities. Master planned reclaimed water facilities along Tuscany Street shall be constructed per the direction of the City Engineer. e) All required landscaping. f) All under grounding of overhead utilities, except for cables greater than 32k volts. <p>8. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.</p> <p>9. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Public Works Department Land Development Section. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.</p> <p>10. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Public Works Department Land Development Section.</p> <p>11. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.</p> <p>12. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.</p> <p>13. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (<i>Lepidospartum Squamatum</i>) has been completed.</p>



Project Conditions

City of Corona

PUBLIC WORKS	Emily Stadnik
	<p>14. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.</p> <p>15. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.</p> <p>16. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.</p> <p>17. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Public Works Land Development Section for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format.</p> <p>18. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.</p> <p>19. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future operators of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.</p> <p>20. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.</p> <p>21. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.</p> <p>Any proposed facilities connecting to Riverside County Flood Control facilities, shall be approved by Riverside County Flood Control, and an encroachment permit through Flood Control shall be obtained.</p> <p>22. Prior to approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.</p> <p>An addendum to the existing Master Drainage Study for the Crossings Development, may be accepted in place of the submittal of a new site specific study.</p> <p>23. Prior to approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All residential lots shall drain toward the street. Lot drainage to the street shall be by side yard swales independent of adjacent lots or by an underground piping system. Concentrated drainage on commercial lots shall be diverted through parkway drains under sidewalks. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.</p> <p>24. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.</p> <p>25. Prior to Certificate of Occupancy, the developer shall pay fair share fees to the Public Works Department Land Development Section per the Crossings Infrastructure and Fee Agreement, and as approved by the City Engineer.</p> <p>26. Prior to issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.</p>



Project Conditions

City of Corona

PUBLIC WORKS	Emily Stadnik
	<p>27. The City of Corona Department of Water and Power shall provide electric service to the development, subject to availability as determined by the Department of Water and Power.</p> <p>28. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.</p> <p>29. Prior to recordation or approval of improvement plans, the applicant shall obtain all necessary easements for any required offsite water and sewer facilities.</p> <p>30. Prior to issuance of any building permits, including model home permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.</p> <p>31. Prior to issuance of the first Certificate of Occupancy, all weather access road(s) shall be provided to all sewer manholes not located within public right-of-way. Access shall be provided based on communications with developer's engineer with the following guidelines:</p> <ol style="list-style-type: none"> 1. The access needs to be paved. 2. "Bends" in access roads will not be permitted, for adequate utility truck access. 3. The grade of each paved access slope shall be less than 10%, per City standard. 4. Adequate cover for the existing utilities shall remain. 5. No retaining walls will be permitted within PUEs. <p>32. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.</p> <p>33. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.</p> <p>34. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.</p> <p>35. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of the continuation of the 14-inch ductile iron recycled water main in Tuscany Street, along the project frontage. A public utility easement shall be dedicated, per separate instrument, prior to building permit issuance.</p> <p>36. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.</p> <p>37. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.</p> <p>38. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.</p> <p>39. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.</p> <p>40. Static pressures exceeding 80 psi require an individual pressure regulator.</p> <p>41. Reclaimed water shall be used for any construction activity. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.</p> <p>42. The applicant shall provide a separate irrigation water service for all landscaped areas.</p> <p>43. The landscape plans of all parkway and Landscape Maintenance District (LMD) and Community Facilities District (CFD) lots shall be prepared by a licensed Landscape Architect and shall be submitted to the City for review and approval.</p>



Project Conditions

City of Corona

PUBLIC WORKS	Emily Stadnik
44. Prior to issuance of any permit: Mitigation measures, as outlined by; the Army Corps of Engineers, US Department of Fish and Game, and the Santa Ana Regional Water Quality Control Board; for the Joseph Canyon Wash area adjacent to the project site, shall be completed, and documented completion submitted to the City of Corona PW Department.	

August 9, 2021

City of Corona
Community Development Department
400 S. Vicentia Avenue
Corona, CA 92882

Attention: Sandra Yang, Senior Planner

Regarding: **Precise Plan 2018-0006 (PPM2019-0005)– Application for Extension of Time**

Dear Ms. Yang,

On behalf of our client, Gold Coast Properties, I would like to request an extension of time for the above referenced Precise Plan.

The plan preparation and approval process has taken longer than expected and our client is uncertain whether he will be able to start construction within the two (2) years allowed by approved PPM2019-0005), therefore we feel that the extension of time is necessary.

Thank you for your time and consideration. Please feel free to contact me via e-mail or on my cell at 951-901-5408, should you have any questions or need anything else.

Sincerely,


Jo Howard
Land Use Manager

Enclosure

EXHIBIT 3.D



Staff Report

File #: 21-0897

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

GPA2021-0001: General Plan Housing Element Update for Planning Period 2021-2029 for the 6th Cycle Regional Housing Needs Assessment. (Applicant: City of Corona)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend adoption of the Addendum to the General Plan Environmental Impact Report (SCH#2018081039) and APPROVAL of GPA2021-0001 to the City Council, and adopt Resolution No. 2578 granting GPA2021-0001 to update the General Plan Housing Element for Planning Period 2021-2029.

EXECUTIVE SUMMARY

The Housing Element is one of the eight mandatory elements of the City's General Plan. Pursuant to state law, the Housing Element is required to be periodically updated, which is every eight years. The Housing Element is responsible for identifying a city's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing and an identification of adequate housing sites for all economic segments of the community, persons with special needs and emergency shelters.

BACKGROUND

The city initiated the update to its Housing Element in November 2020. The Housing Element Update for planning period 2021-2029 aligns with the State's allocation of the Regional Housing Needs Assessment, commonly known as RHNA. The Southern California Association of Governments (SCAG) Regional Council adopted the final RHNA allocation for the jurisdictions within its region at its meeting on March 4, 2021. The below table shows the city's final RHNA allocation on the number residential housing units for each income category. The city is required to show how the units are being planned for in the Housing Element Update.

Table 1
City of Corona RHNA Allocation
Years 2021-2029

Income Category Based on Area Median Income (AMI)	Number of Units to Accommodate	Percentage
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81% and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%

Public Meetings on the Housing Element Update

The following is a summary of the public meetings that discussed the Housing Element Update for planning period 2021-2029.

- **January 21, 2021. City Council and Planning and Housing Commission Joint Study Session.** The study session covered an introduction to the Housing Element Update, the RHNA allocation process, various state legislation governing Housing Element law, and the information covered in the Housing Element.
- **February 16 & 18, 2021. Stakeholder Workshops.** The city held two stakeholder workshops with special interest groups on the Housing Element Update. Special interest groups included organizations and agencies that provide housing or assist special needs groups with housing opportunities (low-income persons, senior citizens, persons with disabilities, persons needing rehabilitation, persons experiencing homelessness, persons of domestic violence, etc.).
- **March 17, 2021. City Council Public Meeting.** At the request of the City Council, staff provided an administrative report on the RHNA and the state law regarding the implementation of the RHNA.
- **May 27, 2021. Community Meeting.** The city held a community meeting on the Housing Element Update. The meeting covered the purpose of the Housing Element, the city's RHNA allocation, and the housing sites inventory.
- **June 21, 2021. Planning and Housing Commission Meeting.** An administrative report was provided to the Commission on the release of the Housing Element Update 2021-2029 Draft. The draft document was posted on the city's website and was made available to the public for a period of 60 days for review and public comments.
- **June 23, 2021. City Council Study Session.** An update on the status of the Housing Element Update and the housing sites inventory was provided to the City Council.

Public Information Outreach on Housing Element Update

The city created a Housing Element Update webpage where the public can find information. The Housing Element Update webpage is available at www.CoronaCA.gov/GPUUpdate. Additionally, the city has used the following mechanisms to advertise public meetings on the Housing Element Update and other information as it becomes available.

- **Housing Survey.** An online housing survey was made available to the public for a period of 35 days starting on January 25, 2021. The city received 260 responses on the survey. The results of the housing survey are included in Appendix A of the Housing Element Update 2021-2029 Draft.
- **Stakeholder Workshops.** The city circulated a flyer on the city's Facebook page and on the Housing Element Update webpage advertising the stakeholder workshop meetings on February 16 & 18, 2021. Staff also circulated an email with the flyer to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.
- **Community Meeting.** The city circulated a flyer on the city's Facebook page and on the Housing Element Update webpage advertising the community meeting on May 27, 2021. Additionally, staff mailed 100 letters to the property owners that have property identified on the housing sites inventory and circulated an email with the flyer to 74 special interest groups on the city's contact list. This information is provided in Appendix A of the Housing Element Update Draft.
- **Map Social Interactive Mapping Tool.** The city advertised on its Facebook page the availability of an interactive mapping tool on the proposed housing sites inventory. The purpose of the mapping tool is to engage feedback on the housing sites being identified in the Housing Element Update.
- **City Facebook and Housing Element Update Webpage.** Announcements on the Housing Element Update are posted on the City's Facebook in addition to the website. Materials related to the Housing Element are also posted on the website.

An email address was also created so that the public can send comments or questions on the Housing Element Update. The email address is posted on the Housing Element Update webpage.

Housing and Community Development (HCD) Review of Corona's Housing Element Update Draft

The city submitted its Housing Element Update Draft to HCD on July 1, 2021, initiating a 60-day review by HCD. HCD completed its review on August 30, 2021. The Housing Element Update has since been revised to reflect the comments received from HCD. The revised Housing Element Update was posted on the city's Housing Element Update webpage on September 27, 2021.

PROJECT DESCRIPTION

The Housing Element Update in its entirety is included as Exhibit 2. The element includes six chapters and appendices A through C. The following is a brief description of the chapters and appendices covered in the element.

Chapter 1: Introduction. This chapter gives a general overview of the city's profile, the purpose of

the Housing Element, sources of information used in the Housing Element and the public participation process.

Chapter 2: Housing Needs Assessment. This chapter covers the city's population growth trend, the city's characteristics (age distribution, race and ethnicity, employment, household characteristics, household by income category, special need groups), housing stock characteristics, Riverside County's Area Median Income, and the number of assisted housing units in Corona.

The average median income in Riverside County based on a 4-person household is \$77,500. This is based on HCD's state income limits published in 2021. Based on the area median income (AMI), the household income distribution in the city is shown in the below table. This information is also shown in Table 10 of the Housing Element.

Table 2 Households by Income Category

Income Category (Percent of County AMI)	Households
Extremely Low (30% or less)	8.8%
Very Low Income (less than 50% if AMI)	15.6%
Low Income (50-80% AMI)	15%
Moderate Income (80-120% AMI)	12%
Above Moderate Income (greater than 120%)	48.5%

A summary of some of Corona's housing characteristics is shown in the below tables. Table 3 shown below shows Corona's household characteristics and Table 4 shows the average household size and overcrowded households in the city. These tables are also provided in Chapter 2 of the Housing Element as Tables 7 and 9.

Table 3: Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786

Table 4 Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%

The city's housing stock mostly consists of single-family homes at 37,394 units (72.6%) followed by multiple family homes at 12,275 units (23.8%). Mobile homes or other units include 1,835 units (3.6%). The information in the Housing Element is based on 2014-2018 data from the American Community Survey.

Chapter 3: Housing Constraints. This chapter talks about constraints when it comes to building housing or providing housing. Housing constraints can include market constraints (construction and labor costs, land cost and financing), governmental constraints (land use zoning and development standards related to parking requirements, lot coverage, building setbacks and open space), constraints when it comes to providing housing for persons with special needs (24-hour care facilities, emergency shelters, mobile homes, accessory dwelling units, transitional and supportive housing), development fees and infrastructure requirements associated with new construction, permit processing times, etc.

Chapter 4: Housing Resources. This chapter talks about the city's future housing need, Corona's RHNA allocation and the financial resources that can be applied toward low income housing. This chapter identifies the income categories the city is meeting on its RHNA allocation for planning period 2021-2029 based on existing zoning (includes vacant sites and non-vacant sites) and pending projects that have either been approved but not yet built or submitted to city staff for review but not yet entitled. This chapter also shows the number of units the city is deficient in meeting the RHNA allocation based on existing conditions.

The city is required to plan for the housing units that are not met based on existing zoning. Table 5 (shown as Table 45 in the Housing Element) shows the city needs to plan for low and moderate-income units by rezoning property. Sites suitable for low income units must have a zoning and General Plan designation that allows a higher density of at least 30 dwelling units to the acre. Moderate income units also can be accounted for in the higher density but can be included in a medium density that allows up to 15 dwelling units to the acre. Therefore, to plan for the city's RHNA allocation of low and moderate income units for planning period 2021-2029, the city will need to rezone property. The city will need to rezone property to accommodate 2,532 low income units and 887 moderate income units. Overall, the city's rezoning would accommodate 3,123 low income units and 888 moderate income units. The surplus of units provides the city with a buffer to accommodate a potential shortfall of sites should any of the low income sites identified in the sites inventory is underbuilt.

Table 5 Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

The rezone sites are shown as Figure 9 and Figure 10 in the Housing Element. The city is taking two approaches on the rezone program. The first approach is shown in Figure 9 which includes rezoning property to either a high density or medium density designation. These sites were chosen based on their current condition and if the size of the property can support additional housing units. For example, the properties shown on Quarry Street across from City Park and the parcels on Ford Street and Barth Street are zoned single family residential but have parcel sizes capable of accommodating additional units such as a duplex. Properties such as this are being considered for medium density development to accommodate moderate income units.

The parcels shown on Figure 10 are intended to be rezoned with an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future. The non-vacant commercial sites included in the housing sites inventory were selected because the sites may be underutilized, have building coverage less than 50%, have struggled with vacancies or turnover over the years and are within walking distance to public transportation and other commercial services.

The affordable housing overlay zone will allow up to 60 dwelling units to the acre. To meet the RHNA allocation assigned to low income units, the city needs to allow for the higher density on the properties because of limited land resources.

The Housing Survey distributed in January 2021 asked respondents where housing should be located within the city and which areas of the city would be better suited for high density residential. The

majority of respondents (47.97%) said housing should be located throughout the city. However, when asked where high density housing would be better suited the majority of the respondents (75.20%) said in areas where public transportation is within walking distance. The second preference (42.80%) was in areas near commercial centers. A copy of survey responses is provided in Appendix A of the Housing Element.

Rezone Program

Properties that are required to be rezoned as part of the housing sites inventory of the Housing Element shall be done within three years of the start of the planning period. The start of the Housing Element planning period begins October 15, 2021. Therefore, the city will have three years from that date to complete its rezone program. The city will initiate a separate process after the adoption of the Housing Element to rezone the properties identified on the sites inventory. The rezone program would follow the same procedures as a change of zone, which requires the city to do an environmental analysis of the changes, create an affordable housing overlay zone, and conduct public outreach and public hearings on the process.

It is worth noting that with the passage of SB 1398, which was signed by the Governor on September 28, 2021, jurisdictions that fail to adopt a housing element that HCD has found to be in substantial compliance with State law within 120 days of the statutory deadline are to complete rezoning no later than one year from the statutory deadline. Therefore, if HCD does not determine to the city to have a state compliant Housing Element 120 days from October 15, 2021, the completion of the rezone program in the Housing Element would be reduced from three years to one year.

Chapter 5: Review of Past Accomplishments. This chapter covers the past accomplishments of the housing plan programs from planning period 2013-2021. This chapter identifies the previous programs from the Housing Element, the objectives of the programs and the city's progress and continued appropriateness of the programs.

Chapter 6: Housing Plan. This chapter identifies the goals and policies of the Housing Element and the housing programs that the city will implement in planning period 2021-2029. The programs will include existing programs being carried over into the new planning period as well as new programs. Certain programs are a continuation annually whereas others are required to be implemented by a certain date.

After the Housing Element Update Draft was posted on the website, the city made some redlined revisions to certain housing programs to better respond to HCD's comments. The programs in their entirety, including the redlines, is provided as Exhibit 3.

Appendices A through C. The appendices to the Housing Element Update include the public outreach materials used during the preparation of the Housing Element (Appendix A), spreadsheets of the sites inventory (Appendix B), and discussion on Affirmatively Furthering Fair Housing (Appendix C).

ENVIRONMENTAL ANALYSIS

The City has prepared an environmental evaluation to analyze the potential environmental impacts of the Housing Element Update and whether the environmental impacts of the Housing Element were adequately addressed in the Corona General Plan Update EIR (SCH#2018081039) certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts. As permitted by State California Environmental Quality Act (CEQA) Guidelines Sections 15164(e) and 15168(c), an addendum to the General Plan EIR was prepared.

FISCAL IMPACT

Not applicable.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was advertised in the Sentinel Weekly News and posted on the city's website. Additionally, the city emailed the parties listed on the city's Housing Element Update stakeholder list. As of the preparation of this report, staff has not received any correspondence on the public hearing notice.

Prior to the public notice being posted, the city received a comment letter from Mitchell M. Tsai, Attorney at Law, dated August 13, 2021. This letter was submitted during the initial 60-day public review advertised in June 2021. Since the receipt of this letter, the Housing Element Update has been revised in response to comments received from HCD dated August 30, 2021.

STAFF ANALYSIS

The Housing Element Update is necessary as it is one of the state mandatory elements of the General Plan. The Housing Element Update process aligns with the state's RHNA allocation and is subject to a statutory deadline, which is October 15, 2021. However, jurisdictions in the Southern California Association of Governments Region (SCAG) are given a 120-day grace period from the statutory deadline to submit an adopted Housing Element Update to HCD.

The Housing Element identifies strategies and programs that focus on: a) Conserving and improving existing affordable housing, b) Maximizing housing opportunities throughout the community, c) Assisting in the provision of affordable housing, d) Removing governmental and other constraints to housing investment, and e) Promoting fair and equal housing opportunities.

FINDINGS FOR THE APPROVAL OF GPA2021-0001

1. The City has prepared an environmental evaluation to analyze the potential environmental impacts of the Housing Element Update and whether the environmental impacts of the Housing Element were adequately addressed in the Corona General Plan Update EIR (SCH#2018081039) certified on June 3, 2020. The evaluation indicated that the Housing Element Update will not result in impacts beyond what was previously analyzed in the General Plan EIR or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts. As permitted by State California Environmental Quality Act (CEQA) Guidelines Sections 15164(e) and 15168(c),

an addendum to the General Plan EIR was prepared.

2. GPA2021-0001 is in the public interest and would not be detrimental to public health, safety and welfare for the following reason:
 - a. The Housing Element is an integral part of the City's General Plan and its purpose is to adequately provide for the planning of housing for all economic segments of the community and to ensure housing opportunities and housing services are available to the most vulnerable populations and those with special needs.
3. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:
 - a. The goals and policies in the Housing Element encourage and facilitate the production of housing based on the varied income levels and special needs groups, which is the premise of the Element.
 - b. The goals and policies related to housing are to conserve and improve existing affordable housing, maximize housing opportunities throughout the community, assist in the provision of affordable housing, remove governmental and other constraints to housing investment, and promote fair and equal housing opportunities, which is the premise of the Element.

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2578
2. Housing Element Update Draft 2021-2029
3. Housing Programs Revised Redlined Version
4. General Plan EIR Addendum



RESOLUTION NO. 2578

APPLICATION NUMBER: GPA2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA APPROVING A GENERAL PLAN AMENDMENT TO UPDATE THE HOUSING ELEMENT FOR PLANNING PERIOD 2021-2029 FOR THE 6TH CYCLE REGIONAL HOUSING NEEDS ASSESSMENT. (APPLICANT: CITY OF CORONA)

WHEREAS, the Planning and Housing Commission of the City of Corona initiated proceedings through GPA2021-0001 to consider amending the General Plan Housing Element for planning period 2021-2029 for the 6th cycle Regional Housing Needs Assessment; and

WHEREAS, the Planning and Housing Commission held a noticed public hearing for GPA2021-0001 on October 11, 2021 as required by law, and

WHEREAS, the Planning and Housing Commission after close of the public hearing considered all of the evidence presented in its deliberations; and

WHEREAS, the Planning and Housing Commission, by the majority, approved GPA2021-0001 in accordance with the analysis and findings in the staff report; and

WHEREAS, the Planning and Housing Commission reviewed and considered the information contained in the Addendum to the General Plan Environmental Impact Report (EIR) (SCH# 2018081039), which was prepared in connection with GPA2021-0001 pursuant to CEQA Guidelines Sections 15164(e) and 15168(c) because the evaluation indicated that the Housing Element Update (GPA2021-0001) will not result in impacts beyond what was previously analyzed in the General Plan EIR certified by the City Council on June 3, 2020, or require mitigation measures not included previously because the project does not have new or substantially more severe significant environmental impacts.

NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this GPA2021-0001 the Planning and Housing Commission has reviewed and considered the information contained in the Addendum to the General Plan EIR and the administrative records for this General Plan Amendment, including all written and oral evidence provided during the comment period. Based

upon the facts and information contained in the Addendum and the administrative record, including all written and oral evidence presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this GPA2021-0001 does not have new or substantially more severe significant environmental impacts.

SECTION 2. Findings. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:

1. GPA2021-0001 is in the public interest and would not be detrimental to public health, safety and welfare for the following reason:
 - a. The Housing Element is an integral part of the City's General Plan and its purpose is to adequately provide for the planning of housing for all economic segments of the community and to ensure housing opportunities and housing services are available to the most vulnerable populations and those with special needs.
2. GPA2021-0001 is internally consistent with the elements of the General Plan, including the goals and policies stated therein for the following reasons:
 - a. The goals and policies in the Housing Element encourage and facilitate the production of housing based on the varied income levels and special needs groups, which is the premise of the Element.
 - b. The goals and policies related to housing are to conserve and improve existing affordable housing, maximize housing opportunities throughout the community, assist in the provision of affordable housing, remove governmental and other constraints to housing investment, and promote fair and equal housing opportunities, which is the premise of the Element.

THAT THE COMMISSION passes and adopts Resolution No. 2578 approving the General Plan Amendment granted in accordance with Exhibits 2 and 3 of the staff report for GPA2021-0001; and

THAT THE COMMISSION recommends to the City Council that it approve such General Plan Amendment and adopt the Addendum to the General Plan EIR prepared for GPA2021-0001.

Adopted this 11th day of October, 2021

Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in an adjourned regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAINED:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

City of Corona

Housing Element

2021-2029

City of Corona
400 Vicentia Avenue
Corona, CA 92882

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Chapter 1: Introduction

CITY PROFILE

Incorporated in 1896, Corona is an ethnically diverse city with industrial, retail, and commercial employment opportunities; public programs, amenities, and parkland for residents; and cultural and historical museums and sites. The City has experienced rapid urbanization over the last 25 years, with residential development occurring primarily in the southern, northeastern, and western portions of the City. While the City's roots were in the agricultural industry, the City of Corona has transformed over the past fifty years into the 31st most populated city in California. As of 2019, the City of Corona has a population of approximately 169,868 people. The City is projected to reach a population of approximately 185,100 people by 2045.

Corona is in the northwestern portion of Riverside County, near the convergence of San Bernardino, Orange, and Riverside counties, about 45 miles southeast of Los Angeles. The City is bordered by Norco to the north, Riverside to the east, Orange County to the west, and Riverside County to the south. Two major freeways transect Corona: the Riverside Freeway (SR-91) runs east-west directly north of the City's center, and Interstate 15 (I-15) runs north-south near the eastern edge of the City¹. In Corona, the General Plan covers all 39.2 square miles within City limits and provides input to Riverside County for the planning of 35.2 square miles within the City's Sphere-of-Influence (SOI), which includes Coronita, Home Gardens, El Cerrito, and Temescal Valley. Noted for its schools, recreational opportunities, and historic/cultural amenities, the City is known for its high degree of livability².

PURPOSE OF THE HOUSING ELEMENT

According to California Government Code Section 65302, the General Plan is required to consist of eight State-mandated elements, including land use, circulation, housing, conservation, open space, noise, environmental justice and safety. The Housing Element is the only element required to be updated on a routine basis, every four, five, or eight years as mandated by California Government Code Section 65581. The purpose of the Housing Element is to craft a comprehensive strategy for providing safe, decent, and affordable housing within the community. The Housing Element has two main purposes:

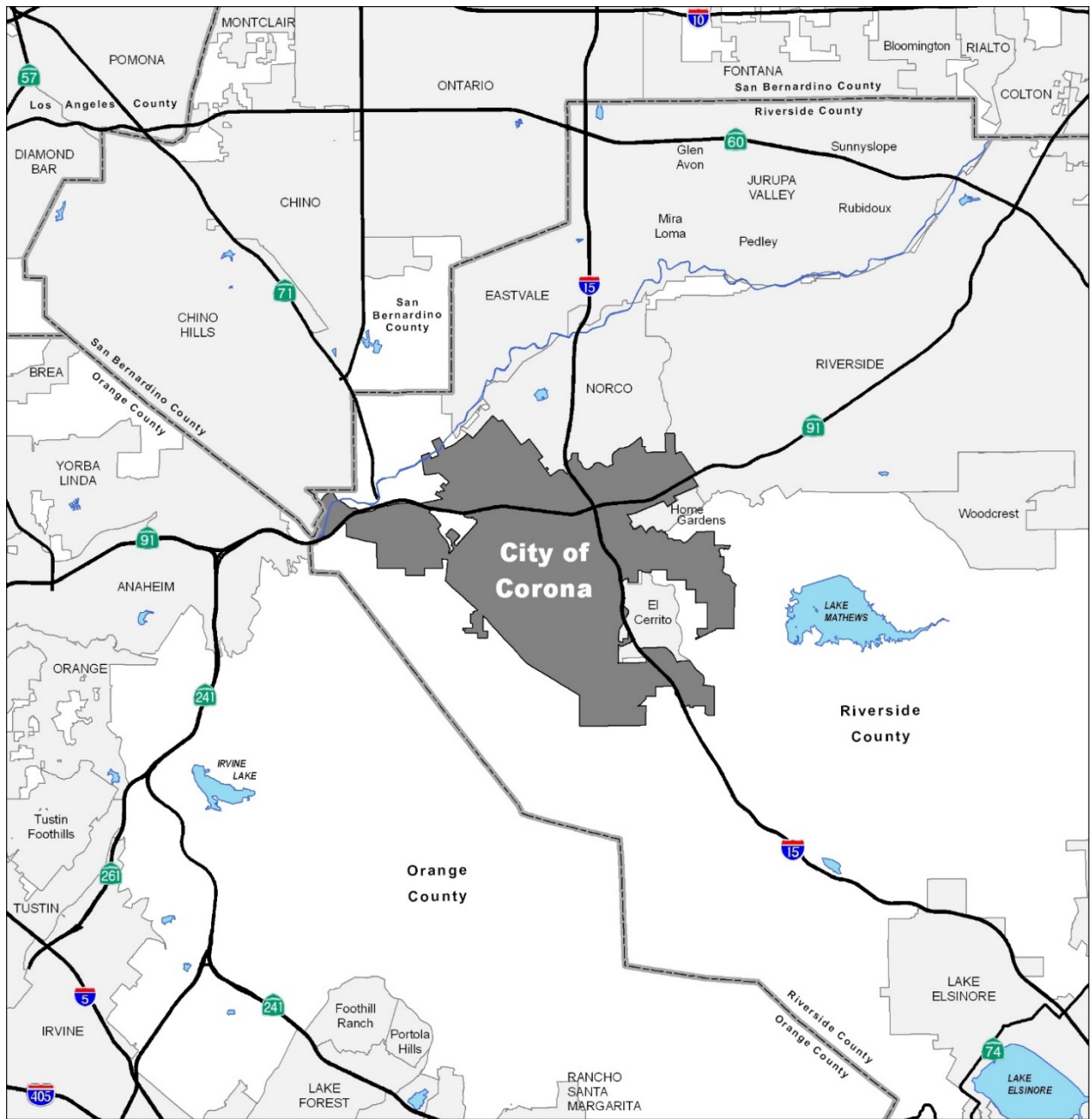
- » To provide an assessment of both current and future housing needs and constraints in meeting these needs; and
- » To provide a strategy that establishes housing goals, policies, and programs.

This Housing Element represents the City of Corona's 6th Housing Element cycle and will be carried out from 2021 through 2029.

1 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

2 City of Corona. 2019. General Plan Technical Background Report.
<https://www.coronaca.gov/home/showpublisheddocument?id=17294>

Figure 1: Geographic Location



Legend

- Corona City Boundary
- Surrounding CITIES/Communities
- Hydrology

Source: Riverside County Transportation & Land Management Agency GIS Data Layers, 2010 TIGER/Line Shapefiles

RELATIONSHIP TO OTHER GENERAL PLAN ELEMENTS

The City of Corona's 2040 General Plan was updated in 2020 and is comprised of the following elements: Land Use; Housing; Community Design; Historic Resources; Economic Development; Parks, Recreation, Cultural Arts, and Education; Circulation; Infrastructure and Utilities; Public Safety; Noise; Healthy Community; and Environmental Resources. California Government Code Section 65583 (c) requires the Housing Element to maintain internal consistency with other General Plan Elements. The Housing Element builds upon policies set forth in the other General Plan elements; for instance, the Land Use and Community Design Element establishes policies regarding the amount, intensity, and distribution of residential uses. The City will maintain and ensure internal consistency among General Plan elements as portions of the General Plan are amended.

ORGANIZATION OF THE HOUSING ELEMENT

The Corona Housing Element is comprised of the following major components:

- » Introduction: a brief overview of the purpose and background for the Housing Element.
- » Community Profile: an assessment of Corona's demographic and housing market characteristics and their correlation to housing needs in the community.
- » Constraints to the Provision of Housing: an analysis of the various market, governmental, and environmental constraints in the City and their impact on the development and preservation of housing in Corona.
- » Housing Opportunities and Resources: an inventory of land, financial, and administrative resources available to facilitate housing development in Corona. Opportunities for energy conservation are also discussed.
- » Housing Plan: An outline of the City's proposed actions and objectives over the next eight years in addressing the housing needs of the community and complying with State law.

SOURCES OF INFORMATION

This Housing Element was updated with various sources of data, including:

- » Census Bureau and American Community Survey (ACS)
- » Department of Finance (DOF)
- » Southern California Association of Governments (SCAG)
- » Home Mortgage Disclosure Act (HMDA) lending data
- » Regional Homeless Point-in-Time Count
- » State Department of Social Services database on residential care facilities
- » State Employment Development Department (EDD) data on wage and labor statistics

PUBLIC PARTICIPATION

The City of Corona values community input and offers various opportunities for residents and community stakeholders to provide input on housing and community development issues. The following summarizes the City's community outreach efforts during the Housing Element development process.

The City hosted a webpage dedicated to the Housing Element Update: www.CoronaCA.gov/GPUUpdate. A record of the webpage and comments received via online submission is included in Appendix A.

On January 21, 2021, the City held a joint public study session meeting with the Planning and Housing Commission and City Council to review the Housing Element process.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update. A flyer advertising the workshops was sent to members of the City's contact list, which included approximately 75 service providers, housing professionals, and community stakeholders. A copy of the distribution list is provided in Appendix A. The City provided a short presentation about the Housing Element update and led a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies.

Additionally, the City circulated a community engagement survey to collect input from Corona residents and housing and services providers. The survey asked questions regarding current living situations and opinions on various housing issues and approaches. This survey was circulated from January 25, 2021 to March 5, 2021. A copy of the survey and the survey results are included in Appendix A. A total of 260 responses were received. Respondents identified the following housing issues and opportunities:

- » Respondents who own a single-family home would most likely consider adding an accessory dwelling unit (ADU) to provide separate living quarters for someone in the family, and if the city offered inexpensive permitting fees, and a simple permitting process.
- » Respondents identified financial assistance programs such as rental assistance and down payment assistance programs, and having more housing types available, as the approaches that would provide the best options for housing in the City.
- » The majority of respondents agreed that new housing should be located throughout the City, as opposed to areas within walking distance to public transportation or in areas near commercial centers.
- » Most respondents felt that high-density apartments and/or condominiums would be best suited in areas where public transportation is within walking distance.
- » When asked to rank the most effective way the City could provide additional options for housing, the majority of respondents identified repurposing older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.
- » Respondents identified the need for assistance for people experiencing homelessness in the City.

The City posted information about the Housing Element update on its website, a copy of which is provided in Appendix A. The City hosted a community meeting on May 27, 2021. A flyer advertising the meeting was posted on the city's Housing Element Update webpage, the city's Facebook and distributed to members of the City's contact list. A copy of the flyer for the meeting, in English and Spanish, is

included in Appendix A. The City also sent a letter to the property owners of sites that may be rezoned and/or may be included in one of the two proposed Affordable Housing Overlays (AHOs). The letter templates and distribution list are included in Appendix A. A short presentation was provided at the meeting and covered the Housing Element update, survey results, and potential housing sites. The discussion centered on clarification of parking requirements and whether the City planned to use powers of eminent domain.

The Draft Housing Element was made available to the public on June 18, 2021. City staff also prepared an administrative report on the availability of the draft Housing Element that was submitted to the Planning and Housing Commission at its meeting on June 21, 2021. The City Council at its study session meeting on June 23, 2021, was provided an update on the progress of Housing Element and was presented with housing sites inventory. The document was posted on the City's website, was promoted via social media, and all service providers, housing professionals, and community stakeholders identified in Appendix A received notification that the draft document had been released for public review.

The responses provided on the online survey, and the February 2021 stakeholder workshops, established the foundation in identifying housing sites and program development components of the Housing Element Update. Feedback from the stakeholder workshops and community meeting identified the following issues and concerns:

- » There is an identified need for housing affordable and available for low-income families, low-income individuals, and special needs populations. Housing needs may be met by low-income and affordable housing, supportive housing, apartments, accessory dwelling units (ADUs), and/or mixed-use housing.
- » Affordable and supportive housing should be located in areas close to public transit and essential services such as schools, hospitals, pharmacies, and employment centers.
- » The City should consider mixed-use and/or live-work housing in older commercial areas to help revitalize places such as downtown, older areas, and industrial areas.
- » Barriers to the provision or development of supportive or affordable housing includes various environmental constraints, infrastructure availability, finding partnerships with developers/organizations, lack of a standardized and/or timely permitting, and difficulties concerning the timing and availability of funding sources.

As a response to comments received from the public survey, the stakeholder workshops, and community meeting, the City focused on rezoning sites to allow high-density and mixed-use housing in areas close to public transit and existing services, namely in the North Main Street District Specific Plan area and along East and West 6th Street, which includes properties in the Downtown Corona Revitalization Specific Plan area. Housing in the Downtown Corona Revitalization Specific Plan area will help revitalize the older downtown core of Corona and place housing near existing employment centers and services such as social service agencies and hospitals. In response to public input that identified a need for affordable housing, the City plans to meet Regional Housing Needs Allocation (RHNA) goals by implementing an affordable housing overlay (AHO) zone designed to incentivize affordable housing development.

Also, in response to public input, the City will continue and/or expand programs to support housing opportunities for special needs populations including people experiencing homelessness, enhance outreach and streamlining for ADU development, and address the regulatory, financial, and other constraints to developing supportive and affordable housing.

Chapter 2: Housing Needs Assessment

Ensuring the availability of adequate housing for all social and economic sectors of the City's present and future population is an important goal for Corona. To implement this goal, the City must target its resources and programs toward those households and populations with the greatest need. This section of the Housing Element discusses the characteristics of the City's present and future population and housing stock to define the nature and extent of unmet housing needs in Corona.

POPULATION

POPULATION GROWTH TRENDS

Because the 2020 Census data has not yet been released, population estimates for 2019 were used for this analysis. According to the Census, the City of Corona's population doubled in size from 76,095 in 1990 to 152,374 in 2010. Between 2010 and 2019, the City grew an additional 11.5 percent. The City's sustained growth since 1990 is reflective of the proximity to Orange County, San Diego County, and the Los Angeles region. Table 1 shows the city's population growth between 1990 and 2019.

Table 1: Population Growth Trends (1990-2019)

Jurisdictions	Population				Percent Change	
	1990	2000	2010	2019	2000-2010	2010-2019
Corona	76,095	124,966	152,374	169,868	21.9%	11.5%
Chino Hills	27,608*	66,787	74,799	83,853	12.0%	12.1%
Moreno Valley	118,779	142,381	193,365	213,055	35.8%	10.2%
Norco	23,302	24,157	27,063	26,604	12.0%	-1.7%
City of Riverside	226,505	255,166	303,871	331,360	19.1%	9.0%
County of Riverside	1,170,43	1,545,387	2,189,641	2,470,546	41.7%	12.8%

Source: Bureau of the Census, 1990-2010, 2019

Note: The 2020 Census data was not available as of the date of publication of the draft document (June 2021).

AGE CHARACTERISTICS

The age distribution of a population is an important factor in evaluating housing needs and projecting the direction of future housing development. Traditionally, both the young adult population (20-34 years of age) and the elderly population (65 years and over) tend to favor apartments, low to moderately priced condominiums, and smaller single-family units. Persons between 35-65 years old (and those households with school-age children) usually provide the major market for moderate to high cost apartments, condominiums, and larger single-family units, because they tend to have higher disposable incomes and larger household sizes. Table 2 illustrates the age distribution of Corona and County residents in 2010 and 2018.

As shown in Table 2, Corona's percentage of children four years old and under dropped from 7.4 percent in 2010 to 6.4 percent in 2019. Corona had a greater proportion of school-age children between the ages of five and 17 (21.5 percent) than the County (21.0 percent) and a greater proportion of residents between the ages of 25 and 44 (29.2 percent) than the County (26.7 percent). The median age of the City increased from 32.5 in 2010 to 35.0 in 2019 but remained lower than the 2019 County average of 35.6. Corona has slightly more middle-age adults between the ages of 45 and 64 (25.8 percent) than the County (23.9 percent) and a significantly smaller proportion of seniors (9.9 percent) when compared to the County (14.1 percent). As a share of the total population, seniors between 2010 and 2019 increased by 2.6 percentage points.

Table 2: Age Distribution (2010-2019)

Age Group	2010			2019			
	Number of Corona Residents	Percent of Corona Population	Riverside County Comparison	Number of Corona Residents	Percent of Corona Population	Percent Change 2010-2019	Riverside County Comparison
Preschool (4 and under)	11,325	7.4%	7.4%	10,605	6.4%	-6.4%	6.5%
School Age (5-17)	34,349	22.6%	20.8%	35,996	21.5%	+4.8%	21.0%
College Age (18-24)	15,504	10.2%	10.5%	12,072	7.2%	-22.1%	7.0%
Young Adults (25-44)	44,215	29.0%	26.3%	48,820	29.2%	+10.4%	26.7%
Middle Age (45-64)	35,801	23.5%	23.1%	43,014	25.8%	+20.1%	23.9%
Senior Adults (65+)	11,180	7.3%	11.8%	16,466	9.9%	+47.3%	14.1%
Total	152,374	100.0%	100.0%	166,973	100.0%	+9.6%	100.0%
Median Age	32.5		33.7	35.0			35.6

Sources: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

RACE AND ETHNICITY

Understanding racial and ethnic composition of a City's population is important to an analysis of housing needs and conditions for several reasons. Demographic changes can have implications on the nature and extent of housing needs since different racial and ethnic groups may have different household characteristics and cultural backgrounds that affect their preferences for housing.

As shown below in Table 3, Hispanic/Latino residents comprise the largest racial/ethnic group in Corona, followed by non-Hispanic White residents. All racial/ethnic groups have increased in population in the City between 2010 and 2018 except for Native Americans, which declined by nearly half. The largest percentage change between 2010 and 2018 was the Other/Two or More Races category with a percent change of 23.9 percent, along with the Asian population which saw a percent change of 23.4. The White (Non-Hispanic) category increased slightly during this time, at 2.4 percent, and the Black (Non-Hispanic) category increased by 13.7 percent. The City has historically conducted public noticing and outreach in English and Spanish. There have not been requests for language assistance in additional languages.

Table 3: Race and Ethnicity (2010-2018)

Age Groups	2010		2018		2010-2018 Percent Population Change
	Corona Residents	Percent of Total	Corona Residents	Percent of Total	
White (Non-Hispanic)	58,087	38.1%	59,484	36.0%	2.4%
Black, Non-Hispanic	8,333	5.5%	9,421	5.7%	13.7%
Native American	422	0.3%	223	<0.1%	- 47.2%
Asian	14,650	9.6%	18,074	10.9%	23.4%
Other/Two or more	4,435	2.9%	5,495	3.3%	23.9%
Hispanic	66,447	43.6%	72,658	44.0%	9.3%
Total	152,374	100%	165,355	100%	8.5%

Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018.

EMPLOYMENT

Employment availability, growth, and wages greatly affect housing demands. Incomes associated with different jobs and the number of workers in a household determines the type and size of housing a household can afford. Higher-paying jobs provide greater housing opportunities for residents, while lower-paying jobs limit housing options. In addition, the type of employment growth in a city can affect housing needs and demand – for example, communities with military installations, large factories, college campuses, or seasonal agriculture.

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 4 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. The unemployment rate was 5.5 percent, compared to the County's unemployment rate of 6.7 percent.

Table 4: Jobs Held by Corona Residents

Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food serves	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. As shown in Table 5 below, major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Table 5: Major Employers in Corona

Name of Employer	Number of Employees	Percent of Total City Employment	Type of Business
Corona-Norco Unified School District	5,478	6.55%	Education
Corona Regional Medical Center	1,200	1.44%	Medical
Kaiser Permanente	995	1.19%	Medical
All American Asphalt	840	1.00%	Construction
City of Corona	785	0.94%	Municipal
TWR Framing Enterprises	750	0.90%	Construction
Fender USA Corona	675	0.81%	Manufacturing/Retail
Monster Energy	607	0.73%	Manufacturing/Retail
Thermal Structures	500	0.60%	Manufacturing/Retail
Veg Fresh Farms	425	0.51%	Agriculture/Retail
Total	12,255	14.67%	
Source: 2019 Analysis of Impediments			

Table 6 displays mean annual wage data for occupations compiled by the California Employment Development Department (EDD) for the Riverside County Area. Education and healthcare occupations generally offer moderate pay scales while social service and manufacturing-related occupations offer lower wages.

Table 6: Mean Salary by Occupation – Riverside Region

Occupation	Mean Annual Wage
Management	\$115,670
Legal	\$117,886
Computer and Mathematical	\$85,434
Healthcare Practitioners and Technical	\$100,429
Architecture and Engineering	\$89,949
Life, Physical and Social Science	\$84,995
Business and Financial Operations	\$70,841
Education Instruction and Library	\$68,733
Arts, Design, Entertainment, Sports and Media	\$57,896
Construction and Extraction	\$57,678
Protective Service	\$57,169
Community and Social Service	\$59,837
Installation, Maintenance and Repair	\$52,052
Sales and Related	\$41,705
Office and Administrative Support	\$43,346
Production	\$39,858
Transportation and Material Moving	\$38,729
Healthcare Support	\$31,819
Building, Grounds Cleaning, and Maintenance	\$35,403
Personal Care and Service	\$34,054
Farming, Fishing and Forestry	\$28,350
Food Preparation and Serving Related	\$29,429
All Occupations	\$51,996
Source: California Employment Development Department, Occupational Wage data, 2020.	

HOUSEHOLD CHARACTERISTICS

HOUSEHOLD COMPOSITION AND SIZE

The Census defines a household as all persons who occupy a housing unit, regardless of whether these persons are related by birth, marriage, or adoption. People living in retirement or convalescent homes, dormitories, or other group living situations are not considered households. The characteristics of the households in a community are important indicators of the types of housing needed in that community.

Household size is a significant factor in housing demand. Often, household size can be used to predict the unit size that a household will select. For example, small households (one and two persons per household) may find suitable housing in units with up to two bedrooms, while large households (five or more persons per household) may desire housing in units with three or more bedrooms.

Table 7 shows that more than a third of households in the City of Corona in 2018 (most recent available data) largely consisted of families with children (36.6 percent), similar to neighboring jurisdictions and the County as a whole. Additionally, 20.7 percent were single-person households, 16.3 percent of households were headed by seniors (65+), 8.4 percent of households were single-parent households, and 18.0 percent were large households.

Table 7: Household Characteristics

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349
Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹ SCAG Profile of Riverside County.						

As shown below in Table 8, the percentage of single person and senior-headed households has increased from 2010 to 2018, while the percentage of families with children, single-parent households, and large households has decreased. The average household size also decreased slightly.

Table 8: Corona Household Characteristics (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent	Number	Percent	
Single Person Households	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-
Source: American Community Survey, 2014-2018. SCAG Corona Local Data.					

OVERCROWDING

The State Department of Housing and Community Development (HCD) defines an overcrowded household as one with more than one person per room, excluding bathrooms, kitchens, hallways, and porches. Overcrowding in households results from either a lack of affordable housing (which forces an increased number of persons to live together) and/or a lack of available housing units of adequate size.

Overcrowding typically occurs when there are not enough adequately sized units within a community, when high housing costs relative to income force too many individuals to share a housing unit than it can adequately accommodate, or when families reside in smaller units than they need to devote income to other necessities, such as food and health care. Overcrowding tends to accelerate the deterioration of housing and disproportionately affects renter-households. Therefore, maintaining a reasonable level of occupancy and alleviating overcrowding are critical to enhancing quality of life.

As shown below in Table 9, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. Approximately 66.4 percent of overcrowded households rented versus 33.6 that owned their own homes.

Table 9: Average Household Size and Overcrowded Households

Jurisdiction	Average Household Size	Percent of Households That are Overcrowded	Percent of Overcrowded Households: Renters	Percent of Overcrowded Households: Owners
Corona	3.32	5.9%	66.4%	33.6%
Chino Hills	3.25	4.3%	52.8%	47.2%
Moreno Valley	4.04	10.6%	56.3%	43.7%
Norco	3.32	3.2%	27.7%	72.3%
City of Riverside	3.31	9.5%	68.6%	31.4%
Riverside County	2.96	6.9%	58.7%	41.3%
Source: American Community Survey, 2014-2018.				

In 2018, the average number of persons per household in the Riverside County region ranged from 3.25 to 4.04, with a regionwide average of 2.96 persons per household. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside.

INCOME DISTRIBUTION

Income is a major factor in evaluating the affordability of housing in a community. According to the 2015-2019 ACS, the median household income in Corona was \$83,752, significantly above the countywide median of \$67,005. However, 13.9 percent of the City's households earned less than \$25,000. The 2015-2019 ACS estimated that approximately 9.8 percent of individuals, 7.8 percent of all families, 20.1 percent of families with a female householder and no spouse present, 11.0 percent of people 65 years old and over, and 11.5 percent of related children under 18 in Corona lived in households with incomes below the poverty level.³

For planning and funding purposes, the California State Department of Housing and Community Development (HCD) has developed the following income categories based on the Area Median Income (AMI) of a metropolitan area such as Riverside County. Collectively, extremely low, very low, and low income households are referred to as lower income households (up to 80 percent AMI):

- » Extremely low-income: households earning up to 30 percent of the AMI
- » Very low-income: households earning between 31 and 50 percent of the AMI
- » Low-Income: households earning between 51 percent and 80 percent of the AMI
- » Moderate-Income: households earning between 81 percent and 120 percent of the AMI
- » Above Moderate-income: households earning over 120 percent of the AMI

³ Categories are not mutually exclusive.

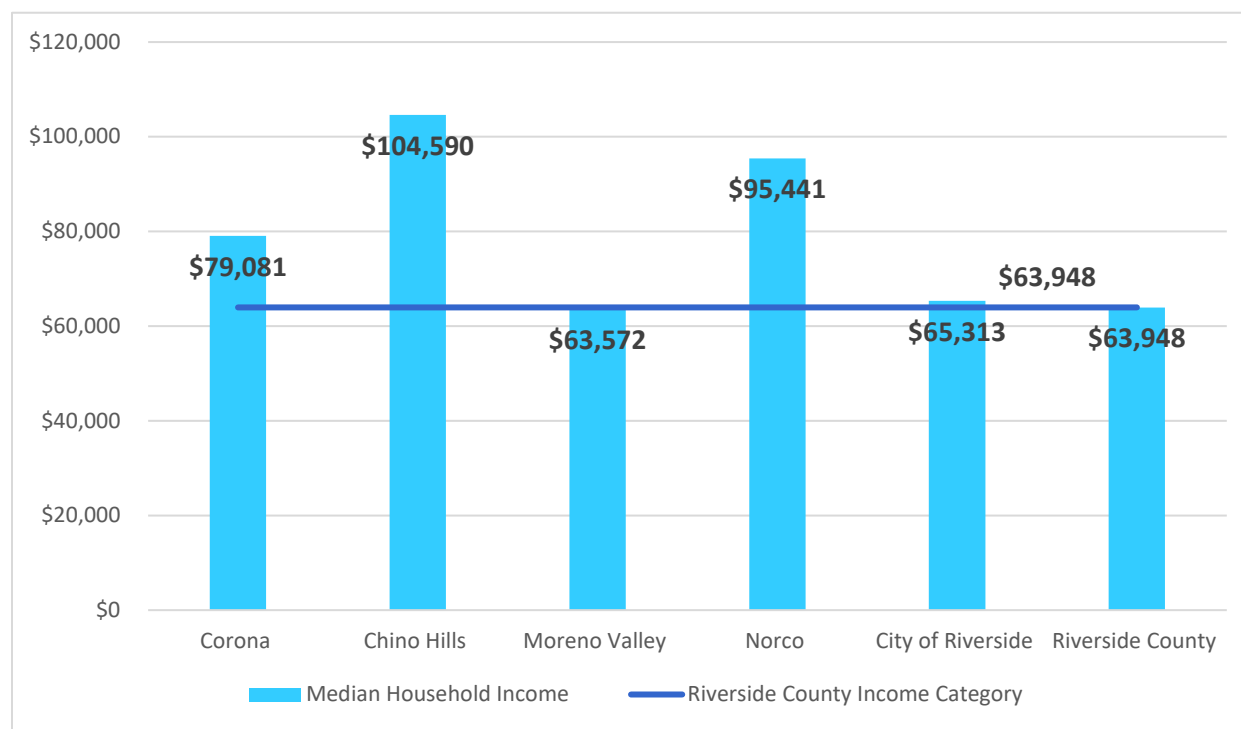
As shown below in Table 10, between 2014 and 2018, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 10: Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	99.9%
Source: Bureau of the Census, ACS, 2014-2018		

The 2014-2018 ACS estimated that the median household income in Corona was \$79,081, approximately 24 percent higher than the County median income of \$63,948. The Cities of Chino Hills and Norco had a higher median household income than Corona, while Moreno Valley and the City of Riverside had lower median household incomes than Corona. Figure 2 below compares household incomes in Corona and neighboring jurisdictions relative to the median household income in Riverside County.

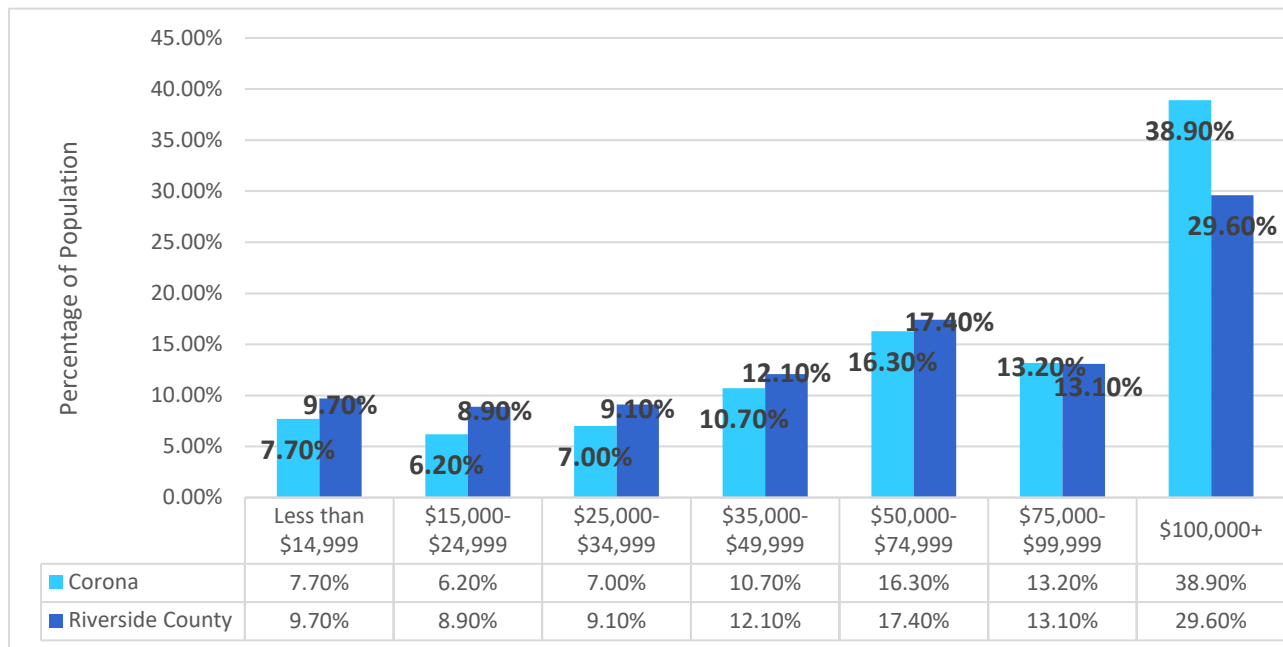
Figure 2: Median Household Income



Source: Bureau of the Census, ACS, 2014-2018.

As shown in Figure 3, less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County.

Figure 3: Household Income



SPECIAL NEEDS GROUPS

Certain segments of the population may have a more difficult time finding affordable housing that fits their special circumstances or needs. These “special needs” households include seniors, persons with disabilities, large households, single-parent households, people living in poverty, farmworkers, and unhoused people. Table 11 below summarizes the special needs groups within the City.

Table 11: Special Needs Groups in Corona

Special Needs Group	Persons or Households	Percent of Total Persons or Households
Households with Seniors	11,059	22.3%
Senior Headed Households	8,115	9.9%
Seniors Living Alone	2,877	5.8%
Persons with Disabilities*	26,059	15.6%
Large Households	8,976	5.4%
Single-Parent Households	4,167	16.1%
Female Headed Households	5,446	11.0%
Female Headed Households with children	2,843	5.7%
People Living in Poverty*	3,063	6.2%
Farmworkers*	152	0.2%
Unhoused People	164	0.1%
Students*	47,981	29.0%
Military*	6,171	3.7%
*Estimate from the 2014-2018 ACS		
Sources: Bureau of the Census; 2000-2010 Census and American Community Survey (ACS), 2014-2018		

SENIORS

Senior-headed households may have difficulty finding adequate housing due to the likelihood of lower and/or fixed incomes, disabilities, or dependence needs. According to the 2014-2018 ACS, 8,115 of Corona's households (16.6 percent of total households) were headed by seniors. Of these, 2,877 (35.5 percent) were single-person households. As depicted in Table 12, 1,779 of the senior-headed households were renters (37.7 percent), while 6,521 owned their home (62.3 percent). This ratio generally reflects the owner/renter balance of the City as a whole. As seniors age, their housing needs may change.

The City's percentage of persons age 65 and over was approximately 10 percent (2014-2018 ACS data). This percentage is comparable to neighboring jurisdictions, but lower than the County's approximately 14 percent.

Table 12: Persons Age 65 and Over

Jurisdiction	Total	Age 65+	Percent Age 65+
Corona	168,248	16,385	9.9%
Chino Hills	79,298	8,527	10.8%
Moreno Valley	205,034	16,793	8.2%
Norco	26,569	3,425	12.9%
City of Riverside	323,935	33,695	10.4%
County of Riverside	2,383,286	328,609	13.8%
Source: Bureau of the Census, American Community Survey, 2014-2018.			

Seniors who live alone may have special housing needs due to a need for assistance with finances and daily living activities. The 2018 Census indicated that among the City's 16,385 seniors, 1,669 were age 85 and older. These residents may require more housing assistance and supportive services. Senior homeowners require help in meeting ongoing housing costs, especially utility and related costs, and often are forced to defer necessary repairs. The higher prevalence of disabilities in the senior population can further present unique challenges and housing needs for this population.

Housing Resources for Seniors

The following senior apartments set aside as affordable are located in Corona:

- » Corona Community Towers, 910 S. Bell Avenue – 36 units
- » Corona Community Villas, 2680 S. Main Street – 75 units
- » River Run Senior Apartments, 863 River Road – 360 units
- » Vintage Terrace, 1910 Fullerton Avenue – 200 units
- » William C. Arthur Terrace Apts., 1275 W. 8th Street – 40 units

State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Senior housing needs also include supportive housing, such as care facilities, group homes, and other housing that includes a planned service component.

Residential care facilities provide housing with limited medical services. The California Health and Safety Code requires that community care facilities serving six or fewer persons be permitted by right in residential zones. The City does not regulate residential care facilities for six or fewer persons; such homes are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones). Residential care facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP). Proposed residential care facilities are subject to the same development standards that apply to that zone. The Corona Senior Center offers an array of programs and activities to adults age 50

and older. The multi-purpose facility stands as a place for senior citizens to participate in educational programs, receive human services, engage in recreational, fitness and health activities, and socialize. Human services offered at the center include renter's and homeowner's assistance, and access to home-delivered food programs. Education workshops hosted by various agencies target achieving a healthier lifestyle, understanding Medicare, and reducing medical costs.

PERSONS WITH DISABILITIES

Physical, mental, and/or developmental disabilities may prevent a person from working, restrict one's mobility, or make it difficult to care for oneself. Thus, persons with disabilities often have special housing needs related to limited earning capacity, a lack of accessible and affordable housing, and higher health costs associated with a disability. Some residents suffer from disabilities that require living in a supportive or institutional setting. The 2010 Census did not collect information on disability. According to 2014-2018 ACS data, approximately 26,059 (15.6 percent) of Corona residents had a disability. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. As shown below in Table 13, ambulatory and independent living difficulties were most prevalent in among the senior population.

Table 13: Disabilities Tallied in Corona, Including Developmental Disabilities

Disability Type	Number of Disabilities Tallied
	Total
Hearing difficulty	3,508
Vision difficulty	2,747
Cognitive difficulty	5,084
Ambulatory difficulty	6,551
Self-care difficulty	2,946
Independent living difficulty	5,223
Total Disabilities	26,059
Note: One person can have multiple disabilities.	
Source: Bureau of the Census, American Community Survey (ACS), 2014-2018.	

The living arrangement of disabled persons depends on the severity of the disability. Many persons with disabilities live at home in an independent fashion or with other family members. Independent living can be facilitated through special housing features and accommodations, income support, and in-home supportive services. Dependent persons with disabilities may live at home with families, in group homes, or in an institutionalized setting.

Housing Resources for Persons with Disabilities

As previously stated, State and federal legislation mandates that a percentage of units in new or substantially rehabilitated multi-family apartment complexes be made accessible to individuals with limited physical mobility. The City also offers flexibility in development standards and reasonable accommodations for projects proposing housing affordable to seniors and persons with disabilities.

Congregate residential living facilities, which provide housing for persons with physical disabilities, are permitted by right in all residential zones as regular residential uses (R3, RG/R2, R1, and A zones) if they have six or fewer clients per unit. Facilities for more than six persons can operate in those zones with a Conditional Use Permit (CUP).

PERSONS WITH DEVELOPMENTAL DISABILITIES

As defined by state law, “developmental disability” means a severe, chronic disability of an individual who:

- » Is attributable to a mental or physical impairment or combination of mental and physical impairments;
- » Is manifested before the individual attains age 18;
- » Is likely to continue indefinitely;
- » Results in substantial functional limitations in three or more of the following areas of major life activity: a) self-care; b) receptive and expressive language; c) learning; d) mobility; e) self-direction; f) capacity for independent living; or g) economic self-sufficiency; and
- » Reflects the individual’s need for a combination and sequence of special, interdisciplinary, or generic services, individualized supports, or other forms of assistance that are of lifelong or extended duration and are individually planned and coordinated.

The Center for Disease Control lists developmental disability types:⁴

- » ADHD,
- » Autism spectrum disorder
- » Cerebral palsy
- » Hearing loss
- » Intellectual disability
- » Learning disability
- » Vision impairment
- » Other developmental delays

The State of California Department of Developmental Services Regional Center and Early Start Consumers lists the number of persons with developmental disabilities by zip code. As of December 2020, the number of youth (0-17 years of age) and adult (18 years or older) persons with developmental disabilities were reported for each of these zip codes that are located in Corona:⁵

- » 92878: Youth - 12; Adults – fewer than 11
- » 92880: Youth - 314; Adults - 242
- » 92881: Youth - 109; Adults - 123
- » 92882: Youth - 265; Adults - 244
- » 92883: Youth - 168; Adults - 115

4 <https://www.cdc.gov/ncbddd/developmentaldisabilities/facts.html>

5 <https://www.dds.ca.gov/transparency/facts-stats/>

The total number of adults with developmental disabilities in all of the zip codes is 735. As each of these zip codes overlay multiple cities, it is difficult to determine the precise number of persons residing in Corona with developmental disabilities. Some of this population may be living with relatives, while others may need housing.

Individuals with severe intellectual and developmental disabilities often rely on Supplemental Security Income (SSI) as their only source of income, and these payments place households below the 30 percent AMI level in Corona. Some people with developmental disabilities may need wraparound services in supportive housing, while others may live more independently.

Housing Resources for Persons with Developmental Disabilities

As of May 2012, 196 beds were available at State licensed adult residential facilities in Corona. Specifically, Peppermint Ridge, a nonprofit organization focuses on serving the developmentally disabled, operates a variety of living environments, including five homes on its main campus and three homes located throughout Corona, with a combined capacity of 24 beds. The Regional Center provides diagnoses and assessments of eligibility, and helps plan, access, coordinate, and monitor the services and supports that are needed because of a developmental disability. The Inland Regional Center serves as a resource where families of developmentally disabled persons can obtain services and/or be referred to appropriate community resources in the fields of health, welfare, and education.

LARGE HOUSEHOLDS

Large households are defined as those with five or more members. Large households are identified as a group with special housing needs based on the limited availability of affordable, adequately sized housing units. It is not uncommon for large households to have lower incomes or consist of more than one family. To save on housing costs, many lower income large households resort to residing in smaller units, frequently resulting in overcrowded living conditions. Large households can also put a physical strain on the housing stock, resulting from the greater wear-and-tear on a unit.

As shown below in Table 14, 8,976 households in Corona with five or more members comprise 18 percent of the total households, with 2,997 of these households being renters (approximately 33 percent) and 5,979 being homeowners (approximately 67 percent).

Table 14: Large Households

Jurisdiction	Total Large Households		Homeowners		Renters	
	Number	Percent of Total Households	Number	Percent of Large Households	Number	Percent of Large Households
Corona	8,976	18.0%	5,979	66.6%	2,997	33.4%
County of Riverside	143,669	20.0%	N/A	N/A	N/A	N/A
Sources: 2014-2018 American Community Survey (ACS); Corona Analysis of Impediments, County of Riverside Community Profile (SCAG) N/A = Data not available						

With a shortage of adequately sized rental housing in the market, many lower income large families either live in overcrowded units, overpay for housing relative to their incomes, or settle for housing of lesser quality.

Housing Resources for Large Households

Lower and moderate-income large households can benefit from various affordable housing programs. The Housing Choice Voucher Program administered by the Riverside County Housing Authority can assist this group by providing rent subsidies and homeownership assistance.

FEMALE-HEADED HOUSEHOLDS

Single-parent households require special consideration and assistance because of their greater need for affordable and accessible day care, health care, and other supportive services. The 2014-2018 ACS estimated that approximately 16.1 percent of Corona households were headed by a single-parent. As shown below in Table 15, female-headed households accounted for approximately 11.1 percent of total Corona households. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Many of these households need assistance with housing subsidies, as well as accessible and affordable day care and other supportive services.

Table 15: Single Parent-Headed Households

Jurisdiction	Total Households	Number of Single Parent-Headed Households	Percent of Total Households	Number of Female-Headed Single-Parent Households	Percent of Total Households
Corona	49,658	7,995	16.1%	5,446	11.1%
County of Riverside	718,349	136,430	19.0%	93,534	6.7%

Source: American Community Survey, 2014-2018.

Housing Resources for Single-Parent Households

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-income households, which may assist single-parent households locate affordable housing.

LOW-, VERY LOW-, AND EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income is defined as households with income less than 30 percent of area median income. The area median income in the City is \$79,081. Extremely low-income households are those with an income of \$23,724 or less. Households with extremely low-income have a variety of housing situations and needs. For example, most families and individuals receiving public assistance, such as social security insurance (SSI) or disability insurance are considered extremely low-income households.

According to the 2013-2017 ACS, approximately 4,360 extremely low-income households exist in the City, representing 8.7 percent of the total households. About half (56.4 percent) of extremely low-income

households are renters and experience a high incidence of housing problems. According to the ACS, 80.6 percent of extremely low-income households reported experiencing housing problems (defined as cost burden greater than 30 percent of income and/or overcrowding and/or without complete kitchen or plumbing facilities). Furthermore, 74.4 percent of extremely low-income households paid more than 50 percent of their income toward housing costs, compared to 46.6 percent for all households.

Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations. The 2014-2018 ACS identified 6.2 percent of all family households and 2.4 percent of female-headed households to have extremely low and very low incomes. The ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over.

These households often need assistance with housing subsidies, utility, and other living expense subsidies, as well as other supportive services.

Housing Resources for Low-, Very-, and Extremely Low-Income Households

Many extremely low-income households seek rental housing and may face an overpayment, overcrowding, or substandard housing conditions. Some extremely low-income households could have physical or mental disabilities and/or other special needs. To address the range of needs, the City will employ Program 24 to support the development of housing types that may fit the needs of extremely low-income residents, such as single-room occupancy (SRO) units and supportive housing. Supportive housing is very affordable rental housing for vulnerable people who do not have a home or are leaving institutions or hospitals. It is linked to intensive case management and life-improving services like health care, workforce development, and child welfare. The City regulates supportive housing as a residential use, provided supportive services are subordinate to the residential use.

General programs and policies outlined in the Housing Plan in Chapter 6 will help facilitate housing units for low-, very low-, and extremely low-income households. These efforts will continue and be improved upon to continue to provide housing for low-income residents.

RESIDENTS EXPERIENCING HOMELESSNESS

Homelessness has become an increasing problem throughout the County of Riverside. Factors contributing to the rise in the number of people experiencing homelessness include a general lack of housing affordable to lower income persons, reductions in public subsidies to low-income persons, and lack of available and affordable mental and physical health services.

State law (Section 65583(1) (6)) requires municipalities to address the special needs of unhoused persons within their jurisdictional boundaries. "Homelessness" as defined by HUD, describes an individual (not imprisoned or otherwise detained) who:

Lacks a fixed, regular, and adequate nighttime residence; and

Has a primary nighttime residence that is:

- » A supervised publicly or privately operated shelter designed to provide temporary living accommodations (including welfare hotels, congregate shelters, and transitional housing for the mentally ill);
- » An institution that provides a temporary residence for individuals intended to be institutionalized; or

- » A public or private place not designed for, or ordinarily used as, a regular sleeping accommodation for human beings.

This definition does not include persons living in substandard housing, (unless it has been officially condemned); persons living in overcrowded housing (for example, doubled up with others), persons being discharged from mental health facilities (unless the person was homeless when entering and is considered to be homeless at discharge), or persons who may be at risk of homelessness (for example, living temporarily with family or friends.)

The County of Riverside Homeless Count and Survey analyzed the Point-in-Time (PIT) count using a HUD-approved method for calculating the annual estimation. According to the County of Riverside Homeless Count & Survey, there were approximately 2,884 homeless individuals in Riverside County in 2020, shown below in Table 16. Of these individuals, the majority were unsheltered (73 percent), which includes persons living on the streets, persons estimated to be residing in cars, recreational vehicles (RVs), vacant buildings, and homeless camps. The survey estimated there to be 109 persons experiencing homelessness in Corona, which comprised 3.8 percent of the total number counted in the County.

Table 16: Persons Experiencing Homelessness in Corona and Riverside County

Jurisdiction	Sheltered	Unsheltered	Total	Percent of County Population of Persons Experiencing Homelessness
Corona	0	109	109	3.8%
County of Riverside	729	2,155	2,884	100%
Source: Regional Housing Task Force on the Homeless, 2020.				

Housing Resources for Persons Experiencing Homelessness

The City's five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. One goal of the Plan is for the City to open a newly remodeled homeless shelter/navigation center at 420 Harrison Street. The City is scheduled to open the shelter in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program. The City also supports Alternatives to Domestic Violence (ADV) to offer a crisis hotline, counseling and emergency shelter to local victims of domestic violence. This program is currently offered by the Corona-Norco United Way, which operates in the City of Corona.

The Corona Norco Settlement House, a United Way Agency, is located at 507 S. Vicentia Avenue, Corona, and provides emergency food, clothing, and utility vouchers. Depending on available funding, the organization also provides rental vouchers for families who are unable to make their rent payments and face eviction and possible homelessness. Additionally, referral services, a thrift store, and assistance with holiday toys are coordinated through the agency.

Additionally, the following agencies provide services for persons experiencing homelessness in Corona:

- » City of Corona Homeless Outreach and Psychological Evaluation (HOPE) Team Care Shelter
- » RCCADV (Alternatives to Domestic Violence)

- » Shelter for the Homeless (Riverside Men's Shelter)
- » Genesis (Lutheran Social Services)
- » City of Corona Motel Emergency Shelter Program
- » City Net

Sub-populations of the homeless include those with mental disabilities and substance abuse problems, those suffering domestic violence, persons with AIDS, veterans, youth, the unemployed, and extremely low/very low-income families. Each of these sub-population groups has different needs including substance abuse recovery, mental treatment, medical treatment, and job training and placement.

FARMWORKERS

Farmworkers are traditionally defined as persons whose primary incomes are earned through permanent or seasonal agricultural labor. Permanent farm laborers work in the fields, processing plants, or related activities on a generally year-round basis. When workload increases during harvest periods, the labor force is supplemented by seasonal labor, often supplied by a labor contractor. For some crops, farms may employ migrant workers, defined as those whose travel distance to work prevents them from returning to their primary residence after their work ends for the day.

Due to the high cost of housing and low wages, a substantial number of migrant farm workers have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations). The US Department of Agriculture's 2017 Census of Agriculture reported that in Riverside County, 11,365 persons were hired farm labor (fulltime), 5,758 persons were employed for 150 days or more, and 5,607 were hired for 150 days or fewer.⁶

Resources for Farmworkers

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households. The City's municipal code permits farmworker housing in zone A - Agricultural Zone as provided by the employer.

HOUSING STOCK CHARACTERISTICS

A community's housing stock is defined as the collection of all housing units located within the jurisdiction. The characteristics of the housing stock, including growth, type, age, condition, tenure,

⁶ USDA 2017:

https://www.nass.usda.gov/Publications/AgCensus/2017/Full_Report/Volume_1,_Chapter_2_County_Level/California/

vacancy rates, housing costs, and affordability are important in determining the housing needs for the community.

HOUSING GROWTH

Consistent with an urbanized, largely built-out community, Corona has experienced a moderate housing growth of 20.1 percent between 2000 and 2010 and slower growth of 9.2 percent between 2010 and 2018. As shown below in Table 17, the City's housing stock grew from 39,271 units in 2000 to 51,504 units in 2018, or a 31.2 percent increase over 18 years. Overall, housing growth in Riverside County has continued to increase due to its relatively cheaper land prices than coastal areas and its proximity to nearby cities and major employers. Out of the total housing units in Corona, there are 48,151 occupied units, which equates to a 3.6 percent total vacancy rate (DOF 2020). The average household size (as expressed by the population to housing unit ratio) is 3.5.

Table 17: Housing Unit Growth (2000 to 2018)

Jurisdiction	2000	2010	2018	Percent Change	
				2000-2010	2010-2018
Corona	39,271	47,174	51,504	20.1%	9.2%
Chino Hills	20,414	23,617	25,588	15.7%	8.4%
Moreno Valley	41,431	55,559	50,620	34.1%	-8.9%
Norco	6,277	7,322	7,438	16.7%	1.6%
City of Riverside	85,974	98,444	90,866	14.5%	-7.7%
Riverside County	584,674	800,707	833,602	36.9%	4.1%

Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018.

HOUSING TYPE AND TENURE

The City's housing stock in 2000, 2010, and 2018 by unit type is shown below in Table 18. Between 2010 and 2018, the number of single-family housing units increased approximately 13.0 percent, while the percentage of multi-family units increased approximately 19.0 percent.

The proportion of owner-occupied households in Corona slightly decreased between 2010 and 2018. In 2018, close to 64.5 percent of the City's households were owner-occupants. With approximately 72.6 percent of the City's housing units being single-family and 64.5 percent of owner-households, a portion of the City's single-family homes is used as rentals. Between 2010 and 2018 the vacancy rate in the City decreased from 4.7 percent to 3.6 percent.

Table 18: Housing Unit Type

Housing Unit Type	2000		2010		2018		Percent Change	
	Units	Percent	Units	Percent	Units	Percent	2000-2010	2010-2018
Single-Family Homes	28,177	71.8%	33,093	73.8%	37,394	72.6%	17.4%	13.0%
Multi-Family Homes	9,799	25.0%	10,320	22.5%	12,275	23.8%	5.3%	19.0%
Mobile Homes/Other	1,282	3.3%	1,687	3.7%	1,835	3.6%	31.6%	8.0%
Total	39,271	100.0%	47,174	100.0%	51,504	100.0%	20.1%	9.2%
Owner-Occupied	25,548	67.5%	30,210	67.2%	32,052	64.5%	18.2%	6.1%
Renter-Occupied	12,291	32.5%	14,740	32.8%	17,606	35.5%	20.0%	19.4%
Total Occupied	37,839	100.0%	44,950	100.0%	49,658	100.0%	18.8%	10.5%
Vacancy Rate	-	3.6%	-	4.7%	-	3.6%	+1.1%	-1.1%
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018								

As shown below in Table 19, average household size steadily increased from 2000 to 2018. Average household size for owner-occupied households remained consistent with an average size of 3.42 persons per unit between 2010 and 2018, while renter-occupied households declined in average household size from 3.30 in 2010 to 3.12.

Table 19: Average Household Size (2000-2018)

Tenure	2000	2010	2018
Owner-Occupied	3.39	3.42	3.42
Renter-Occupied	3.06	3.30	3.12
Total Occupied	3.29	3.38	3.49
Source: Bureau of the Census, 2000-2010. American Community Survey, 2014-2018			

NUMBER OF BEDROOMS PER UNIT

The 2014-2018 ACS identified the number of bedrooms per unit for all housing in Corona. As shown below in Table 20, housing units with four bedrooms comprised the majority of households in 2018 (30.1 percent). No-bedroom housing units (studios) comprised the smallest share (1.6 percent). Over 80 percent of housing had two, three, or four bedrooms per unit, while 9.6 percent had fewer than two bedrooms per unit and 10.3 percent had five or more bedrooms per unit. According to 2015-2019 ACS, 989 owner-

occupied and 1,953 renter-occupied households had more than 1.0 occupants per room, which meets the ACS definition for overcrowding. 270 owner-occupied households and 523 renter-occupied households had more than 1.5 occupants per room, which meets the ACS definition for severe overcrowding. Out of a total of 32,052 owner-occupied units, 3.9 percent are overcrowded and out of 17,606 renter-occupied units, 14.1 percent are overcrowded.

Table 20: Housing Unit Size

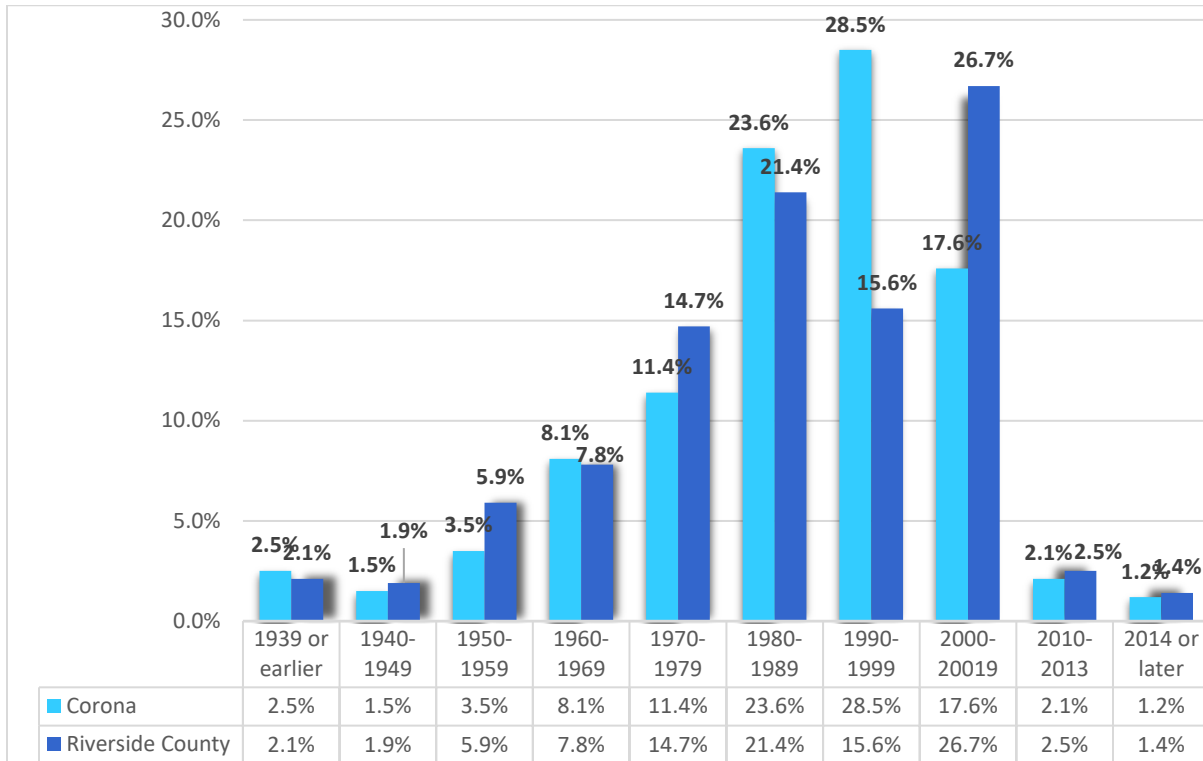
Bedrooms	Percent of Total Households
No Bedroom	1.6%
1 Bedroom	8.0%
2 Bedrooms	20.2%
3 Bedrooms	29.7%
4 Bedrooms	30.1%
5 or more bedrooms	10.4%
Source: American Community Survey, 2014-2018.	

AGE AND CONDITION OF HOUSING STOCK

Housing age can be an important indicator of housing condition within a community. Like any other tangible asset, housing is subject to gradual physical or technological deterioration over time. If not properly and regularly maintained, housing can deteriorate and discourage reinvestment, depress neighboring property values, and eventually impact the quality of life in a neighborhood. Many federal and State programs also use the age of housing as one factor in determining housing rehabilitation needs. Typically, housing over 30 years of age is more likely to have rehabilitation needs that may include new plumbing, roof repairs, foundation work, and other repairs. Three factors used to determine housing conditions are age of housing, overcrowding, and lack of plumbing/kitchen facilities. Overcrowding was previously addressed.

As shown below in Figure 4, as of 2018, approximately 50.6 percent of all housing units in Corona were built prior to 1990, potentially requiring minor repairs and modernization improvements. Approximately 52.1 percent of the City's housing stock was constructed between 1980 and 1999, an earlier housing boom than other areas in the County.

Figure 4: Age of Housing Stock



Source: American Community Survey, 2014-2018.

Housing that is not maintained can discourage reinvestment, depress neighboring property values, and can negatively impact the quality of life in a neighborhood. Improving housing is an important goal of the City. HUD considers housing units to be “standard units” if they are in compliance with local building codes. Common housing code violations in Corona include problems with electrical wiring, plumbing, windows, roofs and exterior, and heating and air conditioning systems. Most of Corona’s substandard units are suitable for rehabilitation. Table 21 below shows the number of substandard units in the City that are currently under enforcement by the City’s Code Compliance Division. The units in the table do not represent all units in the City as this information is not available. The percentages shown in Table 21 are out of a total of 49,658 occupied units.

Table 21: Substandard Housing Units

Condition	Number of Occupied Units	Percentage of Total Occupied Units
Illegal residential conversions, non-permitted electrical, poor roofing, no heating system.	591	1.2%
Source: City of Corona, June 2021		

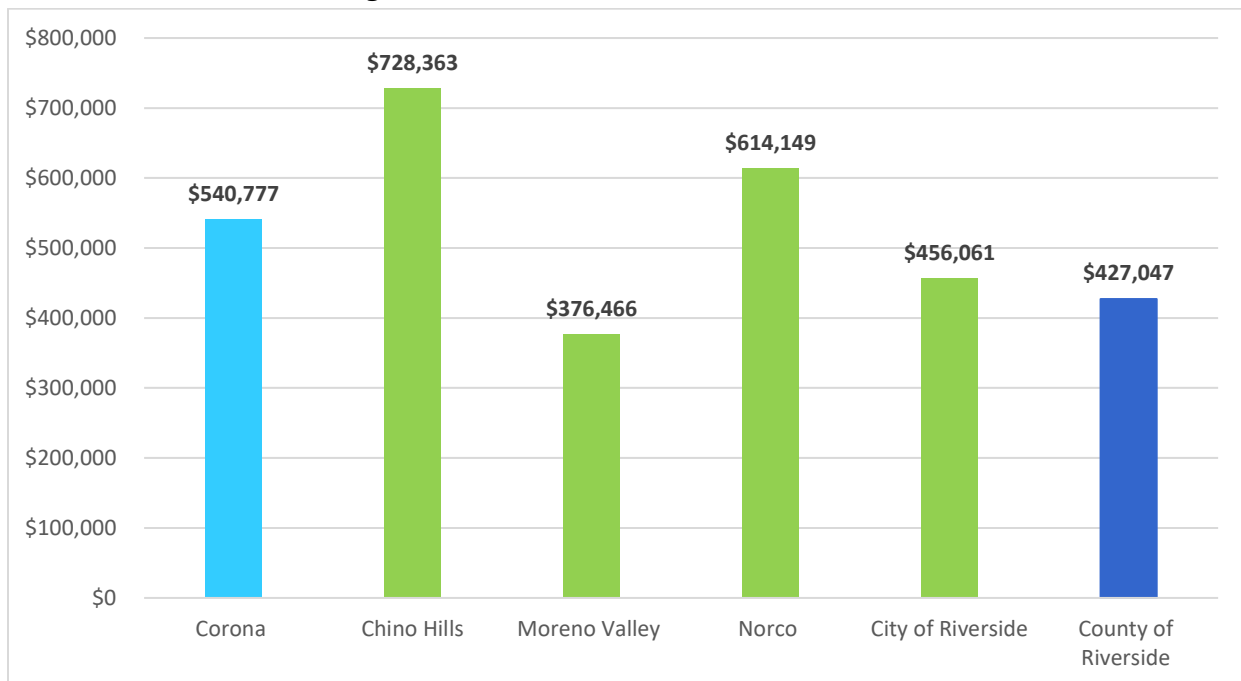
HOUSING COSTS

Housing costs are indicative of housing accessibility to all economic segments of the community. Typically, if housing supply exceeds housing demand, housing costs will fall. If housing demand exceeds housing supply, housing costs will rise.

Ownership Market

The City's median home price in 2020 was \$540,777, which was 21 percent higher than the countywide median of \$427,047, as shown below in Figure 5. When compared to neighboring jurisdictions, Corona's median home price was approximately 26 percent lower than Chino Hills and 30 percent higher than Moreno Valley.

Figure 5: Median Home Prices Sales (2020)



Source: Zillow, 2020.

As shown below in Table 22, median home sale prices in Corona increased slightly by about four percent between 2019 and 2020. Other Riverside County cities also saw small increases in median home prices during this time period, as did Riverside County as a whole.

Table 22: Changes in Median Home Sale Prices and Values (2019-2020)

Jurisdiction	2019	2020	Percent Change in Median Sale Price
	Price	Price	
Corona	\$504,000	\$540,777	7.3%
Chino Hills	\$686,000	\$728,363	6.2%
Moreno Valley	\$344,000	\$376,466	9.4%
Norco	\$571,000	\$614,149	7.6%
City of Riverside	\$420,000	\$456,061	8.6%
County of Riverside	\$394,000	\$427,047	8.4%
Source: Zillow, 2020.			

Housing Rents

Rental listings posted on Zumper.com for available rental housing in Corona were reviewed between January 2020 to December 2020. Table 23 below lists the median and average rents for rental housing by number of bedrooms.

Table 23: Average Monthly Rent

Number of Bedrooms	Median Rent	Average Rent	Rent Range
Studio	\$1,186	\$1,139.70	\$1,000-\$1,233
1 Bedroom	\$1,624.50	\$1,680.00	\$1,552-\$1,897
2 Bedroom	\$1,874.50	\$1,964.75	\$1,785-\$2,379
3 Bedroom	\$2,396.50	\$2,422.60	\$2,269-\$2,624
4 Bedroom	\$2,716.50	\$2,771.00	\$2,654-\$3,080
Source: Zillow, 2020.			

Housing Affordability

Housing affordability can be inferred by comparing the cost of renting or owning a home in the City with the maximum affordable housing costs for households at different income levels. This information can generally show who can afford what size and type of housing and indicate the type of households most likely to experience overcrowding and overpayment.

HUD conducts annual household income surveys nationwide to determine a household's eligibility for federal housing assistance. Based on this survey, HCD developed income limits that can be used to determine the maximum price that could be affordable to households in the upper range of their

respective income category. Households in the lower end of each category can afford less by comparison than those at the upper end. Table 24 below shows the maximum amount that a household can pay for housing each month without incurring a cost burden (overpayment).

Table 24: Housing Affordability Matrix - Riverside County

Income Group	Annual Income Limits	Affordable Payment	Housing Costs		Affordable Price	
			Utilities	Taxes/ Insurance (Owner)	Sale	Rent
Extremely Low-Income (0-30% of AMI)						
1-Person	\$15,850	\$396	\$205	\$139	\$13,823	\$191
2-Person	\$18,100	\$453	\$218	\$158	\$20,902	\$235
3-Person	\$21,720	\$543	\$246	\$190	\$28,186	\$297
4-Person	\$26,200	\$655	\$274	\$229	\$39,993	\$381
5-Person	\$30,680	\$767	\$305	\$268	\$50,980	\$462
Very Low-Income (31-50% of AMI)						
1-Person	\$26,400	\$660	\$205	\$231	\$59,005	\$455
2-Person	\$30,150	\$754	\$218	\$264	\$71,697	\$536
3-Person	\$33,900	\$848	\$246	\$297	\$80,348	\$602
4-Person	\$37,650	\$941	\$274	\$329	\$89,028	\$667
5-Person	\$40,700	\$1,018	\$305	\$356	\$93,891	\$712
Low-Income (51-80% of AMI)						
1-Person	\$42,200	\$1,005	\$205	\$369	\$126,669	\$850
2-Person	\$48,200	\$1,205	\$218	\$422	\$148,997	\$987
3-Person	\$54,250	\$1,356	\$246	\$475	\$167,499	\$1,110
4-Person	\$60,250	\$1,506	\$274	\$527	\$185,815	\$1,232
5-Person	\$65,100	\$1,628	\$305	\$570	\$198,386	\$1,322
Median Income (80-100% of AMI)						
1-Person	\$52,700	\$1,318	\$205	\$461	\$171,637	\$1,112
2-Person	\$60,250	\$1,506	\$218	\$527	\$200,603	\$1,288
3-Person	\$67,750	\$1,694	\$246	\$593	\$225,313	\$1,448
4-Person	\$75,300	\$1,883	\$274	\$659	\$250,268	\$1,609
5-Person	\$81,300	\$2,033	\$305	\$711	\$267,764	\$1,727
Moderate Income (100-120% of AMI)						
1-Person	\$63,250	\$1,581	\$205	\$553	\$216,818	\$1,376
2-Person	\$72,300	\$1,808	\$218	\$633	\$252,208	\$1,590
3-Person	\$81,300	\$2,033	\$246	\$711	\$283,342	\$1,787
4-Person	\$90,350	\$2,259	\$274	\$791	\$314,721	\$1,985
5-Person	\$97,600	\$2,440	\$305	\$854	\$337,570	\$2,135
Sources: HCD 2020. Veronica Tam and Associates, 2020.						

EXTREMELY LOW-INCOME HOUSEHOLDS

Extremely low-income households earn 30 percent or less of the County area median income – up to \$15,850 for a one-person household and up to \$30,680 for a five-person household in 2020. Extremely low-income households cannot afford market-rate rental or ownership housing in Corona without assuming a cost burden.

Very- Low-Income Households

Very low-income households earn between 31 percent and 50 percent of the County area median income – up to \$26,400 for a one-person household and up to \$40,700 for a five-person household in 2019. A low-income household can generally afford homes offered at prices between \$59,005 and \$93,891, adjusting for household size. After deductions for utilities, a very low-income household can afford to pay approximately \$455 to \$712 in monthly rent, depending on household size. Given the cost of housing in Corona, very low-income households could not afford to purchase a home or rent an adequately sized unit in the City.

Low-Income Households

Low-income households earn between 50 percent and 80 percent of the County area median income – up to \$42,200 for a one-person household and up to \$65,100 for a five-person household in 2020. A low-income household can generally afford homes offered at prices between \$126,669 and \$198,386, adjusting for household size. After deductions for utilities, a low-income household can afford to pay approximately \$850 to \$1,322 in monthly rent, depending on household size.

Median-Income Households

Median-income households earn between 80 percent and 100 percent of the County's area median income - up to \$52,700 for a one-person household and up to \$81,300 for a five-person household in 2020. The affordable home price for a moderate-income household ranges from \$171,637 to \$267,764. After deductions for utilities, a one-person median-income household could afford to pay up to \$1,112 in rent per month and a five-person low-income household could afford to pay as much as \$1,727.

Moderate-Income Households

Moderate-income households earn between 100 percent and 120 percent of the County's Area Median Income – up to \$97,600 depending on household size in 2020. The maximum affordable home price for a moderate-income household is \$216,818 for a one-person household and \$337,570 for a five-person family. Moderate-income households in Corona could afford to purchase the median priced home in the City; however, finding an affordable adequately sized home could present a challenge for households earning incomes at the lower end of the middle/upper category. The maximum affordable rent payment for moderate-income households is between \$1,376 and \$2,135 per month. Appropriately sized market-rate rental housing is generally affordable to households in this income group.

Cost Burden

The CHAS developed by the Census Bureau for HUD provides detailed information on housing needs by income level for different types of households in Corona. Detailed CHAS data based on the 2013-2017 ACS data is displayed in Table 25 below. Housing problems considered by CHAS include:

- » Units with physical defects (lacking complete kitchen or bathroom);

- » Overcrowded conditions (housing units with more than one person per room);
- » Housing cost burden, including utilities, exceeding 30 percent of gross income; or
- » Severe housing cost burden, including utilities, exceeding 50 percent of gross income.

Sixty-one (61) percent of extremely low-income renter households spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher than average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Table 25: Housing Assistance Needs of Lower-Income Households

Household by Type, Income, and Housing Problem	Renters	Owners	Total Households
Extremely low-income (0-30% AMI)	2,460	1,900	4,360
With any housing problem	87.4%	74.5%	81.8%
With cost burden >30%	85.8%	74.2%	80.6%
With cost burden >50%	80.3%	67.1%	74.4%
Very low-income (31-50% AMI)	2,605	1,830	4,435
With any housing problem	82.5%	62.4%	84.1%
With cost burden >30%	88.7%	73.2%	82.2%
With cost burden >50%	65.5%	59.6%	63.0%
Low-income (51-80% AMI)	3,925	2,730	6,655
With any housing problem	92.0%	69.2%	82.6%
With cost burden >30%	83.9%	66.1%	76.6%
With cost burden >50%	34.4%	41.4%	37.3%
Moderate & Above Income (>80% AMI)	1,740	2,720	4,460
With any housing problem	76.4%	66.4%	70.3%
With cost burden >30%	62.6%	60.8%	61.7%
With cost burden >50%	19.0%	24.3%	22.2%
Total Households	17,550	32,405	49,955
With any housing problem	11,550	11,720	23,270
% With housing problem	65.8%	36.7%	46.6%

Note: Data presented in this table are based on special tabulations from the ACS data. Due to the small sample size, the margins of errors can be significant. Interpretations of these data should focus on the proportion of households in need of assistance rather than on precise numbers.

Source: HUD CHAS, 2013-2017.

AT-RISK HOUSING (ASSISTED UNIT) ANALYSIS

ASSISTED HOUSING AT RISK OF CONVERSION

State law requires the City to identify, analyze, and propose programs to preserve existing multi-family rental units that are currently restricted to low income housing use and that will become unrestricted and possibly be lost as low income housing (i.e., “units at risk” or “at-risk units”). State law requires the following:

- » An inventory of restricted low-income housing projects in the City and their potential for conversion;
- » An analysis of the costs of preserving and/or replacing the units at risk and a comparison of these costs;
- » An analysis of the organizational and financial resources available for preserving and/or replacing the units “at risk,” and
- » Programs for preserving the at-risk units.

The following discussion satisfies the first three requirements of State law listed above pertaining to the potential conversion of assisted housing units into market rate housing before April 15, 2031. The Housing Plan section includes a program for preserving the at-risk units, which meets the final requirement of State law.

INVENTORY OF ASSISTED HOUSING UNITS IN CORONA

Table 26 below provides a description of assisted housing developments in Corona. All multi-family rental units assisted under federal, state, and/or local programs, including HUD programs, State and local bond programs, redevelopment programs, density bonus, or direct assistance programs, are included in the table.

AT-RISK PROJECTS

The planning period for this at-risk housing analysis extends from April 15, 2021, through April 15, 2031. The underlying income use restrictions of these projects were reviewed for potential conversion to market rate during this planning period. Detailed project information is listed in Table 26.

During this 10-year period, three projects will be at risk of losing their affordability controls. Combined, a total of 89 assisted units will be at risk between April 2021 and April 2031. The three housing projects are assisted under the following programs:

HUD Section 202 and HUD Section 8: Two of the projects were assisted under the Section 202 - Handicapped and Elderly Housing Program and the Section 8 program – Corona Community Towers and Garrison House. Section 202 provides loans to help build or rehabilitate handicap or elderly units. The maximum period for the loan is 40 years. These HUD Section 202-financed projects also maintain project-based Section 8 contracts.

Under the HUD Section 8 program, participating building owners are entitled to receive HUD Fair Market Rents (FMRs) for their units with Section 8 contracts. On the Section 8 units, HUD makes up the difference between 30 percent of a household’s monthly income and the FMRs. A total of 41 at-risk units are assisted under these programs.

Low/Moderate Developer Funds: One project received developer funds to construct low/moderate income housing – Park Place (Casa De Corona). Developer funds are given to finance a project with the condition that the project be used to support very low, low, and moderate income assisted units. A total of 48 at-risk units are assisted under this program.

COST ANALYSIS

The following discussion examines both the cost of preserving the units at-risk in Corona, and the costs of producing new rental housing comparable in size and rent levels to replace the units that could convert to market rate. Cost estimates provided in this analysis are intended to indicate an order of magnitude. Actual costs involved in each option will depend on the rental and real estate market situations at the time the affordability controls on these projects expire.

Preservation Costs: A total of 89 units distributed among three projects are at risk of losing their affordability controls between, April 15, 2021, and April 15, 2031. Preservation of the at-risk units can be achieved in several ways:

Rental Assistance: Tenant-based rent subsidies could be used to preserve the affordability of housing. Similar to Housing Choice Vouchers, the City, through a variety of potential funding sources, could provide rent subsidies to tenants of at-risk units. The level of the subsidy required to preserve the at-risk units is estimated to equal the Fair Market Rent (FMR) for a unit minus the housing cost affordable by a lower income household.

This type of preservation largely depends on the income of the family, the shelter costs of the apartment and the number of years the assistance is provided. If the typical very low-income family that requires rental assistance earns \$39,540, then the family could afford approximately \$989 per month for shelter costs. The difference between the \$989 and the typical rent for a two-bedroom apartment of \$1,757 would in necessary monthly assistance of \$768 a month or \$9,216 per year. For comparison purposes, typical affordable housing developments carry an affordability term of at least 20 years, which would bring the total cost to \$184,320 per family. Providing tenant-based rental assistance for all 89 at-risk units is estimated at \$16,404,480 over a 20-year period.

Purchase of Affordability Covenants: Another option to preserve the affordability of at-risk projects is to provide an incentive package to the owners to maintain the projects as affordable housing. Incentives could include writing down the interest rate on the remaining loan balance, and/or supplementing the subsidy amount received to market levels.

To purchase the affordability covenant on these projects, an incentive package should include interest subsidies at or below what the property owners can obtain in the open market. To enhance the attractiveness of the incentive package, the interest subsidies may need to be combined with rent subsidies that supplement the HUD fair market rent levels.

Replacement Costs: The construction of new low-income housing units is a means of replacing the at-risk units should they be converted to market-rate units. The cost of developing housing depends upon a variety of factors, including density, size of the units (i.e. square footage and number of bedrooms), location, land costs, and type of construction.

Assuming an average development cost is \$200,000 per unit for multi-family rental housing, replacement of the 89 at-risk units would require approximately \$17,800,000 excluding land costs. When land costs and developer profits are included, the construction costs of new units can easily double.

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
Not At-Risk									
Corona del Rey	1148 D. St.	160	32	128	No	0	160	Perpetuity	Revenue Bond, Low/Mod Funds, City HOME, County HOME, Federal Tax Credits
Casa de la Villa Apartments	313 S. Vicentia Avenue	75	8	66	No	0	74	2060	Low/Mod Funds, Federal Tax Credits, Developer Funds
Corona del Oro	630-650 W. 2nd	72	71	0	No	0	71	2055	Low/Mod Funds, HOME Funds, Federal Tax Credits
River Run Senior Apartments	863 River Road	360	144	216	Yes	0	360	2055	RDA Low/Mod Housing Funds, Federal Tax Credits
Vintage Terrace Apartments	1910 Fullerton Street	200	0	200	Yes	0	200	2038	HUD and Tax Credit
Corona Community Villas	2600 S. Main Street	75	0	74	Yes	0	74	2073	HUD Section 202/ Section 8
Corona Park Apartments	956 Avenida Del Vista	160	0	158	No		158	2072	HUD Section 8
Citrus Circle Apartments	121-141-161 Buena Vista	61	42	18	No	0	60	2070	NSP, Federal Tax Credits, CHA
Meridian Apartments	1066 E. 6 th Street	85	8	76	No	0	84	2075	HOME, Federal Tax Credits, CHA

Table 26: Assisted Housing Developments in Corona

Project Name	Location	Total Units	Assisted Units				Total Assisted	Expiration Date	Funding
			Very Low	Low	Senior	Moderate			
William C. Arthur Terrace Apartments	1275 W. 8th Street	40	39	0	Yes	0	39	2044	HUD Section 202/811 Section 8
TOTAL		1,288	344	936	--	0	1280	--	
At-Risk									
Park Place (Casa De Corona)	935, 945, 950 W. Fifth Street	48	12	18	No	18	48	2027	Low/Mod Developer Funds
Corona Community Towers	910 S. Belle Street	36	0	35	Yes	0	35	2022	HUD Section 202/ Section 8
Garrison House	779 Ford Street	7	6	0	Yes	0	6	2027	HUD Section 202/ Section 8
TOTAL		91	18	53	--	18	89	--	
Source: City of Corona Redevelopment Agency, 2020; HUD Expiring Section 8 Database, 2020.									

COST COMPARISONS

The above analysis attempts to estimate the cost of preserving the at-risk units under various options. However, because different projects have different circumstances and therefore different options available, the direct comparison would not be appropriate. In general, providing additional incentives/subsidies to extend the affordability covenant would require the least funding over the long run, whereas the construction of new units would be the costliest option. Over the short term, providing rent subsidies would be least costly but this option does not guarantee the long-term affordability of the units.

RESOURCES FOR PRESERVATION OF AT-RISK HOUSING

The following describes active non-profit agencies that may have the capacity to develop, acquire, and/or manage affordable housing, including housing projects that are at risk of converting to market-rate housing.

Jamboree Housing: Founded in 1990, Jamboree specializes in the development and construction of new affordable rental and for-sale housing. The organization has a portfolio that includes development and/or ownership interest in nearly 6,600 affordable homes in 47 California cities – topping a market value of \$1 billion. Jamboree currently owns and operates Corona Park Apartments, a 158-unit affordable community, located in the City of Corona. Jamboree acquired and rehabilitated this project in 2004.

Western Community Housing: Western Community Housing Inc. (WCH) is a California non-profit public benefit corporation that was founded in 1999 and is headquartered in Costa Mesa, California. WCH's mission is to promote affordable housing and to provide social services to low-income senior and family households. By partnering with local governments, for-profit developers, lenders, syndicators and corporate investors, WCH and its affiliates currently have an ownership interest in 89 affordable housing communities comprising over 7,800 units. The agency currently owns and operates Heritage Park Apartments in the nearby City of Norco.

BRIDGE Housing: In 1983, BRIDGE was formed from a major anonymous grant given to the San Francisco Foundation to spearhead new solutions to the worsening shortage of affordable housing. Today BRIDGE's steady stream of diverse development efforts and pipeline activity exceeds 18,000 homes. The organization owns and operates Ivy at College Park, a 135 affordable apartment community, located in nearby Chino.

LINC Housing: LINC Housing has a 36-year history of creating communities for thousands of families and seniors throughout California. LINC is committed to building and preserving housing that is affordable, environmentally sustainable, and a catalyst for community improvement. The organization currently owns and operates Seasons Senior Apartments in nearby Chino.

AFFIRMATIVELY FURTHERING FAIR HOUSING

Under state law, affirmatively further fair housing means “taking meaningful actions, in addition to combatting discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity based on protected characteristics. Beginning January 1, 2019, all housing elements must include a program that promotes and affirmatively furthers fair housing opportunities throughout the community for all persons regardless of race, religion, sex, marital status,

ancestry, national origin, color, familial status, or disability, and other characteristics protected by the California Fair Employment and Housing Act (FEHA), Government Code Section 65008, and any other state and federal fair housing and planning law. Additionally, all housing elements due on or after January 1, 2021, must contain an Assessment of Fair Housing (AFH) consistent with the core elements of the analysis required by the federal Affirmatively Furthering Fair Housing (AFFH) Final Rule of July 16, 2015. The housing element land inventory and identification of sites must be consistent with a jurisdiction's duty to AFFH and the findings of its AFH. The AFH for the 2021-2029 Housing Element is included in Appendix C.

Chapter 3: Housing Constraints

Market, government, infrastructure, and environmental factors, among others, create constraints to the provision of adequate and affordable housing. These factors may restrict the development of housing, particularly that affordable to lower-income households. Constraints can generally be divided into "governmental constraints," meaning those controlled by federal, State, and local governments, and "nongovernmental constraints," or those that are neither generated nor affected by governmental controls. An analysis of these factors can facilitate the development of programs that lessen the effects such constraints have on the supply and cost of housing.

MARKET CONSTRAINTS

AVAILABILITY

The high cost of renting or buying a residence is the main, ongoing constraint to adequate housing opportunities in Corona. The high cost of land, construction, labor, and limits on financing contribute to a decrease in the availability of affordable housing. Corona is an urbanized area with few vacant parcels available for residential development. These parcels are identified and described further in the Housing Resources (Chapter 4) portion of this Housing Element. Opportunities exist on underutilized, residentially zoned sites capable of being developed at higher densities and non-residential zoned sites where mixed-use development is permitted.

Short-term rental housing is relatively low in Corona. Short-term residential rental is defined as the rental of any legally permitted dwelling unit or one or more portions of any legally permitted dwelling unit, for occupancy purposes for a period of 30 consecutive calendar days or less, counting portions of calendar days as full days. The City of Corona requires a short-term residential rental permit before renting or advertising the availability of a short-term residential rental unit. Furthermore, every broker must ensure that each short-term residential rental unit is registered with the City and that the owner or owner's authorized agent has obtained the requisite short-term residential rental permit and business license prior to listing or advertising the unit for rent. The requirement for a short-term residential rental permit is based on the actual duration of the rental period and not the stated time period of the reservation, rental or other contract or agreement. Permits must be renewed annually. In 2021 to date, the City has only received three permits. Therefore, City policies regarding short-term rentals are not a constraint for residents to access long-term housing.

There is potential to develop new affordable housing units on vacant land designated for multi-family residential and on vacant residential parcels where infill could occur. Reuse and redevelopment of existing sites can also accommodate additional housing in Corona with uses that range from multi-family units (e.g., duplexes and triplexes) or accessory dwelling units (i.e., granny flats) that are attached or detached from existing single-family homes on residential properties.

Throughout Riverside County, sale prices of single-family homes increased an average of 5.7 percent from 2015 to 2017, and indications are that the trend will continue. In Corona, property values increased by 5.97 percent from 2016 to 2017, slightly more than the county overall average.

CONSTRUCTION AND LABOR COSTS

The cost of labor and materials are the main determinants of construction cost. The relative importance of each is a function of the complexity of the construction job and the desired quality of the finished product. This puts builders under constant pressure to complete jobs for the lowest price possible while still providing a quality product, a situation that has led (and still leads) to an emphasis on labor-saving materials and construction techniques.

The price paid for material and labor at any one time will reflect short-term considerations of supply and demand. Between 2016 and 2020, construction costs rose approximately 10.5 percent.⁷ Costs have moderated somewhat due to fluctuations that followed the 2008 downturn, and more recently, from supply accessibility during the COVID-19 pandemic. Future costs are difficult to predict given the cyclical fluctuations in demand and supply that, in large part, are created by fluctuations in State and national economies. These circumstances impact construction in regions differently, and therefore do not deter housing construction in any specific community.

For the average home, the cost of labor is generally two to three times the cost of materials and therefore represents a substantial component of the total building costs. Most residential construction in Riverside County is performed with nonunion contractors, and labor costs are responsive to changes in the residential market. The relative ease with which a skilled tradesperson can get a contractor's license further moderates the pressures related to rising labor costs. Construction costs in Corona are about the same as in other parts of Southern California.

A reduction in amenities and quality of building materials (in line with a minimum acceptability for health, safety, and adequate performance) could result in lower sale prices. Economy building techniques may reduce costs. Prefabricated, factory-built housing may provide lower priced housing by reducing construction and labor costs. Another factor related to construction costs is the number of units built at one time. As the number of units increases, construction costs over the entire development generally go down, due to economies of scale. This reduction in costs is beneficial when density bonuses apply to affordable housing development.

LAND COST

High land costs are a primary factor affecting the feasibility of residential development in the City. The prices of land vary depending on location, zoning (allowable density), and availability of improvements. Additionally, land costs vary depending on the current use of the site; whether the site is vacant or has an existing use that will need to be removed or converted. In general, entitled single-family subdivisions with infrastructure extension plans command higher prices than raw land. Many variables influence land cost, including scarcity and developable density (both of which are indirectly controlled through government land use regulations), location, unique features, and the availability of public utilities. Undeveloped land in Corona ranges from \$39,200 to \$85,909 per acre. This high cost makes density optimization imperative to residential land developers.

Vacant land zoned for multi-family use is scarce and typically more expensive per acre than vacant land zoned for single-family residential. As the City becomes increasingly built-out and future development becomes more reliant upon the acquisition of underutilized parcels and demolition of existing structures, the cost of a finished residential site will further increase.

⁷ California Department of General Services (DGS). 2020. DGS California Construction Cost Index (CCCI). <https://www.dgs.ca.gov/RES/RESOURCES/> (accessed January 2021).

FINANCING

Construction Financing

The availability of construction financing affects the degree to which new housing can be built. Over the years, loan underwriting has become more conservative than in the past, when developers might receive construction loans for 100 percent or more of a project's estimated future value. Although no hard threshold exists for the amount of required equity that would be too much to make a project infeasible to develop, the higher amount of equity required, the more unlikely the developer would proceed with the project. Higher equity amounts require not only more cash upfront, but also would necessitate a higher project value at completion to generate the net cash flow needed to meet the minimum acceptable cash-on-cash return threshold. These trends inform the condition of the housing market throughout the Southern California region.

Availability of Mortgage and Rehabilitation Financing

The Home Mortgage Disclosure Act (HMDA) requires financial institutions to maintain, report, and disclose publicly information about mortgages. In 2017, 2,336 households applied for conventional mortgage loans in Corona and 774 households applied for government backed loans. Considerably fewer Corona households applied for government-backed loans than conventional loans to purchase homes in 2017. Another 569 Corona households applied for home improvement loans in 2017. In general, home improvement financing is less accessible during market downturns, compared to home purchase financing. High debt-to-income ratios coupled with lower property appraisals can make it more difficult to qualify for additional financing. Applications to refinance existing mortgages were most common with 3,551 total applications. Of these, 2,802 were conventional loans and 749 were government-backed loans. According to HDMI data for 2017, all loan applications were approved, including those for refinance and renovation. None were denied. This indicates the failure, denial, and origination rates since 2015 has improved for conventional and government backed loans.

Table 27 Disposition of Home Loan Applications

Applications (By Loan Type)	Number of Applications	Share of Applications	Number Approved	Percent Approved
Home Purchase	3,430	39.4%	3,120	90.9%
Conventional	2,671	30.7%	2,403	89.9%
FHA – Insured	506	5.8%	480	94.9%
VA – Guaranteed	253	2.9%	237	93.7%
FSA/RHS	0	0.0%	0	0.0%
Home Improvement	747	8.6%	543	72.7%
Conventional	674	7.7%	484	71.8%
FHA – Insured	41	0.5%	30	73.2%
VA – Guaranteed	32	0.4%	29	90.6%
FSA/RHS	0	0.0%	0	0.0%
Refinancing	4,538	52.1%	3,568	78.6%
Conventional	3,541	40.6%	2,808	79.3%
FHA – Insured	553	6.4%	425	76.9%
VA – Guaranteed	444	5.1%	335	75.5%
FSA/RHS	0	0.0%	0	0.0%
Total	8,715	100.0%	7,231	82.9%
Notes: “Approved” includes loans approved by the lenders whether or not they are accepted by the applicants. “Other” includes loan applications that were either withdrawn or closed for incomplete information. Source: HMDA 2017.				

About 50 percent of loan applicants reported incomes that exceeded 120 percent of the AMI. Given the high rates of approval, refinancing and home purchase loans are generally available and not considered to be a constraint in Corona. The City provides forgivable loans of up to \$25,000 to qualifying lower income homeowners to address critical home improvement needs (Program 1).

Federal agencies offer limited down payment assistance programs to assist with down payment and closing costs, including subordinate loans with deferred payments that help with affordable mortgage payment levels. Offered through the MyHome Assistance Program, the loan structure varies based on the agency with most capping the amount at \$11,000.⁸

GOVERNMENTAL CONSTRAINTS

Housing affordability is affected by factors in both the private and public sectors. Actions by the City can have an impact on the price and availability of housing in Corona. Land use controls, site improvement requirements, building codes, fees, and other local programs intended to improve the overall quality of housing may serve as a constraint to housing development.

⁸ California Housing Finance Agency (CalHFA). 2021. Loan Programs. [web page]. Calhfa.ca.gov/homebuyer/programs/index.htm. (accessed February 2021).

LAND USE CONTROLS AND DEVELOPMENT STANDARDS

The City regulates the type, location, density, and scale of residential development primarily through its General Plan and Zoning Ordinance. In general, the City's zoning and land use regulations are designed to balance the goal of providing affordable housing opportunities for all income groups while protecting the health and safety of residents and preserving the character of existing neighborhoods.

General Plan and Zoning Categories/Densities

As discussed below, the Corona General Plan, specific plans, and Zoning Ordinance provide for a wide range of residential land use designations/zones in the City. General residential standards are provided in Table 29. A comparison of these standards to neighboring cities is provided in Table 30.

Residential

Rural/Estate Residential (0 to 3 units per acre): Includes the Rural Residential I/II and Estate Residential General Plan land use designations, all E, ER, and HER designations in specific plans and the R14.4, A-14.4, R-1-A, R-1.20 and A zone districts.

Low Density Residential (3 to 6 units per acre): Includes the Low Density Residential and Low Medium Density Residential General Plan land use designations, all SFR, SF, LDR, SFC, SFD, LMDR and L designations in specific plans and the R-1-7.2, R-1 8.4, R-1 9.6, R-1 12, and MP zone districts.

Medium Density Residential (6 to 15 units per acre): Includes the Medium Density Residential General Plan land use designation, all M, MDR, MHDR, SFA designations in specific plans, and the R-2 and R-G zone districts.

High Density Residential (15 to 36 units per acre: Includes the High Density Residential General Plan land use designation, all HDR, MF, MFR and MHDR designations in specific plans, and the R-3 and R-3-C zone districts.

Urban Density Residential (37 to 60 units per acre): Includes the Urban Density Residential General Plan land use designation, the UDR designation in the North Main Street Specific Plan, and the R-3-C zone district.

Mixed Use

Mixed Use I and Downtown Commercial (2.0 to 3.0 floor area ratio): Includes the Mixed Use I and Downtown Commercial/Mixed Use land use designations and the MUD and MU designations in specific plans.

RESIDENTIAL COMMUNITY DEVELOPMENTS AND SPECIFIC PLANS

The City processes residential developments through conventional zoning regulations or Specific Plans. These mechanisms allow residential development of all types, with the development standards approved by the City Council for each individual application, and encourage whole-scale community planning with an appropriate balance of land use types. Specific Plans often incorporate mixed-use, higher density residential areas as a focal part of the plan. The only constraint is that single-family residential developments on fee simple lots must have a minimum 7,200 square-foot lot area, a size comparable to similar communities in the region.

The City has adopted 31 Specific Plans to date, two of which have been adopted since certification of the 5th cycle Housing Element Update. Specific plans outline development standards that govern development in the specific plan area. In general, they all incorporate provisions for housing, including the establishment of an Urban Density Residential zone, which allows up to 60 dwelling units per acre in one of the Specific Plans. These density levels are among the highest in the Inland Empire (similar to the City of Riverside) and higher than most suburban communities in the region.

Recent specific plans approved for development in Corona include the following:

- » Sierra Bella Specific Plan (updated July 2014)
- » Arantine Hills specific Plan (June 2020)

The Sierra Bella Specific Plan area is in northwest Corona, at the eastern terminus of Green River Road at Paseo Grande, south of the Sierra del Oro community. The Plan allows up to 249 single-family homes as a "hillside village," with a large part (62 percent) of the plan area remaining as open space. The Specific Plan was approved in 2005 but amended in 2014 to include provisions that reduce grading and visual impacts by clustering development in the lower portion of the plan area and reducing the minimum lot size to 7,200 square feet.

Table 2 identifies the City's development standards per zoning district. Site development standards are comparable to other community requirements in western Riverside County (see Table 3) and ensure a quality living environment for all household groups in Corona, including special groups such as lower and moderate income households and senior citizens. These development standard requirements, individually or together, are reasonable and have not impacted the ability of development to achieve the maximum allowable densities in any zone.

North Main Street District Specific Plan

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona. The district contains a mix of land uses including commercial retail, commercial office, medium and high density residential, light industrial/manufacturing, and public/quasi-public land uses, with several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. The Specific Plan allows residential development in the following areas with residential development potential (summarized in Table 28):

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

The following property development standards set forth in this section shall apply to all land and buildings in the SFC District:

- » Single Family Detached
- » Maximum Height: 30 ft. and no more than two stories
- » Maximum Density: 15 units / acre

- » Setbacks: 10 feet along all sides.
- » Parking: 2 covered spaces per unit, plus one guest space for every five units.
- » Single Family Attached
- » Maximum Height: 40 ft. and no more than three stories
- » Maximum Density: 15 units / acre
- » Setbacks: 10 feet rear, 5 feet sides, 10 feet front
- » Parking: Studio or single bedroom unit 1.5 covered spaces, Two bedroom unit 2.0 covered spaces, Three or more bedroom unit 2.5 covered spaces - Guest Parking 1 uncovered guest space/5 units

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

The following property development standards set forth in this section shall apply to all land and buildings in the UDR District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: 60 units / acre
- » Setbacks: 10 feet along all sides.
- » Parking: Single Bedroom 1.0 covered space, Two or more bedroom 1.0 covered space and 1.0 uncovered space per unit, Guest parking 1 guest space / 5 units

Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan can accommodate 400 units in the 6th Housing Element cycle upon rezone of parcels that could potentially be rezoned to accommodate lower and moderate-income units. The following property development standards set forth in this section shall apply to all land and buildings in the MU District:

- » Maximum Height: None. Height limited by Floor Area Ratio (FAR)
- » Maximum Density: Commercial FAR 0.5, Mixed Use FAR 2.0
- » Setbacks: 10 feet along all sides.
- » Parking: Studio or single bedroom unit 1.0 covered spaces, Two or more bedroom unit 2.0 covered spaces, Guest Parking 1 guest space/5 units

Table 28: Specific Development Standards for the North Main Street Specific Plan

	Urban Density Residential	Mixed Use
Density	60 units per acre	2.0 FAR
Maximum Height	5 stories or 60 feet	None
Lot Requirements	None	None
Private Open Space	None	None
Common Open Space	100 square feet per unit	100 square feet per unit
Setbacks	River Road – 10 feet Local/Private Street – 5 feet	Front – None Street Side – 10 feet
Parking	Studio/1-Bedroom – 1.0 covered space Two+ Bedrooms – 2.0 covered/uncovered spaces Guest Parking – 1.0 per 5 units	Studio/1-Bedroom – 1 covered space Two+ Bedrooms – 2.0 covered spaces Guest Parking – 1.0 per 5 units

These standards are established to facilitate high density residential and mixed-use developments. Specifically, for the Mixed-Use designation, up to 80 percent of the Floor Area Ratio can be dedicated to residential uses.

Downtown Corona Revitalization Specific Plan

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle. Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

Downtown (D) District: The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.

The following property development standards set forth in this section shall apply to all land and buildings in the D District:

- » Maximum Height: 5 stories or 60 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 3.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear

Transitional Commercial (TC) District: The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit (CUP) in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the TC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

General Commercial (GC) District: The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 10 feet front, 8 feet side, and 10 feet rear.

Community Services (CS) District: The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a CUP in this district.

The following property development standards set forth in this section shall apply to all land and buildings in the CS District:

- » Maximum Height: 3 stories or 40 feet, whichever is lesser.
- » Maximum Density: Maximum FAR 2.
- » Setbacks: 15 feet front, 10 feet side, and 10/20 feet rear.

Residential Office (RO) District: The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.

The following property development standards set forth in this section shall apply to all land and buildings in the RO District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 1 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Single-family Residential (SF) District: The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.

The following property development standards set forth in this section shall apply to all land and buildings in the SF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 4 units / acre
- » Setbacks: 20 feet front, 15 feet side, and 10 feet rear.

Multi-family Residential (MF) District: The MF District is intended for small areas that are presently developed with multi-family residential units.

The following property development standards set forth in this section shall apply to all land and buildings in the MF District:

- » Maximum Height: 2 stories or 30 feet, whichever is lesser.
- » Maximum Density: 10-20 units / acre based on overlay area
- » Setbacks: 25 feet front, 20 feet side, and 15 feet rear.

The Planning Commission may approve an increase in the overall height to 3 stories or 40 feet subject to Precise Plan approval. This stipulation is identified as a constraint to the development of multi-family housing and Program 14 has been developed to remove this impediment.

Dos Lagos Specific Plan

The Dos Lagos Specific Plan area consists of 542.89 acres located near the southern boundary of the City of Corona on the east side of Interstate 15. The Dos Lagos Specific Plan area was once a silica sand mining operation and processing plant that has been redeveloped as a mixed use area plan consisting of residential, commercial, hospitality, golf-course and an man-made lake.

Commercial (C) Designation: The Commercial (C) designation within the Specific Plan area is designed for commercial oriented uses and is intended to provide local community retail services and freeway support services including hospitality services.

The following property development standards set forth in this section shall apply to all land and buildings in the C District:

- » Maximum Height: 60 feet.
- » Maximum Density: N/A
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Entertainment Commercial (EC) Designation: The Entertainment Commercial (EC) planning area is intended to provide opportunities for local and regional entertainment and recreation.

The following property development standards set forth in this section shall apply to all land and buildings in the EC District:

- » Maximum Height: 60 feet.
- » Maximum Density: Up to 218 units
- » Setbacks: 20 feet from Front, 0 rear and sides, 10 street sideyard

Single Family Residential: The single family residential is for single family homes.

- » Maximum Height: 30 feet
- » Maximum Density: 6 du/ac
- » Setbacks: Front: 20 feet, Sides: 10/5, Rear: 10.

High Density Residential: is for attached multiple family units, including but not limited to townhouses and stacked condominiums.

- » Maximum Height: 60 feet/5 stories
- » Maximum Density: 36 du/ac
- » Setbacks: Street setbacks: 10 feet, Building Separation: 15 feet

Parking:

- » One bedroom: 1.5 covered per units
- » Two bedrooms: 2 covered/uncovered per units
- » Three + bedrooms: 2.5 covered/uncovered per units
- » Guest: 1 space every 5 units

Arantine Hills Specific

The Arantine Hills Specific Plan is located on 325.7 acres on the southeastern boundary of Corona East of Interstate 15. The Specific Plan allows 1,621 single-family and multi-family homes with an additional 185 age-qualified units for a total of 1,806 dwelling units.

General Commercial District: The General Commercial District (GC) is intended for commercial uses that serve neighborhood and community needs with an emphasis on convenient automobile access, while incorporating efficient, safe and attractive on-site pedestrian circulation. In addition to retail uses, the General Commercial District may also contain low- and medium-rise office uses.

The following property development standards set forth in this section shall apply to all land and buildings in the GC District:

- » Maximum Height: Four (4) stories or 50' , whichever is greater
- » Maximum Density: Up to 228 units
- » Setbacks: No requirements. Maximum FAR 0.25

High Density Residential District: The High Density Residential (HDR) District is planned for attached multi-family dwelling units, including, but not limited to, townhomes and row homes, clusters, stacked flats and age-qualified apartments, at densities of up to 36 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the HDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 36 units/ acre
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Parking:

- » One bedroom: 1.5 covered/uncovered spaces
- » Two bedrooms: 2 covered spaces
- » Three+ bedrooms: 2 covered plus .5 uncovered
- » Age-Qualified: 1.5 uncovered spaces/unit
- » Guest: 1 space every 5 units

Medium Density Residential District: The Medium Density Residential District (MDR) is intended as a residential district for single family dwellings, duplexes townhomes, row homes, and multiple-family residences at densities up to 15 dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the MDR District:

- » Maximum Height: Shall not exceed three stories or 40 feet, whichever is greater
- » Maximum Density: Up to 15 units
- » Setbacks: 10 or 26 feet front, 0 or 6 feet sides, 10 or 26 feet rear

Low Density Residential District: The Low Density Residential Districts (LDR) are intended to provide for single-family detached homes and/or low density condominium homes with a maximum density of six dwelling units per acre.

The following property development standards set forth in this section shall apply to all land and buildings in the LDR District:

- » Maximum Height: Shall not exceed two stories or 35 feet, whichever is greater
- » Maximum Density: Up to 6 units
- » Setbacks: 20 feet from Front, 15 rear and sides, 10 street sideyard

Table 29: General Residential Development Standards in Zoning Code

Zone	Max. Density	Yard Setback Minimums			Parking Standards	Maximum Height	Maximum Lot Coverage
		Front	Side	Rear			
Rural/Estate Residential							
A [†]	1.0 du/5.0 acres	25'	15'	10'	2/unit	30' 2-story	30%
A-14.4 [†]	3.0 du/acre	25'	15'	10'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-12.0 [†]	3.0 du/acre	25'	10'	7'	2/unit	30' 2 story	30% (2-story) 40% (1-story)
R-1-20.0 [†]	3 du/acre	25'	15'	10'	2/unit	30' 2-story	30% (2-story) 35% (1-story)
R-1A [†]	1.0 du/acre	25'	15'	10'	2/unit	30' 2-story	25%
Low-Density Residential							
R-1-12.0 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 30% (2-story)
R-1-9.6 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-8.4 [†]	6.0 du/acre	25'	5'-10'	10'-15'	2/unit	30' 2-story	40% (1-story) 35% (2-story)
R-1-7.2 [†]	6.0 du/acre	23'	5'-10'	10'-15'	2/unit	30' 2-story	45% (1-story) 35% (2-story)
Medium-Density Residential							
MP	8.0 du/acre	5'	4'	5'	2/unit + 1 for every 4 units	30' 2-story	75%
R-G	12.0 du/acre	30'	5'-15'	10'	**	35' 2-story	40%
R-2	15 du/acre	25'	5'-15'	10'	**	30' 2-story	50%
High Density Residential							
R-3	36 du/acre*	20'- 25'	5'-15'	10'	**	40' 3-story	60%
R-3-C	23.2- 58 du/acre	20'- 25'	5'-15'	10'	**	45' 3-story	70%
Source: City of Corona Municipal Code, Title 17, 2020.							
†Accessory dwelling unit of a permanent character placed in a permanent location is permitted under Corona Municipal Code Section 17.06.025							
* 75 dwelling units per acre (du/acre) for senior citizen/handicapped housing per Conditional Use Permit (CUP).							
**Parking Requirements:							
Single-family - 2 covered spaces/unit							
Studio and one-bedroom - 1.5 covered spaces per unit + 1.0 uncovered guest space per 5 units							
Two-bedroom – 2.0 covered spaces per unit + 1.0 uncovered guest space per 5 units							
3+ bedroom - 2.5 covered spaces per unit + 1.0 uncovered guest space per 5 units							
Market rate senior citizen apartment - 1.5 spaces per unit							
Lower income senior citizen apartment – 0.5 spaces per unit							
Senior congregate housing – 1.0 space per unit							
Disabled or handicapped housing – 0.3 spaces per unit							
Secondary dwelling – 1.0 uncovered space per unit							

Table 30: Regional Comparison of Residential Development Standards

Residential District	Development Standard	Corona	City of Riverside	Norco	Temecula
Rural/Estate Residential	Maximum Density	1 du/acre	3.3 du/acre	1 du/acre	1 du/2.5 acres
	Front Yard Setback	20'-25'	30'	25'	25'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'	35'
Low Density Residential	Maximum Density	6 du/acre	6.0 du/acre	4.3 du/acre	2.0 du/acre
	Front Yard Setback	20'-25'	25'	25'	15'
	Parking Standards	2/unit	2/unit	2/unit	2/unit
	Maximum Height	30'/2-story	35'/2-story	35'/2.5-story	35'
Medium Density Residential	Maximum Density	15 du/acre	8.0 du/acre	8.0 du/acre	12.0 du/acre
	Front Yard Setback	25'	25'	25'	10'
	Parking Standards	*	2/unit	2/unit	*
	Maximum Height	30'/2-story	30'/	35'/2.5-story	40'
High Density Residential	Maximum Density	36.0 du/acre**	29.0 du/acre	No Comparable Zone	20.0 du/acre
	Front Yard Setback	20'-25'	15'	*	20'
	Parking Standards	*	*	*	*
	Maximum Height	40'/3-story	50'	*	50'
<p>Land Uses / Zone Districts Compared:</p> <p>Rural Residential: Corona = R-1A; Riverside = RE; Norco = A-E; Temecula = VL</p> <p>Low Density Residential: Corona = R-1-12; Riverside = R-1-1300; Norco = R-1; Temecula = L-2</p> <p>Medium Density Residential: Corona = R-2; Riverside = R-3-4000; Norco = R-3; Temecula = M</p> <p>High Density Residential: Corona = R-3; Riverside = R-4; Norco = N/A; Temecula = H</p> <p>* Parking standards vary by unit type.</p> <p>** Up to 75 du/acre for senior citizen/handicapped housing per CUP.</p> <p>Sources: City of Corona 2020, City of Riverside 2018, City of Norco 2020, City of Temecula 2020.</p>					

LOT COVERAGE

As shown in Table 29, maximum lot coverage varies between 25 and 75 percent, depending on the underlying zone. If maximum lot coverage standards were set too low, it could impede the ability to achieve greater densities or full residential development potential on-site. However, the standards set within the zoning ordinance are reasonable and allow for greater lot coverage within higher-density zones, while preserving the character of designated lower-density communities through lower maximum lot coverage.

OPEN SPACE

While there are no open space requirements for most residential zones (yard setbacks, maximum lot coverage and building separation requirements aside), multi-family units under higher density zones are required to provide common park or recreation space. The MP zone includes interior community center parks standards of at least 2,000 square feet of usable outdoor park space and a minimum of 150 square feet of combined outdoor and indoor net usable recreation area per mobile home space. The R-G, R-3, and R-3-C zone requires outdoor common space for the multi-family unit complex of at least 200 square feet (150 square feet for senior congregate care facilities) of usable outdoor space per dwelling unit exclusive of front yards, with other criteria.

PARKING

Excess parking can reduce the number of housing units that can be achieved on a given site. As shown in Table 29, the number of spaces required varies by zone; generally then, single-family residences are required to have two covered spaces, and multi-family units will have at least 1.5 covered spaces per studio or one-bedroom, 2.0 covered spaces per two-bedroom, and 2.5 covered spaces per three-bedroom (or greater). Multi-family units must also provide at least one uncovered guest space per five units. Senior units have reduced parking requirements at 0.5 to 1.5 spaces per unit, depending on the affordability of the unit, while all secondary dwelling units where allowed must have one covered space per unit. Housing for the disabled or handicapped requires only 0.3 spaces per unit. Homeless or emergency shelters must provide only one space per staff member/shift plus one space per 12 beds and two guest spaces. The City's parking requirements are not considered excessive and are similar to most communities in the region.

The Zoning Ordinance includes a provision for project applicants in the downtown area to pay an in-lieu fee to a parking fund when able to demonstrate that meeting requirements is infeasible, and the Planning and Housing Commission concurs and sets the appropriate fee. This provision is applied to a focused area of the downtown to facilitate redevelopment in the downtown. However, there has been no request to utilize this provision since adoption in 1978 and therefore, no formal program has been established to implement this in-lieu fee.

To facilitate high density residential development within ½ mile of public transportation, the City's parking standards for Urban Density Residential in the North Main Street Specific Plan is one space per unit for Studio/One-Bedroom Urban Residential and two spaces per unit for Three+ Bedrooms.

MINIMUM LOT SIZE REQUIREMENTS

Large-lot zoning is primarily established for residential areas zoned R1, which means single family. The City's R1 zoning has various minimum size requirements with the largest lot size starting at one acre and the smallest lot size being 7,200 square feet. In 1986, Corona voters approved Measure H, which requires a minimum lot area of 7,200 square feet for single-family homes located on fee simple lots. The City's multiple family residential zones, R-2 and R-3 also require a minimum lot size of 7,200 square feet per lot. These minimum requirements are very typical in suburban communities and do not seem excessive or burdensome in that they will not preclude most lots from developing residential use at an achievable maximum density assumed under these zones.

The minimum lot size requirement for an R-3-C zoned parcel is 6,000 square feet. To effectuate the purposes of the R-3-C zone and to encourage new development at one time of large areas of land for multi-family dwelling use, and the redevelopment at one time of many existing buildings in the zone for

this use, a minimum of 1,875 square feet of gross lot area per dwelling unit is required for lots less than 22,500 gross square feet. A minimum of 1,500 square feet of gross lot area per dwelling unit is required for larger lots. However, if a property was previously burdened by public street easements and abuts a lot or contiguous lots of 22,500 square feet or more, the minimum lot requirement may further be reduced to 750 square feet of gross lot area per dwelling unit. These minimum lot size requirements are designed to encourage lot consolidation and to facilitate the development of large-scale multi-family developments that would achieve economies of scale, potentially making units more affordable.

MINIMUM UNIT SIZES

For R-1 zones (single-family dwelling units), the minimum unit size is 1,000 to 1,400 square feet of living area exclusive of open patios and garages, depending on the specific district. For multi-family developments, the minimum unit size in an R-2 zone is 800 square feet per dwelling unit; for R-3-C and R-G is 600 square feet per dwelling unit; and for R-3 is 600 square feet per dwelling unit except for senior care facilities, which may be reduced to 550 square feet per unit, or further reduced to 375 to 550 square feet per unit depending on the unit type and under the provision that an equal amount of area under 550 square feet is provided elsewhere in the building in the form of common activity centers or facilities. These minimum unit sizes are smaller than those standards set by most communities and allow development to achieve the maximum densities permitted. These smaller unit sizes allow for the creation of a variety of housing types and affordability levels.

FLEXIBILITY IN DEVELOPMENT STANDARDS

Densities of up to 60 units per acre are permitted, with higher densities for senior citizen or handicapped housing units up to 75 units per acre via CUP. The City has also relaxed standards for minimum unit size and parking to encourage affordable senior housing and housing for disabled or handicapped persons.

Other density bonuses reflect current State Density Bonus Law, which allows for a 20 to 35 percent increase in density where units are reserved for lower income (minimum ten percent) or very low income (minimum five percent) units, or condominium units are reserved for moderate income residents (minimum ten percent). Density bonuses may also be achieved under the State Density Bonus Law for applicants who donate at least ten percent of their land for affordable housing (15 to 35 percent density bonus increase) or when a childcare facility is involved (matching square footage increase). Specific terms are negotiated between the City Manager or Community Development Director and the project developer under special agreement.

In addition to these density provisions, the City has adopted provisions for factory-built housing and second units, and encourages the preparation of specific plans as a means of proposing use regulations and development standards tailored to specific areas.

HOUSING FOR PERSONS WITH SPECIAL NEEDS

PROVISIONS FOR A VARIETY OF HOUSING TYPES

State law requires that each jurisdiction must identify adequate sites and provide the appropriate zoning to accommodate housing for all segments of the population. identifies the housing types permitted in the residential zoning categories.

Table 31: Residential Zoning Provisions for a Variety of Housing Types

Housing Type	Zoning District								
	A A-14.4	R-1-A R-1-20.0 R-14.4 R-1-12.0 R-1-9.6 R-1-8.4 R-1-7.2	MP	R-G	R-2 R-3 R-3-C	C-2 CP	C-3	M-1	M-2 M-3
Single-family	P	P	X	X	P	X	X	X	X
Multi-family	X	X	X	C	P	X	X	X	X
Accessory Dwelling Unit	P	P	P	X	P	X	X	X	X
Manufactured Housing	P	P	P	X	P	X	X	X	X
Care Facility for 6 or Less	P	P	X	P	P	X	X	X	X
Care Facility for 7 or More	C	C	X	C	C	X	X	X	X
Emergency Shelters	X	X	X	X	X	X	X	P	BZA
Farmworker Housing	P	X	X	X	X	X	X	X	X
Mobile Homes	X	X	P	X	X	X	X	X	X
Accessory Dwelling Units	P	P	X	X	P	X	X	X	X
Transitional and Supportive Housing	P	P	X	P	P	X	X	X	X
Single-Room Occupancy	-	-	-	-	-	-	-	-	-

Source: City of Corona Zoning Ordinance, 2012.

Notes: "P" = Permitted; "C" = Conditional Use Permit; "BZA" = Board of Zoning Approval; and "X" = Not Permitted.

Single-Family

A single-family dwelling (known as one-family dwelling) means a detached building or qualifying manufactured home, set on permanent foundation and provided such housing unit is architecturally compatible with other housing units in the surrounding neighborhood as well as used exclusively for occupancy by one family, including necessary domestic employees of such family, and containing one dwelling unit. One-family residences are permitted in all residential zones in the City. Projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Multi-Family

Multi-family developments are permitted in the R-2, R-3, and R-3-C zones. They are also permitted in the R-G zone with a CUP. The maximum densities are 12 dwelling units per acre in the R-2 and R-G zones; 36 dwelling units per acre (or up to 75 senior citizen units per acre with CUP) in the R-3 zone; and 23 dwelling units per acre (for lots less than 22,500 square feet), 29 dwelling units per acre (for lots equal to or greater than 22,500 square feet), or 58 dwelling units per acre (for lots previously burdened by or

adjacent to a public street easement) in the R-3-C zone. Multiple family residential projects with four or more units are subject to review and approval by the Planning and Housing Commission.

Manufactured Housing

Pursuant to California law, the City permits manufactured housing on a permanent foundation in all residential zones that permit single-family dwellings. This type of housing is subject to the same development standards and design as “stick-built” housing.

24-Hour Care Facilities

The Zoning Ordinance regulates a variety of uses that provide 24-hour care to persons with disabilities, including State-licensed residential care facilities. The City revised its Zoning Ordinance in July 2013 to allow all such facilities that serve six or fewer persons by right wherever single- or multi-family housing is allowed, pursuant to the California Lanterman Developmental Disabilities Services Act. Care facilities that provide 24-hour care to seven or more disabled persons are allowed in all zones that permit residential uses subject to approval of a CUP. The Zoning Ordinance does not require a special separation distance requirement between residential facilities and other structures in residential zones. The requirement of a CUP is a constraint to the development of care facilities that provide 24-hour care to seven or more disabled persons. Under Program 25, the City will review the provisions to remove the constraint and amend the Zoning Ordinance and other documents as necessary.

Emergency Shelters

The City defines “emergency shelter” as housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person within any one year period, as defined by § 50801(e) of the California Health and Safety Code. No individual or household may be denied emergency shelter because of an inability to pay. In July 2013, the City revised its Zoning Ordinance to allow emergency shelters by right and subject to ministerial review within the M-1 zone, consistent with State law. The five-year Homeless Strategic Plan calls for Annual Action Plans that are tied to the budget. With City Council's approval of the Fiscal Year 2021 Homeless Solutions Annual Action Plan on July 15, 2020, the City planned to develop each component of the homeless system of services within approximately six months. The goal is to open the City's new homeless shelter/navigation center and housing programs in Fall 2021. The City continues to provide emergency shelter through its Motel Voucher Program and contracted shelter beds with the Path of Life in Riverside.

In addition to the same land use regulations and development standards that apply to all development within the M-1 zone (e.g., lot size, setbacks, building height, etc.), an emergency shelter proposed in this district must be demonstrated to meet the following standards, as permitted by § 65583(a)(4) of the Government Code:

- » The proposed shelter is in conformance with the applicable Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed

- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds and 2.0 guest spaces)
- » On-site management must be provided on a 24-hour basis
- » The shelter must be located no less than 300 feet from any other shelter facility
- » The length of stay for any client cannot exceed 180 nights in any one year period
- » Adequate exterior lighting must be provided and maintained for security purposes

The M-1 zone in Corona covers more than 2,000 acres and includes 532 parcels. Of this M-1 zoned land, 49 parcels (encompassing 195 acres) are currently undeveloped; the City also currently owns five parcels (totaling 135 acres) of M-1 land. Clusters of M-1 parcels are located along California State Highway 91 and the Railroad corridor. Most M-1 parcels are located within one-half mile of public transit, and several M-1 lots are directly adjacent to public bus routes. Corona's City Hall, hospital, library, senior center, community buildings, the hospital, Metrolink stations, and other locations serving homeless individuals and families are also located along public transit routes or within walking distance of M-1 parcels.

Emergency shelters are also permitted upon approval by the Board of Zoning Adjustment (BZA) in the M-2 and M-3 zones. For M2 and M3 zones, there are about 2,008.9 acres in the city with an average size of 4.7 acres.

Prior to approving an application to establish an emergency shelter within the M-2 or M-3 zones, the BZA must make the following findings:

- » At least ten days before the hearing, notice of the application for an emergency shelter was mailed to property owners of record on abutting properties and adjacent properties directly across a street or alley. The notice included a postcard for the property owner's use to return written comments on the proposed shelter and all responses have been considered by the Board
- » Land uses and development in the immediate vicinity of the site will not constitute an immediate or potential hazard to occupants of the proposed shelter
- » The site of the proposed shelter is safely accessible by pedestrians
- » The proposed shelter is located with reasonable access to public agencies and transportation services
- » Sewer, water, electricity and telephone services will be provided at the site

Emergency shelter applications in the M-2 and M-3 zones are also subject to the following standards:

- » The proposed shelter is in conformance with the Uniform Building and Fire Codes
- » The proposed shelter use is consistent with the General Plan and zoning of the proposed site
- » The proposed shelter meets the development standards that are applicable to the zoning of the proposed site
- » The proposed shelter is at least 300 feet away from any other shelter facility
- » Off-street parking must be provided in accordance with CMC Section 17.76.030.A.2 (1.0 space per staff member of largest shift, plus 1.0 space per 12 beds, plus 2.0 guest spaces)

- » No person shall be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period

Any approval by the BZA for an emergency shelter in the M-2 or M-3 zones shall be subject to conditions of approval which must include, but are not limited to, the following:

- » No homeless person will be allowed to sleep at the same shelter for more than a total of 180 nights in any one year period
- » The maximum number of beds or persons permitted to be served nightly by the facility must be based upon California Building Code Occupancy limits for the building in which the shelter is to be housed or developed
- » On-site management is provided on a 24 hour basis
- » Adequate exterior lighting must be provided and maintained for security purposes

The above emergency shelter requirements and conditions are currently not in compliance with State law and will be amended. In 2019, AB 101 was passed requiring that a Low Barrier Navigation Center development be a use by right in mixed-use zones and nonresidential zones permitting multifamily uses. The City will need to amend its Zoning Ordinance to explicitly allow the development of Low-Barrier Navigation Centers, by right, in residential and use mixed-use zones, as well as nonresidential zones permitting multifamily uses. Additionally, AB 139 was passed in 2019 establishing new criteria for evaluating the needs of the homeless population. The analysis must assess the capacity to accommodate the most recent homeless point-in-time count by comparing that to the number of shelter beds available on a year-round and seasonal basis, the number of beds that go unused on an average monthly basis, and the percentage of those in emergency shelters that move to permanent housing. The bill also established new parking standards for emergency shelters by providing parking based on the number of staff rather than beds and emergency shelters are not required to be more than 300 feet apart Chapter 17.44.130 of the City's municipal code states that shelters shall be located no less than 300 feet from any other shelter facility and parking shall be provided at one space every 12 beds, which is inconsistent with State law. Under Program 21 Housing for Persons Experiencing Homelessness Program, the City will review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply. The City will review the AB 101 and AB 139 provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply (Program 14).

Farmworker Housing

According to the American Community Survey in 2018, 244 people were employed in the agriculture, forestry, fishing, and mining industry within the City⁹. The City's Agricultural (A) zone, permits different types of housing including; farm employee housing projects, farm labor camps, single-family dwellings, and residential care homes with no more than six persons. Farm employee housing in the A zone complies with sections 1721.5.6 and 1721.5.8 of California's Health and Safety Code, which require permitting of 36 beds or 12 residential units for farmworker use.

⁹ Census Bureau – American Community Survey. 2020. Corona Community Survey. https://data.census.gov/cedsci/table?g=0400000US06_1600000US0682996&d=ACS%205-Year%20Estimates%20Data%20Profiles&tid=ACSDP5Y2018.DP03

Employee Housing

Title 25, California Code of Regulations, Division 1, Chapter 1, Subchapter 3 Opens in New Window includes specific requirements for the construction of housing, maintenance of grounds and buildings, minimum allowable sleeping space and facilities, sanitation, and heating for employee housing. The provisions of the California Building Standards Code (Title 24) govern the construction of permanent buildings used for employee housing. Also see the State Housing Law for appropriate building standards. The construction of mobile home and recreational vehicle lots within an employee housing facility is subject to provisions in the Mobile Home Parks Act and regulations adopted by the Department for such facilities. Furthermore, buildings used for human habitation, and buildings accessory thereto, within employee housing shall comply with the building standards published in the State Building Standards Code relating to employee housing and with the other regulations adopted pursuant to this part, unless a local ordinance prescribing minimum standards adopted in accordance with Sections 17958.5 and 17958.7 which is equal to such regulations is applicable. Notwithstanding the provisions of Section 17050, if such a local ordinance is applicable to buildings used for human habitation, and buildings accessory thereto, within employee housing, these buildings shall comply with the construction and erection provisions of the ordinance. Every person operating employee housing shall obtain a permit to operate that employee housing from the enforcement agency, unless otherwise exempted by this part. It shall be unlawful for any person to operate employee housing without a valid permit to operate issued by the enforcement agency, as required by this part. Permits to operate shall be issued annually by the enforcement agency, except as provided in this section and Section 17030.5. The City is not in compliance with the Employee Housing Act and will amend its zoning. Under Program 14, the City will review the Employee Housing Act provisions to comply with recent changes to State law and amend the zoning ordinance and other documents as necessary to comply.

Mobile Homes

The City has established a Mobile Home Park Zone as a means of establishing, maintaining and protecting mobile home rental parks in its jurisdiction. The zone designation provides added protection for tenants from unmitigated displacement due to change in use, including approval of a phase-out plan as a condition of rezoning an existing mobile home park. The zone is intended to provide for a combination of mobile homes in planned, integrated mobile home parks according to standards consistent with the protection of the health, safety and welfare of the city.

Accessory Dwelling Units

The City's Zoning Code was amended and adopted in January 2020 to comply with the new State law regulating Accessory Dwelling Units (ADUs). The passage of SB 1069 and AB 2299 in 2016, SB 229 and AB 494 in 2017, as well as SB 13 and ABs 68, 587, 670, 671, and 881 in 2019, made it necessary for Corona to revise its provisions related to the construction of ADUs and requirements for parking spaces to be consistent with State law. AB 68 allows an ADU and a junior ADU to be built on a single-family lot if certain conditions are met. The State has also removed owner-occupancy requirements for ADUs, created a tiered fee structure that charges ADUs based on their size and location, prohibits fees on units of less than 750 square feet, and permits ADUs at existing multi-family developments. ADUs are currently permitted on a lot zoned for single family, multiple family residential and mixed-use that allows an integration of residential and commercial.

The maximum size of an attached unit shall not exceed 50 percent of the size of the primary residence, or 1,200 square feet, whichever one is less. The maximum size for a detached unit is 1,200 square feet.

Transitional and Supportive Housing

The City revised the Zoning Ordinance in July 2013 to define and permit transitional and supportive housing facilities by right in accordance with State law within all zones that allow residential uses. The City's definitions are consistent with definitions for these facilities found in California Health and Safety Code Section 50675.

The City defines transitional housing and transitional housing development as "buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six months. Transitional housing shall be considered a residential property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone. Per Health and Safety Code Section 50675.2(d), rental housing development means a structure or set of structures with common financing, ownership, and management, and which collectively contain five or more dwelling units, including efficiency units. No more than one of the dwelling units may be occupied as a primary residence by a person or household who is the owner of the structure or structures."

Supportive Housing is defined in the Zoning Ordinance as "housing with no limit on length of stay that is occupied by the target population as defined in subdivision (d) of Section 53260 of the Health and Safety Code, and that is linked to on-site or off-site services that assist the supportive housing resident in retaining housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community. As defined per said section of the Health and Safety Code, target population means adults with low income having one or more disabilities including mental illness, substance abuse, or other chronic health conditions, or individuals eligible for service provided under the Lanterman Development Disabilities Services Act (Division 4.5 [commencing with Section 4500] of the Welfare and Institutions Code) and may, among other populations, include families with children, elderly persons, young adults aging out of the foster care system, individuals exiting from institutional settings, veterans, or homeless. Supportive housing is provided in residential dwellings or in health care and community facilities listed in Chapter 17.73 under this code and shall be permitted, conditionally permitted or prohibited in the same manner as other residential dwellings or health care and community facilities. Supportive housing shall be considered a residential use of the property and shall be subject only to those restrictions that apply to other residential dwellings of the same type in the same zone."

In 2018, AB 2162 required cities to change their zoning to provide a "by right" process and to expedite review for supportive housing. Effectively, this law applies to sites in zones where multi-family and mixed uses are permitted, including in nonresidential zones permitting multi-family use. The City's Supportive Housing is permitted in all zones where multi-family and mixed-use is permitted. The City is currently in compliance with this portion of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this portion of AB 2162. Program 14 will amend Title 17 of the Corona Municipal Code to reflect this portion of AB 2162.

Single-Room Occupancy (SRO)

The City revised the North Main Street Specific Plan and Downtown Revitalization Specific Plan in July 2013 to facilitate and encourage single-room occupancy (SRO) units, a housing type that is considered suitable to meet the needs of extremely low income households, consistent with State law.

The Specific Plans define SROs as “an efficiency unit intended or designed to be used, rented, sold or occupied as a primary residence for a period of more than 30 consecutive days which can serve as an affordable housing alternative for one to two persons per unit.”

SROs require a CUP in the Urban Density Residential (UDR) and Mixed Use (MU) districts of the North Main Street Specific Plan and the Multi-family Residential (MF) district of the Downtown Revitalization Specific Plan and are subject to the following requirements and development standards:

- » The minimum unit size is 220 square feet gross area
- » Each unit must have provisions for kitchen purposes including a sink, food preparation area, microwave, refrigerator, dry food and utensil storage
- » Each unit must have a closet area
- » Each unit must have access to an on-site laundry facility with at least one washer and one dryer for every 15 units
- » Common open space must be provided as follows:
 - A minimum of 400 square feet for the first 20 units, then 25 square feet per unit for each additional unit in excess of 20
 - Such common open space must be located on-site to be easily accessible to all residents and must exclude required building and landscape setbacks and required parking or parking lot landscaping
- » Up to one-half of the common usable open space area may be located indoors in the form of a recreation room, exercise room, or similar common facility
- » Off-street parking must be provided in accordance with Section 17.76.030 of the Zoning Ordinance for hotel or motor inn at one space per unit
- » Trash pick-up is governed by Section 17.24.160 of the Municipal Code

The City has one zone explicitly for agricultural (A) use that allows housing for agricultural workers employed by property owners by right. Other rural residential zones and certain single-family and multi-family residential zones also permit housing that could be suitable for farm workers, including one additional secondary residential structure or small residential facilities. In July 2013, the City eliminated a restriction on renting rooms to no more than four boarders in single-family residences within the A and A-14.4 zones, which could have constrained opportunities for farm worker housing.

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

As part of the CDBG program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. This analysis, the Riverside Regional Analysis of Impediments to Fair Housing Choice (AI), is an assessment of the regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person’s access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. The analysis of impediments to fair housing choice certified by the Corona City Council covers the Riverside region and provides a demographic profile of Riverside County, assesses the extent of housing needs among specific income groups and evaluates the

availability of a range of housing choices for residents. Regionally, the AI identifies the following impediments to fair housing:

- » Hispanic and Black residents continue to be underrepresented in the homebuyer market and experienced large disparities in loan approval rates.
- » Due to the geographic disparity in terms of rents, concentrations of housing choice voucher use have occurred.
- » Housing choices for special needs groups, especially persons with disabilities, are limited.
- » Enforcement activities are limited.
- » Today, people obtain information through many media forms, not limited to traditional newspaper noticing or other print forms.

The regional AI provides a strong foundation and context within which to assess the State of fair housing in the city of Corona. The AI report also listed the following impediments that are specific to Corona's land use policies:

- » Recent changes to density bonus law
- » Lack of inclusionary housing requirements

Since the publication of the AI report, the City of Corona is taking steps to remove these impediments by amending its zoning ordinance to comply with recent changes to density bonus law and accessory dwelling units policies.

The City of Corona takes additional steps to affirmatively further fair housing by contracting with the Fair Housing Council of Riverisde County (FHCRC), a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- » Providing tenant/landlord counseling to all citizens;
- » Responding to all citizens complaints regarding violations of the fair housing laws;
- » Promoting community awareness of fair housing rights and responsibilities;
- » Monitoring fair housing legislation, attending training and reporting to the City; and
- » Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address some impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, this Housing Element's AFFH programs (Programs 19 and 20) will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.

On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which were attended by individuals who represent non-profit agencies that provide housing and services to low-income and special needs populations, including the Inland Regional Center,

the Corona Norco United Way, Habitat for Humanity Riverside, Fair Housing Council, C&C Development (Affordable Housing Developer), Inspire Lifeskills Training, Homeless Services, Fair Housing Council Riverside County, and Supportive Services for Hopeyou Housing Foundation. During the workshop, the participants identified the biggest challenges their clients experienced when finding appropriate housing that suits their needs: rental costs, access to low-income housing, locating housing proximate to public transportation, and locating housing accessible for persons with physical disabilities.

HOUSING FOR PERSONS WITH DISABILITIES

Persons with disabilities have a number of specific housing needs, including those related to design and location. Design needs generally include the removal of architectural barriers that limit the accessibility of dwelling units and construction of wheelchair ramps, railings, etc. Location needs include accessibility to public transportation, commercial services, healthcare, and supportive services. Some persons with disabilities need group housing opportunities, especially those who are lower-income or homeless.

Both the Federal Fair Housing Act and the California Fair Employment and Housing Act direct local governments to make reasonable accommodations (i.e., modifications or exceptions) in their zoning laws and other land use regulations to allow disabled persons an equal opportunity to use and enjoy a dwelling. For example, it may be a reasonable accommodation to waive a setback requirement so that elevated ramping can be constructed to provide access to a dwelling unit for a resident who has mobility impairments. Whether a particular modification is reasonable depends on the circumstances and must be decided on a case-by-case basis.

California statutes require that the Housing Element include an analysis of the Zoning Ordinance, permitting procedures, development standards, building codes, and permit processing fees to identify potential constraints for housing for persons with disabilities. The following discussion addresses these issues and determines that no specific City policy or regulation serves to impede the access that persons with disabilities have to housing that have reasonable accommodations to their specific needs.

ZONING AND LAND USE

The Lanterman Development Disabilities Service Act (Sections 5115 and 5116) of the California Welfare and Institutions Code declares that mentally and physically disabled persons are entitled to live in normal residential surroundings. The use of property for the care of six or fewer persons with disabilities is a residential use for the purposes of zoning. A State-authorized or certified family care home, foster home, or group home serving six or fewer persons with disabilities or dependent and neglected children on a 24-hour-a-day basis is considered a residential use that is permitted in all residential zones.

The City's Zoning Ordinance complies with the Lanterman Act and permits 24-hour care facilities (including adult and senior residential facilities, as well as small family homes) in all residential zones and most commercial zones. Facilities for more than six persons are conditionally permitted in most residential and commercial zones as well.

According to the State of California Community Care Licensing Division, 85 residential care facilities were located in the City as outlined below:

- » Adult Residential Facilities (31)
- » Group Homes (four)

- » Residential Care For the Elderly (36)
- » Small Family Homes (four)

DEFINITION OF FAMILY

The City revised the Zoning Ordinance in January 2013 to remove the definition “family.”

REASONABLE ACCOMMODATION

Reasonable accommodation refers to flexibility in standards and policies to accommodate the needs of persons with disabilities. The City’s zoning and building codes, as well as approach to code enforcement, allow for special provisions that meet the needs of persons with disabilities without the need for variances. Specifically, parking requirements are reduced for senior housing, assisted living facilities, and congregate care facilities. City staff is available to provide assistance regarding the procedures for special accommodations under the City’s Zoning Ordinance.

Accessory uses such as wheelchair ramps are permitted within all residential zones as incidental structures related to the residence. The building permit process facilitates most reasonable accommodation requests to increase accessibility of existing properties. The City’s Zoning Administrator has ministerial authority to hear and decide applications for reasonable accommodation as provided by the federal Fair Housing Amendments Act and California’s Fair Employment and Housing Act to allow reasonable remedy from zoning standards for individuals with physical or mental impairment. Applications are not charged a fee for review and the Zoning Ordinance establishes the following criteria:

- » The housing which is subject of the request for reasonable accommodation will be used by an individual protected under fair housing laws;
- » The request for reasonable accommodation is necessary to make housing available to an individual protected by fair housing laws;
- » The requested accommodation does not impose an undue financial or administrative burden on the jurisdiction; and
- » The requested accommodation does not require a fundamental alteration in the jurisdiction’s land use and/or zoning programs.

Current and proposed planning policies and zoning regulations have mitigated potential constraints to the availability of housing for persons with disabilities. The City has analyzed its zoning ordinance and procedures to ensure that it is providing flexibility in, and not constraining the development of, housing for persons with disabilities.

FEES AND ON-/OFF-SITE IMPROVEMENTS

The City and other public service providers charge various fees and assessments to cover costs of processing permits and providing services and facilities, such as utilities, schools, and infrastructure. Nearly all of these fees are assessed through a pro rata share system, based on the magnitude of the project’s impact or the extent of the benefit that will be derived.

Table 32 shows a list of fees the City charges for residential development in Corona. These fees cover the operating and processing costs incurred by the City for a given development permit or action and are not

seen as revenue generating fees. These fees are comparable to other cities in Riverside County as shown in Table 33.

Other fees may be assessed depending upon the circumstances of the development. For example, the builder may need to pay an inspection fee for sidewalks, curbs, and gutters, if their installation is needed, or the builder may need a variance, CUP, or site plan review. The fees in Table 32 show those typically charged for a standard residential development and further describes the average development fees, building fees, and water/sewer connection fees associated with new single-family or multi-family units.

On/off-site improvements include street right-of-way dedication, sidewalks, street lighting, curbs and gutters, water and sewer connections, circulation improvements, etc. These are generally provided directly by developers when building a new subdivision and are regulated by the Subdivision Ordinance (Title 16) of the Municipal Code. Specifically, Chapter 16.24 specifies the improvement requirements to be performed and fees to be collected prior to approval of the final map. Typical requirements include:

- » Traffic Signalization fees
- » Streetlights
- » Drainage facilities
- » Quimby Fees or Parkland and Open Space

These requirements are typical for residential development. Most of the City's on- and off-site improvements are provided through the payment of fees, which have been accounted for under development fees. Outside of subdivision development, new construction within established zones pays its pro-rated share for on/off-site improvements, if found to be required, as a part of the standard fee schedule.

The City's Circulation Element provides development standards for street type widths. These development standards may be a constraint to development by adding costs. Specifically, for special residential or private streets. Special residential streets may have many added uses and features that add to cost and private streets are not managed by the City; therefore, that cost is responsible by the homeowner. Below is a list of the development standards from the City of Corona's General Plan Circulation Element:

- » **Major Arterial:** Major arterials have the highest traffic-carrying capacity, with the highest speeds and limited interference with traffic flow from driveways or abutting properties. Major arterials may be 4 or 6 lanes depending on traffic volumes, and may have center medians. Parking may or may not be allowed. Major arterials are 82 to 106 feet wide curb-to-curb within a 106- to 130-foot right of-way. Key major arterials include portions or all of Main Street, Magnolia Avenue, Ontario Avenue, Cajalco Road, McKinley Avenue, Grand Boulevard, and Green River Road.
- » **Secondary Arterial:** Secondary arterials connect traffic from collector streets to streets of higher classification with limited access to abutting properties. Secondary arterials carry some through traffic and may or may not provide on-street parking or Class 2 bike lanes. Secondary arterials are typically 4 lanes, 64 feet wide curb-to-curb, and within an 88-foot right-of-way. Secondary arterials include Foothill Parkway, Lincoln Avenue, and Hidden Valley Parkway.
- » **Collector:** Collectors are intermediate routes in a road network. Collector streets may handle some localized "through" traffic from one local street to another; but their purpose is to connect local streets to the arterial network. Collectors typically are 44 feet wide curb-to-curb (2 lanes) within a 68-foot right-of-way and are often equipped with sidewalks and bicycle routes.

- » **Mixed Use Boulevard:** Mixed use boulevards are streets that serve land use patterns in the City's mixed-use land use districts. A prime example is 6th Street, which runs through the Circle and is designed to support a mixed-use district and encourage pedestrian activity by having wide sidewalks and on-street parking where people will park and walk to multiple businesses.
- » **Special Residential:** Special residential arterials are a type of street intended to accommodate land use patterns in the City's Circle and surrounding environment. These streets will include improvements sensitive to adjacent residential uses. These may include parking cutouts, raised medians, roundabouts, bike lanes, special treatments at pedestrian crossings, peak period parking, etc.
- » **Local Street:** Local streets principally provide vehicular, pedestrian, and bicycle access to property that is directly abutting the public right-of-way. Movement of through traffic on local streets is discouraged. Local streets are 40 feet wide curb-to-curb within a 64-foot right-of-way and have 2 lanes (1 in each direction). Sidewalks are included.
- » **Private Street:** Streets not maintained by the City; they principally provide access to and within developments. Most of these streets are within multifamily residential developments; however, a few private streets are in single-family residential neighborhoods. Residents and/or homeowner associations manage and maintain these streets.
- » **Rural Streets:** Rural roads carry vehicles in very low volumes and can only be used in appropriate locations. The rural road carries less than 100 vehicles daily and has a 28-foot-wide travel width and 50-foot right-of-way. The high-traffic-volume rural road may carry up to 200 vehicles per day, and generally has a 36-foot travel width within a 50-foot right-of-way.

Costs related to meeting these development standards may impact the cost of developing housing on sites selected to include affordable housing. The City will incorporate Program 15 to review potential reductions in development standards for affordable and/or high-density housing.

In some areas, residential development is also subject to special fees to offset the costs of development. For example, in south Corona, an infrastructure development program has been developed to provide the roads, water, sewer, drainage, and other infrastructure necessary to serve the area. The funding mechanism allows developers to contribute a fair-share of the total cost to provide service. Without the fees, the individual developers would need to construct all facilities necessary to serve proposed projects. Having developers pay a pro-rata share ensures that public facilities and services will be provided in a planned and coordinated manner. It is also more cost effective and efficient than having developers construct facilities in piecemeal fashion.

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Amended Final Map	\$4,071 plus environmental assessment, and Notice Posting \$137 and Scanning Fee \$47
Conditional Use Permits (CUP)	
▪ Time Extension	\$2,034
▪ Major CUP	\$6,500 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
▪ Minor CUP	\$2,625 plus environmental assessment and Scanning Fee \$47
▪ Modifications	\$3,981 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Density Bonus Agreement	\$1,476 plus Scanning Fee \$47
Development Plan Review	
▪ Time Extension	\$555.00
▪ Precise Plans and Projects 4+ units	\$4,682 + \$15/du
▪ Parcel Map	\$3,567
▪ Specific Plan	\$12,541
▪ Specific Plan Amendment	\$2,566 - \$5,662
▪ Tentative Tract Map	\$5,119 + \$15/lot
Environmental Assessment	
▪ Exemption	\$251
▪ Negative Declaration (ND/MND)	\$6,722
▪ ND/MND Fish and Game Fee	\$2,480.25
Environmental Impact Report (EIR)	Full Cost
▪ EIR Fish & Game Fee	\$3,445.25
General Plan Amendment	\$6,048 plus environmental assessment and Scanning Fee of \$47
▪ Per Acre	\$16.00
▪ Per Acre Digitized Mapping Fee	\$220.00-\$555.00
Nonconforming Building Uses	\$1,114 plus Scanning Fee \$47
Parcel Map (Residential)	\$5,355 plus environmental assessment, Scanning Fee \$47, Notice Posting \$137 and Legal publication fee/City Clerk's office (if appealed) \$85

Table 32: Planning Fees Charged for Residential Development in Corona (June 2021)

Type of Fee	Cost
Precise Plan <ul style="list-style-type: none"> Site Plan and Architectural Review <ul style="list-style-type: none"> Per Dwelling Unit Time Extension Modification Review <ul style="list-style-type: none"> Per Dwelling Unit 	\$6,807 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$2,034 \$4,923 plus environmental assessment and Scanning Fee of \$47 \$15.00/du \$6,400.00 plus environmental assessment \$15.00/du \$1,795.00 \$4,290.00 plus environmental assessment \$15.00/du
Specific Plan <ul style="list-style-type: none"> Amendment 	Full cost plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee of \$47 \$4,252 – 7,272
Waiver or Modification from Subdivision Standards	\$1.889
Tentative Tract Map <ul style="list-style-type: none"> Per lot 	\$8,741 plus environmental assessment, Notice Posting \$137, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47 <ul style="list-style-type: none"> \$35.00/lot
Variance (minor)	\$2,084
Variance (major) from one section <ul style="list-style-type: none"> Per lot 	\$4,230 plus environmental assessment Notice Posting \$137, and Scanning Fee \$47 <ul style="list-style-type: none"> \$20.00/lot
Zone Text Amendment	\$4,213 plus environmental assessment, Legal publication fee/City Clerk's office if appealed \$85, and Scanning Fee \$47
Source: City of Corona Fee Schedule, effective January 1, 2021. Note: Other fees not included on table include building, plumbing, mechanical, and electrical permit fees, meter application fees, and engineering/public works fees.	

Table 33: Fees Charged for Residential Development: Regional Comparison

Type of Fee ¹	Corona	Riverside	Norco	Temecula
Major CUP	\$6,500	\$8,615	\$8,020	\$3,947
General Plan Amendment	\$6,048	\$9,933	\$8,905	\$8,965
Zone Text Amendment	\$4,213	\$5,320	\$3,685	\$7,025
Variance (Major)	\$4,230	\$6,868	\$2,639	\$4,567
Tentative Tract Map	\$8,741	\$10,516+	\$8,046	\$12,428+
Source: City of Corona Fee Schedule, effective January 1, 2021.				
¹ Some fees have additional minor environmental fees or per acre/per lot fees.				

Table 34: Development Fees for a Typical Unit

Development Fees for a Typical Unit	Single-family	Multi-family
Estimated City DIF fees per unit (as of July 1, 2020)	\$36,166	\$24,866
Estimated non-City DIF fees per unit	\$9,478	\$6,389
Estimated Grading Plan Check Fees per unit	\$853	\$1,021
Estimated Improvement Plan Check Fees per unit	\$2,182	\$64
Estimated Grading Permit and Inspection Fees per unit	\$8,503	\$377
Estimated Building Permit Fees per unit	\$4,582	\$5,541
Estimated Water/Sewer Fees per unit	\$25,000	\$15,000
Total estimated fees per unit	\$86,764	\$53,258
Estimated Construction Cost per unit	\$457,380 ^{1, 2}	\$173,523 ³
Typical estimated cost of development per unit	\$544,144	\$229,770
Estimated proportion of fee cost to overall development cost per unit	15.9 percent	23.2 percent
Description of Development Impact Fees	Single-family	Multi-family
Transportation Uniform Mitigation Fee (TUMF) ⁴ per unit	\$9,810	\$6,389
Street and Signal	\$4,047	\$3,238
Drainage	\$1,176	\$303
Law Enforcement	\$338	\$583
Fire Protection Facilities	\$349	\$466
Library Expansion Facilities	\$479	\$346
Quimby Fees	\$12,708	\$0
Public Meeting Facilities	\$311	\$218
Aquatic Center Facilities	\$192	\$135
Parkland and Open Space	\$12,708	\$8,924
Multi Species Habitat Conservation Plan Fee ⁵	\$2,935	\$1,473.00 (8-14 D.U./acre) \$670.00 (Over 14 D.U./acre)
<p>Source: City of Corona 2020</p> <p>Notes: DIF: Development Impact Fees</p> <p>¹ Construction costs do not include land costs. When land costs are considered, fees as a proportion of total development cost are significantly lower.</p> <p>² Single-family prototype is a 2,541 SF dwelling with attached three-car garage, at \$180 per SF to develop.</p> <p>³ Multi-family prototype is a two-story garden style apartment complex with 100 units (average 1,242 SF each), each with a two-car, enclosed garage.</p> <p>⁴ Fee Levels per 2016 TUMF Nexus Study as adopted June 3, 2020: https://wrcog.us/DocumentCenter/View/1020/TUMF-2017-Nexus-Study-current?bidId=</p> <p>⁵ Fee per adopted 2020 MSHCP Nexus Study: https://www.wrc-rca.org/Permit_Docs/Nexus_Report/Draft_MSHCP_Fee_Nexus_Report_2020.pdf</p>		

Planning and permitting fees are charged on an at-cost basis to cover staff services and administrative expenses for processing development applications. Development impact fees are required to provide essential services and infrastructure to serve new residents. Impact fees are governed by State law to demonstrate a nexus between development and potential impacts. State law also requires the proportionality test to ensure the pro-rata share of costs to provide services and infrastructure by individual developments is reasonable.

The City recognizes that planning/permitting and development fees add to the cost of residential development. To mitigate the impact of planning/permitting and impact fees on the cost of residential development, the City uses HOME and CDBG funds, deferral of development impact fees as well as other funding sources to gap-finance affordable housing development. In accordance with new transparency requirements, the City of Corona has posted all zoning, development standards and fees on the City's website.

BUILDING CODES AND ENFORCEMENT

Building procedures within Corona are required to conform to the California Building Standards Code, as adopted in the City's Municipal Code. Standards within the Code include provisions to ensure accessibility for persons with disabilities. These standards are consistent with the Americans with Disabilities Act. No local amendments that would constrain accessibility or increase the cost of housing for persons with disabilities have been adopted.

The City of Corona adopted the 2019 California Building Standards Code with minor administrative amendments. The Code establishes minimum construction standards for residential construction and is structured to be the minimum necessary to protect the public health, safety, and welfare, while not unduly constraining the development of housing.

Under the Community Development Department, the City has a Code Enforcement Division to assist the Planning Division, Building Division, Fire Department, Animal Control, Public Works Department, and Police Department in the interpretation and enforcement of various municipal codes related to property maintenance standards, signage, land use and development standards, abandoned vehicles, and substandard property.

Since 1987, the City of Corona has had a comprehensive Property Maintenance Ordinance (Chapter 8.32) dealing with the maintenance of private property. The ordinance was designed to set minimum standards for the maintenance of real property and to prevent unsafe and unsightly conditions. Properties that do not meet these minimum standards are considered to be in violation and a public nuisance.

City Code Enforcement staff conduct both proactive and reactive inspections to ensure compliance with these standards. Code Enforcement Officers strive to draw the property owner's attention to any existing code violation which could have a negative impact on their property, neighborhood, and the City of Corona as a whole. Through voluntary compliance and a spirit of personal responsibility, the majority of these violations are corrected. The success of this program rests upon each resident, business owner and property owner, acting as a good neighbor by properly maintaining his/her property.

If a complaint is filed against a property owner for non-compliance with property maintenance regulations, an inspection is made by a Code Enforcement Officer and a written notice to comply within a specific number of days is issued. Normally a minimum of seven days are given, but no more than 30 days. If compliance is not obtained within the time frame given, the City begins to issue administrative

citations to the property owner to hopefully obtain compliance. If administrative citations are not successful in getting the property owner to resolve outstanding violations, a public hearing is scheduled to determine and declare the property a public nuisance. If the violation remains uncorrected, the City would abate the violation and impose administrative costs to the property. The costs would be payable in addition to the annual property tax bill.

PERMIT PROCESSING PROCEDURES

The City of Corona's development approval process is designed to accommodate, not hinder, development. Most residential uses, including single- and multi-family, do not require any discretionary review other than the subdivision process (if applicable). The City of Corona requires that all single-family residential subdivisions consisting of five or more parcels and all multi-family construction projects undergo site plan and architectural review through the City's Precise Plan process. Single-family homes, second units, transitional housing, and mobile home projects in the appropriate zone are subject to ministerial design review. The Precise Plan requirement is waived for projects that require a CUP.

Projects that include a General Plan Amendment or change of zone must also be considered and approved by the City Council. Generally a period of four to six months can take place between discretionary approval and construction permit issuance (including review by the Planning Commission). Discretionary permits such as a conditional use permit, precise plan and tentative tract maps are reviewed and decided in a public hearing by the Planning Commission and City Council where minor modifications to previously approved permits are done administratively by staff.

Projects involving the construction of new residential units (five or more parcels for single family and four or more units for multiple family residential) require preliminary review through the city's Development Plan Review (DPR) application. The DPR process is an administrative review process. Within 21 business days after submitting a DPR application, the project applicant and city staff have a scheduled meeting to review the project against city ordinances and development standards. Applicants are provided draft written comments from the city at the time of the meeting. Final written comments are provided within 20 business days after the meeting. If the project qualifies for the preparation of a Mitigated Negative Declaration (MND) under the California Environmental Quality Act (CEQA), the City generally needs 14 days after the project has been deemed complete to prepare the MND before the 20-day published public notice for the project. . Therefore, once a project application is considered complete, the application is generally reviewed by the Planning Commission 35 days later.

Established Review Times for Approved Projects

The City's engineering and building department has established plan check turn around times for plan check review. The City's engineering review for grading plans, and tract map reviews is as follows:

- » First Check: four weeks
- » Second Check: three weeks
- » Third check and thereafter: two weeks

The City's building plan review time is as follows:

- » First Check: 10 working days
- » Second Check and thereafter: five working days

The timeline on the applicant's side to address the City's comments varies. Therefore, the City is only responsible for its review time upon plan submittal. The City currently monitors its reviews of plan checks through an electronic data dashboard. The City's meets its building plan check turnaround time on average 90 percent of the time.

The City's processing and permit procedures do not appear to unduly constrain the development of housing. Typical permit processing time frames for the most common types of residential projects are summarized below in Table 35.

Table 35: Permit Processing Timeframes for Typical Residential Developments

Development Type	Timeframe	Notes
Small single-family subdivision (up to 3 units)	3-6 months	Project requires a parcel map. No design review required.
Other single-family subdivision (4 units and more)	6-9 months	Project requires a tentative map and precise plan, which reviews plotting, architecture, amenities, etc.
Condominiums	6-9 months	Project requires a tentative map, precise plan, or possibly a CUP. Permit applications would be processed concurrently.
Apartments (4 or more units)	4-6 months	Project requires a precise plan or CUP but may also involve a subdivision map. Permit applications would be processed concurrently.
Source: City of Corona 2021 Note: Timeframes depend upon applicant responsiveness and could be longer if an Environmental Impact Report is required for the project		

To guide the development review process, providing consistent criteria for review, the City has adopted design guidelines for single-family and multi-family residential development, as well as commercial and industrial development citywide. Specific design guidelines have also been adopted for the various specific plans in the City. Precise Plan review is intended to ensure that development projects are well designed, compatible in terms of scale and aesthetics with surrounding areas and in accord with applicable city requirements, policies and guidelines.

Precise Plans and CUPs are heard by the Planning and Housing Commission and confirmed by the City Council. The Planning and Housing Commission may impose objective conditions on the development, such as: open spaces; screening and buffering of adjacent properties; fences and walls; architectural design; requirements for installation and maintenance of landscaping and erosion control measures; requirements for street improvement and dedication; regulation of vehicle ingress and egress and traffic circulation; regulation of signs; regulation of hours or other characteristics of operation; requirements for maintenance of landscaping and other improvements; and establishment of development schedules or time limits for performance or completion. These conditions are intended to ensure compatibility with surrounding uses, to preserve the public health, safety and welfare. For Precise Plans, the decision-making entity to make the following required findings:

- » The proposal is consistent with the Corona General Plan.
- » The proposal complies with the zoning ordinance, other applicable provisions of the Corona Municipal Code and, if applicable, the South Corona Community Facilities Plan or Specific Plans.

- » The proposal has been reviewed in compliance with the CEQA and all applicable requirements and procedures of the act have been followed.
- » The site is of a sufficient size and configuration to accommodate the design and scale of proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal.
- » The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses.
- » The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood and will provide for the harmonious, orderly and attractive development of the site.
- » The design of the proposed development would provide a desirable environment for its occupants and visiting public as well as its neighbors through good aesthetic use of materials, texture and color that will remain aesthetically appealing and will retain a reasonably adequate level of maintenance.

For CUPs, the approving entity must find that the proposed use at the proposed location will not be detrimental to the public health, safety, convenience and general welfare and will be in harmony with the City's General Plan. Prior to making such findings, the Zoning Ordinance instructs the Planning and Housing Commission and/or City Council to consider whether the proposed use at the proposed location is detrimental to other existing and permitted uses in the general area thereof and relates properly to existing and proposed streets and highways.

SB 35 requires the availability of a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. Eligible developments must include a specified level of affordability, be on an infill site, comply with existing residential and mixed-use general plan or zoning provisions, and comply with other requirements such as locational and demolition restrictions. The intent of the legislation is to facilitate and expedite the construction of housing. In addition, as part of the legislation, the Legislature found ensuring access to affordable housing is a matter of statewide concern and declared that the provisions of SB 35 would apply to all cities and counties, including a charter city, a charter county, or a charter city and county. Currently, the City of Corona has no written procedures for the SB 35 Streamlined Ministerial Approval Process. Program 12 will be implemented to address these requirements.

DESIGN REVIEW

The current design review process consists of staff review at the time of building permit plan check. The architectural plans are reviewed for consistency with design guidelines such as adequate variation of rooflines, articulations of structure, and no blank walls. Projects are not denied but are revised through this process. The Residential Development Design Guidelines, originally adopted by the City Council in 1999 and revised in 2009, complement the mandatory site development regulations contained in the City's Zoning Ordinance and Specific Plans. There is no special fee for design review and the additional time and cost to the developer is minimal. The most common changes resulting from the review are additional windows or other minor architectural features. This process does not serve as a constraint to housing production. Program 5 addresses the design review process in addition to project review.

STATE TAX POLICIES AND REGULATIONS

PROPOSITION 13

Proposition 13, a voter initiative that limits increases in property taxes except when there is a transfer of ownership, may have increased the cost of housing. The initiative forced local governments to pass on more of the costs of housing development to new homeowners.

ARTICLE 34

Article 34 of the State constitution requires that low-rent housing projects developed, constructed, or acquired in any manner by a public agency must first be approved by a majority of the voters. Requiring such approval can act as a barrier to the development of affordable housing due to the uncertainty and delay caused by the process. In general, the City assists with the development of affordable housing but does not act as developer or owner of the development.

FEDERAL AND STATE ENVIRONMENTAL PROTECTION REGULATIONS

Federal and State regulations require environmental review of proposed discretionary projects (e.g., subdivision maps, use permits, etc.). Costs, resulting from fees charged by local government and private consultants needed to complete the environmental analysis, and from delays caused by the mandated public review periods, are also added to the cost of housing and passed on to the consumer. However, these regulations help preserve the environment and ensure environmental quality for Corona residents.

ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS

Additional factors that could constrain new residential construction are the cost and accessibility of adequate infrastructure such as street upgrades, water and sewer lines, lighting, etc. All of these utilities are required to serve and support residential development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is generally borne by developers, thereby increasing the cost of new construction.

Additionally, environmental constraints are another potential housing constraint, as they have the potential to limit the density and locations of housing developments due to various factors and hazards. A city's environmental setting and characteristics can greatly affect the feasibility and cost of developing housing. There are a number of environmental factors in Corona that can affect the character and density of development in the City. These include the availability of natural resources such as land and water, to environmental hazards such as earthquakes/seismic activity, flooding, and wildfires. The majority of sites identified in Corona's Sites Inventory are located in the urban core of the City, which is not impacted by these environmental constraints.

ENVIRONMENTAL HAZARDS

The City has identified areas in Corona where land development should be carefully controlled. For example, hillsides with steep slopes, flood prone areas, and seismic hazards, including active faults, can constrain future residential development.

Hillsides and Steep Slopes

Where slopes above 25 percent are evident, development difficulties often include the provision of proper access, utility service, and site improvements. Development in these areas, where possible, must retain the natural skyline, ridges, drainage courses, and natural outcrops. According to the Corona General Plan, western and southwestern areas of the City are susceptible to landslides. There are several sites identified as vacant, and planned-approved-pending projects within or near areas that are considered to be at risk for landslides. All significant development is subject to development review procedures, the California Building Code, and the City's Hillside District Zoning regulations. Adherence to these requirements for grading and building permits reduce risk and accommodate safe development in these areas.

Earthquakes and Seismic Activity

The City of Corona is situated within the Peninsular Ranges Geomorphic Province. The Peninsular Ranges Province is traversed by a group of subparallel and fault zones trending roughly northwest. Major active fault systems—San Andreas, San Jacinto, Whittier-Elsinore, and Newport-Inglewood fault zones—form a regional tectonic framework consisting primarily of right-lateral, strike-slip movement. Corona is situated between two major active fault zones—the Whittier-Elsinore Fault Zone to the southwest and the San Jacinto Fault to the northeast. Other potentially active faults located near the City of Corona include the San Jose, Cucamonga, Sierra Madre, Newport-Inglewood, and San Andreas faults.

Historically, the City of Corona has not experienced a major destructive earthquake. However, based on a search of earthquake databases of the United States Geological Survey (USGS) National Earthquake Information Center (NEIC), several major earthquakes (magnitude 5.8 or more) have been recorded within approximately 60 miles of the City since 1769. The latest of these were the Northridge earthquake and Granada Hills aftershock in 1994, about 60 miles from the City. According to the Corona General Plan, a fault zone traverses the western portion of the city. There are several planned, approved, or pending projects, and vacant sites identified for inclusion in the housing plan within this area.

The City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to earthquakes and seismic activity.

Flood Hazard Areas

Flood hazard areas include the Prado Basin and the area within the Federal Insurance Administration Flood Hazard Boundary. Within the Prado Basin, development is regulated by the U.S. Army Corps of Engineers. Allowable uses for this area include natural open space, public park and other recreational uses, agriculture, and other public uses. According to the Corona General Plan flood map, there are several identified nonvacant, vacant, potential rezone, and approved and pending projects sites that are within the 100-year flood zone. Additionally, there are several identified planned, approved, or pending project sites within or near 500 year flood zone.

To help offset impacts on residential development due to local flooding, all future developments must comply with the requirements and design standards of the Corona Grading Ordinance as well as the City's Development Code, which requires issuance of a Development Permit to be issued by the Floodplain Administrator prior to any construction or other development in any of the flood hazards areas. In addition to these regulations, the City's General Plan outlines policies that help to discourage future development within these zones.

Geologic Hazard Areas

Geologic hazards include the fault zone of the Chino Fault and portions of the Prado Basin that may be subject to liquefaction in the event of seismic activity. According to the Corona General Plan, northwestern and northeastern portions of the City contain areas that are susceptible to liquefaction. There are several sites identified as non-vacant, vacant, potential rezone, and planned, approved, or pending projects that are within or near areas that are considered to be very high risk, high risk, or moderate risk for liquefaction. The policy approach to areas with potential geologic hazards is similar to that utilized for areas within the 100-year floodplain.

An evaluation of these areas is recommended to be included in a required environmental review prior to development, and, as appropriate, mitigation measures would require adequate building setbacks from identified faults and other controls that may be required to reduce any potential hazard. Furthermore, the City will implement all California Building Code standards for future housing development as well as the City's own building code to reduce any potential hazards related to geologic hazard areas.

Open Spaces

Areas designated for Open Space require a very low level of development as a result of environmental considerations including erosion, landslides, rockfall, steep slopes, fault zones, fire hazards, difficulty providing city service, flood hazards, biological and archaeological resources, liquefaction, and other environmental or safety constraints.

The Open Space designation is intended to limit development in environmentally sensitive areas; to protect human health, safety, and welfare; and to protect and preserve hillsides, ridgelines, and sensitive habitats. The City's Open Space and Conservation Elements provide goals and policies to protect open space from development. According to the Corona General Plan, areas zoned as Open Space are mostly located in the hillsides of northwestern and northeastern portions of the City which are likely not conducive to residential development. The amount of City land designated as Open Space is not excessive and does not constrain residential development.

Wildfire

The City's General Plan identifies wildfire hazards as a primary concern regarding public safety Corona. Factors such as a dry climate, a semi-rural setting, an abundance of dry, low-lying brush, open hillsides, and the frequency of high wind velocity from Santa Ana winds contribute to the City's overall fire risk. Large portions of the City are built and developed, reducing potential impacts of wildfires in these areas. However, wildfires are of special concern in communities located in the Wildland-Urban Interface (WUI). WUI areas are located within City boundaries and are of particular concern to the Corona Fire Department. According to the CalFire, there are VHFHSZ areas in southwestern and southeastern portions of the City. There are several sites identified as planned, approved, or pending projects, potential rezone, and vacant that within or near VHFHSZs.

To reduce and mitigate against wildfire threats, the City has established standards for new construction including; natural hazard real estate disclosures, 100-foot defensible space clearance around all buildings, property development standards including road widths, water supply, and signage and consideration of General Plan policies. Additionally, any new development located in an area that is designated by CalFire as a Very High Fire Hazard Severity Zone (VHFHSZ) is required to comply with all sections of Chapter 7A of the revised CBC (Materials and Construction Methods for Exterior wildfire Exposure) and Chapter 47 of the CFC (Requirements for WUI Fire Areas). Additionally, future development would be guided by the

General Plan Public Safety, Facilities, and Services Element that outlines policies pertaining to wildfire threat.

WESTERN RIVERSIDE MULTIPLE SPECIES HABITAT CONSERVATION PROGRAM

The Western Riverside County Multi-Species Habitat Conservation Plan (MSHCP) is a comprehensive, multi-jurisdictional plan that addresses biological and ecological diversity by conserving species and associated habitats, while allowing approval of development in western Riverside County. The MSHCP is administered by the Regional Conservation Authority Western Riverside County. The MSHCP's plan area encompasses 1,967 square miles and addresses 146 sensitive plant and animal species and the vegetation communities they depend on. Of these, 14 animal species and 11 plant species are listed by the United States Fish and Wildlife Service (USFWS) under the Federal Endangered Species Act (FESA). Several species also have federally designated critical habitat within the MSHCP jurisdiction.

The MSHCP has 14 planning areas with specific conservation goals for each area. Corona is entirely within the Temescal Canyon Area Plan (TCAP). The TCAP is divided into five subunits, defined by the presence or potential occurrence of listed species, those with specific habitat requirements, and key biological issues and considerations, such as habitat linkages. Specific cells comprising 160 acres each are designated for planning purposes. Several cell groups are defined that meet MSHCP criteria for conservation. The listing status of plants and animals may change over time, with species added or deleted from the listing. All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP. The MSHCP provides a streamlined regulatory process from which development can proceed in an orderly process while protecting the existing character of the City and the region through the implementation of a system of reserves which will provide for permanent open space, community edges, and habitat conservation for species covered by the MSHCP. The construction of accessory dwelling units and the rehabilitation and conversion within existing structures that do not result in additional useable square footage are exempt from the MSHCP provisions included in Chapter 16.33 of the City's municipal code.

INFRASTRUCTURE CONSTRAINTS

Another factor adding to the cost of new construction is the provision of adequate infrastructure – major and local streets; curbs, gutters, and sidewalks; water and sewer lines; storm drains; and street lighting – which is required to be built or installed in new development. In most cases, these improvements are dedicated to the City, which is then responsible for their maintenance. The cost of these facilities is borne by developers, is added to the cost of new housing units, and eventually is passed on to the homebuyer or property owner.

The City's 2005 Sewer Master Plan and 2015 Urban Water Management Plan indicate the city has adequate capacity to serve future development anticipated under the General Plan, including this Housing Element. Senate Bill 1087 (enacted 2006) requires that water providers develop written policies that grant priority to proposed development that includes housing affordable to lower income households. The legislation also prohibits water providers from denying or conditioning the approval of development that includes housing affordable to lower-income households, unless specific written findings are made. Senate Bill 1087 also mandates priority sewage collection and treatment service to housing developments providing units affordable to lower income households. Since affordable housing is mostly constructed on infill urban sites within the City or on redeveloped sites, the availability of water and sewer infrastructure exists. The Community Development Department will provide a copy of the adopted 2021-2029 Housing

Element to the City's Department of Water and Power within 30 days of adoption. The City does not have written policies that grant water and sewer priority to proposed development that includes housing affordable to lower income households. Program 12 addresses the development of such policies.

OPPORTUNITIES FOR ENERGY CONSERVATION

In relation to new residential development, and especially affordable housing, construction of energy efficient building does add to the original production costs of ownership and rental housing. Over time, however, the housing with energy conservation features should reduce occupancy costs as the consumption of fuel and electricity is decreased. This means the monthly housing costs may be equal to or less than what they otherwise would have been if no energy conservation devices were incorporated in the new residential buildings.

STATE REGULATIONS

Title 24 of the California Code of Regulations establishes energy conservation standards that apply to all new residential buildings. The regulations specify energy saving design for walls, ceilings, and floor installations, heating and cooling equipment and systems, gas cooling devices, conservation standards, and the use of non-depleting energy sources such as solar energy or wind power. Compliance with the energy standards is achieved by satisfying certain conservation requirements and an energy budget. Methods to meet the energy standards include the following:

- » Passive Solar Approach: requires proper solar orientation, appropriate levels of thermal mass, south facing windows, and moderate insulation levels.
- » High Insulation Approach: generally requires higher levels of insulation than the Passive Solar Approach, but no thermal mass or window orientation requirements.
- » Active Solar Water Heating Approach: requires active solar water heating in exchange for less stringent insulation and/or glazing requirements.

The home building industry must comply with these standards. Localities are responsible for enforcing the energy conservation regulations.

Energy conservation has the added benefit of reducing greenhouse gas emissions (GHG), consistent with the legislative intent of AB 32, enacted in 2006. AB 32 tasks the California Air Resources Board (CARB) with establishing a statewide GHG emissions limit that is equivalent to the statewide GHG emission levels in the year 1990 to be achieved by the year 2020. CARB establishes rules and regulations to achieve the AB 32 GHG emission reduction targets. New developments that are subject to CEQA must show consistency with AB 32.

STATE AND FEDERAL PROGRAMS

The California Department of Community Services and Development, in partnership with local community services agencies, administers the Low-Income Home Energy Assistance Program (LIHEAP) and Energy Low-Income Weatherization Assistance Program (DOE-LIWAP). Assistance available to lower income households through State LIHEAP programs include: financial assistance towards a household's energy bill, emergency assistance if a household's home energy service is shut off or about to be shut off, and a

range of other energy-related services that States may choose to offer, such as weatherization improvements, utility equipment repair and replacement, budgeting counseling, etc. The DOE-LIWAP provides installation and weatherization measures that increase energy efficiency of existing residential and multi-family dwellings occupied by lower-income persons. Eligible weatherization services include a wide variety of energy efficiency measures that encompass the building envelope, its heating and cooling systems, its electrical system, and electricity consuming appliances.

LOCAL MEASURES

The City of Corona is a proud GOLD Energy Level Leader in standing partnership with the Community Energy Partnership (CEP). The City's GOLD Level is the result of substantial and sustained energy savings in its municipal facilities and throughout the community. To achieve this status, the City of Corona undertook a number of activities and projects to reduce energy costs, lower its carbon footprint, and extend natural resources.

The Western Riverside Council of Governments (WRCOG) has a Energy Efficiency and Water Conservation Program that allows residents and businesses in Western Riverside County to implement energy and water efficiency improvements using low-interest loans that will be repaid over time through annual property tax payments. The WRCOG HERO Program stands for "Home Energy Renovation Opportunity" and provides low cost, fixed interest rate financing for a broad range of energy and water efficient products and renewable energy systems. Homeowners repay the HERO Financing through their property tax bill.

The City of Corona is also at a turning point in its development. Most of its "greenfields" (greenfields refers to previously undeveloped land) have now been developed. Future development efforts will need to focus on the redevelopment of previously developed land that has become underutilized or obsolete. Redevelopment and infill development have gained popularity as sustainable smart growth solutions. Infill development encompasses sustainable reuse that recycles existing land sources, minimizes impacts to habitat, reduces greenhouse gas emissions, and preserves open space. The City promotes such development in its various specific plans, including the Downtown Specific Plan.

Opportunities for additional energy conservation practices include the implementation of "mitigation measures" contained in environmental impact reports prepared on residential projects in the City. These mitigation measures may be adopted as conditions of project approval.

Chapter 4: Housing Resources

Resources that are available for the development, rehabilitation, and preservation of housing in the City of Corona are discussed in this section. The analysis demonstrates the City's ability to satisfy its share of the region's future housing need and identifies financial and administrative resources available to support housing activities and facilitate implementation of City housing policies and programs. Opportunities for energy conservation are also explored.

FUTURE HOUSING NEEDS

State law requires each jurisdiction to play a role in meeting the region's housing needs. Specifically, a jurisdiction must demonstrate in the Housing Element that its land inventory is adequate to accommodate its share of the region's projected growth. This section assesses the adequacy of Corona's land inventory in meeting future housing needs.

RHNA REQUIREMENT

This update of the City's Housing Element covers the planning period of October 2021 through October 2029 (called the 6th Cycle Housing Element update). Corona's share of the regional housing need is allocated by SCAG and based on factors such as recent growth trends, income distribution, and capacity for future growth. Corona must identify adequate land with appropriate zoning and development standards to accommodate its allocation of the regional housing need.

Corona's share of regional future housing needs is a total of 6,088 new units between October 2021 and October 2029. This allocation is distributed into five income categories, as shown below in Table 36. The RHNA includes a fair share adjustment which allocates units by income category in order to meet the State mandate to reduce over-concentration of lower income households in historically lower-income communities in the region.

Table 36: Corona's RHNA Allocation for 2021-2029

Income Category (% of County AMI)	Number of Units	Percent of Corona's RHNA Allocation
Extremely Low (30% or less)*	867	14.2%
Very Low (31 to 50%)	885	14.5%
Low (51 to 80%)	1,040	17.1%
Moderate (81% to 120%)	1,096	18.1%
Above Moderate (Over 120%)	2,200	36.1%
Total	6,088	100.0%

Source: Final Regional Housing Needs Allocation, SCAG, (2020).

*The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6% of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30% (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

RHNA UNITS PLANNED OR APPROVED

Housing units approved and/or pending (and not yet permitted for construction) as of June 30, 2021, can be used towards meeting the City's RHNA. Accessory dwelling units (ADUs) that are anticipated to be permitted between 2021 and 2029 are also used towards the City's RHNA. The City must demonstrate in this Housing Element its ability to meet the remaining housing needs, through the provision of sites, after subtracting anticipated units or units under construction. Table 37 shows the remaining unit deficit after subtracting units that are pending or approved as of June 30, 2021, and the assumed number of ADUs permitted between 2021 and 2029.

Table 37: Remaining 2021-2029 Share of Regional Housing Needs

Income/ Affordability Category	RHNA	Units Pending or Approved	ADUs	Remaining Units Deficit
Lower (including Extremely Low, Very Low, and Low)	2,792	0	46	2,746
Moderate	1,096	92	28	976
Above Moderate	2,200	2,110	6	84
Total	6,088	2,202	80	3,806

The number of housing units planned or approved but not yet issued a building permit is 2,202 as of June 30, 2021. Based on regional sales prices and market rents (Table 23), apartments are affordable to moderate income households. Single-family homes and townhomes/condominiums are generally affordable only to above moderate-income households (Table 22). Table 38 shows the locations of the planned or approved projects that have been used towards meeting the City's RHNA. As shown in Table 24, moderate income households could generally afford monthly rents of \$1,376 for one-person households and \$1,590 for two-people households. The planned and approved apartment projects listed as "moderate income" are located in or near the central Corona area and would be infill development. According to a search conducted on Apartments.com for similar-style apartment communities, the following listings in central Corona generally support moderate income households:

- » Country Hills: \$1,504/1 bedroom; \$1,763/2 bedroom
- » The Vintage Apartments: \$1,400/1 bedroom; \$1,625/2 bedrooms

Planned and approved projects achieve an average maximum density of 53 percent; however, more than half achieve a density of at least 50 percent of the maximum allowable density. A number planned or approved projects achieve a high percentage of the maximum allowable units, including units within the Arantine Hills Specific Plan which achieves nearly 100 percent of its maximum capacity. These projects are spread out across the City and are symbolized with corresponding Map ID numbers on Figure 6.

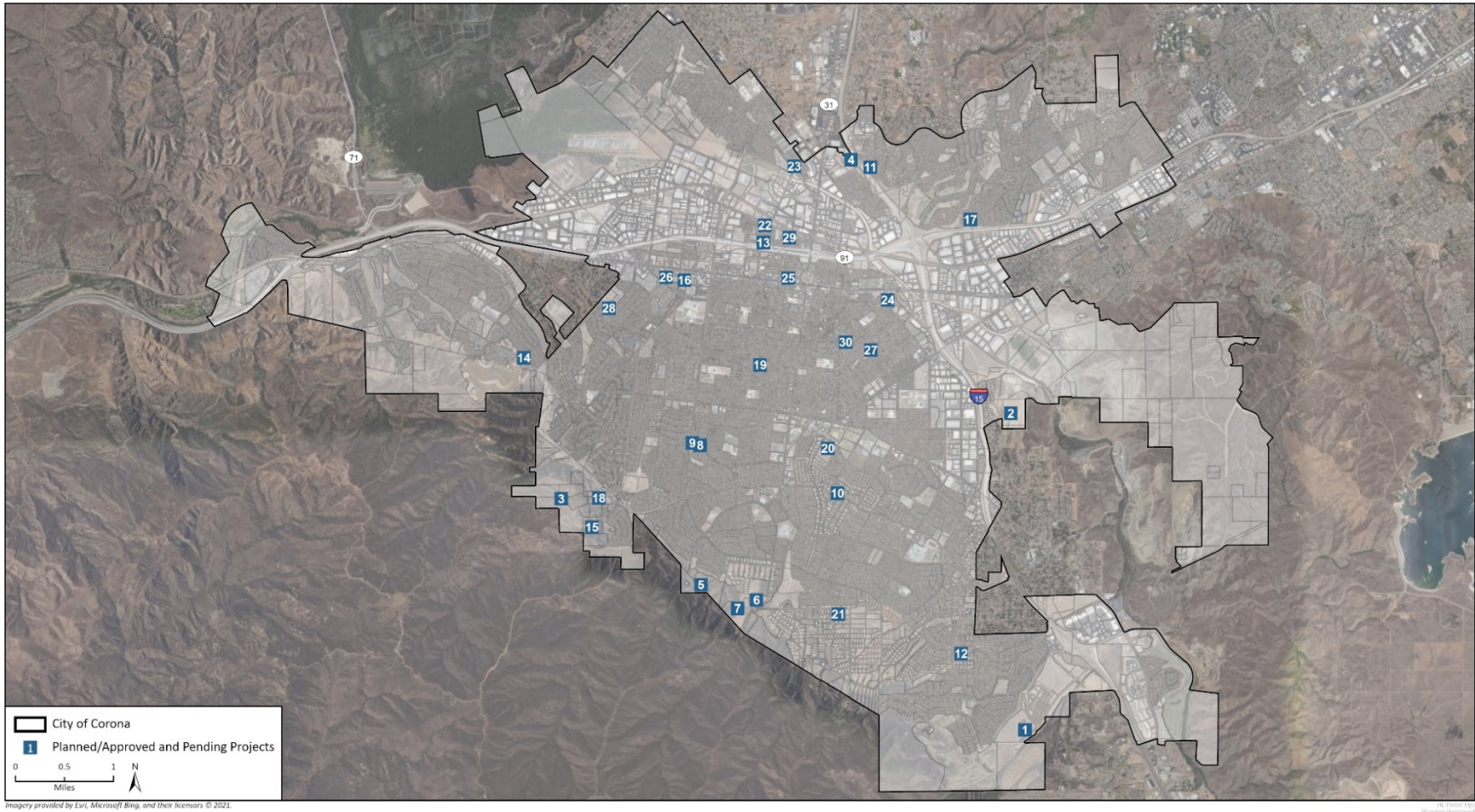
Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
1	Arantine Hills Specific Plan	LDR, MDR, HDR	140.76	1,207	1,204	99%	Above Moderate
2	T 37895	R-1-12	61.6	223	103	46%	Above Moderate
3	T 36544	R-1-7.2	271	1,640	291	18%	Above Moderate
4	T 35851	R-3	3.55	127	60	47%	Above Moderate
5	T 34760	ER	65.4	65	34	52%	Above Moderate
6	T 32703	R-1-20	9.45	20	13	65%	Above Moderate
7	T 32386	SFD-14.4	75	227	52	23%	Above Moderate
8	T 36608	R-1-9.6	11.05	66	23	35%	Above Moderate
9	T 36605	R-1-7.2	6.13	5	4	80%	Above Moderate
10	T 36821	R-1A	5.16	5	5	99%	Above

Table 38: Planned or Approved Units (2021)

Map ID	Project Name	Zoning	Acreage	Max. Units Allowed	Units Achieved	Percent of Max. Density	Income Category
							Moderate
11	T 37024	R-1-8.4, 1-7.2	6.31	208	18	9%	Above Moderate
12	T 35576	R-1-9.6	11.05	243	32	13%	Above Moderate
13	CUP17-004	R-3	2.21	165	62	39%	Moderate
14	T 36701	LDR	21.51	64	12	19%	Above Moderate
15	PM 37588	R-1-7.2	2.48	15	2	13%	Above Moderate
16	PP2020-0001	R-3	1.13	40	15	38%	Moderate
17	T 37719	SF	5.19	45	23	51%	Above Moderate
18	T 37691	R-2	8.07	121	78	64%	Above Moderate
19	T 37980	R-1-8.4	4.73	42	20	83%	Above Moderate
20	DPR2020-0009	R-1-14.4	4.67	14	2	14%	Above Moderate
21	T 37784	R-1A	4.91	5	5	99%	Above Moderate
22	DPR2019-0028	R-1-7.2	0.46	2	2	99%	Above Moderate
23	DPR2019-0025	R-3	0.42	15	9	60%	Above Moderate
24	PP2019-0009	R-3	0.34	12	6	50%	Moderate
25	DPR2019-0017	D	0.17	5	5	99%	Moderate
26	DPR2019-0009	R-3	4.09	147	59	40%	Above Moderate
27	DPR2018-0003	R-1-8.4	2.23	11	7	63%	Above Moderate
28	DPR2017-005	R-3	2.87	103	48	47%	Above Moderate
29	DPR2017-004	R-3	0.17	6	4	67%	Moderate
30	PM 37203	R-1-7.2	1.1	6	4	67%	Above Moderate
Source: City of Corona 2021							

Figure 6: Planned or Approved Projects



ACCESSORY DWELLING UNITS

ADUs provide affordable housing options for family members, friends, students, the elderly, in-home health care providers, the disabled, and others. An ADU can be located on residentially zoned property that has an existing single-family or multi-family residence. Recent trends indicate that ADU permit applications have increased in recent years. A total of three units were permitted in 2018. In 2019, the City permitted no applications for ADU units. The following year, 14 ADU units permitted in 2020. This increase is likely attributed to recent State legislation that simplifies the building and permitting process for ADUs on single-family and multi-family zoned property. Conservatively assuming that annual permits will average 10 units per year, it can be assumed that 80 ADUs will be permitted between 2021 and 2029. The City will monitor ADU trends within the City. Based on SCAG's regional ADU affordability analysis for Riverside County, it is assumed that 15 percent (12 units) would be affordable extremely low income units, 8 percent (6 units) would be affordable for very low income units, 35 percent (28 units) would be affordable for lower income, 35 percent (28 units) would be affordable for moderate income, and 8 percent (6 units) would be affordable for above moderate-income households.

PLANNING FOR REMAINING RHNA

After accounting for units planned and approved as of June 30, 2021 and anticipated ADUs, there is a remaining need of 3,806 units, which includes 2,746 lower income units, 976 moderate units, and 84 above moderate-income units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units.

RESIDENTIAL SITES INVENTORY

State law requires that jurisdictions demonstrate in the Housing Element that the land inventory is adequate to accommodate a jurisdiction's share of the regional growth. The City is committed to identifying sites at appropriate densities as required by law. The State, through AB 2348, has established "default" density standards for local jurisdictions. For metropolitan jurisdictions such as Corona, State law assumes that a density standard of 30 units per acre (du/acre) is adequate to facilitate the production of housing units affordable to lower income households. Therefore, in estimating potential units by income range, it is assumed that:

- » A density of zero to 14 du/acre (primarily for single-family homes) is assumed to facilitate housing in the above moderate-income category; and
- » A density of 15 to 29 du/acre (primarily for medium density multi-family developments) is assumed to facilitate housing in the moderate-income category; and
- » A density of 30 or more du/acre (primarily for higher density multi-family developments) is assumed to facilitate housing in the very low- and low-income category.

Geographic information system (GIS) data was used to identify vacant and nonvacant properties within the City. Nonvacant parcels were chosen as sites likely to be redeveloped during the next eight years based on the parcel's Improvement-to-Land Value ratio of less than 1.0 (i.e. improvements on site are worth less than the value of the land), the parcel's existing use vs. zoned use, age of structure, floor area ratio, and ownership patterns (i.e. if contiguous parcels have one owner, they are more likely to be consolidated and redeveloped). The parcels were reviewed to eliminate those unlikely to be redeveloped in the near term, such as parcels containing medium to larger size apartment buildings or condominiums and parcels with newer structures.

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire. Many current planned and approved projects, recently constructed projects, or projects under construction realized densities of more than 75 percent of the maximum allowable density (Table 38). For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,153 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans, as shown on Figure 7 and Figure 8. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. Two vacant parcels and eight nonvacant parcels have been used in previous Housing Element cycles. The City will allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units (Program 9).

In addition to vacant and nonvacant parcels, the City has identified a number of parcels with potential to be rezoned to accommodate the City's lower and moderate income RHNA allocation. 368 units can be accommodated through the rezone of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 will qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use. The Housing Element will rezone within three years of the beginning of the planning period to allow residential use by right at specified densities for housing developments in which at least 20 percent of the units are affordable to lower income households. Figure 9 identifies potentially rezoned parcels in Corona.

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives include:

- » Increased density bonus;
- » Increased allowable heights;
- » Lower parking requirements;
- » By-right zoning or administrative project approval;
- » Streamlined permitting;
- » Allowing housing in locations not zoned for residential uses; and
- » Impact fee waivers.

The City will modify existing zoning to introduce an AHO that would allow for or require certain types of residential development, or development at certain densities, on a parcel without modifying the standards of the underlying zoning district. The AHO would support densities between 35-60 du/ac. Sites designated with an AHO would keep the underlying zoning but would have the AHO if housing is to be

considered on the site in the future. 3,652 units will be accommodated through implementation of the AHO, including 2,983 units considered supportive of extremely low, very low-, and low-income units. Figure 10 identifies the locations of parcels with the AHO. A more detailed sites inventory of the residential capacity can be found in Appendix B.

If a housing element relies on nonvacant sites to accommodate 50 percent or more of its RHNA for lower income households, the nonvacant site's existing use is presumed to impede additional residential development, unless the housing element describes findings based on substantial evidence that the use will likely be discontinued during the planning period. As shown on Appendix B, approximately five percent of lower income units are located on vacant sites, while approximately 95 percent are located on nonvacant sites. This includes sites that will be rezoned and will include an affordable housing overlay. This is a result of Corona being a predominately built out city with limited available vacant land. Nonvacant sites with residential and nonresidential uses have been prioritized on the Sites Inventory if the existing structure are older, if the floor area ratio is low, and if the improvement-to-land value ratio is less than one. There is no assumption that existing residences would be demolished, and ADUs can be developed or more units added. Other sites that do not meet these thresholds were included due to the likelihood of developer interest or property owner intent to redevelop or increase the intensity of a site. The Sites Inventory in Appendix B provides assumption values on the likelihood the uses will discontinue in the planning period and contains information on the various factors used for identification and characteristics related to recent trends. The City also mailed letters to the property owners of sites on the residential sites inventory that are proposed to be rezoned to plan for higher density housing and affordable housing. None of the property owners contacted the city expressing objection to the potential rezone.

The AHO in MU land use designations would introduce housing development opportunities to areas that had not previously allowed residential . MU-1 with an AHO would be amended to allow for 100 percent residential development or a mix of residential and commercial uses (see Program 7).

Table 39 shows recent residential and non-residential projects anticipated, approved or constructed within central Corona where the City plans to apply the AHO zone as part of the residential sites inventory. The City is experiencing commercial redevelopment within the downtown area and on parcels along 6th Street. A new medical campus containing two new medical office buildings totaling 60,000 square feet is under construction and located on 6th Street between Belle Avenue and Sheridan Street. This project involved the consolidation of 13 parcels and the partial vacation of 7th Street between Belle Avenue and Sheridan Street to accommodate the new development. This new medical campus is also directly across the street from the City's Public Library and the Corona Regional Medical Center. The Planning Commission approved the construction of a new LA Fitness building on West 6th Street near Smith Street. The property is currently vacant.

The residential and non-residential projects demonstrate redevelopment opportunities in the area. The recent residential projects achieved an average density of over 27 du/acre and an average 78 percent of the maximum density. These recent projects are shown in relation to the AHO zone in Figure 11.

Table 39: Recent Projects in Central Corona

APN	Lot Size	Residential Density	Percent of Maximum Density (Residential Only)	Description
118-270-055	4.01 acres	33 du/acre	90%	Consultant selected by Corona Housing Authority on June 16, 2021, to build 135 Affordable Housing Units. Incomes of 30% to 70% AMI. HDR Zone (36 du/acre maximum)
118-270-053	0.16 acres			
118-130-034	1.34 acres	N/A		New commercial for a LA Fitness Center. Approved by Planning Commission on August 26, 2019.
118-130-033	3.65 acres			
118-290-049	2.15 acres	29 du/acre	81%	New 62 senior housing apartment units approved by Planning Commission on November 6, 2017. Project being amended by applicant. Revisions submitted to City on March 25, 2021. R-3 Zone (36 du/acre maximum)
117-320-061	3.69 acres	21 du/acre	63%	Completed construction of 85 affordable housing units in 2020. HDR General Plan (36 du/acre maximum)
117-320-062	0.32 acres			
117-181-016	0.53	N/A		New medical campus under construction. Includes a 30,000 square foot building for the City of Hope and a 30,000 square foot medical office building.
117-181-015	0.20			
117-181-002	0.17			
117-181-003	0.17			
117-181-011	0.19			
117-181-012	0.51			
117-186-011	0.18			
117-186-010	0.17			
117-186-012	0.19			
117-186-004	0.18			
117-186-003	0.17			
117-186-002	0.05			
117-186-015	0.10			
Partial street vacation				
117-270-021	4 acres	N/A		New 100,000 square foot industrial building constructed in 2020.

The City is also reinvesting in its Downtown by partnering with LAB Holdings on the redevelopment of the Corona Mall located at the northeast corner and southeast corner of Main Street and 6th Street. LAB Holdings has developed several successful redevelopment projects in Orange County, CA, including the packing house in Anaheim, California. The City sold properties it had assembled in the aging Corona Mall to LAB Holdings. The plan is to reinvigorate the Downtown with façade improvements and independently owned eateries and shops in the Corona Mall. Corona Mall redevelopment is shown by parcel in Table 40.

Table 40: Corona Mall Redevelopment

Parcels Owned by LAB Holdings	Acres
117-143-033	.13
117-143-031	.06
117-143-032	.06
117-143-038	.24
117-143-039	.10
117-143-040	.17
117-151-002	.22
117-151-021	.11
117-151-004	.20
117-151-005	.14
117-151-015	.07
117-151-016	.11
117-151-007	.07
117-191-001	.04
117-191-002	.04
117-191-003	.04
117-191-004	.05
117-191-021	.07
117-191-022	.22
City Owned Parcels	Acres
117-143-015	2.37
117-151-022	3.49
117-191-019	2.27
117-183-004	.67
117-151-013	.09

Figure 7: Vacant Residential Parcels

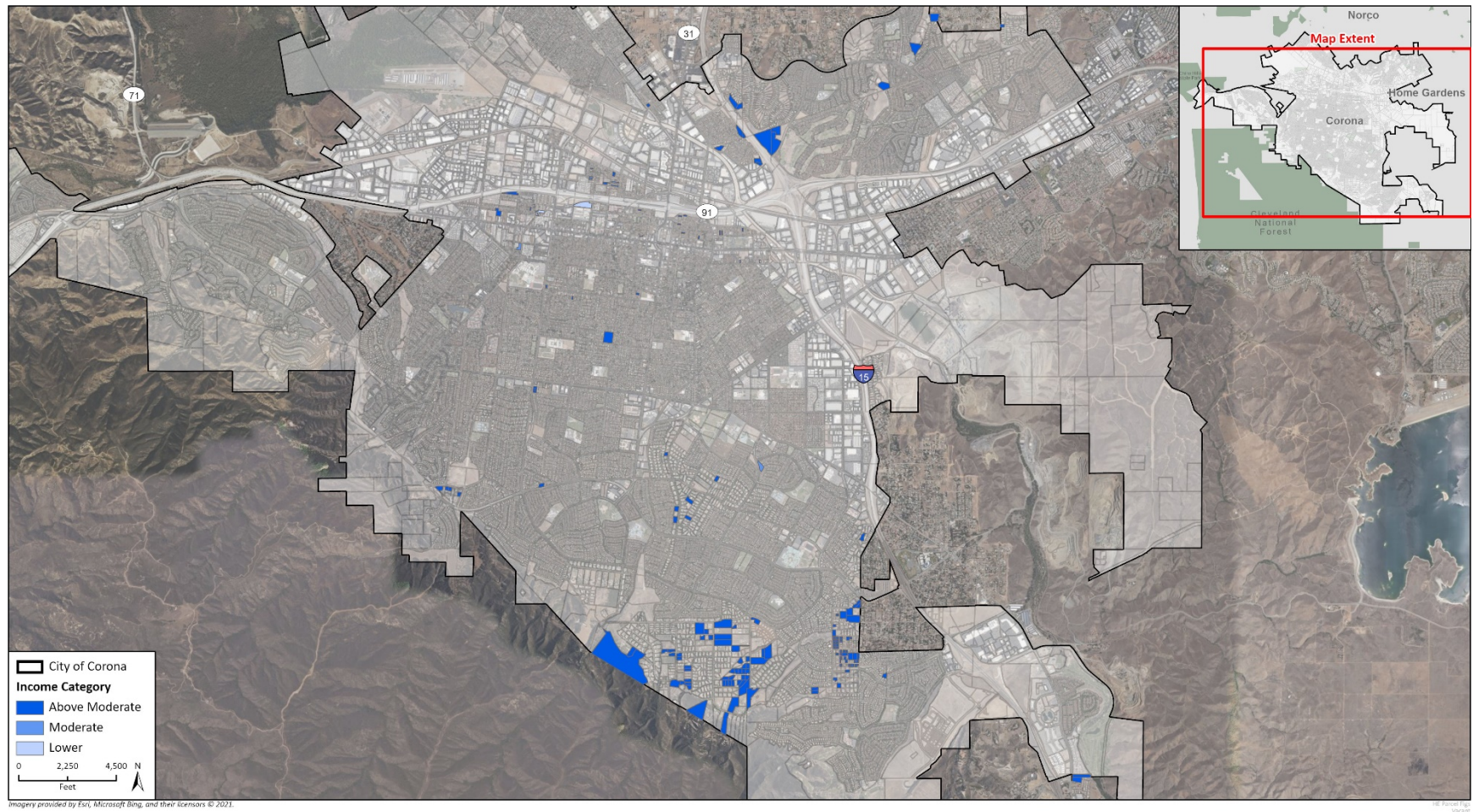


Figure 8: Nonvacant Residential Parcels

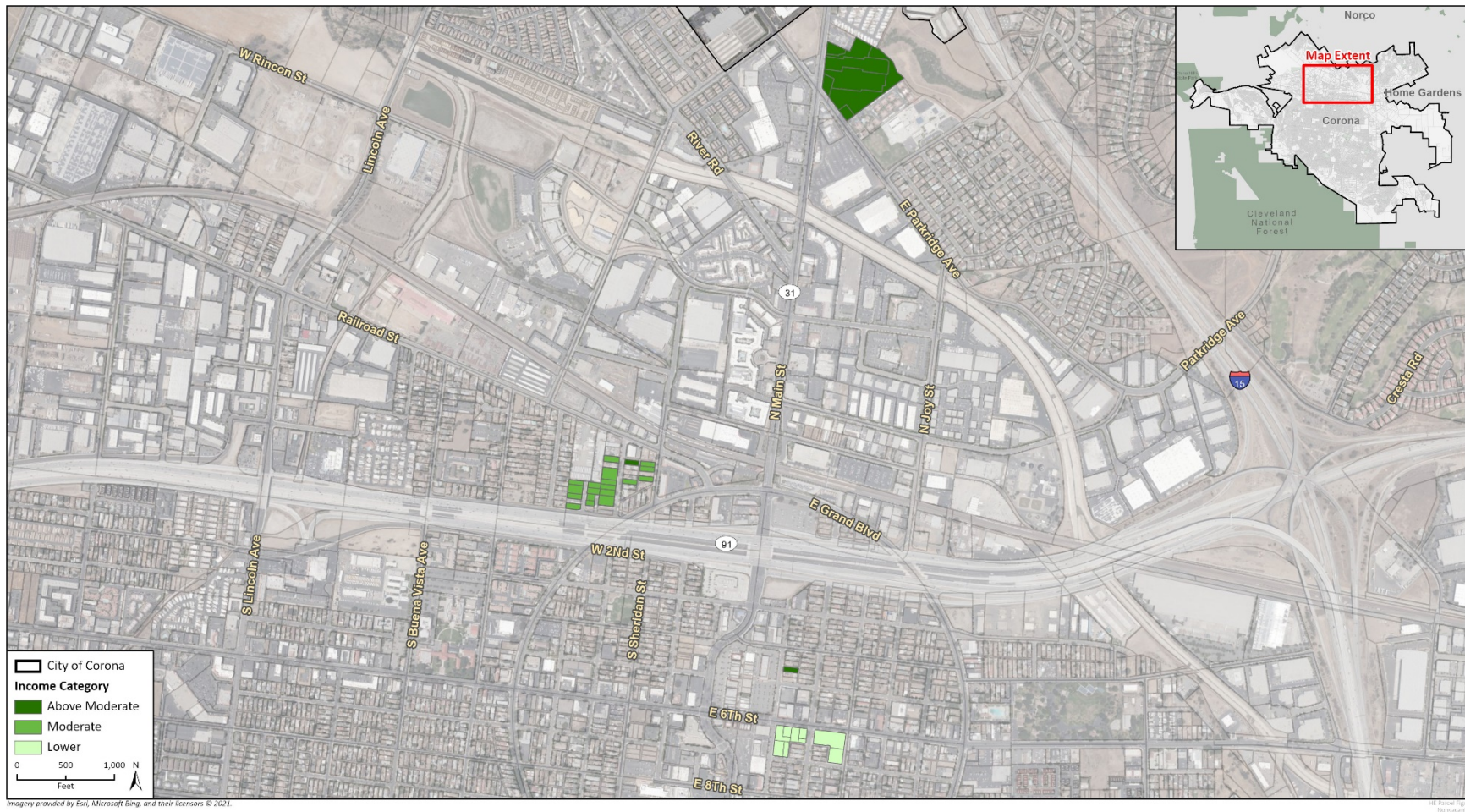


Figure 9: Rezone to Higher Density Residential

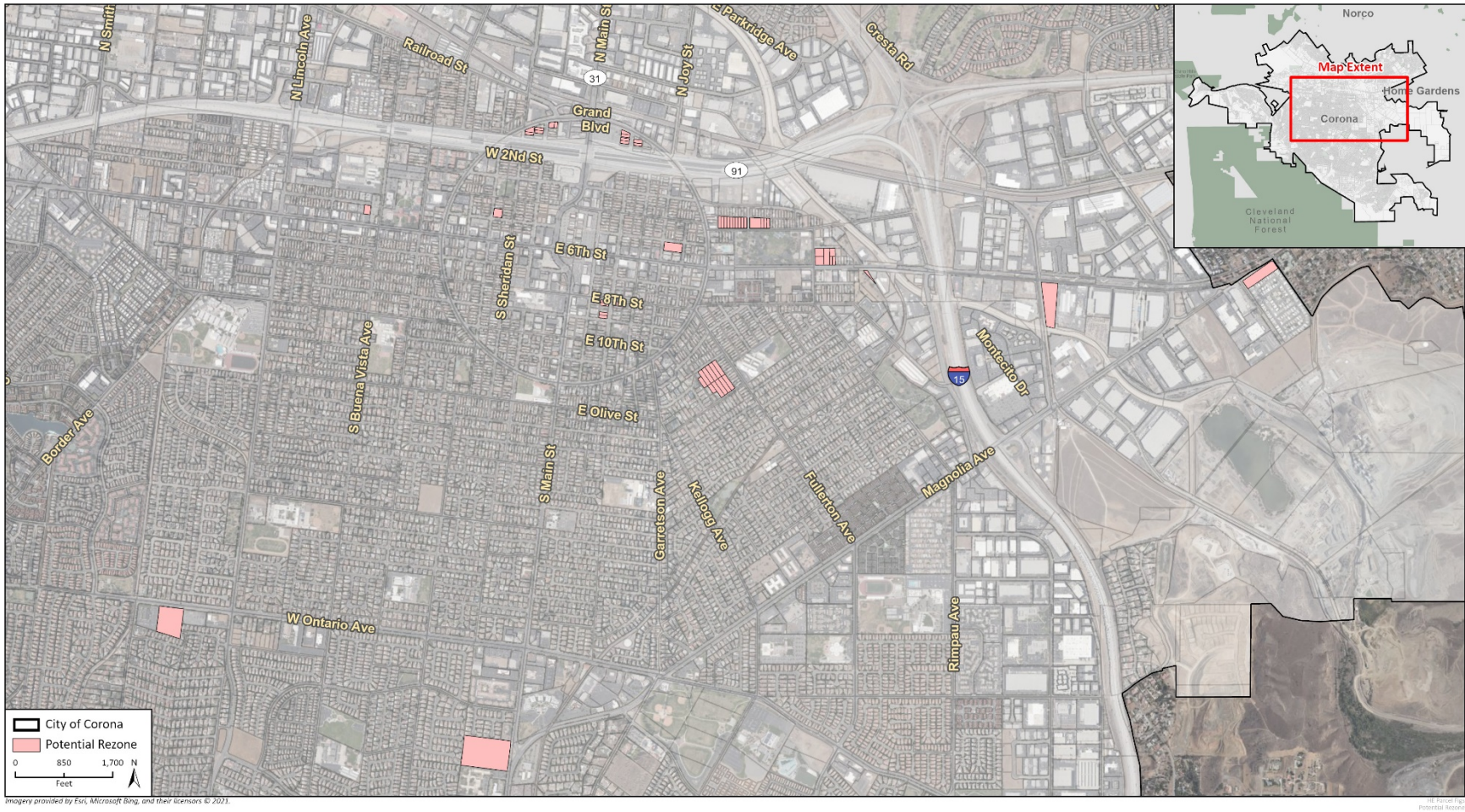


Figure 10: Sites with Affordable Housing Overlay

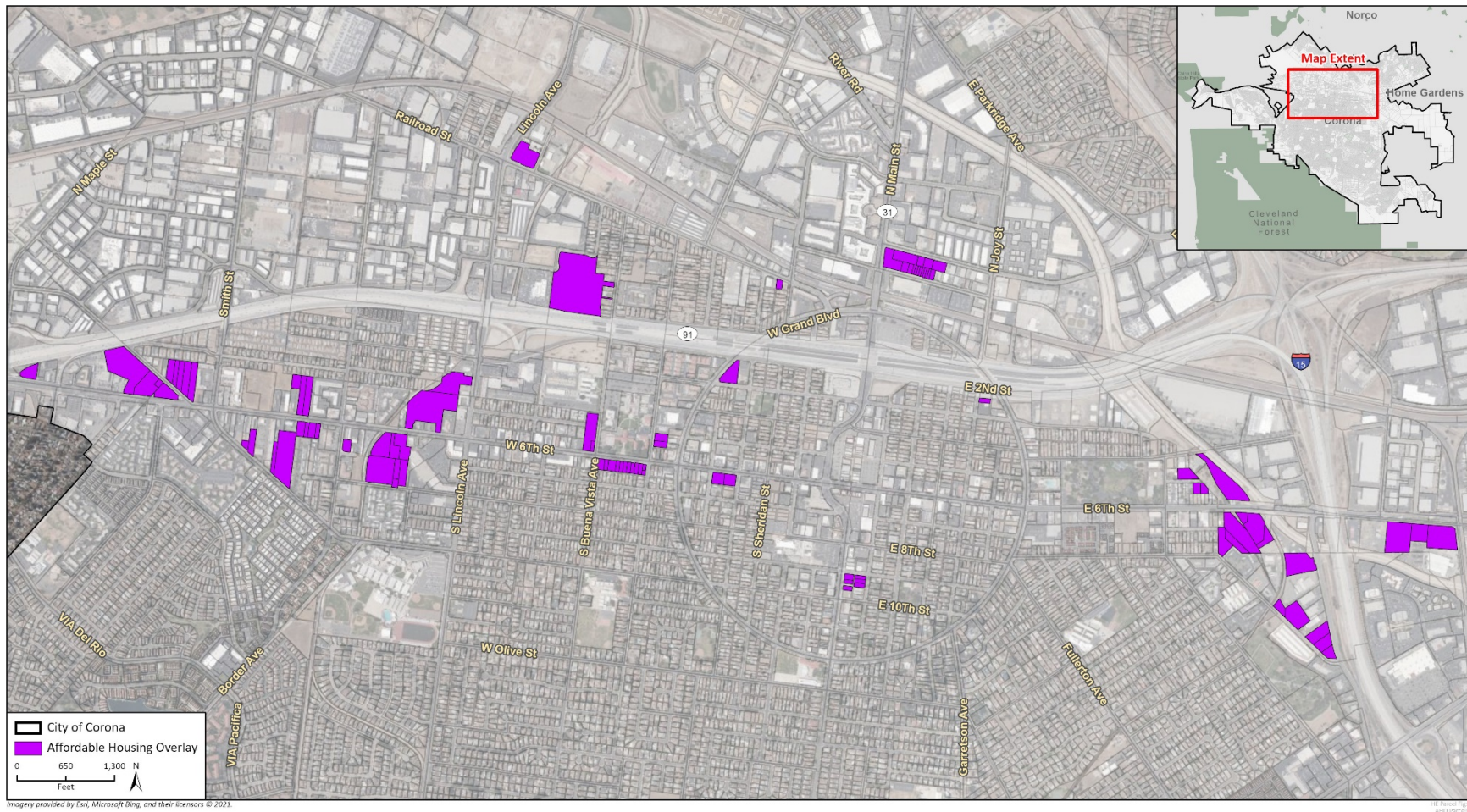
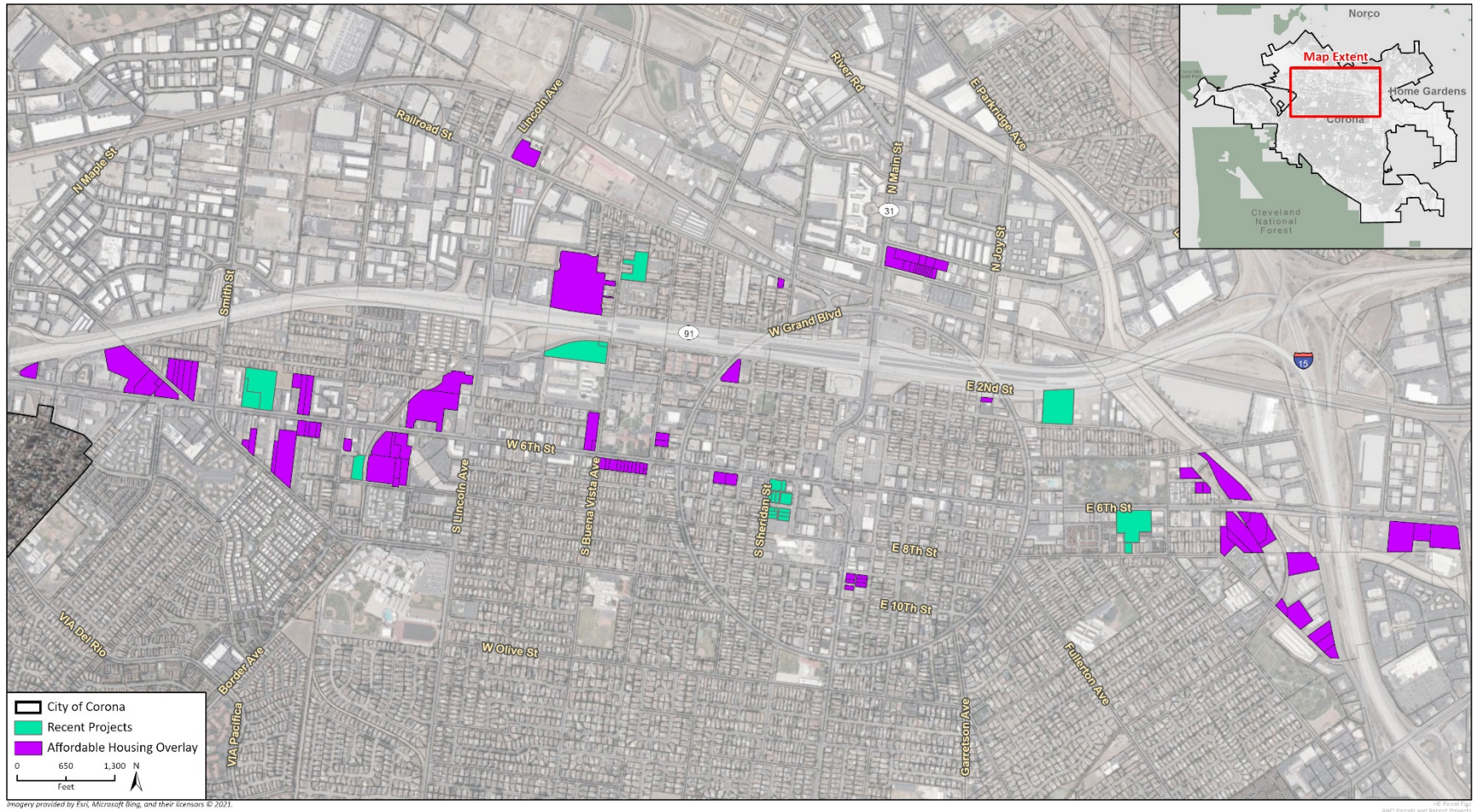


Figure 11: Recent Projects in Central Corona



SPECIFIC PLAN AREAS

The City has several specific plans with residential development potential during the 2021-2029 planning period. The following provides a description of these specific plans that have significant vacant, nonvacant, and rezone potential. A more detailed sites inventory of the residential capacity within these specific plans is located in Appendix B.

NORTH MAIN STREET SPECIFIC PLAN

Over a period of several years, the North Main Street District has experienced a gradual transition from an area with neighborhood retail, food, and drug stores to one with discount retail stores and vacant commercial centers. This transition can be attributed to several factors including significant traffic pattern changes and competing retail destinations in other growing areas of the city. Eventually, much of the land within the district was underutilized. Recognizing the need to address the issues facing North Main Street, the City of Corona initiated the North Main Street Specific Plan to provide guidance and direction for the future development and revitalization of this important area within the city and the region. The North Main Street Specific Plan was adopted in 2000 and amended throughout the years to adjust to changes in the market. The most recent amendment was in 2019.

The North Main Street District Specific Plan consists of 257.6 acres in the north-central portion of the City of Corona (Figure 12). The district contains a mix of land uses including commercial retail, commercial office, light industrial/manufacturing, public/quasi-public land uses, residential and several vacant parcels of land scattered throughout. The district is located just north of the State Route 91 freeway (SR-91) and west of the Interstate 15 (I-15) corridor and bisected in a north-south direction by North Main Street which serves as the transportation spine. Just south of SR-91, on Main Street, is the area generally referred to as Downtown Corona. Grand Boulevard is a circular street that completely encompasses the approximate limits of the downtown area. Main Street is perpendicular to and bisects Grand Boulevard. The North Main Street District Specific Plan area borders the northernmost portion of Grand Boulevard.

The Specific Plan allows residential development in the following areas with residential development potential:

Single-family Condominiums (SFC) Area – This area, located at the northeast corner of River Road and Cota Street, would provide the opportunity for village-like residential uses near shopping and public transit. The SFC area encompasses approximately 8.3 acres, about eight percent of the entire Specific Plan area. Single-family condominiums can include both attached and detached units at a density no greater than 15 du/acre.

Urban Density Residential District (UDR) – This district is intended to accommodate and promote high density residential development up to 60 du/acre. The UDR district intends to create opportunities for integration between the commercial and residential uses along the Main Street corridor as well as enhanced commuter transit options with the nearby Metrolink Station and bus transfer hub. The UDR District encompasses approximately 17.3 acres generally located west of Main Street between Blaine Street and River Road.

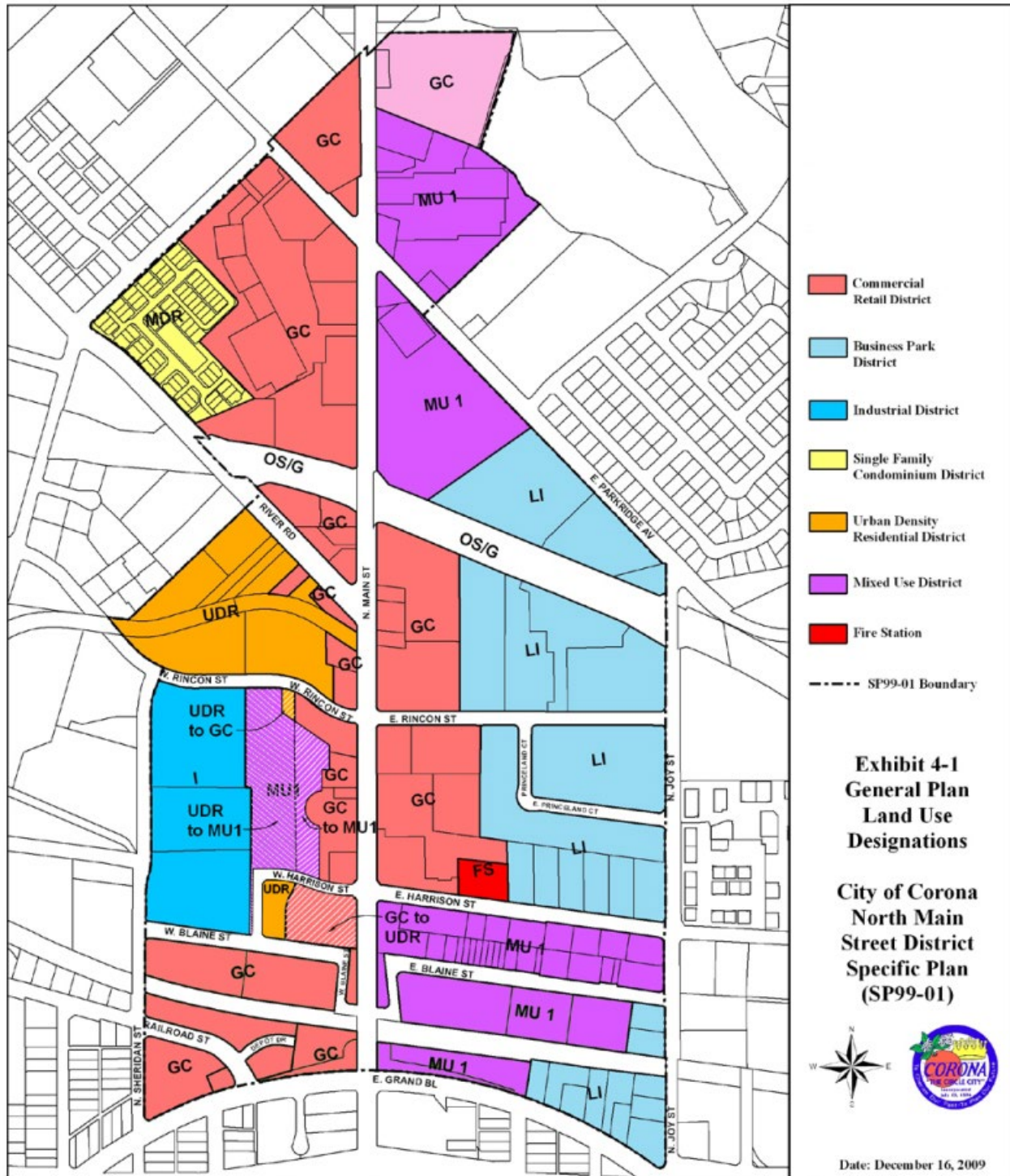
Mixed Use District (MU) – This district intends to provide opportunities for well-designed commercial projects or projects that combine residential with non-residential uses such office, retail, business services, personal services, public spaces and uses, and other commercial amenities. The District area covers approximately 29.2 acres in three areas bordering the east side of Main Street.

The North Main Street District Specific Plan allows for greater flexibility in land use types and locations to provide opportunities for transit oriented residential and commercial developments that increase transit ridership and decrease automobile trips. The Urban Density Residential land use designation permits up to 60 dwelling units per acre in both the General Plan and North Main Street District Specific Plan, a significant increase from the city's high density residential designation, which allows up to 36 units per acre.

The North Main Street District Specific Plan also has incentives for small lot consolidation. Owner-initiated adjustment of parcel lines among four or fewer contiguous parcels under common ownership via the City's Lot Line Adjustment process or the consolidation of lots through a Subdivision Map is allowed within the Mixed Use (MU) and Urban Density Residential (UDR) districts. Incentives may be provided for owner-initiated lot line adjustments or subdivision map consolidation of properties that serve to achieve orderly transit-focused residential development and improved level of pedestrian use:

- » Required parking may be reduced by a maximum of 20 percent provided a finding can be made that adequate parking will be available to serve the subject project or if the project site is located within 1,000 feet of public transportation (i.e., active bus stops, Metrolink station, RTA bus station);
- » Area of permitted signs may be increased by a maximum of ten percent provided a finding can be made that the increased area does not detract from the beautification and streetscape improvement objectives set forth in the Specific Plan; and
- » Front yard setbacks may be reduced by a maximum of twenty percent in any MU or UDR designation provided a finding can be made that the reduced setback will not negatively impact adjacent land uses, will not trigger significant impacts, or detract from the beautification and streetscape improvement objectives set forth in this Specific Plan. Furthermore, properties which front Grand Blvd. shall continue to maintain a minimum distance of 60 feet from building to the centerline pursuant to Section 17.86.020 of the Corona Municipal Code.

Figure 12: North Main Street Specific Plan



The North Main Street District Specific Plan can accommodate a realistic potential of 434 units in the 6th Housing Element cycle. Table 41 outlines the potential residential capacity.

Table 41: Residential Capacity in the North Main Street Specific Plan

	Acres	Realistic Unit Capacity
Vacant	0	0
Nonvacant	9.89	256
Rezone	0	0
Affordable Housing Overlays	4.47	178
Total	14.36	434

The City selected available sites in the North Main Street District Specific Plan area for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. The majority of the existing uses on the nonvacant sites are small, independently owned businesses in older/antiquated commercial buildings that not configured for modern commercial uses. The sites contain a dilapidated commercial center with expansive surface parking space – a development pattern that is not consistent with City goals that encourage economic sustainability and development of transit oriented residential and commercial development and prefabricated metal buildings. By increasing the allowable density on these sites, the City intends to foster recycling of these uses into mixed-use and high-density residential developments.

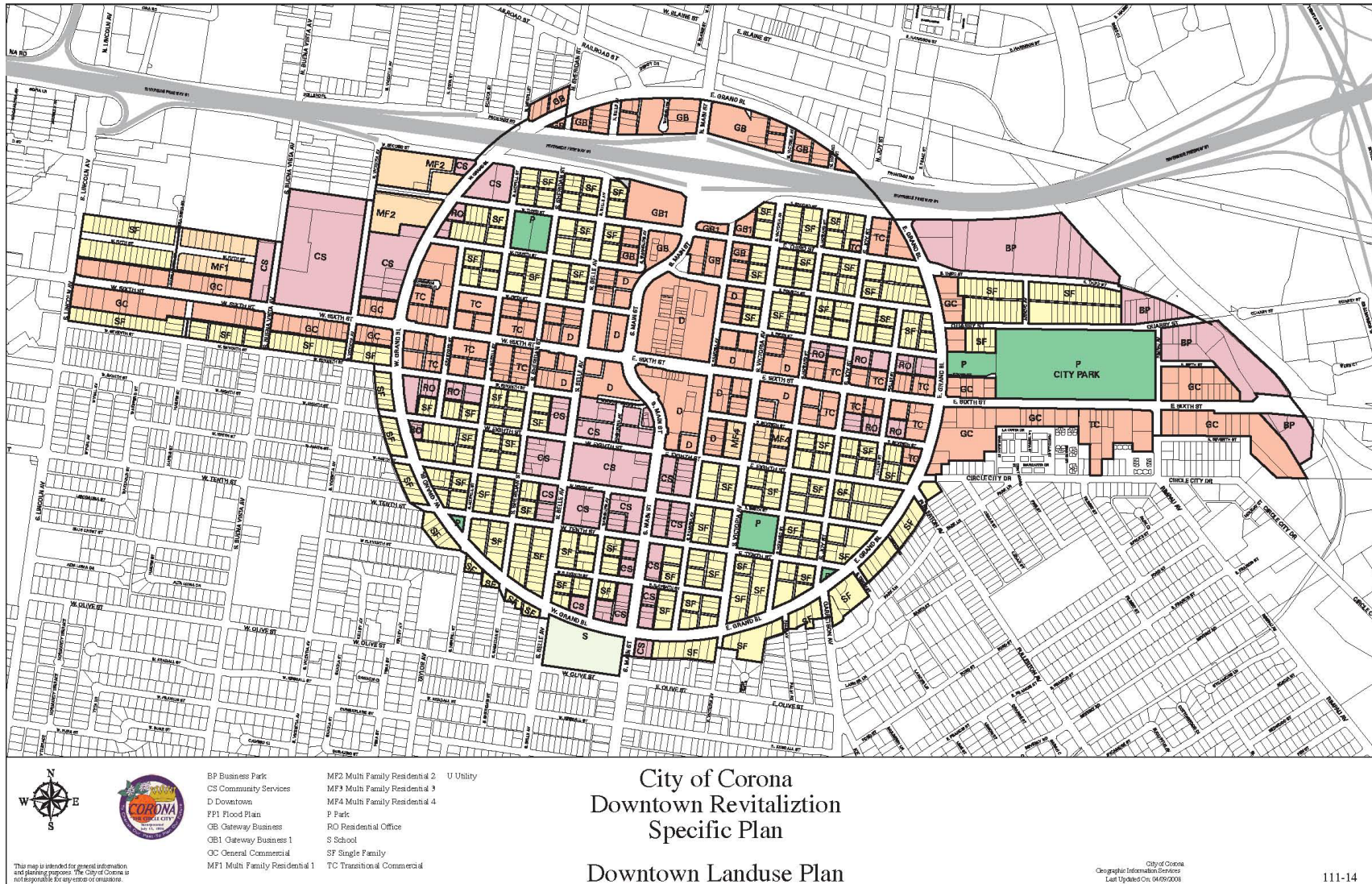
DOWNTOWN CORONA REVITALIZATION SPECIFIC PLAN

The Downtown Corona Revitalization Specific Plan was adopted by the City in 1998 and most recently amended in 2011. The Specific Plan area includes approximately 621 acres and generally consists of the commercial corridor along 6th Street, from Lincoln Avenue on the west to the Temescal Creek Channel on the east, and the area within the Grand Boulevard Circle (Figure 13). The prominent structures in the planning area are:

- » The Corona Mall at Main Street and 6th Street;
- » The public library across from the Mall;
- » The City Hall, six blocks to the west; and
- » The Landmark Theater building on 6th Street.

Within the Grand Boulevard Circle are also some of the City's oldest residential neighborhoods mixed with some commercial uses. The Corona Regional Medical Center, located on South Main Street, is a major property owner in the southwest quadrant of the Grand Boulevard Circle. Additionally, Grand Boulevard south of 6th Street contains many elegantly restored historic residences.

Figure 13: Downtown Specific Plan



Currently, seven districts within the Downtown Corona Revitalization Specific Plan area allow for residential development:

- » **Downtown (D) District:** The D District provides for medium-intensity commercial uses that serve mostly community-wide needs in a pedestrian-friendly environment. Uses allowed include commercial retail, service commercial, business offices (lodging), restaurants and sidewalk cafes, cultural and entertainment uses, nightclubs and microbreweries, mixed-use (including residential), as well as prominent buildings for governmental uses.
- » **Transitional Commercial (TC) District:** The TC District provides a buffer commercial district between the vehicular-oriented 6th Street Commercial, and the more pedestrian-oriented Downtown District. It provides great variety in low to medium intensity commercial uses in either a pedestrian or vehicular orientation. Mixed use developments, multi-family dwellings and senior citizen housing are allowed with a Conditional Use Permit in this district.
- » **General Commercial (GC) District:** The GC District provides for lower intensity uses that serve community and sub-regional needs with an emphasis on convenient automobile access, while incorporating efficient, safe, and attractive on-site pedestrian circulation. Mixed use developments are allowed with a Conditional Use Permit in this district.
- » **Community Services (CS) District:** The CS District provides needed community services such as governmental or institutional offices, social service agencies, hospitals, pharmacies, health care offices, churches, parks and playgrounds, museums and performing arts facilities. Senior citizen housing is allowed with a Conditional Use Permit in this district.
- » **Residential Office (RO) District:** The RO District is a highly specialized area in the Specific Plan. The District provides for very low intensity office uses in either existing residential structures or in new buildings that take great architectural care to “fit in” with the historic residential structures found in the immediate vicinity. The District provides a much-needed land use buffer between the more intensive commercial districts and the low-density historic residential areas of the Circle.
- » **Single-family Residential (SF) District:** The SF District is provided to protect the integrity of Corona’s historic residential neighborhoods within the Circle. The District is intended as an area for preservation and development of historically sensitive single-family detached residential.
- » **Multi-family Residential (MF) District:** The MF District is intended for small areas that are presently developed with multi-family residential units.

Overall, approximately 155 acres of land in the Specific Plan area are designated for single-family and multi-family uses. The Specific Plan also has 167 acres designated as Downtown, Transitional Commercial, General Commercial, Community Services, and Residential Office.

The Downtown Corona Revitalization Specific Plan can accommodate a realistic potential of 964 units in the 6th Housing Element cycle. Table 42 summarizes the potential residential capacity on sites that can potentially accommodate residential units.

Table 42: Residential Capacity in the Downtown Revitalization Specific Plan

	Acres	Realistic Unit Capacity
Vacant	1.82	11
Nonvacant	3.41	115
Rezone	11.00	180
Affordable Housing Overlays	14.96	658
Total	31.19	964

AVAILABLE SITES NOT INCLUDED IN SPECIFIC PLAN AREAS

Corona is almost entirely built out; however, the City has been able to identify infill opportunity sites and sites available for re-use for residential purposes that are not already included in the North Main Street Specific Plan or Downtown Corona Revitalization Specific Plan. The residential development capacity of these sites is summarized in Table 43 below.

Table 43: Residential Capacity Outside of the North Main Street Specific Plan and Downtown Specific Plan

	Acres	Realistic Unit Capacity
Vacant	279.73	772
Nonvacant	3.92	28
Rezone	17.11	188
Affordable Housing Overlays	68.05	2,816
Total	368.81	3,804

RECYCLING TRENDS

As the City becomes increasingly built out, recent developments in the City have involved the recycling of underutilized and non-performing commercial and residential uses and the consolidation of existing small lots. The following recent projects demonstrate the ability to achieve higher density residential development on previously underutilized parcels and show a trend in the City of recycling into higher intensity:

- a. Citrus Circle Apartments, located at 301 S. Buena Vista, is an affordable housing project constructed in 2013 that rehabilitated 19 existing multiple family units and constructed 42 new multifamily units for incomes 60 percent AMI or less. The entire site consisted of seven parcels that were acquired by the City's former Redevelopment Agency. These parcels were consolidated to create one parcel totaling 2.47 acres. The seven parcels previously comprised of two single-family homes, eight multi-family units, and vacant parcels. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 24.6 du/ac. The project consists of one-, two-, and

three-bedroom units ranging in size from 556 square feet to 1,248 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for 55 years.

Citrus Circle Apartments



Source: City of Corona

- b. Meridian Apartments, located at 1040 E 6th Street, is an affordable housing project constructed in 2019 consisting of 85 multiple family units for incomes at or lower than 60 percent AMI. The project was allowed a HDR density of 36 du/ac and achieved an actual density of 21 du/ac. The entire site consisted of 10 parcels that were acquired by the City's former Redevelopment Agency. The parcels consisted of four single-family units, one restaurant and vacant parcels. The parcels were consolidated to create one parcel totaling four acres. The unit mix consists of one-, two-, and three-bedroom units ranging from 768 square feet to 1,101 square feet. The Corona Housing Authority has an affordable housing agreement with the developer for a period of 55 years. The Meridian Apartments used lot consolidation from sites that were mostly under 0.5-acre, as shown in Table 44.

Table 44: Meridian Apartment Parcels

APN	Parcel Acreage
117-322-012	.68 acres
117-322-016	.17 acres
117-322-017	.17 acres
117-322-018	.17 acres
117-322-059	.17 acres
117-322-015	.31 acres
117-322-014	.30 acres
117-322-051	.32 acres
117-322-020	.63 acres
117-322-023	1.07 acres

Meridian Apartments



Source: City of Corona

- c. The North Main Metro Mixed Use Residential and Commercial development, located at 111 N. Main Street, was built in 2015 and consists of 464 market-rate multiple family units and 77,000 square feet of new commercial space. The project is a transit-oriented development located within 0.5-mile of the Metrolink train station. The site formerly consisted of six parcels totaling 14 acres, with a former commercial center that included two anchor commercial tenants for a grocery store and drug store, in-line commercial tenant spaces, two freestanding restaurant buildings and a freestanding bank building constructed in the 1960s. The buildings were demolished, except for the bank building, to accommodate the new multiple family residential units and ground floor commercial buildings. The residential portion of the project was allowed an Urban Density Residential density of 60 du/ac. The actual residential density constructed was 47.7 du/ac.

North Main Metro



These recycling activities have taken place since the certification of the 5th cycle Housing Element and are representative of a pattern of small lot consolidation in the City. The conditions and characteristics of the underutilized and non-performing commercial sites identified in Appendix B are similar to those that have gone through redevelopment in recent years. For example, the Citrus Circle Apartments site, which involved the consolidation of 7 smaller lots not commonly owned, previously contained 19 multifamily units in need of repair and refurbishment. The consolidation of sites allowed for the redevelopment of the parcels for a total of 42 units. Examples of conditions that mirror this recycling trend include sites on Victoria Avenue (117193002, -003, -004, -005, -006) which consist of four single-family residences, a commercial use with a low floor area ratio, and a parking lot. These sites could be consolidated to accommodate a lower income project on 2.08 acres with a maximum density of 35 du/ac. These contiguous sites do not share a common owner and would require either one master developer to purchase the parcels and consolidate as one cohesive development or would require each owner to redevelop each site separately. Examples of contiguous sites included in Appendix B that share similar owners are sites along Belle Avenue and 6th Street. These sites, located in the Downtown Corona Revitalization Specific Plan, could be consolidated to facilitate 35 du/ac.

Recycling activities are also likely to occur on sites zoned for mixed-use. Development trends in the City indicate that the vast majority of mixed-use zoned projects include a residential component with a marginal representation or square footage being devoted to commercial use, and none of the mixed use zoned projects that have been proposed are 100 percent devoted to non-residential purposes. Therefore, it can also be reasonably assumed that residential development would continue to occur in mixed-use zones that can accommodate both residential and non-residential uses. Redevelopment of residential projects on non-residentially zoned land comparable to the North Main Metro Mixed Use project is likely in Corona. To support recycling of underutilized sites with small lots consolidation, the City will develop a

lot consolidation and large lot development program (Program 10) that will facilitate continued development of residential projects throughout the identified sites in Appendix B.

Sites included in the inventory of this Housing Element for the 6th cycle RHNA are very similar to those used for the sample projects identified above, in terms of size, existing conditions, and existing uses. Given the potentially devastating impact of COVID-19 on the market for commercial and office spaces in the future, it is reasonable to expect future recycling of commercial properties would favor residential and mixed-use development.

AVAILABILITY OF INFRASTRUCTURE AND SERVICES

The City is committed to a number of actions and expenditures to provide infrastructure and enhancements meant to encourage and facilitate subsequent development. Corona's Capital Improvement Plan provides for the maintenance and improvement of the City's infrastructure including such items as: streets, alleyways, sidewalks, sewers, storm drains, water system, street lighting, and traffic signals. The existing infrastructure system may require minor upgrades to address age and condition-related issues, however, the systems do contain sufficient capacity to allow for the development of additional residential units, as required by the City's RHNA allocation.

SEWER SYSTEM

The Corona Department of Water and Power is responsible for supplying the majority of sewer collection and treatment services within the City. The City's sewer system consists of 13 sewer lift stations, associated force mains, and gravity sewer pipes. Corona's three water reclamation facilities (WRFs) treat up to 15.5 million gallons per day. In accordance with City standards, sewer is treated to tertiary levels so that it can be used for irrigation purposes or safely be discharged to the Santa Ana and Temescal rivers. The City's sewer system has sufficient capacity to handle peak dry weather flows and has not experienced any wet weather overflows. The City adopted the 2020 Sewer System Management Plan which establishes management, operation, and maintenance practices for the sewer system. The City's Sewer Master Plan is a living document and is updated on an on-going basis or at least every five years.

WATER SYSTEM

The Corona Department of Water and Power is responsible for supplying clean water to the City and surrounding areas. The department provides potable water service to the city's residential and service population and portions of its sphere of influence. The City adopted the 2015 Urban Water Management Plan (UWMP), which establishes the planned upgrades to the water distribution system within the City. The UWMP estimates that projected water use for residential, commercial, institutional, and industrial purposes would decrease annually at a rate of 0.2 percent as an elastic response to anticipated wholesale cost increases and installation of more efficient water fixtures. All water system improvements needed to accommodate buildout in the City is identified in the UWMP.

STORMWATER AND DRAINAGE SYSTEM

The City of Corona and Riverside County have constructed a vast storm drainage system to protect from floodwaters and protect groundwater resources from urban runoff. The City's current storm drainage system releases water into flood control channels, washes, Santa Ana River, and Prado Basin. The National Pollutant Discharge Elimination System (NPDES) permit program is designed to monitor, reduce, and control the amount and type of pollutants that enter the storm drainage system. As required by state law,

Corona implements a Drainage Area Management Plan and Local Implementation Plans (LIP) to manage urban runoff and preserve predevelopment hydrology.

DRY UTILITIES

The Corona Department of Water and Power is responsible for supplying electricity to the City and surrounding areas. Other dry utilities such as natural gas, telephone and data services, and cable television are serviced by contracted providers within the City. Providers include, but are not limited to, SoCalGas, AT&T, and Spectrum.

CIRCULATION SYSTEM

The City's Circulation Element outlines the long-term plan for roadways, including numbers of lanes, right-of-way, and general operating conditions. It also provides guidance relating to the transit system, goods movement system, and nonmotorized travel, including bicycle and pedestrian travel.

ADEQUACY OF RESIDENTIAL SITES INVENTORY IN MEETING RHNA

A majority of Corona's RHNA is expected to be met through sites within the City's specific plan areas. However, the City also has a handful of vacant, nonvacant, and rezoned sites outside of any adopted specific plan with potential for redevelopment. Overall, vacant and nonvacant parcels in Corona can accommodate approximately 1,153 new housing units and rezoned parcels and AHO can accommodate an additional 4,020. Given these figures, the City will have enough capacity to accommodate its 2021-2029 RHNA plus a buffer of approximately 22 percent, as shown in Table 45.

Table 45: Adequacy of Residential Sites Inventory

	Lower Income	Moderate Income	Above Moderate Income	Total
RHNA Allocation	2,792	1,096	2,200	6,088
Planned and Approved Units	0	92	2,110	2,202
ADUs Anticipated	46	28	6	80
Remaining RHNA	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units	3,346	1,097	2,966	7,455
Total Unit Surplus	600	1	766	1,367

FINANCIAL RESOURCES

The primary funding source that Corona uses for implementation of its housing programs is Community Development Block Grant (CDBG) funds. The City will also continue to use U.S. Department of Housing and Urban Development (HUD) funds administered through the County's Housing Choice Voucher Program for rental assistance. Another significant financial resource available to the City of Corona for the preservation of at-risk housing, improvement, and development of affordable housing is HOME Investment Partnership (HOME) funds accessible through the State of California.

COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)

The CDBG Program is administered by HUD. Through this program, the federal government provides funding to jurisdictions to undertake community development and housing activities.

Activities proposed by the jurisdictions must meet the objectives and eligibility criteria of CDBG legislation. The primary CDBG objective is the development of viable urban communities, including decent housing and a suitable living environment, and expanding economic opportunity, principally for persons of low-and moderate income. Each activity must meet one of the three broad national objectives of:

- » Benefit to low-and moderate income families;
- » Aid in the prevention of elimination of slums or blight; or
- » Meet other community development needs having a particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community.

For the 2019-2020 program year, the City received \$1,197,231 of CDBG funds and \$446,458 of HOME funds from HUD, which were combined in the Action Plan with \$703,882 of prior year unspent CDBG funds for a total investment of \$2,347,571. This investment of CDBG and HOME funds was a catalyst for positive change in the community. The City will continue to use CDBG funds to assist low- and moderate-income individuals in improving the health and safety conditions of their homes through the rehabilitation of owner-occupied and mobile homes, maintenance of affordable housing through the Mobile Home Assistance Program, and implementation of capital projects that focus on sites for shelters.

HOME INVESTMENT PARTNERSHIP ACT (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for households with incomes not exceeding 80 percent of area median income. The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. HOME funds can be used for activities that promote affordable rental housing and homeownership by low-income households, including:

- a. Building acquisition
- b. New construction and reconstruction
- c. Moderate or substantial rehabilitation
- d. Homebuyer assistance
- e. Rental assistance

f. Security deposit assistance

Corona will receive annual grants from HUD. The program's flexibility allows the City to use HOME funds for grants, direct loans, loan guarantees or other forms of credit enhancements, or rental assistance or security deposits.

PERMANENT LOCAL HOUSING ALLOCATION (PLHA)

The PLHA program, also known as the Building Homes and Jobs Act, or Senate Bill 2 (SB 2), provides a permanent source of funding to all local governments in California to help cities and counties implement plans to increase the affordable housing stock. Funding will help Corona to:

- » Increase the supply of housing for households at or below 60% of area median income;
- » Increase assistance to affordable owner-occupied workforce housing;
- » Assist persons experiencing or at risk of homelessness;
- » Facilitate housing affordability, particularly for lower- and moderate-income households;
- » Promote projects and programs to meet the local government's unmet share of regional housing needs allocation; and
- » Ensure geographic equity in the distribution of funds.

Corona will receive grants based on the formula prescribed under federal law for the Community Development Block Grant. Funding amounts will vary from year to year based on annual revenues to the Building Homes and Jobs Trust Fund.

ADMINISTRATIVE RESOURCES

CITY OF CORONA COMMUNITY DEVELOPMENT DEPARTMENT

The Community Development Department provides and coordinates development information and services to the public. Specifically, this involves inspection and enforcement of City-adopted building codes, plan checking for code compliance, issuance of City-required permits, record keeping of city maps, and processing of Site Development Plans.

The Planning division is tasked with ensuring that land uses in Corona comply with the Zoning Code, the General Plan, the Corona Municipal Code and State law requirements. Approval of projects through the planning process is required prior to issuing grading and building permits. Advanced planning programs provided by the division include a comprehensive General Plan update (including periodic update of the Housing Element), preparing and amending specific plans, and conducting special land use studies as directed by the Planning and Housing Commission and City Council.

COUNTY OF RIVERSIDE

The County of Riverside administers a number of housing programs that are utilized in the City. These include the Mortgage Credit Certificate Program, and Section 8 Housing Choice Voucher Program.

NONPROFIT ORGANIZATIONS

Nonprofit housing developers and service providers are a critical resource for accomplishing the goals and objectives of this Housing Element. The following developers and service providers are some of the nonprofit organizations that have been active in the City and may assist in the implementation of Housing Element programs:

- » California Department of Fair Employment and Housing
- » Housing and Economic Rights Advocates
- » Jamboree Housing
- » Riverside Housing Development Corporation
- » Southern California Association of Nonprofit Housing

Chapter 5: Review of Past Accomplishments

To develop appropriate programs to address the housing issues identified in the 2021-2029 Housing Element, the City of Corona has reviewed the housing programs adopted in 2014-2021 Housing Element and evaluated the effectiveness of these programs in delivering housing services and assistance. Table 46 summarizes the City's progress toward the previous RHNA and Table 47 provides a detailed program-level assessment of housing accomplishments over the last planning period.

EFFECTIVENESS IN ADDRESSING SPECIAL NEEDS

During the fifth cycle Housing Element, the City was successful in facilitating the development housing for special needs groups. Specifically, the City purchased surplus property from the Riverside County Transportation Commission to support the future development of roughly 130 affordable housing units located at the southwest corner of Second Street and Buena Vista. This project is expected to include Permanent Supportive Housing units. The City used Corona Housing Authority Funds and CDBG and HOME funds for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired. The City also maintained the affordability covenant on the William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Corona Park Apartments and Garrison House, maintaining the affordability covenants for 312 assisted units.

Table 46: Quantified Housing Objectives (2013-2021)

	New Construction		Rehabilitation		Conservation/ Preservation	
	Objectives	Actual	Objectives	Actual	Objectives	Actual
Extremely Low Income	92	155	60	77	134	312
Very Low Income	100				135	
Low Income	128		60		0	
Moderate Income	142	67	0		0	
Above Moderate Income	308	2,496	0	4	0	0
Total	770	2,718	120	81	269	312

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 1: Conserving and Improving Existing Affordable Housing			
1	Residential Rehabilitation Program (RRP)	<ul style="list-style-type: none"> Assist 120 households during the planning period with an average of 15 household annually. Continue to provide community outreach regarding available loans and grants. 	<p>Implementation of this program is ongoing. In 2019-2020, the City provided 7 single-family dwelling homeowners with loans for health and safety improvements, processed 15 subordination requests for people with housing loans wishing to refinance, referred approximately 45 people to miscellaneous County programs such as the 1st Time Homebuyer program, and referred approximately 17 mobile homeowners to Community Action Partnership Riverside's weatherization and appliance replacement program.</p> <p>Loans under the Program are forgivable, and grants are administered by Habitat for Humanity and only available to mobile homes. The Program will continue to be funded with Federal HOME Investment Partnerships Program (HOME) funds.</p> <p>Continued Appropriateness: Improving the City's housing stock is an important goal of the community. This program is included in the 2021-2029 Housing Element.</p>
2	Housing Choice Voucher Program	<ul style="list-style-type: none"> Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners. 	<p>Implementation of this program is ongoing and is administered by the County of Riverside. Under the Housing Choice Voucher (HCV) Program, the Housing Authority of Riverside County administers over 9,000 vouchers per year. As vouchers become available, the Housing Authority selects families from the HCV waiting list to fill all funded turnover vouchers. In 2019-2020, the agency selected 4,087 new families from the HCV waiting list in order to fill turnover vouchers. In 2019-2020, the Housing Authority selected 3,131 new families from the Project-Based Voucher (PBV) waiting lists in order to fill vacant PBV units. The HCV and PBV waiting lists are open for new registrations. Staff also referred dozens of callers to the County seeking this assistance.</p> <ul style="list-style-type: none"> 2015 - 346 vouchers 2016 - 363 vouchers 2017 - 363 vouchers 2018 - 334 vouchers

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			<ul style="list-style-type: none"> 2019 – 333 vouchers 2020 - 353 vouchers <p>Continued Appropriateness: Housing Choice Vouchers are an important source of rental assistance for very low-income households. This program is included in the 2021-2029 Housing Element.</p>
3	Conservation of Existing and Future Affordable Units	<ul style="list-style-type: none"> Identify and analyze inventory that may be at risk of losing affordability controls. Maintain communication with the local United States Department of Housing and Urban Development (HUD) office. Assist in tenant education. Identify potential buyers. Identify potential acquisition funds. Coordinate with non-profit developers to identify potential acquisition opportunities. 	<p>Implementation of this program is ongoing and monitored annually. Four of the at-risk projects listed in the 2013-2021 Housing Element (William C. Arthur Terrace Apartments, Corona Community Villas, Corona Community Towers, Garrison House) remain affordable and continue to get Section 8 assistance. Affordability covenants for 3 units at French Quarter, 12 units at Jasmine Springs, and 6 units at Villas De Corona, and 82 units at Country Hills Apartments expired during the 2013-2021 planning period.</p> <p>Continued Appropriateness: The City will continue to monitor and work to preserve any units at-risk of losing affordability controls. This program is included in the 2021-2029 Housing Element.</p>
4	Neighborhood Improvements (Enhancing Community Pride)	<ul style="list-style-type: none"> Continued implementation of neighborhood public improvements, property maintenance ordinance, design review, and historic preservation. 	<p>The City continues to make public improvements in low- and moderate-income neighborhoods. Annually, the City allocates Community Development Block Grant (CDBG) funds to improve targeted neighborhoods.</p> <p>In 2018-2019, CDBG funds were utilized to reconstruct sidewalks and accessible paths throughout low-income eligible areas, including Americans with Disabilities Act (ADA) ramps.</p> <p>In 2019-2020, CDBG funds were awarded for the Acquisition for Affordable Housing, Units TBD.</p> <p>In 2020-2021 CDBG and HOME funds were awarded for Tenant Based Rental Assistance and for future construction financing of PSH units at the RCTC surplus property previously acquired.</p> <p>Continued Appropriateness: Many streets in the CDBG target areas are substandard, deteriorated, and/or in need of improvement. The City will continue to improve neighborhood conditions; this program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
5	Sustainable Building	<ul style="list-style-type: none"> Continue to implement the City's Climate Action Plan (CAP) that fosters sustainability in all development requiring discretionary approval. 	<p>Implementation of this program is ongoing. All new development that is subject to discretionary approval must comply with the City's CAP and is verified through the project review process. The City's 2012 CAP was updated in 2019 in conjunction with the City General Plan Update 2040. Measurements indicate City compliance with greenhouse gas (GHG) emissions reductions as mandates by the State.</p> <p>Continued Appropriateness: The City will continue to promote sustainable building practices and implement the CAP. This program is included in the 2021-2029 Housing Element.</p>
Goal 2: Providing Adequate Housing Sites			
6	Site Availability	<ul style="list-style-type: none"> Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. Continue to update the infill Affordable Housing Map to indicate suitable infill development sites. Provide residential sites information to interested developers. Monitor the remaining residential site inventory to ensure continued ability to meet the remaining RHNA. Continue to offer pre-application meetings with developers to help craft development proposals that maximize the efficient use of sites and meet city objectives for the areas. 	<p>Implementation of this program is ongoing and is part of the project review process that city staff implements when preparing discretionary projects for approval.</p> <p>Continued Appropriateness: The City will continue to provide adequate sites to accommodate its RHNA. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
7	Lot Consolidation	<ul style="list-style-type: none"> Continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers. 	<p>Implementation of this program is ongoing and is encouraged through the written regulations in the two most affected specific plans, the Downtown Revitalization Specific Plan and the North Main Street Specific Plan. Although lot consolidation is encouraged, implementation takes time. The Meridian Apartments on East 6th Street and the Citrus Circle Apartments on Buena Vista Avenue, both affordable housing projects benefited from the lot consolidation process.</p> <p>Continued Appropriateness: The City will continue to facilitate lot consolidation or residential and mixed-use developments. This program is included in the 2021-2029 Housing Element.</p>
8	Multi-family Acquisition and Rehabilitation	<ul style="list-style-type: none"> Utilize Neighborhood Stabilization Program (NSP) and HOME funds to assist both non-profit and for-profit developers to acquire existing apartment buildings in need of upgrading in exchange for long term affordability controls on some or all units. Pursue available funds for multi-family acquisition and rehabilitation. 	<p>Since 2014 all NSP funds have been completely spent. NSP and HOME funds were utilized to acquire a 12-unit dilapidated complex. The entire property was completely rehabilitated with very low-income units. NSP funds were further utilized to purchase a remnant structure with 19 units. These 19 units were integrated into the Citrus Circle Affordable Housing project. As of 2014, NSP funds are spent, and close out documents were submitted in June 2018. HUD approved close out in July 2018.</p> <p>Continued Appropriateness: The City will continue to pursue funding and opportunities to acquire and rehabilitate multi-family units to create affordable housing for lower income households. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
Goal 3: Assisting in Development of Affordable Housing			
9	Infill Housing Development	<ul style="list-style-type: none"> Continue to apply HOME funds to implement program; pursue available funds for infill housing development. Produce three new affordable units a year. 	<p>Implementation of this program is ongoing. In 2020, the City Council adopted the 2020-2024 Five Year Consolidated Plan directing the use of HOME funds for Tenant Base Rental Assistance (TBRA), primarily, in furtherance of the City's Homeless Strategic Plan. Additionally, in response to the COVID- 19 pandemic, HUD allowed jurisdictions to utilize CHDO set aside funds from 2017-2020 for TBRA. Council approved the redirection of these funds for TBRA. During this 5-year period this funding source is not expected to be used for any other program such as the RRP program to substantially rehabilitate homes occupied by low-income households or projects.</p> <p>Continued Appropriateness: Although opportunities exist, HOME funds are not sufficient to purchase these properties and develop. For several years, HOME funds have been redirected to RRP program to substantially rehabilitate homes occupied by low income households. In 2020-2021 HOME funds are being shifted into homeless services such as Tenant Base Assistance (or Rapid Rehousing) and may be used to support Permanent Supportive Housing Units as part of the Second Street affordable housing development. The City will continue to pursue funding and opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
10	Affordable Housing Development	<ul style="list-style-type: none"> Facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as provision of incentives. Explore and research other funding sources. 	<p>Implementation of this program is ongoing. During the 2013-2021 planning period, the City of Corona completed the following affordable housing projects, partnering with nonprofit developers:</p> <ul style="list-style-type: none"> In 2019-2020, CDBG funds were utilized to assist with the purchase of the Riverside County Transportation Commission (RCTC) surplus property. The future affordable housing site is nearly 5 acres in size and is located at the southwest corner of Second Street and Buena Vista. Roughly 130 units will be constructed. This development is expected to include Permanent Supportive Housing units. Funding for this property will be housing set aside, city fee deferrals (if approved), CDBG funds (used for acquisition), and tax credits. <p>Continued Appropriateness: The Corona Housing Authority will explore and research other funding sources and continue to seek opportunities for affordable housing development. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
11	Density Bonus Program	<ul style="list-style-type: none"> Continue to advertise and inform prospective developers of options for density bonuses and actively educate and promote density bonus increases as adopted. Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. promote the use of density bonus incentives by providing information on city website and offering technical assistance to developers. 	<p>Implementation of this program is ongoing and is always available as established in the municipal code and in project review comments as they relate to multi-family development.</p> <p>Continued Appropriateness: The City will continue to offer density incentives for affordable housing. With diminishing affordable housing funds, use of density bonus by developers may increase in the future. This program is included in the 2021-2029 Housing Element.</p>
16	Homeless and Special Needs Support	<ul style="list-style-type: none"> Continue to provide financial support to social service agencies that provide emergency shelter, transitional housing, and supportive services to the homeless, those at risk of becoming homeless, and persons with disabilities (including developmental disabilities) Allocate funding to service agencies through the city's CDBG annual action planning process Continue to financially support the 211 system operated by Community Connect. This system provides information on social services and housing offered within the county. 	<p>Implementation of this program is ongoing. CDBG funds are allocated annually to assist with the prevention of homelessness and to support special needs persons/families through partnerships with the following local service agencies:</p> <ul style="list-style-type: none"> Inspire Life Skills assisted 8 young adult women aged out of the foster care program to provide shelter and vocational or four-year degrees. Peppermint Ridge assists developmentally disabled adults. In 2020, the new facility served 92 residents. Community Connect assisted over 2,243 people find social services and housing opportunities. United Way assisted 60 adults and 65 children through its domestic violence program and children wellness services. Big Brothers Big Sisters mentored 28 children. Corona Norco YMCA provided 97 children classes in fine arts. Council of Aging visited 34 of facilities and provided supportive services to 16 senior adults through its Ombudsman Program. <p>In the 2020-2021 Action Plan for the CDBG and HOME programs, the City allocated over \$1 million of CDBG funds for the rehabilitation of a homeless emergency shelter that will provide 30+ overnight shelter beds. The shelter facility activity is geared toward improving</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
			<p>community facilities to ensure that the City can proactively address street homelessness as it occurs through an emergency shelter that provides a venue to assess and assist literally homeless individuals.</p> <p>Continued Appropriateness: The City will continue to support public and private organizations working towards ending chronic homelessness either through financial support or participation. This program is included in the 2021-2029 Housing Element.</p>
Goal 4: Removing Governmental Constraints			
12	Zoning Ordinance Monitoring	<ul style="list-style-type: none"> Monitor the city's zoning ordinance to ensure that standards do not excessively constrain affordable residential development 	<p>Implementation of this program is ongoing. The municipal code underwent a substantial amendment related to second units to provide more flexible standards for Accessory Dwelling Units in accordance with State legislation. The public is aware of this provision and multiple inquiries of interest are received in this regard.</p> <p>Continued Appropriateness: The Constraints Analysis (Chapter 3) of this Housing Element did not identify governmental constraints that would require mitigating programs.</p>
13	Development Fees	<ul style="list-style-type: none"> Continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities. 	<p>Implementation of this program is bi-annual. Fee studies are undertaken by the city's Finance Department every two years. The most recent fee study update and adoption took place in 2018.</p> <p>Continued Appropriateness: The City will continue to evaluate the impact of fees on residential and mixed-use developments and adjust as necessary to facilitate development activities. This program is included in the 2021-2029 Housing Element.</p>

Table 47: Review of Past Accomplishments

Program	Program Name	Objectives	Progress and Continued Appropriateness
14	Expedited Project Review and Hearing Process	<ul style="list-style-type: none"> Continue to provide CDBG funds to a fair housing service provider encourage affirmative marketing on all residential projects and require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements make available bilingual fair housing assistance and materials implement the action items identified in the 2015-19 Analysis of impediments to Fair Housing Choice which was adopted by the City Council on April 15, 2015. 	<p>Implementation of this program is ongoing. The five-year 2015-2019 Analysis of Impediments was adopted by the City Council on April 15, 2015. Fair Housing Services are also funded through CDBG, annually. The Riverside County Council of Fair Housing provides information materials in English and Spanish, over the phone assistance, in person consultations and case management.</p> <p>A new five-year 2020-2024 Consolidated Plan and Analysis of Impediments was adopted on June 17, 2020. The City continues to fund fair housing services and increased funding for said services the past 2 years. City staff also work closely through its Code Enforcement and Housing Division with fair housing and participated in a townhall meeting in 2020.</p> <p>Continued Appropriateness: The City will continue to monitor and improve its project review and approval process. This program is included in the 2021-2029 Housing Element.</p>

Chapter 6: Housing Plan

The Housing Plan identifies the City's housing goals, policies, and implementing programs. The overall strategy is to present a balanced and diverse array of policies that cover four overall areas of concern: construction, rehabilitation, conservation, and administration. The goals and policies of the Housing Element are organized into concise goal and policy directives.

GOALS AND POLICIES

Corona intends to implement goals and policies during the 2021-2029 housing element cycle that address the following five major issue areas:

- » Conserving and improving the existing stock of affordable housing
- » Providing adequate sites to achieve a variety and diversity of housing
- » Assisting in the development of affordable housing
- » Removing governmental constraints as necessary
- » Promoting equal housing opportunity

HOUSING PRODUCTION

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate housing sites (infill sites, vacant sites, and larger sites within Specific Plans) that are appropriately zoned for a variety of housing types (e.g., single-family, multiple family, etc.) while implementing programs that address the City's housing needs. At the same time, housing needs continually change over time due to broader demographic factors.

The sites identified for new housing have been found to be adequate to accommodate the City's regional housing needs allocation (e.g., for very low-, low-, moderate-, and above moderate-income households) as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. The following goal and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

GOAL H-1

Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.

Policies

- H-1.1 Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.

- H-1.2 Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.
- H-1.3 Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.
- H-1.4 Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.
- H-1.5 Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

SPECIAL NEEDS HOUSING

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

GOAL H-2

Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.

Policies

- H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.
- H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.
- H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.
- H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.
- H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.

NEIGHBORHOOD QUALITY

The City of Corona's quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona's commitment to neighborhood quality.

GOAL H-3

Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.

Policies

- H-3.1 Recognize the City's inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.
- H-3.2 Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.
- H-3.3 Provide public services and improvements that enhance and create neighborhood stability.
- H-3.4 Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.
- H-3.5 Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.
- H-3.6 Prioritize water and sewer services and upgrades in areas of the city that have been identified as urban infill sites for the planning of affordable housing.

FAIR HOUSING

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

GOAL H-4

Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

- H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.
- H-4.2 Promote and provide for nondiscrimination in all City programs.

HOUSING PROGRAMS

The goals and policies contained in the Housing Element address the identified housing needs in Corona and are implemented through a series of housing programs. Housing programs define the specific actions the City will take to achieve specific goals and policies. Housing programs include the programs currently in operation in the City as well as new programs. This section provides a description and the qualitative and quantitative objectives for each housing program the 2021-2029 period.

CONSERVING AND IMPROVING EXISTING AFFORDABLE HOUSING

Maintaining Corona's older residential neighborhoods is vital to preserving the overall high quality and character of the community. In addition to maintaining the City's housing stock, Corona must also conserve affordable units. The cost of housing in Corona has become unaffordable or too much of a burden for many residents, particularly those with fixed incomes and lower and moderate-income households. The preservation of affordable housing helps maintain adequate housing opportunities available to all residents.

Program 1: Residential Rehabilitation Program

The Residential Rehabilitation Program provides forgivable loans to address critical home improvement needs such as the remediation of code violations, heating and air conditioning, exterior or interior paint, water heater replacement, roofing, plumbing, electrical, kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 120 households during the 2021-2029 period with an annual average of 15 households. The City will continue to conduct community outreach regarding available loans and grants.

Funding	CDBG/HOME funds, Renegotiation of City Affordable Housing Agreement
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> Assist 103 very low income and 152 low income households during the planning period, with an average of 15 households annually. Continue to provide community outreach regarding available loans and grants for needed home improvements by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A.
Timeframe	By 2022, annually monitor the number of houses enrolled in the housing rehabilitation program. Continue to implement program on an ongoing basis throughout the planning period based on available funding.

Program 2: Housing Choice Voucher Program

The Housing Choice Voucher Program (formerly Section 8) is implemented through the Riverside County Housing Authority. Very low-income renters receive supplemental rental assistance for standard housing in order to prevent them from becoming overly rent burdened. The Housing Choice Voucher Program extends rental subsidies to lower income families and the elderly who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the fair market rent. In 2018, the County issued 333 housing vouchers to Corona households.

Funding	HUD Housing Choice Voucher funding allocation
Responsible Agency	Riverside County Housing Authority
Objectives	<ul style="list-style-type: none"> Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 3: Conservation of Existing and Future Affordable Units

A total of 89 units in Corona are at risk of losing their affordability controls (e.g., become market rate) prior to December 2023. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities.

Funding	CDBG/HOME Administration (monitor at-risk status); other funding sources as available for preservation.
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Annually identify and analyze inventory that may be put at risk of losing affordability controls. ▪ Maintain communication with the local HUD office. ▪ Assist in tenant education. ▪ Identify potential buyers. ▪ Identify potential acquisition funds. ▪ Coordinate with property owners and non-profit developers to identify potential acquisition opportunities by October 2022. ▪ The California Legislature extended the required notification period, requiring property owners give a 12-month notice of their intent to opt out of low-income use restrictions. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the public housing authority, and other affordable housing opportunities in the City. ▪ Assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.
Timeframe	Annual monitoring and ongoing pursue of funding opportunities for long-term preservation.

Program 4: Mobile Home Park Program

The City will continue to implement the Residential Mobile Home Park zoning ordinance (Municipal Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5.

The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance is the State Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Funding	State Grants/Loans (MPRRP)
Responsible Agency	Community Services Department,
Objectives	<ul style="list-style-type: none"> ▪ Continue to regulate the conversion of mobile home parks in Corona as permitted by State law. ▪ As appropriate, provide information to mobile home park tenants regarding potential tenant purchase of parks and assistance available, through programs such as State's Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP).
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 5: Neighborhood Improvements

To foster community pride and increase incentives for private homeowner investment in their homes, the City will continue its Neighborhood Improvement Program. This program consists of public improvements such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program. Public improvements inspire property owners to stay in the neighborhood and invest in their property, thus preserving the housing stock. The City continues to develop methods designed to increase the City's collective sense of community pride.

Funding	CDBG funds
Responsible Agency	Administrative Services Department, Public Works Department
Objectives	<ul style="list-style-type: none"> ▪ Continued implementation of neighborhood public improvements, property maintenance ordinance, design review, and historical preservation ordinance.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 6: Sustainable Building

The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> Continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROVIDE ADEQUATE HOUSING SITES

A key element in satisfying the housing needs of all segments of the community is the provision of adequate sites for housing of all types, sizes, and prices. This is an important function in both zoning and General Plan designations. The City of Corona's regional housing needs allocation (RHNA) for the 2021-2029 period is 6,088 units.

Program 7: Site Availability and Rezone Program

Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B).

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. ▪ Amend Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024. ▪ Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website. ▪ Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses. ▪ Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites. ▪ Monitor the consumption of residential acreage to ensure an adequate inventory is available. ▪ Create opportunity for at least 3,132 units for lower income households. ▪ By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements. ▪ Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive. ▪ Amend land use designation MU-1 with AHO to allow for 100 percent residential use or combination of residential and commercial uses by October 2024. ▪ Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households. <ul style="list-style-type: none"> ▫ Permit at least 16 units per site; ▫ Require a minimum density of 20 units per acre; and ▫ At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites: <ul style="list-style-type: none"> – Allow 100 percent residential use; and – Require that all residential use occupy 50 percent of the total floor area of a mixed use project.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 8: Residential Sites Monitoring Program

In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss,” was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City’s available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target.

Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Maintain an updated inventory of residential housing developments that have been submitted, approved, and denied. ▪ The City will actively promote, through outreach and discussions, sites available for lower- and moderate-income housing development to potential developers, private and non-profit organizations, and other interested persons and organizations. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to allow, by right, a mix of dwelling types and sizes, specifically missing middle housing types (e.g., duplexes, triplexes, fourplexes, courtyard buildings). ▪ Starting 2022, annually monitor the City’s remaining housing capacity to ensure compliance with SB 166.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 9: Sites Used In Previous Planning Periods Housing Elements

In 2017, AB 879 and AB 1397 were passed requiring additional analysis and justification of the sites included in the sites inventory of the City’s Housing Element. The Housing Element may only count non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements if the sites are subject to a program that allows affordable housing by right. Some sites within this Housing Element were used in previous cycles and this program is included to address the by-right approval requirement. Per AB 1397, the use by right of these sites during the planning period is restricted to developments in which at least 20 percent of the units in the development are affordable to lower income households, provided that these sites have sufficient water, sewer, and other dry utilities available and accessible or that they are included in an existing general plan program or other mandatory program or plan to secure sufficient water, sewer, dry utilities supply to support housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ The City shall rezone or amend its Zoning Code by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 10: Lot Consolidation and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers.▪ Offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include reduced development fees, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance.▪ Waive fees for lot consolidation for 100 percent affordable housing.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period. Incentives will be adopted as part of Title 17 within three years of adoption of the Housing Element.

Program 11: Multi-Family Acquisition and Rehabilitation

Acquisition and rehabilitation of existing multi-family housing stock are more cost-effective than constructing new affordable units and provide the additional benefit of maintaining the City's multi-family housing stock. An important component of Corona's housing strategy is the identification of existing multi-family units for acquisition and rehabilitating as affordable housing. The City has several older apartment complexes, many in substandard conditions, that have potential for acquisition and rehabilitation. To the extent feasible, the City will encourage a portion of acquired affordable units to be made available to persons with disabilities (including developmental disabilities) and extremely low-income households.

In the previous housing cycle, the City used NSP and HOME funds for the acquisition of a 12-unit dilapidated complex for very low-income families. Additionally, the City used NSP funds to purchase a remnant structure with 19 units. This was part of a partial-take affected by the State Route 91 expansion project. These 19 units were integrated into the Citrus Circle Affordable Housing project which also constructed 42 new units. The entire project created 61 affordable units.

Funding	NSP and HOME funds
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. ▪ Pursue available funds for multi-family acquisition and rehabilitation.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

ASSIST IN THE DEVELOPMENT OF AFFORDABLE HOUSING

The high cost of new construction can prohibit the development of affordable housing units. Incentive programs for housing developers, such as a density bonus, offer a cost-effective means of promoting affordable housing development. Public sector support for new construction includes the following programs for lower and moderate-income housing development.

Program 12: Affordable Housing Development

The City is committed to maintaining and monitoring housing conditions amongst vulnerable, very low-income low-income, and special needs populations. Lower-income communities along with the elderly and persons with special needs are disproportionately burdened with poorer housing conditions. Corona will continue to seek new funding opportunities and partnerships to improve housing conditions. The City will identify and partner with advocacy groups such as Habitat for Humanity to expand existing resources and help further improve housing conditions for special needs and low-income communities, and identify the need for rehabilitation assistance as the housing stock ages.

The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources.

The following are recent affordable housing activities in the City:

- » Corona Housing Authority acquired approximately 5 acres at Second Street and Buena Vista Street to support the construction of approximately 130 apartments for low income and permanent supportive housing. The project is expected to be constructed within this planning period. The Housing Authority will be providing financial assistance and the land for the project.

The City provided financial assistance to these projects for site acquisition, construction, rehabilitation, and/or relocation of existing tenants.

Funding	HOME funds, CHA funds, other sources as available
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives. ▪ Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 134 lower income units within the planning period. ▪ Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years. ▪ Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing. ▪ Annually seek additional funding sources and identify new partnerships to greater expand resources in the City. ▪ By October 2024, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. ▪ Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates. ▪ Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households. ▪ Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households into the General Plan. .
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 13: Density Bonus Program

Consistent with State law (Government Code sections 65915 through 65918), the City continues to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements.

In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Update the Corona Zoning Ordinance by October 2023 to integrate future changes in State Density Bonus Law. ▪ Continue to advertise and inform prospective developers of options for density bonuses, and actively educate and promote density bonus increases as adopted. ▪ Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. ▪ Promote the use of density bonus incentives by providing information on City website and offering technical assistance to developers.
Timeframe	This program should be monitored annually to identify any new density bonus legislation and amend the Zoning Ordinance and should be implemented on an ongoing basis through the remainder of the planning period.

REMOVE GOVERNMENTAL CONSTRAINTS

To facilitate housing development, the Housing Element must address and, where appropriate and legally possible, remove governmental constraints affecting the maintenance, improvement, and development of housing. The following programs are designed to lessen governmental constraints on housing development.

Program 14: Zoning Ordinance Monitoring

The Corona Zoning Ordinance (Title 17 of the Corona Municipal Code) is continuously updated to address changes among a range of issues and State/Federal laws. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop. ▪ Amend Title 17 of the Municipal Code by October 2023 to comply with the Employee Housing Act. ▪ Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP. ▪ Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities. ▪ Amend the Zoning Ordinance including specific plans by October 2024 to allow up to three stories by-right in multifamily residential zones that accommodate affordable housing units.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 15: Flexibility in Development Standards

The City, in its review of development applications, may recommend waiving or modifying certain development standards, or propose changes to the Municipal Code to encourage the development of low- and moderate-income housing. The City offers offsets to assist in the development of affordable housing citywide. Offsets include concessions or assistance including, but not limited to, direct financial assistance, density increases, standards modifications, or any other financial, land use, or regulatory concession that would result in an identifiable cost reduction.

Funding	Department Budget
Responsible Agency	Community Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. ▪ By 2024, the City will adopt standards for affordable and/or high-density housing development that allow greater flexibility in development standards, such as reduced setbacks, and/or reduction of required common open space.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 16: Development Impact Fees

Various fees and assessments are charged by the City to cover the costs of processing permits and providing services and facilities. While almost all these fees are assessed on a pro rata share system, they often contribute to the cost of housing and constrain the development of lower priced units. As a result, the City will evaluate the impact of the fee increase on residential and mixed-use developments as a potential constraint on housing development and adjust as necessary to encourage and facilitate residential development. In addition, the City will work with the development community to solicit their input on the impact and viability of existing fees. The City currently updates their Fee Schedule for development impact fees every ten to twenty years by the City's Finance Department.

Funding	Department Budget
Responsible Agency	City Council by Policy
Objectives	<ul style="list-style-type: none">▪ At least once annually, evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities.▪ Consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing for low-income households.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 17: Expedited Project Review and Hearing Process

The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ As needed, the City will prioritize processing for affordable housing projects; and▪ Annually assess the efficiency of the City's permit streamlining process and continue to implement best practices with efficient project review procedures.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROMOTE EQUAL HOUSING OPPORTUNITY

To make adequate provision for the housing needs of all economic segments of the community, the housing plan must include actions that promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age, or physical disability.

Program 18: Affirmatively Furthering Fair Housing (AFFH)

To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data.

The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services Department
Objectives	<ul style="list-style-type: none">▪ Continue to effectively address the requirements of AB 686 by increasing outreach and education through the fair housing service providers, publicize fair housing litigation to encourage reporting, and conduct random testing on a regular basis to identify issues, trends, and problem properties.▪ Work with local agencies such as the Fair Housing Council of Riverside County to help identify and reduce barriers to housing on both a regional and local scale.▪ Establish a method of measuring the progress of fair housing practices, which can include the index of dissimilarity, the Regional Opportunity Index, and percentage of residents experiencing extreme housing cost burdens. Report the findings of these metrics as part of the city's Housing Element Annual Progress Report.▪ Expand understanding of the current state of fair housing practices and potential areas of discrimination by conducting an in-depth study of fair housing issues around the city.▪ The city shall continue to facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout plan development and the public review process. Outreach efforts to disadvantaged communities will be a priority.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 19: Fair Housing Services

With assistance from the city's fair housing provider, the city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686 (2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Funding	CDBG, Section 8 Rental Assistance, Housing Trust Fund
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide CDBG funds to a fair housing service provider. ▪ Encourage affirmative marketing on all residential projects and will require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements. ▪ Implement the action items identified in the Analysis of Impediments to Fair Housing Choice, which was adopted by the City Council on March 16, 2011. ▪ Allocate annual funding for fair housing services through the Action Plan process for the use of CDBG funds. ▪ Participate in regional efforts to mitigate impediments to fair housing choice. ▪ Distribute educational materials to property owners, apartment managers, and tenants relative to fair housing requirements, regulations, and services. ▪ Make public announcements, via different media (e.g., social media, newspaper ads, and public service announcements at local radio and television channels) related to fair housing programs and opportunities. ▪ Conduct workshops and training with different community-based organizations. ▪ Conduct fair housing workshops and training in Spanish. ▪ Hold diversity awareness events and programs at a variety of locations throughout the city. ▪ Outreach targeted and related to home financing opportunities; ▪ Monitor and respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution). ▪ Referring services to appropriate agencies; ▪ Conduct fair housing testing at random sites to measure compliance and remove any such impediments through fair housing law enforcement. ▪ Continue working collaboratively with the Fair Housing Council of Riverside County to promote fair housing, education, and advocacy. ▪ Take affirmative actions to further fair housing choice in the city, and implement the solutions developed in the Regional Analysis of Impediments to Fair Housing Choice to mitigate and / or remove fair housing impediments. ▪ Target housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in all parts of the community.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 20: Segregation in Housing Implementation

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Funding	Departmental Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 21 Housing for Persons Experiencing Homelessness

On June 17, 2020, Corona's City Council adopted the Strategic Plan to Address Homelessness, designed to address homelessness through various programs. The City's Homeless Prevention Programs was created as a result of the City's Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The Strategic Plan identified eight goals to help prevent homelessness, improve quality of life, and reduce homelessness:

- » Develop a Systems-Oriented Approach to Address Homelessness;
- » Develop a Low-Barrier Emergency Shelter/Navigation Center System;
- » Develop Permanent Supportive and Affordable Housing Solutions;
- » Expand Outreach and Engagement;
- » Develop and Participate in Sub-Regional Collaboratives with Neighboring Cities;
- » Develop Partnerships with the County and Continuum of Care to Support Plan Initiatives;
- » Develop a Homeless Prevention Initiative
- » Develop an Advocacy Campaign to Support Plan Initiatives, and;
- » Expand Data Tracking Systems and Dashboard to Measure System Performance

Funding	CDBG, HOME, SB2
Responsible Agency	Community Services Department, Community Development
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Coordinate with agencies such as the Housing and Homeless Coalition of Riverside County along with SCAG for the purposes of coordinating efforts, reducing the unsheltered population, increasing emergency and permanent housing, and leveraging resources to address homelessness. ▪ Continue to provide funding for local and sub-regional homeless service providers that operate temporary and emergency shelters. ▪ Assist (when possible) local non-profits and charitable organizations in securing state and federal funding for the acquisition, construction, and management of shelters. ▪ Review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to state law and amend the zoning ordinance (Refer to Program 15) and other documents as part of the General Plan and Zoning Code. ▪ Consider establishing a maximum length of stay for emergency shelters to have a limit of no more than 180 consecutive days within a one-year period instead of a total of 180 days in a one-year period. ▪ Continue to financially support the 211 system operated by the Volunteer Center of Riverside County. This system provides information on all social services offered in Riverside County. ▪ Commit to updating the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.
Timeframe	This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 22: Housing for Special Needs Populations

The Corona Zoning Ordinance is continuously updated to address a wide range of issues and State and federal law with respect to accommodating and addressing housing for special needs. In 2018, Assembly Bill 2162 (AB 2162) was passed which requires that supportive housing be a use by-right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multifamily uses. The City's Zoning Ordinance currently reflects this piece of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this piece of AB 2162 and will amend Title 17 of the Corona Municipal Code to reflect this portion of the legislation.

The City is committed to expanding supportive housing opportunities for vulnerable communities that rely on such services. The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Amend Title 17 of the Corona Municipal Code to incorporate all changes to State legislation pertaining to special needs populations as part of the General Plan and Zoning Code update project, by October 2023. ▪ Facilitate the development of housing for persons with disabilities and other special needs through the development of incentives for affordable housing development by October 2023. ▪ Nurture ongoing partnerships that help educate and execute the development of supportive and transitional housing.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 23: Safe and Healthy Communities

Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Annually monitor policies, standards, and regulations regarding environmental justice in the City. ▪ Nurture ongoing partnerships that help educate and execute the development of safe and health housing communities for all groups of people.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 24: Alternative Housing Program

Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to annually monitor underutilized properties and sites that have a potential for alternative housing options and offer the information to interested developers on an on-going basis. ▪ Rezone underutilized commercial, office, and or industrial space, as appropriate, to facilitate use for alternative housing types. This will be done with the RHNA updates on or before October 2024 and then annually as opportunities arise. ▪ By October 2024, develop, as part of a zoning ordinance update, measures that encourage affordability by design (e.g., smaller, more efficient and flexibly-design living spaces). ▪ Where appropriate, utilize the city's regulatory powers (e.g., land use and fees) to remove the requirement of a CUP for the development of care facilities that provide 24-hour care to seven or more disabled persons. ▪ Encourage the development of alternative housing including care facilities for 7+ individuals in residential zones. ▪ Actively encourage, through annual outreach and discussions with developers, innovative housing structures, such as micro-unit housing and new shared and intergenerational housing models to help meet the housing needs of aging adults, students, and lower-income individuals citywide. This will be accomplished on an on-going basis. ▪ Develop and promote assistance with financing or funding applications.
Timeframe	This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 25: Community Outreach Program

Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City's housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities. Strategies to expand accessibility and help further educate community groups include:

- » Sharing and distributing public announcements/information through a variety of mediums such as flyers, E-blasts, website updates, new media, and social media;
- » Actively engaging existing stakeholders and seeking additional stakeholders from all sectors of the community to participate in the public participation process;
- » Increasing accessibility to public meetings by conducting public meetings around typical work hours, accommodating persons with disabilities, choosing locations near transit centers, and providing resources such as childcare, language translation services, and food and refreshments where possible;
- » Continuing to educate all community groups about the services available for rental, homeownership, and rehabilitation/maintenance services.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services
Objectives	<ul style="list-style-type: none"> ▪ Increase accessibility to public meetings for all sectors of the community including minority groups and persons with disabilities by ensuring public meetings are in accessible locations to all persons. ▪ Ensure public meetings and other planning processes are delivered in ways that all groups of the community can understand such as delivering meeting content in multiple languages. ▪ Make public announcements and information accessible and visible using a variety of communication methods.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 26: Community Placemaking Pilot Program

The City of Corona actively seeks to identify new opportunities to connect neighborhoods despite differences in income levels and demographics. The Community Placemaking Pilot Program will implement small-scale placemaking projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds. Placemaking strategies include but are not limited to:

- » Increase signage and wayfinding between neighborhoods;
- » Implement "popup parks"/sidewalk cafes in community neighborhoods;
- » Create a community murals programs to help beautify community neighborhoods and connect local artists of all backgrounds;
- » Increase seating, such as picnic tables with chess/checker boards;
- » Create a designated city community garden for all members of the community to visit and volunteer;
- » Coordinate neighborhood walks/races, and;
- » Increase overall community outreach (partnering with Program 25) to help spread the word on new community attractions in various neighborhoods and educate community groups on new community activities

Funding	Department Budget
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Connect diverse neighborhoods through small, inclusive, and accessible placemaking projects and activities. ▪ Expand public outreach to target all neighborhoods and educate people from all types of community groups on new and upcoming neighborhood projects and activities.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 27: Replacement Housing Program

Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Pursue amendment to the Zoning Code by October 2022 to address replacement requirement.
Timeframe	This program will be implemented within one-year of Housing Element adoption.

Program 28: Lot Configuration and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	City Development Services Fund
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Facilitate the development of affordable housing.▪ Adopt incentives by 2024 for development of high-density residential sites.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period and incentives will be adopted as part of Title 23 within three years of adoption of the Housing Element.

SUMMARY OF QUANTIFIED OBJECTIVES

The City has proposed its objectives for the Housing Element period based on financial resources, past experience, and staff capacity. The following table summarizes the City's quantified objectives for the 2021-2029 period by income group.

Table 48: Quantified Housing Objectives (2021-2029)

	New Construction	Rehabilitation	Conservation/Preservation
Extremely Low Income	36	-	-
Very Low Income	11	103	12
Low Income	87	152	36
Moderate Income	64	-	-
Anticipated Outcomes from Programs ¹	-	-	439
Total	198	255	487
¹ Conservation objectives were increased by incorporating anticipated outcomes from the following programs: 2 (Housing Choice Voucher Program), 3 (Conservation of Existing and Future Affordable Units), and 26 (Preservation of At-Risk Housing). Program 2 would accommodate 350 households in the very-low income category and Program 3 would conserve a total of 89 affordable units.			

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Appendix A

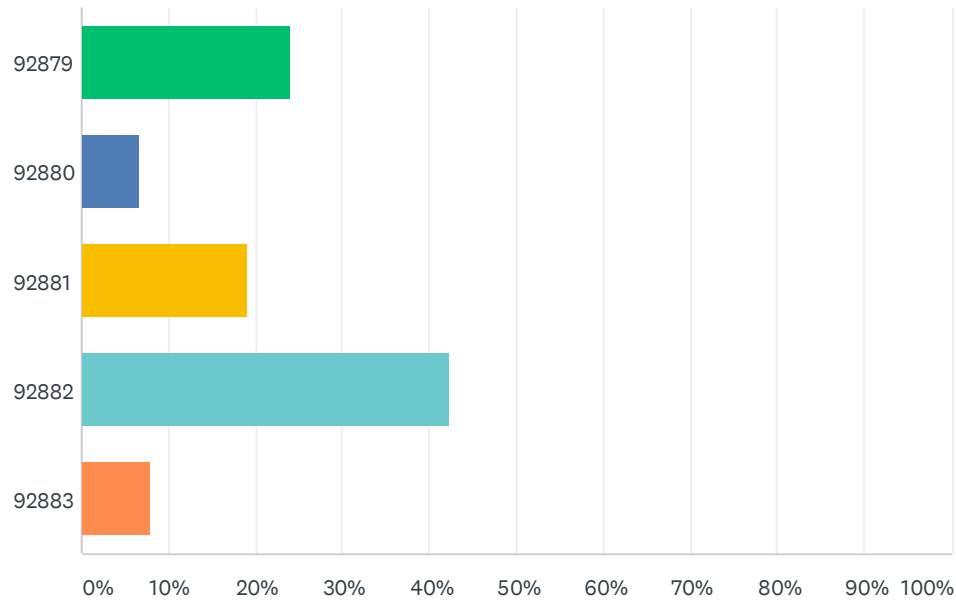
PUBLIC OUTREACH

Appendix A-1
Housing Element Online Public Survey Results

City of Corona - Housing Element Update

Q1 If you are a resident of the City of Corona please select the zip code for your place of residence. If you are not a resident in the City move on to Question 2.

Answered: 253 Skipped: 7



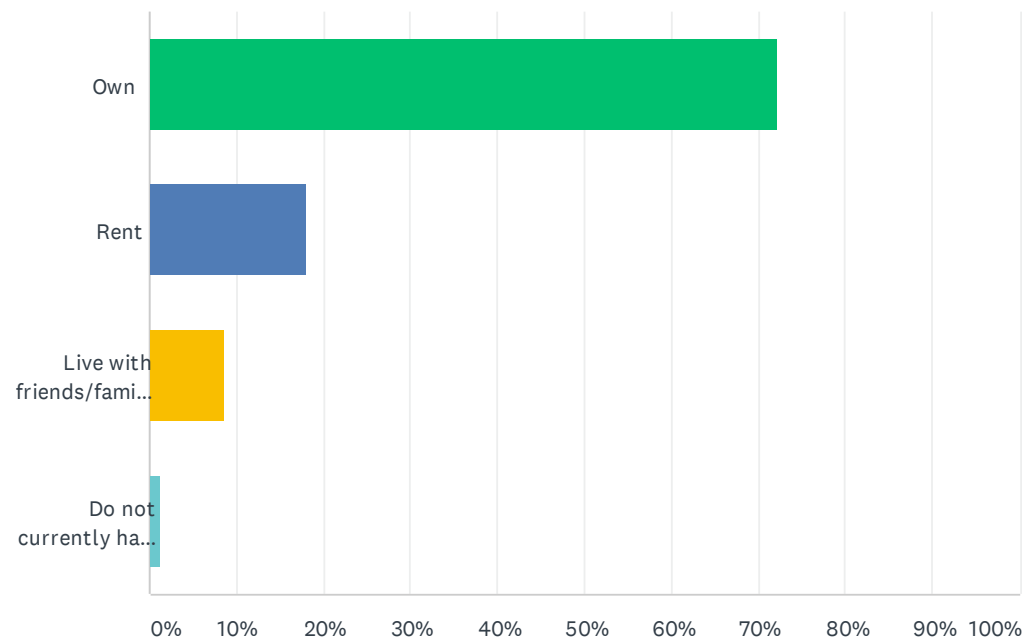
ANSWER CHOICES	RESPONSES	
92879	24.11%	61
92880	6.72%	17
92881	18.97%	48
92882	42.29%	107
92883	7.91%	20
TOTAL		253

Q2 Do you represent a special interest group (example: service provider associated with domestic violence, seniors, persons with disabilities, veterans, etc.; community group, housing developer, other?) If so, please provide Name of Organization. Once answered, please move on to Question 9.

Answered: 50 Skipped: 210

Q3 Which best describes your current housing situation?

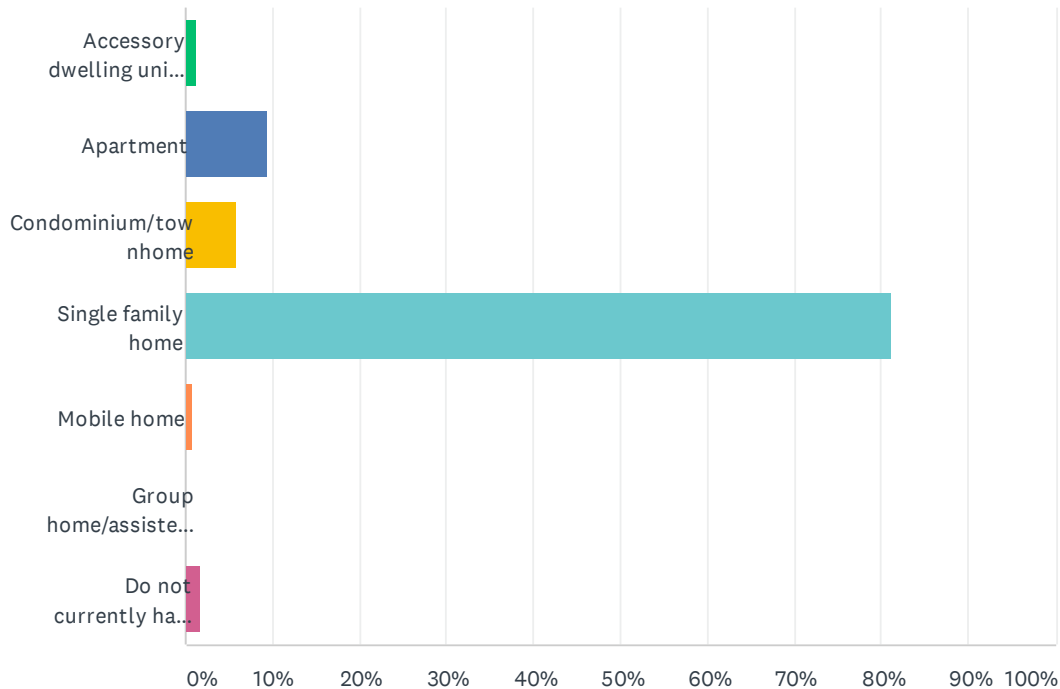
Answered: 255 Skipped: 5



ANSWER CHOICES		RESPONSES	
Own		72.16%	184
Rent		18.04%	46
Live with friends/family, do not own or pay rent		8.63%	22
Do not currently have a permanent home		1.18%	3
TOTAL			255

Q4 Which best describes your current living situation?

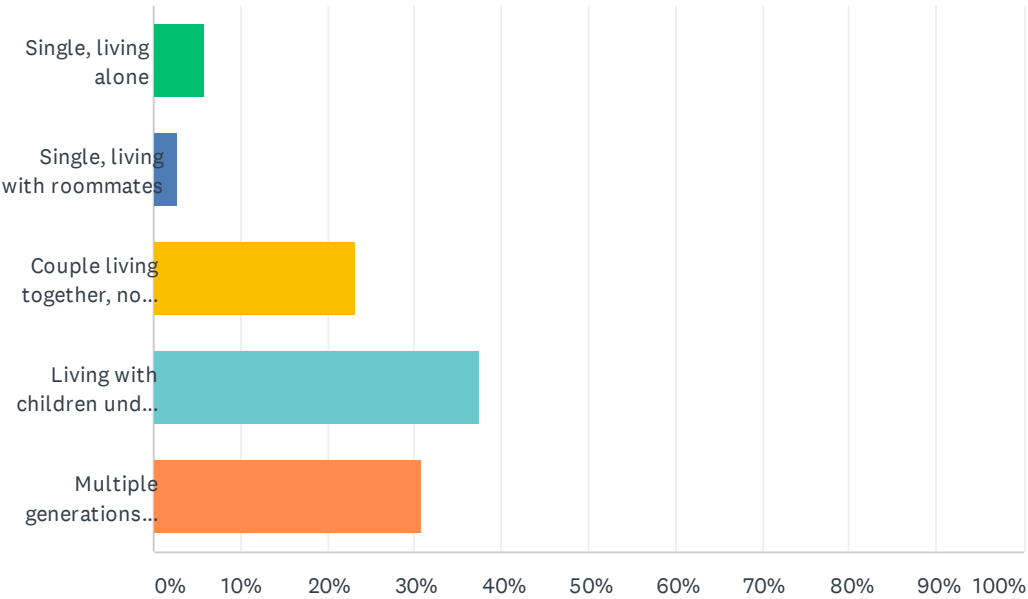
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Accessory dwelling unit (granny flat/guest house)	1.18%	3
Apartment	9.45%	24
Condominium/townhome	5.91%	15
Single family home	81.10%	206
Mobile home	0.79%	2
Group home/assisted living	0.00%	0
Do not currently have a permanent home	1.57%	4
TOTAL		254

Q5 Which best describes your household composition?

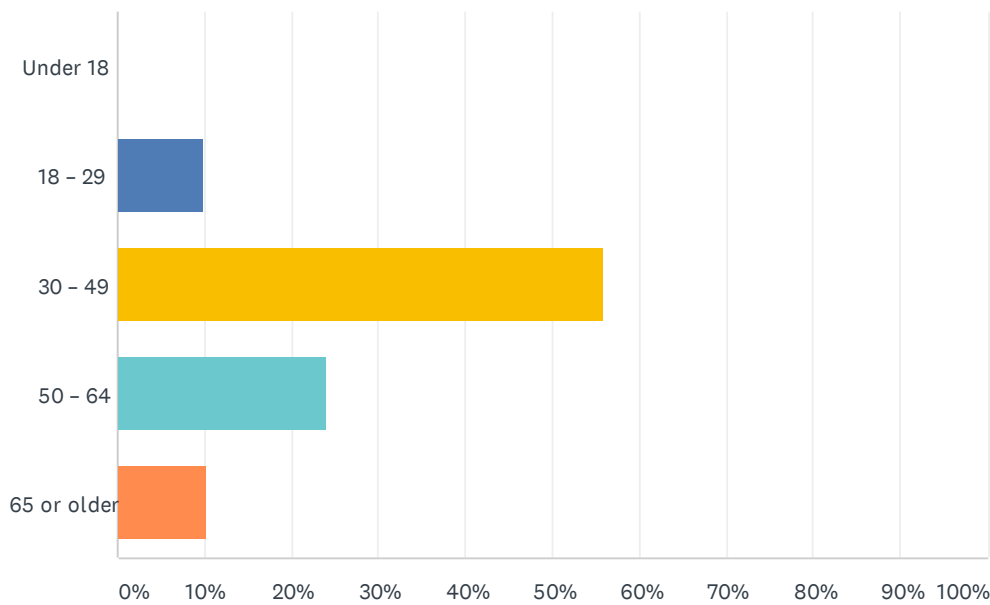
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Single, living alone	5.91%	15
Single, living with roommates	2.76%	7
Couple living together, no children	23.23%	59
Living with children under 18 at home	37.40%	95
Multiple generations living together (adult children, parents, grandparents, etc.)	30.71%	78
TOTAL		254

Q6 What is your age group?

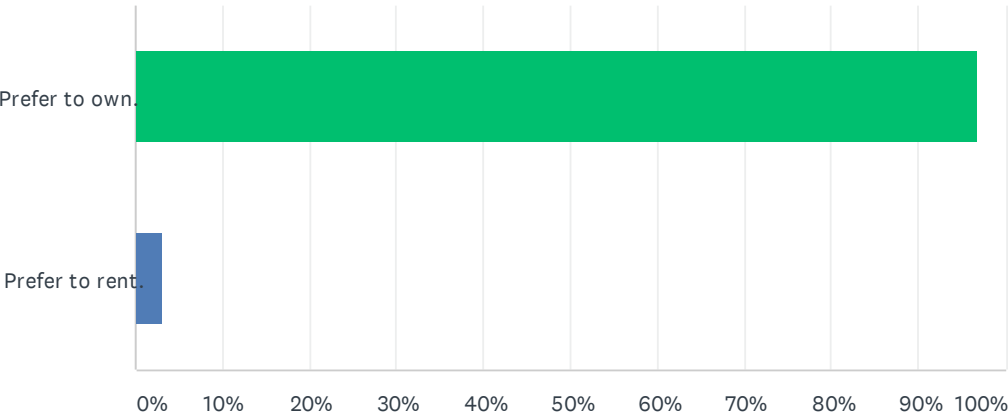
Answered: 254 Skipped: 6



ANSWER CHOICES	RESPONSES	
Under 18	0.00%	0
18 – 29	9.84%	25
30 – 49	55.91%	142
50 – 64	24.02%	61
65 or older	10.24%	26
TOTAL		254

Q7 What is your preference when it comes to housing?

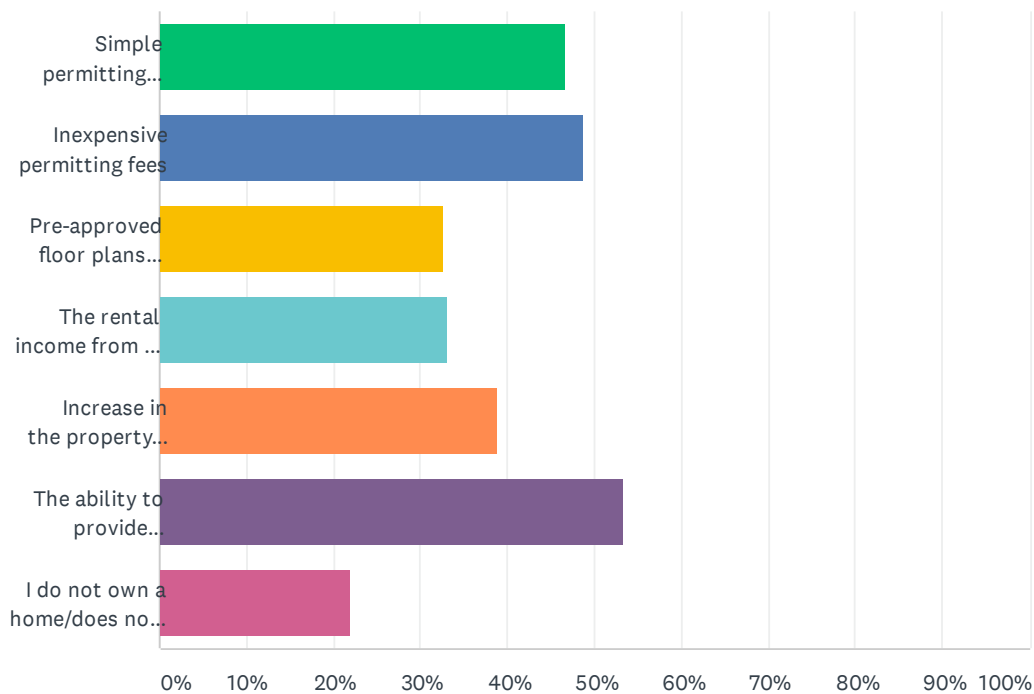
Answered: 253 Skipped: 7



ANSWER CHOICES	RESPONSES	
Prefer to own.	96.84%	245
Prefer to rent.	3.16%	8
TOTAL		253

Q8 Recently adopted state legislation mandates that accessory dwelling units, commonly known as an ADU, be allowed on residential properties that are zoned single family. If you own a home, what would make you consider adding an accessory dwelling unit (ADU) to your house or property? (Select all that apply)

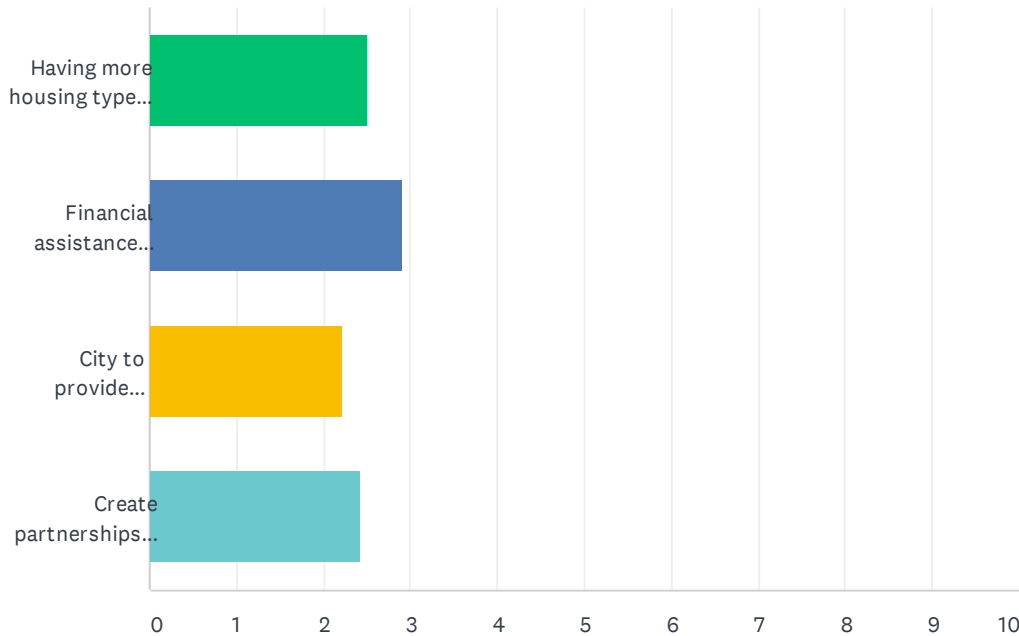
Answered: 236 Skipped: 24



ANSWER CHOICES	RESPONSES	
Simple permitting process	46.61%	110
Inexpensive permitting fees	48.73%	115
Pre-approved floor plans provided by the City for a detached ADU.	32.63%	77
The rental income from an ADU	33.05%	78
Increase in the property resell value	38.98%	92
The ability to provide separate living quarters for someone in my family.	53.39%	126
I do not own a home/does not apply to me	22.03%	52
Total Respondents: 236		

Q9 Using a numeric rating from 1 through 4, with 1 being the most effective and 4 being the least effective, please rank the approaches that you think would provide the best options for housing?

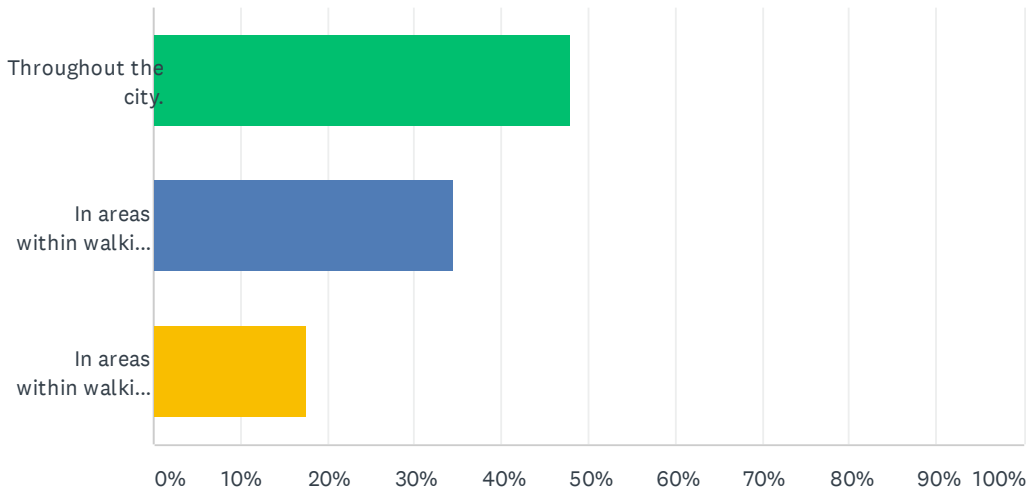
Answered: 257 Skipped: 3



	1	2	3	4	TOTAL	SCORE
Having more housing types available (single family, condominium community, apartment community).	30.17% 73	18.18% 44	25.62% 62	26.03% 63	242	2.52
Financial assistance programs such as rental assistance and down payment assistance programs.	34.69% 85	32.65% 80	20.82% 51	11.84% 29	245	2.90
City to provide incentives for developers to include affordable housing units/workforce housing units within a high-density market-rate rental development.	15.06% 36	24.69% 59	26.36% 63	33.89% 81	239	2.21
Create partnerships with organizations that help people experiencing homelessness find permanent housing.	23.48% 58	23.89% 59	25.10% 62	27.53% 68	247	2.43

Q10 Do you think new housing should be located:

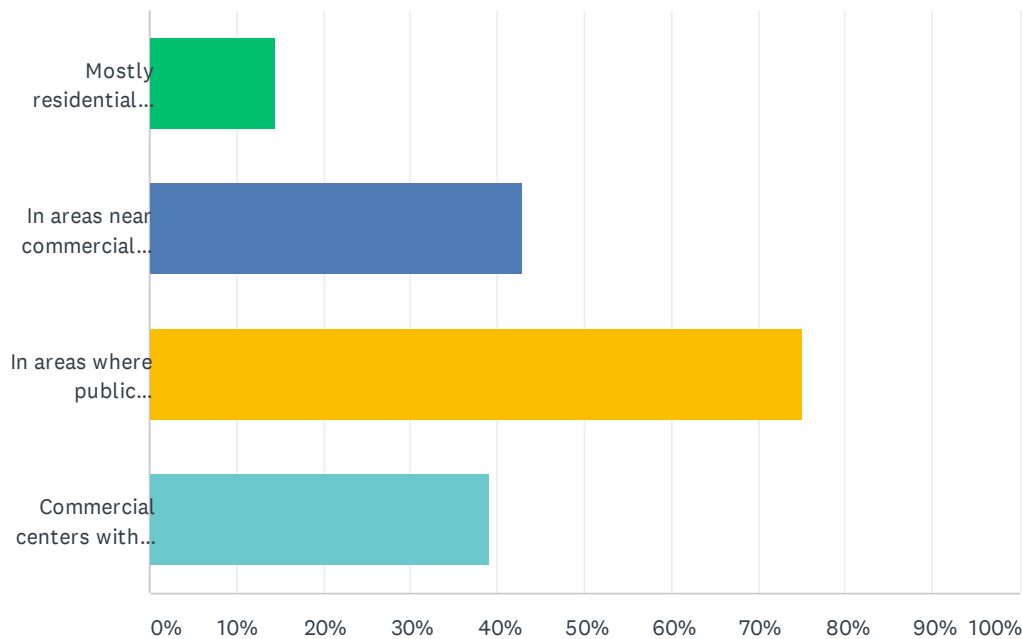
Answered: 246 Skipped: 14



ANSWER CHOICES	RESPONSES	
Throughout the city.	47.97%	118
In areas within walking distance to public transportation (example: Sixth Street, Main Street).	34.55%	85
In areas within walking distance to commercial services.	17.48%	43
TOTAL		246

Q11 Which areas of the City do you think would be better suited for high-density residential involving apartments and/or condominiums? (Select all that apply)

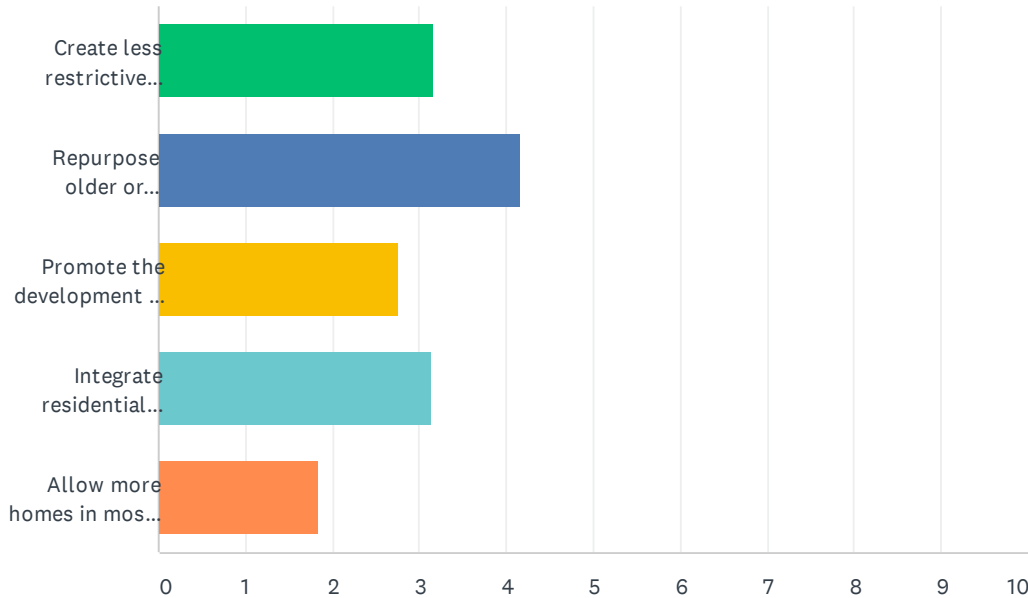
Answered: 250 Skipped: 10



ANSWER CHOICES	RESPONSES	
Mostly residential areas.	14.40%	36
In areas near commercial centers.	42.80%	107
In areas where public transportation is within walking distance.	75.20%	188
Commercial centers with housing integrated (mixed-use).	39.20%	98
Total Respondents: 250		

Q12 The State of California mandates that the City's General Plan Housing Element be periodically updated in order to provide housing opportunities for every income sector of the population. In your opinion, please rank the most effective way the City could provide additional options for housing. One (1) being the most effective and 5 being the least effective.

Answered: 252 Skipped: 8



	1	2	3	4	5	TOTAL	SCORE
Create less restrictive development standards for residential housing that would be developed near commercial centers (example: reduced setbacks, reduce (not eliminate) the amount of space devoted to on-site open space, etc.).	18.91% 45	23.53% 56	24.37% 58	20.17% 48	13.03% 31	238	3.15
Repurpose older or underutilized commercial centers with housing, including an opportunity for residential and commercial mixed use and live/work units.	50.83% 123	24.79% 60	17.77% 43	4.13% 10	2.48% 6	242	4.17
Promote the development of Accessory Dwelling Units (ADU) in existing residential neighborhoods.	10.59% 25	17.80% 42	27.12% 64	27.12% 64	17.37% 41	236	2.77
Integrate residential within the commercial sectors of Downtown, including residential and commercial mixed use and live/work units.	14.69% 36	28.16% 69	21.63% 53	26.12% 64	9.39% 23	245	3.13
Allow more homes in mostly residential areas.	7.00% 17	6.58% 16	7.82% 19	21.40% 52	57.20% 139	243	1.85

Q13 Is there any other feedback you'd like to share with the City of Corona as we update our General Plan Housing Element?

Answered: 106 Skipped: 154

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-2
Stakeholder Workshop Flyer



JOIN US FOR A VIRTUAL STAKEHOLDER WORKSHOP



The City of Corona invites you to participate in an interactive discussion regarding the City's housing needs and programs for the City's 2021-2029 Housing Element update. Please join us to learn more about the update process, strategize potential housing locations, and discuss needs and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

HOW TO REGISTER

Please join us by desktop, tablet, and phone at one or both of the following Zoom meetings (the same information will be provided at each). Meetings will be interactive and conducted online.



TAKE THE SURVEY!



You can also provide input via our survey by March 1, 2021: www.surveymonkey.com/r/2GQMSPR



Tuesday, Feb. 16 at 4 p.m.

<https://us02web.zoom.us/j/85293875221>



Wednesday, Feb. 18 at 11 a.m.

<https://us02web.zoom.us/j/84017205448>

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at Joanne.Coletta@CoronaCA.gov or (951) 736-2434.

www.CoronaCA.gov/GPUUpdate

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

Appendix A-3 Stakeholder Workshop Invitee List

Stakeholder Consultation Matrix

Agency	Type	EMAIL	First	Last	Title	Address	City	Zip Code	Telephone
211 Community Connect	Continuum of Care	mdavis@connectriverside.org	Marie	Davis	CEO/President	2060 University Ave Ste 212	Riverside	92507	(951) 329-4706
AARP California	Services-Elderly	CAAARP@aarp.org	Nancy	McPherson	AARP California State Director				
AARP California	Services-Elderly	FBuzo@aarp.org	Fred	Buzo	Associate State Director				
Alternatives to Domestic Violence Riverside	Services-Victims of Domestic Violence	info@alternativestodv.org							
Avant-Garde Foter Family Agency	Foster Care Agency/Facility	grege@avgffa.org	Greg	Estravit	Executive Director	1655 E. Sixth Street	Corona	92879	(951) 735-5300
Building Industry Association - Riverside Chapter	Business Leader	eo@riversidebia.org	Lou	Monville	President				
C & C Development	Assisted Housing	todd@c-cdev.com	Todd	Cottle	Developer	414 E. Chapman Avenue	Orange	92866	(714) 288-7600
CA Emerging Technology Fund (CETF)	Broadband Advocates	info@cetfund.org	Raquel	Cinat	Associate VP	714 West Olympic Blvd., Ste 924	Los Angeles	90015	(310) 406-6221
California State Assembly (District Office 60)	Government - State	Brad.West@asm.ca.gov	Sabrina	Cervantes	State Representative - District	391 N Main Street, Suite 210	Corona	92878	(951) 371-6860
California State Senate (District Office 31)	Government - State	elizabeth.balistreri@sen.ca.gov	Richard	Roth	State Senator-District 31 Director-Sponsored	3737 Main Street Suit 104	Riverside	92501	(951) 680-6750
California State University San Bernardino	Public Funded Institution	dianet@csusb.edu	Diane	Trujillo	Programs Administration	5500 University Parkway	San Bernardino	92407	(909) 537-3664
Calvary Chapel Corona	Religious								
Casa de la Villa	Assisted Housing	casadelavilla@villageinvestments.net							
City Net Homeless Services	Services-Homeless	OUTREACH@CITYNET.ORG							
City of Lake Elsinore	Government - Local	gtaylor@lake-elsinore.org							
City of Norco - Planning	Government - Local	arobles@ci.norco.ca.us							
City of Riverside	Government - Local	mtaylor@riversideca.gov							
Community Connect Riverside County	Continuum of Care	info@connectriverside.org							
Congregation Beth Shalom Corona	Religious	info@cbsofcorona.org							
Connections Church	Religious	office@connectcorona.com							
Corona Chamber of Commerce	Business Leader	bobby@mychamber.org	Bobby	Spiegel	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350
Corona De Oro & Corona Del Rey		bvasquez@nationalcore.org							
Corona Department of Water and Power	Assisted Housing	aanaya@nationalcore.org							
Corona Friends Church	Water District/Agency	Katie.Hockett@CoronaCa.gov	Kaite	Hockett	Assistant General Manager	400 S Vicentia Avenue	Corona	92882	(951) 279-3601
Corona Homeless Coordinator	Religious	info@coronafriendschurch.org							
Corona Life Services	Services-Homeless	Karen.Roper@CoronaCA.gov							
Corona Norco - YMCA	Services-Health	bbrown@coronalife.org	Buzz	Brown	Executive Director	523 N Main Street	Corona	92880	(951) 272-6138
Corona Norco Interfaith Assoc	Services-Children	gomez@ymcacornor.org	Lorena	Gomez	Associate Exec. Dir.	1331 River Road	Corona	92880	(951) 736-1415
Corona Norco Rescue Mission	Religious	cninterfaithassoc@gmail.com							
Corona Norco Unified School District	Services-Homeless	rod.williams@rescuemission.org	Rod	Williams	Manager	420 Harrison Street	Corona	92882	(951) 493-2091
Corona Norco- United Way	Services-Education	sbuenrostro@cnsud.k12.ca.us	Sam	Buenrostro	Superintendent	2820 Clark Avenue	Norco	92860	(951) 736-5015
Corona Police Department	Services-Victims of Domestic Violence	alia.rodriguez@cnnitedway.org	Ali	Rodriguez	Executive Director	815 W. Sixth Street Suite 200-205	Corona	92882	(951) 736-0620
Corona Regional Medical Center	Government - Local	Police.Admin@coronaca.gov							
Corona Regional Medical Center	Health Agency	linda.pearson@uhsinc.com	Linda	Pearson	Director of Marketing	800 South Main Street	Corona	92882	(951) 737-4343
Behavioral Health Services									
Corona Seventh Day Adventist Church	Mental Health Agency/Facility	isabel.torres@uhfinc.com	Isabel	Torres	Program Assistant	730 Magnolia Avenue	Corona	92879	(951) 736-7208
Corona United Methodist Church	Religious	taber.gary@sbcglobal.net							
Council on Aging	Religious	coronaumc@gmail.com							
County of Riverside Department of Public Social Services - Administrative Department CPA	Services-Elderly	landerson@coasc.org	Libby	Anderson	Director Ombudsman Deputy Director	2 Executive Circle, Suite 175	Irvine	92614	(714) 479-0107
County of Riverside Transportation and Land Management Agency	Child Welfare Agency	chdougl@rivco.org	Charity	Douglas	in Charge	4060 County Circle Drive	Riverside	92503	(951) 358-3003
County of Riverside Veterans' Services	Public Land Agency	jcaballe@rivco.org	Jorge	Caballero	Regional Office Manager	4080 Lemon Street 9th Floor	Riverside	92505	(951) 955-4777
Covenant Life Christian Fellowship	Services - Veterans	jkadnerson@rivco.org	James	Kelly	Assistant Director				
Crossroads Church	Religious	covenantlifecf@gmail.com							
Fair Housing Council of Riverside	Religious	debbie@crossroadschurch.com							
Faith Fellowship Corona	Services-Fair Housing	rosemayes@fairhousing.net	Rose	Mayes	Executive Director	P.O. Box 1068	Riverside	92501	(951) 682-6581
Grace Baptist Church	Religious	faith@faithfellowshipcorona.org							
Greater Corona Hispanic Chamber of Commerce	Religious	gbc2781@gmail.com							
Habitat For Humanity	Business Leader	info@gchcc.com							
Housing Authority of Riverside County	Services-Housing	kmichalak@habitatriverside.org	Kathy	Michalak	Executive Director	2180 Iowa Avenue	Riverside	92507	(951) 787-6754
Inland Empire Women's Business Center	PHA	chui@rivco.org	Cindy	Hui	Principal Dev. Spec.	5555 Arlington Avenue	Riverside	92504	(951) 343-5428
Inland Regional Center	Services-Employment	mskiljan@iewbc.org	Michelle	Skiljan	Executive Director	550 University Parkway	San Bernardino	92407	(909) 322-3445
Inland Vineyard Church	Services-Disabilities	community@inlandrc.org							
Inspire	Religious	office@inlandvineyard.org							
Jamboree Housing Corp	Services - Unaccompanied Youth	kristi@inspirelifefskills.org	Kristi	Perez	Founder/Director	2279 Eagle Glen Pkwy #112-131	Corona	92883	(951) 316-0011
Living Truth Christian Fellowship Corona	Services-Housing	info@jamboreehousing.com							
Local Initiatives Support Corporation	Assisted Housing	MCarroll@lisc.org	Michael	Carroll					

Mary Erickson Community Housing	Assisted Housing	info@maryerickson.org											
Neighborhood Housing Services Inland Empire	Services-Housing	info@nhsie.org											
New Day Christian Fellowship	Religious	admin@newdaycorona.org											
New Hope Family Worship Corona	Religious	pastorron.rk@gmail.com											
Northpoint Evangelical Free Church	Religious	mbalga@northpointcorona.org											
Peace Lutheran Church	Religious	peacelutheran@corona@gmail.com											
Peppermint Ridge	Services-Disabilities	dmccarns@peppermintridge.org	Danette	McCarns	Executive Director	825 Magnolia Ave	Corona	92879	(951) 273-7329				
Presence of the Lord Christian Church	Religious	hevvyrevy@pacbell.net											
Renaissance Christian Church	Religious	info@renaissance-church.com											
Riv County Emergency Management Dept.	Emergency Management Agency	crich@rivco.org	Christina	Rich	Secretary	4210 Riverwalk Parkway Suite 300	Riverside	92505	(951) 358-7100				
Riv. University Health System Public Health	Services-HIV/AIDS	swalton@ruhealth.org	Sheila	Walton	Secretary HIV/STD	P.O.BOX 7600	Riverside	92513	(951) 358-5307				
River Run Senior Apartment	Services-Housing	Valerie.Mixon@Steadfastliving.com											
Riverside County Flood Control and													
Water Conservation District	Floodplain Management Agency	wmcornel@rivco.org	Micheal	Cornelius	Engineer Tech II	1995 Market Street	Riverside	92501	(951) 955-0621				
Riverside County Board of Supervisors	Government - Local	district2@rivco.org	Karen	Spiegel	Supervisor, 2nd District	400 Lemon Street 5th Floor	Riverside	92502	(951) 955-1020				
Riverside County Department of Mental Health	Services-Housing	MHWEB@ruhealth.org											
Riverside County Department of Public Social Services	Continuum of Care	jortego@rivco.org	James	Ortego	Deputy Director	10281 Kidd Street	Riverside	92506	(951) 358-3003				
Riverside County Homelessness Solutions	Services-Homeless	mdavis@riversideca.gov											
Riverside County Housing Authority	Assisted Housing	housing@riversideca.gov											
Riverside County Office of Aging	Services-Elderly	rcaging@rivco.org											
Riverside County Planning Department	Government - Local	planning@rivco.org											
Riverside County Supervisor District 1	Government - Local	district1@rivco.org											
Riverside Economic Development Agency - Housing Division	Services-Housing												
Riverside Housing Development Corporation	Assisted Housing	website@rhdcca.org											
Riverside Transit Authority	Government - Regional	kwarsinski@riversidetransit.com	Kristin	Warsinski	Director of Planning								
		cartagena@scag.ca.gov	Arnold	San Miguel	Regional Affairs Officer								
		sanmiguel@scag.ca.gov	Javiera	Cartagena	Reg. Affairs Manager	1170 W. 3rd Street, Suite 140	San Bernardino	92410	(213) 236-1925				
Southern California Council of Governments (SCAG)	Government - Regional	communityimpact@spectrum.com											
Spectrum	Broadband ISP	staff@tiger.org											
The Inland Gateway Assoc of Realtors	Business Leader	corona@solidlives.com											
The Rock Corona	Religious	chris@thomasmillermortuary.com	Chris	Miller	CEO/President	904 East 6th Street	Corona	92879	(951) 737-3350				
Thomas Miller Mortuary	Business Leader	Marilou.Flores@hud.gov	Marilou	Flores	CPD Representative	300 N. Los Angeles St., Ste 4054	Los Angeles	90012	(213) 534-2574				
U.S. Department of Housing and Urban Development	Government - Federal	trabucoRD@fs.fed.us	Darrell	Vance	District Ranger	1147 E Sixth Street	Corona	92879	(951) 736-1811				
USDA Forest Services	Public Land Agency	Ashley.Arias@CoronaCa.gov	Ashley	Arias	Library Assistant	650 S Main Street	Corona	92882	(951) 279-3746				
Vets Connect Resource Center	Services - Homeless Veterans	klynnm2014@gmail.com	Lynn	Mitchell	Officer	1101 South Main Street	Corona	92882	(815) 954-6706				
Womens Improvement Club	Services-Education												
WRCOG	Government - Regional	cgray@wrcog.us											

CITY OF CORONA HOUSING ELEMENT UPDATE

Appendix A-4
Community Meeting Flyers



JOIN US FOR AN INFORMATIONAL COMMUNITY MEETING

The City of Corona invites you to attend a community meeting on the City's Housing Element Update for Planning Period 2021–2029. Please join us to learn more about the update process, potential housing locations, and opportunities for meeting the City's housing goals (including affordable and special needs housing).

WHAT IS THE HOUSING ELEMENT?

The City of Corona is currently processing an update to its General Plan Housing Element. The City's Housing Element Update is done every 8 years in accordance with State law. The city last updated its Housing Element in 2013. The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community.

For more information please visit:

www.CoronaCA.gov/GPUUpdate

JOIN US ON MAY 27, 2021 AT 6 P.M.

The meeting will be hybrid in-person and online. Please join us in person at the Corona City Hall:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

OR by desktop, tablet, and phone
at the link below
(no registration needed).

[https://coronaca-gov.
zoom.us/j/89030052330](https://coronaca-gov.zoom.us/j/89030052330)

FOR MORE INFORMATION:



Contact Joanne Coletta, Community Development Director
at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.

ACTUALIZACIÓN DEL ELEMENTO DE VIVIENDA DE LA CIUDAD DE CORONA



ÚNASE A NOSOTROS PARA UNA REUNIÓN INFORMATIVA

La Ciudad de Corona le invita a asistir a una reunión comunitaria sobre la Actualización del Elemento de Vivienda de la Ciudad para el Período de planificación 2021-2029. Únase a nosotros para obtener más información sobre el proceso de actualización, posibles viviendas ubicaciones y oportunidades para cumplir con los objetivos de vivienda de la Ciudad (incluyendo las viviendas con necesidades especiales).

¿QUÉ ES EL ELEMENTO DE VIVIENDA?

La Ciudad de Corona está procesando una actualización de su Elemento Vivienda dentro del Plan General de la Ciudad. La Actualización del Elemento de Vivienda se realiza cada 8 años de acuerdo con la ley estatal. La Ciudad actualizó por última vez su Elemento de Vivienda en 2013. El Elemento de Vivienda establece metas, políticas y medidas de implementación para orientar el desarrollo de la vivienda en la ciudad de Corona; lo cual está incluido en el Plan General y describe los planes para satisfacer las necesidades de vivienda actuales y proyectadas para todos los segmentos económicos de la comunidad.

Para mayor información por favor visite:

www.CoronaCA.gov/GPUUpdate

ÚNASE A NOSOTROS EL 27 DE MAYO DEL 2021 A LAS 6 P.M.

La reunión será híbrida en persona y en línea. Por favor únase a nosotros en persona en el Ayuntamiento de Corona:

Council Chambers
400 South Vicentia Avenue
Corona, CA 92882

o por computadora, tableta y teléfono usando el enlace abajo (no es necesario registrarse).

<https://coronaca.gov>
zoom.us/j/89030052330

PARA MAS INFORMACION:



Contacte a Joanne Coletta, Directora de Desarrollo Comunitario al (951) 817-5709 o envíe un correo electronico a CoronaHEUpdate@CoronaCA.gov

Visite la página web anterior para obtener información en español. Para seleccionar español, consulte el menu desplegable en la página web.



Appendix A-5
Letters to Property Owners

COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

XXXX
XXXX
XXXX

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

The City of Corona is currently processing an update to its General Plan Housing Element. The city's Housing Element Update is done every 8 years in accordance with state law. The city last updated its Housing Element in 2013.

The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units. In some cases, if the current zoning of the property does not allow for residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation or an affordable housing overlay zone. An affordable housing overlay zone is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed by the property owner in the future.

You are receiving this letter because your property has been identified as a site that could accommodate residential units. Therefore, your property has been identified as a site to be rezoned or to have an affordable housing overlay zone.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx
(AHO-2) = Affordable Housing Overlay Zone: 36-60 dwelling units/acre						

Although your property has been identified to be rezoned or have an affordable housing overlay zone, it does not require the property owner to construct housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

A community meeting on the Housing Element Update is scheduled on May 27, 2021 at 6:00 p.m. at Corona City Hall.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

Joanne Coletta
Community Development Director

Joanne.Coletta@CoronaCA.gov

Attachment: Housing Element Update Informational Sheet



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CITY OF CORONA
General Plan Housing Element Update for Years 2021-2029

May 18, 2021

Xxxx
Xxxx
Xxxx

RE: Housing Opportunity Sites Identified for the City of Corona Housing Element Update for Planning Period 2021-2029

The City of Corona is currently processing an update to its General Plan Housing Element. The city's Housing Element Update is done every 8 years in accordance with state law. The city last updated its Housing Element in 2013.

The purpose of the Housing Element Update is to identify the city's existing and projected housing need and to plan for housing that would accommodate all economic segments of the population. As part of the planning process for the next 8 years starting in October 2021 and through October 2029, the city has identified properties that could potentially allow a property owner to add housing units to existing residential properties. In some cases, if the current zoning of the property does not allow for additional residential units, the city has identified the property to receive a change of zone (rezone) from the city's current zoning designation.

You are receiving this letter because your property has been identified as a site that could allow additional residential units. Therefore, your property has been identified as a site to be rezoned to allow more than one residential unit on your property.

The below table describes the current zoning and General Plan of your property and the proposed zoning and General Plan.

Property Location	Area Affected	Current General Plan	Current Zoning	Existing Use	Proposed Zoning	Proposed General Plan
Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	Xxxx	xxxx

Although your property has been identified to be rezoned, it does not require the property owner to construct additional housing units. The zoning simply allows the property owner the opportunity to add residential units. To learn more about the city's Housing Element Update, information can be found on the city's website at www.CoronaCA.gov/GPUUpdate. The website will also announce future public meetings on the Housing Element Update. Additionally, an informational sheet on the Housing Element Update has been included with this letter.

A community meeting on the Housing Element Update is scheduled on May 27, 2021 at 6:00 p.m. at Corona City Hall.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

You can also contact Community Development Director Joanne Coletta at (951) 817-5709 or send an email to CoronaHEUpdate@CoronaCA.gov if you have questions.

Sincerely,

Joanne Coletta

Joanne Coletta
Community Development Director

Joanne.Coletta@CoronaCA.gov

Attachment: Housing Element Update Informational Sheet



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

La Ciudad de Corona actualmente está procesando una actualización de su Elemento de Vivienda del Plan General. La actualización del Elemento de Vivienda de la ciudad se realiza cada 8 años de acuerdo con la ley estatal. La última vez que la ciudad actualizó su Elemento de Vivienda fue en el año 2013.

El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales, la ciudad ha identificado la propiedad para recibir un cambio de zona (rezonificación) de la zonificación actual de la ciudad o una zona de superposición de viviendas asequibles. Una zona de superposición de viviendas asequible es una herramienta de zonificación que permite a una ciudad modificar la zonificación actual para permitir o requerir ciertos tipos de desarrollos residencial es en una propiedad sin cambiar el distrito de zonificación subyacente. Esto significa que una parcela que se utiliza actualmente para un uso no residencial, como comercial o industrial y zonificación como tal, puede seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide remodelar el sitio con residencial, se le permitirá que la propiedad tenga uso residencial de acuerdo con las disposiciones establecidas por la superposición de viviendas asequibles. La superposición de viviendas asequibles demuestra dónde se pueden planificar viviendas adicionales si el uso actual de la propiedad es reutilizado por el propietario en el futuro.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría

acomodar unidades residenciales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado o para tener una zona de superposición de viviendas asequibles.

En grafico siguiente describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y Plan General.

Ubicacion de la Propiedad	Area Afectada	Plan General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada o tener una zona de superposición de viviendas asequibles, no requiere que el propietario construya unidades de vivienda. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la Actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Ayuntamiento de Corona
Cámaras del Consejo
Avenida 400 S. Vicentia
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario

Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualizacion del Elemento de Vivienda



COMMUNITY DEVELOPMENT DEPARTMENT
"Promoting and Sustaining Quality Development"

400 S. Vicentia Avenue, Corona, California 92882
Phone: (951) 736-2434
www.CoronaCA.gov

CIUDAD DE CORONA
Actualización del Elemento de Vivienda del Plan General Para Los Años 2021-2029

XXXXXXX
XXXXXXX
XXXXXXX

RE: Sitios de oportunidad de vivienda identificados para la Actualización del Elemento de Vivienda de la ciudad de Corona para el período de planificación 2021-2029

La Ciudad de Corona actualmente está procesando una actualización de su Elemento de Vivienda del Plan General. La actualización del Elemento de Vivienda de la ciudad se realiza cada 8 años de acuerdo con la ley estatal. La última vez que la ciudad actualizó su Elemento de Vivienda fue en el año 2013.

El propósito de la Actualización del Elemento de Vivienda es para identificar la necesidad de vivienda actual y proyectada en la ciudad y planificar viviendas que se adapten a todos los segmentos económicos de la población. Como parte del proceso de planificación para los próximos 8 años a partir de Octubre del 2021 y hasta Octubre del 2029, la ciudad ha identificado propiedades que potencialmente podrían permitir que un propietario agregue unidades de vivienda a las propiedades residenciales existentes. En algunos casos, si la zonificación actual de la propiedad no permite unidades residenciales adicionales, la ciudad ha identificado que la propiedad recibirá un cambio de zona (rezonificación) de la zonificación actual de la ciudad.

Usted está recibiendo esta carta porque su propiedad ha sido identificada como un sitio que podría permitir unidades residenciales adicionales. Por lo tanto, su propiedad ha sido identificada como un sitio para ser rezonificado para permitir más de una unidad residencial en su propiedad.

En grafico siguiente se describe la zonificación actual y el Plan General de su propiedad y la propuesta de zonificación y plan general.

Ubicacion de la Propiedad	Area Afectada	Plant General Actual	Zonificacion Actual	Uso Existente	Zonificacion Propuesta	Propuesta de Plan General

Aunque su propiedad ha sido identificada para ser rezonificada, no requiere que el propietario construya unidades de vivienda adicionales. La zonificación simplemente permite al propietario la oportunidad de agregar unidades residenciales. Para obtener más información sobre la actualización del Elemento de Vivienda de la ciudad, la información se puede encontrar en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate. El sitio web también anunciará futuras reuniones públicas sobre la Actualización del Elemento de Vivienda. Con esta carta se le ha incluido una hoja informativa sobre la Actualización del Elemento de Vivienda.

Una reunión comunitaria sobre la Actualización del Elemento de Vivienda está programada para el 27 de Mayo de 2021 a las 6:00 p.m. en el Ayuntamiento de Corona.

Corona City Hall
Council Chambers
400 S. Vicentia Avenue
Corona, CA 92882

También puede comunicarse con la Directora de Desarrollo Comunitario Joanne Coletta al (951) 817-5709 o enviar un correo electrónico a CoronaHEUpdate@CoronaCA.gov si tiene preguntas.

Atentamente,

Joanne Coletta

Joanne Coletta
Directora de Desarrollo Comunitario
Joanne.Coletta@CoronaCA.gov

Adjunto: Hoja informativa de Actualización del Elemento de Vivienda

Appendix A-6 Property Owners Mailing Labels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
2550 S Main St. Corona, CA 92882 APN 113310005	4.00	MDR (Medium Density Residential; 6-15 dwelling units/acre)	A (Agriculture)	Institutional use and Vacant with a FAR of 0.2	R2 (Low Density Multiple Family Residential)	MDR	CA Assoc. of 7 th Day Adventists PO Box 79990 Riverside, CA 92513
211 S Joy St. Corona, CA 92879 APN 117122002	0.20	MU 1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Vacant	TC with (AHO- 1) overlay	MU1	RCTC Right-of-Way Division 4080 Lemon Street, 3 rd Fl Riverside, CA 92502
904 S Ramona Avenue Corona, CA 92879 APN 117238005	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 570 Central Avenue, J2 Lake Elsinore, CA 92530
912 S Ramona Ave. Corona, CA 92879 APN 117238012	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
901 S Ramona Ave. Corona, CA 92879 APN 117238006	0.21	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO- 1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
615 S Sherman Ave. Corona, CA 92882 APN 110040023	0.39	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 1136 Hummingbird Lane Corona, CA 92882
510 W 6th St Corona, CA 92882 APN 117172002	0.53	MU1 (Mixed Use Commercial & Residential)	TC (Transitional Commercial)	Commercial use with a FAR of 0.5	TC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Property Owner 3066 Greenview Pl Fullerton, CA 92835
1065 Railroad St. Corona, CA 92882 APN 118210041	1.86	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Calvary Chapel Living 1065 Railroad St. Corona, CA 92882
777 S Temescal St. Corona, CA 92879 APN 107050034	1.80	GC (General Commercial)	C2 (Limited Commercial)	Vacant	MP (Mobile Home Park)	HDR (High Density Residential; 15-36 dwelling units/acre)	Corona La Linda 320 N. Park Vista Anaheim, CA 92806
820 S Victoria Ave. Corona, CA 92879 APN 117232002	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Ray Morelli or Current Owner PO Box 6336 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
822 S Victoria Ave. Corona, CA 92879 APN 117232001	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above
801 S Victoria Ave. Corona, CA 92879 APN 117233008	0.17	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Luis Galvan or Current Owner 15311 Van Buren, #1 Midway, CA 92655
724 Barth St. Corona, CA 92879 APN 111042031	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Blanca Camacho or Current Owner 724 Barth St. Corona, CA 92879
730 Barth St. Corona, CA 92879 APN 111042024	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Leon or Current Owner 730 Barth St. Corona, CA 92879
802 Barth St. Corona, CA 92879 APN 111042025	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Rodriguez or Current Owner 802 Barth St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
808 Barth St. Corona, CA 92879 APN 111042026	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jim Schaffer or Current Owner 19121 Bikini Lane Huntington Bch, CA 92646
814 Barth St. Corona, CA 92879 APN 111042027	0.52	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Carlos Morales or Current Owner 814 Barth St. Corona, CA 92879
813 Ford St. Corona, CA 92879 APN 111042013	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leopold Garcia Vaca or Current Owner 813 Ford St. Corona, CA 92879
807 Ford St. Corona, CA 92879 APN 111042014	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	April Wetmur or Current Owner 807 Ford St. Corona, CA 92879
801 Ford St. Corona, CA 92879 APN 111042015	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Parnatda Warasopun Prucha or Current Owner 801 Ford St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
779 Ford St. Corona, CA 92879 APN 111042016	0.50	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Garrison House or Current Owner 825 Magnolia Avenue Corona, CA 92879
716 Barth St. Corona, CA 92879 APN 111042021	0.32	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Lawrence Holmes or Current Owner 716 Barth St. Corona, CA 92879
514 W 6th St. Corona, CA 92882 APN 117172001	0.54	MU1 (Mixed Use Commercial & Residential)	TC	Vacant	TC with (AHO-1) overlay	MU1	City of Corona 400 S. Vicentia Avenue Corona, CA 92882
801 Quarry St. Corona, CA 92879 APN 117281007	0.25	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Market OC or Current Owner 16722 Have Avenue Irvine, CA 92606
805 Quarry St. Corona, CA 92879 APN 117281008	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Damin Vazquez or Current Owner 805 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 Quarry St. Corona, CA 92879 APN 117281010	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Manuel Escobar or Current Owner 901 Quarry St. Corona, CA 92879
907 Quarry St. Corona, CA 92879 APN 117281012	0.21	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Lopez or Current Owner 907 Quarry St. Corona, CA 92879
911 Quarry St. Corona, CA 92879 APN 117281013	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Saucedo or Current Owner 911 Quarry St. Corona, CA 92879
915 Quarry St. Corona, CA 92879 APN 117281014	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	David Evans 12586 Bannock Ct. Apple Valley, CA 92308
919 Quarry St. Corona, CA 92879 APN 117281015	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Albert Castillo or Current Owner 919 Quarry St. Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
923 Quarry St. Corona, CA 92879 APN 117281016	0.22	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 3316 Belgian Drive Norco, CA 92860
1001 Quarry St. Corona, CA 92879 APN 117282005	0.84	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Frank Bachetti or Current Owner 1005 Quarry Street Corona, CA 92879
1019 Quarry St. Corona, CA 92879 APN 117290019	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Jensen Chen or Current Owner 1356 Calbourne Drive Diamond Bar, CA 91789
1023 Quarry St. Corona, CA 92879 APN 117290020	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Gloria Vivanco 1023 Quarry St. Corona, CA 92879
1025 Quarry St. Corona, CA 92879 APN 117290021	0.20	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
904 S Ramona Ave. Corona, CA 92882 APN 117238004	0.17	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Capital Finance 570 Central Avenue, J2 Lake Elsinore, CA 92530
S Main St. Corona, CA 92882 APN 117238007	0.20	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
915 S Main St. Corona, CA 92882 APN 117238016	0.16	OP (Office Professional)	CS (Community Services)	Vacant	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
Railroad St. Corona, CA 92882 APN 117042010	0.35	LI (Light Industry)	M1 (Light Manufacturing)	Vacant	M1 with (AHO-1) overlay	MU2 (Mixed Use Commercial & Industrial)	Eddie Ledesma or Current Owner 919 Ford Street Corona, CA 92879
S Merrill St. Corona, CA 92882 APN 117133004	0.51	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Recreational use (Basketball Court)	MFR (Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Diocese of SB Education & Welfare 1201 E. Highland Avenue San Bernardino, CA 92404
Ford St. Corona, CA 92879	0.29	LDR (Low Density Residential;	R1-7.2 (Single Family Residential)	Single-family residence	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential;	Martin Armas or Current Resident 723 Ford Street

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 111042019		3-6 dwelling units/acre)				6-15 dwelling units/acre)	Corona, CA 92879
6th St. Corona, CA 92882 APN 110020018	0.22	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Blvd. # 110 505 Buena Park, CA 90621
Quarry St. Corona, CA 92879 APN 117281009	0.24	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Antonio Perez 787 Via Felipe Corona, CA 92882
Quarry St. Corona, CA 92879 APN 117281011	0.23	LDR (Low Density Residential; 3-6 dwelling units/acre)	SF (Single Family)	Vacant	R2 (Low Density Multiple Family Residential)	MDR (Medium Density Residential; 6-15 dwelling units/acre)	Leo Serrato 814 Quarry Street Corona, CA 92879
1220 W Ontario Ave. Corona, CA 92880 APN 113020015	2.00	LDR (Low Density Residential; 3-6 dwelling units/acre)	R1-9.6 (Single Family Residential)	Institutional use and Vacant with a FAR of 0.2	R3 (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Evangelical Friends Church Southwest 1220 W Ontario Ave. Corona, CA 92880
905 W 6th St. Corona, CA 92882 APN 118283011	1.50	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Parking lot	CS with (AHO-1) overlay	MU1	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
901 W 6th St. Corona, CA 92882 APN 118283026	0.16	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	Commercial use with a FAR of 0.25	CS with (AHO-1) overlay	MU1	James Favreau or Current Owner 901 W 6th St. Corona, CA 92882
507 S Vicentia Ave. Corona, CA 92882 APN 117340022	0.40	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.4 (Settlement House)	CS with (AHO-1) overlay	MU1	City of Corona
511 S Vicentia Ave. Corona, CA 92882 APN 117340023	0.32	MU1 (Mixed Use Commercial & Residential)	CS (Community Services)	City owned building with a FAR of 0.2 (Residence)	CS with (AHO-1) overlay	MU1	City of Corona
852 W 6th St. Corona, CA 92882 APN 110101012	0.35	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Nariman Rahmon 1110 Portofino Ct, 103 Corona, CA 92881
844 W 6th St. Corona, CA 92882 APN 110101011	0.20	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO-1) overlay	MU1	Frank Tetley PO Box 607 Corona, CA 92878
836 W 6th St. Corona, CA 92882	0.38	MU1 (Mixed Use Commercial)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO-1) overlay	MU1	Martha Tetley PO Box 607 Corona, CA 92878

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110101010		& Residential)					
832 W 6th St. Corona, CA 92882 APN 110101009	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.2	GC with (AHO- 1) overlay	MU1	Roy Medina of Current Owner 832 W 6th St. Corona, CA 92882
828 W 6th St. Corona, CA 92882 APN 110101027	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Salvi Rekhaven 9 Franciscan Place Pomona, CA 91766
826 W 6th St. Corona, CA 92882 APN 110101007	0.11	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO- 1) overlay	MU1	Juan Rivera or Current Owner 826 W 6th St. Corona, CA 92882
820 W 6th St. Corona, CA 92882 APN 110101006	0.21	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.4	GC with (AHO- 1) overlay	MU1	Same as above
816 W 6th St. Corona, CA 92882 APN 110101005	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.5	GC with (AHO- 1) overlay	MU1	Robert Blandi 39665 N. General Kearny Rd. Murrieta, CA 92563

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
812 W 6th St. Corona, CA 92882 APN 110101004	0.18	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1	Fidel Sanchez 615 S. Vicentia Avenue Corona, CA 92882
808 W 6th St. Corona, CA 92882 APN 110101003	0.15	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.25	GC with (AHO-1) overlay	MU1	Same as above
802 W 6th St. Corona, CA 92882 APN 110101001	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.7	GC with (AHO-1) overlay	MU1	William Harty 801 Via Concepcion Riverside, CA 92506
612 S Vicentia Corona, CA 92882 APN 110101002	0.10	MU1 (Mixed Use Commercial & Residential)	GC (General Commercial)	Commercial use with a FAR of 0.6	GC with (AHO-1) overlay	MU1	Javier Arreguin or Current Owner 612 S Vicentia Corona, CA 92882
229 Grand Blvd. Corona, CA 92882 APN 117091022	1.10	GC (General Commercial)	CS (Community Services)	Commercial use and storage with a FAR of 0.25	CS with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Joe Sharifi 20336 San Gabriel Valley Walnut, CA 91789
1341 W 6th St. Corona, CA 92882	0.92	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Oscar Traders Inc 1655 W. 6 th Street, 102

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
118130013						& Residential)	Corona, CA 92882
1335 W 6th St. Corona, CA 92882 APN 118130014	1.02	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1338 W 6th St. Corona, CA 92882 APN 110030004	0.24	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	David Bishop 2019 Sage Avenue Corona, CA 92882
1334 W 6th St. Corona, CA 92882 APN 110030003	0.48	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	SJF Realty PO Box 1806 Corona, CA 92878
1330 W 6th St. Corona, CA 92882 APN 110030008	0.28	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Michael Bradley PO Box 408 Wellington, NV 89444
1865 W 6th St. Corona, CA 92882 APN 102270015	0.77	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Wurtman Prop. PO Box 81782 Bakersfield, CA 93380

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1180 W 6th St. Corona, CA 92882 APN 110040039	0.69	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1(Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way Rancho Cucamonga, CA 91730
1210 W 6th St. Corona, CA 92882 APN 110040042	1.46	GC (General Commercial)	C (Commercial)	Commercial use with a FAR of 0.5	C with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Same as above
1201 E 6th St. Corona, CA 92882 APN 115690013	2.96	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use with a FAR of 0.25	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Pape Prop Inc. 355 Good Pasture Island Eugene, OR 97401
1354 E 6th St. Corona, CA 92882 APN 115090003	3.00	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use with a FAR of 0.1	M1 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Roland Dopozo 2867 Polk Anaheim, CA 92801
511 S Joy St. Corona, CA 91719 APN 117165020	0.52	MU1 (Mixed Use Commercial & Residential)	RO (Residential Office)	Commercial use with a FAR of 0.5	MFR (Multiple Family Residential)	MU1	Pacific Bell 16775 Von Karman Ave., #130 Irvine, CA 92606
1410 E 6th St Corona, CA 92879 APN 107020002	3.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Mobile home park	HDR (High Density Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	La Corona Mobile Home Park 3265 Highland Drive Carlsbad, CA 92008

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1108 E 5th St Corona, CA 92879 APN 117332005	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Janet Walsh 14672 Oak Road Sylmar, CA 91342
6th St Corona, CA 92879 117332006	0.5	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
1111 E 6th St Corona, CA 92879 APN 117332004	0.67	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
5th Street Corona, CA 92879 APN 117332003	0.32	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879 APN 117332007	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Mobile home park	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
6th St Corona, CA 92879	0.17	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Commercial use and parking lot with a FAR of 0.1	MFR (Multiple Family Residential)	HDR (High Density Residential; 15-36	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117332008						dwelling units/acre)	
Circle City Dr. Corona, CA 92879 APN 111290040	0.44	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0	M1 with (AHO- 1) overlay	MU2	Don Tos Inv Partners PO Box 711 Anaheim, CA 92815
Circle City Dr. Corona, CA 92879 APN 111290039	1.71	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Nonvacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290021	1.08	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Carlos & Emma Alvarez Family, LTD Partner 27999 Jefferson Avenue Temecula, CA 92590
Circle City Dr. Corona, CA 92879 APN 111290022	0.77	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above
Circle City Dr. Corona, CA 92879 APN 111290023	0.47	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Vacant	M1 with (AHO- 1) overlay	MU2	Same as above

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E 6th St. Corona, CA 92879 APN 115090024	2.66	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Jim Fletcher 2230 E. Orangethorpe Fullerton, CA 92831
E 6th St. Corona, CA 92879 APN 115090021	1.17	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Industrial use with a FAR of 0 (storage)	M1 with (AHO-1) overlay	MU2	Same as above
E 5th St. Corona, CA 92879 APN 117331006	0.74	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Industrial use with a FAR of 0.1	BP with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	James Patterson PO Box 204 Brea, CA 92822
Peasant View Ave. 1353 W. 6 th Street Corona, CA 92882 APN 118130031	0.49	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Oscar Traders 1655 W. 6 th Street #102 Corona, CA 92882
W 6th St. Corona, CA 92882	0.43	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial)	Mark Sayegh 4165 Robby Circle Corona, CA 92881

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 110030030						& Residential)	
Yorba St. Corona, CA 92882 APN 102290010	0.17	GC (General Commercial)	C3 (General Commercial)	Industrial use with a FAR of 0	C3 with (AHO-2) overlay	MU1 (Mixed Use Commercial & Residential)	Diversified Products International Inc. 1655 W. Sixth #111 Corona, CA 92882
W 6th St. Corona, CA 92879 APN 110040041	1.16	GC (General Commercial)	C (Commercial)	Commercial use and parking lot with a FAR of 0.25	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	YNS Shopping Plaza 11799 Sebastian Way #105 Rancho Cucamonga, CA 91730
6th St. Corona, CA 92882 APN 118283033	0.42	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MF1 (Multiple Family)	Parking lot	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	City of Corona
6th St. Corona, CA 92882 APN 110020008	0.61	GC (General Commercial)	C3 (General Commercial)	Vacant	C3 with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Corona Sun Square 5300 Beach Boulevard #110 505 Buena Park, CA 90621
6th St. Corona, CA 92879	0.27	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	Toura LP 3972 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 115080001						dwelling units/acre)	
E 6th St. Corona, CA 92879 APN 117332015	0.27	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Kim Mihaeng 1133 E. 6 th Street Corona, CA 92879
E 6th St. Corona, CA 92879 117332016	0.33	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-1) overlay	MU1 (Mixed Use Commercial & Residential)	Ozkan Suleyman 1365 W. 6 th Street Corona, CA 92879
44 E Grand Blvd. Corona, CA 92882 APN 117080003	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Carlos Frausto or Current Owner 44 E Grand Blvd. Corona, CA 92882
116 N Victoria Ave. Corona, CA 92882 APN 117080004	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Richard Hernandez 2671 Raven Circle Corona, CA 92882
110 N Victoria Ave. Corona, CA 92882 APN 117080005	0.18	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Lupe Becerra or Current Owner 110 N Victoria Ave. Corona, CA 92882
108 N Victoria Ave.	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential;	David Becerra or Current Owner

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Corona, CA 92882 APN 117080018						15-36 dwelling units/acre)	108 N Victoria Ave. Corona, CA 92882
115 N Victoria Ave. Corona, CA 92882 APN 117080009	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Joe Salgado 676 Green Gate Street Corona, CA 92879
111 N. Victoria Ave. Corona, CA 92882 APN 117080022	0.16	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Mary Lou Shina 6580 Glenroy Street San Diego, CA 92120
101 S Sheridan St. Corona, CA 92882 APN 117070004	0.24	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Onias Acevedo 24943 Greenbriar Ct Corona, CA 92883
103 N. Sheridan St. Corona, CA 92882 APN 117070003	0.17	GC (General Commercial)	GB (Gateway Business Park)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	RCTC property??
63 W Grand Blvd. Corona, CA 92882	0.17	GC (General Commercial)	GB (Gateway Business Park)	Commercial use with a FAR of 0.4	MF (Multiple Family)	HDR (High Density Residential; 15-36	Ken Calvert 63 W Grand Blvd. Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117070005						dwelling units/acre)	
114 N Belle Ave. Corona, CA 92882 APN 117070006	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Monica Perez or Current Owner 114 N Belle Ave. Corona, CA 92882
110 N Belle Ave. Corona, CA 92882 APN 117070007	0.17	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Jose Morales or Current Owner 110 N Belle Ave. Corona, CA 92882
49 W Grand Blvd. Corona, CA 92882 APN 117070013	0.21	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Margarito Camberos or Current Owner 49 W Grand Blvd. Corona, CA 92882
45 W Grand Blvd. Corona, CA 92882 APN 117070014	0.14	GC (General Commercial)	GB (Gateway Business Park)	Single-family residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Abel Huribe or Current Owner 45 W Grand Blvd. Corona, CA 92882
E 8th St. Corona, CA 92882	0.16	LDR (Low Density Residential;	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36	First Congregational Church of Christ 809 Ramona Avenue

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Rezone Parcels

Property Location	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
APN 117232006		3-6 dwelling units/acre				dwelling units/acre)	Corona, CA 92879
E 8th St. Corona, CA 92882 APN 117232005	0.18	LDR (Low Density Residential; 3-6 dwelling units/acre	SF (Single Family)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Same as above
Belle Ave APN 117070036	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Dustin Van Do 6500 E. Carnegie Ave. Anaheim, CA 92807
Belle Ave. APN 117070040	0.14	GC (General Commercial)	GB (Gateway Business)	Vacant	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Pravin Kumar 2519 190 th Street Redondo Bch, CA 90278
111 N. Belle Ave. APN 117070033	0.16	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Belle Ave Property Holdings 819 Baghdady St. Corona, CA 92879
115 N. Belle Ave. APN 11707012	0.17	GC (General Commercial)	GB (Gateway Business)	Single Family Residence	MF (Multiple Family)	HDR (High Density Residential; 15-36 dwelling units/acre)	Christy Chu 10650 Dilo St. El Monte, CA 91731

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311019	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311018	0.17	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Absolute Imaging Inc. 1660 Tamarron Drive Corona, CA 92833
E Blaine St. 92879 APN 119311017	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311016	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Corona South Main Development 211 W. Rincon Street, #108 Corona, CA 92880
E Blaine St. 92879 APN 119311043	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311042	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
E Blaine St. 92879 APN 119311041	0.10	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Vacant	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879
100 E Harrison St. 92879 APN 119311025	1.09	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Restaurant with a FAR of 0.2	MU with (AHO-2) overlay	MU1	S. Gilani 1260 Mountain Ave Norco, CA 92860
209 E Blaine St. 92879 APN 119311015	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.9	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311014	0.07	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
E Blaine St. 92879 APN 119311013	0.04	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.2	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
302 E Harrison St. 92879 APN 119311005	0.53	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.3	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
280 E Harrison St. 92879 APN 119311004	0.35	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.4	MU with (AHO-2) overlay	MU1	Richard Campos 2640 Macadamia Court Chino Hills, CA 91710
240 E Harrison St. 92879 APN 119311003	0.27	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Gerald Deleo 628 Lancer Lane Corona, CA 92879
122 E Harrison St. 92879 APN 119311002	0.97	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.5	MU with (AHO-2) overlay	MU1	Norma Abacherli 646 Ford Street Corona, CA 92879
E Blaine St. 92879 APN 119311040	0.20	MU 1 (Mixed Use Residential & Commercial)	MU (Mixed Use)	Commercial use with a FAR of 0.1	MU with (AHO-2) overlay	MU1	Exhaust Emjeeion Reduction Specialists 301 E. Blaine Street Corona, CA 92879

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
S Smith Ave. 92882 APN 110020012	0.50	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1362 W 6th St. 92882 APN 110030015	3.60	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	RV Storage	R3	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Betty Nicas 351 Ashwood Street Sutherlin, OR 97479
1553 Yorba St. 92882 APN 118050020	0.64	GC (General Commercial)	C3 (General Commercial)	Storage with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Carl Dreager 1553 Yorba St. Corona, CA 92882
1549 Yorba St. 92882 APN 118050019	0.43	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Marlon Dleon 1549 Yorba St. Corona, CA 92882
1545 Yorba St. 92882 APN 118050018	0.65	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Emmanuel Kurkjian 1509 Vandagriff Way Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1539 Yorba St 92882 APN 118050017	0.95	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Nectar Tatian 1539 Yorba St Corona, CA 92882
1535 W 6th St. 92882 APN 118050016	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.1	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Garo Churukian 1535 W 6th St. Corona, CA 92882
W. 6th Street 92882 APN 102290020	4.56	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.5	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1625 W. 6th Street 92882 APN 102290017	1.62	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.2	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882
1541 W. 6th Street 92882 APN 103280001	0.99	GC (General Commercial)	C3 (General Commercial)	Commercial use with a FAR of 0.4	C3 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Diversified Products International, Inc. 1655 W. 6 th Street, # 111 Corona, CA 92882

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
1210 E 6th Street 92879 APN 115080002	0.38	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080041	0.62	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Parking lot	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
1210 E 6th Street 92879 APN 115080012	1.82	MU2 (Mixed Use Commercial & Industrial)	BP (Business Park)	Commercial use and parking lot with a FAR of 0.4	BP with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Woodrow Harpole Corona 3 rd Street 63 W. Grand Blvd Corona, CA 92882
W. 8th St 92881 APN 110040054	0.46	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
W 8th St. 92881 APN 110061005	0.88	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
W 8th St. 92882 APN 110040010	0.20	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	City of Corona
1203 Circle City Dr. 92879 APN 111280005	1.05	HDR (High Density Residential; 15-36 dwelling units/acre)	R3 (Multiple Family Residential)	Vacant	R3 with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
1154 E 6th St. 92879 APN 111280001	2.13	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606
6th St. 92879 APN 111280004	0.90	MU2 (Mixed Use Commercial & Industrial)	GC (General Commercial)	Vacant	GC with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	Toura No. 5 3792 Barranca Pkwy, J425 Irvine, CA 92606

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
92879 APN 111290036	2.31	MU2 (Mixed Use Commercial & Industrial)	M1 (Light Manufacturing)	Commercial use and parking lot with a FAR of 0.1	M1 with (AHO-2) overlay	MU 1 (Mixed Use Residential & Commercial)	State of CA Dept. of Transportation 464 W. 4 th Street, 6 th Floor San Bernardino, CA 92401
1203 W 6th Street APN 118201012	5.59	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
1203 W 6th Street 92882 APN 118183027	2.21	GC (General Commercial)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Cherie Fitschen 1203 W. 6 th Street Corona, CA 92882
8th Street 92882 APN 110040053	2.93	HDR (High Density Residential; 15-36 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Lin Jen Huiwu P.O. Box 14787 Irvine, CA 92623

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

Potential Overlay Rezone for Urban Density Residential (UDR)

Property	Area Affected	Current GP	Current Zoning	Existing Use	Proposed Zoning	Proposed GP	Mailing Information
Pomona Road 92882 APN 118260018	11.31	MDR (Medium Density Residential; 6-15 dwelling units/acre)	MP (Mobile Home Park)	Mobile home park	MP with (AHO-2) overlay	UDR (Urban Density Residential; 36-60 dwelling units/acre)	Corona West Association 320 N. Park Vista Street Anaheim, CA 92806

AHO-1: Affordable Housing Overlay 1 (allows 15-36 du/ac)

AHO-2: Affordable Housing Overlay 2 (allows 36-60 du/ac)

General Plan Housing Element Update

Appendix A-7 Housing Element Webpage and Informational Materials



WHAT IS THE HOUSING ELEMENT?

The Housing Element establishes goals, policies, and implementation measures to guide the development of housing in Corona. It is included in the Corona General Plan and outlines the City's plan to meet existing and projected future housing needs for all economic segments of the community. The purpose is to increase the housing supply and the mix of housing types and provide housing opportunities for all income levels. The Housing Element is mandated by state law to be updated every 8 years.

The Housing Element is governed by California Government Code Article 10.6 [Sections 65580-65589.11]. Pursuant to Section 65588, the Housing Element is required to be periodically updated in accordance with the Regional Housing Needs Assessment (RHNA) cycle administered by the California Department of Housing and Community Development (HCD). HCD is responsible for administering the RHNA to the Metropolitan Planning Organizations in California. The Metropolitan Planning Organization for the southern California region is the Southern California Association of Governments (SCAG). SCAG covers the Counties of Imperial, Los Angeles, Orange, Riverside, San Bernardino and Ventura and a total of 191 cities. In October 2019, HCD issued SCAG a RHNA allocation of 1,341,827 housing units to be planned for in Planning Period 2021-2029.

Housing Element Update Informational Sheet

[Housing Element Update Informational Sheet \(English\)](#)

[Housing Element Update Informational Sheet \(Spanish\)](#)

Upcoming Meetings

[Housing Element Update Community Workshop Flyer \(English\)](#)

[Housing Element Update Community Workshop Flyer \(Spanish\)](#)

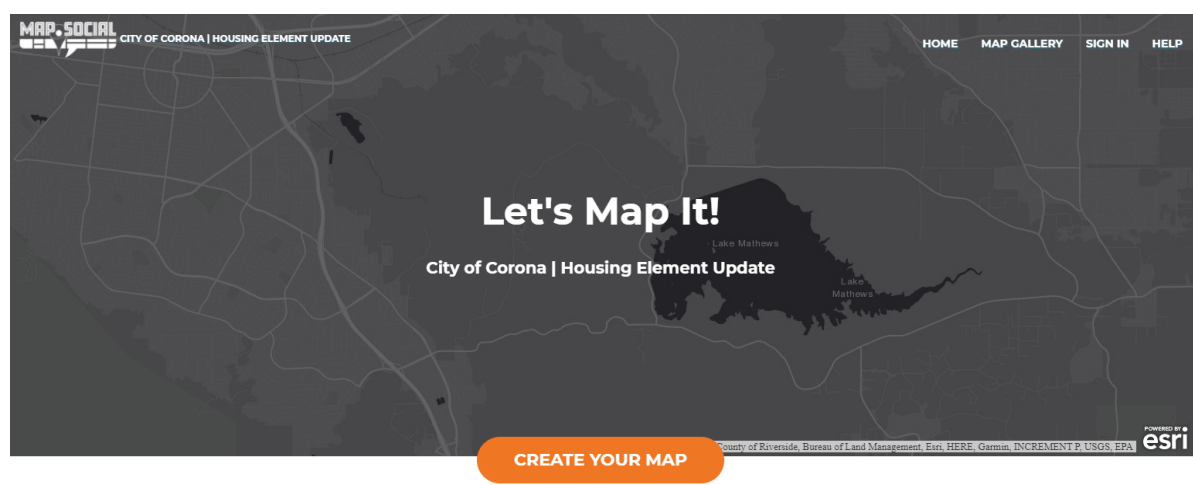
[Housing Element Update Community Workshop - Presentation](#)

Corona City Hall
Corona Council Chambers

Ask Ally

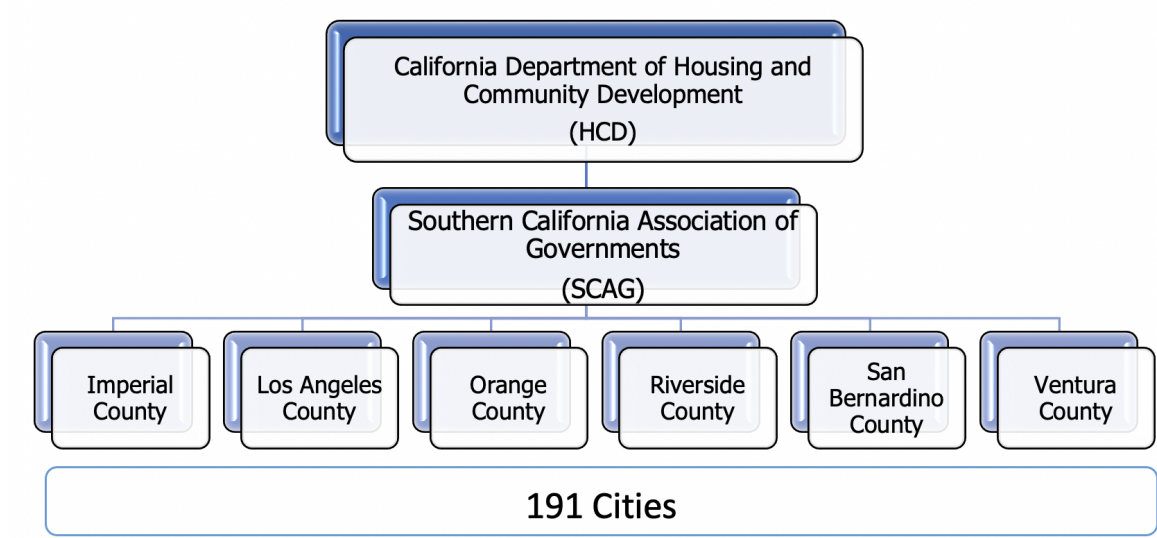


May 27, 2021
6:00 p.m.
Housing Element Update Community Meeting
<https://coronaca.gov.zoom.us/j/89030052330>
In-person attendance is also available in the Council Chambers



[MapSocial](#)

RHNA Allocation Flow Chart



SCAG finalized the RHNA allocation in February 2021 and it resulted in the City of Corona receiving a final RHNA allocation of 6,088 housing units. The following table shows the residential income categories the City is required to plan for in the Housing Element Update.

Ask Ally



Income Category	Number of Units to Accommodate in Planning Period 2021-2029
Very Low Income (31% to 50% AMI)	1752
Low Income (51% to 80% AMI)	1040
Moderate Income (81% to 120% AMI)	1096
Above-Moderate Income (>120% AMI)	2200
Total	6088

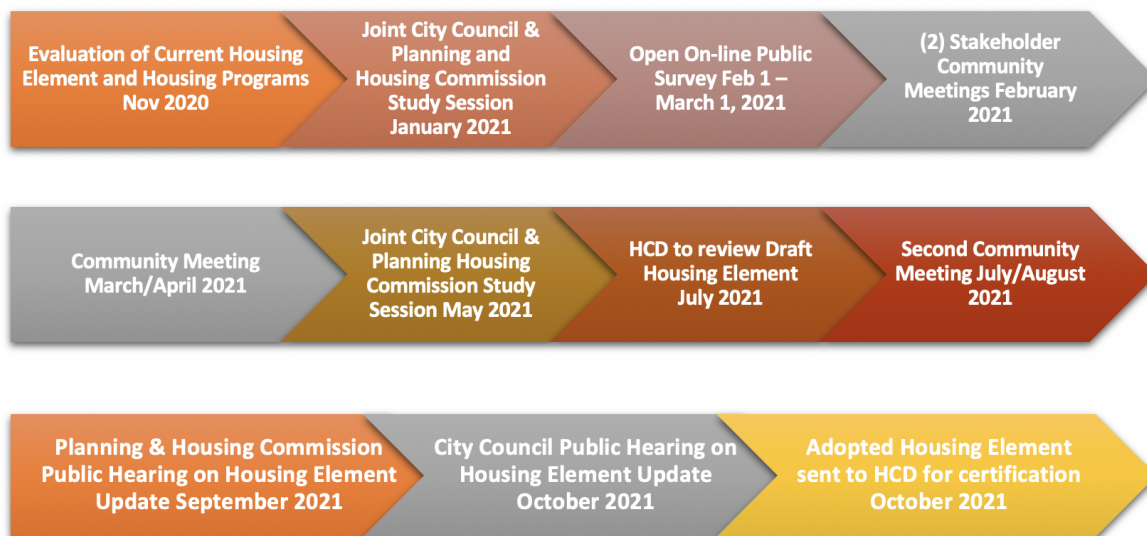
(AMI = Area Median Income)

HOUSING ELEMENT UPDATE PROCESS

The City is in the processing of preparing the Housing Element Update. The process will involve public outreach with community stakeholders and the City's general community. The public outreach process will include participation in the City's housing survey and community meetings. The outreach process will identify a sites inventory analysis of where housing units can be planned in the City for the income categories. The public will also have an opportunity to provide feedback on the inventory sites that may be required to be rezoned to accommodate the income categories.

The California Department of Housing and Community Development (HCD) is also required to review and certify the City's Housing Element to ensure its compliance with state law. The City is required to submit its City Council adopted Housing Element to HCD in October 2021.

HOUSING ELEMENT UPDATE TIMELINE



HOUSING ELEMENT

Ask Ally



[Joint City Council and Planning and Housing Commission Study Session Presentation \(January 27, 2021\)](#)

[Housing Element Update Survey Results](#)

For more information, please email CoronaHEUpdate@CoronaCA.gov.

[California Department of Housing Community Development website](#)



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

What is the Housing Element?

The Housing Element is part of the city's General Plan and is one of the mandatory elements. That means the city is required to have a Housing Element that is consistent with the State's general law. The Housing Element is governed by the California Government Code and is required to be updated every 8 years by the statutory deadline. The Housing Element is responsible for identifying a city's existing and projected housing need; goals, policies and quantified objectives on achieving housing for all economic segments of the population; available financial resources; scheduled programs for the preservation of housing and an identification of adequate housing sites for all economic segments of the community, persons with special needs and emergency shelters.

California Government Code Article 10.6, Sections 65580-65589.11

Why is the Housing Element periodically updated?

The planning period for the Housing Element is 8 years. The city's current Housing Element is for planning period 2013-2021. Pursuant to state law, the city is now updating its Housing Element for Planning Period 2021-2029. The Housing Element planning period aligns with the State's allocation of the Regional Housing Needs Assessment, commonly known as RHNA. The State Department of Housing and Community Development (HCD) assesses the RHNA every 8 years and distributes an allocation of the housing units to the various regions throughout the state. This allocation is eventually distributed across the counties and cities in California to be included in the Housing Element.

How does the city know how many residential units to plan for in the Housing Element?

The RHNA decides the number of residential units the city must plan for in the Housing Element. For the Housing Element Update covering planning period 2021-2029, the city must plan for 6,088 residential housing units.

Which housing income levels is the city required to plan for in the Housing Element Update?

The RHNA specifically identifies the number of residential units required for each economic income segment, which includes very-low, low, moderate and above-moderate incomes. The table below shows the residential units allocated to the City of Corona for each income category.

Income Category based on Area Median Income (AMI)	Number of Units to Accommodate	%
Very Low Income between 31 and 50% AMI	1,752	28.8%
Low Income between 51 and 80% AMI	1,040	17.1%
Moderate Income between 81 and 120% AMI	1,096	18.0%
Above-Moderate Income greater than 120% AMI	2,200	36.1%
Total	6,088	100.0%



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

How does the city demonstrate to HCD that it has enough sites planned for housing?

Included in the city's Housing Element is an inventory of the sites that shows where housing units can be accommodated. The sites must be vacant or underutilized and have potential for development during the eight-year planning period. Some of the sites identified may be already zoned for housing that can accommodate a certain percentage of the RHNA income categories. However, where the city's available sites zoned for residential and mixed use purposes are not adequate to fully meet the city's RHNA, the city would need to rezone sites to plan for housing in accordance with the RHNA allocation. The city's rezoning can include: a) increasing the residential density on property already zoned residential to allow for additional housing units, b) rezoning property from nonresidential to residential; or c) establishing an *affordable housing overlay zone* on currently underutilized properties.

According to HCD's Housing Element Site Inventory Guidebook, an *affordable housing overlay zone* is a zoning tool that allows a city to modify existing zoning to allow for or require certain types of residential development on a parcel without changing the underlying zoning district. This means a parcel currently being used for a non-residential land use, such as commercial or industrial and zoned as such, can continue to be used in accordance with the underlying zoning. However, should the property owner decide to redevelop the site with residential, the site would be allowed to have residential in accordance with the provisions established by the affordable housing overlay. The affordable housing overlay demonstrates where additional housing can be planned should the current use of the property be repurposed in the future.

Does the city build the housing units on the sites that have been identified in the Housing Element?

No. The city does not build housing. New housing is constructed by developers that own property or plan on acquiring property for new housing.

Is the property owner required to build housing on the sites identified within the 8-year planning cycle of the Housing Element?

No. Although the Housing Element identifies enough sites are available in the city to plan for housing and to facilitate the development of affordable multiple family housing by allowing higher density residential in certain areas, it does not mean the property owner is required to build the housing within the next 8 years or any time in the future. The Housing Element is a planning document that enables the city in meeting its housing goals.

How did the city determine the housing opportunity sites?

Aside from the sites already zoned residential or mixed use, the city used the *best practices for selecting sites to accommodate the lower income RHNA* mentioned in HCD's Housing Element Site Inventory Guidebook. These sites are for higher density residential, which are intended to accommodate housing units for lower and moderate-income households. Additionally, the city used the survey results from the city's housing survey issued earlier this year in February 2021. The survey results are available on the city's website at www.CoronaCA.gov/GPUupdate.



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

Per the HCD Site Inventory Guidebook, sites best suited to accommodate the RHNA for lower income households should include factors such as:

- Proximity to transit.
- Access to high performing schools and jobs.
- Access to amenities, such as parks and services.
- Access to health care facilities and grocery stores.
- Locational criteria that meet Low-income Housing Tax Credit Program funding.
- Proximity to available infrastructure and utilities.
- Sites that do not require environmental mitigation.

The city's housing survey also asked, "Which areas of the city do you think would be better suited for high-density residential involving apartments and/or condominiums?" The survey results show 75.20% of the responses favor higher density in areas where public transportation is within walking distance and 42.80% of the responses favor higher density in areas near commercial centers.

When is the city required to rezone the sites identified for rezoning?

The city has 3 years and 120 days from the beginning of the Housing Element planning period to rezone sites to meet the city's shortfall of the RHNA. The planning period begins on October 15, 2021.

How does HCD know if the City has a state compliant Housing Element after it is adopted by the City Council?

The city is required to submit its draft Housing Element to HCD for review. Prior to adoption of the Housing Element, the city must seek HCD comments on the Draft Housing Element. The adopted Housing Element is also required to be submitted to HCD for review. If HCD determines the city's Housing Element was prepared in compliance with state law, HCD will issue a Finding of Substantial Compliance to the city. If HCD determines the city's Housing Element was not prepared in compliance with state law, the city will need to revise the Housing Element based on HCD's comments. The city would need to resubmit the revised Housing Element to HCD. The city would only need to repeat the latter process if the resubmitted Housing Element is not certified by HCD.

HCD has an Accountability and Enforcement Division that is specifically assigned to monitor the compliance of local jurisdictions' housing elements. This division also investigates complaints on local discretionary land use planning decisions that possibly would jeopardize a certified Housing Element. Additionally, cities are required to submit an annual housing progress report to HCD, which includes an inventory of properties that have been rezoned to meet the shortfall in the RHNA.

The Accountability and Enforcement Division was created due to the passage of Assembly Bill (AB) 72 and AB 101. These laws give additional enforcement tools to HCD and the California Attorney General to move forward with legal action against a local jurisdiction if the Housing Element is not compliant with state law. A city is a subdivision of the state and local laws may not conflict with general law. In this case, general law includes the State Planning and Zoning Law and the specific requirements of the Housing Element law. With the adoption of AB 101 (2019), the Attorney General can seek a court order directing a local jurisdiction to bring its Housing Element into compliance. The court can enforce this by imposing



HOUSING ELEMENT UPDATE INFORMATIONAL SHEET

April 2021

finances, appoint a receiver to step in, take the process over from the local jurisdiction and bring the Housing Element into substantial compliance. Additionally, a jurisdiction would become ineligible for certain grants that require a jurisdiction to have a certified Housing Element.



¿Qué es el Elemento de Vivienda?

El Elemento de Vivienda forma parte del Plan General de la ciudad y es uno de los elementos obligatorios. Eso significa que la ciudad está obligada a tener un elemento de vivienda que sea consistente con las leyes general del Estado. El Elemento de Vivienda se rige por el Código del Gobierno de California y debe actualizarse cada 8 años antes de la fecha límite legal. El Elemento de Vivienda es responsable en identificar la necesidad de vivienda existente y proyectada de una ciudad; metas, pólizas y objetivos cuantificados en el logro de la vivienda para todos los segmentos económicos de la población; recursos financieros disponibles; programas programados para la preservación de la vivienda y una identificación de sitios de vivienda adecuados para todos los segmentos económicos de la comunidad, personas con necesidades especiales y refugios de emergencia.

Artículo 10.6 del Código del Gobierno de California, Secciones 65580-65589.11

¿Por qué se actualiza periódicamente el Elemento de Vivienda?

El período de planificación para el Elemento de Vivienda es de 8 años. El Elemento de Vivienda actual de la ciudad es para el período de planificación 2013-2021. En conformidad con la ley estatal, la ciudad está actualizando su Elemento de Vivienda para el Período de Planificación 2021-2029. El período de planificación del Elemento de Vivienda se alinea con la asignación del Estado de la Evaluación de Necesidades de Vivienda Regional, comúnmente conocida como RHNA. El Departamento de Vivienda y Desarrollo Comunitario del Estado (HCD) evalúa el RHNA cada 8 años y distribuye una asignación de las unidades de vivienda a las diversas regiones del estado. Esta asignación se distribuye finalmente entre los condados y ciudades de California para ser incluida en el Elemento de Vivienda.

¿Cómo sabe la ciudad cómo pueden planificar las unidades residenciales en el Elemento de Vivienda?

El RHNA decide el número de unidades residenciales que la ciudad debe planificar en el Elemento de Vivienda. Para la actualización del Elemento de Vivienda para el período de planificación 2021-2029, la ciudad debe planificar 6,088 unidades de viviendas residenciales.

¿Qué niveles de ingresos de vivienda se requiere la ciudad para planificar en la Actualización del Elemento de Vivienda?

El RHNA identifica específicamente el número de unidades residenciales requeridas para cada segmento de ingresos económicos, que incluye ingresos muy bajos, bajos, moderados y más de moderados. La siguiente tabla muestra las unidades residenciales asignadas a la Ciudad de Corona para cada categoría de ingresos.



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Categoría de ingresos basada en ingresos medios de área (AMI)	Número de unidades para acomodar	%
Ingresos muy bajos entre 31 y 50% AMI	1,752	28.8%
Bajos ingresos entre 51 y 80% AMI	1,040	17.1%
Ingreso moderado entre 81 y 120% AMI	1,096	18.0%
Ingresos más de moderados superiores al 120% AMI	2,200	36.1%
total	6,088	100.0%

¿Cómo demuestra la ciudad a HCD que tiene suficientes sitios planeados para vivienda?

El Elemento de Vivienda de la ciudad incluye un inventario de los sitios que muestran donde se pueden acomodar las unidades de vivienda. Los sitios deben estar vacíos o subutilizados y tener potencial de desarrollo durante el período de planificación de 8 años. Algunos de los sitios identificados tal vez pueden estar zonificados para viviendas que pueden acomodar un cierto porcentaje de las categorías de ingresos de RHNA. Sin embargo, cuando los sitios disponibles de la ciudad están ubicados en zonas para propósitos residenciales y de uso mixto y no sean adecuadas para cumplir plenamente con la RHNA de la ciudad, la ciudad necesitaría resinificar los sitios para planificar viviendas de acuerdo con la asignación de RHNA. La rezonificación de la ciudad puede incluir: a) aumentar la densidad residencial en las propiedades ya zonificados residencial para permitir unidades de vivienda adicionales, b) rezonificación de propiedades que actualmente no son residenciales a residenciales; o c) establecer una *zona de superposición de vivienda asequible* en propiedades actualmente infrautilizado.

De acuerdo con la guía de inventario del sitio del Elemento de Vivienda de HCD, una *zona de viviendas económicas* es una herramienta de zonificación que permite a una ciudad modificar las zonas existentes para permitir o requerir ciertos tipos de desarrollo residencial sin cambiar el distrito de zonificación subyacente. Esto significa que propiedades que actualmente se utilizan para usos no residenciales, como comerciales o industriales zonificados como tal, pueden seguir utilizándose de acuerdo con la zonificación subyacente. Sin embargo, si el propietario decide desarrollar el sitio con usos residenciales, se permitiría que el sitio tenga usos residenciales de acuerdo con las disposiciones establecidas por la superposición de vivienda asequible. La superposición de vivienda asequible demuestra dónde se pueden planificar viviendas adicionales si se reutiliza el uso actual de la propiedad en el futuro.

¿La ciudad construye las unidades de vivienda en los sitios que han sido identificados en el Elemento de Vivienda?

No. La ciudad no construye viviendas. Las viviendas nuevas son construidas por desarrolladores que tienen propiedades o planean adquirir propiedades para nuevas viviendas.

¿Se requiere que el dueño de la propiedad construya viviendas en los sitios identificados dentro del ciclo de planificación de 8 años del Elemento de Vivienda?



No. Aunque el Elemento de Vivienda identifica suficientes sitios disponibles en la ciudad para planificar viviendas y facilitar el desarrollo de viviendas multifamiliares asequibles al permitir una mayor densidad residencial en ciertas áreas, esto no significa que el dueño de la propiedad esté obligado a construir la vivienda en los próximos 8 años o en cualquier momento en el futuro. El Elemento de Vivienda es un documento de planificación que habilita la ciudad en el cumplimiento de sus objetivos de vivienda.

¿Cómo determinó la ciudad los sitios de oportunidades de viviendas?

Aparte de los sitios ya establecidos en zonas residenciales o de uso mixto, la ciudad utilizó las *mejores prácticas para seleccionar sitios para acomodar los ingresos más bajos RHNA* mencionados en la guía de inventario del sitio del Elemento de Vivienda de HCD. Estos sitios son para viviendas de mayor densidad, que están destinadas para acomodar unidades de vivienda para hogares de ingresos bajos y moderados. Además, la ciudad utilizó los resultados de la encuesta de vivienda de la ciudad, realizado a principios de este año en Febrero del 2021. Los resultados de la encuesta están disponibles en el sitio web de la ciudad en www.CoronaCA.gov/GPUUpdate.

Identificado en la guía de inventario del sitio de HCD, los sitios más adecuados para acomodar el RHNA para los hogares de menores ingresos deben incluir factores como:

- Proximidad al tránsito.
- Acceso a escuelas y trabajos de alto rendimiento.
- Acceso a comodidades, como parques y servicios.
- Acceso a centros de salud y supermercados.
- Criterios de ubicación que cumplen con los fondos del Programa de Crédito Tributario de Vivienda de Bajos Ingresos.
- Proximidad a la infraestructura y los servicios públicos disponibles.
- Sitios que no requieren mitigación ambiental.

La encuesta de vivienda de la ciudad también preguntó: "¿Qué áreas de la ciudad crees que serían más adecuadas para residenciales de alta densidad que involucran apartamentos y/o condominios?" Los resultados de la encuesta muestran que el 75.20% de las respuestas favorecen una mayor densidad en las zonas donde el transporte público está a poca distancia y el 42.80% de las respuestas favorece una mayor densidad en áreas cercanas a los centros comerciales.

¿Cuándo se requiere que la ciudad rezonifique los sitios identificados para la rezonificación?

La ciudad tiene 3 años y 120 días desde el comienzo del período de planificación del Elemento de Vivienda para rezonificar los sitios para satisfacer el déficit de la ciudad del RHNA. El período de planificación comienza el 15 de Octubre de 2021.

¿Cómo sabe HCD si la ciudad tiene un Elemento de Vivienda que cumple con el Estado después de que sea adoptado por el Ayuntamiento?

La ciudad está obligada a presentar su proyecto de Elemento de Vivienda a HCD para su revisión. Antes de la adopción del Elemento de Vivienda, la ciudad debe buscar comentarios de HCD sobre el proyecto de



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Elemento de Vivienda. El elemento de vivienda adoptado también está obligado a ser presentado al HCD para su revisión. Si el HCD determina que el Elemento de Vivienda de la ciudad fue preparado de acuerdo con las leyes estatales, HDC emitirá una Constatación de Cumplimiento Sustancial a la ciudad. Si el HCD determina que el Elemento de Vivienda de la ciudad no fue preparado de acuerdo con la ley estatal, la ciudad tendrá que revisar el Elemento de Vivienda basado en los comentarios de HCD. La ciudad tendría que volver a enviar el Elemento de Vivienda revisado a HCD. La ciudad sólo necesitaría repetir este último proceso si el Elemento de Vivienda reenviado no está certificado por HCD.

HCD tiene una División de Rendición de Cuentas y Cumplimiento que se asigna específicamente para supervisar el cumplimiento de los elementos de vivienda de las jurisdicciones locales. Esta división también investiga las quejas sobre las decisiones locales discrecionales de planificación del uso del suelo que posiblemente pondrían en peligro un elemento de vivienda certificado. Además, las ciudades están obligadas a presentar un informe anual sobre el progreso de la vivienda a HCD, que incluye un inventario de las propiedades que se han rezonificado para cubrir el déficit en el RHNA.

La División de Responsabilidad y Cumplimiento se creó debido al paso de proyecto de ley (AB) 72 y AB 101. Estas leyes dan herramientas de aplicación adicionales a HCD y al Fiscal General de California para avanzar en acciones legales contra una jurisdicción local si el Elemento de Vivienda no cumple con la ley estatal. Una ciudad es una subdivisión del estado y las leyes locales no pueden entrar en conflicto con la Ley general. En este caso, la ley general incluye la Ley de Planificación y Zonificación del Estado y los requisitos específicos de la Ley de Elemento de Vivienda. Con la adopción de AB 101 (2019), el Fiscal General puede solicitar una orden judicial que ordene a una jurisdicción local que cumpla con su Elemento de Vivienda. El tribunal puede hacer cumplir esto imponiendo multas, nombrar un receptor para intervenir, tomar el proceso de la jurisdicción local y poner el Elemento de Vivienda en cumplimiento sustancial. Además, una jurisdicción pasaría a ser inelegible para ciertas subvenciones que requieren una jurisdicción que tenga un Elemento de Vivienda certificado.

Appendix B

SITES INVENTORY

Vacant and Underutilized Sites

Table A: Housing Element Sites Inventory, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
																			Improvement-To-Land Ratio	Structure Age	
CORONA	Prairie Cir.	92881	11610059J CA		RR Z	R1A	0.5	1	10.11 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Crown Ranch Rd	92881	11615003J RR		RR Z	R1A/HU	0.5	1	2.94 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Hidden Springs Dr	92881	11612003B AG		RR Z	R1A/HU	0.5	1	0.77 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	S Main St	92882	116190002 X		RR Z	R1A/HU	1	1	59.72 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	44	44	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.81 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.82 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS		RR Z	R1A	1.47	1	0.87 Vacant	YES - Current		NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Jameson Dr	92881	11612008J CS	</																	

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
CORONA	Casper Cir.	92881	1163100/8 BL	ER	R1A	RI-1	1	3	1.14	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1151 Casper Cir.	92881	1163100/38	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/72 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/73 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/74 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/75 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/76 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/77 CA	ER	R1A	RI-1	1	3	0.92	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Casper Cir.	92881	1163100/83 CB	ER	R1A	RI-1	1	3	0.94	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1258 Annin Cir.	92881	1163300/09	ER	R1A	RI-1	1	3	0.85	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Chase Dr.	92882	1172400/25	LDR	R1-1	RI-1	1	3	0.5	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Chase Dr.	92882	1172500/04	LDR	R1-1	RI-1	1	3	0.68	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/5 Y	LDR	A-14.4	RI-1	1	3	1.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	San Jacinto Dr.	92879	1150400/51 Y	LDR	A-14.4	RI-1	1	3	0.67	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1416 Pleasant View Ave.	92882	1181130/11 AM	LDR	RI-1/2	RI-1/2	1	3	0.09	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Pleasant View Ave.	92882	1181130/22 AM	LDR	RI-1/2	RI-1/2	1	3	1.47	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/07 AQ	LDR	A-14.4	RI-1	1	3	2.07	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	Mesa Dr.	92879	1221800/15 AQ	LDR	A-14.4	RI-1	1	3	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/31 AS	LDR	RI-8.4	RI-8.4	1	3	2.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	6	6	0.00	N/A		
CORONA	Corona Ave.	92879	1221800/32 AS	LDR	A-14.4	RI-1	1	3	1.47	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	W Football Pkwy.	92882	1172400/46	LDR	RI-9.6	RI-9.6	1	4	1.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	2217 S Lincoln Ave.	92882	1131400/16 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Lincoln Ave.	92882	1131400/18 W	LDR	RI-9.6	RI-9.6	3	4.5	0.27	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Byrd Ave.	92882	1122010/11 V	LDR	RI-8.4	RI-8.4	3	5	4.51	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	12	12	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152510/14 C	LDR	SP-6	SP-6	3	6	0.32	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1150400/39 C	LDR	A	A	3	6	11.4	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	51	51	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152000/04 C	LDR	A	A	3	6	3	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	755 John Cir.	92882	1122100/84	LDR	RI-8	RI-8	3	6	3.36	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	W Football Pkwy.	92882	1132220/20	LDR	WF	WF	3	6	0.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	Miguel St.	92882	1194010/20	LDR	SP-6	SP-6	3	6	0.84	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92882	1171010/02	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	206 S Sheridan St.	92879	1171130/07	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	205 S Victoria Ave.	92879	1171120/02	LDR	SP-6	SP-6	3	6	0.18	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	310 S Victoria Ave.	92879	1171130/10	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	401 S Victoria Ave.	92879	1171130/05	SP	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	507 E 5th St.	92879	1171620/05	LDR	SP-6	SP-6	3	6	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1050 W 5th St.	92879	1171280/15	LDR	SP-6	SP-6	3	6	0.16	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172800/09	LDR	SP-6	SP-6	3	6	0.24	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Quarry St.	92879	1172801/11	LDR	SP-6	SP-6	3	6	0.23	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	E Parkside Ave.	92879	1152010/26	LDR	RI-8	RI-8	3	6	1.44	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/10	LDR	RI-1	RI-1	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Skilling Dr.	92882	1172300/16	LDR	RI-1/2	RI-1/2	3	6	0.69	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1263 S Lincoln Ave.	92882	1101300/42	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	945 W Kendall St.	92882	1102300/16	LDR	RI-1/2	RI-1/2	3	6	0.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Citron St.	92882	1101300/31	LDR	RI-1/2	RI-1/2	3	6	4.72	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	16	16	0.00	N/A		
CORONA	Bahadady St.	92879	1083610/47	LDR	SP-8	SP-8	3	6	0.57	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Rainbow St.	92882	1171020/01	LDR	RI-1/2	RI-1/2	3	6	0.49	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	142 N Victoria Ave	92882	1182900/43	MOR	K3	K3	6	15	0.46	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	5	5	0.00	N/A		
CORONA	S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	1.51	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	33	33	0.00	N/A		
CORONA	124 S Sherman Ave.	92882	1181010/14	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	449 River Rd.	92880	1190810/12	HDR	K3	K3	15	36	0.42	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	11	11	0.00	N/A		
CORONA	100 S Sherman Ave.	92882	1182110/20	HDR	K3	K3	15	36	0.45	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	38	38	0.00	N/A		
CORONA	Temescal Canyon Rd.	92883	1821120/01	HDR	K3	K3	15	36	2.21	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	57	57	0.00	N/A		
CORONA	231 Violet St.	92882	1182420/23	MOR	K3-1/2	K3-1/2	3	6	0.35	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	135 N Victoria Ave.	92882	11710310/17	MOR	K3-1/2	K3-1/2	3	6	0.37	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	147 N Victoria Ave.	92882	1170310/30	MOR	RI-1/2	RI-1/2	3	6	0.37	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Fullerton Ave.	92881	1208510/80	MOR	MOR	MOR	6	15	1.4	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	201 Violet St.	92882	1182600/04 AU	MOR	K3	K3	6	15	0.2	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	Violet St.	92882	1182600/05 AU	MOR	K3	K3	6	15	0.15	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	Violet St.	92882	1182600/06 AU	MOR	K3	K3	6	15	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	1043 Circle City Dr.	92879	1173200/36	HDR	K3	K3	15	36	0.14	Vacant	YES - Current	YES - City-Owned Available	Not Used in Prior Housing Element	0	0	1	1	0.00	N/A		
CORONA	506 S Sherman Ave.	92882	1173400/05	MOR	U	U	15	36	0.1	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	2	2	0.00	N/A		
CORONA	1113 Circle City Dr.	92879	1173400/10	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	3	3	0.00	N/A		
CORONA	1210 S St.	92882	1183100/08	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	4	4	0.00	N/A		
CORONA	815 S Sherman Ave.	92882	1101200/17	HDR	K-3	K-3	15	36	1.22	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	32	32	0.00	N/A		
CORONA	E St.	92882	1181830/06 AN	HDR	K3	K3	15	36	0.89	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	16	0	0	16	0.00	N/A		
CORONA	E St.	92882	1181830/12 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	2	0	0	2	0.00	N/A		
CORONA	E St.	92882	1181830/23 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	2	0	0	2	0.00	N/A		
CORONA	E St.	92882	1181830/24 AN	HDR	K3	K3	15	36	0.17	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	4	0	0	4	0.00	N/A		
CORONA	W 2nd St.	92882	1182700/25	MOR	RI-1	RI-1	15	36	4.01	Vacant	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	108	108	0.00	N/A		
CORONA	151 N Merrill St.	92882	1170420/13 BU	MOR	K2	K2	6	15	0.17	Residential (1)	YES - Current	NO - Privately-Owned Available	Not Used in Prior Housing Element	0	0	1	1	2.64	1928		
CORONA	825 N Main St.	92879	1221200/08 BU	MU-1	MU-1	MU-1	15	35	1												

Appendix B-2 Sites to be Rezoned

Table B: Candidate Sites Identified to be Rezoned to Accommodate Shortfall Housing Need, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
																			Consolidated S	Improve nt-To-Land Ratio	Year Built
CORONADO	2550 S Main St.	92882	113310005	0	0	45	0	Shortfall of Site	4.00	MDR	A	MDR	R2	6	15	45	Non-Vacant	Industrial (FAR: 0.2) - Church complex, very large parking lot, and industrial		0.00	1979
CORONADO	777 S Temescal St.	92879	107050034	0	0	20	0	Shortfall of Site	1.80	GC	C2	HDR	MP	6	15	20	Vacant	Vacant		0.00	N/A
CORONADO	820 S Victoria Ave.	92879	117232002	0	0	1	0	Shortfall of Site	0.17	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CX	2.21	1936
CORONADO	822 S Victoria Ave.	92879	117232001	0	0	1	0	Shortfall of Site	0.18	LDR	SF	MDR	MFR	6	15	1	Non-Vacant	Residential (1) - Home adjacent to large empty grass area, Occupied	CX	0.00	1948
CORONADO	801 S Victoria Ave.	92879	117233008	0	0	2	0	Shortfall of Site	0.17	LDR	SF	MDR	MFR	6	15	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available		1.44	1900
CORONADO	724 Barth St.	92879	111042031	0	0	4	0	Shortfall of Site	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.58	1932
CORONADO	730 Barth St.	92879	111042024	0	0	4	0	Shortfall of Site	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.63	1934
CORONADO	802 Barth St.	92879	111042025	0	0	4	0	Shortfall of Site	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.65	1920
CORONADO	808 Barth St.	92879	111042026	0	0	4	0	Shortfall of Site	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	4.00	1927
CORONADO	814 Barth St.	92879	111042027	0	0	4	0	Shortfall of Site	0.52	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.60	1926
CORONADO	813 Ford St.	92879	111042013	0	0	4	0	Shortfall of Site	0.51	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	1.82	1927
CORONADO	807 Ford St.	92879	111042014	0	0	4	0	Shortfall of Site	0.50	LDR	R1-7.2	MDR	R2	6	15	4	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	2.00	1928
CORONADO	801 Ford St.	92879	111042015	0	0	5	0	Shortfall of Site	0.51	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, back lot house with large yard	CY	3.92	1981
CORONADO	779 Ford St.	92879	111042016	0	0	5	0	Shortfall of Site	0.50	LDR	R1-7.2	MDR	R2	6	15	5	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	3.31	N/A
CORONADO	716 Barth St.	92879	111042011	0	0	2	0	Shortfall of Site	0.32	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.00	1941
CORONADO	801 Quarry St.	92879	117281007	0	0	1	0	Shortfall of Site	0.25	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Large front and back lot, Existing utilities available	CE	1.65	2004
CORONADO	805 Quarry St.	92879	117281008	0	0	1	0	Shortfall of Site	0.24	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.00	1973
CORONADO	901 Quarry St.	92879	117281010	0	0	1	0	Shortfall of Site	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	4.70	1957
CORONADO	907 Quarry St.	92879	117281012	0	0	1	0	Shortfall of Site	0.21	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	0.82	1944
CORONADO	911 Quarry St.	92879	117281013	0	0	1	0	Shortfall of Site	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	3.92	1960
CORONADO	915 Quarry St.	92879	117281014	0	0	1	0	Shortfall of Site	0.23	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	2.09	1942
CORONADO	919 Quarry St.	92879	117281015	0	0	1	0	Shortfall of Site	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.40	1958
CORONADO	923 Quarry St.	92879	117281016	0	0	1	0	Shortfall of Site	0.22	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CE	1.70	1962
CORONADO	1001 Quarry St.	92879	117282005	0	0	9	0	Shortfall of Site	0.84	LDR	SF	MDR	R2	6	15	9	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	0.10	1940
CORONADO	1019 Quarry St.	92879	117290019	0	0	1	0	Shortfall of Site	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.25	1943
CORONADO	1023 Quarry St.	92879	117290020	0	0	1	0	Shortfall of Site	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	3.20	1958
CORONADO	1025 Quarry St.	92879	117290021	0	0	1	0	Shortfall of Site	0.20	LDR	SF	MDR	R2	6	15	1	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CF	2.66	1945
CORONADO	S Merrill St.	92882	117133004	0	0	5	0	Shortfall of Site	0.51	LDR	SF	MDR	MFR	6	15	5	Non-Vacant	Recreational		0.18	N/A
CORONADO	Ford St.	92879	111042019	0	0	2	0	Shortfall of Site	0.29	LDR	R1-7.2	MDR	R2	6	15	2	Non-Vacant	Residential (1) - Home, Occupied, Existing utilities available	CY	0.20	N/A
CORONADO	Quarry St.	92879	117281009	0	0	2	0	Shortfall of Site	0.24	LDR	SF	MDR	R2	6	15	2	Non-Vacant	Vacant	CE	0.00	N/A
CORONADO	Quarry St.	92879	117281011	0	0	2	0	Shortfall of Site	0.23	LDR	SF	MDR	R2	6	15	2	Vacant	Vacant	CE	0.00	N/A
CORONADO	6th St.	92882	118283033	0	0	11	0	Shortfall of Site	0.42	MDR	MF1	HDR	MFR	15	36	11	Non-Vacant	Parking lot		0.00	N/A
CORONADO	6th St.	92879	115080001	0	0	7	0	Shortfall of Site	0.27	MU2	BP	HDR	MF	15	36	7	Vacant	Vacant		0.00	N/A
CORONADO	44 E Grand Blvd.	92882	117080003	0	0	3	0	Shortfall of Site	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.11	1907
CORONADO	116 N Victoria Ave.	92882	117080004	0	0	3	0	Shortfall of Site	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	3.05	1910
CORONADO	110 N Victoria Ave.	92882	117080005	0	0	3	0	Shortfall of Site	0.18	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	1.73	1981
CORONADO	108 N Victoria Ave.	92882	117080018	0	0	3	0	Shortfall of Site	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CM	2.17	1951
CORONADO	115 N Victoria Ave.	92882	117080009	0	0	4	0	Shortfall of Site	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	1.22	1895
CORONADO	111 N Victoria Ave.	92882	117080022	0	0	3	0	Shortfall of Site	0.16	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CN	0.94	1928
CORONADO	101 S Sheridan St.	92882	117070004	0	0	4	0	Shortfall of Site	0.24	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (2) - Occupied, Existing utilities available	CO	4.71	1925
CORONADO	103 N Sheridan St.	92882	117070003	0	0	4	0	Shortfall of Site	0.17	GC	GB	HDR	MF	15	36	4	Non-Vacant	Vacant	CO	0.00	N/A
CORONADO	114 N Belle Ave.	92882	117070006	0	0	3	0	Shortfall of Site	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CP	2.29	1961
CORONADO	110 N Belle Ave.	92882	117070007	0	0	3	0	Shortfall of Site	0.17	GC	GB	HDR	MF	15	36	3	Non-Vacant	Residential (1) - Occupied home, potentially vacant plot separate	CP	1.57	1912
CORONADO	49 W Grand Blvd.	92882	117070013	0	0	4	0	Shortfall of Site	0.21	GC	GB	HDR	MF	15	36	4	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	3.57	1947
CORONADO	45 W Grand Blvd.	92882	117070014	0	0	2	0	Shortfall of Site	0.14	GC	GB	HDR	MF	15	36	2	Non-Vacant	Residential (1) - Occupied, Existing utilities available	CQ	1.64	1954
CORONADO	E 8th St.	92882	117232006	0	0	4	0	Shortfall of Site	0.16	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
CORONADO	E 8th St.	92882	117232005	0	0	4	0	Shortfall of Site	0.18	LDR	SF	HDR	MF	15	36	4	Vacant	Vacant	DE	0.00	N/A
CORONADO	312 S Merrill St.	92882	117092007	0	0	14	0	Shortfall of Site	0.52	LDR	SF	HDR	MF	15	36	14	Non-Vacant	Commercial (FAR: 0.4) - Youth Organization (YMCA Youth Center at Merrill)		3.00	N/A
CORONADO	1220 W Ontario Av	92880	113020015	27	27	0	0	Shortfall of Site	2.00	LDR	R1-9.6	HDR	R3	15	36	54	Non-Vacant	Institutional (FAR: 0.1) - Church building with large parking lot, adjacent to		1.36	2002
CORONADO	551 S Joy St.	91719	117165020	7	7	0	0	Shortfall of Site	0.52	MU1	RO	MU1	MFR	15	36	14	Non-Vacant	Commercial (FAR: 0.5) - Strip mall with parking lot, Existing utilities available		0.00	N/A
CORONADO	1410 E 6th St.	92879	107020002	26	27	0	0	Shortfall of Site	3.82	BP	MU2	HDR	HDR	15	36	53	Non-Vacant	Mobile home park		3.77	N/A
CORONADO	1108 E 5th St.	92879	117332005	1	2	0	0	Shortfall of Site	0.50	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.91	N/A
CORONADO	6th St.	92879	117332006	4	4	0	0	Shortfall of Site	0.50	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.23	N/A
CORONADO	1111 E 6th St.	92879	117332004	4	4	0	0	Shortfall of Site	0.67	GC	MU2	HDR	MFR	15	36	8	Non-Vacant	Mobile home park	DG	0.55	N/A
CORONADO	5th Street	92879	117332003	2	1	0	0	Shortfall of Site	0.32	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.00	N/A
CORONADO	6th St.	92879	117332007	2	1	0	0	Shortfall of Site	0.17	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Mobile home park	DG	0.00	N/A
CORONADO	6th St.	92879	117332008	2	1	0	0	Shortfall of Site	0.17	GC	MU2	HDR	MFR	15	36	3	Non-Vacant	Commercial (FAR: 0.1) - Unoccupied building, Existing utilities available	DG	0.00	N/A
CORONADO	211 S Joy St.	92879	117122002	0	0	9	0	Shortfall of Site	0.20	MU1	TC	MU1	TC (AHO)	30	60	9	Vacant	Vacant		0.00	N/A
CORONADO	904 S Ramona Ave	92879	117238005	0	0	7	0	Shortfall of Site	0.17	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CV	0.00	N/A
CORONADO	912 S Ramona Ave	92879	117238012	0	0	7	0	Shortfall of Site	0.20	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CV	0.00	N/A
CORONADO	901 S Ramona Ave	92879	117238006	0	0	7	0	Shortfall of Site	0.21	OP	CS	MU1	CS (AHO)	30	60	7	Vacant	Vacant	CW	0.00	N/A
CORONADO	615 S Sherman Av	92882	110040023	0	0	17	0	Shortfall of Site	0.39	GC	C3	MU1	C3 (AHO)	30	60	17	Non-Vacant	Commercial (FAR: 0.5) - Car wash, small lot in use, Existing utilities available		1.71	1979
CORONADO	510 W 6th St.	92882	117172002	0	0	23	0	Shortfall of Site	0.53	MU1	TC	MU1	TC (AHO)	30	60	23	Non-Vacant	Commercial (FAR: 0.5) - Retail Existing utilities available	DD	1.68	N/A
CORONADO	1065 Railroad St.	92881	118210041	0	0	83	0	Shortfall of Site	1.86	GC	C3	MU1	C3 (AHO)	30	60	83	Non-Vacant	Commercial (FAR: 0.1) - Unoccupied building Existing utilities available		0.08	N/A
CORONADO	514 W 6th St.	92882	117172001	0	0	24	0	Shortfall of Site	0.54	MU1	TC	MU1	TC (AHO)	30	60	24	Vacant	Vacant	DD	0.00	N/A
CORONADO	904 S Ramona Ave	92882	117238004																		

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Very Low-Income	Low-Income	Moderate-Income	Above Moderate Income	Type of Shortfall	Parcel Size (Acres)	Current General Plan Designation	Current Zoning	Proposed General Plan (GP) Designation	Proposed Zoning	Minimum Density Allowed	Maximum Density Allowed	Total Capacity	Vacant/Nonvacant	Description of Existing Uses	Optional Information 2	Optional Information 22	Optional Information 3
CORON	844 W 6th St.	92882	110101011	4	5	0	0	Shortfall of Sit	0.20	MU1	GC	MU1	GC (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.2) - Retail (Flower Shop with small parking lot)	CJ	0.54	1928
CORON	836 W 6th St.	92882	110101010	8	9	0	0	Shortfall of Sit	0.38	MU1	GC	MU1	GC (AHO)	30	60	17	Non-Vacant	Commercial (FAR: 0.4) - Retail (Tire shop and parking lot) Existing	CJ	1.50	1967
CORON	832 W 6th St.	92882	110101009	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.2) - Dentist Offices, two separate structures	CJ	0.88	N/A
CORON	828 W 6th St.	92882	110101027	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.4) - Retail (Cosmetic Implants and Dental)	CJ	1.21	1922
CORON	826 W 6th St.	92882	110101007	2	3	0	0	Shortfall of Sit	0.11	MU1	GC	MU1	GC (AHO)	30	60	5	Non-Vacant	Commercial (FAR: 0.6) - Barber Shop Existing utilities available	CJ	1.06	N/A
CORON	820 W 6th St.	92882	110101006	3	4	0	0	Shortfall of Sit	0.21	MU1	GC	MU1	GC (AHO)	30	60	7	Non-Vacant	Commercial (FAR: 0.4) - Residential home adjacent to empty lot	CJ	1.85	N/A
CORON	816 W 6th St.	92882	110101005	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Non-Vacant	Commercial (FAR: 0.5) - Retail (Mower shop building and small lot)	CJ	1.85	1971
CORON	812 W 6th St.	92882	110101004	4	4	0	0	Shortfall of Sit	0.18	MU1	GC	MU1	GC (AHO)	30	60	8	Vacant	Vacant	CJ	0.00	N/A
CORON	808 W 6th St.	92882	110101003	3	3	0	0	Shortfall of Sit	0.15	MU1	GC	MU1	GC (AHO)	30	60	6	Non-Vacant	Commercial (FAR: 0.25) - Building and parking spot, Existing utilities	CJ	0.51	N/A
CORON	802 W 6th St.	92882	110101001	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.7) - Retail (Insurance agencies, one building)	CJ	3.00	1958
CORON	612 S Vicentia	92882	110101002	2	2	0	0	Shortfall of Sit	0.10	MU1	GC	MU1	GC (AHO)	30	60	4	Non-Vacant	Commercial (FAR: 0.6) - Residential home, Existing utilities available	CJ	2.33	1920
CORON	229 Grand Blvd.	92882	117091022	24	25	0	0	Shortfall of Sit	1.10	GC	CS	MU1	CS (AHO)	30	60	49	Non-Vacant	Commercial (FAR: 0.25) - Residential, Existing utilities available	CJ	0.64	1915
CORON	1341 W 6th St.	92882	118130013	20	21	0	0	Shortfall of Sit	0.92	GC	C3	MU1	C3 (AHO)	30	60	41	Vacant	Vacant	AM	0.00	N/A
CORON	1335 W 6th St.	92882	118130014	22	23	0	0	Shortfall of Sit	1.02	GC	C3	MU1	C3 (AHO)	30	60	45	Vacant	Vacant	AM	0.00	N/A
CORON	1338 W 6th St.	92882	110030004	5	5	0	0	Shortfall of Sit	0.24	GC	C3	MU1	C3 (AHO)	30	60	10	Non-Vacant	Commercial (FAR: 0.4) - Retail (Firearm shop, two structures)	CR	0.57	1952
CORON	1334 W 6th St.	92882	110030003	10	11	0	0	Shortfall of Sit	0.48	GC	C3	MU1	C3 (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.5) - Large parking lot, Existing utilities available	CR	2.46	N/A
CORON	1330 W 6th St.	92882	110030008	6	6	0	0	Shortfall of Sit	0.28	GC	C3	MU1	C3 (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar, small building) Existing utilities	CR	0.37	1951
CORON	1865 W 6th St.	92882	102270015	17	17	0	0	Shortfall of Sit	0.77	GC	C3	MU1	C3 (AHO)	30	60	34	Non-Vacant	Commercial (FAR: 0.25) - Retail (Restaurant, large underutilized lot)	CS	1.62	1975
CORON	1180 W 6th St.	92882	110040039	15	16	0	0	Shortfall of Sit	0.69	GC	C	MU1	C (AHO)	30	60	31	Non-Vacant	Commercial (FAR: 0.5) - Strip mall, partially unoccupied with parking	CU	2.03	1991
CORON	1210 W 6th St.	92882	110040042	32	33	0	0	Shortfall of Sit	1.46	GC	C	MU1	C (AHO)	30	60	65	Non-Vacant	Commercial (FAR: 0.5) - Retail (Strip mall and parking lot), Existing utilities	CU	1.67	1991
CORON	1201 E 6th St.	92882	115690013	66	67	0	0	Shortfall of Sit	2.96	MU2	BP	MU1	BP (AHO)	30	60	133	Non-Vacant	Commercial (FAR: 0.25) - Retail, Existing utilities available	DA	1.86	N/A
CORON	1354 E 6th St.	92882	115090003	67	68	0	0	Shortfall of Sit	3.00	MU2	M1	MU1	M1 (AHO)	30	60	135	Non-Vacant	Commercial (FAR: 0.1) - Industrial (Warehouse/Office) Existing utilities	DC	2.04	N/A
CORON	Circle City Dr.	92879	111290040	9	10	0	0	Shortfall of Sit	0.44	MU2	M1	MU2	M1 (AHO)	30	60	19	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no tanks)	DA	0.00	N/A
CORON	Circle City Dr.	92879	111290039	38	38	0	0	Shortfall of Sit	1.71	MU2	M1	MU2	M1 (AHO)	30	60	76	Non-Vacant	Industrial (FAR: 0.1), No built structures, industrial storage (i.e. no tanks)	DA	0.00	N/A
CORON	Circle City Dr.	92879	111290021	24	24	0	0	Shortfall of Sit	1.08	MU2	M1	MU2	M1 (AHO)	30	60	48	Vacant	Vacant	CZ	0.00	N/A
CORON	Circle City Dr.	92879	111290022	17	17	0	0	Shortfall of Sit	0.77	MU2	M1	MU2	M1 (AHO)	30	60	34	Vacant	Vacant	CZ	0.00	N/A
CORON	Circle City Dr.	92879	111290023	10	11	0	0	Shortfall of Sit	0.47	MU2	M1	MU2	M1 (AHO)	30	60	21	Vacant	Vacant	CZ	0.00	N/A
CORON	E 6th St.	92879	115090024	59	60	0	0	Shortfall of Sit	2.66	MU2	M1	MU2	M1 (AHO)	30	60	119	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no tanks)	DC	0.00	N/A
CORON	E 6th St.	92879	115090021	26	26	0	0	Shortfall of Sit	1.17	MU2	M1	MU2	M1 (AHO)	30	60	52	Non-Vacant	Industrial (FAR 0.0) No built structures, industrial storage (i.e. no tanks)	DC	0.00	N/A
CORON	E 5th St.	92879	117331006	16	17	0	0	Shortfall of Sit	0.74	MU2	BP	MU1	BP (AHO)	30	60	33	Non-Vacant	Industrial (FAR 0.1), one structure and large parking spaces	DC	0.02	N/A
CORON	Peasant View Ave.	92882	118130031	11	11	0	0	Shortfall of Sit	0.49	GC	C3	MU1	C3 (AHO)	30	60	22	Vacant	Vacant	AM	0.00	N/A
CORON	W 6th St.	92882	110030030	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Vacant	Vacant	CR	0.00	N/A
CORON	Yorba St.	92882	102290010	3	4	0	0	Shortfall of Sit	0.17	GC	C3	MU1	C3 (AHO)	30	60	7	Non-Vacant	Industrial (FAR 0.0) - parking lot space adjacent to used car dealership	CR	0.00	N/A
CORON	W 6th St.	92879	110040041	26	26	0	0	Shortfall of Sit	1.16	GC	C	MU1	C3 (AHO)	30	60	52	Non-Vacant	Commercial (FAR: 0.25) - Retail (parking lot adjacent to strip mall)	CU	0.03	N/A
CORON	6th St.	92882	110020008	13	14	0	0	Shortfall of Sit	0.61	GC	C3	MU1	C3 (AHO)	30	60	27	Vacant	Vacant	CK	0.00	N/A
CORON	E 6th St.	92879	117332015	6	6	0	0	Shortfall of Sit	0.27	MU 2	GC	MU1	GC (AHO)	30	60	12	Vacant	Vacant	O	0.00	N/A
CORON	E 6th St.	92879	117332016	7	7	0	0	Shortfall of Sit	0.33	MU 2	GC	MU1	GC (AHO)	30	60	14	Vacant	Vacant	O	0.00	N/A
CORON	E Blaine St.	92879	119311019	6	6	0	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311018	3	4	0	0	Shortfall of Sit	0.17	MU 1	MU	MU1	MU (AHO)	30	60	7	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311017	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311016	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311043	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311042	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311041	2	2	0	0	Shortfall of Sit	0.10	MU 1	MU	MU1	MU (AHO)	30	60	4	Vacant	Vacant	BQ	0.00	N/A
CORON	100 E Harrison St.	92879	119311025	20	21	7	0	Shortfall of Sit	1.09	MU 1	MU	MU1	MU (AHO)	30	60	48	Non-Vacant	Commercial (FAR: 0.2) - Retail (Bar/Pub) Existing utilities available	BQ	1.08	1979
CORON	E Blaine St.	92879	119311015	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.9) - Industrial (Warehouse/Office) Existing utilities	BQ	6.31	N/A
CORON	E Blaine St.	92879	119311014	1	2	0	0	Shortfall of Sit	0.07	MU 1	MU	MU1	MU (AHO)	30	60	3	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing utilities	BQ	0.00	N/A
CORON	E Blaine St.	92879	119311013	1	1	0	0	Shortfall of Sit	0.04	MU 1	MU	MU1	MU (AHO)	30	60	2	Non-Vacant	Commercial (FAR: 0.2) - Industrial/Vacant Existing utilities available	BQ	0.00	N/A
CORON	320 E Harrison St.	92879	119311005	5	6	10	0	Shortfall of Sit	0.53	MU 1	MU	MU1	MU (AHO)	30	60	21	Non-Vacant	Commercial (FAR: 0.3) - Retail (Auto Shop) Existing utilities available	BQ	0.41	N/A
CORON	280 E Harrison St.	92879	119311004	5	6	5	0	Shortfall of Sit	0.35	MU 1	MU	MU1	MU (AHO)	30	60	16	Non-Vacant	Commercial (FAR: 0.4) - Industrial (Warehouse/Office) Existing utilities	BQ	4.05	1973
CORON	240 E Harrison St.	92879	119311003	4	5	3	0	Shortfall of Sit	0.27	MU 1	MU	MU1	MU (AHO)	30	60	12	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing utilities	BQ	4.13	1973
CORON	122 E Harrison St.	92879	119311002	14	14	16	0	Shortfall of Sit	0.97	MU 1	MU	MU1	MU (AHO)	30	60	44	Non-Vacant	Commercial (FAR: 0.5) - Industrial (Warehouse/Office) Existing utilities	BQ	1.93	1973
CORON	E Blaine St.	92879	119311040	4	5	0	0	Shortfall of Sit	0.20	MU 1	MU	MU1	MU (AHO)	30	60	9	Non-Vacant	Commercial (FAR: 0.1)	BQ	0.00	N/A
CORON	S Smith Ave.	92882	110020012	11	12	0	0	Shortfall of Sit	0.50	HDR	R3	UDR	R3 (AHO)	30	60	23	Non-Vacant	RV Storage, parking spots adjacent to structure	BR	0.00	N/A
CORON	1362 W 6th St.	92882	110030015	81	81	0	0	Shortfall of Sit	3.60	HDR	R3	UDR	R3 (AHO)	30	60	162	Non-Vacant	RV Storage with large parking lot	BR	0.14	1950
CORON	1553 Yorba St.	92882	118050020	14	15	0	0	Shortfall of Sit	0.64	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Storage	CL	0.21	N/A
CORON	1549 Yorba St.	92882	118050019	9	10	0	0	Shortfall of Sit	0.43	GC	C3	MU1	C3 (AHO)	30	60	19	Non-Vacant	Commercial (FAR: 0.5) - Retail (Painting and Wallcovering), Existing utilities	CL	3.79	1990
CORON	1545 Yorba St.	92882	118050018	14	15	0	0	Shortfall of Sit	0.65	GC	C3	MU1	C3 (AHO)	30	60	29	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop) Existing utilities	CL	1.41	1964
CORON	1539 Yorba St.	92882	118050017	21	22	0	0	Shortfall of Sit	0.95	GC	C3	MU1	C3 (AHO)	30	60	43	Non-Vacant	Commercial (FAR: 0.1) - Retail (Used Auto Sale) Existing utilities	CL	0.21	1928
CORON	1535 W 6th St.	92882	118050016	22	23	0	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.1) - Retail (Alex Furniture, building with parking lot)	CL	0.32	1964
CORON	W. 6th Street	92882	102290020	47	47	79	0	Shortfall of Sit	4.56	GC	C3	MU1	C3 (AHO)	30	60	173	Non-Vacant	Commercial (FAR: 0.5) - Retail (Truck and Van Repair, building with parking lot)	CT	0.22	1966
CORON	1625 W. 6th Street	92882	102290017	20	21	32	0	Shortfall of Sit	1.62	GC	C3	MU1	C3 (AHO)	30	60	73	Non-Vacant	Commercial (FAR: 0.2) - Retail (Used Car Dealership, large parking lot)	CT	0.09	1964
CORON	1541 W. 6th Street	92882	103280001	14	14	17	0	Shortfall of Sit	0.99	GC	C3	MU1	C3 (AHO)	30	60	45	Non-Vacant	Commercial (FAR: 0.4) - Retail (Auto Repair Shop building, large parking lot)	CT	0.34	1959
CORON	1210 E 6th Street	92879	115080002	6	6	5	0	Shortfall of Sit	0.38	MU 2	BP	MU1	BP (AHO)	30	60	17	Non-Vacant	Parking lot	DB	0.00	N/A
CORON	1210 E 6th Street	92879	115080041	12	12	4	0	Shortfall of Sit	0.6												

Table C: Land Use, Table Starts in A2

Zoning Designation (From Table A, Column G)	General Land Uses Allowed
A	RR 2, ER, LDR
A/HD	RR 2
A-14.4	RR 2, LDR
BP	MU 2
C	GC
C2	GC
C3	GC
CS	MU 1, OP
D	MUD
ER1	ER
GB	GC
GC	GC
LDR	LDR
MDR	MDR
MF1	MDR
MP	HDR
MU	MU 1, MU 2
M1	LI, MU 2
PCD	LDR
RE	ER, LDR
RE-35	RR 2, ER
RO	MU 1
R1A	RR 2, ER, LDR
R1A/HD	RR 2
R1-7.2	LDR, MDR
R1-8.4	LDR
R1-9.6	LDR
R1-14.4	ER
R1-14.5	ER
R1-20	ER
R2	MDR
R3	HDR
SF	LDR
SFR	LDR
SFR-6	LDR
TC	MU 1
UDR	UDR
WF	LDR

Appendix C

AFFIRMATIVELY FURTHERING FAIR HOUSING (AFFH)

Appendix C: Affirmatively Furthering Fair Housing (AFFH)

INTRODUCTION AND OVERVIEW OF AB 686

In January 2017, Assembly Bill 686 (AB 686) introduced an obligation to AFFH into California state law. AB 686 defined “affirmatively further fair housing” to mean “taking meaningful actions, in addition to combat discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity” for persons of color, persons with disabilities, and other protected classes. The Bill added an assessment of fair housing to the Housing Element which includes the following components: a summary of fair housing issues and assessment of the City’s fair housing enforcement and outreach capacity; an analysis of segregation patterns and disparities in access to opportunities, an assessment of contributing factors, and an identification of fair housing goals and actions.

COMMUNITY OUTREACH

As part of the Housing Element Update, the City implemented a community engagement program, soliciting input from the general public, housing stakeholders, and City decision makers. On February 16, 2021 and February 18, 2021, the City conducted stakeholder meetings for the Housing Element Update, which included a discussion on the challenges and opportunities regarding housing needs, special populations, and policies and programs that could be incorporated into the Housing Element Update. The workshops were attended by a total of 16 individuals representing 15 separate non-profit, government, and for-profit agencies (information on the stakeholder meetings is included in Appendix A). Results and feedback obtained during the community engagement program have been incorporated into this section on affirmatively furthering fair housing practices. Please see Chapter 1 for more details on the City’s outreach efforts.

HISTORICAL DEVELOPMENT AND INVESTMENT

Like many California cities, Corona experienced a post-war building boom in the 1950s and in the decades to follow, that set the stage for auto-centric suburban neighborhood development beyond the outskirts of Downtown. Specific plans were used by the City and county to guide the development of large areas, typically referred to as master-planned developments. Typical of southern California suburban subdivisions, most of Corona’s suburban neighborhoods expanded residential development outward from the city’s commercial center and focused mainly on the construction of single-family detached units, with some clusters of duplexes, townhomes, condominiums, and apartments. Suburban neighborhoods are generally located to the periphery of the City’s historic core, south of Ontario Avenue, west of Lincoln Avenue, and in the northeast and northwest corners of the City. Commercial areas became heavily auto-centric. Currently, many older commercial strip centers that lead to the City’s historic center are outdated and inconsistent in terms of function and design. As shown in Figure 3 and Figure 4, the effects of historic segregation patterns are still visible today: areas of minority concentration exist predominantly in the City’s center and historic corridors, while suburban areas south of the City’s center are predominantly White.

As citrus farming gave way to urban development in the 1980s, the population of Corona boomed during this decade and the population also diversified. According to the 1990 census, Corona's Black and African-American population grew by 549 percent between 1980 and 1990. Similarly, the Asian-American population expanded by nearly 2,000 percent. The Hispanic population also increased during this time, adding new immigrants from El Salvador and Colombia, as well as from other parts of California. The same decade brought a 70 percent growth rate in the Native American population.¹

During the last two decades, the City has reinvested in its central corridor in the downtown area and along 6th Street. With the adoption of the 2004 General Plan, the City created a mixed-use land use designation that allowed for and encouraged mixed uses and pedestrian-oriented design. While certain areas of the City have proven difficult to build mixed use projects, other areas have seen significant success. Newer developments such as Dos Lagos and North Main have placed more emphasis on mixing residential and commercial/office developments into larger horizontally mixed-use projects. Both projects have emphasized public spaces and the pedestrian environment.²

SUMMARY OF FAIR HOUSING ISSUES

COUNTY OF RIVERSIDE TRENDS

As part of the Community Development Block Grant (CDBG) program certification process, participating jurisdictions must prepare an analysis of impediments to fair housing choice every five years. The Riverside Regional Analysis of Impediments to Fair Housing Choice (County of Riverside AI), is an assessment of the Riverside County regional laws, ordinances, statutes, and administrative policies, as well as local conditions that affect the location, availability, and accessibility of housing. It also analyzes the conditions in the private market and public sector that may limit the range of housing choices or impede a person's access to housing, and provides solutions and measures that will be pursued to mitigate or remove identified impediments. To focus efforts in the City of Corona, the City conducted its own analysis of impediments to fair housing choice certified by the Corona City Council (Corona AI). The Corona AI covers the City of Corona and provides a comparative demographic profile of the City and Riverside County; assesses the extent of housing needs among specific income groups; and evaluates the availability of a range of housing choices for residents. Regionally, the County of Riverside AI identifies the following impediments to fair housing:

- Hispanic and Black residents continue to be underrepresented in the homebuyer market and have experienced large disparities in loan approval rates
- Concentrations of housing choice voucher use have occurred due to the geographic disparity of rental prices
- Housing choices for special needs groups, especially persons with disabilities, are limited
- Fair housing enforcement activities are limited – despite laws prohibiting discrimination, residents can experience housing bias on the basis of physical disability, race, and ethnicity

¹ City of Corona website: <https://www.coronaca.gov/government/departments-divisions/library-recreation-services/library/heritage-room/history-of-corona>

² Corona General Plan:
<https://www.coronaca.gov/home/showpublisheddocument/17294/637239353780370000>

- Nearly 63 percent of all fair housing complaints in Riverside County over the last five years were on the basis of disability
- Today, people obtain information on housing options and availability through many media forms, not limited to traditional newspaper noticing or other print forms

CITY OF CORONA TRENDS

The Corona AI identified jurisdiction-specific impediments. Contributing factors identified as impediments to fair housing in Corona are discussed in detail below, as well as descriptions of how each impediment is addressed in this Housing Element.

Concentrations of Lower- and Moderate-Income Populations

The U.S. Department of Housing and Urban Development (HUD) defines a Lower- and Moderate-Income (LMI) area as a Census tract or block group where over 51 percent of the population is LMI. Corona has extensive areas where a majority of residents are LMI populations throughout its downtown areas starting in the northwest and spanning across toward the southeast. This impediment is addressed in the Housing Element Update through Housing Policies HE-1.1 through HE-1.5, which direct the City to maintain an ongoing inventory of sites that may be suitable for residential development affordable for LMI residents, support the production of LMI housing development, and seek additional funding sources to expand housing resources in the City.

Language barriers

Language barriers can be an impediment to accessing housing. Those with limited English may face discrimination in obtaining housing, communication challenges while trying to obtain housing, and barriers to accessing housing services and information. According to the Corona AI, 19.1 percent of the City's population speaks English less than "very well." This impediment is addressed in the Housing Element Update through Policies H-4.1 and H-4.2 and Programs 20 and 27 which direct the City to provide counseling for property owners and tenants on fair housing related issues, facilitate housing opportunities, and provide materials on housing related materials in multiple languages.

Lending by Race/Ethnicity

The Fair Housing Act prohibits discrimination when obtaining a mortgage. However, in some communities the lending pool is not representative of the demographics of a community and lending practices can be an impediment to fair housing. The Corona AI notes that this is the case in Corona, where African American and Hispanic households have limited access to conventional home purchase loans due to disproportionate denial rates compared to households of other racial groups. This impediment is addressed in the fair housing and enforcement policy section in Chapter 6 of the Housing Element, specifically Programs 20 and 21, which direct the City to remove impediments to fair housing, provide and expand counseling residents on fair housing related issues, explore grant opportunities for fair housing support, conduct fair housing testing, and participate in regional efforts to reduce discriminatory housing practices.

Overcrowded Conditions

Large households are those defined with five or more individuals and can sometimes include multiple families living together. Due to the high cost of housing in Corona, large households are often forced to obtain housing that is not of sufficient size, leading to overcrowding issues. According to the 2014-2018 ACS, overcrowding affected 5.9 percent of households in Corona. Overcrowding decreased from 2010, when approximately 8.2 percent of households were overcrowded. This impediment is addressed in Housing Element programs that direct the City to monitor and support affordable housing development with a mix of housing opportunities, particularly for special needs populations.

Housing for Farmworkers

Due to the high cost of housing and low wages, migrant farm workers may have difficulty finding affordable, safe, and sanitary housing. According to the State Employment Development Department, the average farm worker earned a mean annual income of \$32,000 in 2020. This limited income is exacerbated by a tenuous and/or seasonal employment status. Determining the true size of the agricultural labor force is difficult. For instance, the government agencies that track farm labor do not consistently define farmworkers (e.g. field laborers versus workers in processing plants), length of employment (e.g. permanent or seasonal), or place of work (e.g. the location of the business or field). According to SCAG, it is estimated that 152 City residents were considered farmworkers (employed in farming, fishing, and forestry occupations).

The City can accommodate the development of farmworker housing in any zone that permits the type of housing being built (i.e., agricultural zones) without special conditions. Since the City does not have a large farmworker population, the housing needs of this group are addressed through the City's standard affordable housing programs for lower-income households.

Limiting Local Land Use Policies

The Fair Housing Act prohibits jurisdictions from making land use decisions or implementing land use policies that exclude or can otherwise be seen as discriminatory. The Housing Element directs the City to update its land use policies to be consistent with State laws and AFFH goals. For example, recent changes to the density bonus makes it more difficult to meet housing goals, and a lack of inclusionary housing requirements. These impediments are addressed in Program 14 of the Housing Element which directs the City to revisit its supportive/transitional parking requirements and emergency shelter regulations.

FAIR HOUSING OUTREACH AND ENFORCEMENT

Fair housing enforcement and outreach capacity relates to the ability of a local jurisdiction and fair housing entities to disseminate information related to fair housing and provide outreach and education to assure community members are informed of fair housing laws and tenants' rights. In addition, enforcement and outreach capacity includes the ability to address compliance with fair housing laws, such as investigating complaints, obtaining remedies, and engaging in fair housing testing.

Fair Housing Outreach

The County of Riverside contracts with the non-profit organization Fair Housing Council of Riverside County, Inc. (FHCRC) to address fair housing complaints and engage the community around fair and affordable housing issues. These organizations help coordinate the development of the County of Riverside AI, including the outreach process. Table 1 shows the local housing and social service organizations that are active in the County as part of the FHCRC.

Table 1: Fair Housing Organizations Active in Riverside County

Organization	Focus
County of Riverside Department of Public Social Services	Homeless services
Workforce Development	Employment Services
Housing Authority Riverside	Public housing services
Fair Housing Council of Riverside County (FHCRC)	Fair housing services
National Alliance on Mental Illness	Mental health services
Regional Task Force on the Homeless	Services for individuals experiencing homelessness
Southern California Rental Housing Association	Rental assistance
Source: Riverside County 2020	

Table 2 lists organizations active in the City of Corona that offer fair housing support and services.

Table 2: Fair Housing Organizations Active in City of Corona

Organization	Focus
California Department of Fair Employment and Housing	State Resource for fair employment and housing
Housing and Economic Rights Advocates	Fair Housing advocacy
Jamboree Housing	Developer of affordable housing
Riverside Housing Development Corporation	Developer of affordable housing
Southern California Association of Nonprofit Housing	Fair housing advocacy

COUNTY OF RIVERSIDE FAIR HOUSING ENFORCEMENT

From 2015-2020, FHCRC assisted County residents with fair housing discrimination complaints, addressing 3,108 complaints in total, with 95 percent of those from in-place tenants, three percent from landlords or managers, and the balance from other types of complainants. Complaints originating from the City of Corona accounted for just under 4 percent of total fair housing complaints in the County. Consistent with state and national trends, the leading bases of complaints in the County included physical disability (51 percent), mental disability (12 percent), race (10 percent), familial status (8 percent), national origin (7 percent), and sex (3 percent). Taken together, complaints based on disability status accounted for 63 percent of all cases in Riverside County.

CITY OF CORONA FAIR HOUSING ENFORCEMENT

During the 2015-2020 study period, FHCRC assisted Corona residents with fair housing discrimination complaints, addressing 182 filed complaints. Consistent with state and national trends, the leading bases of complaints included physical disability (44 percent), familial status (16 percent), mental disability (13 percent), race (8 percent), national origin (4 percent), source of income (4 percent) and age (3 percent). Taken together, complaints based on disability status accounted for 57 percent of all cases in Corona, nearly 7 percentage points lower than the proportion of disability-related complaints reported countywide during the same time. According to the Corona AI, the Annual Report FY 2017 by the Office for Fair Housing and Employment Opportunity (OFHE) found a similar percentage of complaints were made based on disability across the nation as was reported in the City of Corona. While the total number of discrimination complaints remained relatively flat from 2014-2017, the percentage of complaints based on discrimination due to disability trended upward. Programs 20 and 21 of the Housing Element direct the City to take actions to overcome patterns of segregation, address disparities in housing needs, and increase access to housing opportunities.

FAIR HOUSING ANALYSIS

The California Government Code Section 65583 (10)(A)(ii) requires jurisdictions to analyze areas of segregation, racially or ethnically concentrated areas of poverty, disparities in access to opportunity, and disproportionate housing needs, including displacement risk.

Data on regional and local disparities and trends was gathered from a variety of sources, including HCD's AFFH Viewer, the Healthy Places Index (HPI) and the Urban Displacement Project (UDP). The HPI is a tool that was developed by the Public Health Alliance of Southern California in partnership with the Virginia Commonwealth University's Center on Society and Health in order to predict life expectancy. Community conditions, also called the "social determinants of health," can be used to predict life expectancy. These conditions include economic stability, neighborhood and built environment, health and access to health care, education, social and community context. The HPI combines 25 community characteristics into a single indexed HPI Score. HPI scores for each census tract can be compared to paint an overall picture of health and well-being.

The UDP was developed as a research initiative by the University of California, Berkeley in partnership with the University of California, Los Angeles. The tool was developed with the intention of tracking

neighborhood change and identifying areas that are vulnerable to gentrification and displacement in California. Indicators of gentrification and displacement are measured at the census tract level are based on data from the 2015 ACS.

SEGREGATION AND INTEGRATION PATTERNS AND TRENDS

To inform priorities, policies, and actions, the housing element must include an analysis of integration and segregation, including patterns and trends, related to people with protected characteristics. Integration generally means a condition in which there is not a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a particular type of disability when compared to a broader geographic area. Segregation generally means a condition in which there is a high concentration of persons of a particular race, color, religion, sex, familial status, national origin, or having a disability or a type of disability in a particular geographic area when compared to a broader geographic area.

Race and Poverty Concentration

The ethnic and racial composition of a jurisdiction is useful in analyzing housing demand and any related fair housing concerns as it tends to demonstrate a relationship with other characteristics such as household size, income level, locational preferences, and mobility. To assist in this analysis of integration and segregation, HCD and the California Tax Credit Allocation Committee (CTCAC) directed the California Fair Housing Task Force to “provide research, evidence-based policy recommendations, and other strategic recommendations to HCD and other related state agencies/departments to further the fair housing goals (as defined by HCD).” The Task Force created Opportunity Maps to identify resources levels across the state “to accompany new policies aimed at increasing access to high opportunity areas for families with children in housing financed with 9 percent Low Income Housing Tax Credits (LIHTCs).” These opportunity maps are made from composite scores of three different domains made up of a set of indicators, as shown in Table 3. The opportunity maps include a measure or “filter” to identify areas with poverty and racial segregation. To identify these areas, census tracts were first filtered by poverty and then by a measure of racial segregation. The criteria for these filters were:

- Poverty: Tracts with at least 30 percent of population under federal poverty line
- Racial Segregation: Tracts with location quotient higher than 1.25 for Black, Hispanic, Asian, or all non-White residents in comparison to the County

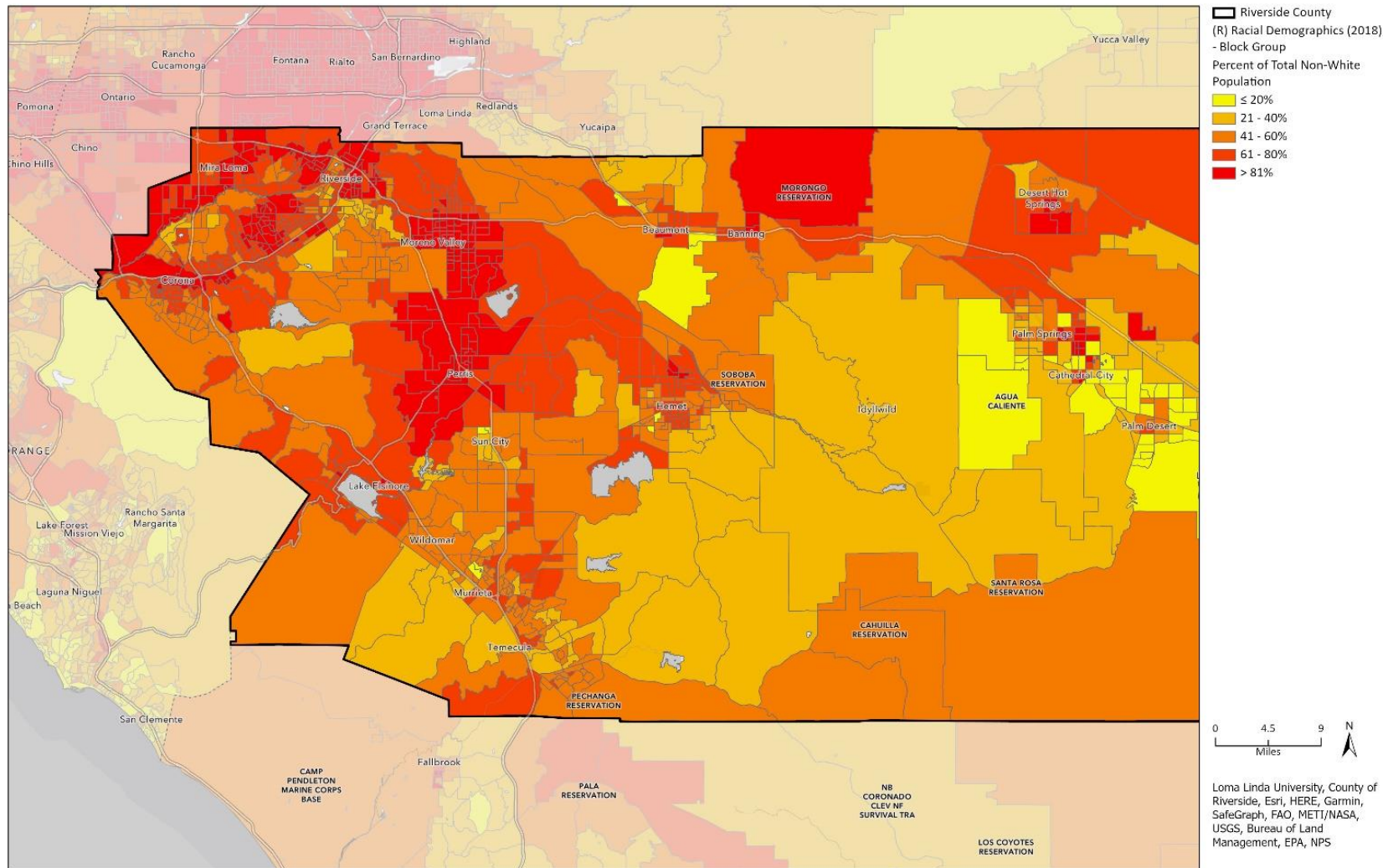
Table 3: Domains and List of Indicators for Opportunity Maps

Domain	Indicator
Economic	Poverty, Adult Education, Employment, Job Proximity, Median Home Value
Environmental	CalEnviroScreen 3.0 pollution Indicators and Values
Education	Math proficiency, Reading proficiency, High school Graduation Rates, Student Poverty Rates

County of Riverside Minority Concentrated Areas

According to the California Fair Housing Task Force, areas with high segregation are primarily located in the western, urban areas of the County and the Native American reservations in the northern and southern portions of the County, as shown on Figure 1. Hispanic residents make up the highest percentage of racial composition in the County at 45.45 percent of the population.

Figure 1: Minority Concentrated Areas: Riverside County



Source: AFFH Data Viewer, 2021

CITY OF CORONA MINORITY CONCENTRATED AREAS

As discussed in Chapter 2 of the Housing Element, the City of Corona has a slightly higher percentage of White, Non-Hispanic residents than Riverside County as a whole. Corona's population of white, non-Hispanic residents is 38.13 percent, compared to the County's 36.61 percent of residents who identify as white, non-Hispanic residents. The City has a slightly lower share of Hispanic residents than the County at 43.67 percent, compared to 47.25 percent. In addition, the City has a higher percentage of Asian/Pacific Islander residents than the County (9.89 percent vs. 7.14 percent). According to the Corona AI, non-white populations have grown significantly since 1990, with a greater than 175 percent population increase among Hispanics within the City of Corona. Discrimination based on race and ethnicity is a historic and known contributor to unfair housing practices. The existence of concentrations of minorities living in one location may be an indicator that some minority groups in Corona do not have as many housing choices as non-minority residents. This disparity can be an indicator of language barriers, unfair lending practices, and/or lack of mobility access.

HUD created seven opportunity indices to allow jurisdictions to measure exposure to opportunity in their neighborhoods. Table 4 provides index scores or values (ranging from 0 to 100 with 100 being the highest) for Corona for each race/ethnicity. Black, Hispanic, and Native American residents generally had lower opportunity scores than white and Asian or Pacific Islander residents for income, school proficiency, labor market access, and environmental health.

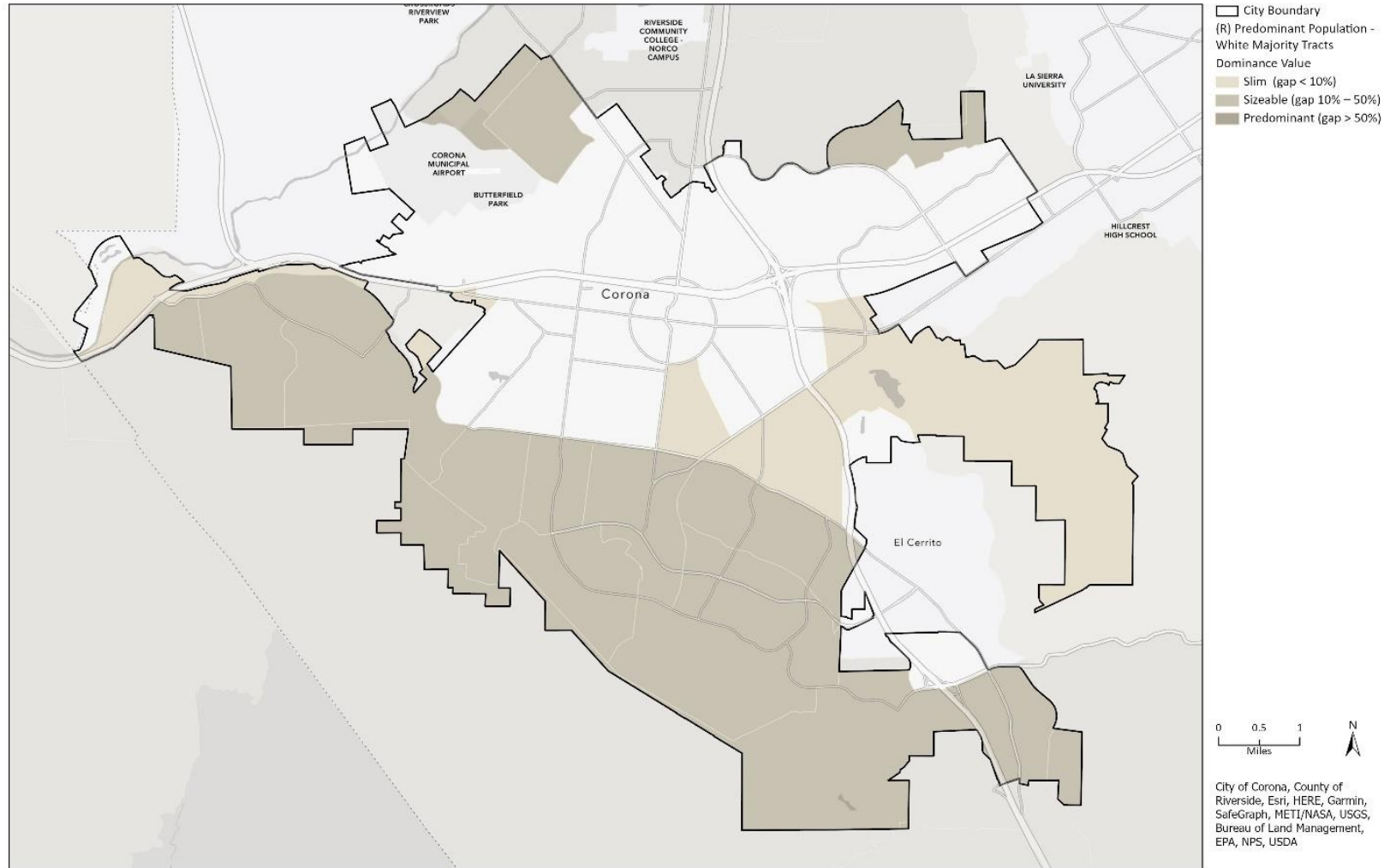
Table 4: Opportunity Indicators by Race/Ethnicity (Corona)

Index/ Indicator	Low Poverty	School Proficiency	Labor Market	Transit	Low Transportation Cost	Jobs Proximity	Environmental Health
Total Population							
White, Non- Hispanic	72.08	63.44	51.76	45.59	29.52	42.79	49.48
Black, Non- Hispanic	68.83	60.98	49.08	48.29	36.13	47.20	45.25
Hispanic	52.51	52.86	38.55	50.75	41.06	49.51	41.67
Asian or Pacific Islander, Non- Hispanic	74.61	64.80	54.03	45.93	30.21	47.34	48.70
Native American, Non- Hispanic	59.85	57.46	42.61	49.02	36.64	44.30	43.16

Population Below Federal Poverty Level							
White, Non-Hispanic	52.94	50.83	42.53	54.85	47.87	41.14	39.85
Black, Non-Hispanic	69.62	63.99	46.36	50.67	37.41	51.88	43.92
Asian or Pacific Islander, Non-Hispanic	30.63	41.48	27.05	55.59	51.84	54.88	35.70
Native American, Non-Hispanic	60.87	59.39	42.75	49.00	38.28	50.49	45.16
White, Non-Hispanic	10.00	30.86	13.0	65.00	69.00	75.81	27.00
Source: Corona AI							

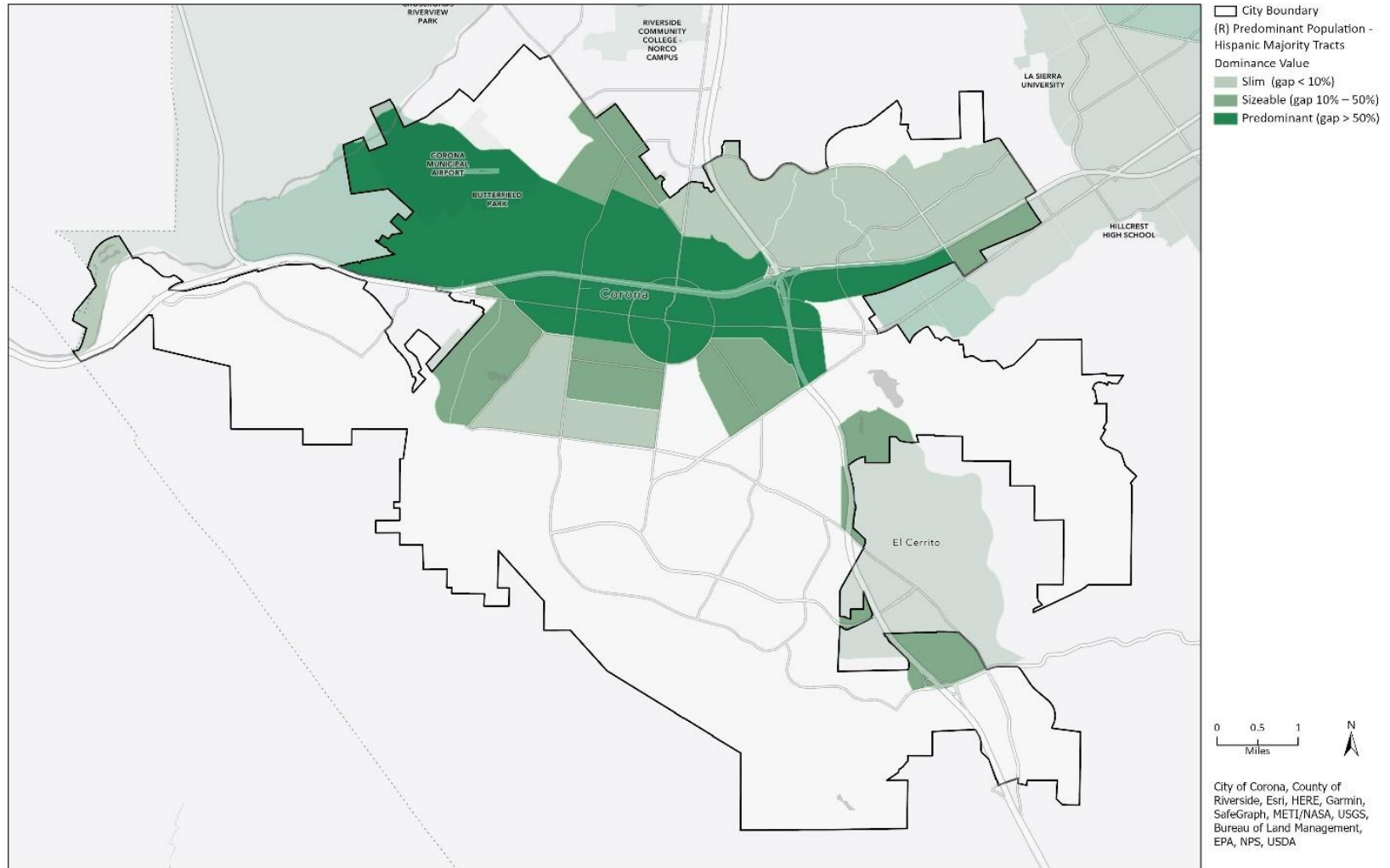
Figure 2 and Figure 3 show the predominant populations of white, non-Hispanic and Hispanic populations within each census tract and Figure 4 shows the percent of non-white residents within each block group. Corona has higher concentrations of Hispanic residents in the historic Corona downtown between SR-91 and River Road, and south of State Route 91 (SR-91) and east of Interstate 15 (I-15). The area with the highest percent of non-white population is south of SR-91 and east of I-15.

Figure 2: Predominant Population - White Non-Hispanic: Corona



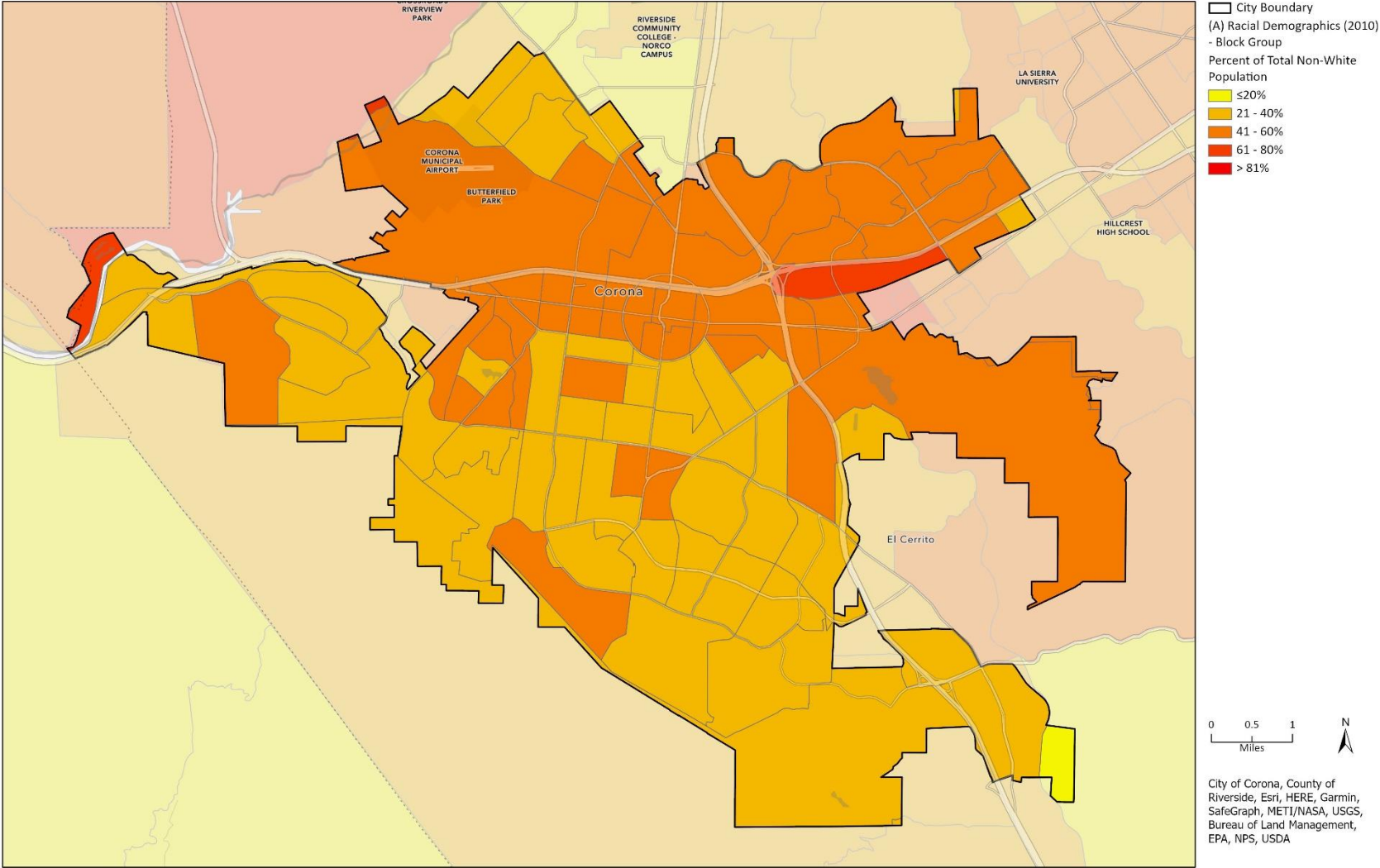
Source: AFFH Data Viewer, 2021

Figure 3: Predominant Population- Hispanic: Corona



Source: AFFH Data Viewer, 2021

Figure 4: Racial Demographics: Corona



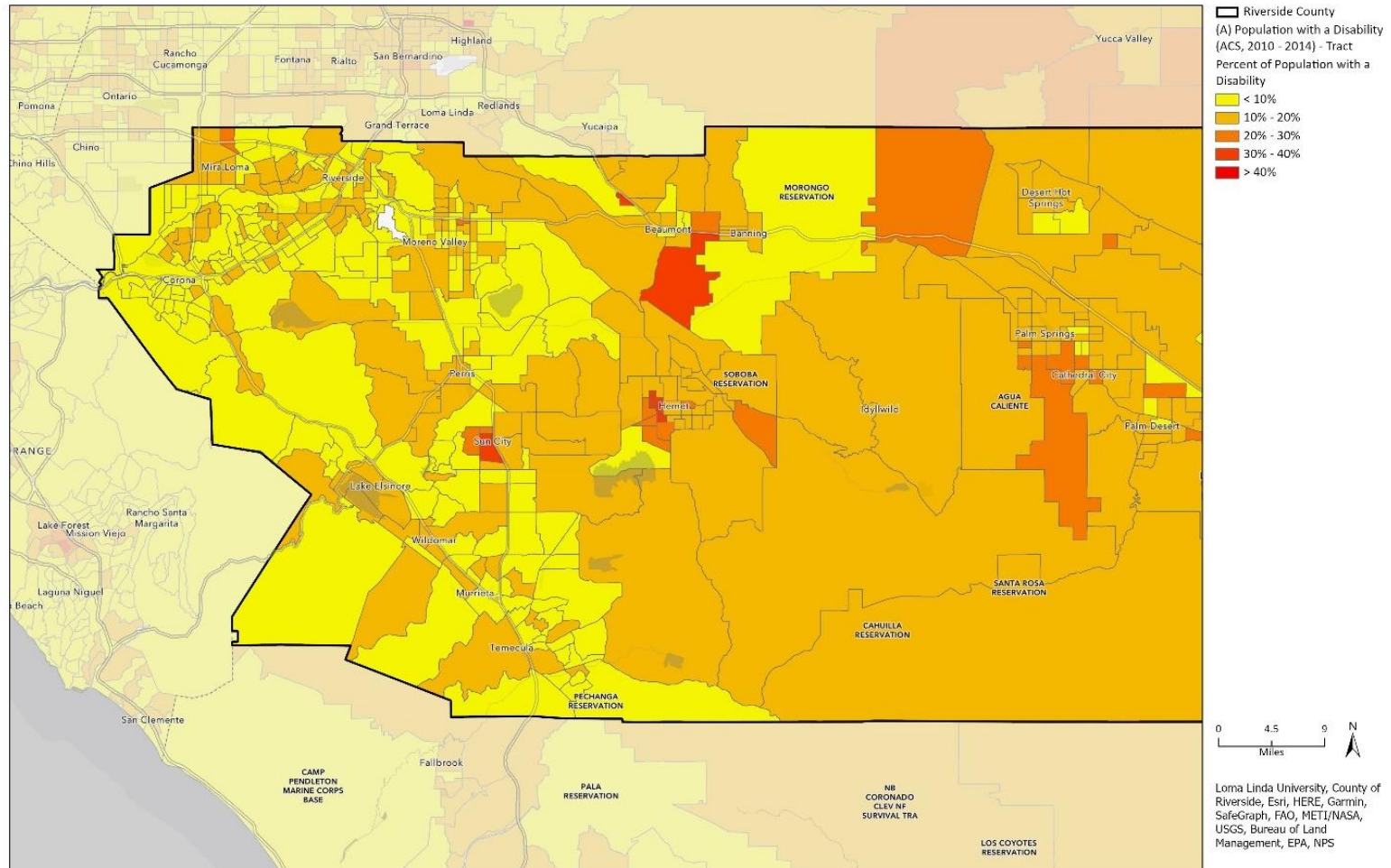
Source: AFFH Data Viewer, 2021

PERSONS WITH DISABILITIES

County of Riverside Trends

Housing choices for special needs groups, specifically for persons with disabilities, are limited in the region. According to the County of Riverside AI (using 2013-2017 ACS data), 11.5 percent of County residents had a physical disability. Many persons with disabilities also face cost burden problems due to their relatively fixed incomes. Figure 5 shows areas in Riverside County with concentrations of persons with a disability. Corona is not an area of the County with a high concentration of persons with a disability. The areas with a high concentration of persons with a disability are south of Beaumont, parts of Hemet, and in Sun City.

Figure 5: Population with a Disability: Riverside County



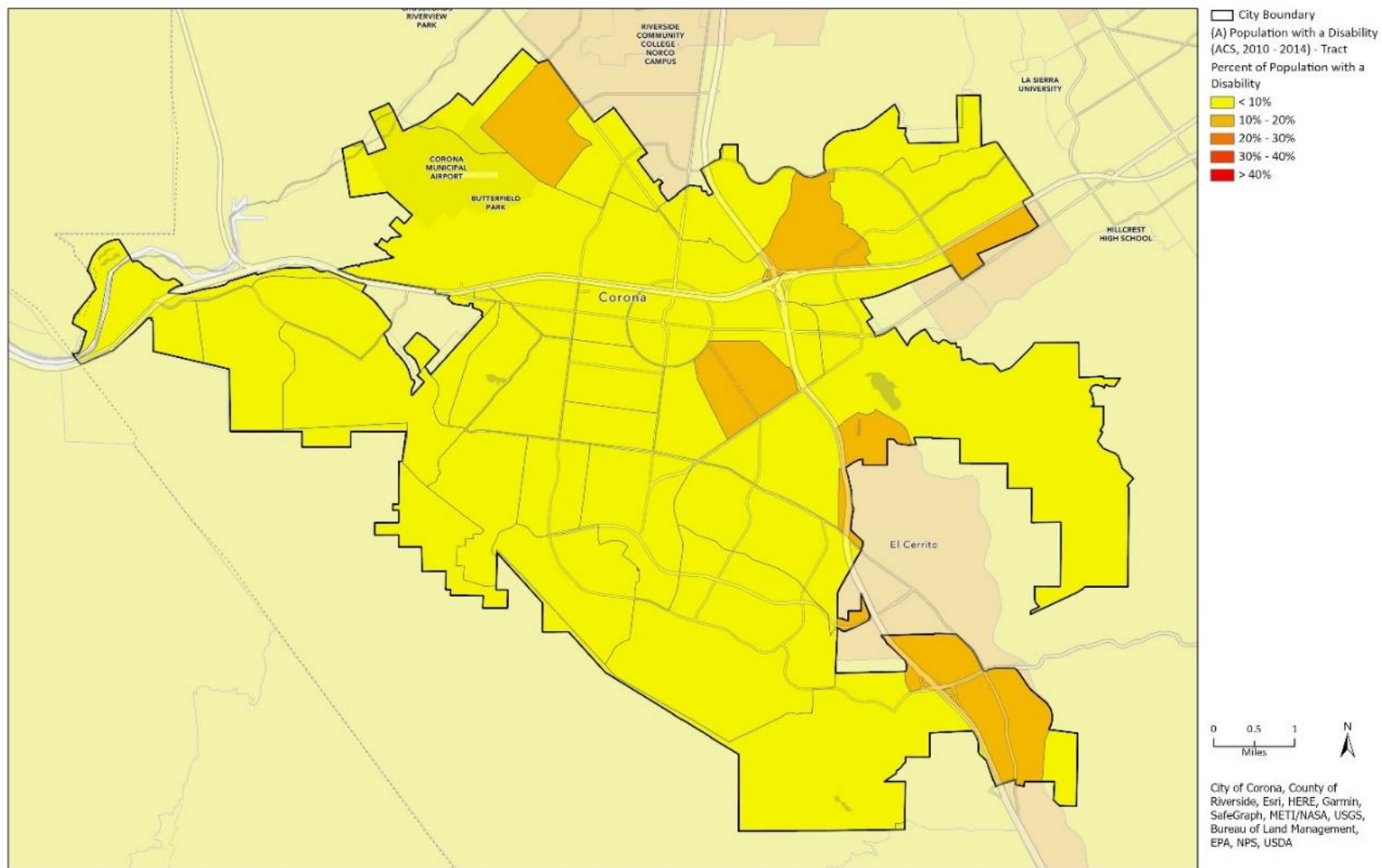
Source: AFFH Data Viewer, 2021

City of Corona Trends

As discussed in the Housing Element, approximately eight percent of Corona residents had a disability according to 2014-2018 ACS data. The ACS also tallied the number of disabilities by type for residents with one or more disabilities. Among the disabilities tallied, ambulatory difficulties were most prevalent, while cognitive and independent living difficulties were also highly prevalent. Ambulatory and independent living difficulties were most prevalent in among the senior population. Figure 6 depicts the percentage of population with disabilities throughout the City. The percentage of the City's population with a disability ranges between 10 and 20 percent, with areas of higher concentrations scattered throughout the City near Fullerton Avenue, north of W. Rincon Street, north of SR-91 and east of I-15, between SR-91 and Magnolia Avenue, and in the southeastern portion of the City.

During the stakeholder workshops conducted by the City on February 16th and 18th, a representative of the Inland Regional Center Affordable Housing Specialist, provided local knowledge and insights for persons with disabilities in finding adequate housing that suites their needs including access to low-income housing, proximity to transportation, and non-ADA compliant development (not inclusive to someone who utilizes a wheelchair). Additionally, it was stated that more housing should be located near medical facilities and suggests working with developers to allocate a portion of these units to low-income households.

Figure 6: Population with a Disability: Corona



Source: AFFH Data Viewer, 2021

FAMILIAL STATUS

Familial status refers to the presence of children under the age of 18, whether the child is biologically related to the head of household, and the marital status of the head of households. The Fair Housing Act makes it unlawful to discriminate against a person whose household includes one or more children who are under 18 years of age. Familial status protection covers households in which one or more minor children live with: a parent, a person who has legal custody (including guardianship) of a minor child or children, or the designee of a parent or legal custodian, with the written permission of the parent or legal custodian.³

However, HUD data shows that familial status discrimination ranks third in discrimination of protected classes, behind discrimination due to disability and race. While the language in federal law about familial status discrimination is clear, the guidelines landlords can use to establish occupancy can be very vague. Although landlords can create occupancy guidelines based on the physical limitations of the housing unit, landlords often impose occupancy limitations that can preclude large families with children. Differential treatments such as limiting the number of children in a complex, or confining children to a specific location, are also fair housing concerns. Single-parent, female-headed households with children require special consideration and assistance because of their greater need for affordable housing and accessible day care, health care, and other supportive services.

County of Riverside Trends

Certain jurisdictions in the County have a higher-than-average proportion of family households with children and, therefore, may be more vulnerable to this type of discrimination. Table 5 shows a comparison of household types in the County and jurisdictions near Corona.

³ Fair Housing: Equal Opportunity for All: https://www.hud.gov/sites/documents/FHEO_BOOKLET_ENG.PDF

Table 5: Household Type (Riverside County)

	Single Person Households (% of Total)	Senior Headed Households (% of Total)	Families with Children (% of Total)	Single-Parent Households (% of Total)	Large Households (% of Total)	Total Households
Corona	10,309 (20.7)	8,115 (16.3)	18,219 (36.6)	4,167 (8.4)	8,976 (18.0)	49,786
Chino Hills	2,892 (14.3)	3,820 (18.9)	8,726 (43.2)	1,533 (7.6)	3,225 (16.0)	20,196
Moreno Valley	6,166 (11.1)	7,125 (12.8)	21,106 (37.9)	7,022 (12.6)	14,231 (25.6)	55,650
Norco	1,471 (20.9)	1,828 (26.0)	2,106 (30.0)	382 (5.4)	1,241 (17.7)	7,028
City of Riverside	18,050 (19.1)	18,985 (20.1)	30,617 (32.4)	9,523 (10.1)	17,209 (18.2)	94,384
Riverside County	156,113 (23.8)	69,255 (9.3)	238,702 (30.6)	67,737 (8.9)	143,669 (20.0) ¹	718,349
Source: American Community Survey, 2014-2018. SCAG Corona Local Data. ¹ SCAG Profile of Riverside County.						

City of Corona Trends

As shown in Table 6, 36.7 percent of Corona households in 2018 were families; a decrease of 8.5 percent since 2010. The number of single households grew 61.8 percent between 2010 and 2018. Additionally, within the single households, the number of senior headed households increased by 32.8 percent during that time. The number of large households decreased by more than 14 percent, and the average household size decreased from 3.4 to 3.3 persons per household.

Table 6: Household Characteristics, City of Corona (2010-2018)

Household Type	2010		2018		Percent Change (2010-2018)
	Number	Percent of Population	Number	Percent of Population	

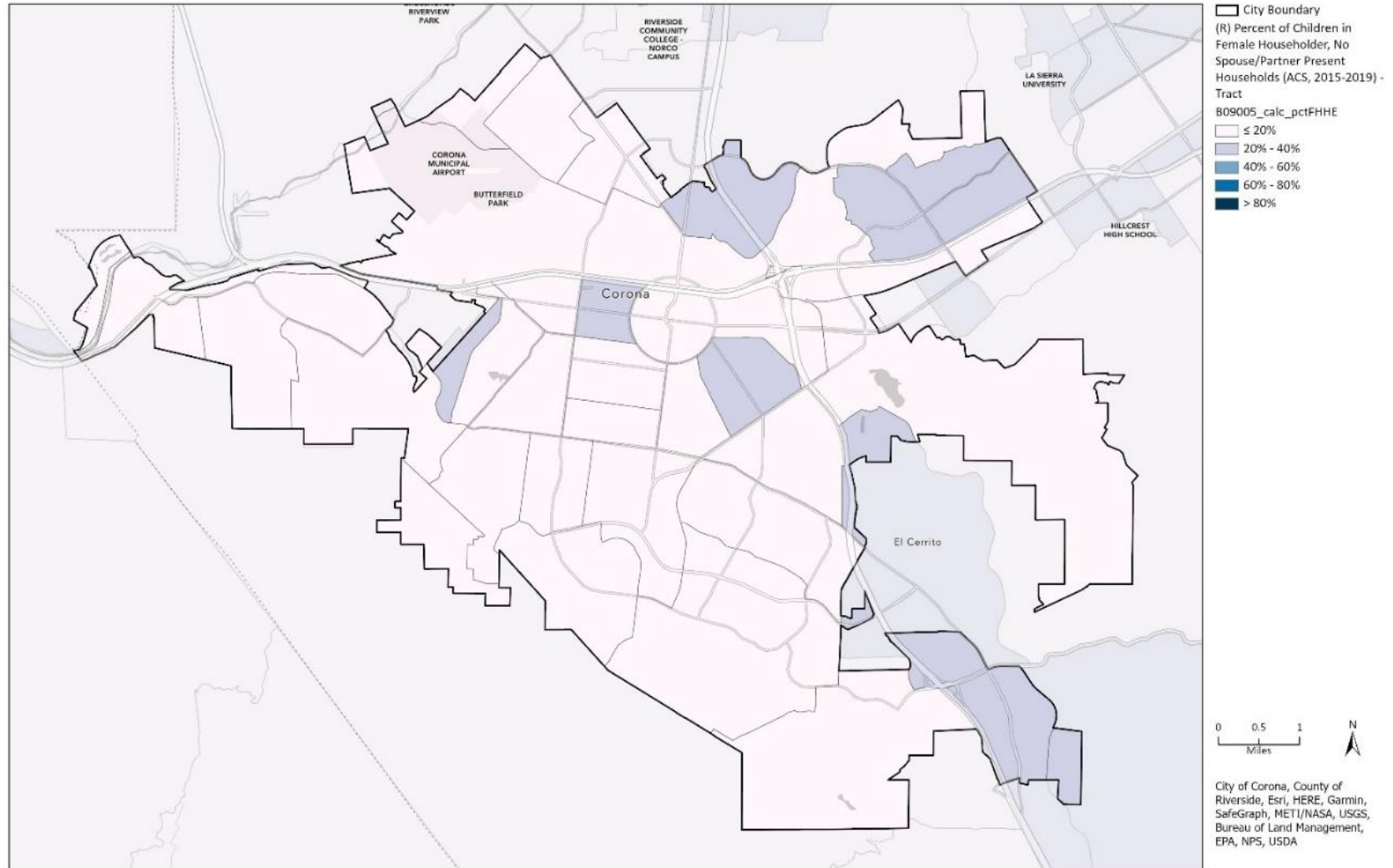
Single Person	6,372	14.4	10,309	20.7	61.8
Senior Headed Households	6,113	13.6	8,115	16.3	32.8
Families with Children	20,317	45.2	18,219	36.7	-10.3
Single-Parent Households	4,765	10.6	4,167	8.4	-12.5
Large Households	10,504	23.4	8,976	18.1	-14.5
Total Households	44,950	100	49,786	100	10.8
Average Household Size	3.4	-	3.3	-	-

Source: American Community Survey, 2014-2018.

Families, particularly female-headed families, are disproportionately affected by poverty. The 2014-2018 ACS reported 5,446 female-headed households in Corona, of which 3,257 had children. The 2014-2018 ACS estimated that approximately 8.4 percent of Corona households were headed by a single-parent. Female-headed households accounted for approximately 11.1 percent of total Corona households. Of total Corona households, 2.4 percent were both female-headed households and had incomes below the poverty level, and 39.0 percent of the City's households with incomes below the poverty level were female-headed. Figure 7 shows areas of the City with concentrations of single-parent, female-headed households. Areas of higher concentrations (between 20 and 40 percent of families with children) are scattered throughout the City near Fullerton Avenue, around McKinley Street and S. Promenade Avenue, north and south of SR-91 east of the Circle, between SR-91 and Magnolia Avenue, north of E. Parkridge Avenue, and in the southeastern portion of the City.

During a stakeholder workshop, the representative from Corona Norco United Way emphasized a need for more affordable housing near schools, work/live housing, and proximity to transportation. It was mentioned that there was a particular need for this type of housing in order to improve rehousing efforts for single, female-headed households, particularly for those leaving domestic abuse situations. Additionally, partnerships with developers should be developed on identifying funding opportunities to provide additional housing units that fit the needs of low-income individuals. For more information from the workshops refer to Appendix A (notes from stakeholder workshops are provided in Appendix A).

Figure 7: Single-Parent, Female-Headed Households with Children: Corona



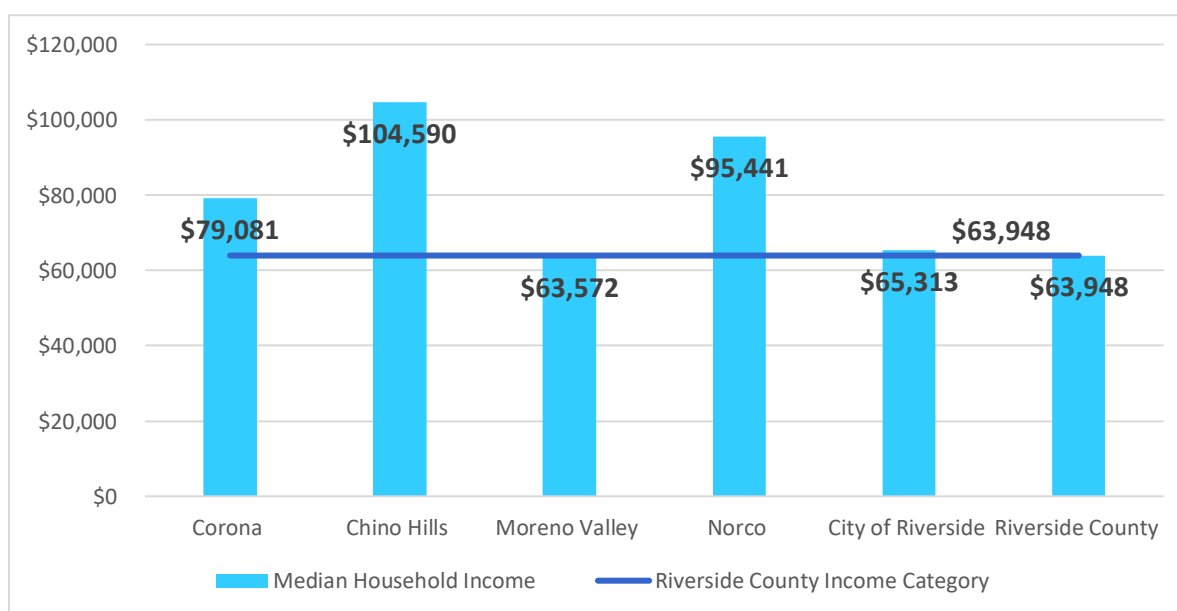
Source: AFFH Data Viewer, 2021

INCOME

Identifying LMI geographies and individuals is important to overcome patterns of segregation. HUD defines a LMI area as a Census tract or block group where over 51 percent of the population is LMI (based on HUD income definition of up to 80 percent of the AMI). Household income is directly connected to the ability to afford housing. Higher income households are more likely to own rather than rent housing. As household income decreases, households tend to pay a disproportionate amount of income for housing and the likelihood of residing in overcrowded or substandard housing increases. Households with incomes below the poverty level, which are typically households classified as extremely low and very low incomes, may require special programs to assist them in meeting their rent and mortgage obligations.

Household incomes in Corona tend to be higher than the County as a whole. The ACS estimates the median household income in Corona at \$73,594, compared to \$60,807 in the County. Figure 8 compares household incomes in Corona, surrounding cities, and the Riverside region.

Figure 8: Median Household Income



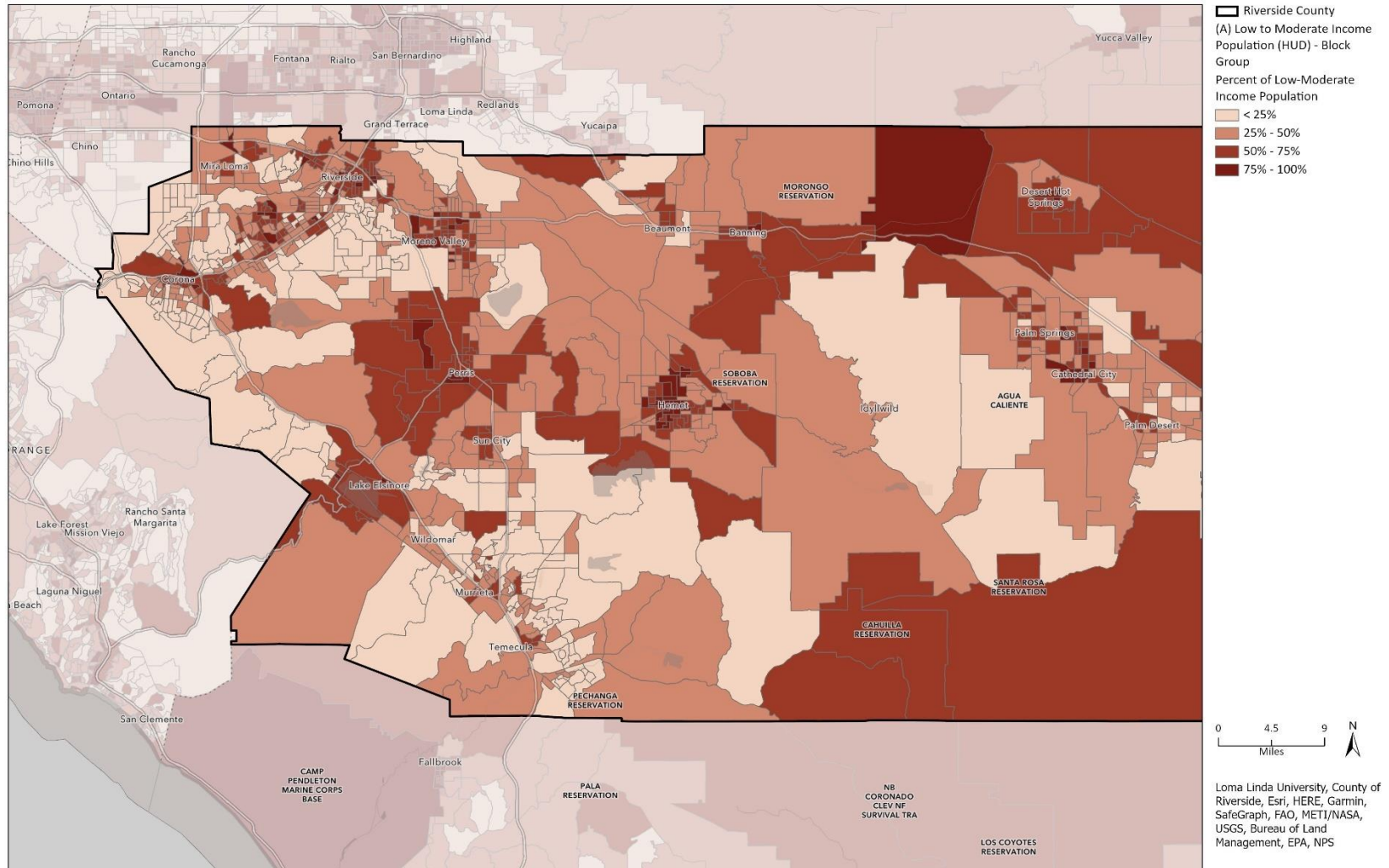
Source: Bureau of the Census, American Community Survey American Community Survey, 2014-2018.

Less than 14 percent of Corona households earned less than \$25,000 (2014-2018 ACS data). In contrast, about 39 percent of Corona households earned \$100,000 or more. Corona had a higher percentage of moderate to higher income households than Riverside County as a whole.

County of Riverside Trends

Figure 9 shows the LMI areas in the County by census block group. LMI areas are in the urban centers such as the City of Riverside and Perris and in the eastern rural areas of the County near Desert Hot Springs and the Cahuilla and Santa Rosa Reservations.

Figure 9: LMI Areas: Riverside County



Source: AFFH Data Viewer, 2021

City of Corona Trends

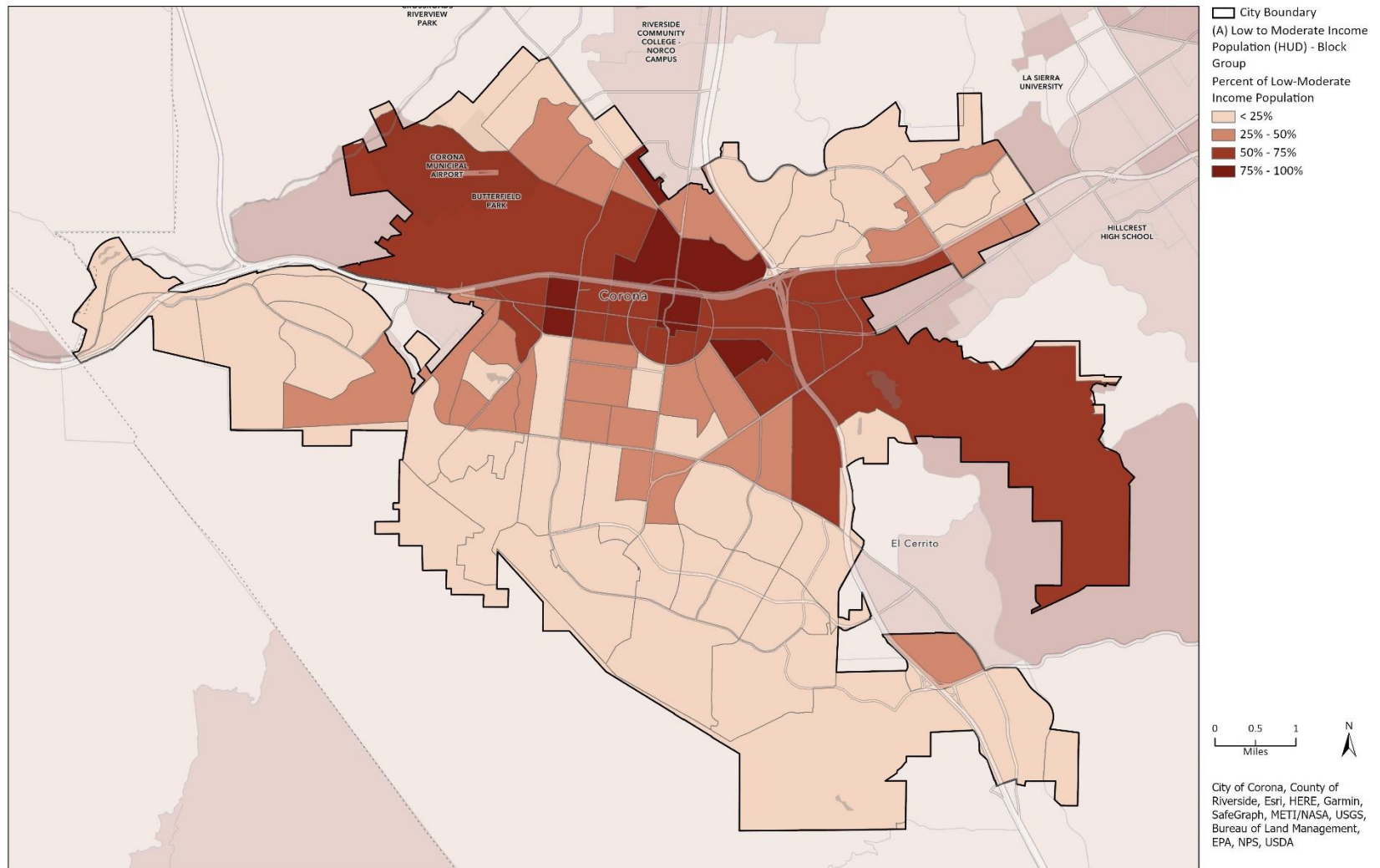
The 2014-2018 ACS identified 10.5 percent of all Corona residents as living in households with incomes below the poverty level, including 12.9 percent of all people under 18 years of age, and 11.1 percent of all people 65 years of age and over. As shown below in Table 7, approximately 60.1 percent of Corona households earned moderate or above moderate-incomes, while 39.8 percent of households were classified as lower-income.

Table 7: City of Corona Households by Income Category

Income Category (Percent of County AMI)	Households	Percent
Extremely Low (30% or less)	3,159	8.8%
Very-Low Income (<50% of AMI)	5,610	15.6%
Low Income (50-80% of AMI)	5,403	15.0%
Moderate Income (80-120% of AMI)	4,320	12.0%
Above Moderate Income (> 120%)	17,424	48.5%
Total	35,916	100.0%
Source: ACS 2014-2018		

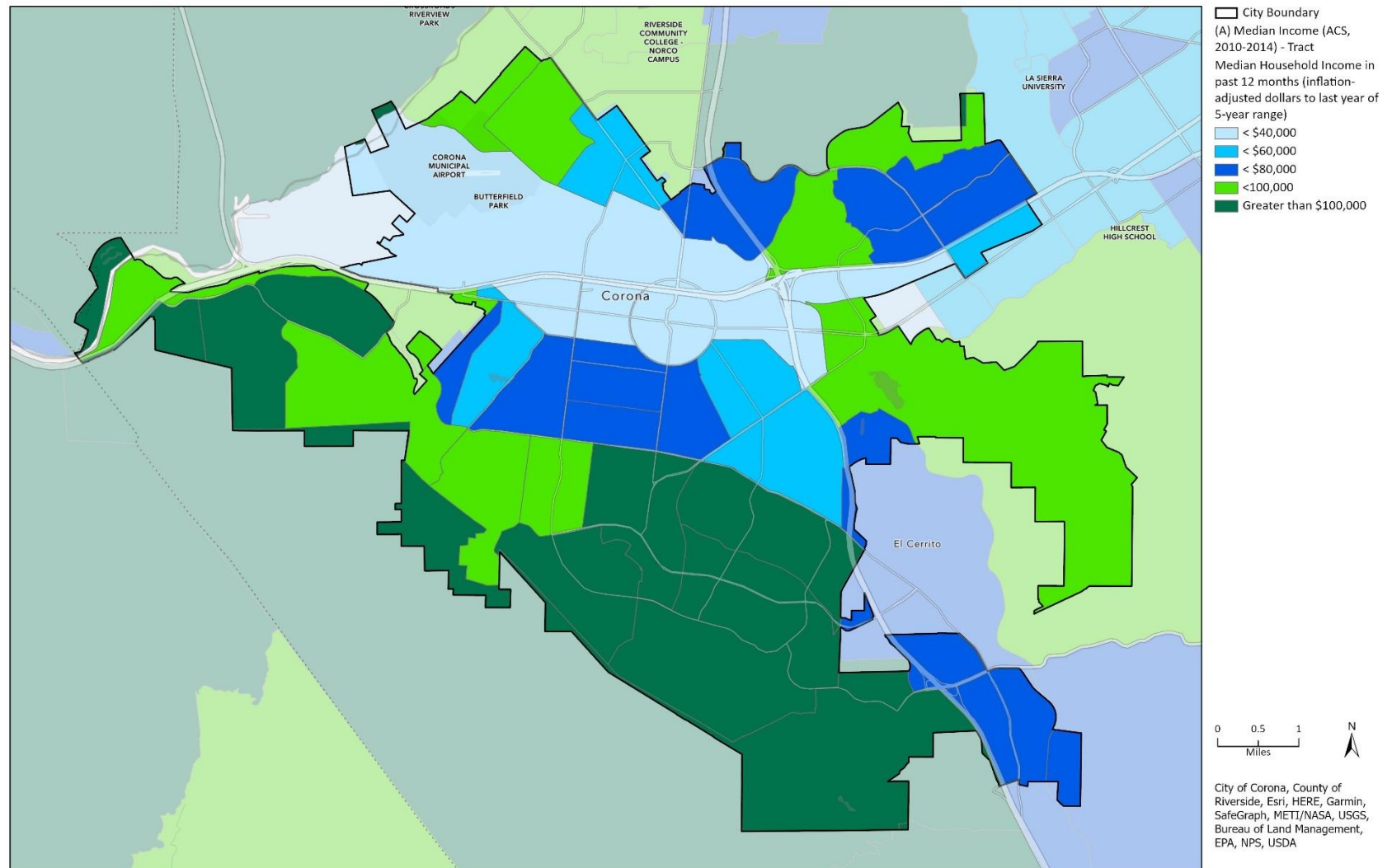
Figure 10 shows the LMI areas in Corona by census block group. LMI areas are concentrated east-west in the central part of the city, including the downtown area and north and south of SR-91, surrounding the Corona municipal airport, and east of Magnolia Avenue. Figure 11 shows the median income by census tract in the City. Correspondingly, areas of lower median income are located in the central portion of the City, and also in the northeastern area north of SR-91 and east of I-15. Areas of higher median income are located in the south and western areas, generally west and south of Via Del Rio, Via Pacifica, and W. Ontario Avenue. It should be noted that some of the areas identified on the figure do not have residential uses, including the area identified as having 25-50 percent LMI population that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 10: LMI Areas: Corona



Source: AFFH Data Viewer, 2021

Figure 11: Median Household Income: Corona



Source: AFFH Data Viewer, 2021

RACIALLY AND ETHNICALLY CONCENTRATED AREAS OF POVERTY

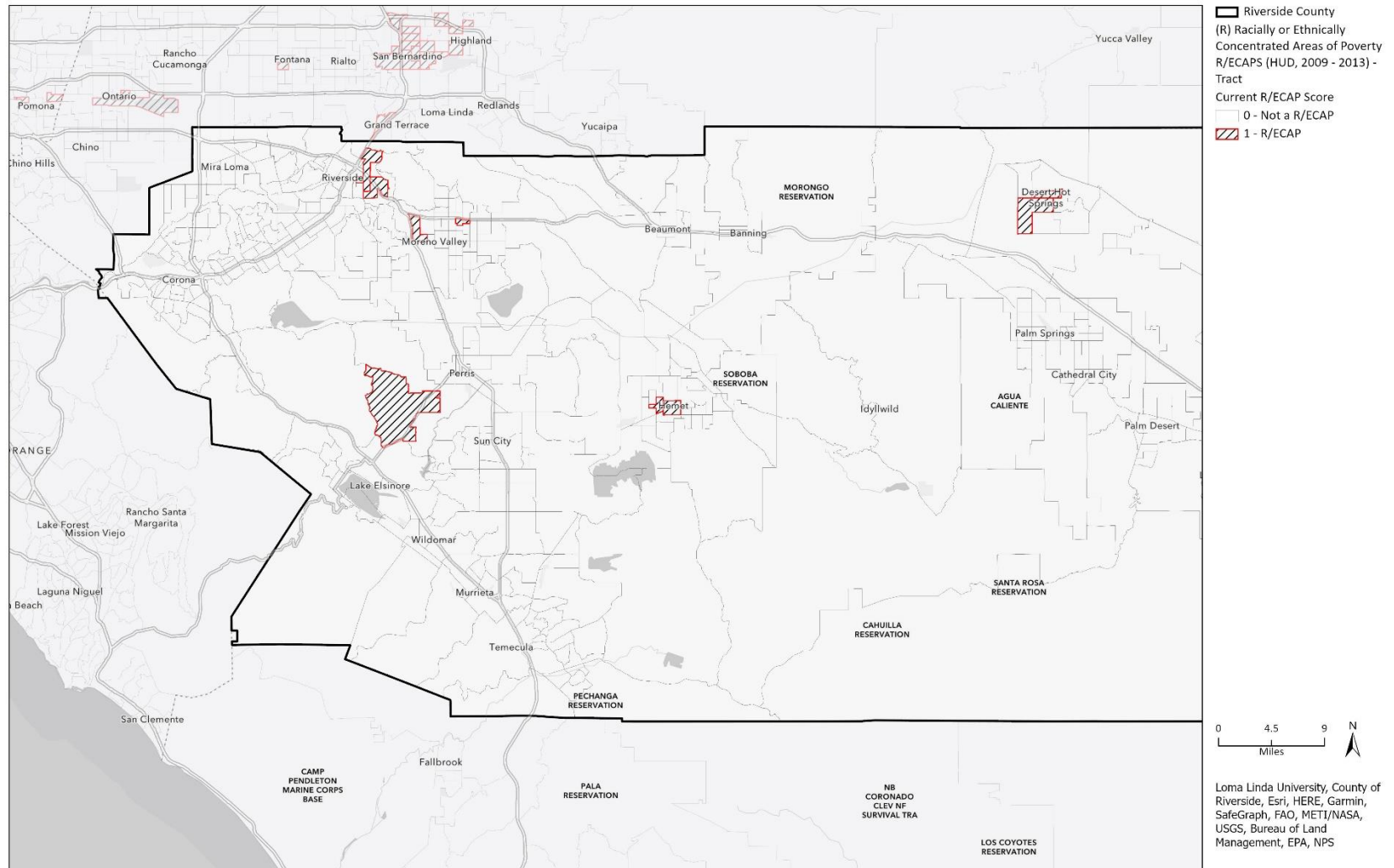
To assist communities in identifying racially and ethnically concentrated areas of poverty (also known as R/ECAPs), HUD developed a definition that relies on a racial and ethnic concentration threshold, as well as a poverty test. For an area to be identified as having a racial and ethnic concentration, the threshold is that a R/ECAP have a non-White population of 50 percent or more, within metropolitan or micropolitan areas. In locations outside these areas, where the non-White populations are likely to be much smaller than 50 percent, the threshold is set at 20 percent. The poverty test defines areas of “extreme poverty” as those where 40 percent or more of the population lives at or below the federal poverty line, or those where the poverty rate is three times the average poverty rate in the metropolitan area, whichever is less. An area that meets either the racial or ethnic concentration and also meets the poverty test would be considered a RECAP.

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs 19 through 28 in the Housing Element focus on the City’s efforts to affirmatively reduce barriers to housing, including but not limited to, racial inequities, high housing costs, and public awareness of existing resources. Poverty and segregation work to exasperate existing impediments in Corona, such as concentrations of LMI populations, language barriers, lending discrimination, and overcrowded conditions.

County of Riverside Trends

In Riverside County, there are R/ECAPs scattered in small sections of Riverside, Moreno Valley, and Hemet, as shown in Figure 12. Larger R/ECAP clusters can be seen in the western part of the county near Meadowbrook between Lake Elsinore and Perris, and in the eastern part of the county in Desert Hot Springs.

Figure 12: R/ECAPs: Riverside County

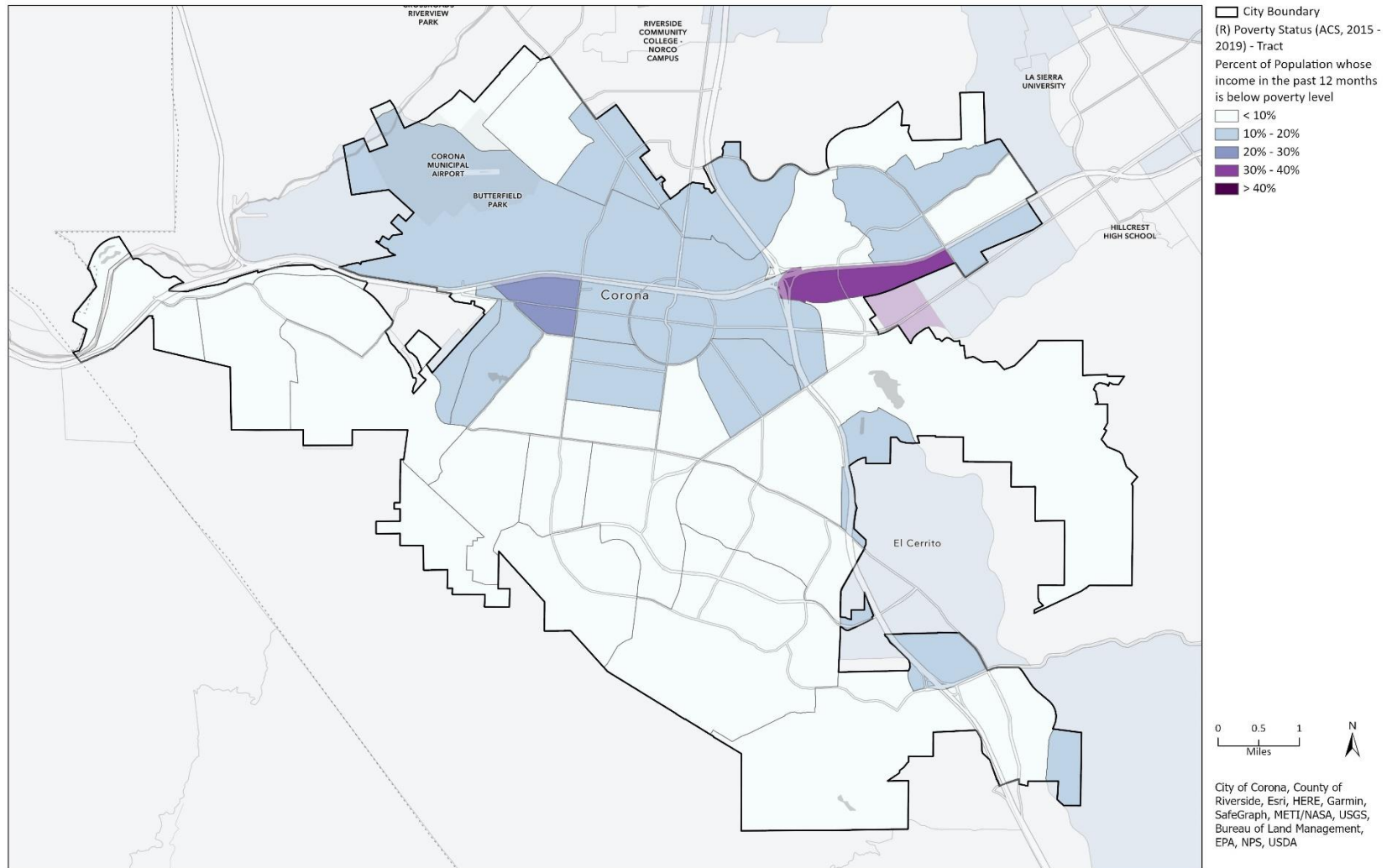


Source: AFFH Data Viewer, 2021

City of Corona Trends

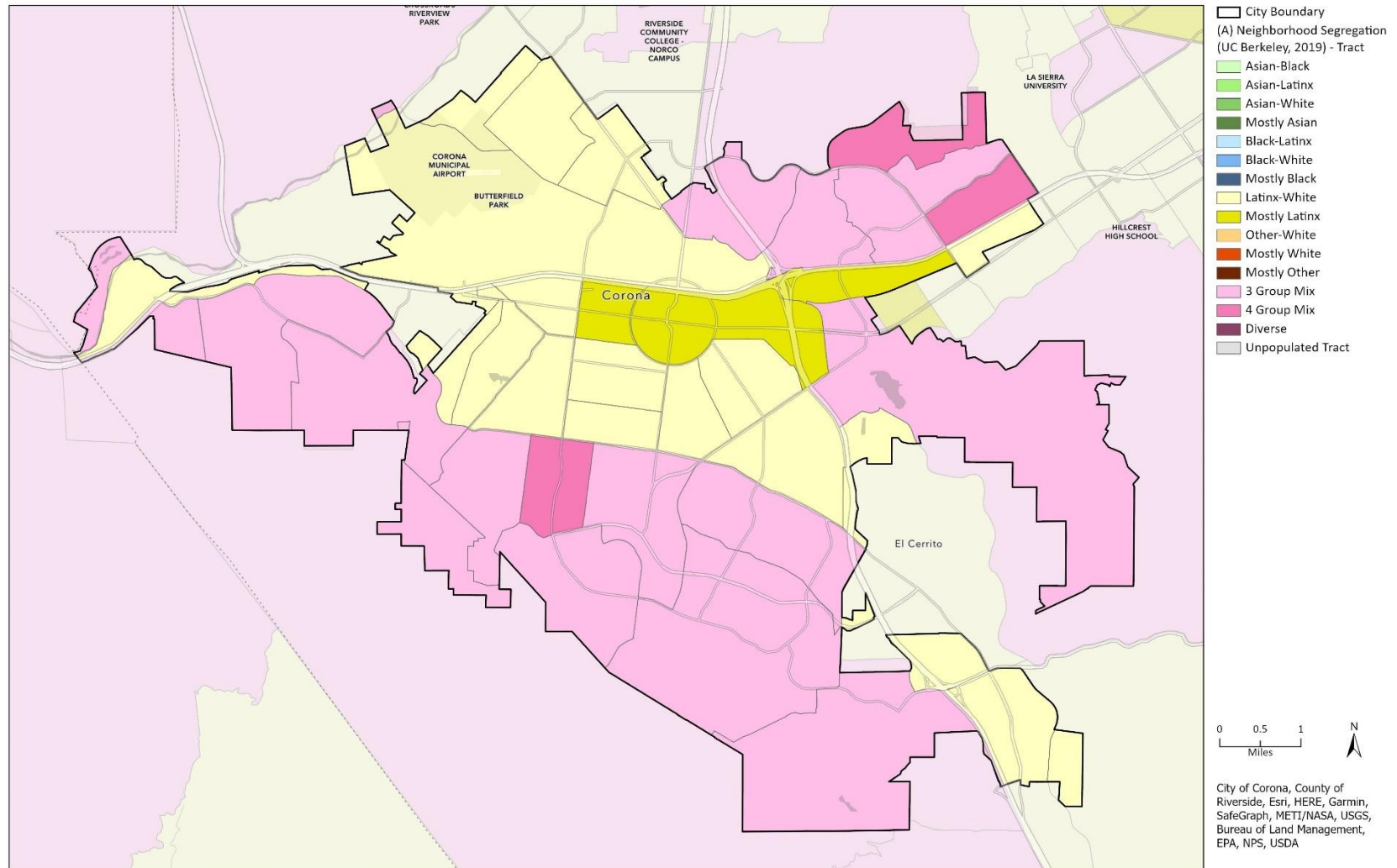
Corona does not have any R/ECAP areas. Figure 13 shows concentrated areas of poverty in the City by census tract, with an area of high segregation and poverty in the eastern area of the city south of SR-91 and north of Sampson Avenue. However, this area is generally industrial with few if any residences. Generally, Corona's areas of poverty (between 10 and 30 percent of the population) are concentrated in the downtown area and north and south of SR-91, with some pockets in the eastern portions of the City. It should be noted that some of the areas identified on the figure do not have residential uses, including the areas identified as having 10-20 percent poverty that are east of I-15 and south of Liberty Avenue in the southeastern portion of the city. Areas of racial/ethnic segregation exist mainly in the downtown areas, as shown in Figure 14. Taken together, Corona's areas of segregation and poverty exist mainly in the downtown core east of S. Lincoln Avenue and west of I-15, north of W. 10th Street/W. Grand Boulevard/Circle City Drive, and south of SR-91.

Figure 13: Areas of Poverty: Corona



Source: AFFH Data Viewer, 2021

Figure 14: Areas of Segregation: Corona



Source: AFFH Data Viewer, 2021

CONCENTRATED AREAS OF AFFLUENCE

While racially R/ECAPs have long been the focus of fair housing policies, racially concentrated areas of affluence (RCAAs) must also be analyzed to ensure housing is integrated, a key to fair housing choice. According to a policy paper published by HUD, RCAA is defined as affluent, white communities. According to HUD's policy paper, whites are the most racially segregated group in the United States and in the same way neighborhood disadvantage is associated with concentrated poverty and high concentrations of people of color, conversely, distinct advantages are associated with residence in affluent, white communities." RCAAs have not been studied extensively nor has a standard definition been published by HCD or HUD, this fair housing assessment uses the percent white population and median household income as proxies to identify potential areas of affluence.

County of Riverside Trends

Figure 1 shows concentrations of majority non-white populations, with the areas with the least non-white populations in the desert communities in the eastern area of the county (Palm Springs, Palm Desert, and surrounding communities).

City of Corona Trends

As shown in Figure 14, Corona does not have any majority white communities. It has areas of concentrated Latino/Hispanic populations, but mainly areas that are "mostly Latino" or "group mix."

DISPARITIES IN ACCESS TO OPPORTUNITY

Access to opportunity is a concept to approximate place-based characteristics linked to critical life outcomes. Access to opportunity often means both improving the quality of life for residents of low-income communities, as well as supporting mobility and access to "high resource" neighborhoods. This encompasses education, employment, economic development, safe and decent housing, low rates of violent crime, transportation, and other opportunities, including recreation, food and healthy environment (air, water, safe neighborhood, safety from environmental hazards, social services, and cultural institutions).

TRANSIT

Access to public transit is of paramount importance to households affected by low incomes and rising housing prices. Public transit should strive to link lower income persons, who are often transit dependent, to major employers where job opportunities exist. Access to employment via public transportation can reduce welfare usage and increase housing mobility, which enables residents to locate housing outside of traditionally low-income neighborhoods.⁴ The lack of a relationship between public transit, employment opportunities, and affordable housing may impede fair housing choice. Persons who depend on public transit may have limited choices regarding places to live.

⁴ Ong, Paul and Evelyn Blumenberg, "Job Accessibility and Welfare Usage: Evidence from Los Angeles." UCLA Department of Policy Studies, (1998).

County of Riverside Trends

Riverside County residents in urban and suburban areas generally access to transportation infrastructure, which includes the RTA bus system, the Sun Line Transit Agency in the Palm Springs area, Palo Verde Transit Agency in the Blythe area, the Riverside Metrolink Station, with links to San Bernardino County's Omnitrans system as well as to Amtrak, the Corona Transit Center, and the West Corona Metrolink Station. Public transit providers serve large portions of the western side of the County.

Transit use is higher in parts of the region where the greatest investment in transit service has been made. Almost all major employment centers in Riverside are served by some form of public transit. However, having regional access to jobs by means of public transit does not necessarily translate into stable employment. Low-income workers, especially female heads of household with children, have unique travel patterns that may prevent them from obtaining work far from home, regardless of access to public transit. Women in general are disproportionately responsible for household-supporting activities such as trips to grocery stores or accompanying young children to and from schools.

AllTransit is an online database that provides details on transit opportunity throughout the United States. The website explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. The participating jurisdictions in the County received an average AllTransit performance score of 3.3.⁵ AllTransit performance score explores metrics that reveal the social and economic impact of transit, specifically looking at connectivity, access to jobs, and frequency of service. A score of 3.3 means there is, overall, a low combination of trips per week and number of jobs accessible enabling few people to take transit to work.

City of Corona Trends

According to AllTransit, 1.65 percent of workers in Corona take public transportation to work. The City has an AllTransit Performance Score of 2.5, less than the County as a whole. Four RTA routes serve the city.

EDUCATION

County of Riverside Trends

TCAC Opportunity Areas map for education provides an overview of education outcomes across the county. As shown in Figure 15, areas of more positive educational outcomes are located in the western portion of the county and near Beaumont and Palm Desert. The TCAC Opportunity methodology included test scores, high school graduation rates, and school poverty rates.

Kidsdata.org, a program of the Lucile Packard Foundation for Children's Health, estimated that 27.6 percent of children aged 0-17 in Riverside County were living in low-income working families between 2013 to 2017.⁶ Additionally, 21.3 percent of families with children aged 0-17 in the county were

⁵ <https://alltransit.cnt.org/>

⁶ Definition of "low income working family": children ages 0-17 living in families with incomes below 200 percent of their federal poverty threshold and with at least one resident parent who worked at least 50 weeks in the 12 months prior to the survey

below the poverty level between 2013-2017 and 5.1 percent of public school students experienced homelessness. Cost burden is also an issue in Riverside County, as 42.6 percent of households with school age children experienced high housing cost burden between 2014-2018.

Riverside County
 (R) TCAC Opportunity Areas
 (2021) - Education Score -Tract
 Education Domain Score (by region)

- < 0.25 (Less Positive Education Outcomes)
- 0.25 - 0.50
- 0.50 - 0.75
- > 0.75 (More Positive Education Outcomes)
- No Data

0 4.5 9
Miles

Loma Linda University, County of Riverside, Esri, HERE, Garmin, SafeGraph, FAO, METI/NASA, USGS, Bureau of Land Management, EPA, NPS

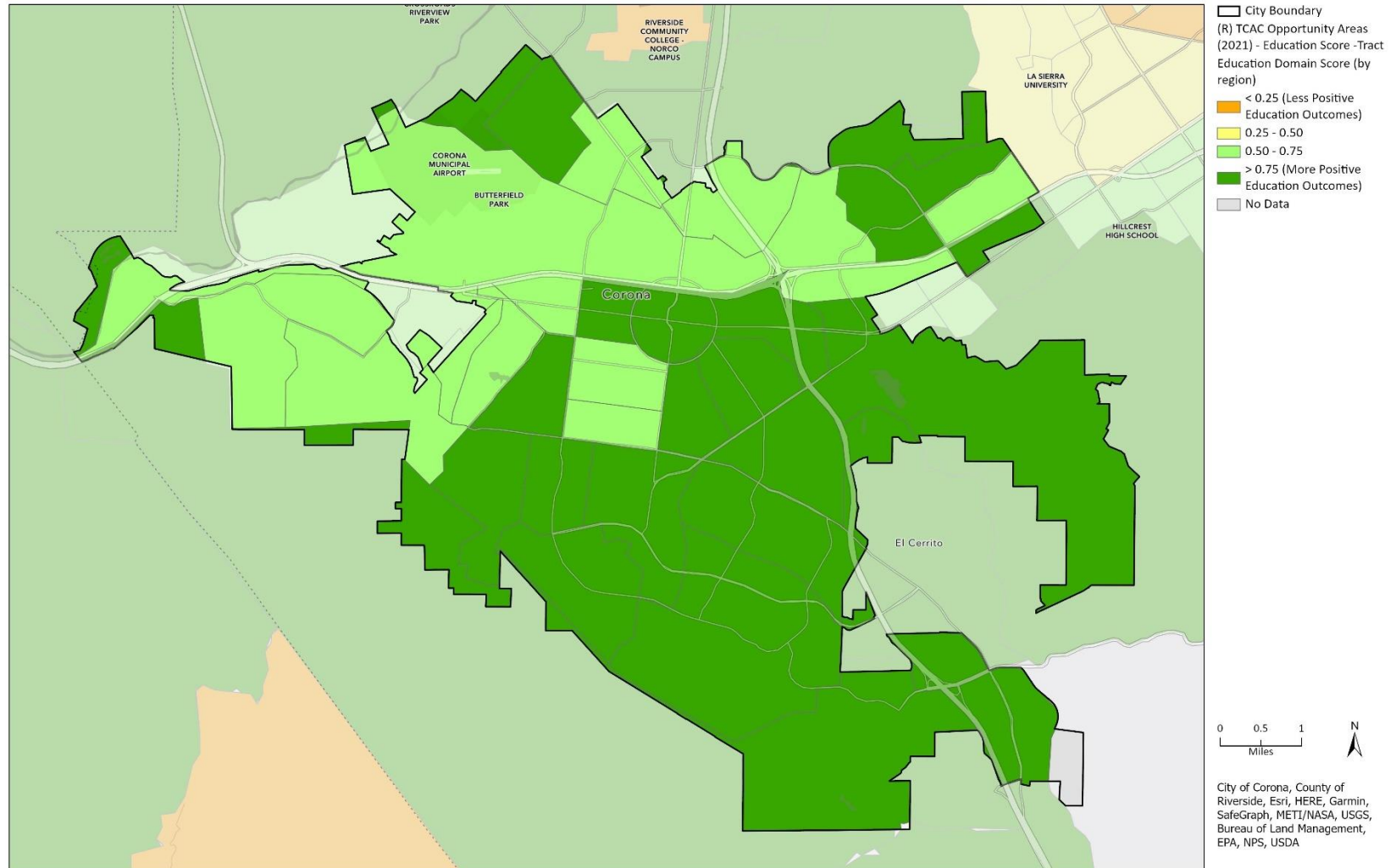
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City of Corona Trends

Youth in Corona are served by the Corona Norco Unified School District (CNUSD). Although the City does not have direct control over the school district, City and CNUSD staff work closely to ensure that access, safety, and opportunity is continually provided. Figure 16 shows Corona's TCAC scores related to access to education on a census tract level. In general, the City does not have large disparities in educational outcomes. Educational outcome scores are higher in the southern portion of the City with the exception of areas to the very north and east, but no portion of the City has low outcome scores.

Kidsdata.org estimated that 19.6 percent of children aged 0-17 in CNUSD were living in low-income working families between 2012 and 2016, which is lower than the 27.6 percent low-income rate in the County as a whole. Additionally, 21.3 percent of families with children aged 0-17 in the CNUSD were below the poverty level between 2013-2017 and 0.7 percent of public school students were homeless. Similar to Riverside County, 42.3 percent of households with school age children experienced a high housing cost burden, according to 2014-2018 ACS data.

Figure 16: TCAC Opportunity Areas of Education: Corona



Source: TCAC/HUD, 2021

EMPLOYMENT

County of Riverside Trends

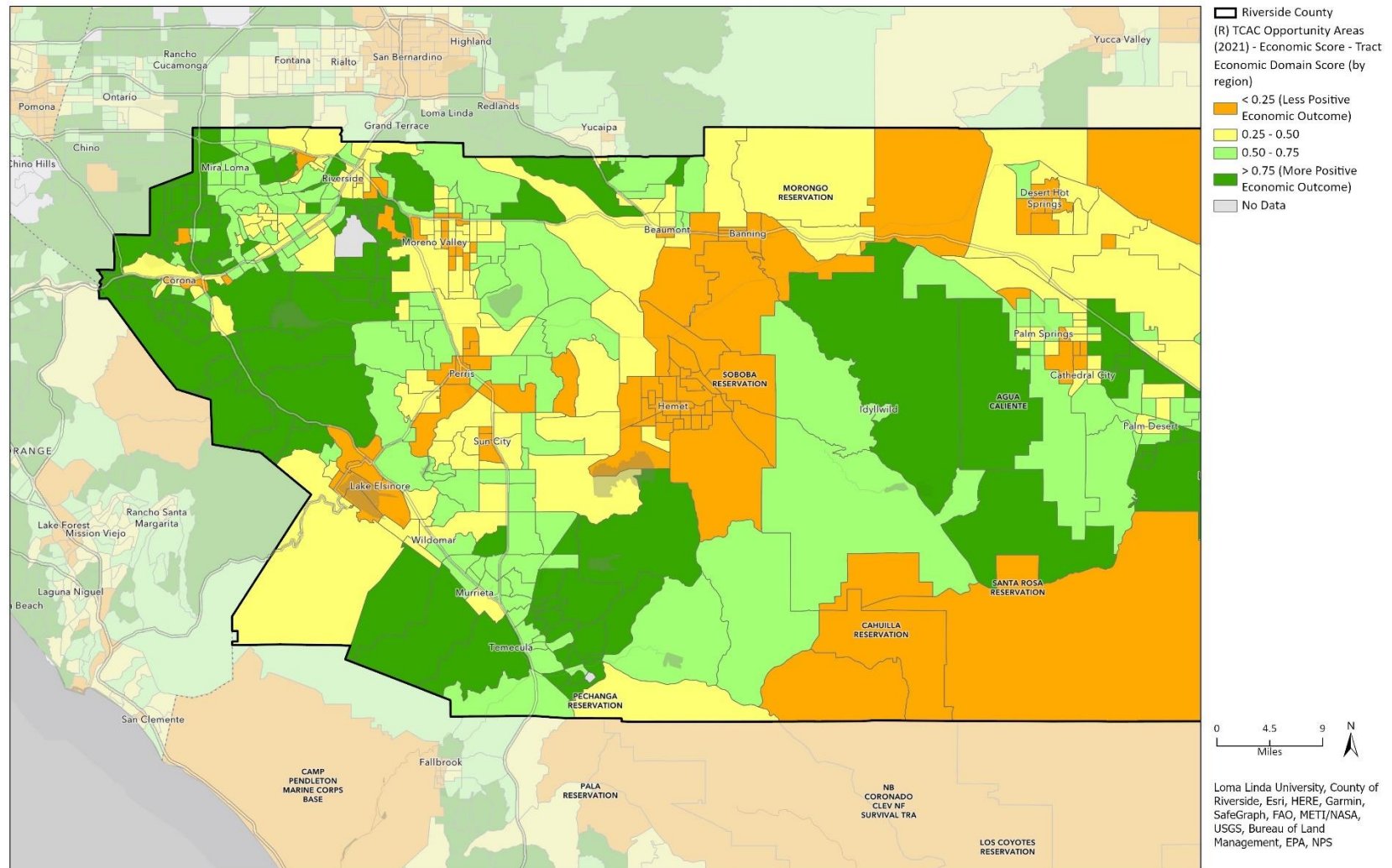
According to the California Employment Development Department, the unemployment rate of Riverside County was 7.2 percent in May 2021 (not seasonally adjusted).⁷ Riverside's top 10 employers are primarily in the medical, education, and municipal sectors. While one major retail company, Amazon, remains among the top ten County employers, it is surpassed by the U.S. Military, a major university, and a regional government bureaucracy in terms of numbers of employees. A high proportion of managerial/professional and sales/office occupations are held by Riverside County residents.

According to HUD, "The labor market engagement index provides a summary description of the relative intensity of labor market engagement and human capital in a neighborhood. This is based upon the level of employment, labor force participation, and educational attainment in a census tract" (AFFH-T Data Documentation 2017). Educational attainment is a measure of those within a census tract who have achieved a bachelor's degree or higher. Values are ranked by national percentile and range from 0 to 100. The higher the score, the higher the labor force participation and human capital in a neighborhood. The group with the highest Labor Market Index scores in both the jurisdiction and the region is Asians or Pacific Islander residents, at 40.96. This group is followed by white residents, at 35.68; Black residents, at 29.68; then Native American residents, at 27.08, and Hispanic residents, at 25.01. HUD attempts to correct for income disparities by statistically separating out the population below the federal poverty level. For Riverside residents below the poverty line, the numbers decrease by an average of 7.28 points, with the largest decrease, 10.34 percent, occurring among Asians and Pacific Islander residents in poverty.

Figure 17 shows the TCAC Opportunity Areas map for economic outcomes across the county. Areas of more positive economic outcomes are located in the western portion of the county and near Temecula, Idyllwild, and in some of the desert communities in the eastern portion of the county.

⁷ <https://www.labormarketinfo.edd.ca.gov/data/labor-force-and-unemployment-for-cities-and-census-areas.html#Data>

Figure 17: TCAC Opportunity Areas of Economic Outcomes: Riverside County



Source: TCAC/HUD, 2021

City of Corona Trends

According to the 2014-2018 American Community Survey (ACS), there were 80,196 Corona residents in the labor force, representing a labor force participation rate of 62.5 percent of persons 16 years and over. Table 8 shows the number of persons employed in each job industry and the corresponding percentage of the labor force for the City. The largest occupational category for City residents was education/health care/social assistance. According to the California Employment Development Department, the unemployment rate of Riverside County was 5.8 percent in May 2021 (not seasonally adjusted).

Table 8: Jobs Held by Corona Residents

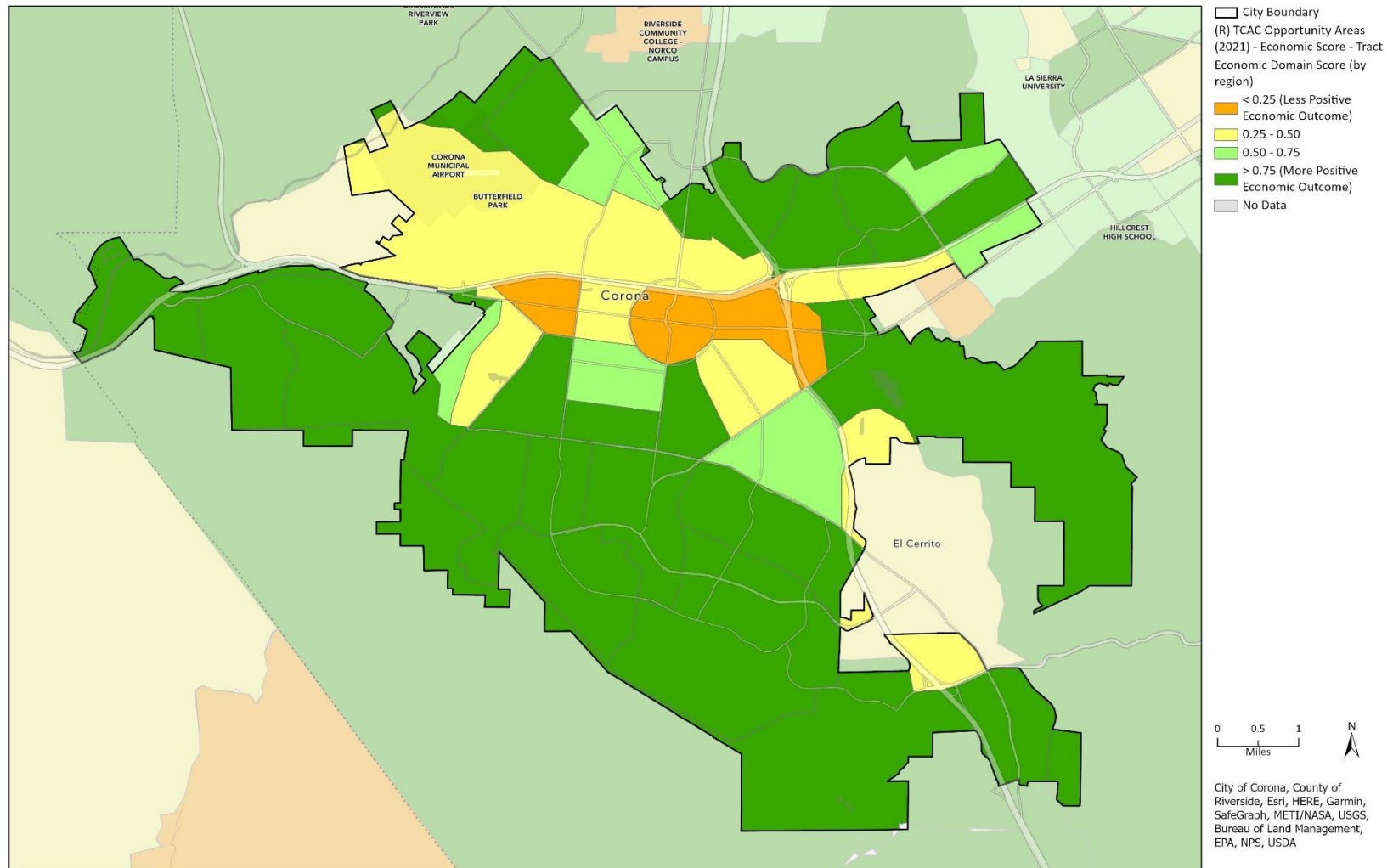
Job Industry	Number	Percent
Agriculture, forestry, fishing and hunting, and mining	160	0.2%
Construction	5,796	7.2%
Manufacturing	11,008	13.7%
Wholesale trade	2,893	3.6%
Retail trade	9,767	12.2%
Transportation and warehousing, and utilities	4,299	5.4%
Information	1,241	1.5%
Finance, insurance, real estate, and rental and leasing	5,045	6.3%
Professional, scientific, management, administration, and waste management	8,024	10.0%
Educational, health care, and social assistance	16,461	20.5%
Arts, entertainment, and recreation, accommodation, and food serves	7,487	9.3%
Other services, except public administration	3,800	4.7%
Public administration	4,215	5.3%
Total employed persons (16 years and over)	80,196	100%
Total persons in labor force	84,863	
Source: Bureau of the Census, 1990-2010. American Community Survey, 2014-2018		

Corona's proximity to major transportation corridors makes this area an attractive location for firms seeking ready access to markets in the counties of Riverside, San Diego, Orange, Los Angeles, and San Bernardino. Several major employers are located within Corona. Major employers in the community include Corona-Norco Unified School District, Corona Regional Medical Center, and Kaiser Permanente.

Figure 18 shows the TCAC Opportunity Areas map for economic outcomes in the City. Areas of more positive economic outcomes are located in the south portion of the county and near the periphery of the

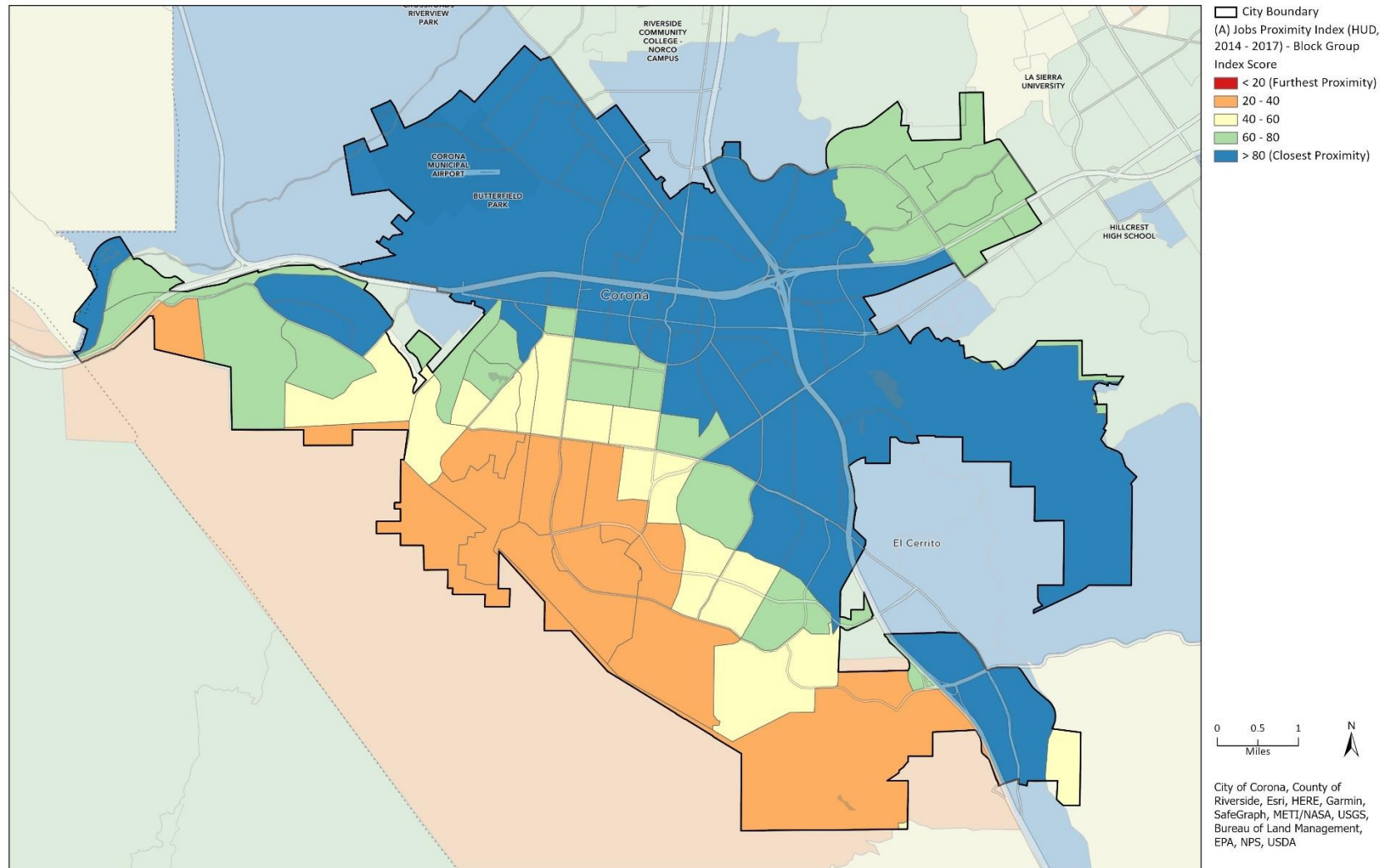
city center, while the downtown area, airport area, and industrial areas have a lower economic outcome score. However, according to Figure 19, the city center and industrial areas have a higher job proximity index than areas towards the City's peripheries. The City focuses on the economic opportunities in the downtown area. The Downtown Revitalization Plan addresses specific goals identified including investing in redevelopment of the downtown.

Figure 18: TCAC Opportunity Areas of Economic Outcomes: Corona



Source: TCAC/HUD, 2021

Figure 19: Job Proximity Index: Corona



Source: AFFH Viewer 2021

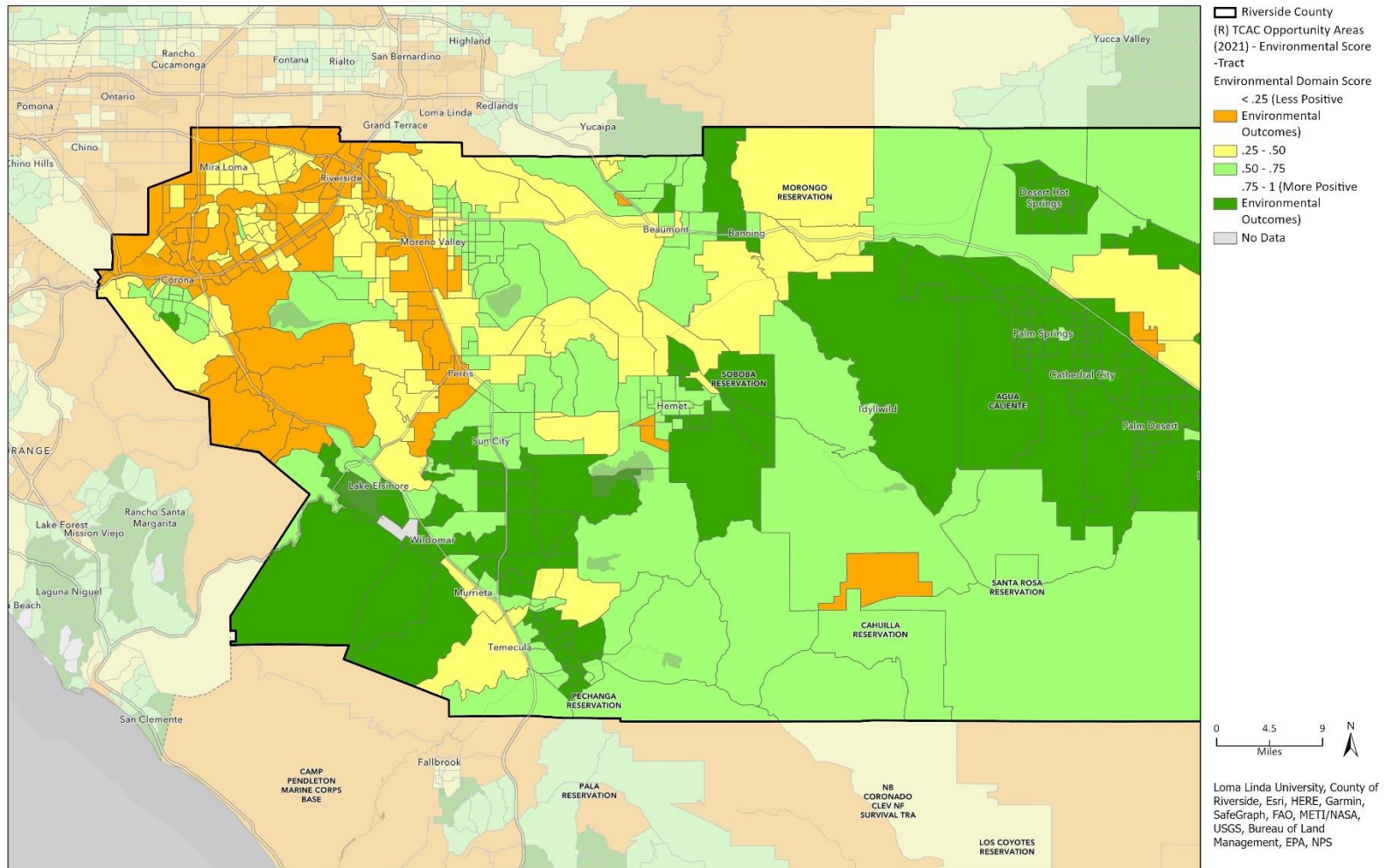
HEALTHY ENVIRONMENT

Access to a healthy environment is necessary for the communities found within the City to thrive. Healthy Environment in AFFH addresses patterns in the disparities found within the different neighborhoods and protected area groups. As previously mentioned, these disparities can vary from air quality, water quality, safe neighborhood, environmental hazards, social services, and cultural institutions. It is important to address these issues in order to keep from triggering the California laws AB 1550, SB 535 and SB 1000 which emphasize the importance of environmental justice for housing efforts. The California Office of Environmental Health Hazard Assessment (OEHHA) developed a screening methodology to help identify California communities disproportionately burdened by multiple sources of pollution called the California Communities Environmental Health Screening Tool (CalEnviroScreen). High scoring census tracts tend to be more burdened by pollution from multiple sources and are most vulnerable to its effects, taking into account socioeconomic characteristics and underlying health status.

County of Riverside Trends

The County's overall CalEnviroScreen map identifies pollution and hazardous areas within the County of Riverside. This is an important tool which allows for the analyzation of people's vulnerability to pollution and whether communities are considered an SB 535 disadvantaged community. CalEnviroScreen reports scores as percentiles to compare tracts across the entire county. Figure 20 shows the more urbanized, western portion of the County has less positive environmental outcomes.

Figure 20: CalEnviroScreen Percentile Scores: Riverside County



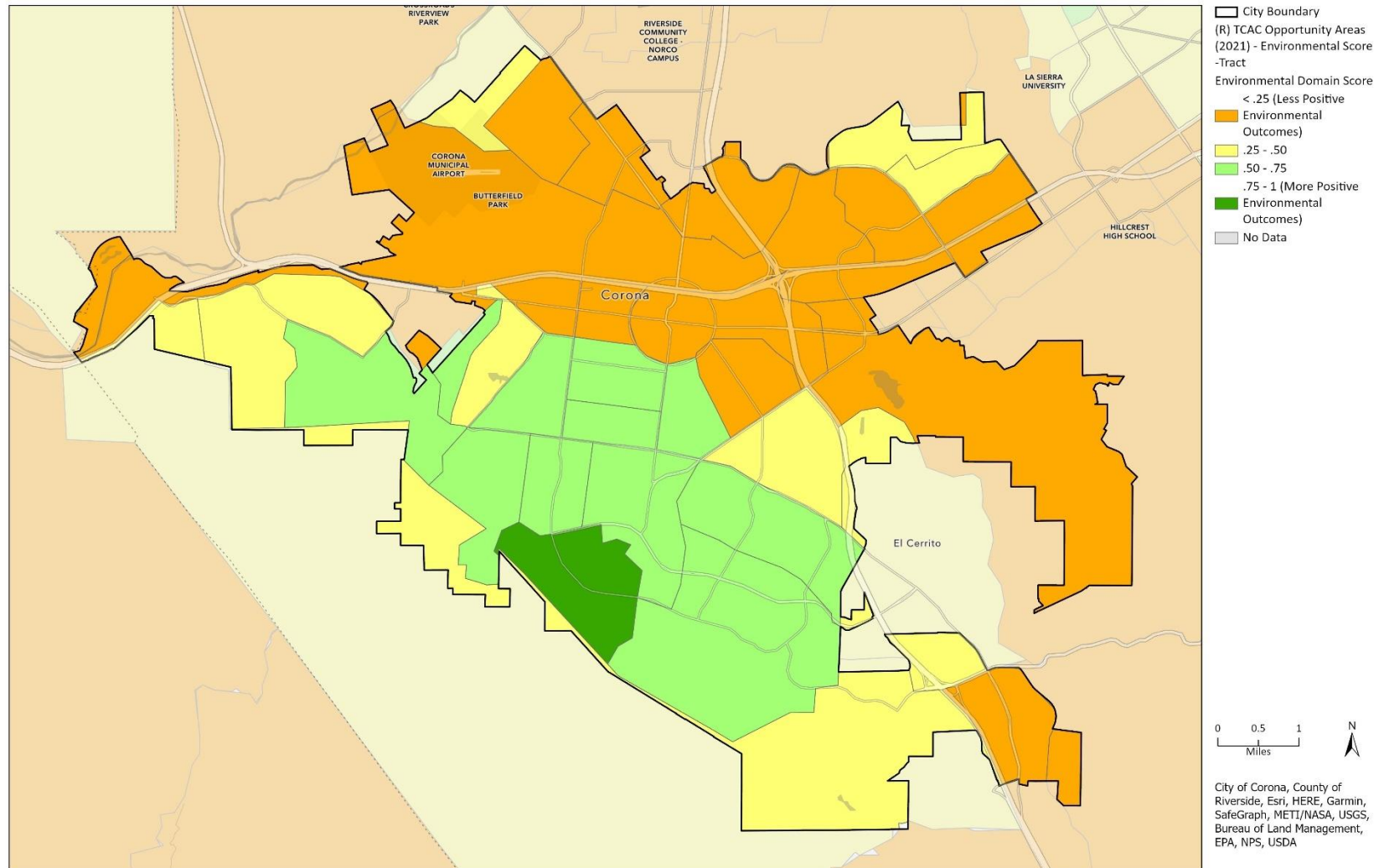
Source: AFFH Viewer 2021

City of Corona Trends

As shown in Figure 21, the City has a large disparity in environmental outcomes. The northern portion of the City, from downtown north, has less positive environmental outcomes than south of downtown, which are further from freeways and industrial areas and closer to undeveloped mountain land. Unsurprisingly, areas close to freeways in Corona have a high pollution burden for diesel particulate matter, ozone, and traffic.⁸ These areas also tend to have higher concentrations of poverty and racial/ethnic minorities.

⁸ <https://oehha.ca.gov/calenviroscreen/report/draft-calenviroscreen-40>

Figure 21: CalEnviroScreen Percentile Scores: Corona



Source: AFFH Viewer 2021

DISPROPORTIONATE HOUSING NEEDS

Disproportionate housing needs generally refers to a condition in which there are significant disparities in the proportion of members of a protected class experiencing a category of housing need when compared to the proportion of members of any other relevant groups, or the total population experiencing that category of housing need in the applicable geographic area. For purposes of this definition, categories of housing need are based on such factors as cost burden and severe cost burden, overcrowding, homelessness, and substandard housing conditions.

COST BURDEN

County of Riverside Trends

Cost burden is defined as the proportion of a household's total gross income spent on housing costs. Households spending a minimum of 30 percent of their total gross income on housing costs are considered cost burdened, whereas households spending over 50 percent on housing costs are considered severely rent burdened. Low-income households and persons in protected classes disproportionately experience severe housing problems. Housing problems include units with physical defects, overcrowded conditions, and housing cost burden. Low-income households tend to more often be renters than buyers.

According to the County of Riverside AI, there are a total of 683,145 households in Riverside County. Of those households, 337,325, or 49.38 percent, experience housing problems. Among those 337,325 households experiencing problems, 187,835, or 27.50 percent of the total, experience severe housing problems. Additionally, Hispanic and Black households within the jurisdiction experience housing problems and severe housing problems at disproportionately higher rates than the average. Specifically, 59.46 percent of Hispanic and 58.67 percent of Black residents experience housing problems, while 37.16 percent of Hispanic and 32.77 percent of Black residents experience severe housing problems. Asian residents in Riverside County experience severe housing problems disproportionately, at 28.19 percent, as compared to 27.50 percent of households in general. By contrast, white residents within the jurisdiction are far less likely to experience housing problems, making up 41.38 percent of those experiencing problems vs. 49.38 percent of the population on average. They are also less likely than average to experience severe housing problem, at 20.32 percent versus 27.50 percent for the general population.

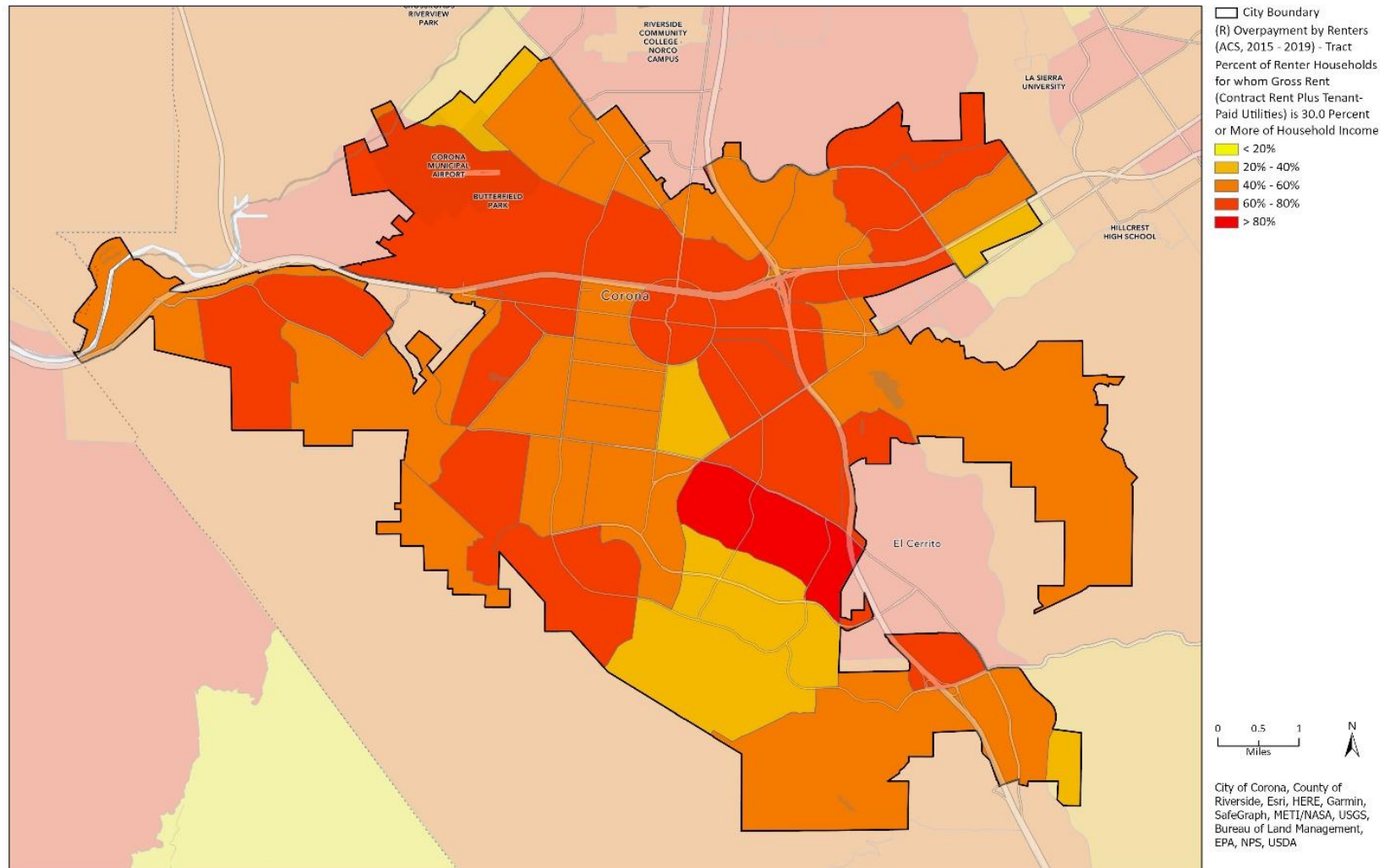
City of Corona Trends

When comparing by household types, a greater proportion of renter elderly, renter small family, and renter large family households faced housing problems than owner households of the same type. As discussed in the Housing Element, 61 percent of extremely low-income renter households in Corona spend more than 50 percent of their income on housing. Low-income households tend to more often be renters than buyers. Specifically, all extremely low, very low, and low-income renters in Corona reported experiencing at least one housing problem. Additionally, a higher-than-average portion of families who rent are housing-burdened (pay more than 30 percent of income on housing).

Figure 22 shows the areas of the City most likely to have overpayment by renters. The area most likely to incur overpayment by renters is south of W. Ontario Avenue and north of E. Chase Drive west of I-15. The downtown area and central part of the city, and the northeast area of the city near the Riverside Community College are also likely to have overpayment by renters. It should be noted that some of the

areas identified on the figure do not have residential uses, including the area identified as having 40-60 percent overpayment by renters that is east of I-15 and south of Liberty Avenue in the southeastern portion of the city.

Figure 22: Overpayment by Renters: Corona



Source: AFFH Data Viewer, 2021

OVERCROWDING

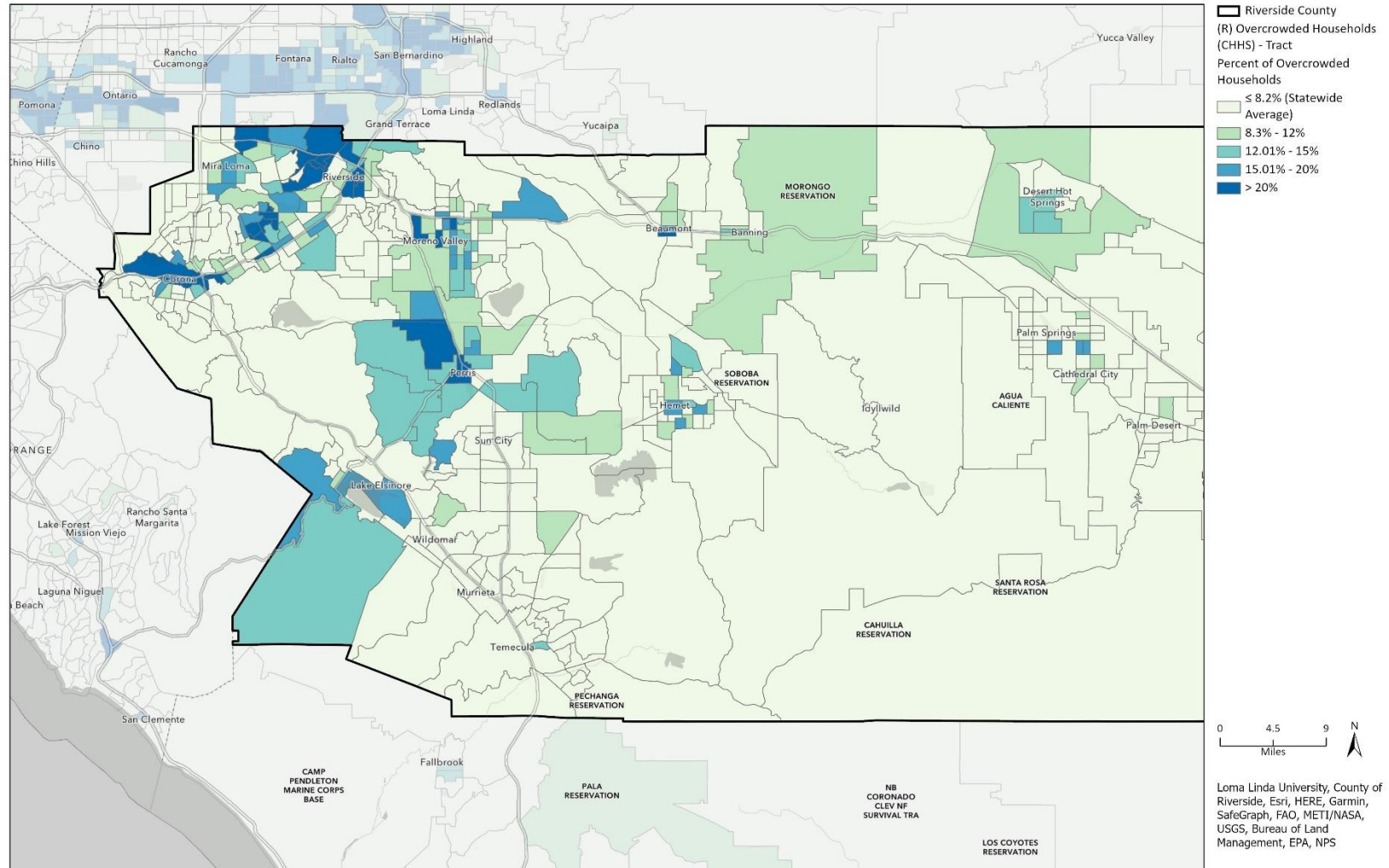
Overcrowding is defined as housing units with more than one person per room (including dining and living rooms but excluding bathrooms and kitchen) while severe overcrowding refers to more than 1.5 persons per room. Large families in general have special housing needs due to lower per capita income, the need for affordable housing, or the need for larger units with 3 or more bedrooms, resulting in overcrowding.

Some households may not be able to accommodate high cost burdens for housing but may instead accept smaller housing or reside with other individuals or families in the same home. Potential fair housing issues emerge if non-traditional households are discouraged or denied housing due to a perception of overcrowding. Household overcrowding is reflective of various living situations: a family lives in a home that is too small; a family chooses to house extended family members; or unrelated individuals or families are doubling up to afford housing. However, cultural differences also contribute to the overcrowded conditions since some cultures tend to have a larger household size than others due to the preference of living with extended family members. Not only is overcrowding a potential fair housing concern, it can potentially strain physical facilities and the delivery of public services, reduce the quality of the physical environment, contribute to a shortage of parking, and accelerate the deterioration of homes. As a result, some landlords or apartment managers may be more hesitant to rent to larger families, thus making access to adequate housing even more difficult. According to local fair housing service providers and property managers, addressing the issue of large households is complex as there are no set of guidelines for determining the maximum capacity for a unit. Fair housing issues may arise from policies aimed to limit overcrowding that have a disparate impact on specific racial or ethnic groups with higher proportion of overcrowding.

County of Riverside Trends

According to the County of Riverside AI, the County had 129,419 large families, 35.16 of which earned what would be considered low and moderate income for a family of four, with roughly 14.4 percent falling into the extremely low-income category. Large families experience housing problems disproportionately, at 64.48 percent, vs. 49.38 percent of households generally. 3,843 two-bedroom units and 2,995 three or more-bedroom units are available within subsidized housing programs within the County. In total, 32.01 percent, or 3,934 units, of the 12,287 total publicly supported housing program units are occupied by families with children. As shown in Figure 23, overcrowded housing is a greater issue in western Riverside County, mainly in urban centers such as the City of Riverside, Corona, and Perris.

Figure 23: Overcrowded Housing: Riverside County

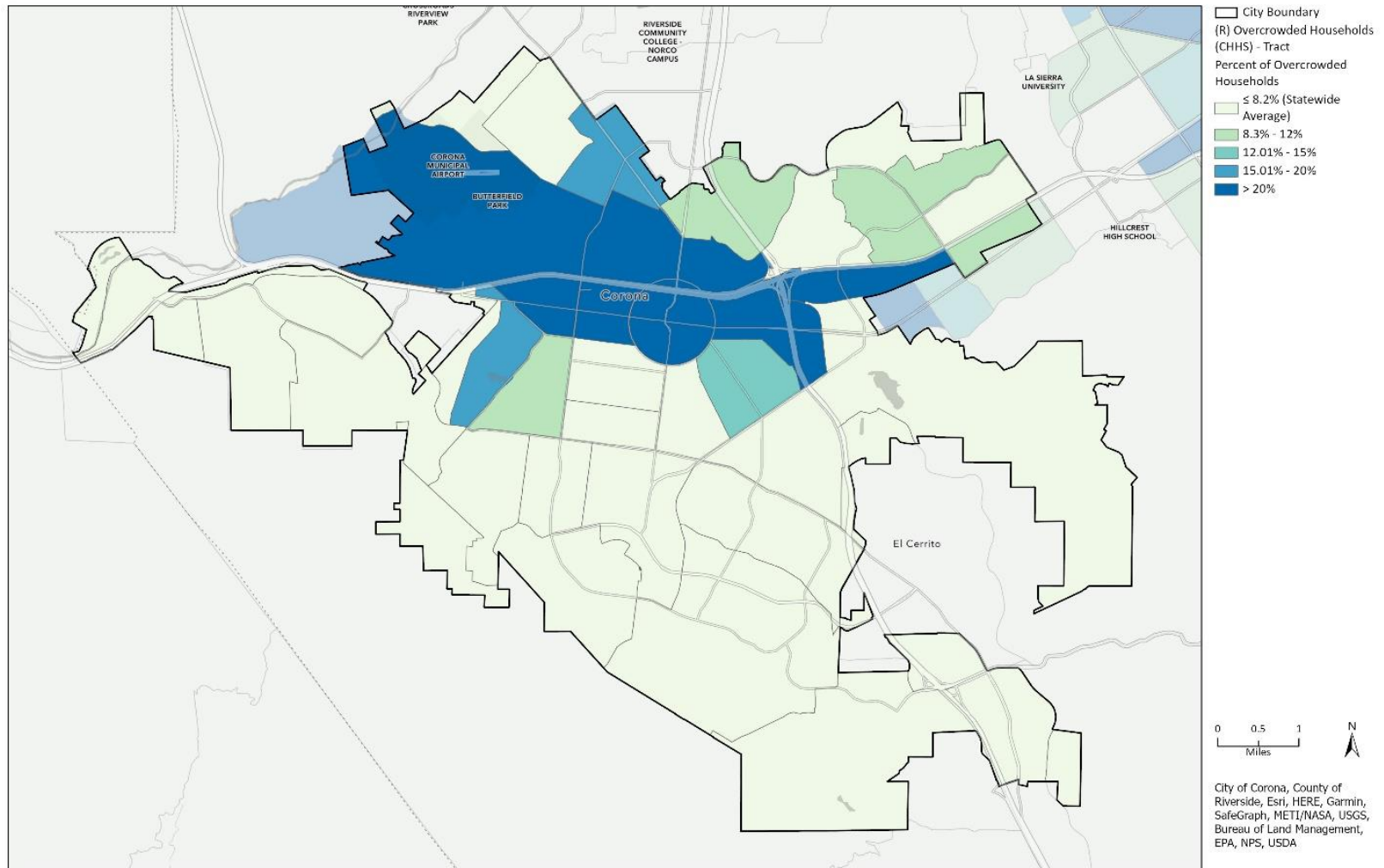


Source: AFFH Data Viewer, 2021

City of Corona Trends

Based on 2014-2018 ACS estimates, 5.9 percent of households in Corona are overcrowded, compared to 6.9 percent for the County as a whole. Corona had an average of 3.32 persons per household in 2018, representing a small decrease from 2010, when an average of 3.38 persons per household was recorded. Corona had a smaller average household size than Moreno Valley and Norco. Furthermore, Corona had a lower percentage of overcrowded households when compared to Moreno Valley, City of Riverside, and the County of Riverside. As shown in Figure 24, areas more likely to have overcrowded households are located in the downtown and central areas of the City north and south of SR-91.

Figure 24: Overcrowded Housing in Corona



Source: AFFH Data Viewer, 2021

DISPLACEMENT

The two primary key factors in visualizing displacement are the loss of low-income households and increases in rent. According to the UDP, neighborhoods are considered sensitive communities if they have a large percentage of residents at a higher risk of displacement due to increasing housing costs relative to other areas.

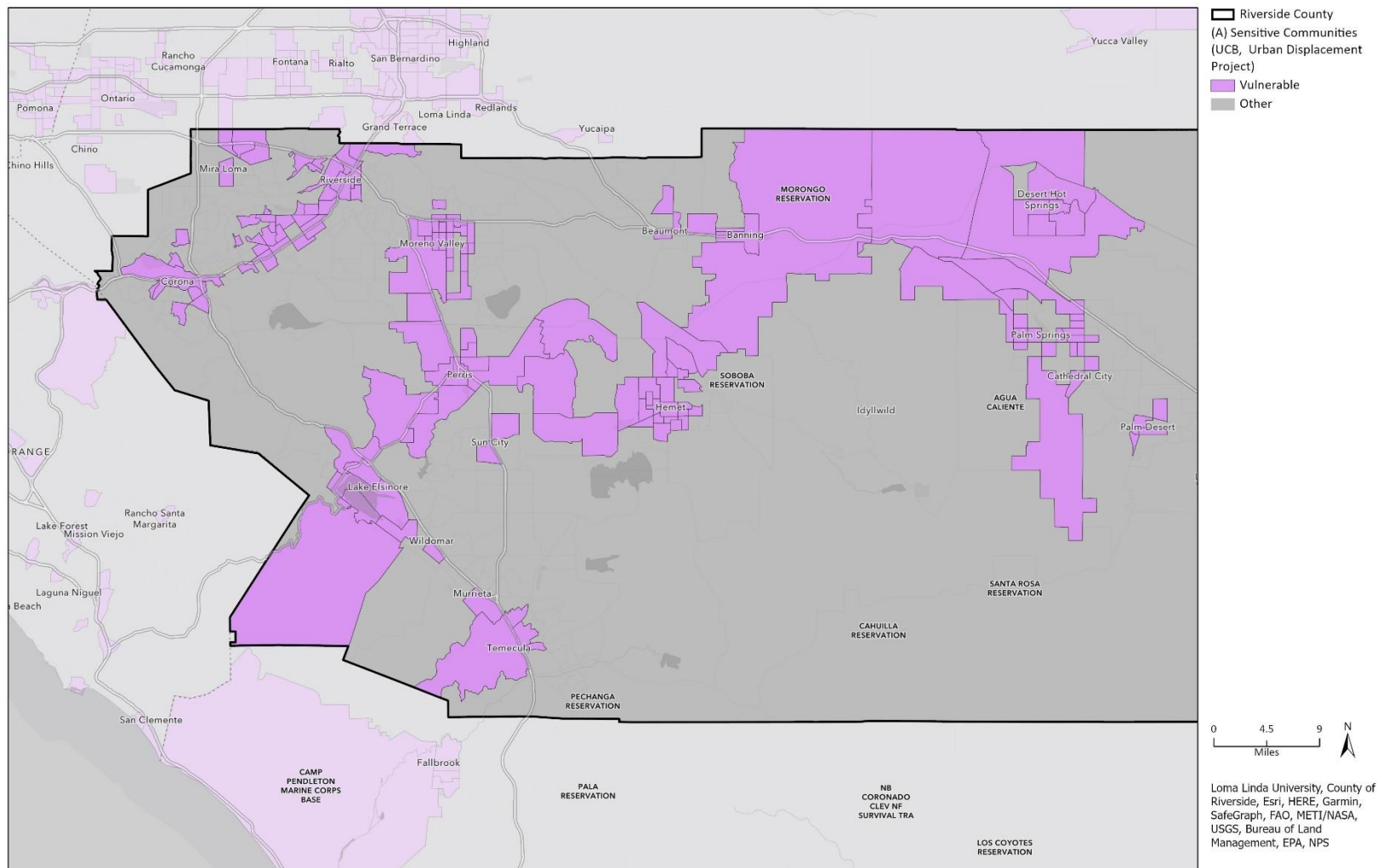
Riverside County Trends

As shown in Figure 25, residents in the cities in northern Riverside County are facing relatively less displacement risk than those living in cities in the southern portion of the county. Residents living in urban areas such as Riverside, Moreno Valley, Perris, Nuevo, Lake Elsinore, and Hemet are at risk of displacement, as are residents in more rural areas such as the Morongo Reservation.

City of Corona Trends

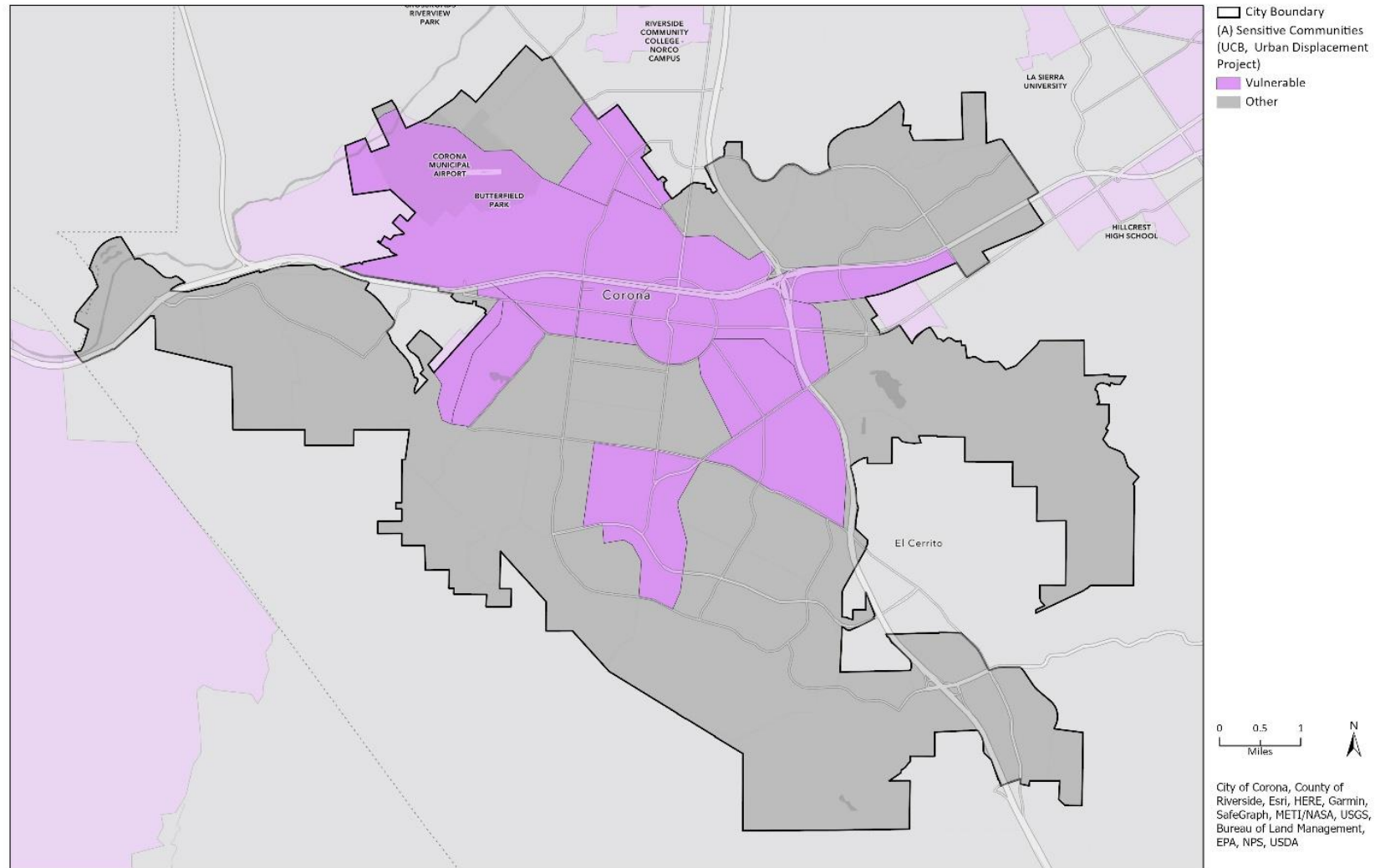
In Corona, the areas with greatest risk of displacement are also the areas where residents tend to have lower median incomes, as shown in Figure 26.

Figure 25: Sensitive Communities in Riverside County



Source: AFFH Data Viewer, 2021

Figure 26: Sensitive Communities in Corona



Source: AFFH Data Viewer, 2021

Disproportionate Housing Needs: Contributing Factors

- Patterns of racial and ethnic concentration
- Displacement of residents due to economic pressures
- Lack of private investments in specific neighborhoods
- Location and type of affordable housing
- Limiting local land use policies
- Unaffordable rents and sales
- Shortage of subsidized housing units
- Dominance of single-family housing
- Discriminatory lending practices
- Location and type of affordable housing
- High levels of overcrowding
- Cost of repairs or rehabilitation

SITES INVENTORY

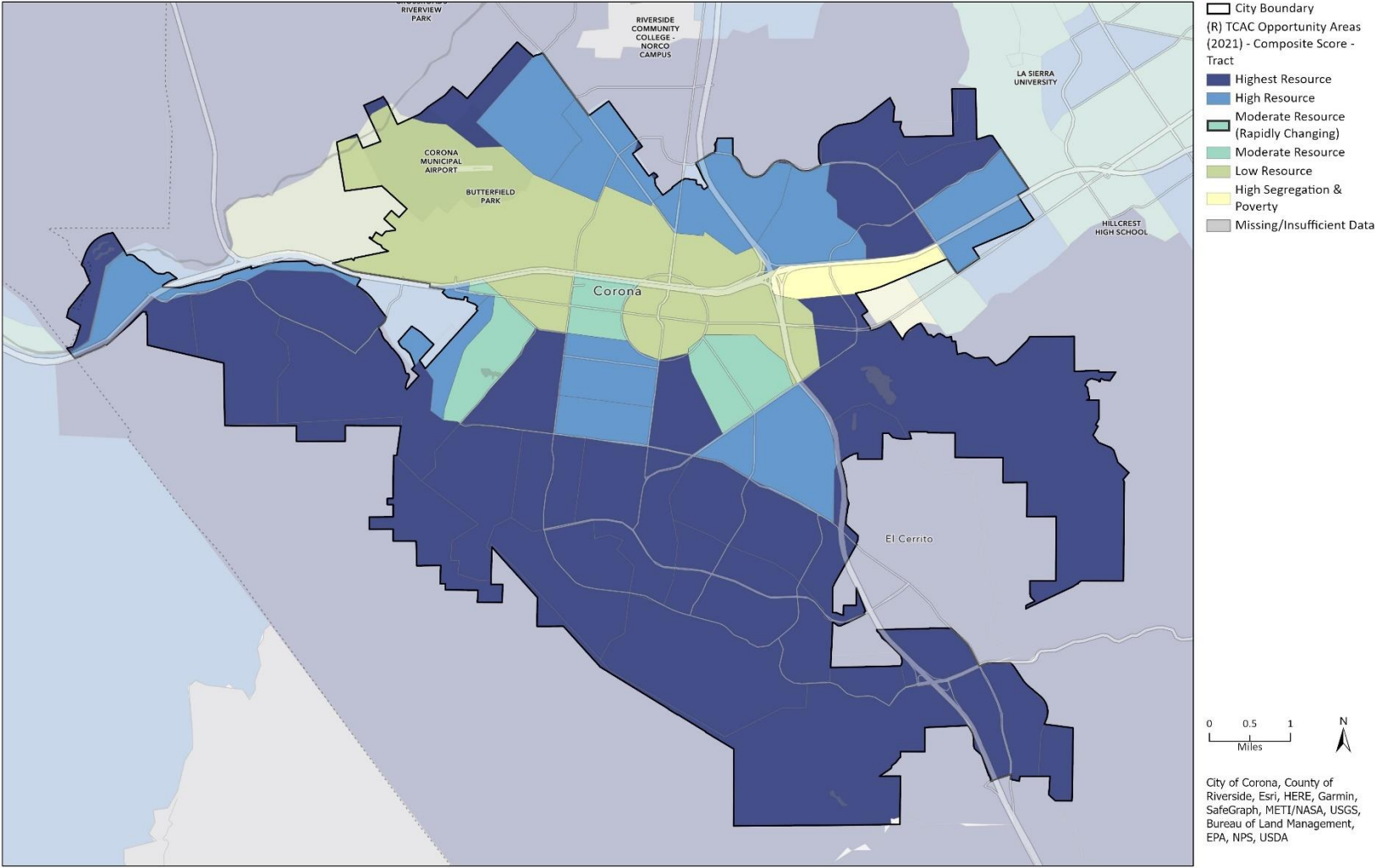
The housing element must demonstrate that there are adequate sites zoned for the development of housing for households at each income level sufficient to accommodate the number of new housing units needed at each income level as identified in the RHNA. In the context of AFFH, the site identification requirement involves not only an analysis of site capacity to accommodate the RHNA, but also whether the identified sites serve the purpose of replacing segregated living patterns with truly integrated and balanced living patterns, transforming racially and ethnically concentrated areas of poverty into areas of opportunity.

Opportunity Areas

HCD and CTAC have created opportunity maps to identify areas throughout the state whose characteristics support positive economic (low poverty, high employment, high median household income), educational (reading and math proficiency, high school graduation rates, low student poverty rates), and environmental outcomes (low exposure to pollution) for low-income families—particularly long-term outcomes for children. The HCD/CTAC Opportunity Areas Map ranks Census tracts in Highest Resource to Low Resource based on these outcomes. A Census tract with a designation of High Resource would indicate that the Census tract has strong educational and economic opportunities, meaning opportunity for current and future residents.

For purposes of evaluating fair housing, resource levels designated by the CTAC/HCD map report on access to economic and educational opportunities such as low-cost transportation, jobs, and high-quality schools and the quality of environmental factors in the area such as proximity to hazards and air quality. This categorization of the census tracts in the City of Corona indicates that, except for the downtown and central areas of the City, residents have moderate to high access to positive economic, educational, and environmental outcomes. The downtown and central areas of the City are categorized as having low access.

Figure 27: Opportunity Areas Map: Corona



Source: AFFH Data Viewer, 2021

The City's residential neighborhoods are primarily built out. The majority of moderate- and lower-income units identified in the Sites Inventory (Appendix B) are located on nonvacant sites and sites that will be rezoned to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU), and nonvacant commercial and residential parcels that are specifically suitable for an affordable housing overlay (AHO). AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing.

These nonvacant sites, rezone sites, and AHO sites are located in the central area of the City in downtown and north and south of SR-91, which contain census tracts with low- and moderate- income households, areas with a higher concentration of minorities, and a greater concentration of special needs populations and housing problems. Additionally, revitalization and improvement strategies are planned within the North Main Street District Specific Plan in the north-central portion of the City and the Downtown Revitalization Plan Area in the central portion of the City. The City selected available sites in these areas for inclusion in the 6th Housing Element Cycle due to their proximity to public transit, low improvement-to-land value ratio, and potential for future recycling. These sites would not be concentrated in a single neighborhood but spread out across the central district, north and south of SR-91 (see Figures 8 through 10 in the Housing Element). Other sites in the inventory include vacant residential parcels with low, moderate, and above-moderate income sites spread out throughout the City, with above-moderate sites mainly in the southern portion of the City or north of SR-91 along I-15.

Risk of Exacerbated Conditions

The central area of the City, which has census tracts with higher concentrations of minorities, cost burdened households, and overcrowded households, would accommodate housing of a variety of income levels under the Housing Plan for the 6th RHNA Cycle. Additionally, the AHO sites would generate new housing opportunities for housing burdened households at risk of displacement.

INTEGRATION AND SEGREGATION: RACE AND INCOME

Census tracts with the highest concentration of minorities and LMI populations are located in the central and northern parts of the City. The majority of nonvacant and rezoned sites would be located in this area but would be spread throughout, integrated into the urban fabric of the central area of the city.

Racially/Ethnically Concentrated Areas of Poverty and Affluence

While Corona has no R/ECAPs (per HUD's definition), some tracts with a higher concentration of minorities and LMI populations were found in the central and northern areas of the City. The majority of AHO sites would not be located in the one majority Latinx census tract (downtown area). While some AHO sites would be located in the tract with a relatively high concentration of poverty (east of S. Lincoln Avenue and south of SR-91), AHO site locations would be spread out across census tracts.

ACCESS TO OPPORTUNITY

The majority of sites would be located in areas TCAC has designated as low, moderate, and high census tracts (Figure 27). Housing units in the sites inventory are not disproportionately concentrated in different resource areas, and the sites identified in low resource areas are scattered on vacant parcels and facilitate the development of lower-, moderate-, and above moderate-income units.

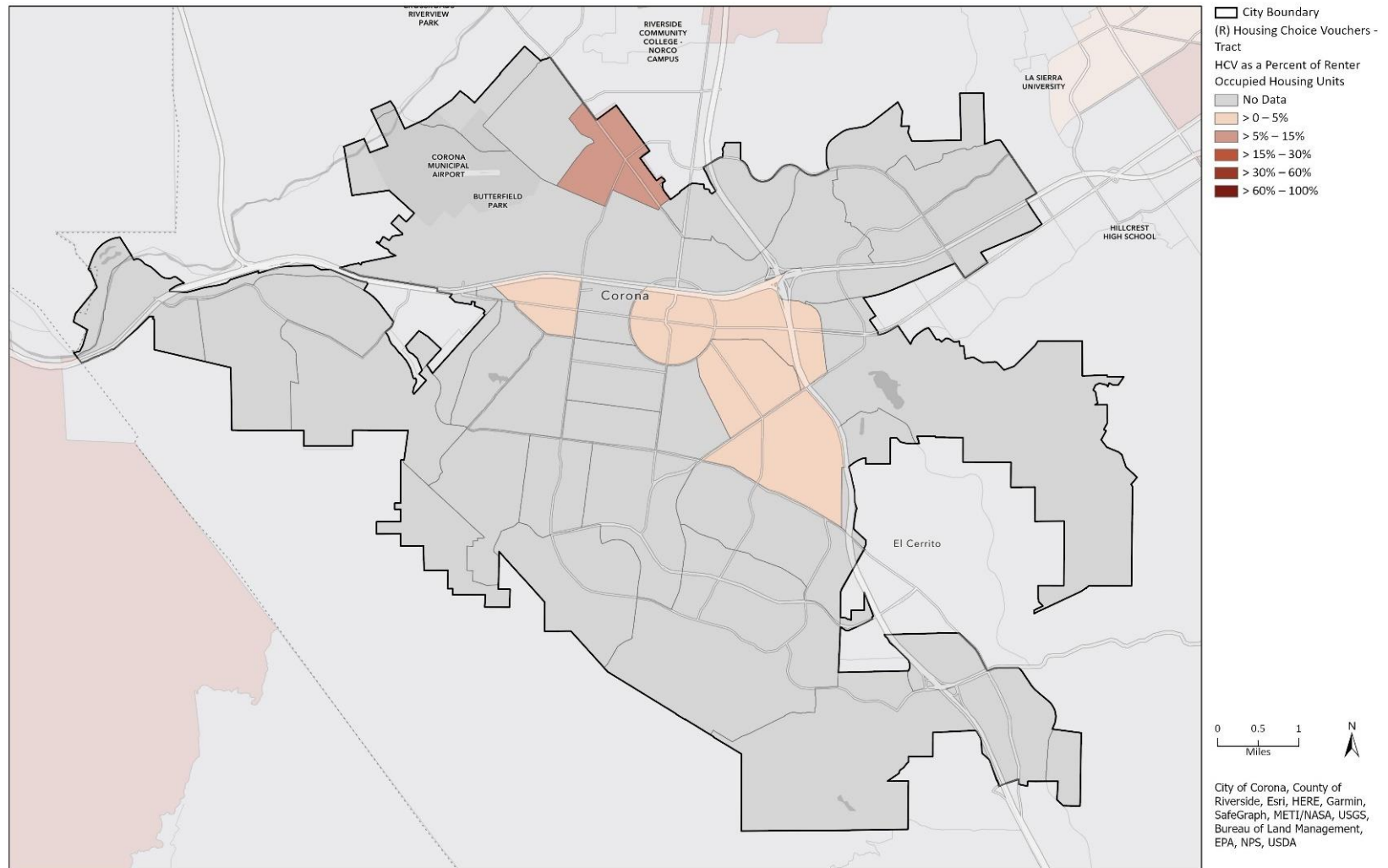
Disproportionate Housing Needs

The fair housing assessment found a need for affordable housing for people with disabilities and adequate housing for large families. The City incentivizes the development of extremely low-, very low-, low-, and moderate-income housing by reducing land costs to the point where it becomes economically feasible for the private developer to build units affordable to low- and moderate-income households (Program 12). The City may also assist in acquiring and assembling property, subsidizing on-site and off-site improvements, and assisting in relocation activities as well as clearing and demolition.

Subsidized Housing

As discussed in Chapter 2, Corona has four publicly assisted rental housing projects in the City that rely on Section 202, Section 811, and/or Section 8 assistance. One projects with 35 assisted units will be at risk of conversion to market rate over the next 10 years. As shown on in Figure 28, high concentrations of Housing Choice Voucher recipients are not present in the City. The highest percent of housing voucher recipients (5 – 15 percent) occurs in a TCAC-designated high resource area. The Sites Inventory does not focus lower income sites in areas with historically high levels of housing choice voucher recipients.

Figure 28: Housing Voucher Recipients: Corona



Source: AFFH Data Viewer, 2021

FAIR HOUSING PRIORITIES AND GOALS

As demonstrated by the geographic and demographic analysis, in addition to input from representatives of non-profit organizations that provide housing for special needs populations, the most prevalent fair housing issues in Corona are:

- » Addressing housing access, economic, and environmental disparities between the historic Downtown and 6th Street corridor and the suburban communities generally located in the southern and northern ends of the City,
- » Increasing development opportunities for affordable housing located near services, schools, public transit, and employment and increasing opportunities for housing mobility for low-income residents.

Table 9 identifies the fair housing issues in Corona and identifies meaningful actions to further fair housing in the City.

Table 9: Fair Housing Issues and Meaningful Actions

AFH Identified Fair Housing Issue	Contributing Factors	Meaningful Actions	Metrics and Milestones
Enhancing fair housing outreach and housing mobility strategies	<ul style="list-style-type: none"> ▪ People obtain information through many media forms, not limited to traditional newspaper noticing or other print forms. Increasingly fewer people rely on the newspapers to receive information. Public notices and printed flyers are costly and ineffective means to reach the community at large ▪ Lack of language access ▪ Insufficient local public fair housing enforcement and testing 	<ul style="list-style-type: none"> ▪ Participate in the FHCRC meetings, at least once annually, to coordinate regional responses to housing discrimination issues. ▪ Continue to provide CDBG funds to a fair housing service provider. ▪ Continue to invest in Fair Housing resources through a contract with Riverside Legal Aid (RLA) to support residents who need Fair Housing resources, mitigation, or legal advice. ▪ Respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution) and report complaints to the city's fair housing service provider. 	<ul style="list-style-type: none"> ▪ Staff attendance at local workshops in Corona sponsored by FHCRC. ▪ Annual distribution of CDBG funds to FHCRC spanning planning period 2021-2029. ▪ Code Compliance documented case logs on reported complaints/violations. ▪ Bilingual multimedia campaigns on the City's social media platforms. ▪ Staff attendance at local educational workshops conducted by FHCRC during the 2021-2029 planning period. ▪ Documented efforts by the Corona Housing Authority and FHCRC on the outreach to landlords that use rental vouchers

	<ul style="list-style-type: none"> Discriminatory lending practices 	<ul style="list-style-type: none"> At least once annually in areas considered sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06), coordinate with FHCRC to provide free educational workshops to tenants and landlords on their rights and responsibilities under Fair Housing laws. Conduct bilingual multimedia campaigns for housing-related educational events (housing rights, legal assistance, etc.), including social media and printed flyers posted in the common area of large apartment complexes, community centers, the library, laundromats, and other strategic visible locations, with a focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06. At least once annually, obtain feedback through a multimedia campaign, including public surveys, focused discussions, and in-person to obtain public input and feedback on fair housing issues. Work with the FHCRC to conduct random testing at least once every five years in Corona. Specifically, with the release of the 2020 Census, determine the appropriate bases be tested in the city. 	during planning period 2021-2029.
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		<ul style="list-style-type: none"> Conduct at least one workshop annually with targeted populations (with the focus on Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) to allow for meaningful discussions and dissemination of useful information related to housing finance opportunities such as the Riverside County First Time Home Buyer Down Payment Assistance Program. Education and outreach activities to be conducted as a multi-media campaign, including social media such as Facebook, Twitter, and Instagram, as well as other meeting/discussion forums such as chat rooms and webinars. Obtain feedback at least once annually. Involve neighborhood groups and other community organizations when conducting outreach and education activities. Annually work with the Housing Authority of the County of Riverside to conduct landlord outreach to expand the location of participating voucher properties. 	
Encouraging development of new affordable housing in Areas of High Opportunity	<ul style="list-style-type: none"> Dominance of single-family housing in areas of high opportunity, which is typically more expensive than multi-family 	<ul style="list-style-type: none"> Diversify and expand the housing stock to accommodate the varied housing needs of different groups within areas of high opportunity, namely south and east of the downtown area. 	<ul style="list-style-type: none"> Execution of an Affordable Housing Development Agreement between the Corona Housing Authority and a developer to assist or partner in the development of at least

		<ul style="list-style-type: none"> ▪ Prioritize areas of high opportunity, namely south and east of the downtown area when identifying potential sites for Habitat for Humanity builds. ▪ Promote the use of density bonuses to increase provision of affordable housing in areas of high opportunity, areas south and east of the downtown area. ▪ At least once annually, provide information through the City's public news networks, including social media channels, and/or television access, on allowing accessory dwelling units (ADUs) in the city, and target outreach to residents in areas of high opportunity, namely south and east of the downtown area. 	<p>one affordable multi-family opportunity or the conversion of existing market rate units to moderate or low income units in areas identified as high opportunity during the 2021-2029 planning period.</p> <ul style="list-style-type: none"> ▪ Availability of the ADU process on the city's website and explaining the path to getting a permit.
Improving place-based strategies to encourage community conservation and revitalization, including preservation of existing affordable housing	<ul style="list-style-type: none"> ▪ Lack of investment in the downtown due to suburbanization. ▪ Shortage of subsidized housing units ▪ Cost of repairs or rehabilitation ▪ Limiting local land use policies 	<ul style="list-style-type: none"> ▪ Assist 103 very low income and 152 low-income households during the planning period, with an average of 15 households annually. ▪ Hold at least one community event every five years as part of the City's CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13. ▪ Continue to acquire or seek partnerships with developers on acquiring multi-family housing that can be rehabilitated with emphasis in the 	<ul style="list-style-type: none"> ▪ Distribution of residential rehabilitation funds to qualified properties within the CDBG area and revise existing housing agreements with certain developers seeking new state funds to rehabilitate existing affordable housing units that are deteriorating or in need of repair. ▪ At least one community event as part of the CDBG and HOME Action Plan for the Neighborhood Improvement Program in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 during the 2021-2029 planning period. ▪ Execution of an Affordable Housing

		<p>downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> ▪ Promote development of affordable and ADA-accessible housing across the city (mixed-use and infill) and near services (transit corridors), specifically in the downtown area and Census tracts 414.09, 415, 416, 417.03, 417.04, and 418.13 through a rezoning program. ▪ At least once annually, audit existing zoning, density bonus program, development standards, ADU program, development impact fees, and project review and hearing process and remove governmental constraints to residential housing development, particularly for supportive and affordable housing. ▪ Prioritize housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06). ▪ Implement small-scale placemaking projects/events in the downtown area and Census tracts 414.09, 415, 	<p>Development Agreement between the Corona Housing Authority and developer on the construction of new affordable housing units or the preservation of existing units in planning period 2021-2029.</p> <ul style="list-style-type: none"> ▪ At least one documented new strategy or revision to the City's Zoning Ordinance to support housing creation or funding to promote housing development in Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06.
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		<p>416, 417.03, 417.04, and 418.13.</p> <ul style="list-style-type: none"> Conduct workshops and housing education training with different community-based organizations. 	
Protecting existing residents from displacement	<ul style="list-style-type: none"> Unaffordable rents and sales prices in a range of sizes Displacement of residents due to economic pressure such as unaffordable rents, concentration of poverty, and availability of affordable housing 	<ul style="list-style-type: none"> Target housing resources to sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) and consider the community needs in outreach activities (language, meeting days/times, advertisement). Preserve at-risk housing, targeting sensitive communities (Census Tracts 408.08, 415, 416, 417.03, 417.04, 418.03, 418.08, 418.09, 418.13, 419.05, and 419.06) by assisting property owners on opportunities to obtain funding to subsidize below market rate units. 	<ul style="list-style-type: none"> Provide at least 100 tenants in at-risk housing or in areas of potential displacement or gentrification in identified Census tracts regarding Housing Choice voucher rent subsidies through the Corona Housing Authority, and other affordable housing opportunities in the city.
Source: Corona AI			

The City of Corona further addresses these impediments by contracting with the FHCRC, a non-profit organization to counsel property owners, managers, tenants, and homebuyers on fair housing related issues. Various services are implemented through this partnership including:

- Providing tenant/landlord counseling to all citizens;
- Responding to all citizens complaints regarding violations of the fair housing laws;
- Promoting community awareness of fair housing rights and responsibilities;
- Monitoring fair housing legislation, attending training and reporting to the City; and
- Serving as an overall fair housing resource for the area, including implementation of an affirmative fair housing market plan.

No policies or programs in the Housing Element have been identified as barriers to fair housing practices in Corona. In addition to Federal fair housing laws, existing City policies and programs are already in place to increase affordable housing options, as well as ensure the provision of housing to many different population groups, including persons living with disability, large families, farmworkers, and persons who would benefit from supportive and/or transitional housing. The implementation of identified programs would further existing fair housing practices by expanding outreach strategies to include populations that live on lower household incomes and/or those who would be more receptive through Spanish language communication.

Additionally, while the AI lists several impediments to fair housing in Corona, the City is working separately to address impediments, and will address the remainder through implementing programs of this Housing Element. As for the regional impediments noted in the AI, AFFH programs in this Housing Element will work to increase fair housing practices such as outreach and education through social media and providing resources such as fair housing counseling and mediation, including targeting populations that have historically had fewer housing choices; promote equitable employment, and continue existing work with the FHCRC.

FAIR HOUSING

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

GOAL H-4

Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies

- H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.
- H-4.2 Promote and provide for nondiscrimination in all City programs.

HOUSING PROGRAMS

The goals and policies contained in the Housing Element address the identified housing needs in Corona and are implemented through a series of housing programs. Housing programs define the specific actions the City will take to achieve specific goals and policies. Housing programs include the programs currently in operation in the City as well as new programs. This section provides a description and the qualitative and quantitative objectives for each housing program the 2021-2029 period.

CONSERVING AND IMPROVING EXISTING AFFORDABLE HOUSING

Maintaining Corona's older residential neighborhoods is vital to preserving the overall high quality and character of the community. In addition to maintaining the City's housing stock, Corona must also conserve affordable units. The cost of housing in Corona has become unaffordable or too much of a burden for many residents, particularly those with fixed incomes and lower and moderate-income households. The preservation of affordable housing helps maintain adequate housing opportunities available to all residents.

Program 1: Residential Rehabilitation Program

The Residential Rehabilitation Program includes provides forgivable loans through the city's allocation of annual Federal HOME Funds to address critical home improvement needs that benefit low and moderate income persons, which aid in the prevention or elimination of slums and neighborhood blight. Residential rehabilitation can also include amendments to existing Affordable Housing Agreements that assist affordable housing operators in seeking state funds for the rehabilitation of existing housing units. Rehabilitation projects can include -such as the remediation of code violations, new heating and air conditioning, new windows, exterior or interior paint, water heater replacement, new roofing, upgraded

plumbing or repairs, upgraded electrical, remodeled kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 120 households during the 2021-2029 period with an annual average of 15 households. As part of the city's CDBG & HOME Funds Action Plan, the City will continue to conduct community outreach regarding available loans and grants.

Funding	CDBG/HOME funds, Renegotiation of City Affordable Housing Agreement
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> Assist <u>1030 homeowners in the City's CDBG low and moderate income neighborhoods, which is very low income and 152 low income households during the planning period, with an average of 15.3</u> households annually. <u>Assist existing affordable housing operators on amendments to existing housing agreements that support funding for the rehabilitation of 96 low income units that are aging in order to preserve existing low income units.</u> Continue to provide community outreach regarding available loans and grants for needed home improvements <u>by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A.</u>
Timeframe	<u>By 2022, a Annual. This is annually monitored through the city's CDBG Consolidated Annual Performance and Evaluation Report and identifies the number of houses awarded residential rehabilitation funds. This report is produced and submitted to HUD every September and benchmarks the city's use of CDBG and HOME Funds for approved programs. enrolled in the housing rehabilitation program. This program will be implemented. Continue to implement program</u> on an ongoing basis throughout the planning period based on available funding.

Program 2: Housing Choice Voucher Program

The Housing Choice Voucher Program (formerly Section 8) is implemented through the Riverside County Housing Authority. Very low-income renters receive supplemental rental assistance for standard housing in order to prevent them from becoming overly rent burdened. The Housing Choice Voucher Program extends rental subsidies to lower income families and the elderly who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the fair market rent. In 2018, the County issued 333 housing vouchers to Corona households.

Funding	HUD Housing Choice Voucher funding allocation
Responsible Agency	Riverside County Housing Authority
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. ▪ Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. ▪ Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.
Timeframe	<u>October 2023.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 3: Conservation of Existing and Future Affordable Units

A total of 89 units in Corona are at risk of losing their affordability controls (e.g., become market rate) prior to December 2023. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities.

Funding	CDBG/HOME Administration (monitor at-risk status); other funding sources as available for preservation.
Responsible Agency	City of Corona Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Annually identify and analyze inventory that may be put at risk of losing affordability controls. ▪ Maintain communication with the local HUD office. ▪ Assist in tenant education. ▪ Identify potential buyers. ▪ Identify potential acquisition funds. ▪ Coordinate with property owners and non-profit developers to identify potential acquisition opportunities by October 2022. ▪ The California Legislature extended the required notification period, requiring property owners give a 12-month notice of their intent to opt out of low-income use restrictions. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the <u>public County's</u> housing authority, and other affordable housing opportunities <u>within</u> in the City. ▪ Assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.
Timeframe	Annual, <u>Ongoing</u> monitoring and ongoing pursue of funding opportunities for long-term preservation.

Program 4: Mobile Home Park Program

The City will ~~continue to implement the~~ maintain its Residential Mobile Home Park zoning ordinance (Municipal Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5.

~~Additionally, The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance for existing mobile home parks is available through~~ the State Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Funding	State Grants/Loans (MPRRP)
Responsible Agency	Community Services Department,
Objectives	<ul style="list-style-type: none"> Continue to regulate allow the conversion of mobile home parks to be rehabilitated and restored through ownership programs in Corona as permitted by State law. As appropriate, provide information to mobile home park tenants regarding potential tenant purchase of parks and assistance available, through programs such as State's Mobilehome Park Rehabilitation and Restoration Ownership Program (MPRRP).
Timeframe	<u>January 2023. Provide information on the MPRROP on the city's Community Assistance Division website. This program will be implemented on an ongoing basis through the remainder of the planning period.</u>

Program 5: Neighborhood Improvements

To foster community pride and ~~increase incentives for private- encourage~~ homeowners ~~to investment in the upkeep of their homes properties in low and moderate income neighborhoods~~, the City will continue its ~~implementation of Neighborhood Improvements Program through its Code Compliance efforts~~. This program consists of ~~property inspections to ensure exterior and interior public improvements to properties, such room additions, electrical and plumbing upgrades, front yard landscaping and other similar improvements are being done in accordance with city ordinances to ensure the health and safety of habitable units and to maintain the aesthetic appearance of neighborhoods. such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program.~~ Public ~~Such~~ improvements inspire property owners to stay in the neighborhood ~~and invest in their property, thus and preserve~~ the ~~existing~~ housing stock. The City continues to develop methods designed to increase the City's collective sense of community pride.

Funding	CDBG funds
Responsible Agency	Administrative Services Department, Public Works DepartmentPlanning and Development – Code Compliance
Objectives	<ul style="list-style-type: none"> Continued Proactive and reactive inspections of 300 housing units annually in the city's low and moderate income neighborhoods implementation of neighborhood public improvements that address housing complaints regarding the condition and maintenance of properties and to ensure improvements to properties are done in accordance with city ordinances. The program is intended to provide safe and sanitary housing by requiring non-permitted improvements to be brought into compliance with city ordinances, property maintenance ordinance, design review, and historical preservation ordinance.
Timeframe	Annual inspections of 300 housing units. This program is implemented annually through CDBG funds and is specifically used in the CDBG neighborhoods to provide Code Compliance services. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report. This program is will be monitored annually and implemented on an ongoing and will be used during the basis through the remainder of the planning period.

Program 6: Sustainable Building

The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> Implement sustainable building practices and incorporate amenities into new housing developments that utilize water efficiency, energy efficiency and building materials (such as solar and pervious outdoor surfaces) that support the Continue to implement the city's Climate Action Plan and CAL Green Building Standards Code that fosters sustainability in all development requiring discretionary approval.
Timeframe	Annually. The city has an adopted Climate Action Plan and has adopted the California Building Standards for new construction. This is program will be implemented on an ongoing basis through the remainder of the planning period.

PROVIDE ADEQUATE HOUSING SITES

A key element in satisfying the housing needs of all segments of the community is the provision of adequate sites for housing of all types, sizes, and prices. This is an important function in both zoning and General Plan designations. The City of Corona's regional housing needs allocation (RHNA) for the 2021 - 2029 period is 6,088 units.

Program 7: Site Availability and Rezone Program

Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B).

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs. ▪ Amend Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024. ▪ Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website. ▪ Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses. ▪ Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites. ▪ Monitor the consumption of residential acreage to ensure an adequate inventory is available. ▪ Create opportunity for at least 3,132 2,746 units for lower income households <u>and 976 units for moderate income households</u>. ▪ By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements. ▪ Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive. ▪ Amend land use designation MU-1 with <u>an AHO Zone</u> to allow for 100 percent residential use or combination of residential and commercial uses by October 2024. ▪ Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households. <ul style="list-style-type: none"> ▫ Permit at least 16 units per site; ▫ Require a minimum density of 20 units per acre; and ▫ At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites: <ul style="list-style-type: none"> – Allow 100 percent residential use; and – Require that all residential use occupy 50 percent of the total floor area of a mixed use project.
Timeframe	<u>October 2024</u> . This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 8: Residential Sites Monitoring Program

In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss,” was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City’s available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target.

Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure "no net loss" in capacity to accommodate the RHNA.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Maintain an updated inventory of residential housing developments that have been submitted, approved, and denied. ▪ The City will actively promote, through outreach and discussions, sites available for lower- and moderate-income housing development to potential developers, private and non-profit organizations, and other interested persons and organizations. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to allow, by right, a mix of dwelling types and sizes, specifically missing middle housing types (e.g., duplexes, triplexes, fourplexes, courtyard buildings). ▪ Starting <u>January</u> 2022, annually monitor the City's remaining housing capacity to ensure compliance with SB 166.
Timeframe	Annually every April through the Annual Progress Report to HCD. This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 9: Sites Used In Previous Planning Periods Housing Elements

In 2017, AB 879 and AB 1397 were passed requiring additional analysis and justification of the sites included in the sites inventory of the City's Housing Element. The Housing Element may only count non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements if the sites are subject to a program that allows affordable housing by right. Some sites within this Housing Element were used in previous cycles and this program is included to address the by-right approval requirement. Per AB 1397, the use by right of these sites during the planning period is restricted to developments in which at least 20 percent of the units in the development are affordable to lower income households, provided that these sites have sufficient water, sewer, and other dry utilities available and accessible or that they are included in an existing general plan program or other mandatory program or plan to secure sufficient water, sewer, dry utilities supply to support housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ The City shall rezone or amend its Zoning Code <u>or applicable specific plans</u> by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units
Timeframe	<u>October 2024.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 10: Lot Consolidation and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum ~~front and side~~-yard setbacks, and open space to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards where access exists to public transportation.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to fFacilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers. ▪ Offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include <u>expedited processing, reduced development fees</u>, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance. ▪ <u>Waiver of certain development impact</u> fees for lot consolidation for 100 percent affordable housing. ▪ <u>Create lot consolidation provisions for affordable housing projects within the Zoning Ordinance.</u>
Timeframe	October 2023. As projects are processed through the Planning and Development Department throughout the planning period. Incentives <u>would be applied to applicable projects throughout the planning period.</u> will be adopted as part of Title 17 within three years of adoption of the Housing Element.

Program 11: Multi-Family Acquisition and Rehabilitation

Acquisition and rehabilitation of existing multi-family housing stock are more cost-effective than constructing new affordable units and provide the additional benefit of maintaining the City's multi-family housing stock. An important component of Corona's housing strategy is the identification of existing multi-family units for acquisition and rehabilitating as affordable housing. The City has several older apartment complexes, many in substandard conditions, that have potential for acquisition and rehabilitation. To the extent feasible, the City will encourage a portion of acquired affordable units to be made available to persons with disabilities (including developmental disabilities) and extremely low-income households.

In the previous housing cycle, the City used NSP and HOME funds for the acquisition of a 12-unit dilapidated complex for very low-income families. Additionally, the City used NSP funds to purchase a remnant structure with 19 units. This was part of a partial-take affected by the State Route 91 expansion project. These 19 units were integrated into the Citrus Circle Affordable Housing project which also constructed 42 new units. The entire project created 61 affordable units.

Funding	NSP and HOME funds
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. Pursue available funds for multi-family acquisition and rehabilitation.
Timeframe	<u>Annual through the city's CDBG/HOME Funds Action Plan, which is adopted every fiscal year. This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.</u>

ASSIST IN THE DEVELOPMENT OF AFFORDABLE HOUSING

The high cost of new construction can prohibit the development of affordable housing units. Incentive programs for housing developers, such as a density bonus, offer a cost-effective means of promoting affordable housing development. Public sector support for new construction includes the following programs for lower and moderate-income housing development.

Program 12: Affordable Housing Development

The City is committed to maintaining and monitoring housing conditions amongst vulnerable, very low-income low-income, and special needs populations. Lower-income communities along with the elderly and persons with special needs are disproportionately burdened with poorer housing conditions. Corona will continue to seek new funding opportunities and partnerships to improve housing conditions. The City will identify and partner with advocacy groups such as Habitat for Humanity to expand existing resources and help further improve housing conditions for special needs and low-income communities, and identify the need for rehabilitation assistance as the housing stock ages.

The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources.

The following are recent affordable housing activities in the City that are planned in the 6th Cycle:

- » Corona Housing Authority acquired approximately 5 acres at Second Street and Buena Vista Street to support the construction of approximately 130 apartments for low income and permanent supportive housing. The project is expected to be constructed within this planning period. The Housing Authority will be providing financial assistance and the land for the project.

The City provided financial assistance to these projects for site acquisition, construction, rehabilitation, and/or relocation of existing tenants.

Funding	HOME funds, CHA funds, other sources as available
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives. Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 1304 lower income units within the planning period. Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years. Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing. Annually seek additional funding sources and identify new partnerships to greater expand resources in the City. By October 2024, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need. Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates. Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households. Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households into the General Plan. .
Timeframe	October 2024. This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 13: Density Bonus Program

Consistent with State law (Government Code sections 65915 through 65918), the City continues to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements.

In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Update the Corona Zoning Ordinance by October 2023 to integrate future changes in State Density Bonus Law. ▪ Continue to advertise and inform prospective developers of options for density bonuses, and actively educate and promote density bonus increases as adopted. ▪ Meet with developers to discuss incentives and concessions appropriate for the density bonus program to facilitate affordable housing development. ▪ Promote the use of density bonus incentives by providing information on City website and offering technical assistance to developers.
Timeframe	October 2023. This program should be monitored annually to identify any new density bonus legislation and amend the Zoning Ordinance and should would be implemented on an ongoing basis through the remainder of the planning period.

REMOVE GOVERNMENTAL CONSTRAINTS

To facilitate housing development, the Housing Element must address and, where appropriate and legally possible, remove governmental constraints affecting the maintenance, improvement, and development of housing. The following programs are designed to lessen governmental constraints on housing development.

Program 14: Zoning Ordinance Monitoring

The Corona Zoning Ordinance (Title 17 of the Corona Municipal Code) is continuously updated to address changes among a range of issues and State/Federal laws. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers. ▪ Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop. ▪ Amend Title 17 of the Municipal Code by October 2023 to comply with the Employee Housing Act. ▪ Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP. ▪ Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities. ▪ Amend the Zoning Ordinance including specific plans by October 2024 to allow up to three stories by-right in multifamily residential zones that accommodate affordable housing units.
Timeframe	<u>October 2023 and October 2024.</u> This program should be monitored annually and would be implemented on an ongoing basis through the remainder of the planning period.

Program 15: Flexibility in Development Standards

The City, in its review of development applications, may recommend waiving or modifying certain development standards, or propose changes to the Municipal Code to encourage the development of low- and moderate-income housing. The City offers offsets to assist in the development of affordable housing citywide. Offsets include concessions or assistance including, but not limited to, direct financial assistance, density increases, standards modifications, or any other financial, land use, or regulatory concession that would result in an identifiable cost reduction.

Funding	Department Budget
Responsible Agency	Community Development Department
Objectives	<ul style="list-style-type: none"> ▪ Monitor application of Development Code standards for constraints to development of new <u>low and moderate income</u> housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. ▪ By <u>October</u> 2024, the City will adopt standards for affordable and/or high-density housing development that allow greater flexibility in development standards, such as reduced setbacks, and/or reduction of required common open space.
Timeframe	<u>October 2024.</u> This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 16: Development Impact Fees

Various fees and assessments are charged by the City to cover the costs of processing permits and providing services and facilities. While almost all these fees are assessed on a pro rata share system, they often contribute to the cost of housing and constrain the development of lower priced units. As a result, the City will evaluate the impact of the fee increase on residential and mixed-use developments as a potential constraint on housing development and adjust as necessary to encourage and facilitate residential development. In addition, the City will work with the development community to solicit their input on the impact and viability of existing fees. The City currently updates their Fee Schedule for development impact fees every ten to twenty years by the City's Finance Department.

Funding	Department Budget
Responsible Agency	City Council by Policy
Objectives	<ul style="list-style-type: none">At least once annually, evaluate the impact of <u>development</u> fees on residential and mixed-use developments <u>that include low income units</u> and make adjustments as necessary to facilitate development activities.Consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing <u>units</u> for low-income households.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 17: Expedited Project Review and Hearing Process

The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">As needed, tThe City will prioritize processing for affordable housing projects; andAnnually assess the efficiency of the City's permit streamlining process and continue to implement best practices with efficient project review procedures.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

PROMOTE EQUAL HOUSING OPPORTUNITY

To make adequate provision for the housing needs of all economic segments of the community, the housing plan must include actions that promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age, or physical disability.

Program 18: Affirmatively Furthering Fair Housing (AFFH)

To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data.

The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services Department
Objectives	<ul style="list-style-type: none">▪ Continue to effectively address the requirements of AB 686 by increasing outreach and education through the fair housing service providers, publicize fair housing litigation to encourage reporting, and conduct random testing on a regular basis to identify issues, trends, and problem properties.▪ Work with local agencies such as the Fair Housing Council of Riverside County to help identify and reduce barriers to housing on both a regional and local scale.▪ Establish a method of measuring the progress of fair housing practices, which can include the index of dissimilarity, the Regional Opportunity Index, and percentage of residents experiencing extreme housing cost burdens. Report the findings of these metrics as part of the city's Housing Element Annual Progress Report.▪ Expand understanding of the current state of fair housing practices and potential areas of discrimination by conducting an in-depth study of fair housing issues around the city.▪ The city shall continue to facilitate opportunities for all residents and stakeholders to provide meaningful and effective input on proposed planning activities early on and continuously throughout plan development and the public review process. Outreach efforts to disadvantaged communities will be a priority.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 19: Fair Housing Services

With assistance from the city's fair housing provider, [which is the Fair Housing Council of Riverside County](#), the city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686 (2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Funding	CDBG, Section 8 Rental Assistance, Housing Trust Fund
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> Continue to provide annual CDBG funds to a fair housing service provider. Encourage affirmative marketing on all residential projects and will require developers to advertise to under-represented minority groups to indicate the availability of housing units that meet affordable housing requirements. Implement the action items identified in the Analysis of Impediments to Fair Housing Choice, which was adopted by the City Council on March 16, 2011. Allocate annual funding for fair housing services through the Action Plan process for the use of CDBG funds. Participate in regional efforts to mitigate impediments to fair housing choice. Distribute educational materials to property owners, apartment managers, and tenants relative to fair housing requirements, regulations, and services. Make public announcements, via different media (e.g., social media, newspaper ads, and public service announcements at local radio and television channels) related to fair housing programs and opportunities. Conduct workshops and training with different community-based organizations. Conduct fair housing workshops and training in Spanish. Hold diversity awareness events and programs at a variety of locations throughout the city. Outreach targeted and related to home financing opportunities; Monitor and respond to complaints of discrimination (i.e. intaking, investigation of complaints, and resolution). Referring services to appropriate agencies; Conduct fair housing testing at random sites to measure compliance and remove any such impediments through fair housing law enforcement. Continue working collaboratively with the Fair Housing Council of Riverside County to promote fair housing, education, and advocacy. Take affirmative actions to further fair housing choice in the city, and implement the solutions developed in the Regional Analysis of Impediments to Fair Housing Choice to mitigate and / or remove fair housing impediments. Target housing creation or mixed income strategies (e.g., funding, incentives, policies and programs, density bonuses, land banks, housing trust funds) and market opportunities in all parts of the community.
Timeframe	Annual. This program is implemented annually through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD. will be implemented on an ongoing basis through the remainder of the planning period.

Program 20: Segregation in Housing Implementation

Despite the repeal of explicitly racist and discriminatory housing laws, there remains a lasting legacy of segregation and resources disparities. Housing choice is often limited for persons of protected classes, including communities of color, to segregated concentrated areas of poverty. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Funding	Departmental Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing.▪ Assess opportunities on infill sites for residential development and redevelopment of underutilized property that could support higher density housing opportunities for low and moderate income households.
Timeframe	October 2024 . This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 21 Housing for Persons Experiencing Homelessness

On June 17, 2020, Corona's City Council adopted the Strategic Plan to Address Homelessness, designed to address homelessness through various programs. The City's Homeless Prevention Programs was created as a result of the City's Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The Strategic Plan identified eight goals to help prevent homelessness, improve quality of life, and reduce homelessness:

- » Develop a Systems-Oriented Approach to Address Homelessness;
- » Develop a Low-Barrier Emergency Shelter/Navigation Center System;
- » Develop Permanent Supportive and Affordable Housing Solutions;
- » Expand Outreach and Engagement;
- » Develop and Participate in Sub-Regional Collaboratives with Neighboring Cities;
- » Develop Partnerships with the County and Continuum of Care to Support Plan Initiatives;
- » Develop a Homeless Prevention Initiative
- » Develop an Advocacy Campaign to Support Plan Initiatives, and;
- » Expand Data Tracking Systems and Dashboard to Measure System Performance

Funding	CDBG, HOME, SB2
Responsible Agency	Community Services Department, Community Development
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Coordinate with agencies such as the Housing and Homeless Coalition of Riverside County along with SCAG for the purposes of coordinating efforts, reducing the unsheltered population, increasing emergency and permanent housing, and leveraging resources to address homelessness. ▪ Continue to provide funding for local and sub-regional homeless service providers that operate temporary and emergency shelters. ▪ Assist (when possible) local non-profits and charitable organizations in securing state and federal funding for the acquisition, construction, and management of shelters. ▪ Review the low barrier navigation centers and emergency shelter provisions to comply with recent changes to state law and amend the zoning ordinance (Refer to Program 15) and other documents as part of the General Plan and Zoning Code. ▪ Consider establishing a maximum length of stay for emergency shelters to have a limit of no more than 180 consecutive days within a one-year period instead of a total of 180 days in a one-year period. ▪ Continue to financially support the 211 system operated by the Volunteer Center of Riverside County. This system provides information on all social services offered in Riverside County. ▪ Commit to updating the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.
Timeframe	<u>Annual. This program is implemented through CDBG funds. The success of the program is reported annually every September in the city's CDBG Consolidated Annual Performance and Evaluation Report to HUD.</u> This program will be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 22: Housing for Special Needs Populations

The Corona Zoning Ordinance is continuously updated to address a wide range of issues and State and federal law with respect to accommodating and addressing housing for special needs. In 2018, Assembly Bill 2162 (AB 2162) was passed which requires that supportive housing be a use by-right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multifamily uses. The City's Zoning Ordinance currently reflects this piece of AB 2162. Additionally, AB 2162 prohibits local governments from imposing any minimum parking requirements for units occupied by supportive housing residents if the development is located within ½ mile of a public transit stop. The City is currently not in compliance with this piece of AB 2162 and will amend Title 17 of the Corona Municipal Code to reflect this portion of the legislation.

The City is committed to expanding supportive housing opportunities for vulnerable communities that rely on such services. The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to monitor policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. ▪ Amend Title 17 of the Corona Municipal Code to incorporate all changes to State legislation pertaining to special needs populations as part of the General Plan and Zoning Code update project, by October 2023. ▪ Facilitate the development of housing for persons with disabilities and other special needs through the development of incentives for affordable housing development by October 2023. ▪ Nurture ongoing partnerships that help educate and execute the development of supportive and transitional housing.
Timeframe	<u>October 2023</u> . This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 23: Safe and Healthy Communities

Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Annually monitor policies, standards, and regulations regarding environmental justice in the City. ▪ Nurture ongoing partnerships that help educate and execute the development of safe and health housing communities for all groups of people.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 24: Alternative Housing Program

Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none"> ▪ Continue to annually monitor underutilized properties and sites that have a potential for alternative housing options and offer the information to interested developers on an on-going basis. ▪ Rezone underutilized commercial, office, and or industrial space, as appropriate, to facilitate use for alternative housing types. This will be done with the RHNA updates on or before October 2024 and then annually as opportunities arise. ▪ By October 2024, develop, as part of a zoning ordinance update, measures that encourage affordability by design (e.g., smaller, more efficient and flexibly-design living spaces). ▪ Where appropriate, utilize the city's regulatory powers (e.g., land use and fees) to remove the requirement of a CUP for the development of care facilities that provide 24-hour care to seven or more disabled persons. ▪ Encourage the development of alternative housing including care facilities for 7+ individuals in residential zones. ▪ Actively encourage, through annual outreach and discussions with developers, innovative housing structures, such as micro-unit housing and new shared and intergenerational housing models to help meet the housing needs of aging adults, students, and lower-income individuals citywide. This will be accomplished on an on-going basis. ▪ Develop and promote assistance with financing or funding applications.
Timeframe	<u>October 2024</u> . This program should be monitored annually and implemented on an ongoing basis through the remainder of the planning period.

Program 25: Community Outreach Program

Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City's housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities. Strategies to expand accessibility and help further educate community groups include:

- » Sharing and distributing public announcements/information through a variety of mediums such as flyers, E-blasts, website updates, new media, and social media;
- » Actively engaging existing stakeholders and seeking additional stakeholders from all sectors of the community to participate in the public participation process;
- » Increasing accessibility to public meetings by conducting public meetings around typical work hours, accommodating persons with disabilities, choosing locations near transit centers, and providing resources such as childcare, language translation services, and food and refreshments where possible;
- » Continuing to educate all community groups about the services available for rental, homeownership, and rehabilitation/maintenance services.

Funding	Department Budget
Responsible Agency	Planning and Development Department, Community Services
Objectives	<ul style="list-style-type: none"> ▪ Increase accessibility to public meetings for all sectors of the community including minority groups and persons with disabilities by ensuring public meetings are in accessible locations to all persons. ▪ Ensure public meetings and other planning processes are delivered in ways that all groups of the community can understand such as delivering meeting content in multiple languages. ▪ Make public announcements and information accessible and visible using a variety of communication methods.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 26: Community Placemaking Pilot Program

The City of Corona actively seeks to identify new opportunities to connect neighborhoods despite differences in income levels and demographics. The Community Placemaking Pilot Program will implement small-scale placemaking projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds. Placemaking strategies include but are not limited to:

- » Increase signage and wayfinding between neighborhoods;
- » Implement “popup parks”/sidewalk cafes in community neighborhoods;
- » Create a community murals programs to help beautify community neighborhoods and connect local artists of all backgrounds;
- » Increase seating, such as picnic tables with chess/checker boards;
- » Create a designated city community garden for all members of the community to visit and volunteer;
- » Coordinate neighborhood walks/races, and;
- » Increase overall community outreach (partnering with Program 25) to help spread the word on new community attractions in various neighborhoods and educate community groups on new community activities

Funding	Department Budget
Responsible Agency	Community Services Department
Objectives	<ul style="list-style-type: none"> ▪ Connect diverse neighborhoods through small, inclusive, and accessible placemaking projects and activities. ▪ Expand public outreach to target all neighborhoods and educate people from all types of community groups on new and upcoming neighborhood projects and activities.
Timeframe	This program will be implemented on an ongoing basis through the remainder of the planning period.

Program 27: Replacement Housing Program

Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.

Funding	Department Budget
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">▪ Pursue amendment to the Zoning Code by October 2022 to address replacement requirement.
Timeframe	<u>October 2022</u> . This program will be implemented within one-year of Housing Element adoption.

Program 28: Lot Configuration and Large Lot Development

To facilitate the development of affordable housing of all sizes and scale, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Funding	City Development Services Fund
Responsible Agency	Planning and Development Department
Objectives	<ul style="list-style-type: none">• Facilitate the development of affordable housing.▪ Adopt incentives by 2024 for development of high-density residential sites.
Timeframe	As projects are processed through the Planning and Development Department throughout the planning period and incentives will be adopted as part of Title 23 within three years of adoption of the Housing Element.

SUMMARY OF QUANTIFIED OBJECTIVES

The City has proposed its objectives for the Housing Element period based on financial resources, past experience, and staff capacity. The following table summarizes the City's quantified objectives for the 2021-2029 period by income group.

Table 48: Quantified Housing Objectives (2021-2029)

	New Construction	Rehabilitation	Conservation/Preservation
Extremely Low Income	36	-	-
Very Low Income	11	103	12
Low Income	87	152 15	36
Moderate Income	64	- 15	-
Anticipated Outcomes from Programs ¹	-	-	439
Total	198	255 30	487
¹ Conservation objectives were increased by incorporating anticipated outcomes from the following programs: 2 (Housing Choice Voucher Program), 3 (Conservation of Existing and Future Affordable Units), and 26 (Preservation of At-Risk Housing). Program 2 would accommodate 350 households in the very-low income category and Program 3 would conserve a total of 89 affordable units.			

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City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

prepared by

City of Corona

Planning Division

400 South Vicentia Avenue, Suite 320

Corona, California 92882

Contact: Joanna Coletta, Community Development Director

prepared with the assistance of

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September 2021



RINCON CONSULTANTS, INC.

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EXHIBIT 4

City of Corona 2021 Housing Element Update

General Plan EIR Addendum Evaluation

prepared by

City of Corona

Planning Division

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Corona, California 92882

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1 Introduction and Project Summary

1.1 Project Title

City of Corona Housing Element Update 2021-2029

1.2 Lead Agency Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

1.3 Contact Person and Phone Number

Joanna Coletta, Community Development Director
(951) 736-2434

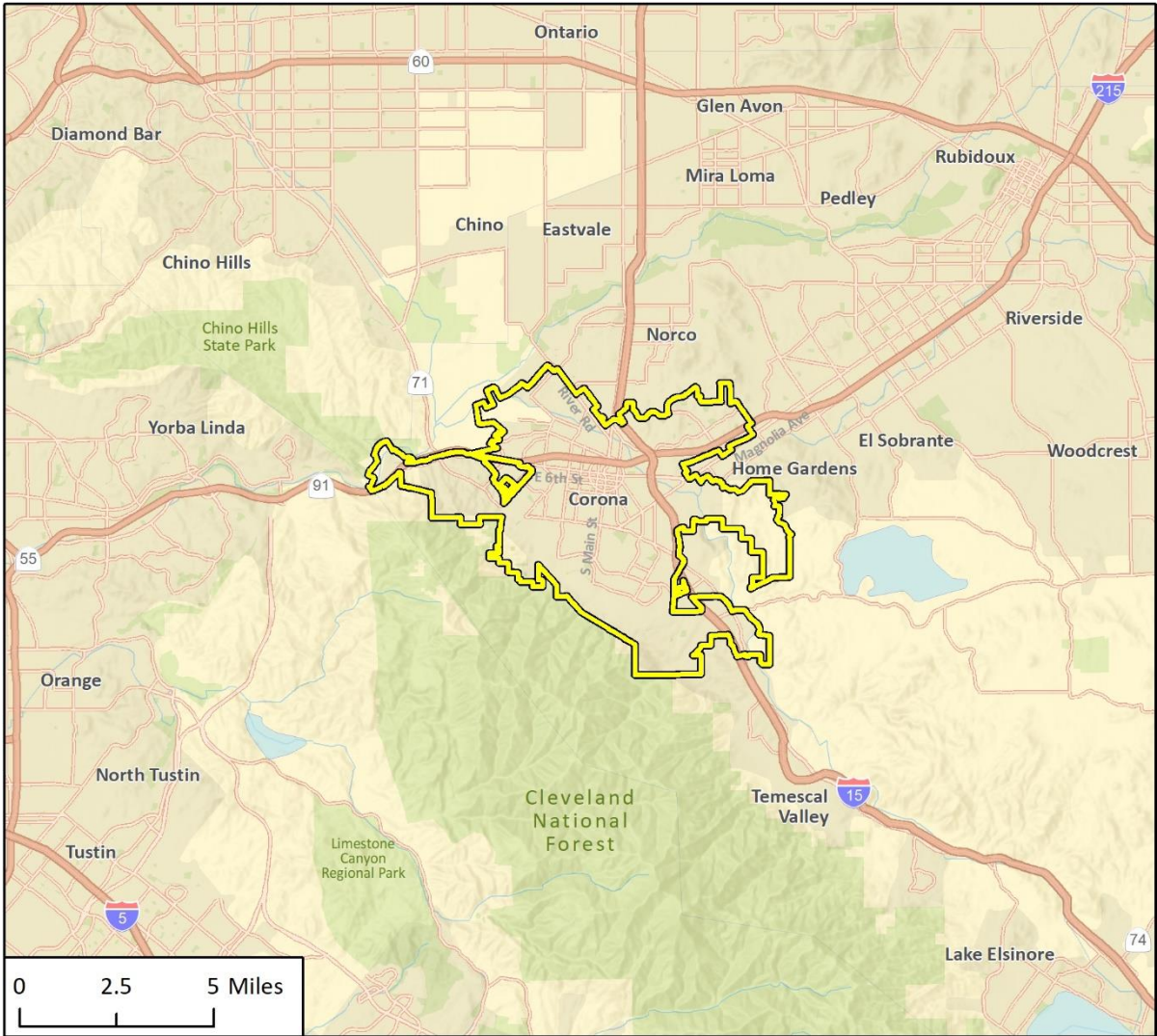
1.4 Project Location

The City of Corona (City) encompasses approximately 39 square miles and is located in western Riverside County, near the boundaries of Orange and San Bernardino counties. The City is south of the City of Norco, southwest of the City of Riverside, and north of the Cleveland National Forest. Unincorporated Riverside County borders the City along the majority of the eastern and southern extents. The Housing Element update's planning boundaries coincide with the Corona city limits, both of which are depicted in Figure 1.

1.5 Project Sponsor's Name and Address

City of Corona
Planning Division
400 South Vicentia Avenue, Suite 320
Corona, California 92882

Figure 1 Regional Project Location, Planning Boundaries



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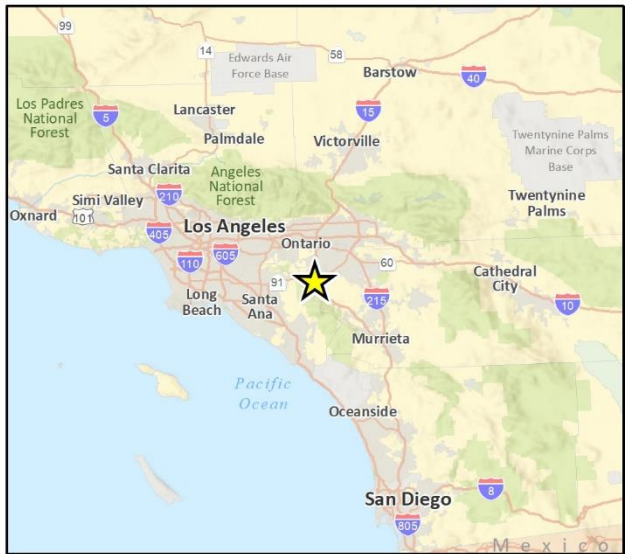


Fig 1 Regional Location

1.6 Project Description

The project consists of a comprehensive update to the City of Corona Housing Element (herein referred to as “Housing Element update” or “project”). The City’s 2020-2040 General Plan underwent extensive environmental review in the form of an Environmental Impact Report (EIR), which was certified in 2020. The EIR for the Corona General Plan is a comprehensive document and includes discussion of alternatives and growth inducing impacts associated with urban development in the city at the time it was developed.

State law requires that housing elements be updated every eight years (California Government Code Sections 65580 to 65589.8). The Housing Element update identifies residential sites adequate to accommodate a variety of housing types for all income levels and needs of special population groups, defined under State law (California Government Code Section 65583). It analyzes governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons. The City of Corona Housing Element is being updated as part of the State’s 6th cycle Regional Housing Needs Assessment (RHNA) allocation. For Corona, the planning period runs from October 15, 2021 through October 15, 2029.

The project would bring the City’s Housing Element into compliance with State legislation passed since the publication of the previous (5th Cycle) Housing Element (approved in 2013). The Housing Element update includes a housing sites inventory (Appendix B of the Housing Element) that demonstrates how the city plans to meet its 6th cycle RHNA allocation. However, no formal land use changes or physical development are proposed at the time of adoption of the Housing Element. Land use changes (i.e., rezoning or General Plan land use amendments) that are required to meet the city’s RHNA allocation will be done by a separate process with an accompanying environmental analysis in accordance with the California Environmental Quality Act (CEQA). Pursuant to California Government Code Section 65583(c)(1)(A), the City has three years from the start of the Housing Element planning period to rezone property that is required for the city to plan for its RHNA allocation. The rezoning process and any amendments to the General Plan land uses will require discretionary review by the City’s Planning and Housing Commission with the future changes ultimately adopted by the City Council.

The Housing Element update will not, in and of itself, result in environmental impacts as it does not propose to develop any projects. Rather, it establishes objectives and policies designed to guide future development as the City works to achieve State-mandated housing goals. Future development will require project-specific developmental review as potential impacts are location-specific and cannot be assessed in a meaningful way until a project site and development proposal are identified. When a specific development proposal is considered for approval, that project would be subject to adopted development guidelines/standards and it must incorporate applicable mitigation measures and alternatives developed in the 2020 – 2040 General Plan EIR (in accordance with CEQA Guidelines Section 15168(c)(3)). If a subsequent activity (in this case a specific development proposal) would have effects not identified in the program EIR (the 2020 – 2040 General Plan EIR and this Addendum), the lead agency must prepare additional CEQA documentation.

This Addendum Evaluation, therefore, includes the analysis of the changes and potential impacts related to the adoption of Housing Element update. No physical development or changes in land use are addressed or evaluated. The City would analyze the future changes in land use separate from the adoption of the Housing Element. This Addendum Evaluation is intended to demonstrate the

Housing Element's consistency with the existing General Plan Technical Update EIR to satisfy the requirements of CEQA. In particular, and in line with Public Resources Code Section 21083.3, this Addendum Evaluation assesses whether the updated Housing Element, as a policy and programs document, includes impacts not addressed or analyzed as significant effects in the Corona General Plan Technical Update EIR.

1.7 Discretionary Action

Implementation of the Housing Element would require the following discretionary actions by the City of Corona Planning Commission/City Council:

- Approval of an Addendum to the General Plan EIR
- Approval of a General Plan Amendment to incorporate the Housing Element Update 2021-2029.

The California Department of Housing and Community Development (HCD) reviews and determines whether the proposed Housing Element complies with State law. Aside from HCD, no other approvals by outside public agencies are required.

1.8 Prior Environmental Document(s)

City of Corona, General Plan Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039, certified April 2020.

1.9 Location of Prior Environmental Document(s)

City of Corona, Planning Department website:

<https://www.coronaca.gov/government/departments-divisions/planning-division/general-plan-update>

2 Project Context

The California Legislature has identified the attainment of a decent home and suitable living environment for every resident as the State's major housing goal. Recognizing the important role of local planning programs in pursuing this goal, the legislature mandated that all cities and counties prepare a housing element as part of their comprehensive general plans. Government Code Sections 65580 to 65589.8 set forth the specific components to be contained in a community's housing element.

2.1 Purpose of the Housing Element

The Housing Element of the General Plan is designed to provide the city with a coordinated and comprehensive strategy for promoting the production of safe, decent, and affordable housing within the community. A priority of both State and local governments, Government Code Section 65580 states that "the availability of housing is of vital statewide importance, and the early attainment of decent housing and a suitable living environment for every Californian family is a priority of the highest order."

Pursuant to the State law, the Housing Element has two main purposes:

1. To provide an assessment of both current and future housing needs and constraints in meeting these needs
2. To provide a strategy that establishes housing goals, policies, and programs

The Housing Element is one of the eight General Plan elements the State mandates in Government Code Section 65302. The Housing Element serves as an integrated part of the General Plan but is updated more frequently to ensure its relevancy and accuracy. The Housing Element identifies strategies and programs that focus on:

1. Conserving and improving existing affordable housing
2. Maximizing housing opportunities throughout the community
3. Assisting in the provision of affordable housing
4. Removing governmental and other constraints to housing investment
5. Promoting fair and equal housing opportunities

The residential character of Corona is largely determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population, establishing goals, policies, and programs that will guide City decision making and set forth an action plan to implement these housing programs through an established planning period.

2.2 Updates to the Housing Element

State law requires that housing elements be updated every eight years (California Government Code Section 65588). The Housing Element must identify residential sites adequate to accommodate a variety of housing types for all income levels and to meet the needs of special population groups as

defined under State law (California Government Code Section 65583). The Housing Element analyzes market and governmental constraints to housing maintenance, improvement, and development; addresses conservation and improvement of the condition of existing affordable housing stock; and outlines policies that promote housing opportunities for all persons.

The City of Corona Housing Element is now being updated as part of the 6th cycle RHNA allocation, which is for planning period October 15, 2021 through October 15, 2029.

2.3 Regional Housing Needs Allocation

The Regional Housing Needs Allocation (RHNA) reflects the California Department of Housing and Community Development's determination of the projected housing needs in a region by household income level as a percent of the Area Median Income (AMI). The Southern California Association of Governments (SCAG) was tasked with allocating this regional housing need among the jurisdictions in the SCAG region, which includes Riverside County. Table 1 shows the breakdown of the RHNA for Corona during the 2021-2029 planning period.

Table 1 2021-2029 Regional Housing Need Allocation

Income Group	Corona Unit Needs	Percent of Total Units	Regional Unit Needs (Riverside County)	Percent of Regional Units
Very low (\leq 50% AMI)	1,752	28.7%	41,995	25.1%
Low ($>$ 50-80% AMI)	1,040	17.1%	26,473	15.8%
Moderate ($>$ 80-120% AMI)	1,096	18.1%	29,167	17.4%
Above Moderate ($>$ 120% AMI)	2,200	36.1%	69,716	41.6%
Total	6,088	100%	167,351	100%

AMI = Area Median Income (established annually by the Department of Housing and Urban Development)¹
Source: SCAG 2020a

The City had 50,298 households as of January 2021.² As of 2020, 70.8 percent were single-family, which included 66.4 percent single-family detached units and 4.4 percent single-family attached units; multi-family dwelling units comprised 25.8 percent of the city's housing stock; and the remaining three percent were mobile homes (SCAG 2020b).

¹ The City has a RHNA allocation of 1,752 very low-income units (inclusive of extremely low-income units). Pursuant to State law (AB 2634), the City must project the number of extremely low-income housing needs based on Census income distribution or assume 50 percent of the very low-income units as extremely low. According to the Comprehensive Housing Affordability Strategy (CHAS) data developed by HUD, 17.6 percent of City households earned less than 50 percent of the AMI. Among these households, 49.5 percent earned incomes below 30 percent (extremely low). Therefore, the City's RHNA allocation of 1,752 very low-income units may be split into 867 extremely low and 885 very low-income units. However, for purposes of identifying adequate sites for the RHNA allocation, State law does not mandate the separate accounting for the extremely low-income category.

² California Department of Finance 2021: <https://dof.ca.gov/Forecasting/Demographics/Estimates/E-5/>

2.4 Changes in State Law

The following items represent substantive changes to State housing law since the City's last Housing Element was adopted and certified in 2013. The Housing Element update has incorporated and addressed all pertinent housing law changes.

- Affordable Housing Streamlined Approval Process: Senate Bill 35 (2017)
- Additional Housing Element Sites Analysis Requirements: Assembly Bill 879 (2017) and Assembly Bill 1397 (2017)
- Affirmatively Furthering Fair Housing: Assembly Bill 686 (2017)
- No-Net-Loss Zoning: Senate Bill 166 (2017)
- Safety Element to Address Adaptation and Resiliency: Senate Bill 1035 (2018)
- By Right Transitional and Permanent Supportive Housing: Assembly Bill 2162 (2018) and Assembly Bill 101 (2019)
- Accessory Dwelling Units: Assembly Bill 2299 (2016), Senate Bill 1069 (2016), Assembly Bill 494 (2017), Senate Bill 229 (2017), Assembly Bill 68 (2019), Assembly Bill 881 (2019), Assembly 587 (2019), Senate Bill 13 (2019), and Assembly Bill 671 (2019)
- Density Bonus: Assembly Bill 1763 (2019)
- Housing Crisis Act of 2019: Senate Bill 330
- Surplus Land Act Amendments: Assembly Bill 1486 and AB 1255 (2019)
- Housing Impact Fee Data: Assembly Bill 1483 (2019)
- Emergency and Transitional Housing Act of 2019: Assembly Bill 139 (2019)
- Standardization of Sites Inventory Analysis and Reporting: Senate Bill 6 (2019)
- Evacuation Routes: Senate Bill 99 and AB 747 (2019)

2.5 City of Corona General Plan

State law mandates that each city and county in California adopt "a comprehensive, long-term general plan," the purpose of which is to plan for important community issues such as new growth, housing needs, and environmental protection. Furthermore, the General Plan is used to project future demand for services such as sewer, water, roadways, parks, and emergency services.

The Corona General Plan, adopted in September 2019, is a long-term document with text and diagrams that express the goals, objectives, and policies necessary to guide the community toward achieving its vision over a 20-year period (2020 to 2040). A General Plan reflects the priorities and values of the community.

City decision-makers (e.g., City Council and Planning Commission), rely on the General Plan as the basis for making decisions on matters such as land use, and the provision of public facilities (e.g., roads, parks, fire stations). It is also a policy document that guides decisions related to protecting, enhancing, and providing open space, habitat conservation, arts and recreation programming, and community character.

State law requires that every General Plan, at a minimum, address certain subject categories (called "elements"), which include land use, circulation, housing, conservation of natural resources, environmental justice, open space, noise, and safety. A General Plan may also address other

subjects that are of importance to the community" future, such as sustainability, community design, and public art. Corona's General Plan includes the following elements:

- Land Use
- Housing
- Community Design
- Historic Resources
- Economic Development
- Parks, Recreation, Cultural Arts, and Education
- Circulation
- Infrastructure and Utilities
- Public Safety

- Noise
- Healthy Community
- Environmental Resources

2.6 Corona General Plan Technical Update EIR

The Corona General Plan Technical Update EIR (herein called the General Plan EIR) addressed the potential environmental effects of the planned buildout of the City of Corona through the year 2040 and concluded that implementation of the 2020-2040 General Plan would result levels of environmental impacts as detailed in Table 2. Mitigation measures were incorporated into the General Plan EIR to reduce potential impacts from project development under the General Plan.

Table 2 Summary of Areas of Potential Impact under the Corona General Plan Technical Update EIR

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Aesthetics	Less than significant	None
Agriculture and Forestry Resources	Significant and Unavoidable	None
Air Quality	Significant and Unavoidable	AQ 1- AQ 4
Biological Resources	Less than significant	BIO 1- BIO 7
Cultural Resources	Significant and Unavoidable	CUL 1- CUL 5
Energy	Less than significant	None
Greenhouse Gas Emissions	Significant and Unavoidable	GHG 1
Geology and Soils	Less than significant	GEO 1- GEO 6
Hazards and Hazardous Materials	Less than significant	None
Tribal Cultural Resources	Less than significant	TCR 1- TCR 3
Hydrology and Flood/Water Quality	Less than significant	None
Land Use Planning	Less than significant	None
Noise	Significant and Unavoidable	N 1

Issue Area	Level of Significance After Mitigation	Mitigation Proposed in the General Plan EIR
Population and Housing	Less than significant	None
Public Facilities and Services	Less than significant	None
Public Utilities and Infrastructure	Less than significant	None
Transportation	Significant and Unavoidable	None
Wildfire	Less than significant	None

City of Corona General Plan Assumptions

The General Plan has a year 2040 planning horizon, but it does not specify or anticipate exactly when buildout will occur, as long-range demographic and economic trends are difficult to predict. The designation in the General Plan of a site for a certain use does not necessarily mean that the site will be developed or redeveloped with that use during the planning period, as most development depends on property owner initiative.

As detailed in General Plan EIR in Table ES-1, *Buildout Statistical Summary*, the General Plan Update would result in a potential buildout total of 70,939 housing units, 241,928 residents, 82,191,657 nonresidential square feet, and 106,474 jobs in the City and its sphere of influence (SOI). During the 20-year timeframe, the General Plan would result in an increase of 11,511 units, 39,298 residents, 26,476,352 nonresidential square feet, and 31,156 jobs in the City and SOI.

2.7 Housing Element Update

The 2021 Housing Element Update has the following major components:

- An **introduction** to review the requirements of the Housing Element, public participation process, and data sources (Section 10.1)
- A profile and analysis of the city's demographics, housing characteristics, and existing and future **housing needs** (Section 10.2)
- A review of **resources available** to facilitate and encourage the production and maintenance of housing, including land available for new construction, financial and administrative resources available for housing, and opportunities for energy conservation (Section 10.3)
- An analysis of **constraints** on housing production and maintenance, including market, governmental, and environmental limitations to meeting the city's identified needs (Section 10.4)
- A review of the city's **housing programs** and evaluation of accomplishments under the 2013-2021 Housing Element (Section 10.5)
- A statement of the **Housing Plan** to address the city's identified housing needs, including an assessment of past accomplishments, and a formulation of housing goals, policies, and programs (Sections 10.6 and 10.7)
- An identification of the **goals, policies, and programs** and the city's quantified objectives for the 2021-2029 planning period, by income group, based on growth estimates, past and anticipated development, and income data (Section 10.8)

A series of appendices provide additional documentation. Appendix A provides information on the public outreach program for the Housing Element update, Appendix B is the sites inventory, and Appendix C is the Affirmatively Furthering Fair Housing assessment.

Goals, Policies, and Programs

The primary objective of the Housing Element is to encourage the production of new housing units to meet the RHNA and housing for special needs populations. This is done by adopting a series of goal and policies that support housing programs related to housing production, special needs housing, neighborhood quality and fair housing. The 2021 Housing Element Update goals, policies, and programs are summarized below and referenced throughout this Addendum Evaluation as appropriate.

Housing Production

State law requires that the goals and policies of the housing element shall encourage and facilitate the production of a range in types of housing affordable to households of varied income levels. The City supports this goal by identifying adequate sites for residential development (infill sites, vacant sites, and underutilized sites) that are appropriately zoned for the type and density that can accommodate housing for certain income levels. The Housing Element also identifies programs the City will take to support and incentivize housing development and address the City's housing needs.

The sites identified for new housing adequately accommodate the City's RHNA as determined by the state Housing and Community Development Department (HCD) for the 2021-2029 planning period. HCD reviews the Housing Element for adequacy. The following goals and policies set forth the City's commitment to facilitate and encourage the production of housing commensurate with community needs.

Goal H-1	Promote and maintain a balance of housing types and corresponding affordability levels to provide for the community's demands for housing within all economic segments of the City.										
Policies	<table><tr><td>H-1.1</td><td>Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.</td></tr><tr><td>H-1.2</td><td>Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.</td></tr><tr><td>H-1.3</td><td>Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.</td></tr><tr><td>H-1.4</td><td>Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.</td></tr><tr><td>H-1.5</td><td>Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density</td></tr></table>	H-1.1	Continue to support public and private sector nonprofit and for-profit organizations in their efforts to construct, acquire, and improve housing to provide access to affordable housing to lower and moderate-income households.	H-1.2	Promote specific plans that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate City services and recognition of environmental constraints.	H-1.3	Provide sites for residential development so that scarcity of land does not unduly increase the cost or decrease the availability of housing for all segments of the community.	H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.	H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density
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H-1.4	Support the development of sustainable projects that reduce demand for water and energy resources, reduce commute times and operational costs, and provide for transit-oriented development.										
H-1.5	Create or expand zoning designations and commensurate development standards to encourage flexibility in permitted land use types that respond to changing market forces and provide opportunities for higher density										

residential development, mixed use residential/commercial development, and transit oriented residential development in appropriate areas of the City.

Programs	<p>Program 1: Residential Rehabilitation Program. Provide forgivable loans to address critical home improvement needs such as the remediation of code violations, heating and air conditioning, exterior or interior paint, water heater replacement, roofing, plumbing, electrical, kitchen and bathroom facilities, termite eradication/repair and accessibility improvements. This program aims to assist 103 very low income and 152 low income during the 2021-2029 period with an annual average of 15 households. The City will continue to conduct community outreach regarding available loans and grants by providing information via the city's website and media channels and conducting ongoing discussions with representatives of organizations that support low income and special needs groups identified in Appendix A of the Housing Element.</p> <p>Program 2: Housing Voucher Program. This program will continue to provide tenant-based rental assistance to approximately 350 households annually through cooperation with the Riverside County Housing Authority. Compile and maintain a list of properties that participate in the Housing Choice Voucher program by October 2023. Create and implement an outreach program to promote the Housing Choice Voucher program to property owners by October 2023.</p> <p>Program 3: Conservation of Existing and Future Affordable Units. Under this program, the City shall utilize financial resources available through CDBG, federal, State, and local sources to retain or replace all 89 at-risk units. The program aims to identify and analyze inventory that may be at risk of losing affordability controls, maintain communication with the local HUD office, assist with tenant education, identify potential buyers, identify potential acquisition funds, and coordinate with non-profit developers to identify potential acquisition opportunities. The City will work with tenants of at-risk units and provide them with education regarding tenant rights and conversion procedures. The City will also provide tenants in at-risk projects information regarding Housing Choice voucher rent subsidies through the public housing authority, and other affordable housing opportunities in the City by October 2022. The City will assist tenants of existing rent restricted units to obtain priority status on housing choice voucher waiting list — HUD has set aside special vouchers for existing tenants in Housing Choice voucher projects that are opting out of low-income use. Upon conversion, the units will stay affordable to the existing tenants as long as they stay. Once a unit is vacated and new tenants move in, the unit will convert to market-rate housing.</p> <p>Program 4: Mobile Home Park Program. The City will continue to implement the Residential Mobile Home Park zoning ordinance (Municipal</p>
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Code Chapter 17.30) that sets conditions on changes of use or conversions of mobile home parks, consistent with Government Code Section 66427.5. The city will also assist lower-income tenants of mobile home parks to research the financial feasibility of purchasing their mobile home parks to maintain affordable rents. One potential source of financial assistance is the State Mobile home Park Rehabilitation and Restoration Ownership Program (MPRROP). The purpose of the program is to finance, through loans, the preservation of affordable mobile home parks by conversion to ownership or control by resident organizations, nonprofit housing partners, or local public agencies. Loan proceeds may be used to: purchase (conversion) a mobile home park, rehabilitate or relocate a purchased park, purchase by a low income resident a share or space in a converted park, or pay for the cost to repair or replace low-income residents' mobile homes.

Program 7: Site Availability and Rezone Program. Through Zoning and General Plan designations, the City maintains a residential sites inventory that is adequate to accommodate the City's remaining share of regional housing needs. The City's Regional Housing Needs Assessment (RHNA) is 6,088 units (2,792 units for low income, 1,096 units for moderate income, and 2,200 units for above moderate income). Future residential growth is expected to primarily be infill development in areas where transit-oriented development and access to services is most feasible. The City will have a shortfall of sites to accommodate the City's remaining RHNA requirements (for lower-, moderate-, or above moderate-income households), and therefore needs to undergo a Rezone program. To accommodate the shortfall of lower-income RHNA, the City will undergo a General Plan amendment and zoning amendment to develop standards by October 2024. Rezoned sites will permit owner-occupied and rental multifamily uses by right pursuant to Government Code section 65583.2(i) for developments in which 20 percent or more of the units are affordable to lower income households (Appendix B). The City will continue to:

- Provide zoning at appropriate densities to provide opportunities for accommodating the regional housing needs;
- Amend the Zoning Code Map Book to incorporate all zoning designation changes required to meet RHNA requirements by October 2024;
- Maintain an ongoing inventory of multi-family residential and mixed use sites and provide updated information on sites on City website;
- Maintain an ongoing inventory of City-owned properties and other surplus sites owned by other public agencies that may be appropriate for residential uses;

- Continue to update the Infill Affordable Housing Map to indicate suitable infill development sites;
- Monitor the consumption of residential acreage to ensure an adequate inventory is available;
- Create opportunity for at least 3,726 units for lower income households;
- By October 2024, change the land use and zoning designations of properties identified as North Main Street District Specific Plan in Appendix B to address any shortfall of sites to accommodate the City's remaining RHNA requirements;
- Add more City concessions for lower-income units, such as reducing the required amount of common open space, as an incentive;
- Permit owner-occupied and multifamily uses by-right for developments when 20 percent or more of the units are affordable to lower-income households;
- Permit at least 16 units per site;
- Require a minimum density of 20 units per acre; and
- At least 50 percent of the lower-income need may be accommodated on sites designated for residential use only or on sites zoned for mixed uses that accommodate all of the very low and low-income housing needs, if those sites:
 - Allow 100 percent residential use; and
 - Require that all residential use occupy 50 percent of the total floor area of a mixed use project.

Program 8: Residential Sites Monitoring Program. In 2017, Senate Bill 166 (SB 166), otherwise known as “no net loss”, was passed to ensure that cities and counties “identify and make available” additional adequate sites if a housing project is approved at a lower density or with fewer units by income category than what is identified in the Housing Element. In conjunction with Program 7, the City will further implement a monitoring program that evaluates the current capacity of housing sites for all income levels throughout the duration of the planning period. The City commits to internally tracking the City's available housing sites through its internal database to ensure the City remains on track towards satisfying its RHNA target. Should an approval of development result in fewer units than assumed in this Housing Element for meeting RHNA requirements (for lower-, moderate-, or above moderate-income households), the City will identify and, if necessary, rezone sufficient sites within 180 days to accommodate the shortfall and ensure “no net loss” in capacity to accommodate the RHNA.

- Program 9: Sites Used in Previous Planning Periods Housing Elements. The City shall rezone or amend its Zoning Code by October 2024 to allow by-right approval for housing developments proposed for non-vacant sites included in one previous housing element inventory and vacant sites included in two previous housing elements, provided that the proposed housing development consists of at least 20 percent lower income and affordable housing units.
- Program 10: Lot Consolidation and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards. The City will continue to facilitate lot consolidation or residential and mixed-use developments by providing information and technical assistance to property owners and developers, and offer incentives for lot consolidation when minimum standards are met (after zoning amendment by October 2024). Incentives could include reduced development fees, increased allowable density, decreased parking ratio requirements, reduced setbacks, and increased lot coverage and height allowance. The City will waive fees for lot consolidation for 100 percent affordable housing.
- Program 11: Multi-Family Acquisition and Rehabilitation. The City will utilize NSP and HOME funds to assist both nonprofit and for-profit developers to acquire existing apartment buildings in need of upgrading, in exchange for long-term affordability controls on some or all of the units. Furthermore, the City will pursue available funds for multi-family acquisition and rehabilitation.
- Program 12: Affordable Housing Development. The City will continue to work with nonprofit housing developers to pursue both ownership and rental affordable housing development. This program encourages affordable housing as infill development and will specifically be concentrated on vacant or underutilized parcels. Furthermore, this program aims to facilitate affordable housing production or self-help housing development through assistance in the site identification and acquisition, priority processing, collaboration with non-profit or other developers, as well as explore incentives and additional funding sources. This program will:
- Facilitate affordable housing production and development through assistance in site identification and acquisition, priority processing, or collaboration with nonprofit or other developers, as well as provision of incentives;

- Continue to utilize funds to expand affordable housing projects for special needs populations with the goal of facilitating the development of 130 lower income units within the planning period;
- Evaluate waiving development impact fees for new construction of housing units that are set aside as low income for a period of at least 55 years;
- Evaluate existing development review regulations and procedures to further streamline and give priority to projects that provide affordable housing;
- Annually seek additional funding sources and identify new partnerships to greater expand resources in the City;
- By October 2023, develop a Streamlined Ministerial Approval Process for developments in localities that have not yet made sufficient progress towards their allocation of the regional housing need;
- Monitor both the City's and State's development code for any additional updates that will require housing in the City to be altered/changed to comply with the latest updates;
- Investigate funding opportunities to provide rehabilitation services to homeowners and people amongst the vulnerable and low-income communities. Priority will be given to repair and rehabilitation of housing identified by the city's Building Division as being substandard or deteriorating, and which houses lower-income, and in some cases, moderate-income households; and
- Adopt written policies for priority for water and sewer service allocations to proposed developments that include housing units affordable to lower-income households by the 2025 Urban Water Management Plan and includes as updates to the Sewer Master Plan and/or Sanitary Sewer Management by 2025.

Program 13: Density Bonus Program. The City will continue to offer residential density bonuses as a means of encouraging affordable housing development. The City's density bonus regulations (Municipal Code Chapter 17.87) have been amended to comply with current state law. However, should new housing legislation on density bonuses be passed, the City will amend its density bonus program to reflect such changes. The purpose of the program is to provide policy incentives to the private sector to donate land or build housing for very low and low income residents, seniors, and/or persons with disabilities by increasing the number of allowable units above that normally allowed under current zoning requirements. In addition, the City offers density increases above and beyond the State density bonus law. For senior housing and housing for persons with

disabilities, the City offers density increases up to a maximum of 75 units per acre by right for both affordable and market-rate developments. Furthermore, multi-family residential development in the Mixed Use and Urban Residential districts in the North Main Street Specific Plan can reach a density of up to 60 units per acre.

Program 14: Zoning Ordinance Monitoring. The City will continue to monitor its policies, standards, and regulations to ensure they work to facilitate residential and mixed-use development in the community. The City will also revisit its supportive/transitional parking requirements, and emergency shelter regulations. This program will:

- Monitor the City's Zoning Ordinance to ensure standards do not excessively constrain affordable residential development;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 101 to permit low barrier navigation centers;
- Amend Title 17 of the Corona Municipal Code by October 2024 to comply with AB 2162 which prohibits impositions on any minimum parking requirements for supportive housing units located within ½ mile of a public transit stop;
- Amend Title 17 of the Municipal Code by October 2024 to comply with the Employee Housing Act;
- Amend the Zoning Ordinance by October 2023 to comply with AB 101 to permit residential care facilities by right and remove the requirement of a CUP;
- Amend the Zoning Ordinance by October 2023 to remove subjective text seen as a constraint to the development of residential care facilities;
- Amend the Zoning Ordinance by October 2024 to allow up to three stories by-right in multifamily residential zones.

Program 15: Flexibility in Development Standards. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of affordable housing, while maintaining the quality of housing. The City will monitor application of Development Code standards for constraints to development of new housing and recommend changes that would minimize such constraints and enhance the feasibility of high density housing, while maintaining the quality of housing. By 2024, the City will develop standards for affordable and/or high-density housing development that allow greater flexibility, such as reduced setbacks, and/or reduction of required common open space. Building and Engineering staff will study ways to mitigate the cost of construction, for example by revising engineering standards and working with the local Fire District to allow for narrower street widths, rolled curbs and parking bays, and considering allowing use

of less expensive building materials, such as plastic for storm drainage pipes, provided applicable code requirements are satisfied.

- Program 16: Development Impact Fees. The City will continue to evaluate the impact of fees on residential and mixed-use developments and make adjustments as necessary to facilitate development activities and consider a standardized policy to reduce development fees for high-density multifamily housing that can support housing for low-income households.
- Program 17: Expedited Project Review and Hearing Process. The City will continue to improve the efficiency of the development review process. As a response to a housing shortage in the State of California, Senate Bill 330 (SB 330) was passed to restrict local rules that limit housing production. SB 330 strengthen the Permit Streamlining Act by creating a more efficient two-step application process. In conformance with Government Code Section 65940.1 (SB 1483), the City has all schedule of fees, application forms, Zoning Ordinance/Municipal Code, and other relevant information publicly accessible on the City's website. The City will continue to identify efficiencies for the development process in line with SB 330 and further streamline the permit process. The City will also coordinate with developers to ensure a timely application and development process.
- Program 27: Replacement Housing Program. Development on nonvacant sites with existing residential units is subject to replacement requirements, pursuant to AB 1397. The City will amend the Zoning Code to require the replacement of units affordable to the same or lower income level as a condition of any development on a nonvacant site consistent with those requirements set forth in State Density Bonus Law.
- Program 28: Lot Configuration and Large Lot Development. To facilitate the development of affordable housing and provide for development phases of 50 to 150 units, the City will routinely coordinate with property owners and give high priority to processing subdivision maps that include affordable housing units. Additionally, the City will adopt incentives for development of high-density residential sites such as reducing minimum front and side yard setbacks to enhance design flexibility and create a more pedestrian-oriented environment and modifying parking standards.

Special Needs Housing

Corona, like many cities in California, have residents with special housing needs. These include seniors, large families with five or more members, people with disabilities, single parent households, unhoused people, and others in need of housing. The City proactively addresses each of

these groups by providing a range of special needs and affordable housing suited to the lifestyles and needs of each special need group.

Goal H-2	Promote and preserve suitable and affordable housing for persons with special needs, including large families, single parent households, persons with disabilities, and seniors and shelter for the unhoused.
Policies	<p>H-2.1 Encourage the development of rental units with three or more bedrooms to provide affordable housing for large families.</p> <p>H-2.2 Work with nonprofit agencies and private sector developers to encourage development of senior housing.</p> <p>H-2.3 Encourage the production of assisted living facilities (single-story houses and apartments) for the disabled and the elderly.</p> <p>H-2.4 Provide emergency shelter with transitional support for City residents, including disadvantaged groups.</p> <p>H-2.5 Encourage the upgrade and conversion of older motels to single-room occupancy housing.</p>
Programs	<p>Program 21: <i>Housing for Persons Experiencing Homelessness.</i> The City’s Homeless Prevention Programs was created as a result of the City’s Strategic Plan to Address Homelessness. The Program is for Corona households who are at risk of becoming homeless as defined by HUD and focuses on self-sufficiency and stabilization. Services include rental assistant, first/last month rent and/or deposit, utility assistance, transportation assistance, and case management. The City will also update the Zoning Ordinance to be consistent with the State law for parking requirements which are allowed for staff, provided the requirements do not exceed parking requirements for other uses and proximity requirements, provided those shelters are not required to be more than 300 feet apart.</p> <p>Program 22: <i>Housing for Special Needs Populations.</i> The City will continue to monitor its policies, standards, and regulations to ensure that they do not unduly impact persons with special needs. The City will also facilitate the development of housing for persons with disabilities and other special needs through incentives for affordable housing development.</p> <p>Program 25: <i>Community Outreach Program.</i> Community outreach is a key component to developing a comprehensive and inclusive housing market in the City. It is critical to engage local community groups and stakeholders from all sectors of the community in order to educate and provide inclusive housing opportunities. The goal of this program is to inform and engage residents in the City’s housing and overall planning process, particularly residents who may benefit from more fair and equitable housing opportunities.</p> <p>Program 26: <i>Community Placemaking Pilot Program.</i> The Community Placemaking Pilot Program will implement small-scale placemaking</p>

projects/events that connect community members through neighborhood beautification and active and passive engagement opportunities accessible to persons of all abilities and backgrounds.

Neighborhood Quality

The City of Corona’s quality of life is contingent on neighborhood quality and the safety, public amenities, and quality of development found in each neighborhood. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with sidewalks and trees, adequate physical infrastructure, and public services. In other cases, some neighborhoods show signs of deterioration and could benefit from improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services.

Given the diversity of residential neighborhoods, the City of Corona supports a multifaceted approach to improving and preserving the quality and livability of residential neighborhoods. The particular strategies employed to achieve this goal depend on the location of the neighborhood, age and tenure of housing, type of housing, and other neighborhood characteristics. These strategies include, but are not limited to, the following: historic preservation, neighborhood traffic management, infrastructure maintenance, safety, code compliance, and housing rehabilitation. The following goal and policies set forth Corona’s commitment to neighborhood quality.

Goal H-3	Maintain high quality residential development standards to ensure the establishment of livable neighborhoods with lasting safety and aesthetic value, and to promote the maintenance and preservation of historic neighborhoods.	
Policies	H-3.1	Recognize the City’s inventory of existing historic structures and seek programs to enhance and preserve those neighborhoods.
	H-3.2	Encourage the revitalization of the existing dwelling units in the circle area through rehabilitation programs.
	H-3.3	Provide public services and improvements that enhance and create neighborhood stability.
	H-3.4	Continue to establish and enforce property maintenance regulations that promote the sound maintenance of property and enhance the livability and appearance of residential areas.
	H-3.5	Maintain design review for new residential developments to ensure the construction of livable and aesthetically pleasing neighborhoods.
Programs	Program 5:	<i>Neighborhood Improvements.</i> To foster community pride and increase incentives for private homeowner investment in their homes, the City will continue its Neighborhood Improvement Program. This program consists of public improvements such as repairing and constructing streets, curbs, gutters, and water lines in addition to the Graffiti Removal Program. Public improvements inspire property owners to stay in the neighborhood and invest in their property, thus preserving the housing stock The City continues to develop methods designed to increase the City’s collective sense of community pride.

Program 6: *Sustainable Building*. The City through the California Building Code and CAL Green Code require the use of sustainable building techniques for new and rehabilitation projects in order to reduce demand for water and energy. The City also evaluates housing projects for shorten commute distances, protection of the environment, and plan large development projects with environmental principles such as transit-oriented development. The program will continue to implement the Climate Action Plan that fosters sustainability in all development requiring discretionary approval.

Fair Housing

Equal access to housing for all is fundamental to each person in meeting essential needs and pursuing personal, educational, employment, or other goals. As defined in state and federal law, fair housing is a condition in which individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of protected status. Recognizing this fundamental right, the federal and State of California governments have both established fair housing as a right protected by law. The following goal and policies set forth the City's commitment to fair housing.

Goal H-4 Ensure that housing opportunities are available to all persons without regard to the classes protected by federal and State laws.

Policies H-4.1 Coordinate housing actions with social service agencies and support efforts of organizations dedicated to working toward elimination of discrimination in housing.

H-4.2 Promote and provide for nondiscrimination in all City programs.

Programs Program 18: *Affirmatively Furthering Fair Housing*. To address the requirements of AB 686, the City has worked collaboratively with the County of Riverside Public Housing Authority (PHA) to complete the Analysis of Impediments to Fair Housing (AI) which identifies regional barriers to fair housing. The City has also produced a City-specific AI that discusses local barriers to fair housing with heavy emphasis on racial and economic disparity and environmental justice. Two primary impediments were identified for the City including a lack of access to home improvement financing and limited access to home purchase loans. Recommendations have been identified in the City's AI to reduce these impediments including implementing programs such as the Residential Rehabilitation Program and efficiently monitoring HDMA data. The current AI was approved by the City Council on June 17, 2020 to cover program years 2020-2021 through 2024-2025. The City will continue to address the impediments identified in the AI by examining available housing opportunities and potential Zoning Ordinance amendments. The City will continue to work collaboratively with the County of Riverside Public Housing Authority to identify and promote fair housing, education, and advocacy.

Program 19: *Fair Housing Services*. The city will continue to offer fair housing services to its residents and property owners. Additionally, AB 686

(2017) requires each city to administer its programs and activities related to housing in a manner that affirmatively furthers fair housing. Corona will take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities.

Program 20: *Segregation in Housing Implementation*. Programs under this goal are designed to affirmatively reduce barriers to housing, including but not limited to racial inequities, high housing costs, and public awareness of existing resources.

Program 23: *Safe and Healthy Communities*. Minority and lower-income communities have historically been disproportionately burdened by environmental impacts such as poor air quality. Under California Government Code 65040, environmental justice is designed as “the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies.” The City is committed to expanding safe and healthy housing opportunities for all people through the continuous expansion of environmental justice policies, conducting thorough environmental review of all housing developments, and creating partnerships with environmental justice agencies and advocates such as the California Environmental Justice Alliance.

Program 24: *Alternative Housing Program*. Under this program, the City will continue to support alternative types of housing, such as multifamily units, single-room occupancy units, and managed living units or “micro-units,” to accommodate extremely-low-income households.

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3 Overview of CEQA Guidelines §15164

California Environmental Quality Act (CEQA) Guidelines Sections 15162 and 15164 set forth the criteria for determining the appropriate additional environmental documentation, if any, to be completed when a project has a previously certified EIR.

CEQA Guidelines Section 15164 states that a lead agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred. CEQA Guidelines sections 15162(a) states that no Subsequent or Supplemental EIR shall be prepared for a project with a certified EIR unless the lead agency determines, based on substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project that will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, shows any of the following:
 - A. The project will have one or more significant effects not discussed in the previous EIR.
 - B. Significant effects previously examined will be substantially more severe than shown in the previous EIR.
 - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
 - D. Mitigation measures or alternatives that are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

The City has prepared this Addendum Evaluation, pursuant to CEQA Guidelines Sections 15162 and 15164, to evaluate whether the project's environmental impacts are covered by and within the scope of the Corona General Plan Technical Update EIR (September 2019, State Clearinghouse Number 2018081039). The following Addendum Evaluation details any changes in the project, changes in circumstances under which the project is undertaken, and/or "new information of substantial importance" that may cause one or more effects to environmental resources.

The responses herein substantiate and support the City's determination that the Housing Element update policies and programs are within the scope of the Corona General Plan Technical Update EIR, do not require subsequent action under CEQA Guidelines Section 15162 and, in conjunction with the EIR, adequately analyze potential environmental impacts.

4 Environmental Effects and Determination

Environmental Areas Determined to Have New or Substantially More Severe Significant Effects Compared to Those Identified in the Previous EIR

The subject areas checked below were determined to be new significant environmental effects or to be previously identified effects that have a substantial increase in severity either due to a change in project, change in circumstances, or new information of substantial importance, as indicated by the checklist and discussion on the following pages.

■ NONE

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology and Soils | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards and Hazardous Materials |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities and Service Systems | <input type="checkbox"/> Wildfire | <input type="checkbox"/> Mandatory Findings of Significance |

Determination

Based on this analysis:

- ☐ Substantial changes are proposed in the project or there are substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Or, there is "new information of substantial importance," as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, a SUBSEQUENT or SUPPLEMENTAL EIR is required.

- No substantial changes are proposed in the project and there are no substantial changes in the circumstances under which the project will be undertaken that will require major revisions to the previous EIR due to the involvement of significant new environmental effects or a substantial increase in the severity of previously identified significant effects. Also, there is no "new information of substantial importance" as that term is used in CEQA Guidelines Section 15162(a)(3). Therefore, the previously certified EIR is adequate and this evaluation serves as an ADDENDUM to the City of Corona, General Plan Technical Update Environmental Impact Report (General Plan EIR). State Clearinghouse Number 2018081039 dated December 2019.

Signature	Date
Joanne Coletta	Community Development Director
Printed Name	Title

5 Addendum Evaluation Methodology

5.1 General Plan Consistency

The Housing Element is a component of the City's General Plan and is periodically updated pursuant to state law. Therefore, the Housing Element update is consistent with the vision of the General Plan and is supported by goals and policies of the other General Plan Elements. The General Plan Elements and policies that correspond with the goals and policies of the Housing Element are summarized below:

- The **Land Use and Community Design Element** guides the type, location and quality of development in accordance with the Land Use Plan. The goals and policies within this element add to the value and desirability of living and working in the City. The Land Use Plan details the location and the density of development allowed throughout the city.
- The **Circulation Element** outlines the long-term plan for roadways and general operating conditions. It also provides guidance relating to the transit system, good movement system and nonmotorized travel, which includes bicycle and pedestrian travel.
- The **Parks, Recreation, Cultural Arts, Education and Environmental Resources Elements** establishes goals and policies to ensure the provision of sufficient parks, schools and library facilities are appropriate in the planning of residential and service population of the city; and addresses the preservation and conservation of open space lands for the protection of biotic resources and recreational purposes.
- The **Noise and Public Safety Elements** contain policies to protect residents from unacceptable noise levels and safety concerns by guiding future development away from significant noise sources and potential hazards and by enforcing mitigations when necessary.
- The **Economic Development Element** outlines the city's economic development objectives and guides development of future employment and commercial services, both of which are critical to supporting residents. The enhancement of well-paying jobs with the city helps with accessing housing resources and reducing transportation costs and impacts.
- The **Sustainability and Infrastructure and Utilities Elements** is an intrinsic component of all elements of the General Plan. The very same policies that further sustainable development also enhance quality-of-life and public health. The Sustainability Element affects housing through policies that encourage efficient development patterns, conservation, and sustainable energy sources such as solar. Policies recommend building design and outdoor spaces to take advantage of Corona's moderate climate and reduce the need for artificial cooling, heating, and lighting.
- The **Healthy Community Element** establishes goals and objectives to reduce pollution exposure; improve air quality; and promote public facilities, food access, safe and sanitary homes, and physical activity.
- The **Historic Resources Element** provides guidelines to preserve resources that represent the history and culture of Corona. Specifically, the element is intended to provide guidance in developing and implementing programs, in concert with community partners, that ensure the identification, designation, and protection of cultural and historical resources for future Corona generations.

Adoption of the Housing Element update will require the City to amend the General Plan's Land Use Element, specifically the Land Use Plan, to implement the housing sites inventory associated with the city's assigned RHNA allocation for planning period 2021-2029. This is required per California Government Code Section 65583(c)(1)(A).

Accommodation of the RHNA

Corona's RHNA for the current planning period is 6,088 units, including 2,792 very low and low-income housing units, 1,096 moderate housing units, and 2,200 above moderate housing units. The City must demonstrate the availability of sites with appropriate zoning and development standards that can facilitate and encourage the development of such units. The Housing Element update includes a housing plan that accommodates the RHNA plus a buffer of additional housing sites as recommended by HCD, which includes estimated 7,455 housing units. As shown in Table 3, the City anticipates the development of 80 ADUs during the eight-year planning period and 2,110 units would be accommodated from planned and approved (pipeline) projects, which can count towards the RHNA. Additionally, 1,153 units would be accommodated by vacant and nonvacant sites under the existing General Plan land uses. The remaining 3,652 units would be accommodated by a rezoning program, which includes an affordable housing overlay (AHO) zone.

Although the housing sites inventory has been identified for future planning purposes as part of the Housing Element update, the adoption of the Housing Element itself does not change the current zoning or General Plan designations of the properties. California Government Code Section 65583(c)(1)(A) states that cities have up to three years from the start of the Housing Element planning period to rezone sites, including adoption of minimum density and development standards. Therefore, the City's rezoning program, which is identified as Program 7 in Chapter 6 (Housing Plan) of the Housing Element update, would be a separate project and evaluated in accordance with CEQA at the time of its review. Prior to the approval of any changes in land use, the City would evaluate the potential environmental impacts from the rezoning or change in the General Plan Land Use Plan.

Table 3 Housing Unit Yield per Site Category

Site Category	Very Low/ Low	Moderate	Above Moderate	Total
Planned and Approved Units	0	92	2,110	2,202
Anticipated Accessory Dwelling Units	46	28	6	80
RHNA Remaining Need	2,746	976	84	3,806
Vacant Units	132	56	595	783
Nonvacant Units	82	33	255	370
Potential Rezone	149	219	0	368
Affordable Housing Overlay	2,983	669	0	3,652
Total Units Accommodated by Housing Plan	3,392	1,097	2,966	7,455
RHNA Required	2,792	1,096	2,200	6,088
Total Unit Surplus (Buffer)	600	1	766	1,367

Source: Adapted from Table 45 of the 2021-2029 Housing Element update

The City's General Plan proposes 5,494 additional residential units in the city limits by 2040. The 7,455 units that would be accommodated by the Housing Element update would exceed the 5,494 units by an additional 1,961 units. Therefore, additional environmental analysis would be required prior to the implementation of the rezoning program identified as Program 7 in the Housing Element.

A detailed discussion of the Housing Element update development assumptions and housing plan is provided below.

Housing Element Update Plan and Assumptions

The City used conservative assumptions to estimate the development capacity of each site. Specifically, the sites inventory assumed 75 percent of the maximum allowable density of most parcels, instead of the full development potential. This assumption is based on historical development patterns and is necessary to accommodate for a variety of site-specific factors that cannot be evaluated until a development proposal is brought to the City for review, such as previous development applications submitted for the site, conversations with landowners, development standards and requirements of the corresponding specific plan, and site-specific environmental constraints such as topography, seismic activity, flooding, and wildfire hazard zones. Many recently constructed projects or projects under construction realized densities of more than 75 percent of the maximum allowable density. For the smaller lots in the inventory, a minimum of one dwelling unit is assumed for each legal lot.

A total of 1,178 residential units can be accommodated on the vacant and nonvacant sites under existing land use policies and approved plans. Of these units, 214 qualify as feasible for facilitating the development of extremely low-, very low- and low-income units. In addition to vacant and nonvacant parcels, the City has identified a number of parcels to be part of a rezoning program to accommodate the City's lower and moderate income RHNA allocation. 368 units could be accommodated through the rezoning of low density residential and commercial parcels to medium density residential (MDR), high density residential (HDR), multi-family residential (MFR), and mixed-use (MU). Of these rezoned parcels, 149 qualify as feasible for facilitating the development of very low- and low-income units. The City prioritizes rezoning in transit priority areas that are within 0.5-mile of public transit (i.e. high frequency bus route or trolley line) to improve walkability and reduce dependence on automobile use, consistent with the goals of the SCAG Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS).

The City has also identified nonvacant commercial and residential parcels that are specifically suitable for an AHO. AHOs are added layers on top of existing zoning ordinances that provide incentives for developers to build affordable housing. Incentives may include:

- Increased density bonus;
- Reduced development standards ;
- Lower parking requirements;
- By-right zoning or administrative project approval;
- Streamlined permitting;
- Allowing housing in locations not zoned for residential uses; and
- Impact fee waivers.

The City would introduce an AHO as part of the housing plan for the Housing Element update. The AHO would support densities between 36-60 du/ac. Sites designated with the AHO would keep the underlying zoning but would have this affordable housing overlay if housing is to be considered on the site in the future. With the AHO, these sites could accommodate 3,652 units, and 2,983 units will qualify as feasible for facilitating the development of extremely low, very low-, and low-income units. A detailed sites inventory of the residential capacity of each site is located in Appendix B of the Housing Element update.

5.2 Preliminary Environmental Constraints

State housing law requires the city to review both governmental and non-governmental constraints to the maintenance and production of housing for all income levels. Since local governmental actions can restrict the development and increase the cost of housing, State law requires the Housing Element to “address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing” (Government Code Section 65583(c)(3)).

Several factors can constrain residential development. These include market constraints, such as development costs and interest rates, and governmental constraints, which include land use controls, fees, processing times, and development standards, among others. In addition, environmental and infrastructure constraints can also impede residential development. For purposes of the Addendum Evaluation, only the potential environmental constraints, as they relate to CEQA, were evaluated.

Environmental constraints to residential development typically relate to the presence of sensitive habitat, flooding, topography, and other natural and physical characteristics that can limit the amount of development in an area or increase the cost of development. The Housing Element update, in and of itself, does not propose specific development projects, but rather puts forth goals, policies, and programs that support housing efforts in Corona. Each future housing development project and housing program adopted in the Housing Element would be subject to separate review to determine potential impacts on the environment related to each project.

6 Addendum Evaluation

1 Aesthetics

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect on a scenic vista?	Less than Significant	None	No	No	No	Yes	Yes
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	Less than Significant	None	No	No	No	Yes	Yes
c. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	Less Than Significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Create a new source of substantial light or glare that would adversely affect daytime or nighttime views in the area?	Less than Significant	None	No	No	No	Yes	Yes

General Plan EIR Aesthetics Findings

The General Plan EIR determined that impacts to aesthetic resources would be less than significant for scenic vistas, scenic highways, visual quality, and light and glare. It further stated that individual development projects would be subject to project-specific development and planning review, including adherence to standards for community design and visual quality. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning aesthetic resources such as those that address architectural design, lighting, signage, landscaping, building setbacks, and hillside protection.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development the aesthetics on these properties would not create a significant impact from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to scenic vistas, scenic resources, or visual character, and will not create new sources of substantial light or glare which adversely affects views.

All future development aligning with the Housing Element update would undergo project-specific developmental review, including design review, to address potential impacts related to aesthetics. Development proposals would be subject to adopted development guidelines, including standards that govern visual quality and community design.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of aesthetics is required.

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2 Agriculture and Forestry Services

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	Significant and Unavoidable	AG-1 Retention of On-site Agricultural Uses. AG-2 Establishment of Conservation Easement or Preserves or Payment into an Agricultural Mitigation Bank. AG-3 Payment in Lieu or Transfer of Development Right.	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Conflict with existing zoning for agricultural use or a Williamson Act contract?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)); timberland (as defined by Public Resources Code Section 4526); or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	Less Than Significant	None	No	No	No	Yes	Yes
d. Result in the loss of forest land or conversion of forest land to non-forest use?	Less Than Significant	None	No	No	No	Yes	Yes
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	Significant and Unavoidable	AG-1 through AG-3	No	No	No	Yes	Yes

General Plan EIR Agriculture and Forestry Resources Findings

The General Plan EIR identified that the Housing Element update would convert farmland in the City and SOI to nonagricultural use along with farmland in the SOI that is under the Williamson Act contract. Mitigation measures were identified to help reduce impacts; however, impacts would still be considered significant. General Plan policies and implementation programs are in place to minimize impacts to agricultural land conversion that apply to future development.

There are no current or planned fixed commercial timber operations subject to a Timber Harvesting Plan in southwest Riverside County and there are no timber production zones in the City of Corona or its SOI. Consequently, the General Plan EIR identified no impacts associated with forestry resources or timberland.

Addendum Analysis

The General Plan goals and policies support continued farming and restrict uses that would interfere with farming and open space uses in certain corridors. Mitigation measures identified in the General Plan EIR would be implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, agriculture and forestry uses would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to farmland.

All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to farmland. Development proposals would be subject to adopted development guidelines.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of agriculture and forestry resources is required.

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3 Air Quality

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with or obstruct implementation of the applicable air quality plan?	Significant and Unavoidable	AQ-1 Construction-related emissions reduction, AQ-2 long-term emissions reduction	No	No	No	Yes	Yes
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	Significant and Unavoidable	AQ-1	No	No	No	Yes	Yes
c. Expose sensitive receptors to substantial pollutant concentrations?	Significant and Unavoidable	AQ-2, AQ-3 Preparation of HRA	No	No	No	Yes	Yes
d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	Less than Significant	AQ-4 Odor Management Plan	No	No	No	Yes	Yes

General Plan EIR Air Quality Findings

The General Plan EIR determined that impacts to air quality would be significant and unavoidable regarding conflicting with applicable air quality plans, cumulatively considerable net increase of criteria pollutants for which the region is in non-attainment, exposure of sensitive receptors to pollutant concentrations. The General Plan EIR found that General Plan implementation would create a significant and unavoidable impact relative to existing or projected air quality. Mitigation AQ-4 would reduce potential impacts regarding odors to less than significant. The General Plan includes numerous goals and policies to reduce potential air quality impacts, and the City would enforce compliance with regional plans and programs that reduce air quality impacts.

Addendum Analysis

The General Plan goals and policies support reduction of air quality impacts. Mitigation measures identified in the General Plan EIR are implemented to help reduce impacts to the greatest extent possible. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, air quality would not be a significant change from current conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to air quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to air quality.

Potential air quality-related impacts cannot be assessed in a meaningful way until a project specific analysis is done covering the size of the development which includes construction air quality emissions, project operational emissions and potential vehicle miles traveled. Short-term air quality impacts resulting from construction of the sites, such as dust generated by clearing and grading activities, exhaust emissions from gas- and diesel-powered construction equipment, and vehicular emissions associated with the commuting of construction workers will be subject to South Coast Air Quality Management District rules and protocols. Similarly, operational impacts would be addressed by provisions in the General Plan, the Green Building Code, and other regulations and standards that govern air quality in Corona. Any impacts identified for an individual project would be addressed through the project approval process specific to concerns for that project.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information

that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of air quality is required.

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4 Biological Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a)) Project is within the Scope of General Plan EIR?	
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 Biological Resources Survey, BIO-2 Construction Limitations, BIO-3 Contractor Training Program, BIO-4 Biological Monitoring	No	No	No	Yes	Yes
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	Less than significant	BIO-1 through BIO-4	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Have a substantial adverse effect on state or federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	Less than significant	BIO-5 Jurisdictional Delineation	No	No	No	Yes	Yes
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	Less than significant	BIO-6 Corridor Evaluation, BIO-7 Nesting Bird Survey	No	No	No	Yes	Yes
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	Less than significant	None	No	No	No	Yes	Yes
f. Conflict with the provisions of an adopted habitat conservation plan, natural community conservation plan, or other approved local, regional, or State habitat conservation plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Biological Resources Findings

The General Plan EIR determined that impacts to biological resources would be less than significant with mitigation incorporated for effects to sensitive animal and plant species, sensitive natural communities, and wildlife movement. As such, all projects proposed under General Plan implementation would be required to conform to zoning, design standards, and other regulations concerning the protection of biological resources, including listed species, habitats, and all planning resources designed to protect and conserve these resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to biological resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to less than significant. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, biological resources would not be altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

Furthermore, protection of many special status species and habitat is mandated by federal and State laws. Corona is a member agency in the Western Riverside County Multiple Species Habitat Conversation Plan (MSHCP) to preserve the diversity of habitat and protect sensitive biological resources with the City while allowing for additional development consistency with city planning documents (i.e., General Plan). All proposed development projects, including those under the Housing Element update, would be assessed for consistency with the MSHCP.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to biological resources and conservation or habitat management plans. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to biological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of biological resources is required.

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5 Cultural Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures						
Would adoption of the 2021 Housing Element Update:								
a. Cause a substantial adverse change in the significance of a historical resource pursuant to § 15064.5?	Significant and Unavoidable	CUL-1 Historical Resources Assessment, CUL-2 Secretary of the Interior’s Standards for the Treatments of Historic Properties, CUL-3 Recordation, CUL-4 Flagged Construction Limits	No	No	No	Yes		Yes
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5?	Less than significant	CUL-5 Archaeological resources assessment	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Disturb any human remains, including those interred outside of formal cemeteries?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Cultural Resources Findings

The General Plan EIR determined that impacts to historic resources would be significant and unavoidable. The General Plan EIR includes mitigation measures that would reduce potential impacts; however, impacts would still be considered significant and unavoidable. The General Plan established policies for future development to reduce impacts to the greatest extent feasible. Individual development projects would be subject to project-specific development and planning review. As such, all projects proposed under General Plan implementation are required to conform to zoning, design standards, and other regulations concerning the protection of cultural resources, including listed historic and archaeological resources.

Addendum Analysis

The General Plan goals and policies support reduction of impacts to cultural resources. Mitigation measures identified in the General Plan EIR are implemented to reduce impacts to the greatest possible extent. These measures would remain in practice with implementation of the Housing Element update.

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, cultural resources would not be impacted. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development, but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to cultural resources. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of cultural resources is required.

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6 Energy

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	Less than significant	None	No	No	No	Yes	Yes
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Energy Findings

The General Plan EIR determined that impacts to energy would be less than significant regarding wasteful or unnecessary energy consumption and would not conflict with or obstruct State or local plans for renewable energy or energy efficiency.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, energy resources would not be significantly altered. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts to energy resources or adopted plans for renewable or efficient energy use. Additionally, future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to energy resources and energy consumption for new residential construction, including consistency with Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards, of the California Code of Regulations (CCR).

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of energy is required.

7 Geology and Soils

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:			No	No	No	Yes	Yes
1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	Less than significant	None	No	No	No	Yes	Yes
2. Strong seismic ground shaking?	Less than significant	None	No	No	No	Yes	Yes
3. Seismic-related ground failure, including liquefaction?	Less than significant	None	No	No	No	Yes	Yes
4. Landslides?	No Impact	None	No	No	No	Yes	Yes
b. Result in substantial soil erosion or the loss of topsoil?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?	Less than significant	None	No	No	No	Yes	Yes
d. Be located on expansive soil, as defined in Table 1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	Less than significant	None	No	No	No	Yes	Yes
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	Less than significant	None	No	No	No	Yes	Yes

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	Less than significant with mitigation incorporated	GEO-1 High and Low-to-High Sensitivity, GEO-2 High Sensitivity, GEO-3 Low-to-High Sensitivity, GEO-4 Low Sensitivity, GEO-5 Unknown Sensitivity, GEO-6 All Projects	No	No	No	Yes	Yes

General Plan EIR Geology and Soils Findings

The General Plan EIR determined that impacts to geology and soils would be less than significant for adverse effects related to rupture of a known fault, strong ground shaking, seismic-related ground failure, or landslides; soil erosion; landslide, lateral spreading, subsidence, liquefaction, or collapse; locating development on expansive soils; and installing septic tanks and alternative wastewater disposal systems in expansive soils. However, potentially significant impacts were found for paleontological resources and mitigation was incorporated to reduce impacts to less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impact to geology and soils resources would not be significant. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in geology and soils impacts. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to geology and soils, including adherence to State and City grading and building standards. Future development would be required to adhere to mitigation measure requirements related to paleontological resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of geology and soils is required.

8 Greenhouse Gas Emissions

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	Significant and unavoidable	GHG-1 CAP Update and Monitoring	No	No	No	Yes	Yes
b. Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Greenhouse Gas Emissions Findings

The General Plan EIR determined that impacts to greenhouse gas (GHG) emissions and GHG reduction targets would be significant with implementation of the General Plan. Mitigation measures set forth in the General Plan EIR would reduce potential impacts to GHG emissions but would still result in a significant and unavoidable impact. Impacts relating to conflicts with plans, policies, and regulations adopted to reduce GHGs would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, greenhouse gas emissions are not likely to significantly rise above existing conditions. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing development efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with GHG emissions. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to GHG emissions, including adherence to State and City building standards and policies designed to reduce GHG emissions with new residential construction, such as CCR Title 20, Energy Building Regulation, and Title 24, Energy Conservation Standards.

Conclusion

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of GHG emissions is required.

9 Hazards and Hazardous Materials

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	Less than significant	None	No	No	No	Yes	Yes
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	Less than significant	None	No	No	No	Yes	Yes
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within 0.25 mile of an existing or proposed school?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Be located on a site that is included on a list of hazardous material sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	Less than significant	None	No	No	No	Yes	Yes
e. Result in a safety hazard for people residing or working within an airport land use plan area, or where such a plan has not been adopted, within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes
f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	Less than significant	None	No	No	No	Yes	Yes
g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hazards and Hazardous Materials Findings

The General Plan EIR determined that impacts for hazardous materials would be less than significant for impacts related to hazards and hazardous materials.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, exposure to hazardous conditions or materials are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hazards and hazardous materials. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hazards and hazardous materials is required.

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10 Hydrology and Water Quality

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
Would adoption of the 2021 Housing Element Update:							
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?	Less than significant	None	No	No	No	Yes	Yes
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	Less than significant	None	No	No	No	Yes	Yes
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or by increasing the rate or amount of surface runoff, in a manner that would result in substantial erosion, siltation, or flooding on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
floodings on or offsite; create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems impede or redirect floodflows?							
d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	Less than significant	None	No	No	No	Yes	Yes
e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Hydrology and Water Quality Findings

The General Plan EIR determined that impacts to hydrology and water quality would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, increases in hydrology and impacts to water quality are not likely. Additionally, most sites are urban infill sites where development already exists throughout the area.

The Housing Element update, in and of itself, does not involve specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with hydrology and water quality. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to hydrology and would be required to prepare water quality management plans.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of hydrology and water quality is required.

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11 Land Use and Planning

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
Would adoption of the 2021 Housing Element Update:							
a. Physically divide an established community?	Less than significant	None	No	No	No	Yes	Yes
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Land Use Planning Findings

The General Plan EIR determined that impacts to land use would be less than significant as they pertain to conflicts with applicable land use plans. It found that General Plan implementation would not physically divide an established community and would, in fact, would beneficially increase connectivity locally and regionally.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, changes in land uses in already urbanized areas should not pose a significant change.

The Housing Element update, in and of itself, does not include a specific project involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with land use. All future development aligning with the Housing Element update would undergo project-specific developmental review to address potential impacts related to land use.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of land use is required.

12 Mineral Resources

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	Significant and Unavoidable	MIN-1 Mineral Resource Evaluation, MIN-2 Mineral Value Report	No	No	No	Yes	Yes

General Plan EIR Mineral Resources Findings

The General Plan EIR determined that impacts to mineral resources relating to a known and locally important mineral resource would be significant and unavoidable. Mitigation measures were identified in the General Plan EIR to reduce impacts to the greatest extent; however, impacts are still considered to be significant and unavoidable.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts on mineral resources is not likely. Additionally, areas designated mineral resources are not zoned for residential purposes.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with mineral resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential impacts to mineral resources and undergo project-specific developmental review to address potential impacts related to mineral resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of mineral resources is required.

13 Noise

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures					
Would adoption of the 2021 Housing Element Update:							
a. Generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of a project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	Significant and unavoidable	N-1 Comprehensive Construction Mitigation	No	No	No	Yes	Yes
b. Generate excessive vibration of groundborne noise levels?	Less than significant with mitigation incorporated	N-2 Noise and Vibration Analysis	No	No	No	Yes	Yes
c. Result in a project that exposes people residing or working in the project area to excessive noise levels due to the project’s location within an airport land use plan area or within two miles of a public airport or public use airport?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Noise Findings

The General Plan EIR determined that implementation of the General Plan would result in temporary impacts to noise from construction that would be significant and unavoidable despite the implementation of mitigation. Operational noise impacts were found to be less than significant. Vibration and increase in noise near sensitive land uses were also found to have potentially significant impacts but would be reduced to less than significant levels with mitigation. The General Plan EIR found that the General Plan would not result in exposure of future residents or workers near an airport or airstrip.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts associated with long term operational noise is not likely.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with noise and vibration. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce potential noise and vibration impacts and undergo project-specific developmental review to address potential noise and vibration impacts.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of noise impacts is required.

14 Population and Housing

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?				
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	Less than significant	None	No	No	No	Yes	Yes
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Population and Housing Findings

The General Plan EIR determined implementation of the General Plan would result in a less than significant impact relating to population growth and would not result in displacing people and/or housing.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could be rezoned to accommodate new or additional housing units. An increase in the population of Corona would occur but would not exceed the regional population growth anticipated by the SCAG RTP/SCS. The regional growth projections are used in the methodology for allocating the RHNA within the metropolitan planning organizations.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts associated with population and housing.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to population and housing is required.

15 Public Services

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered fire protection facilities, or the need for new or physically altered fire protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes
b. Result in substantial adverse physical impacts associated with the provision of new or physically altered police protection facilities, or the need for new or physically altered police protection facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
times or other performance objectives?								
c. Result in substantial adverse physical impacts associated with the provision of new or physically altered schools, or the need for new or physically altered schools, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes
d. Result in substantial adverse physical impacts associated with the provision of new or physically altered parks, or the need for new or physically altered parks, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios or other performance objectives?	Less than significant	None	No	No	No	Yes		Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
e. Result in substantial adverse physical impacts associated with the provision of new or physically altered public facilities, or the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives?	Less than significant	None	No	No	No	Yes	Yes	

General Plan EIR Public Services Findings

The General Plan EIR determined that implementation of the General Plan would not result in substantial adverse physical impacts associated with new or physically altered public services facilities, including those related to fire, police, schools, and libraries, and impacts would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, public services are not likely to be impacted. Most sites are urban infill sites where development already exists along with public services already being provided.

The Housing Element update, in and of itself, does not include specific projects that involve a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in substantial adverse physical impacts associated with new or physically altered public services facilities.

Future development aligning with the Housing Element update would be subject to the payment of the City's development impact fees (DIFs), which are used to build public infrastructure burdened by development.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to public services is required.

16 Recreation

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	Less than significant	None	No	No	No	Yes	Yes
b. Include recreational facilities or requires the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Recreation Findings

The General Plan EIR determined that impacts to existing park and recreational facilities and the necessity for new and/or expanded recreational facilities would be less than significant with implementation of the General Plan.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Although the Housing Element update, in and of itself, does not involve specific projects involving a new housing development it does put forth goals and policies that support housing efforts in Corona.

New development is subject to the payment of park improvement fees or Quimby fees, which is a pay in lieu of parkland dedication. Future development projects aligning with the Housing Element update would be subject to the same requirements.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to recreation is required.

17 Transportation/Traffic

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	Significant and unavoidable	None	No	No	No	Yes	Yes
b. Conflict or be inconsistent with CEQA Guidelines 15064.3, subdivision (b)?	Significant and unavoidable	T-1 VMT Reduction	No	No	No	Yes	Yes
c. Substantially increase hazards due to a geometric design feature or incompatible uses?	Less than significant	None	No	No	No	Yes	Yes
d. Result in inadequate emergency access?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Transportation Findings

The General Plan EIR determined that General Plan-related trip generation in combination with existing and proposed cumulative development would result in designated road and/or highways that would exceed the Congestion Management Agency service standards, and no feasible mitigation was identified. The General Plan EIR also found that General Plan-related trip generation in combination with existing and proposed cumulative development would exceed the City's vehicle miles traveled (VMT) threshold and would be inconsistent with CEQA Guidelines §15064.3, subdivision (b). The General Plan EIR identifies mitigation measures to reduce VMT; however, impacts would be significant and unavoidable. Other impacts were determined to be less than significant, including hazardous roadway design features, and emergency access.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, vehicle miles traveled already exist. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to transportation and traffic. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce transportation and traffic impacts and undergo project-specific developmental review to address potential impacts, including an assessment of project-specific VMT. Additionally, the proposed housing sites would concentrate housing development in the City rather than in the SOI, which would reduce overall VMT.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to transportation and traffic is required.

18 Tribal Cultural Resources

			CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))		Project is within the Scope of General Plan EIR?
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?			
Would adoption of the 2021 Housing Element Update:								
a. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k)?	Less than Significant with Mitigation Incorporated	TCR-1 Tribal Cultural Resources Monitoring, TCR-2 Treatment and Disposition of Cultural Resources, TCR-3 Archaeological Monitors	No	No	No	Yes	Yes	

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
b. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074 that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1?	Less than Significant with Mitigation Incorporated	TCR-1 through TCR-3	No	No	No	Yes	Yes

General Plan EIR Tribal Cultural Resource Findings

The General Plan EIR determined that impacts to tribal cultural resources would be less than significant with mitigation incorporated.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, impacts to tribal culture resources are likely non-existent. Most sites are urban infill sites where development already exists.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to tribal cultural resources. All future development aligning with the Housing Element update would be required to adhere to the mitigation measures included in the EIR to reduce impacts to tribal cultural resources.

Additionally, all developments must comply with General Plan policies and programs that would minimize impacts on tribal cultural resources and must comply with Assembly Bill (AB) 52 and other federal and State regulations that help protect and conserve tribal cultural resources.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to tribal cultural resources is required.

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19 Utilities and Service Systems

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	Less than significant	None	No	No	No	Yes	Yes
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	Less than significant	None	No	No	No	Yes	Yes
c. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15164(a) Occur?	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	Less than significant	None	No	No	No	Yes	Yes
e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Utilities and Service Systems Findings

The General Plan EIR determined that impacts to utilities and service systems would be less than significant.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the City that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Since these sites already include some type of development, utility and service systems already exist and service the properties.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to utilities and service systems. All future development accommodated under the Housing Element update would be required to adhere to the General Plan, adopted master plans and other regulatory requirements concerning water, wastewater, storm drains, solid waste, and other infrastructure; water supply; and wastewater treatment systems.

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to utilities and service systems is required.

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20 Wildfire

CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?							
EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?	Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
Would adoption of the 2021 Housing Element Update:							
a. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, substantially impair an adopted emergency response plan or emergency evacuation plan?	Less Than Significant	None	No	No	No	Yes	Yes
b. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, due to slope, prevailing winds, and other factors, exacerbate wildfire risks and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	Less than significant	None	No	No	No	Yes	Yes
c. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, require the installation or maintenance of	Less than significant	None	No	No	No	Yes	Yes

EIR Evaluation Criteria	EIR Significance Conclusion	EIR Mitigation Measures	CEQA Guidelines Section 15162 Is a Subsequent EIR Needed?			Are Only Minor Technical Changes or Additions Necessary or Did None of the Conditions Described in §15162 Occur? (§15164(a))	Project is within the Scope of General Plan EIR?
			Do the Proposed Changes Involve a New or Substantial Increase in the Severity of Previously Identified Impacts?	Are There New Circumstances Involving a New or Substantial Increase in the Severity of Previously Identified Impacts?	Is There New Information of Substantial Importance Requiring New Analysis or Verification?		
associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?							
d. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, expose people or structures to significant risks, including downslopes or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	Less than significant	None	No	No	No	Yes	Yes

General Plan EIR Wildfire Findings

The General Plan EIR found that the Housing Element update would result less than significant impacts concerning wildfire risks, hazards, and conflicts with emergency response plans.

Addendum Analysis

The Housing Element update is a policy document consistent with the General Plan. The Housing Element update includes housing sites located throughout the city that were evaluated previously for potential environmental impacts in the General Plan EIR. The Housing Element update also includes new housing sites on non-vacant properties that could possibly be rezoned to accommodate new or additional housing units. Most of these sites are urban infill sites close to services such as public transportation and commercial centers and not in areas prone to wildfires.

The Housing Element update, in and of itself, does not include specific projects involving a new housing development but puts forth goals and policies that support housing efforts in Corona. Because it is a policy document, the Housing Element update would not, in and of itself, result in impacts related to wildfires. All future development aligning with the Housing Element update would be required to adhere to General Plan and other regulatory requirements concerning wildfire hazards and emergency response. Additionally, the Housing Element update would concentrate housing development in the City and not in the SOI, reducing the number of units that would be developed in areas with a high or very high fire hazard risk (refer to Figure 5.20-2 in the General Plan EIR).

Conclusions

The adoption of the Housing Element update does not involve changes to the current adopted land uses but does recommend residential land use changes that should be considered as part of Program 7 (Site Availability and Rezone Program) of the Housing Element Housing Plan. The implementation of Program 7 would be a project separate from the adoption of the Housing Element update. Therefore, the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR nor present new information that shows that impacts would be more significant than those described in the General Plan EIR. The General Plan EIR applies to the Housing Element update and no additional environmental assessment of impacts related to wildfire is required.

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7 Summary of Findings

The Housing Element update is part of the City's General Plan, and like other elements within the General Plan, it includes goals and policies that the City should meet when it comes to the planning of housing. The Housing Element is also unique from the other elements within the General Plan because it is required to be periodically updated to align with the State's allocation of the RHNA. Also, the Housing Element includes Housing Programs that are required to be implemented within the planning period established for the Housing Element. These programs are not generally adopted at the same time as the Housing Element and are usually implemented over time as a separate project after the element is adopted.

The Housing Element update does not involve site-specific projects nor changes in the currently adopted General Plan land uses, therefore the adoption of the Housing Element would continue to fall within the General Plan Program EIR recently certified in April 2020. The General Plan Program EIR accompanied the City's update to the General Plan 2020-2040. Future development associated with the Housing Element's Housing Programs will be subject to applicable development standards and reviews established by City ordinances. Additionally, future developments or programs involving discretionary review are subject to the California Environmental Quality Act to determine if actions borne by the project would have a significant impact on the environment.

It has been determined through this analysis that the adoption of the Housing Element update would not result in impacts beyond those addressed or analyzed in the General Plan EIR, nor does the Housing Element update present new information that shows impacts would be more significant than those described in the General Plan EIR. Therefore, the General Plan EIR applies to the Housing Element update and no additional environmental assessment is required.

The analysis pursuant to Section 15162 demonstrates whether the lead agency can approve the activity as being within the scope of the existing certified EIR, that an addendum to the existing EIR would be appropriate, and no new environmental document, such as a new EIR, would be required. The addendum need not be circulated for public review but can be included in or attached to the final EIR, and the decision-making body shall consider the addendum with the final EIR prior to deciding on the project.

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8 References

8.1 Bibliography

California Department of Housing and Community Development (HCD). 2021. Regional Housing Needs Allocation and Housing Elements. <https://www.hcd.ca.gov/community-development/housing-element/index.shtml> (accessed July 2021).

Corona, City of. 2019. General Plan Technical Update Environmental Impact Report. SCH #2018081039. Corona, CA. Dated December 2019.

Southern California Association of Governments (SCAG). 2020a. Final Sixth Cycle Regional Housing Needs Determination.

_____. 2020b. Local Housing Data. Retrieved from: http://scag.ca.gov/sites/main/files/file-attachments/corona_he_0920.pdf?1603256034 (Accessed July 2021).

8.2 List of Preparers

Rincon Consultants, Inc. prepared this EIR Addendum under contract to the City of Corona. Persons involved in data gathering analysis, project management, and quality control are listed below.

RINCON CONSULTANTS, INC.

Matthew Maddox, Principal
 Brenna Weatherby, Supervising Planner
 Emily Green, Environmental Planner
 Jenna Shaw, Environmental Planner
 Destiny Timms, Environmental Planner

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Staff Report

File #: 21-0862

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Hauptert of Griffco Land, LLC., 2518 N. Santiago Blvd., Orange, CA 92867)

RECOMMENDED ACTION:

That the Planning and Housing Commission recommend adoption the Mitigated Negative Declaration and Mitigation Monitoring Plan and APPROVAL of PM 37221 to the City Council, based on the findings contained in the staff report and subject to the conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 2.065 acres

Existing Zoning: EC (Entertainment Commercial) of SP99-03

Existing General Plan: MU1 (Mixed Use Commercial/Residential)

Existing Land Use: Vacant

Proposed Land Use: Commercial Development

Surrounding Land Use and Zoning:

N: Live/Work units in the EC (Entertainment Commercial) designation of SP99-03

E: Residential developments in the R (Residential) designation of SP99-03

S: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

W: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

BACKGROUND

Parcel Map 37221 is a request to subdivide a two-acre property into two parcels for commercial purposes. The property is located at the southwest corner of Temescal Canyon Road and Pronio Circle (Exhibit 1). It is bordered by developments associated with The Shops at Dos Lagos shopping

center, including a manmade recreational lake ("Dos Lagos lakes") to the west, and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road. Presently the property is partially developed with a parking lot.

The proposed subdivision is intended to accommodate the development of two professional medical office buildings with a combined building area of 21,400 square feet. The use is permitted by right under the property's underlying zone, which is Entertainment Commercial (EC). The buildings are designed per the development standards established for the Dos Lagos Specific Plan, and are being reviewed under Precise Plan 2020-0006. Both applications are being presented to the Planning and Housing Commission for concurrent approvals.

The project was preliminarily reviewed by staff on April 9, 2020 (DPR2020-0004). The applicant formally submitted the parcel map and precise plan applications on October 6, 2020. The applications were reviewed by the Project and Environmental Review Committee on October 29, 2020. The applications were determined incomplete; and staff provided the applicant a letter outlining missing items. The applicant subsequently submitted missing information on January 29, 2021 and July 21, 2021. The applications were deemed complete on September 1, 2021.

PROJECT DESCRIPTION

Attached as Exhibit 2.A is the parcel map exhibit for PM 37221. Proposed Parcel 1 is 30,844 square feet and located at the east portion of the site. Parcel 2 is 59,125 square feet and located on the west portion of the site. Both parcels have frontages on Temescal Canyon Road and Pronio Circle. Parcel 2 abuts the shopping center to the south. Each parcel is intended to accommodate a new medical office building, plus the parking spaces associated with the buildings. A proposed site plan, which is being reviewed concurrently as PP2020-0006, has been attached for reference (Exhibit 2.C).

In accordance with the site development standard under Section 4.3.2 of the Dos Lagos Specific Plan, there is no minimum lot area, width or depth requirement for newly created commercial parcels in the EC zone. The following table summarizes the lot information for this subdivision.

TABLE 1
Proposed Lot Sizes for PM 37221

Parcel Number	Lot Area	Acreage
1	30,844	0.71
2	59,125	1.36

ACCESS AND PUBLIC IMPROVEMENTS

Parcels 1 and 2 will have vehicular access from Pronio Circle via an existing driveway located at the north perimeter of the property. The parcels will also have access from within the adjacent shopping center, which has multiple entrances located along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial; and Pronio Circle is classified as a local street. Both roadways are currently capable of handling traffic volumes

associated with the proposed project. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutters, but has a missing sidewalk along Parcel 1. The applicant is required to construct the missing sidewalk along this section of Pronio Circle.

SPECIAL CODE REQUIREMENTS

The Dos Lagos Specific Plan requires that a 13-foot wide landscape easement be provided along the project's frontage in addition to the existing parkway within the right-of-way along Temescal Canyon Road. The applicant is providing the required landscape easement and proposes no changes to the parkway within the right-of-way.

ENVIRONMENTAL ANALYSIS:

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment (Exhibit 3).

FINANCIAL IMPACT:

The applicant paid the application processing fees to cover the cost of the parcel map review. There is no fiscal impact to the city.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

PM 37221 facilitates the development of two medical office buildings on the project site. The development fulfills the intent of the Dos Lagos Specific Plan, which permits office uses by right in the EC zone. The parcels are capable of accommodating the office buildings, landscape setbacks, parking spaces, drive aisles, fire lanes, and other applicable design features required by the Dos Lagos Specific Plan and Corona Municipal Code.

The Specific Plan prescribes no minimum lot area, width or depth requirements for newly created parcels within the EC zone. The parcels are provided with adequate vehicular access from Pronio Circle and from within the adjacent shopping center to the south of the project site. Any missing public improvements within the adjacent roadways will be constructed or guaranteed with the development of the project.

Therefore, the Planning Division recommends approval PM 37221 based on the findings listed below

and staff's recommended conditions of approval attached as Exhibit 2.B.

FINDINGS OF APPROVAL FOR PM 37221

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:
 - a. The project applicant has agreed to revise the project to avoid these significant effects or to mitigate the effects to a point where it is clear that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit 2.B.*
 - b. There is no substantial evidence before the City that the revised project may have a significant effect.*
2. Pursuant to California Government Code Section 66411.1 this division of land necessitates the inclusion of Condition of Approval for the following reasons:
 - a. The guarantee of the construction of missing improvements for Pronio Circle is necessary for the public's safe access to and around the site.*
 - b. Construction of the missing improvements on Pronio Circle is necessary for the orderly development of the surrounding areas because there is the potential that surrounding properties could be developed. Each site must contribute to the improvements so that further development would not be detrimental to the public.*
3. None of the conditions provided in Section 66474 of the California Government Code exist for the following reasons:
 - a. The proposed parcel map facilitates the development of two medical office buildings totaling 21,400 square feet. The project is consistent with the property's General Plan designation of MU1 (Mixed-Use 1), which permits the development of professional office buildings.*
 - b. The design and improvements associated with the proposed subdivision have been reviewed under Precise Plan 2020-0006 are consistent with the development standards that are established in the Dos Lagos Specific Plan for the Entertainment Commercial zone.*
 - c. The site is physically suitable for the development proposed on the project site and offers adequate access from Pronio Circle and from Temescal Canyon Road through an adjacent shopping center, as demonstrated by Exhibit 2.C of PM 37221.*
 - d. The site is physically suitable for the development of two office buildings, which are capable of meeting the development standards required by the Dos Lagos Specific Plan, as demonstrated by the project's site plan attached as Exhibit 2.C.*
 - e. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially injure fish or wildlife or their habitat because the project's initial study has determined that potential environmental impacts are capable of being mitigated to less than significant levels.*
 - f. The proposed subdivision will not result in adverse impact to public health, safety or*

general welfare because the project adheres to the development standards of the Dos Lagos Specific Plan in which it is located promoting orderly development of the project site and the improvements associated with the project adhere to city standards.

g. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision because the easements are being protected in place on the project site.

4. Pursuant to California Government Code Section 66464.6, the discharge of waste from the proposed subdivision into existing community sewers would not result in violation of existing requirements presented by the Santa Ana Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the Water Code for the following reason:

a. The amount of discharge to be produced by the development does not exceed the limit established by the Santa Ana Regional Water Quality Control Board as monitored by the City of Corona's Utilities Department.

5. The proposal is in conformance with the standards of the Entertainment Commercial designation of the Dos Lagos Specific Plan for the following reason:

a. The applicant's parcel map meets the development standards and other applicable code requirements under the Entertainment Commercial designation of the Dos Lagos Specific Plan and Corona Municipal Code.

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

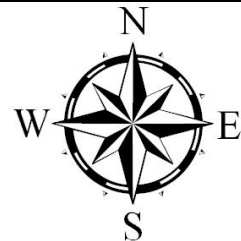
1. Locational and Zoning Map
- 2.A - Parcel Map 37221
- 2.B - Conditions of Approval
- 2.C - Site Plan
- 2.D - Applicant's letter dated October 7, 2020
- 3 - Environmental Documentation

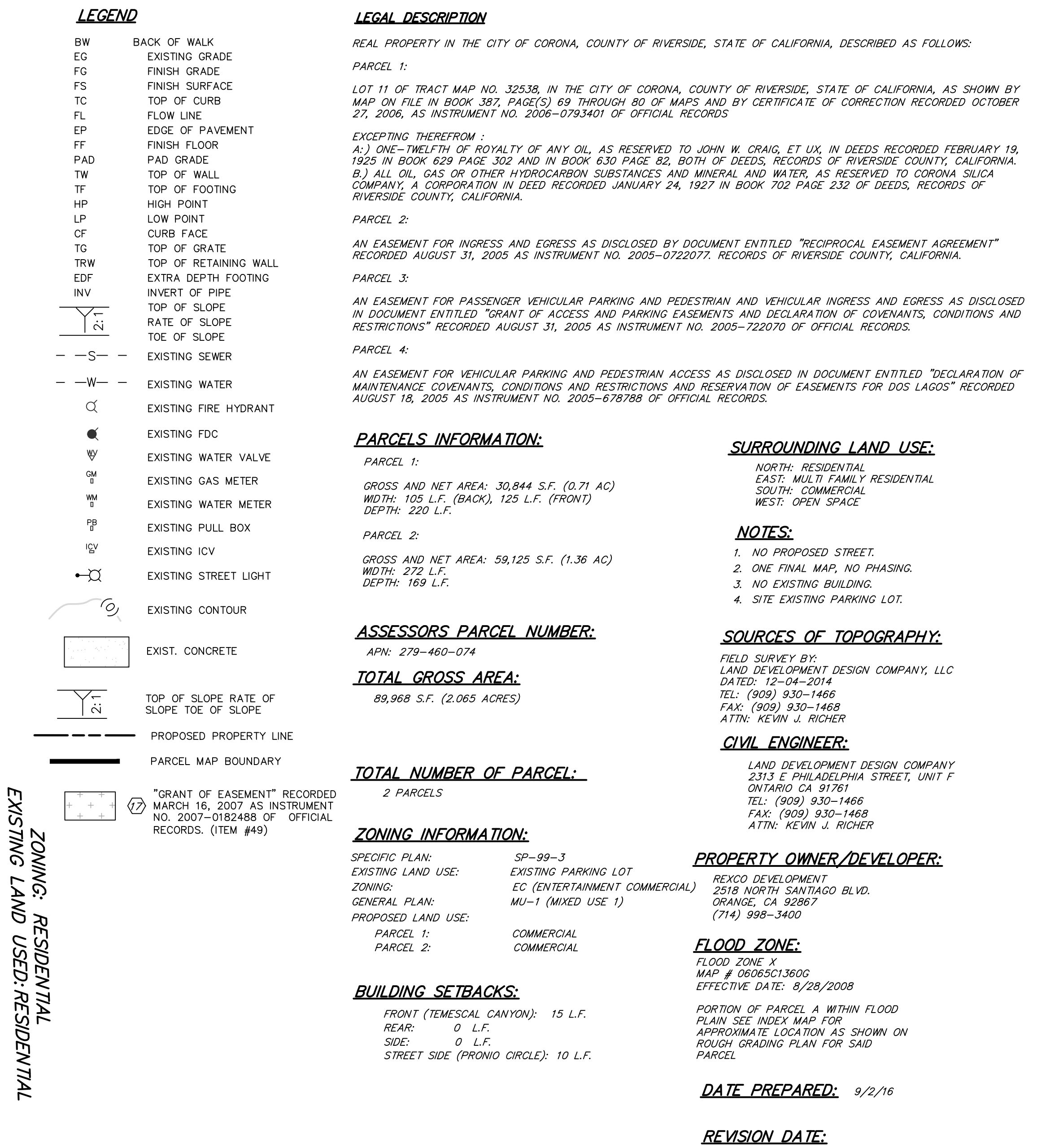
Case Planner: Rafael Torres (951) 736-2262

AERIAL & LOCATIONAL MAP



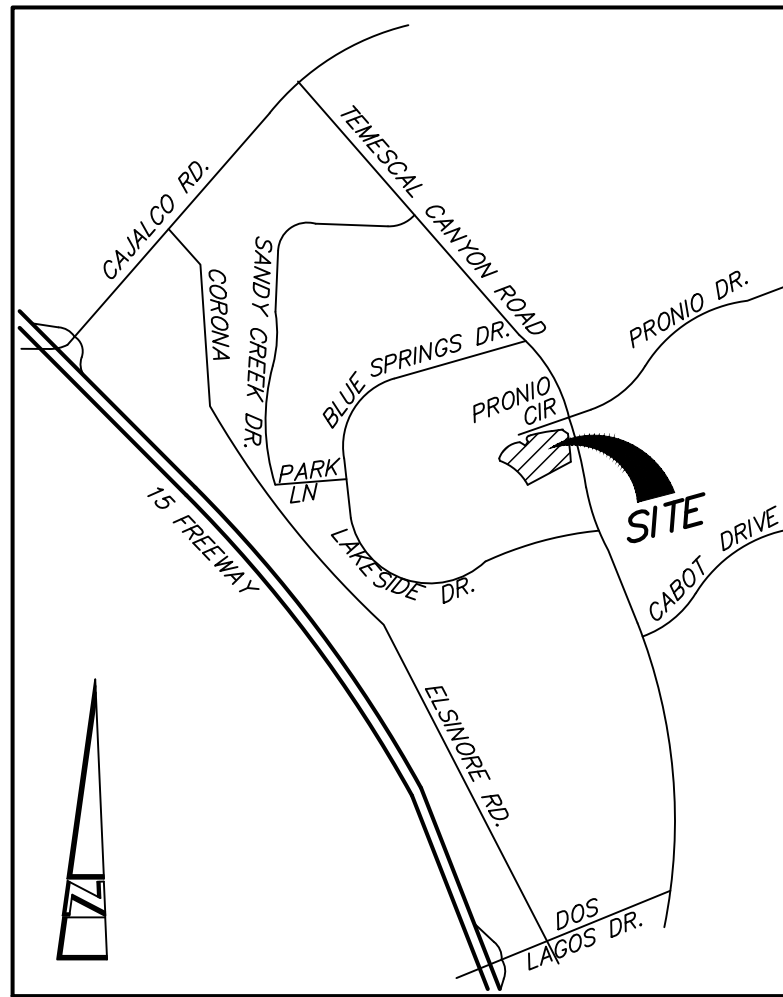
PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





- EASEMENT NOTES:**

 - ① AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, IN FAVOR OF JOHN W. CRAIG, RECORDED OCTOBER 21, 1915 IN BOOK 43 OF DEEDS, PAGE 307. (THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.)
 - ② AN EASEMENT FOR POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF THE NEVADA-CALIFORNIA ELECTRIC CORPORATION, RECORDED APRIL 9, 1938 IN AFS AND 807, PAGE 22, 1938 IN BOOK 368, PAGE 527, 807H OF OFFICIAL RECORDS. (NOT PLOTTABLE.)
 - ③ AN EASEMENT FOR POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF CALIFORNIA ELECTRIC POWER COMPANY RECORDED NOVEMBER 27, 1948 IN AFS AND 807, PAGE 22, 1938 IN BOOK 368, PAGE 527, 807H OF OFFICIAL RECORDS. (NOT PLOTTABLE.)
 - ④ AN EASEMENT FOR POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA Edison RECORDED SEPTEMBER 21, 1962 AS INSTRUMENT NO. 88649 OF OFFICIAL RECORDS. AFFECTS LOT 27 OF PARCEL B
 - ⑤ THE EFFECT OF AN AGREEMENT PROVIDING FOR EXEMPTION OF LAND FROM WATER TAXES ORIGINALLY MADE JUNE 7, 1984 BY METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA AND PETER J. WEISL, THE DANIEL ODGEN NEWTON AND MARY WEISL NEWTON RECEIVABLE TRUST, BY DANIEL ODGEN NEWTON, TRUSTEE; THE ROBERT HOFFMAN HEARTY AND ROUSSE HEATH TRUST, RECORDED MARCH 28, 1985 AS INSTRUMENT NO. 94278 OF OFFICIAL RECORDS; WHEREAS COUNTY OF LOS ANGELES COUNTY AGREEMENT HEREBY BEING MADE TO THE RECORDER FOR FULL PARTICULARS. (NOT PLOTTABLE.)
 - ⑥ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, IN FAVOR OF PACIFIC BELL TELEPHONE COMPANY A CALIFORNIA CORPORATION DBA SBC CALIFORNIA RECORDED JANUARY 28, 2009 AS INSTRUMENT NO. 05-67480 OF OFFICIAL RECORDS. BLANKET IN NATURE
 - ⑦ AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR: WATER, SEWER, ELECTRICAL, EMERGENCY INGRESS AND EGRESS AND PUBLIC UTILITY AND INCIDENTAL PURPOSES, IN FAVOR OF THE CITY OF LOS ANGELES.
 - ⑧ AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR: CVD LANDSCAPE MAINTENANCE AND INCIDENTAL PURPOSES.
 - ⑨ AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR SEWER AND INCIDENTAL PURPOSES.(
 - ⑩ AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR LANDSCAPE AND INCIDENTAL PURPOSES.
 - ⑪ AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES.
 - ⑫ ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM TEMESCAL CANYON ROAD, HAVE BEEN DEDICATED OR RELINQUISHED ON THE FILED MAP.
 - ⑬ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF ACCESS AND PARKING EASEMENTS AND DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED AUGUST 31, 2005 AS INSTRUMENT NO. 2003--72207 OF OFFICIAL RECORDS.
 - ⑭ AN EASEMENT FOR CONSTRUCTION AND INCIDENTAL PURPOSES, IN FAVOR OF DOS LAGOS LIFESTYLE CENTER, LLC RECORDED AUGUST 31, 2005 AS INSTRUMENT NO. 2003--72207 OF OFFICIAL RECORDS. NOT PLOTTABLE.
 - ⑮ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED AUGUST 31, 2005 AS INSTRUMENT NO. 2003--72207 OF OFFICIAL RECORDS. NOT PLOTTABLE.
 - ⑯ AN EASEMENT FOR CONSTRUCTION, SIGNAGE AND LANDSCAPING AND INCIDENTAL PURPOSES, IN FAVOR OF THE CITY OF LOS ANGELES CORPORATION A CALIFORNIA NONPROFIT PUBLIC BENEFIT CORPORATION RECORDED OCTOBER 26, 2006 AS INSTRUMENT NO. 2006-075714 OF OFFICIAL RECORDS. (THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.)
 - ⑰ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF EASEMENT" RECORDED MARCH 16, 2007 AS INSTRUMENT NO. 2007-0182488 OF OFFICIAL RECORDS. BLANKET IN NATURE.



**LAND
DEVELOPMENT
DESIGN
COMPANY, LLC**

ICR NO.

4925

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EXHIBIT 2.A



Project Conditions

City of Corona

Project Number: PM2020-0003

Description: **SUDIVIDE 2.06 ACRES INTO TWO LOTS PM 37221**

Applied: **10/6/2020**

Approved:

Site Address: **TEMESCAL CYN & PRONIO CORONA, CA 0**

Closed:

Expired:

Status: **COMPLETE**

Applicant: **GRIFFCO LAND LLC**

Parent Project: **DPR2020-0004**

2518 N SANTIAGO BLVD ORANGE CA, 92867

Details: **SUBDIVIDE 2.06 ACRES INTO TWO LOTS FOR COMMERCIAL AND OFFICE USE.**

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
1. BUILDING DEPARTMENT CONDITIONS 1. At time of plan submittal, construction documents shall be prepared in accordance with current applicable Codes & Standards (2019 Codes).	
FIRE	Cindi Schmitz
1. Place Fire Department DPR comments on plans as general notes. 2. Plans shall show a minimum drive width of 28 feet. 3. Show two (2) all weather surface access ways to be approved by the Fire Marshal and construct the access way(s) to accommodate 70,000 lbs. gross vehicle weight during all phases of construction. 4. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction. 5. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s). 6. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer. 7. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site.\r\r 8. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.\r\r 9. If over 500 lineal feet the fire service waterline shall be looped and provided with two (2) separate points of connection. 10. Fire hydrants are to be spaced a maximum 250 feet apart.\r\r 11. This development is located in an area that requires a fire facility fee of \$231 and acre per the Corona Municipal Code. This fee is due prior to building permit issuance.\r\r 12. A public safety radio communication study is required for this project. Consult with the fire department for specific requirements for this study or our guideline is available online at coronaca.gov/fire.\r\r\r\r 13. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.\r\r	



Project Conditions

City of Corona

FIRE	Cindi Schmitz
	<p>14. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r</p> <p>15. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r</p>
PLANNING	
	<ol style="list-style-type: none"> 1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate. 2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition. 3. The project shall comply with all applicable requirements of the Corona Municipal Code (CMC) and ordinances and the relevant Specific Plan, if any, including the payment of all required fees. 4. The applicant or his successor in interest shall comply with the Mitigation Measures established in the Mitigated Negative Declaration prepared for PM 37221 (PM2020-0003). 5. If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission must be contacted within 24 hours. The Native American Heritage Commission must then immediately identify the "most likely descendant(s)" of receiving notification of the discovery. The most likely descendant (s) shall then make recommendations within 48 hours, and engage in consultation concerning the treatment of the remains as provided in Public Resources Code 5097.98. 6. This project is subject to Riverside County's MSHPC (Multi-Species Habitat Conservation Plan) fee for commercial developments. This fee is payable at the time of building permit issuance .



Project Conditions

City of Corona

PLANNING	
	<p>7. The applicant shall comply with the construction design features contained in the Mitigated Negative Declaration report in order to minimize the project's construction and operational impacts to localized air resources as shown below.</p> <p>Construction Design Features:</p> <ol style="list-style-type: none"> 1. All active construction areas shall be watered two (2) times daily. 2. Speed on unpaved roads shall be reduced to less than 15 mph. 3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes. 4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily. 5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph. 6. Access points shall be washed or swept daily. 7. Construction sites shall be sandbagged for erosion control. 8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more). 9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114. 10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits. 11. Replace the ground cover of disturbed areas as quickly possible. 12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction. 13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona. 14. Construction equipment shall be maintained in proper tune. 15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer. 16. Minimize the simultaneous operation of multiple construction equipment units. 17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level. 18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible. 19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses). 20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling. 21. Utilize zero VOC and low VOC paints and solvents, wherever possible.
PUBLIC WORKS	
	<ol style="list-style-type: none"> 1. The Public Works and the Department of Water and Power Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Planning and Development Department, Land Development Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail. 2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions. 3. Prior to map recordation or issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed subdivision will not unreasonably interfere with the use of any easement holder of the property. 4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required. 5. The developer shall construct or guarantee construction of the required improvements prior to recordation of the Parcel Map because the construction of the improvements is a necessary prerequisite to the orderly development of the surrounding area. 6. All conditions of approval shall be satisfied and the Parcel Map prepared and accepted by the City for recordation within 24 months of its approval, unless an extension is granted by the City Council. 7. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.



Project Conditions

City of Corona

PUBLIC WORKS

8. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.
9. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Land Development Division. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
10. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
 - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.

Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
11. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall ensure that a property owner's association, or an alternative means of management approved by the Planning and Development Director, is established for the purpose of maintaining all private streets, common areas and private utilities associated with this project. The documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Land Development Division and shall be recorded concurrently.
12. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall finish the construction or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:
 - a) All missing or deficient street facilities.
 - b) All missing or deficient drainage facilities.
 - c) All required grading, including erosion control.
 - d) All required sewer, water and reclaimed water facilities.
 - e) All required landscaping facilities.
 - f) All under grounding of overhead utilities, except for cables greater than 32k volts.
13. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.
14. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Land Development Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.
15. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Land Development Division.
16. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDI # shall be displayed on the title sheet of the grading plans.
17. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.



Project Conditions

City of Corona

PUBLIC WORKS

18. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (*Lepidospartum Squamatum*) has been completed.
19. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.
20. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
21. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
22. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
23. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Land Development Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format. Changes to the project resulting from the Final WQMP infiltration testing results may cause the project to be resubmitted at the developer's expense.
24. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.
25. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.
26. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.
27. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.
28. Prior to map recordation or approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.
29. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.
30. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.
31. Prior to map recordation or issuance of a building permit, whichever comes first, the applicant shall offer for dedication any missing street rights-of-way. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director.
32. Prior to map recordation, the applicant shall release and relinquish all vehicular access rights to the City of Corona along Temescal Canyon Road, except at approved intersections.



Project Conditions

City of Corona

PUBLIC WORKS

33. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall include the following:
 - a) All streets and driveways shall conform to the applicable City of Corona standards.
 - b) Under grounding of existing and proposed utility lines.
 - c) All other public improvements shall conform to City of Corona standards.
34. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.
35. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.
36. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.
37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.
39. The City of Corona Department of Water and Power shall provide electric service to the development, subject to availability as determined by the Department of Water and Power.
40. The electric distribution system shall be designed, procured and installed in accordance with City of Corona Department of Water and Power Electric Distribution Standards and Service Requirements.
41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.
42. Prior to map recordation or improvement plan approval, the developer shall relocate the existing water line through Parcel 2 to be within the proposed drive aisle, subject to the approval of the Department of Water and Power. If the water line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
43. Prior to map recordation or improvement plan approval, the developer shall relocate the existing sewer through Parcel 2 subject to the approval of the Department of Water and Power. If the sewer line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
44. Prior to issuance of any building permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
45. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
46. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
47. Prior to map recordation or approval of improvement plans, the applicant shall submit a sewer study, prepared by a registered civil engineer, to the Land Development Division and Department of Water and Power for review and approval. The study shall analyze the existing and proposed sewer facilities. Results of the system analysis may require special construction for sewer systems, such as upsizing downstream sewer lines, monitoring systems, and construction of other appurtenances as necessary to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Land Development Division and the Department of Water and Power. The developer shall be responsible for the design and construction of any recommendations in the approved study.

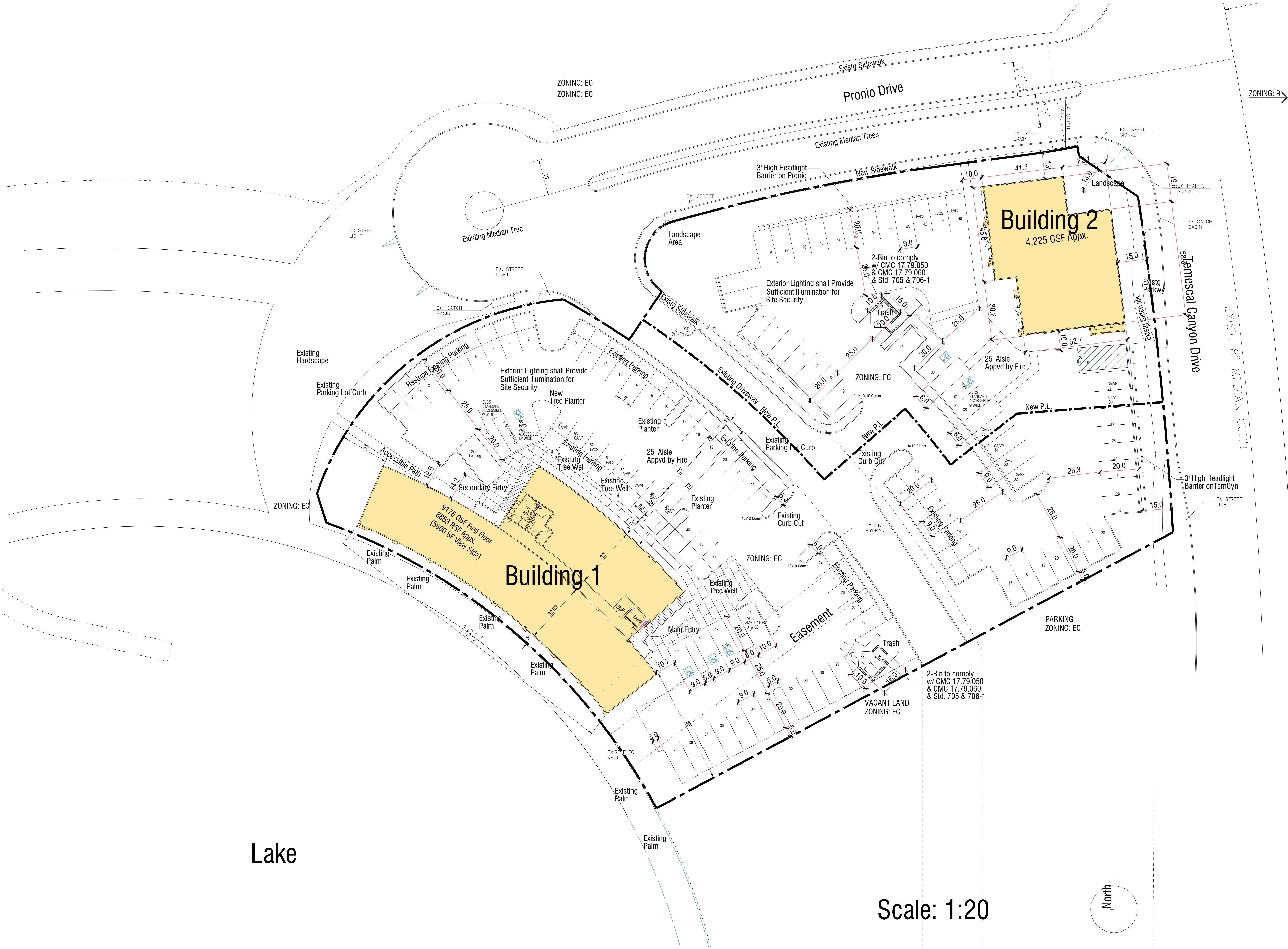


Project Conditions

City of Corona

PUBLIC WORKS

48. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.
49. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.
50. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.
51. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.
52. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.
53. Static pressures exceeding 80 psi require an individual pressure regulator.
54. The applicant shall provide a separate irrigation water service for each parcel and/ or all HOA landscaped lots, easements, or common areas as required by the Department of Water and Power.
55. Reclaimed water shall be used for any construction activity unless otherwise approved by the Department of Water and Power. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.
56. Prior to map recordation the applicant shall prepare a disclosure statement indicating that the property is subject to CC&Rs, within a Community Facilities District and/ or Landscape Maintenance District, and will be subject to an annual levy. The disclosure statement shall be submitted to the Land Development Division for review and approval and shall be recorded concurrently with the final map.
57. Prior to issuance of a Certificate of Occupancy, all proposed parkway, slope maintenance, and/or median landscaping on the plans or in these Conditions of Approval shall be constructed.
58. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
59. Prior to map recordation, issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.



REXCO DOS LAGOS COMMERCIAL CENTER

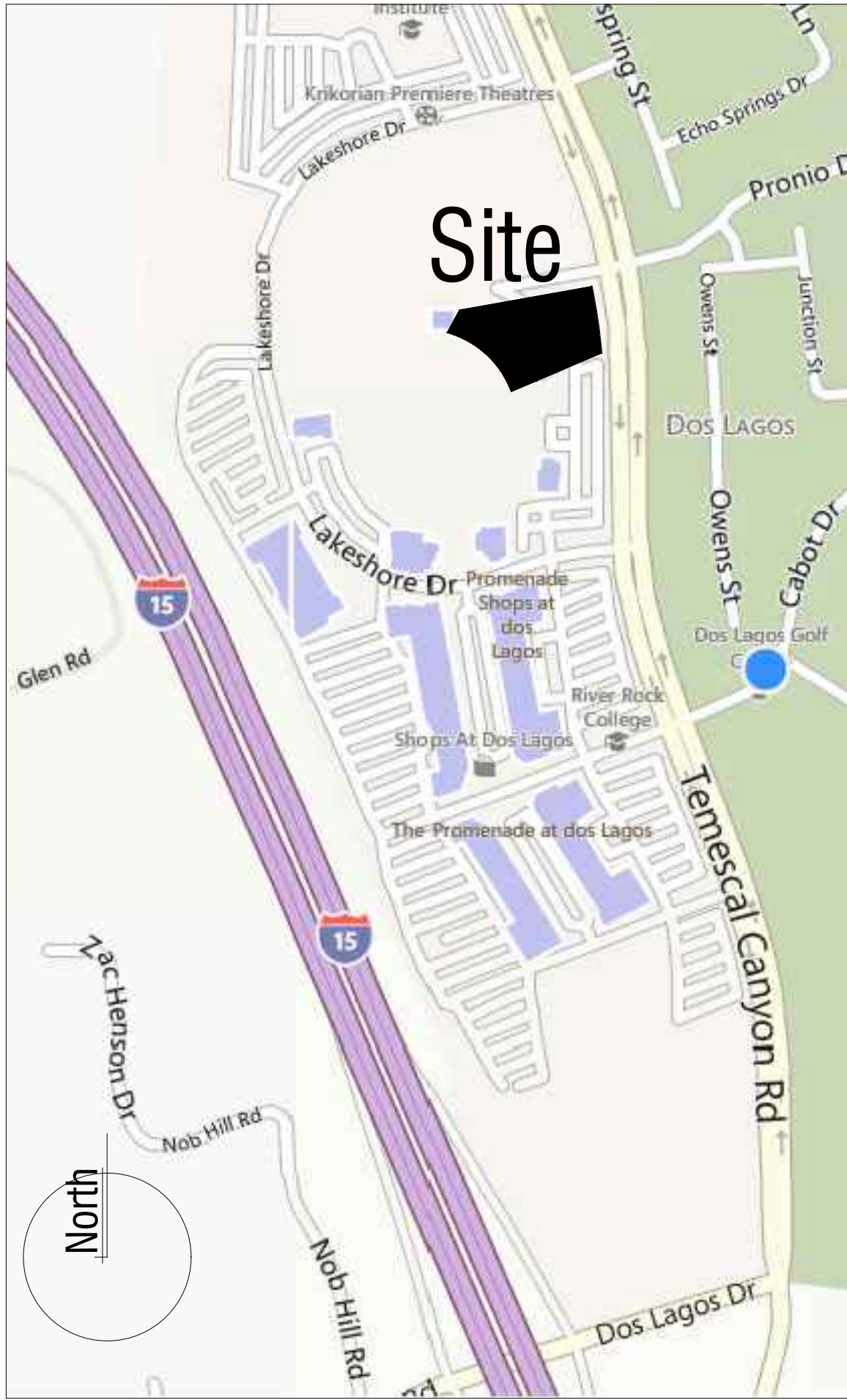
Proposer:
REXCO Development, Inc.
1285 Corona Pointe Court, Suite 102, Corona, CA 92879
Mr. Pat Tritz / Mr. Griffin Haupt - 951.898.1502

Architect/Planner:
William Hezmalhalch Architects, Inc.
680 Newport Center Dr., Ste. 300
Newport Beach, CA 92660
Mr. Ron Nestor, AIA - 949.250.0607

Site Data:
Legal Description: Lot 11 of Tract Map 32528 recorded in Book 387 of maps, pages 69-80, inclusive
Site Address: undetermined
APN: 279-460-023
Zoning: Dos Lagos Specific Plan -EC Entertainment Comm'l
General Plan: MU1
Area: 89,968.4 SF or 2.06 Acres
Coverage: 13,518 SF or 15.0%

Proposed:
Lakeside Office Bldg 1: 17,164 SF Type V-A 2-story
Building Hgt: 30' to Max. Parapet
Landscape Area: 8,052 SF
Corner Commercial Bldg 2: 4,236 SF Type V-A 1-sty
Building Hgt: 19' to Max. Parapet
Landscape Area: 11,129 SF
Total, Appx.: 21,400 SF -- Floor Area Ratio = 0.24 FAR
Total Landscape Area: 19,181 SF (21.3% of site)
Parking Req'd: 21,400 @ 5:1000 = 107 Spaces
Parking Prov'd: 56+51 = 107 Spaces
Loading Spaces Req'd: 2 Provided: 2
Trash - 2 locations, 2 bins each per Std. 705 & 706-1
All Wall or Monument Signs facing Residential must be externally illuminated

Vicinity Map



SITE PLAN

ARCHITECTS . PLANNERS . DESIGNERS

WHA.

ORANGE EXHIBIT 2.C IEA

GRIFFCO LAND L.L.C.
2518 N. Santiago Blvd.
Orange, CA 92687
(951) 898-1502

October 7, 2020

Mr. Rafael Torres
Associate Planner
City of Corona
Community Development Department
400 S. Vicentia Avenue
Corona, CA 92879

Re: **DPR2020 – 0004**
Vista Dos Lagos
One (1) Office Building and One (1) Commercial Building located
On the South West Corner of Pronio Circle and
Temescal Canyon Road

Dear Mr. Torres,

Griffco land LLC is requesting a Precise Plan Review for the aforementioned project described as follows:

Proposed Land Use:

The construction of two (2) professional office buildings: one (1) 17,164 square foot office building and one (1) 4,236 square foot commercial building. The buildings are designed for medical/professional office uses. The site is on an approximate 2.06-acre parcel in the EC (entertainment commercial) zone of the Dos Lagos Specific Plan (SP99 - 03).

Surrounding Uses:

North: Dos Lagos Live/Work Community
East: Temescal Canyon Road
South: Dos Lagos Retail Center (Wood Ranch)
West: Dos Lagos Lake

Site Design / Access:

The project will include two free-standing professional/ commercial office buildings. The site will include adequate surface parking for tenants and guests. The site will have two points of access: one off Pronio Circle and the other through the Dos Lagos Retail Center. The streets will be designed to allow adequate vehicular access for tenants, visitors as well as emergency vehicles.

Architecture and Materials:

The exterior of the medical office building (building 1) will feature brick veneer and stone pilasters with clear aluminum finish. Exterior stair cases and building entries will be accented in stone veneer.

The exterior of the commercial office building (building 2) will feature a combination of brick veneer and plaster with clear aluminum finish and plaster-coated foam trim.

Parking & Access:

There will be adequate aisles for emergency access to the buildings. There will be 5 parking spaces per 1,000 sq ft of office area.

Landscaping:

Landscaping will consist of California-Friendly, low and medium water use plant material. Plants have been chosen to create a uniform theme across the site. Maintenance and longevity of plant material has been taken into consideration. Shade trees are used in the parking lot to provide shade coverage. All landscaped areas will conform to the current City of Corona Landscape Guidelines.

Comprehensive Sign Program:

Signage will consist of building signage in conformance with the signage standards set forth in the Dos Lagos Specific Plan and City of Corona Municipal Code, pursuant to a comprehensive sign program.

Griffco Land, LLC respectfully requests your consideration and approval of the proposed project. If you have any questions concerning this applications or the proposed project, please contact me at (951) 898-1502.

Respectfully submitted,

Griffco Land, LLC

Griffin Hauptert





CITY OF CORONA
MITIGATED NEGATIVE DECLARATION

NAME, DESCRIPTION AND LOCATION OF PROJECT:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

ENTITY OR PERSON UNDERTAKING PROJECT:

Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

The City Council, having reviewed the initial study of this proposed project and the written comments received prior to the public meeting of the City Council, and having heard, at a public meeting of the Council, the comments of any and all concerned persons or entities, including the recommendation of the City's staff, does hereby find that the proposed project may have potentially significant effects on the environment, but mitigation measures or revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to a point where clearly no significant effects will occur. **Therefore, the City Council hereby finds that the Mitigated Negative Declaration reflects its independent judgment and shall be adopted.**

The Initial Study and other materials which constitute the records of proceedings, are available at the office of the City Clerk, City of Corona City Hall, 400 South Vicentia Avenue, Corona, CA 92882.

Date: _____

Mayor
City of Corona

Date filed with County Clerk: _____

EXHIBIT 3

CITY OF CORONA INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

PROJECT TITLE: Vista Dos Lagos (PM 37221 and PP2020-0006)

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT LOCATION: Southwest corner of Pronio Circle and Temescal Canyon Road (APN 279-460-074) in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT PROPONENT: Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

PROJECT MAP:

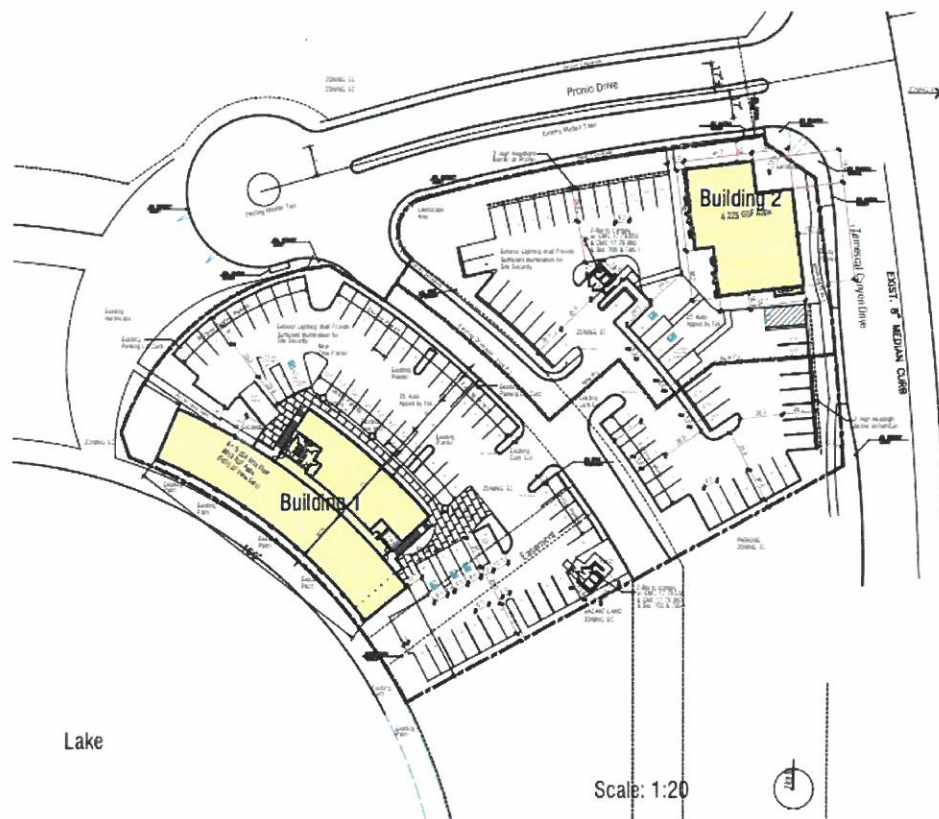


PROJECT DESCRIPTION:

The project is for the development of two new medical office buildings proposed on 2.065 acres in Planning Area 3 of the Dos Lagos Specific Plan (SP-99-03). The site is zoned Entertainment Commercial (EC) per the specific plan land use map, which permits medical office uses by right.

The project requires two applications: Parcel Map 37221 and Precise Plan 2020-0006. The parcel map, PM 37221, is a proposal to subdivide the project site into two parcels. Proposed Parcel 1 is 30,844 square feet and Parcel 2 is 59,125 square feet. The precise plan, PP2020-0006, is for the review of the site plan, architecture, and landscaping associated with the proposed project. Parcel 1 is to be developed with Building 1, which is a 17,164 square foot multi-unit medical office building. Parcel 2 is to be developed with Building 2, which is a 4,236 square foot stand-alone medical office building. The project is providing a total of 107 parking spaces, which will be shared among the tenants within the two buildings.

Site Plan



Building 1: 17,164 square feet
Building 2: 4,225 square feet

ENVIRONMENTAL SETTING:

Site Description: Presently, the site is developed with a parking lot. The project site is part of the master planned Dos Lagos community in which the Dos Lagos Specific Plan was approved for. The Specific Plan was analyzed for potential environmental impacts in the City of Corona Annexation No. 94 & Dos Lagos EIR, which was certified on June 21, 2000. In 2003, the Specific Plan area was mass and rough graded by the master developer to enable the construction of the necessary public infrastructure to support the development planned for the area.

Abutting the east side of the project site is Temescal Canyon Road, which is fully improved with roadway pavement, curb and gutter, sidewalk, and parkway adjacent to the site. Abutting to the north is Pronio Circle, which is improved

with roadway pavement, curb and gutter adjacent to the site. Sidewalks are currently missing along Pronio Circle adjacent to the project site.

Site Surroundings: Located across Temescal Canyon Road to the east of the site are single family residential condominium homes. Located across Pronio Circle to the north are live/work units. Abutting to the south and west is the development of *The Shops at Dos Lagos*, a commercial lifestyle center.

GENERAL PLAN \ ZONING:

The subject property is located within the Dos Lagos Specific Plan and zoned Entertainment Commercial, which permits for the use of medical offices. Therefore, the proposed project is consistent with the zoning of the project site.

The property has a General Plan designation of Mixed-Use 1 (MU1), which permits office uses. The MU1 designation establishes a Floor Area Ratio (FAR) limit of 2.0. The proposed office project has an FAR of 0.24, which does not exceed the site's FAR limit.

STAFF RECOMMENDATION:

The City's Staff, having undertaken and completed an initial study of this project in accordance with the City's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)", has concluded and recommends the following:

- ☐ The proposed project could not have a significant effect on the environment. **Therefore, a NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project could have a significant effect on the environment, however, the potentially significant effects have been analyzed and mitigated to below a level of significance pursuant to a previous EIR as identified in the Environmental Checklist attached. **Therefore, a NEGATIVE DECLARATION WILL BE PREPARED.**
- ☒ The Initial Study identified potentially significant effects on the environment but revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to below a level of significance. **Therefore, a MITIGATED NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project may have a significant effect on the environment. **Therefore, an ENVIRONMENTAL IMPACT REPORT is required.**
- ☐ The proposed project may have a significant effect on the environment, however, a previous EIR has addressed only a portion of the effects identified as described in the Environmental Checklist discussion. As there are potentially significant effects that have not been mitigated to below significant levels, a **FOCUSED EIR will be prepared to evaluate only these effects.**
- ☐ There is no evidence that the proposed project will have the potential for adverse effect on fish and wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The following indicates the areas of concern that have been identified as "Potentially Significant Impact" or for which mitigation measures are proposed to reduce the impact to less than significant.

- | | | |
|--|--|---|
| <input type="checkbox"/> Land Use Planning | <input type="checkbox"/> Hazards / Hazardous Materials | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Population and Housing | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geologic Problems | <input type="checkbox"/> Public Services | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Utilities | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Aesthetics | |
| <input type="checkbox"/> Transportation / Traffic | <input checked="" type="checkbox"/> Cultural Resources | |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Agricultural Resources | |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Greenhouse Gases | |

Date Prepared: September 11, 2021 Prepared By: Rafael Torres, Assistant Planner

Contact Person: Rafael Torres Phone: (951) 739-4973

AGENCY DISTRIBUTION

(check all that apply)

- _____ Responsible Agencies
- _____ Trustee Agencies (CDFG, SLC, CDPR, UC)
- _____ State Clearinghouse (CDFG, USFWS, Redev. Projects)
- _____ AQMD
- _____ Pechanga
- _____ Soboba
- _____ WQCB
- _____ Other _____

UTILITY DISTRIBUTION

_____ Southern California Edison

Southern California Edison
Adriana Mendoza-Ramos, Esq.
Region Manager, Local Public Affairs
1351 E. Francis St.
Ontario, CA 91761

Southern California Edison
Karen Cadavona
Third Party Environmental Review
2244 Walnut Grove Ave.
Quad 4C 472A
Rosemead, CA 91770

Note: This form represents an abbreviation of the complete Environmental Checklist found in the City of Corona CEQA Guidelines. Sources of reference information used to produce this checklist may be found in the City of Corona Community Development Department, 400 S. Vicentia Avenue, Corona, CA.

1. LAND USE AND PLANNING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with any land use plan/policy or agency regulation (general plan, specific plan, zoning)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with surrounding land uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Physically divide established community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

The project site is located within the Dos Lagos Specific Plan and has a zoning of Entertainment Commercial (EC), which permits the development of office buildings building by right. The project site's General Plan designation is Mixed-Use 1, which allows for commercial uses. As the project is for the development of two medical office buildings, the project does not conflict with the site's zoning or General Plan.

b. & c.

The project site is surrounded by a man-made recreational lake to the west and commercial uses to the south. Located across Pronio Circle to the north is a live/work development, which is comprised of nontraditional residential units that have professional workspace incorporated into the units. The project's office use is considered commercial, which is compatible with the surrounding recreational and commercial land uses. The project is also compatible with the live/work units because the proposed office buildings are not expected to generate noise or other issues that would be considered obnoxious to nearby sensitive land uses. All uses would be contained inside the office buildings. Other nearby sensitive land uses include single family residential condominiums, which are located across Temescal Canyon Road to the east of the project site. These developments are located more than 150 feet from the project site, and Temescal Canyon Road provides a buffer between the residences and project site. Therefore, development of the proposed project would not conflict with the surrounding land uses nor divide the established community.

2. POPULATION AND HOUSING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Induce substantial growth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing housing or people	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

The project will not induce substantial growth or displace existing housing or people because the zoning of the project site is intended for commercial uses. Also, the site contains no residential dwellings; therefore, development of the site would not displace existing housing or people. Therefore, no mitigation pertaining to this issue would be required.

3. GEOLOGIC PROBLEMS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fault /seismic failures (Alquist-Priolo zone) /Landslide/Liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Grading of more than 100 cubic yards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Grading in areas over 10% slope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantial erosion or loss of topsoil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Unstable soil conditions from grading	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Expansive soils	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per the city's Property Information application, there are no known active faults crossing or projecting through the site. The site is not located in an Alquist-Priolo Earthquake Fault Zone and thus, ground rupture due to faulting is considered unlikely at this site. The project will be subject to city and county local codes, the latest California Building Code (CBC), and the engineering recommendations in the project's geotechnical investigation report prepared by South Shore Testing & Environmental (December 14, 2020). Therefore, any potential impacts related to fault/seismic failures would be reduced to a less than significant impact and no further mitigation would be necessary.

b.

The project would involve grading of more than 100 cubic yards. Adherence to the city's grading regulations and the grading specifications identified in the geotechnical investigation report would ensure a less than significant impact would occur and no further mitigation would be required.

c.

The subject site is in an area containing relatively flat mass-graded terrain that is utilized as a parking lot for the adjacent man-made lakes and commercial area. Therefore, landslides and grading on over 10% slopes are not expected to be an issue. No further mitigation would be necessary.

d. & e.

Development of the project would require the movement of on-site soils. Prior to the issuance of grading permits, the project applicant would be required to submit to the City detailed grading plans for the project site and would be required to comply with applicable city grading regulations established in the Corona Municipal Code. Furthermore, development of the site would involve more than one acre; therefore, the proposed project is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit. A Storm Water Pollution Prevention Plan (SWPPP) would also be required to address erosion and discharge impacts associated with the proposed on-site grading. Additionally, the project is required to submit a final Water Quality Management Plan (WQMP) which would identify measures to treat and/or limit the entry of contaminants into the storm drain system. Since the project is required to adhere to the City's grading regulations, obtain an NPDES Permit, and prepare an SWPPP and WQMP, impacts associated with soil erosion hazards are less than significant and no mitigation is required.

f.

The site generally consists of yellowish brown gravelly silty sand. Expansion index (EI) testing was performed by South Shore Testing & Environmental on the soil samples taken from the site. The results indicated that the EI for the onsite soils was an 11, which is considered to be non-expansive. Therefore, no further mitigation is warranted with respect expansive soils.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than significant Impact	No Impact
4. HYDROLOGY AND WATER QUALITY:				
a. Violate water quality standards/waste discharge requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Deplete groundwater supplies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Alter existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Increase flooding hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Degrade surface or ground water quality	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Within 100-year flood hazard area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase exposure to flooding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Exceed capacity of storm water drainage system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., c., & e.

Development of the project site would increase the area of impermeable surface paving which will result in an increase in surface runoff. The applicant has submitted a preliminary Water Quality Management Plan (WQMP) prepared by Land Development Design Company, LLC. (April 17, 2019) to ensure that the project addresses potential water quality impacts. The applicant will be required to implement on site the Best Management Practices (BMPs) identified in the preliminary WQMP to minimize pollutant runoff into the City's storm water drainage system. A BMP for the project is to maintain landscaping using

minimum or no pesticides. Another BMP is to sweep sidewalks and parking areas regularly and to prevent accumulation of litter and debris. The applicant will implement underground storm water detention and infiltration systems on the north portion of the site. Prior to issuance of a grading permit, the applicant will be required to submit a final WQMP to be reviewed by the City's Land Development Division. This will result in a less than significant impact to water quality and therefore, no further mitigation is required.

b.

Per the city's Draft Temescal Subbasin Groundwater Sustainability Plan (September 2020), the project site is located in the western portion of the Temescal Groundwater Basin of the Upper Santa Ana River Valley Basin. The Temescal Groundwater Basin encompasses a surface area of 23,500 acres (37 square miles) with recharge predominantly occurring from percolation of precipitation on the valley floor and infiltration of stream flow within tributaries exiting the surrounding mountains and hills. The proposed project's ability to interfere substantially with groundwater recharge lies within the installation of impermeable surfaces, which would reduce the amount of land available for groundwater recharge. Although the development of the proposed project would result in the installation of impermeable surfaces and infrastructure, the amount of land rendered impermeable by implementation of the proposed project is less than one percent of the total area of 23,500 acres of the groundwater basin's total recharge area. The project does not present a loss of permeable surface area for the Temescal Groundwater Basin, therefore, impacts associated with this topic are considered to be less than significant and no mitigation would be required. Furthermore, the project does not propose construction of wells or direct pumping of groundwater.

f. & g.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMS), the project site is not within the 100-year or 500-year flood hazard areas. Development of the project site will not result in a flooding hazard, nor will it expose the site and surrounding area to flooding. Therefore, no impacts are anticipated with respect to flooding and no mitigation is required.

h.

The project is designed to ensure that the runoff generated by the project can be intercepted and conveyed to the existing off-site storm drain system in a safe and nondestructive manner, while adhering to regional and local design requirements, including those requirements within the project's WQMP's. Also, the proposed flows and capacities generated by the new development do not exceed the capacity of the existing stormwater system and do not increase the potential for on-site or off-site flooding. Therefore, the development of the project site would not result in exceeding the capacity of the city's storm drain system and no mitigation is warranted.

5. AIR QUALITY:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with air quality plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Violate air quality standard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Net increase of any criteria pollutant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to pollutants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

An Air Quality & Greenhouse Gas Impact Study (RK Engineering Group, Inc., March 19, 2021) was prepared for the project to analyze potential air impacts associated with the proposed project. Emissions were calculated using the latest version of CalEEMod (v2016.3.2), which is a computer model approved by the South Coast Air Quality Management District (SCAQMD) to calculate criteria pollutant emissions. The following discusses the project's compliance to air quality plans and potential short-term and long-term air quality impacts.

a.

The project site is located within the South Coast Air Basin, an area covering approximately 6,745 square miles and bounded by the Pacific Ocean to the west and south and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east. The Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. Air quality within the Basin is regulated by the SCAQMD which is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the Basin is in nonattainment. At the state level, air quality is regulated by the California Air Resources Board (CARB) and at the federal level it is the U.S. Environmental Protection Agency (EPA). The project would be subject to SCAQMD's Air Quality Management Plan (AQMP), which contains a comprehensive list of pollution

control strategies directed at reducing emissions and achieving ambient air quality standards. The 2016 AQMP is based on projections originating with county and city general plans. Since the proposed project is consistent with the City of Corona General Plan, the project would be consistent with the 2016 AQMP. Therefore, no impacts would occur with respect to AQMP implementation, and no mitigation measures are required.

b. & c.

Short-term Impacts

Construction of the project is estimated to begin in the year 2021 and expected to last approximately one year from the time permits are issued. Any project with daily regional emissions that exceed any of the regulated thresholds should be considered as having an individually and cumulatively significant air quality impact. Construction activities would include site preparation, grading, building construction, paving, and the application of architectural coatings. Construction equipment would include excavators, graders, dozers, tractors, a water truck during grading; cranes, forklifts, generators, tractors, welders during building construction; pavers, mixers, rollers and paving equipment during paving, and air compressors during architectural coatings. These activities would result in emissions of ROG, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} which have regional significance thresholds established by the SCAQMD. During construction, the project is expected to comply with the regulatory construction requirements under the SCAQMD Rules. The project's estimated maximum daily construction emissions are summarized below in Table 5-A. As shown, emissions resulting from project construction would not exceed the SCAQMD regional thresholds of significance for regulated pollutants. Therefore, a less than significant impact would occur, and no mitigation is required.

TABLE 5-A
Expected Daily (Short-Term) Construction Emissions

Year	ROG	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
2020 (lb/day) Unmitigated	2.45	21.37	16.15	0.03	7.66	4.31
2021 (lb/day) Unmitigated	21.87	17.12	15.71	0.03	1.18	0.88
Significance Threshold (lb/day)	75	100	550	150	150	55
SCAQMD Impact?	NO	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Long-term Impacts

Long-term air quality impacts are associated with operational activities the proposed project that will result in emissions of ROG, NO_x, CO, SO₂, and PM₁₀. Operational emissions would be expected from the following three sources related to the long-term operations of the proposed project:

- Mobile source emissions (project vehicle trips)
- Area source emissions (usage of natural gas, landscape equipment, and architectural coatings)
- Energy source emissions (usage of electricity and natural gas for space heating and cooling, water heating, ventilation, lighting, appliances, and electronics)

The area, energy, mobile sources are calculated using CalEEMod. CalEEMod utilized the proposed land use and then estimates worst-case air quality emissions from worst-case trip generations. Also, emissions are calculated using the State of California EMFAC (Emission Factor) 2014 model, which is built into the CalEEMod. Estimates are provided for both the Summer and Winter operational months. Shown in Table 5-B, the project's expected daily long-term emissions would not exceed the SCAQMD thresholds for ROG, NO_x, CO, SO₂, and PM₁₀. Therefore, this would be less than significant, and no mitigation is required.

Table 5-B:
Expected Daily (Long-Term) Operational Emissions

	ROG	NO _x	CO	SO ₂	PM ₁₀
Summer Scenario					
Operational Emission Estimates (lb/day)	1.02	3.64	6.07	0.03	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO
Winter Scenario					
Operational Emission Estimates (lb/day)	0.94	3.65	5.25	0.02	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

d.

LSTs

A Localized Significance Thresholds (LSTs) analysis was conducted for the project. LST analyses are applicable to project sites that are five acres or less per SCAQMD. LSTs represent the maximum emissions from a project that will not cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard at the nearest residence or sensitive receptor. Sensitive receptors are defined as facilities or land uses that include members of the population that are particularly sensitive to the effects of air pollutants, such as children, the elderly, and people with illnesses. Examples of sensitive receptors are residences, schools, hospitals, and daycare centers. The California Air Regional Board (CARB), which establishes ambient air quality standards for major pollutants to protect public health, has identified the following groups of individuals as the most likely to be affected by air pollution: the elderly over 65 years of age, children under 14, athletes, and persons with cardiovascular and chronic respiratory diseases such as asthma, emphysema, and bronchitis.

Sensitive receptors near the project site include surrounding residences located north and east of the project site. In order to identify impacts to sensitive receptors, the SCAQMD recommends addressing localized significance thresholds (LSTs) for construction and operations impacts (area source only). LSTs were developed in response to SCAQMD Governing Boards' Environmental Justice Enhancement Initiative (I-4). The SCAQMD provided the Final Localized Significance Threshold Methodology to assist lead agencies in analyzing localized air impacts. The SCAQMD provides the LST screening lookup tables for one, two, and five-acre projects emitting CO, NOX, PM2.5, or PM10. The LST methodology and associated mass rates are not designed to evaluate localized impacts from mobile sources traveling over the roadways. The nearest Source Receptor Area (SRA) is located 54 meters from the site.

Tables 5-C and 5-D illustrate the project's construction and operational related localized emissions and compare the results to SCAQMD 2-Acre LST Emission Thresholds. The emissions in both tables will be below the SCAQMD thresholds. However, the results assume that the project would be complying with all standard SCAQMD rules and requirements with regard to fugitive dust control. For reference, the applicable fugitive dust control measures are listed below. These are design features, which the project is required to comply with and are included in the project conditions of approval for PP2020-0006 and PM 37221. With implementation of the dust suppression techniques, the project's construction and operational impacts to localized air resources would be less than significant.

Construction Design Features:

1. All active construction areas shall be watered two (2) times daily.
2. Speed on unpaved roads shall be reduced to less than 15 mph.
3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.
4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.
5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.
6. Access points shall be washed or swept daily.
7. Construction sites shall be sandbagged for erosion control.
8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.
10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.
11. Replace the ground cover of disturbed areas as quickly possible.
12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.
13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.
14. Construction equipment shall be maintained in proper tune.
15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
16. Minimize the simultaneous operation of multiple construction equipment units.
17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.
18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).
20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.
21. Utilize zero VOC and low VOC paints and solvents, wherever possible.

Table 5-C: 2-Acre LST Emission Thresholds

Pollutant	LST @ 50 meters for 2 acres (lb/day)
CO	1,474
PM ₁₀ (Construction)	18
PM ₁₀ (Operation)	5
NO ₂ (Corrected utilizing NO ₂ /NO _x Ratio) Construction and Operation	200

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Table 5-D: Project Emissions

Pollutant	Project Emissions (lb/day)	Threshold	Impact
CO	64.25	1,474	No
PM ₁₀ (Construction)	12.35 (onsite)	18	No
PM ₁₀ (Operations)	1.83	5	No
NO ₂ Construction	86.9	200	No
NO ₂ Operation	3.65	200	No

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

e.

Land uses generally associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting operations, refineries, landfills, dairies, fiberglass molding facilities. The project does not contain land uses associated with emitting objectionable odors. Potential odor sources associated with the proposed project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities. However, these activities would be temporary, short-term, and intermittent in nature and would cease upon completion of the project's construction phase. Other potential odor sources associated with the project include the temporary storage of typical solid waste (refuse) associated with the project's long-term operational uses. However, it is expected that project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the City's solid waste regulations. The project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the project's construction and operations would be less than significant and no mitigation would be required.

6. TRANSPORTATION/TRAFFIC:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Increase the total daily vehicle miles traveled per service population (population plus employment) (VMT/SP) above the baseline level for the jurisdiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause total daily VMT within the study area to be higher than the No Project alternative under cumulative conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Change in air traffic patterns	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Traffic hazards from design features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g. Emergency access | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Conflict with alternative transportation policies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

a.

Project access is proposed from an existing driveway located on Pronio Circle, approximately 250 feet west of Temescal Canyon Road. A secondary access will be provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Shops at Dos Lagos commercial development south of the project site.

The project is bounded by Temescal Canyon Road to the east and Pronio Circle to the north. Temescal Canyon Road is a north-south, four-lane divided roadway located east of the project site. It is classified as a major arterial street per the General Plan and is required to have an overall right-of-way width that ranges from 106 feet to 120 feet. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, parkway, and sidewalk. No additional widening is required for Temescal Canyon Road. Pronio Circle is a local street and improved with curb and gutter, but has a missing sidewalk adjacent to the project site. The applicant is conditioned to construct the missing sidewalk with the development of the project site. No additional widening is necessary for Pronio Circle. Therefore, the project would not conflict with the city's applicable traffic patterns, ordinance, or policies related to the performance of the city's circulations system, and no mitigation is warranted.

b.

The Corona Annexation No. 94 & Dos Lagos Specific Plan EIR projected 324,428 square feet of general office/business park and 531,432 square feet of light industrial/research and development uses would be developed within the Dos Lagos Specific Plan at buildout. Both land uses permit office use. Currently, Planning Areas 4 and 5 within the Specific Plan are approved for the development of three office buildings totaling 472,705 square feet. With the exception of Planning Area 3 which contains the project site, all other planning areas within the Specific Plan are already developed for commercial retail, residential, light industrial, or recreational (i.e. golf course) uses. There are no other planning areas within the Specific Plan that can accommodate the development of additional offices. Therefore, the amount of offices at that was originally analyzed in the EIR is currently underbuilt by 383,155 square feet. The project is proposing to add 21,400 square feet of office use to the Specific Plan, which would be covered under EIR since office use is underbuilt. The current proposal does not change the analysis that was considered under the EIR because the current proposal intends to develop the project site for office purposes, which is consistent with the Entertainment Commercial zoning of the project site.

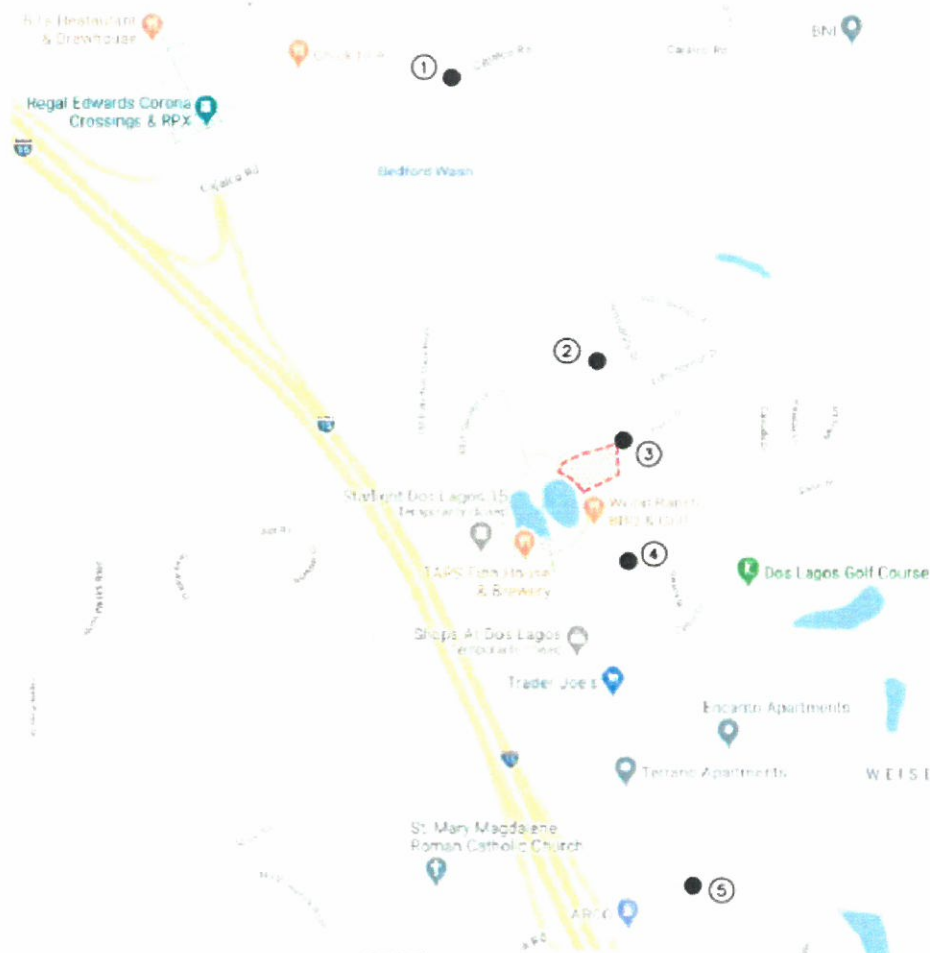
Although the city has adopted VMT thresholds pursuant to SB 743, as explained above, the proposed office project was previously analyzed in the Corona Annexation No. 94 & Dos Lagos Specific Plan EIR. All potential traffic impacts related to office use were analyzed in the EIR, and all necessary traffic mitigation identified in the EIR have been met. Therefore, a VMT analysis was not required for the project.

SB 743 does not prevent local agencies from using Level of Service (LOS) in their General Plan to determine a project's fair share participation the construction of transportation improvements outside of CEQA. The city still utilizes LOS in its General Plan. Although no longer a requirement for CEQA in determining environmental impacts associated with LOS, the city can impose conditions of approval to require construction of certain transportation infrastructure improvements or payment of a fair share toward the cost of such improvements warranted by the project. A focused traffic impact analysis (TIA) was prepared for the project by Linscott, Law & Greenspan (dated April 20, 2020) to analyze the potential LOS impacts associated with the proposed project on the surrounding area of the project site. The city considers LOS D the be minimum acceptable LOS for all intersections that consist of collector and arterial roadways.

The project is forecast to generate 758 net daily trips (one half arriving and one half departing), with 97 net trips (64 inbound, 33 outbound) produced in the AM peak hour and 60 net trips (22 inbound, 38 outbound) in the PM peak hour.

The TIA analyzed five (5) existing nearby street intersections and the project's driveway entrance on Pronio Circle. The study intersections included the following:

1. Temescal Canyon Road at Cajalco Road
2. Temescal Canyon Road at Blue Springs Drive
3. Temescal Canyon Road at Pronio Circle
4. Temescal Canyon Road at Lakeshore Drive
5. Temescal Canyon Road at Dos Lagos Drive



LL&G (April 30, 2020)

In Year 2021 without project traffic conditions, the intersection at the intersection of Temescal Canyon Road and Cajalco Road is forecast to operate at an unacceptable LOS E. In same year with project traffic conditions, the LOS at the same street intersection is also forecast to operate at an unacceptable LOS E. In order to bring the operating condition of the intersection to an acceptable level of service, the developer is required to complete the following improvements: 1) install an eastbound right-turn lane overlap traffic signal, and 2) restrict the northbound U-turn movement with signage. Alternatively, the developer may pay a fair-share cost of the total cost of constructing the recommended roadway improvements, as determined by the traffic impact analysis approved by the City. The improvements are required under Conditions 37 and 38 of the Conditions of Approval for PM 37221.

- Condition 37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
- Condition 38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

A queueing analysis was prepared for the left-turn lane at the intersection of Temescal Canyon Road and Pronio Drive. The left-turn lane has an existing vehicle storage of 135 feet. The traffic impact analysis determined that the existing storage of 135 feet is sufficient for Year 2021 with project traffic conditions.

e. The project site is located approximately 7.5 miles southeast of the Corona Municipal Airport. The proposed office buildings are no more than 34 feet in height. Because of the project site's distance from the airport and the proposed height of the buildings, the project would not impact air operations, nor would it cause change to air traffic patterns. Also, the project is not located within an airport land use compatibility zone. Therefore, no impact related to this issue would occur and no mitigation is required.

f.

LL&G evaluated the internal circulation in terms of vehicle-pedestrian conflicts and driveway spacing. Based on the proposed site plan, the overall layout does not create any significant vehicle-pedestrian conflict points as the parking lots are self-contained. Motorists entering and exiting the project site from the existing internal driveway will be able to do so comfortably, safely, and without undue congestion as Pronio Circle provides a circular terminus to accommodate both resident and patron traffic for proper turnaround circulation. The project site also has a secondary access from within The Shops commercial development to the south of the project. Therefore, no impacts related to traffic hazards from design features are expected.



LL&G, April 30, 2020

g.

The project design has been reviewed by the city's Fire and Police Departments for fire and emergency access; therefore no impacts are expected.

h.

The project site is located in an area that is served by the Riverside Transit Agency (RTA) and "Corona Cruiser," a Fixed Route service by the City of Corona. The RTA's Route 206 is the nearest bus line to the project site. Route 206 runs from Corona Transit Center to Promenade Mall, and traverses the project area along Temescal Canyon Road, Cajalco Road, and Dos Lagos Drive. During the AM peak hour, there is one southbound bus, and the PM peak hour, there are two northbound buses and one southbound bus. Route 206 has a bus stop at the corner of Temescal Canyon Road and Pronio Road which is the nearest bus stop to the project site. The Corona Cruiser runs along pre-designated Blue Line and Red Line fixed routes. The Corona Cruiser has a Red Line bus stop located at the intersection of Temescal Canyon Road and Pronio. This route does not traverse any of the study intersections analyzed in this report during weekdays, but the Red Line provides service to the Shops at Dos Lagos on Saturdays via Temescal Canyon Road from the north. The project would not conflict with any of the RTA or Corona Cruiser routes. Therefore, the project would not impact alternative transportation policies and no mitigation is required.

7. BIOLOGICAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Endangered or threatened species/habitat	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Riparian habitat or sensitive natural community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Adversely affects federally protected wetlands	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interferes with wildlife corridors or migratory species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflicts with local biological resource policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflicts with any habitat conservation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., c., e., & f.

The proposed project will not impact biological resources as the project site in which the proposed development will occur was analyzed under the City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, which was a cumulative environmental analysis of the 543 acres within the plan boundary. Per the EIR, the site was historically used for mining operations. The former Owens-Illinois processing plant and silica sand mining operation occupied the central and western portion of the Dos Lagos area. In 2003, the master developer mass and rough graded the Dos Lagos project area in order to begin the construction on the public infrastructure for the entire Specific Plan. The project site was included as part of the mass and rough grading. Presently, the project site contains an asphalt parking lot that is being used by the neighboring recreational and commercial uses.

In accordance with the mitigation measures in the EIR, the master developer obtained all the required regulatory permits from the responsible agencies prior to the initial grading within the Specific Plan boundary. The master developer also mitigated the impacts to biological resources accordingly. As such, the development of the project site will not impact biological resources.

The project site is not located within a MSHCP Subunit or Criteria/Cell Group. Therefore, no Reservation Assembly Analysis is required. The nearest Criteria Cell is Cell 2507, which is located approximately 0.30 miles east of the Project site. The project site is separated from Cell 2507 by existing residential developments and roadway improvements. The project site is not located within a designated assessment area for Narrow Endemic Plant Species, Criteria Area Plant Species, amphibians, mammals, or the burrowing owl.

The applicant is required to pay applicable fees related to Riverside County's Multiple Species Habitat Conservation Plan, or MSHCP. This MSHCP is a habitat conservation plan for Western Riverside County that identifies land to be preserved for habitat for threatened, endangered or key sensitive populations of plant and wildlife species. The applicant is subject to the MSHCP mitigation fee for commercial development. This fee will be used to acquire and preserve vegetation communities and natural areas, which are known to support these sensitive species.

d.

The project site is in a developed area surrounded by a roadway, freeway, and residential and commercial developments. Therefore, developing the project site would not interfere with wildlife movement and no mitigation would be required.

8. MINERAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Loss of mineral resource or recovery site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per Figure 4.2 of the 2020-2040 General Plan Technical Background Report, the project site is not located in an oil, gas or mineral resources site. Therefore, no mitigation is warranted.

9. HAZARDS AND HAZARDOUS MATERIALS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Transport, use or disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Risk of accidental release of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Hazardous materials/emissions within ¼ mile of existing or proposed school	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Located on hazardous materials site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with Airport land use plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair emergency response plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase risk of wildland fires	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & d.

A Phase I Environmental Site Assessment (Phase I ESA) was conducted for the project site by Property Solutions, Inc. (August 10, 2009), to evaluate the physical conditions of the project site and to uncover any hazardous wastes that may have previously been used, treated, stored, or disposed on the project site.

The site is not listed in any federal or state-reported environmental databases related to underground storage tanks, hazardous waste generation, or hazardous material releases. A field visit of the site was conducted by Property Solutions, Inc. No pits, ponds, lagoons, swales, or surface impoundments potentially containing hazardous materials were observed on the property. No above or underground storage tanks were observed during the site visit. No other potential issues of concern such as asbestos, PCB-containing materials, solid waste, or hazardous materials were observed. Therefore, impacts related to accidental release of hazardous materials is not expected and no mitigation is required.

c.

The nearest schools to the project site are El Cerrito Intermediate and Wilson Elementary School. El Cerrito Intermediate is located approximately 1.65 miles north of the project site. Wilson Elementary School is located approximately 1.85 miles west of the project site. The schools are separated from the project site by existing residential and commercial developments, highways, and roadways. Also, development of the proposed project would not include any activities that would result in hazardous emissions or handle hazardous materials, substances, or waste in a manner that could result in toxic emissions. Therefore, this would be a non-issue and no mitigation is required.

e.

The nearest airport to the project site is the Corona Municipal Airport, located approximately 7.5 miles northwest of the project site. Based on the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not within any identified safety or compatibility zone and therefore, does not conflict with the ALUCP and no mitigation is warranted.

f & g.

The project site is not located in proximity to the Cleveland National Forest, nor is it considered an area that can be described as a wildland area. The project site is an infill site located within an urbanized area. Due to the urbanized nature of the surrounding area, the proposed development would not be considered at high risk for fire hazards. Furthermore, all development within the City of Corona is required to comply with all fire code requirements associated with adequate fire access, fire flows, sprinklers, and number of hydrants. Therefore, the project would have no impact and no mitigation is required.

10. NOISE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed noise level standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure to excessive noise levels/vibrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Permanent increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Temporary increase in ambient noise levels

☐☒☐☐

e. Conflict with Airport Land Use Plan noise contours

☐☐☐☒**Discussion:**

a., b., c., & d.

Long-term noise impacts will be minimal given that the proposed use is office where all operations would be conducted inside the buildings. The long-term noise impacts associated with the project would be generated from parking lot noise, mechanical HVAC equipment, and conversation/outdoor noise. The nearest sensitive area would be the existing residential condominiums across Pronio Circle approximately 60 feet from the project site. The project is subject to the City's noise standards for stationary noise under CMC Section 17.84.040(C) shown below. Thus, the project's long-term noise would have no significant impact and no mitigation is required.

CMC Section 17.84.040(C)

TABLE 1 STATIONARY NOISE SOURCE STANDARDS				
TYPE OF LAND USE	MAXIMUM ALLOWABLE NOISE LEVELS			
	Exterior Noise Level		Interior Noise Level	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Single-, Double- and Multi-Family Residential	55 dBA	50 dBA	45 dBA	35 dBA
Other Sensitive Land Uses	55 dBA	50 dBA	45 dBA	35 dBA
Commercial Uses	65 dBA	60 dBA	Not applicable	Not applicable

Short-term impacts are associated with future grading and project construction, and are reduced to a less than significant level by the city's Municipal Code. Per CMC Chapter 17.84, construction activities are prohibited between the hours of 8:00 p.m. to 7:00 a.m. Monday through Saturday, and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays. This will prevent nuisance noise impacts during sensitive time periods of early morning and nighttime for the residences located north (across Pronio Circle) of the project site. To further reduce the potential for noise impacts, a list of design features are shown below. **(Mitigation Measure 10-A)**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

Mitigation Measures:**MM 10-A**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

e.

Per the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not located in an identified airport land use compatibility zone; therefore, no impact associated within this issue would occur and mitigation is not required.

11. PUBLIC SERVICES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Parks & recreation facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Other public facilities or services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The Corona Fire Department (CFD) will provide all emergency and medical aid calls to the project site. Station 7 will provide first response and is located on Bedford Canyon Road, near Interstate 15, approximately 1.1 miles from the project site. Station 7 is located approximately 1.1 miles from the project site and should generate quick response times to the project site. Therefore, response times to the project site will not be impacted and the project site does not require the construction of new fire protection facilities.

b.
The City of Corona Police Department will provide patrol and emergency response to the project site. The Police Department presently has over 200 employees, including officers and support staff and is stationed at 730 Public Safety Way, which is approximately 6.15 miles from the project site. The City's police patrol officers work assigned zones throughout the city; therefore, officers responding to the project site can come from either the city's police station or from their assigned zone while on patrol. Therefore, police services are not anticipated to be impacted by the proposed project and the project does not require the construction of new police protection facilities.

c.
The proposed project is commercial and will not result in residential development that would lead to the generation of additional students. The applicant is required to pay the applicable development impact mitigation school fees. Therefore, no further mitigation is warranted.

d.
The development of the project site does not require the construction of new public facilities. The developer however is required to pay the city's Development Impact Fees prior to the issuance of building permits. This is enforced by city ordinance (CMC Chapter 16.23); therefore, no mitigation is warranted with respect to impacts on City and public services.

12. UTILITIES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed wastewater treatment requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Involve construction/expansion of water or wastewater treatment facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve construction/expansion of storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Sufficient water supplies/compliance with Urban Water Management Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Adequate wastewater treatment capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Adequate landfill capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Comply with solid waste regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & e.
As required for all projects by the City's Utilities Department, the project is required to construct or guarantee the construction

of all necessary public water and sewer facilities needed to serve the project. All water and sewer facilities are required to be designed per the standards of the Utilities Department and Riverside County Department of Health Services and will be reviewed by the Utilities Department during the plan check process. This would reduce the impacts to less than a significant level and therefore, no further mitigation would be required.

c.

The project does not require the construction of additional storm drains or expansion of existing storm drains. The city's existing storm drains have sufficient capacity to receive flows from the project site. Therefore, no impacts are expected.

d.

As discussed under the Hydrology and Water Quality section, a preliminary WQMP was prepared for the project. As part of the project's grading permit process, the applicant is required to submit a final WQMP and the city's Public Works inspector also inspects the project site for compliance with the final approved WQMP during the on-site grading process and at time of project completion. Therefore, the project would not impact water quality or violate water quality standards and no mitigation is required.

f. & g.

Waste Management (WM) is contracted by the City of Corona as the sole hauler of solid waste and provider of recycling services. WM provides refuse collection to residential, commercial, and industrial customers. Based on the solid waste generation identified in Table 12-A, solid waste from the project would be transported to the El Sobrante landfill located at 10910 Dawson Canyon in Corona. The El Sobrante landfill accepts a maximum 16,054 tons of waste per day and has a remaining capacity of 143,977,170 tons and an estimated closure date of 2051.

TABLE 12-A

Landfill	Location	Remaining Capacity (cubic yards)	Estimated Closure Date	Maximum Daily Permitted Tonnage	Actual Average Daily Disposal, tons ¹	Residual Disposal Capacity, tons per day
El Sobrante	10910 Dawson Canyon Road Corona, CA 91719	143,977,170 ¹	2051	16,054	5,599 ⁴	10,455
Olinda Alpha	1942 North Valencia Avenue Brea, CA 92823	34,200,000 ²	2021	8,000	3,638 ⁵	4,362
Total		178,177,170	NA	24,054	9,237	14,817

Source: Table 5.19-10 Environmental Analysis – Utilities and Service System - Solid Waste of General Plan Technical Update of Corona General Plan Final Environmental Impact Report, December 2019

Per the General Plan Technical Update EIR, the County of Riverside is required to maintain 15 years identified disposal capacity or have a plan to transform or divert its waste, pursuant to AB 939. There is adequate landfill capacity in the region for solid waste that would be generated by the 2020-2040 General Plan buildout. Furthermore, new developments approved by the City would be required to contain storage areas for recyclable materials in conformance with California Public Resources Code Sections 42900 et seq., and the City of Corona Municipal Code Chapter 8.20 (Collection of Refuse and Recyclable Materials). Solid waste diversion program would continue operating and would have adequate capacity to accept all future wastes and recyclables to reduce landfilled waste. Additionally, solid waste service fees would be charged to individual property owners when services are initiated to offset operation costs associated with solid waste collection and disposal. Therefore, the project is anticipated to create a less than significant impact to landfill capacity and no mitigation would be required.

13 AESTHETICS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Scenic vista or highway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Degrade visual character of site & surroundings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Scenic resources (forest land, historic buildings within state scenic highway)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Light or glare	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

Per Figure 4-5 of the 2020-0040 City of Corona General Plan Technical Background Report, Temescal Canyon Road is not a scenic vista or highway. Development of the site will be subject to the development standards and architectural guidelines of the Dos Lagos Specific Plan which permit commercial buildings up to a maximum height of 60 feet. The buildings proposed on the project site would have the one-story corner building at a height of approximately 23 feet with the two-story lakeview terrace building at approximately 30 feet in height. Both buildings have brick and plaster finishes. The windows are tinted glass with metal awnings. Rooftop mechanical equipment will be screened from street view by parapet walls. The buildings overall are aesthetically pleasing and attractive and would not cause degradation to the area. Therefore, no mitigation with respect to the aesthetics of the development is required.

c.

The project site is not located immediately adjacent to any forest lands. There are no historic buildings located in the vicinity of the project site. No state-designated scenic highway is located within the vicinity of the project site. Therefore, the project would not impact scenic resources and no mitigation is required.

d.

A photometric analysis was prepared by Gouvis Engineering Consulting Group, Inc. to analyze the project's on-site lighting for compliance with the city's performance standard for glare and to ensure that the on-site lighting will not be a nuisance to the existing residential buildings located in the vicinity of the project site. The exterior lighting proposed for the development consists of LED wall lights on the buildings and parking lot light poles. The lighting is designed to provide vertical light distribution, reduced offsite visibility, and reduced on-site glare while providing effective security light levels.

The analysis demonstrates the project's compliance with the city's regulations pertaining to glare per Section 17.84.070 of the Corona Municipal Code, which states that "all areas of exterior lighting shall be designed to direct light downward with minimal spillover onto adjacent residences, sensitive land uses, and open space." The nearest sensitive land uses are live/work units which are located approximately 60 feet north of the project site across Pronio Circle. The analysis shows that the project's exterior lighting would result in minimal glare spillover onto Pronio Circle and the surrounding land uses. The project's lighting would not result in a significant change to the area because the project is located in an urban area that already has a significant amount of ambient lighting from street light poles and commercial and residential lighting. Furthermore, the project's proposed parking lot light poles are designed with a hood that directs light downwards. Therefore, glare effects from the project is not expected to be an issue and no mitigation is warranted.

14. CULTURAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Historical resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Archaeological resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Paleontological resource or unique geologic feature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Disturb human remains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., & c.

Since the site was previously mass graded during the development of the Dos Lagos community, it is highly unlikely that the site would contain historical, archaeological, or paleontological resources. Also, per the paleontological resources study conducted for the project site by Cogstone (March 2016), no fossils were observed on the site during Cogstone's field survey.

However, if unanticipated fossils are unearthed during construction, work should be halted in that area until a quantified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find. Also, the project is required to comply with Mitigation Measure 7 under the **Tribal Cultural Resources** section, which addresses the disturbance of human remains. Compliance with these requirements would reduce impacts to cultural resources to less than significant. (MM 14-A and MM 17-F)

Mitigation Measure:

MM 14-A If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.

15. AGRICULTURE RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Williamson Act contract	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conversion of farmland to nonagricultural use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The California Land Conservation Act of 1965, commonly referred to as the Williamson Act, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use. In return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The purpose of the Act is to encourage property owners to continue to farm their land, and to prevent the premature conversion of farmland to urban uses. The project site is not located within a Williamson Act contract area. Therefore, no impact to Williamson Act lands will result from the proposed development and no mitigation is required.

b.
The project site is not a designated farmland per the farmland maps compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP). For this reason, development of the project site would not result in the conversion of farmland to nonagricultural uses; therefore, there would be no impacts and no mitigation would be required.

16. GREENHOUSE GAS:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Generate greenhouse gases	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with a plan, policy or regulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.
The City of Corona adopted the City of Corona Climate Action Plan (CAP) in 2019 which utilizes the *Greenhouse Gas Emissions CEQA Thresholds and Screening Tables* to determine whether or not a project would have a significant impact on greenhouse gas emissions. The screening tables are to provide guidance in measuring GHG reductions attributable to certain design and construction measures incorporated into development projects. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP and would thus be considered less than significant. Utilizing the screening tables would also allow the City to meet its GHG emissions target for year 2020.

Per the CAP, small projects that are expected to emit GHG emissions that are less than 3,000 MtCO₂e (metric tons of CO₂e equivalent) are not required to utilize the screening tables as they would be expected to have a less than significant individual and cumulative impact for GHG emissions. Office projects that typically emit more than 3,000 MtCO₂e would need to have a building area of at least 162,000 square feet. Since the proposed office project's total building area is 21,400 square feet, it is anticipated that the project's GHG emissions would be less than 3,000 MtCO₂e. Therefore, the project would not need to utilize the CAP's screening tables as no impacts are expected. The project would be in compliance with the CAP and no mitigation would be required.

17. TRIBAL CULTURAL RESOURCES

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a.
The project is not located on the California Register of Historical Resources or on the City's register of historic resources and would have no impacts to the state's or city's historic resources.
- b.
The project is subject to tribal consultation under AB 52. The purpose of AB 52 is to ensure that local and triable governments, public agencies, and project components have information available, early in the planning process to identify and address potential adverse impacts to tribal cultural resources. The Planning and Development Department initiated the process by notifying the local Native American tribes of the proposed project through a letter of transmittal dated October 12, 2020. The Planning and Development Department received written responses from the Rincon Band of Luiseño Indians and the Soboba Band of Luiseño Indians requesting consultation on the project.

Consultation was held between the Planning and Development Department staff and Cheryl Madrigal, representative of Rincon Band of Luiseño Indians Soboba Tribe on January 6, 2021, and February 25, 2021. On March 4, 2021, Ms. Madrigal closed consultation because the project was already analyzed in the Dos Lagos Environmental Impact Report (EIR).

On January 7, 2021, consultation began with Jessica Valdez, representative for the Soboba Band of Luiseno Indians and continued until March 6, 2021. There was no further response from the tribe until Joseph Ontiveros, representative for the Soboba Tribe, responded for Ms. Valdez on August 12, 2021, requesting to continue the consultation process. Mr. Ontiveros expressed concerns with the site potentially containing tribal cultural resources due to the site being located in the vicinity of other identified tribal cultural resources, and thus, requested tribal monitoring in order to reduce impacts to tribal cultural resources. Mitigation Measures 17-A through 17-G would reduce impacts to less than significant. **(Mitigation Measures 17-A through 17-G)**

Mitigation Measures

- MM 17-A Tribal Monitoring:** Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.
- MM 17-B Archaeological Monitoring:** At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.
- a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include:
- Project grading and development scheduling;
 - The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling,

safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists;

- iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources' evaluation.

MM 17-C Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Monitored grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:

- a. **Temporary Curation and Storage:** During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and
- b. **Treatment and Final Disposition:** The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Planning and Development Department with evidence of same:
 - i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;
 - ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;
 - iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and
 - iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.

MM 17-D For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.

MM 17-E Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.

MM 17-F Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by

California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.

The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).

MM 17-G Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:

- a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.
- b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens.

18. MANDATORY FINDING OF SIGNIFICANCE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fish/ wildlife population or habitat or important historical sites	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cumulatively considerable impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantial adverse effects on humans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Short-term vs. long-term goals	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., c., & d.

Based on the Initial Study, development of the proposed project would have either no impact, or potential effects of the proposal are substantiated at or mitigated to levels below thresholds of significance. Based on the analysis presented in the preceding checklist, the project has the potential to result in significant impacts under the following environmental topics:

- Noise
- Cultural Resources; and
- Tribal Cultural Resources.

However, appropriate mitigation measures have been developed. **Mitigation Measures 10-A through 17-G** successfully mitigate all identified potential impacts to less than significant levels. Therefore, project impacts to fish/wildlife population or habitat, important historical sites, cumulatively considerable impacts, substantial adverse effects on humans, or short-term vs. long-term goals are considered less than significant.

19. WILDFIRE:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Substantially impair an adopted emergency response plan or emergency evacuation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Due to slope, prevailing wind, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability or drainage changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

a. & b.

The project site is not located within a high fire hazard severity zone. The project site is also not adjacent to other properties that are within a high fire hazard severity zone. There are no slopes, prevailing winds, or other factors that would exacerbate wildfire risks and expose project occupants to pollutant concentrations from wildfire. Therefore, no impacts are expected as it relates to wildfire.

The properties to the south and west have also been developed for commercial purposes and developed to commercial standards that include paved concrete surfaces, paved access and commercial buildings. The proposed commercial buildings will also be constructed in accordance with the California Building Standards Code and California Fire Code which will require adequate fire suppression measures such as fire sprinklers and adequate water pressure for fire hydrants serving the project. Therefore, no impacts are expected.

c.

Paved roadway access is provided to the project from two public streets, Temescal Canyon Road and Pronio Circle. A secondary access is provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Dos Lagos Shops commercial development south of the project site. Therefore, the site has adequate access in the event to an evacuation or fire-related emergency.

d.

The project site is relatively flat and completely surrounded by urban development. The site has no significant slopes nor is it located nearby any slopes. The site is also not located in a downstream flood area. Therefore, development of the project would not expose people or structures to risks related to landslides or flooding that could occur post-fire. No impacts are expected.

20. ENERGY:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Conflict with or obstruct a state or local plan for renewable energy or energy efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

During construction, the proposed project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. Fossil fuels used for construction vehicles and other energy-consuming equipment would be used

during site preparation, grading, paving, and building construction. The types of equipment could include gasoline- and diesel-powered construction and transportation equipment, including trucks, tractors, loaders, backhoes, excavators, graders, bulldozers, rollers, forklifts, and cranes.

Other equipment could include construction lighting, field services (office trailers), and electrically driven equipment such as pumps and other tools. Singlewide mobile office trailers, which are commonly used in construction staging areas, generally range in size from 160 square feet to 720 square feet. A typical 720-square-foot office trailer would consume approximately 9,700 kilowatt-hour (kWh) during the approximately 1.1-year construction period. Due to the temporary nature of construction and the financial incentives for developers and contractors to use energy consuming resources in an efficient manner, the construction phase of the proposed project would not result in wasteful, inefficient, and unnecessary consumption of energy. Therefore, the construction related impacts related to electricity and fuel consumption would be less than significant and no mitigation is required.

The proposed project will not conflict with or obstruct a State or Local plan for renewable energy or energy efficiency. The project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. California Code of Regulations Title 13, Sections 2449 and 2485, limit idling from both on-road and off-road diesel-powered equipment and are enforced by California Air Resources Board. The project would comply with these regulations. There are no policies at the local level applicable to energy conservation specific to the construction phase. Thus, it is anticipated that construction of the proposed plan would not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Therefore, construction-related energy plan consistency impacts would be less than significant, and no mitigation is required.

California's Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by SoCalGas. SoCalGas offers renewable natural gas captured from sources like dairies, wastewater treatment plants and landfills. The proposed project would be served with electricity provided by Southern California Edison (SCE). SCE's 2017 power mix included 32 percent eligible renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear. SCE also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. SCE is on track to meet the California RPS of 33 percent by 2020 mandate.

Part 11, Chapter 5, of the State's Title 24 energy efficiency standards establishes mandatory measures for non-residential buildings, including material conservation and resource efficiency. The project would be required to comply with these mandatory measures. The project would also comply with the California Building Standards Code requiring proposed commercial buildings to be solar ready. Policy IU-7.7 encourages the reduction of energy consumption through passive solar building orientation as well as the installation of rooftop solar energy systems and energy-efficient technologies. The proposed project would be encouraged to comply with this policy. Other policies that promote energy conservation at the local level are voluntary. Compliance with the aforementioned mandatory measures would ensure that the proposed project would not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing energy use or increasing the use of renewable energy. Therefore, operational energy efficiency and renewable energy standards consistency impacts would be less than significant, and no mitigation is required.

21. PREVIOUS ENVIRONMENTAL ANALYSIS:

Earlier analysis may be used when one or more of the environmental effects have been adequately analyzed in an earlier EIR or Negative Declaration (Section 15063).

DOCUMENTS INCORPORATED BY REFERENCE:

1. City of Corona General Plan 2020-2040
2. City of Corona Technical Background Update EIR, 2019
3. Dos Lagos Specific Plan 99-03, June 21, 2000
4. City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, certified June 21, 2000
5. Phase 1 ESA prepared by Property Solutions, Inc. dated August 10, 2009
6. Preliminary Project Specific WQMP, prepared by Land Development Design Company, LLC. dated April 17, 2019
7. Geotechnical Update, prepared by South Shore Testing & Environmental, December 14, 2020
8. Air Quality Screening Letter by Ldn Consulting, Inc. dated April 20, 2020
9. Focused Traffic Impact Analysis Report, prepared by Linscott Law & Greenspan, April 30, 2020
10. Paleontological Resources Technical Report For The Rexco Properties, prepared by Cogstone, March 2016



MITIGATION MONITORING AND REPORTING PROGRAM CITY OF CORONA

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
	NOISE					
MM 10-A	1. No impact pile driving activities shall be allowed on the project site. 2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use. 3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible. 4. Obtain a construction work permit from the City of Corona prior to starting construction.	Condition of approval	Submittal of Grading and Construction Plans	During Grading and Construction	Planning and Land Development Divisions	
	CULTURAL RESOURCES					
MM 14-D	If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.	Condition of approval	Submittal of documentation	During grading and construction	Planning Division	
	TRIBAL CULTURAL RESOURCES					
MM 17-A	Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.	Condition of approval	Submittal of agreements	Prior to issuance of a grading permit	Planning Division	

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-B	<p>Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.</p> <ul style="list-style-type: none"> a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include: <ul style="list-style-type: none"> i. Project grading and development scheduling; ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archaeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists; iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation. 	Condition of approval	Submittal of documentation showing that an archeologist has been retained for the project.	Prior to issuance of a grading permit	Planning and Development Dept.	Condition of approval

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C	<p>Mitigation Measures</p> <p>Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <p>a. Temporary Curation and Storage: During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and</p> <p>b. Treatment and Final Disposition: The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same:</p> <p>i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C Cont'	<p>ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;</p> <p>iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and</p> <p>iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-D	For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.	Condition of approval	Submittal of Phase IV monitoring report or other documentation as applicable	Within 60 days of completion of grading	Planning and Development Dept.	
MM 17-E	Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-F	Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-F Cont'	<p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p> <p>According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).</p>	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-G	<p>Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:</p> <ol style="list-style-type: none"> The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens. 	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

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Staff Report

File #: 21-0861

PLANNING AND HOUSING COMMISSION STAFF REPORT

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning & Development Department

APPLICATION REQUEST:

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03). (Applicant: Griffin Haupt of Griffco Land, LLC., 2518 N. Santiago Blvd., Orange, CA 92867)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt the Mitigated Negative Declaration and Mitigation Monitoring Plan and adopt Resolution No. 2575 APPROVING PP2020-0006 based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY:

Area of Property: 2.065 acres

Existing Zoning: EC (Entertainment Commercial) of SP99-03

Existing General Plan: MU1 (Mixed Use Commercial/Residential)

Existing Land Use: Vacant

Proposed Land Use: Commercial Development

Surrounding Land Uses and Zoning:

N: Live/Work units in the EC (Entertainment Commercial) designation of SP99-03

E: Residential developments in the R (Residential) designation of SP99-03

S: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

W: Commercial center in the EC (Entertainment Commercial) designation of SP99-03

BACKGROUND

Precise Plan 2020-0006 is a proposal to develop two professional medical buildings on a two-acre parcel located at the southwest corner of Temescal Canyon Road and Pronio Circle. The subject site is within the Dos Lagos Specific Plan and zoned Entertainment Commercial (EC), which permits medical offices by right.

The subject property is located on the north end of The Shops at Dos Lagos shopping center (Exhibit 2), at the southwest corner of Temescal Canyon Road and Pronio Circle. It is bordered by a manmade lake ("Dos Lagos lakes") to the west and a restaurant parking lot to the south. To the north are live/work units, separated from the project site by Pronio Drive. To the west are residential units, located on the other side of Temescal Canyon Road. Presently the property is partially developed with a parking lot.

The project is associated with Parcel Map 37221, an application to subdivide the property into two parcels. PM 37221 will provide each of the proposed office buildings with its own property. Parcel Map 37221 is being reviewed concurrently with PP2020-0006.

The project was preliminarily reviewed by staff on April 9, 2020 (DPR2020-0004). The applicant formally submitted the parcel map and precise plan applications on October 6, 2020. The applications were reviewed by the Project and Environmental Review Committee on October 29, 2020. The applications were determined incomplete; and staff provided the applicant a letter outlining missing items. The applicant subsequently submitted missing information on January 29, 2021 and July 21, 2021. The applications were deemed complete on September 1, 2021.

PROJECT DESCRIPTION

Site Plan

Attached as Exhibit 3.A is the applicant's site plan. Building 1 is located at the property's west perimeter, near the lakes. Building 1 is two stories and has a total floor area of 17,164 square feet. Building 2 is located at the northeast corner of the property, near the intersection of Pronio Circle and Temescal Canyon Road. Building 2 is 4,236 square feet and one story. The placement of the buildings and overall layout comply with the minimum building setback requirements of the Dos Lagos Specific Plan's EC zone.

Each building is proposed within its own parcel, as proposed by Parcel Map 37221. The parcel proposed for Building 1 is 59,125 square feet; and the parcel for Building 2 is 30,844 square feet. A copy of the proposed parcel map is attached for reference (Exhibit 3.C).

Parking spaces and a central drive aisle is located between the buildings, and will provide vehicular access to each parcel. A trash enclosure for each of the two parcels is proposed in the parking lot.

The property's existing grade is approximately four (4) feet higher than the street grade on Temescal Canyon Road. This grade difference requires the construction of an approximately 5-foot-high retaining wall along the property's east perimeter. Retaining walls ranging of one (1) foot to four (4) feet in height are proposed in the Pronio Circle setback to accommodate an ADA walkway. All retaining walls will be constructed of decorative masonry.

Architecture and Floor Plans

The Dos Lagos Specific Plan establishes "Eclectic Mediterranean" as the underlying architectural theme for all developments within the specific plan area. However, the Specific Plan offers flexibility

to developments that are located along the perimeters of the Dos Lagos lakes, provided that the architecture is reviewed through the precise plan process. The proposed project is located adjacent to the lake.

Exhibits 3.E and 3.F illustrate the buildings' design. Building 1 features brick veneer with stone panels on the exterior. Building 2 proposes the same brick stone veneer material with plaster walls. Both buildings have tinted glass windows with aluminum canopies. The buildings' colors and materials are traditional, and are compatible with the surrounding residential and commercial buildings. Both buildings are below the Specific Plan's 60-foot height limit, and all rooftop mechanical equipment will be screened by parapet walls to ensure they are not visible from streets, parking lots or the ground level of adjacent properties.

The floor plans are shown in Exhibit 3.G. Limited details are provided at this time, as the applicant has not yet identified tenants. It is anticipated that the applicant will separate the interior floor space into separate suites. Individual tenant improvements be reviewed by staff when building permits are submitted.

Parking

Exhibit 3.A depicts the project's parking. The two buildings share parking through a reciprocal easement, and the parking lot meets with minimum requirements of Corona Municipal Code (CMC) Chapter 17.76 - Off Street Parking.

TABLE A
Parking Requirement

Building	Building Square Footage	Parking Ratio	Parking Required	Parking Provided
1	17,164	1 parking space/200 square feet of building area	86	--
2	4,236	1 parking space/200 square feet of building area	21	--
		Total	107	107

Access, Circulation and Public Improvements

On-site circulation consists of a 30-foot wide main drive aisle located between the proposed buildings. The drive aisle connects to an existing driveway on Pronio Circle to the north, and to an existing parking lot at the adjacent Dos Logos shopping center to the south. The Dos Logos shopping Center has multiple entrances along Temescal Canyon Road.

Temescal Canyon Road is classified by the General Plan as a major arterial; and Pronio Circle is classified as a local street. Both roadways are capable of handling the traffic associated with the proposal. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, landscaped parkway and sidewalk. No additional widening is required for this portion of Temescal Canyon Road. The portion of Pronio Circle adjacent to the site is improved with curb and gutter, but has a missing sidewalk where Building 2 is proposed. The applicant is

required to construct the missing sidewalk.

Landscaping

Exhibit 3.I depicts the project's conceptual landscape plan. The plan proposes seven different types of trees, with planting sizes ranging from 24 to 48 inch boxes. The trees will be planted around the perimeters of the project and throughout the parking lot to provide shade for vehicles. Screen shrubs will be provided between the parking lots and adjacent streets to buffer headlights. All landscape areas will conform to the City of Corona Landscape Guidelines and the Landscape Ordinance, which is codified under Chapter 17.70 of the CMC.

Signage

Per the Specific Plan, a commercial center under 20 acres in size is limited to no more than one project identification sign (i.e., monument or pylon sign) per street frontage. Exhibit 3.H illustrates the proposed sign program for the development. An 8-foot-high multi-tenant monument sign is proposed at the Pronio Circle entrance. The sign is designed to advertise four tenant names; however, the Specific Plan limits the number of tenant names on a monument sign to no more than three tenants. Condition 15 in the Conditions of Approval (Exhibit 3.B) require the monument sign to be revised to comply with the Specific Plan.

A second 5-foot-high multi-tenant monument sign is proposed at the corner of Temescal Canyon Road and Pronio Circle. This location is considered the Temescal Canyon frontage for signage purposes. The sign is designed to advertise three tenant names.

The proposed signage complies with the Specific Plan's sign development standards in terms of placement, height, and maximum allowable sign area. The signs have burgundy tenant panels which are supported by a dark brown colored post on one side, and a black latticed post on the other. The materials and colors of the monument signs complement the earth-toned brick and plaster of the proposed office buildings. Although the project is located adjacent to The Lakes at Dos Logos shopping center, the project is not part of the center, and therefore does not need to comply with or otherwise match the center's sign program.

ENVIRONMENTAL ANALYSIS

Per Section 15070 of the State Guidelines for Implementing the California Quality Act (CEQA) and Section 6.02 of the City's Local CEQA Guidelines, a Mitigated Negative Declaration was prepared for the project. The Initial Study identified that the project's potentially significant effects to the environment are capable of being mitigated to less than significant. Therefore, based on the mitigation measures identified in the Mitigated Negative Declaration, there is no substantial evidence, in light of the whole record before the City, that the project may have a significant effect on the environment (Exhibit 4).

FISCAL IMPACT:

The applicant paid the application processing fees to cover the cost of the precise plan review as required by City resolution. There is no fiscal impact to the city.

PUBLIC NOTICE AND COMMENTS

A 20-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

The existing land uses that surround the project site consist of commercial retail and recreational uses. The live/work units that are located across the street from the project site are non-traditional residential units that incorporate professional workspace. The proposed office project is a passive land use that would not generate noise or undesirable activities beyond normal parking activities. The project is designed with the less-imposing one-story building placed closer to the live/work units and Temescal Canyon Road, while the two-story building is placed at the back of the property. The building height and layout result in a project that fits the scale of the neighboring developments. The offices will attract tenants and patrons to the area who will likely utilize the nearby restaurants and retail shops. Therefore, the project is not only appropriate for the site and surrounding area, but also supports the businesses in the area.

Offices uses are permitted by right in the Dos Lagos Specific Plan's Entertainment Commercial (EC) zone. The Specific Plan envisioned the EC zone as having various types of active and passive uses set within a pedestrian oriented environment. Office uses complement the Specific Plan's vision, as they are within walkable distance of the lakes, the shopping center, and nearby residential developments.

The project as designed and conditioned meets all applicable develop standards pertaining to building setbacks, parking, landscaping, and signage. The project has adequate vehicular access from the adjacent streets. The architecture for the buildings includes materials and colors that are compatible with the surrounding developments. Although the Specific Plan does not require developments that are located lakeside to the Dos Lagos lakes to comply with the Specific Plan's adopted Eclectic Mediterranean theme, the buildings include comparable elements in terms of colors and materials. This allows the buildings to fit in with the character of the area while maintaining a unique identity.

The project has been analyzed pursuant to the California Environmental Quality Act (CEQA). A Mitigated Negative Declaration is proposed for adoption, as all potential environmental impacts associated with the project are capable of being mitigated to less than significant.

The Planning Division recommends approval of PP2020-0006 based on the findings listed below and staff's recommended conditions of approval (Exhibit 3.B).

FINDINGS OF APPROVAL FOR PP2020-0006

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially

significant effects on the environment, but:

- a. The project applicant has agreed to revise the project to avoid these significant effect, or to mitigate the impacts so that no significant effects would occur, as reflected in the Conditions of Approval attached as Exhibit 3.B.*
 - b. As revised or mitigated, there is no substantial evidence before the City that the revised project may have a significant effect.*
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code exist in reference to PP2020-0006 for the following reasons:
 - a. The proposal is consistent with the MU1 (Mixed Use 1) land use designation of the General Plan because this land use permits neighborhood serving commercial and office uses.*
 - b. The proposal complies with the EC (Entertainment Commercial) zone within the Dos Lagos Specific Plan (SP99-03) because office uses are permitted by right, and the site plan has been designed in accordance with the development standards imposed by the EC zone.*
 - c. The proposal has been reviewed in compliance with the California Environmental Quality Act and all applicable requirements and procedures of the act have been followed. As described in Finding #1, the project is being mitigated to a level of impact that is less than significant.*
 - d. The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as shown in Exhibits 3.A through 3.I of this report.*
 - e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the subject property. The building height and layout of the buildings fit the scale of the neighboring developments. Furthermore, the adjacent roadways are capable of handling the traffic volume attributed to the project, and all missing public improvements will be constructed or guaranteed with this project.*
 - f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood, and is compatible with existing developments in the area because the architectural design of the project incorporates colors and material complementary to the Eclectic Mediterranean architectural style, which is the architectural theme established by the Dos Lagos Specific Plan for new developments. This results in a development site that is harmonious, orderly and attractive to the area.*
 - g. As demonstrated by the project's architectural and landscape plans, the design of the proposed development will provide a desirable environment for its occupants, the visiting public, and neighbors through the use of materials, texture, and color that are aesthetically appealing and durable.*

3. The proposal is consistent with the General Plan for the following reasons:
- a. The proposed office project implements the General Plan's Mixed Use 1 designation, which allows standalone commercial and office buildings.*
 - b. The project has a Floor Area Ratio (FAR) of 0.24, which does not exceed the General Plan's maximum FAR limit of 2.0 established for the Mixed Use 1 designation.*
 - c. General Plan Policy LU-13.1 encourages the accommodation of mixed-use projects that integrate housing with retail, office, and other uses within the same structure or on the same site, or the development of the property exclusively for commercial and office uses in accordance with the land use plan's designations and applicable density standards and design and development policies. While the project itself is not a mixed-use development, the project is located in an environment surrounded by a mix of uses, including a retail shopping center, publicly accessible lakes and residential dwellings. The proposed project meets the intent of Land Use Policy 13.1.*
4. The proposal is consistent with the intent and objectives of the Dos Lagos Specific Plan (SP99-03) for the following reasons:
- a. The proposed office project is designed per the development standards of the Dos Lagos Specific Plan, as shown by Exhibits 3.A through 3.J.*
 - b. Per Section 3.4.3 of the Dos Lagos Specific Plan, the environmental setting of Planning Area 3 is intended to be a pedestrian-oriented lakeside village environment with various land uses, including restaurants, theaters, shops, hotels, venues, cafes, residential apartments and condominium, and professional offices. The office project meets the intent of Planning Area 3 and contributes to the completion of this planning area.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING & DEVELOPMENT DIRECTOR

EXHIBITS

- 1. Resolution No. 2575
- 2. Locational and Zoning Map
- 3.A - Site Plan
- 3.B - Conditions of Approval
- 3.C - Parcel Map
- 3.D - Grading Plan
- 3.E - Elevations for Building 1
- 3.F - Elevations for Building 2
- 3.G - Floor Plans

- 3.H - Signage
- 3.I - Conceptual Landscape Plan
- 3.J - Applicant's letter dated October 7, 2020
- 4. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2575

APPLICATION NUMBER: PP2020-0006

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A PRECISE PLAN FOR THE REVIEW OF TWO PROFESSIONAL MEDICAL OFFICE BUILDINGS TOTALING 21,400 SQUARE FEET, LOCATED AT THE SOUTHWEST CORNER OF TEMESCAL CANYON ROAD AND PRONIO CIRCLE IN THE ENTERTAINMENT COMMERCIAL (EC) DESIGNATION OF THE DOS LAGOS SPECIFIC PLAN (SP99-03), AND CONSIDERATION OF A MITIGATED NEGATIVE DECLARATION REGARDING POTENTIAL ENVIRONMENTAL IMPACTS ASSOCIATED WITH THE PROPOSED PROJECT. (APPLICANT: GRIFFIN HAUPERT OF GRIFFCO LAND, LLC.)

WHEREAS, the application to the City of Corona, California, for a Precise Plan under the provisions of Chapter 17.91 in the Corona Municipal Code, has been duly submitted to said City's Planning and Housing Commission for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03), and consideration of a Mitigated Negative Declaration regarding potential environmental impacts associated with the proposed project.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for PP2020-0006 on October 11, 2021, as required by law; and

WHEREAS, at the conclusion of the hearing the Planning and Housing Commission, pursuant to CEQA Guidelines Section 15070, adopted the Mitigated Negative Declaration prepared for PP2020-0006, because the information contained in the MND, the initial study and the administrative records for this project, including all written and oral evidence provided during the comment period and presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this project are either no impact or less-than-significant.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Precise Plan as set forth in Corona Municipal Code Section 17.91.070 do exist in reference to PP2020-0006, based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the PP2020-0006 on certain conditions of approval and the findings set forth below, and adoption of the MND.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this PP2020-0006, the Planning and Housing Commission has reviewed and considered the information contained in the MND, the initial study and the administrative records for this Precise Plan, including all written and oral evidence provided during the comment period. Based upon the facts and information contained in the MND, the initial study and the administrative record, including all written and oral evidence presented to the Planning and Housing Commission, the Commission finds that potential environmental impacts of this PP2020-0006 are either no impact or less-than-significant.

SECTION 2. Precise Plan Findings. Pursuant to Corona Municipal Code (“CMC”) section 17.91.070 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. An initial study (environmental assessment) has been conducted by the City of Corona so as to evaluate the potential for adverse environmental impacts. The initial study identifies potentially significant effects on the environment, but:
 - a. *The project applicant has agreed to revise the project to avoid significant effect, or to mitigate the impacts so that no significant effects would occur, as reflected in the Conditions of Approval attached to the staff report as Exhibit 3.B.*
 - b. *As revised or mitigated, there is no substantial evidence before the City that the revised project may have a significant effect.*
2. All the conditions necessary to granting a Precise Plan as set forth in Section 17.91.070 of the Corona Municipal Code exist in reference to PP2020-0006 for the following reasons:
 - a. *The proposal is consistent with the MUI (Mixed Use 1) land use designation of the General Plan because the land use designation permits neighborhood serving commercial and office uses.*
 - b. *The proposal complies with the EC (Entertainment Commercial) zone within the Dos Lagos Specific Plan (SP99-03), because office uses are permitted by right, and the*

site plan has been designed in accordance with the development standards imposed by the EC zone.

- c. The proposal has been reviewed in compliance with the California Environmental Quality Act (CEAQ) and all applicable requirements and procedures of the act have been followed. As described in Finding #1, the project is being mitigated to a level of impact that is less than significant.*
- d. The site is of a sufficient size and configuration to accommodate the design and scale of the proposed development, including buildings and elevations, landscaping, parking and other physical features of the proposal, as shown in Exhibits 3.A through 3.I of this report.*
- e. The design, scale and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, will not create traffic or pedestrian hazards, and will not otherwise have a negative impact on the aesthetics, health, safety or welfare of neighboring uses because the proposal complies with the City's development standards for the subject property. The building height and layout of the buildings fit the scale of the neighboring developments. Furthermore, the adjacent roadways are capable of handling the traffic volume attributed to the project, and all missing public improvements will be constructed or guaranteed with this project.*
- f. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood, will enhance the visual character of the neighborhood, and is compatible with existing developments in the area because the architectural design of the project incorporates colors and material complementary to the Eclectic Mediterranean architectural style, which is the architectural theme established by the Dos Lagos Specific Plan for new developments. This results in a development site that is harmonious, orderly and attractive to the area.*
- g. As demonstrated by the project's architectural and landscape plans, the design of the proposed development will provide a desirable environment for its occupants, the visiting public, and neighbors through the use of materials, texture, and color that are aesthetically appealing and durable.*

3. The proposal is consistent with the General Plan for the following reasons:

- a. The proposed office project implements the General Plan's Mixed Use 1 designation, which allows standalone commercial and office buildings.*
- b. The project has a Floor Area Ratio (FAR) of 0.24, which does not exceed the General Plan's maximum FAR limit of 2.0 established for the Mixed Use 1 designation.*
- c. General Plan Policy LU-13.1 encourages the accommodation of mixed-use projects that integrate housing with retail, office, and other uses within the same structure or on the same site, or the development of the property exclusively for commercial and office uses in accordance with the land use plan's designations and applicable density standards and design and development policies. While the project itself is not a mixed-use development, the project is located in an environment surrounded by a mix of uses, including a retail shopping center, publicly accessible lakes and residential dwellings. The proposed project meets the intent of Land Use Policy 13.1.*

4. The proposal is consistent with the intent and objectives of the Dos Lagos Specific Plan (SP99-03) for the following reasons:

- a. The proposed office project is designed per the development standards of the Dos Lagos Specific Plan, as shown by Exhibits 3.A through 3.J.*
- b. Per Section 3.4.3 of the Dos Lagos Specific Plan, the environmental setting of Planning Area 3 is intended to be a pedestrian-oriented lakeside village environment with various land uses, including restaurants, theaters, shops, hotels, venues, cafes, residential apartments and condominium, and professional offices. The office project meets the intent of Planning Area 3 and contributes to the completion of this planning area.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Precise Plan.

Adopted this 11th day of October, 2021.

Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAINED:

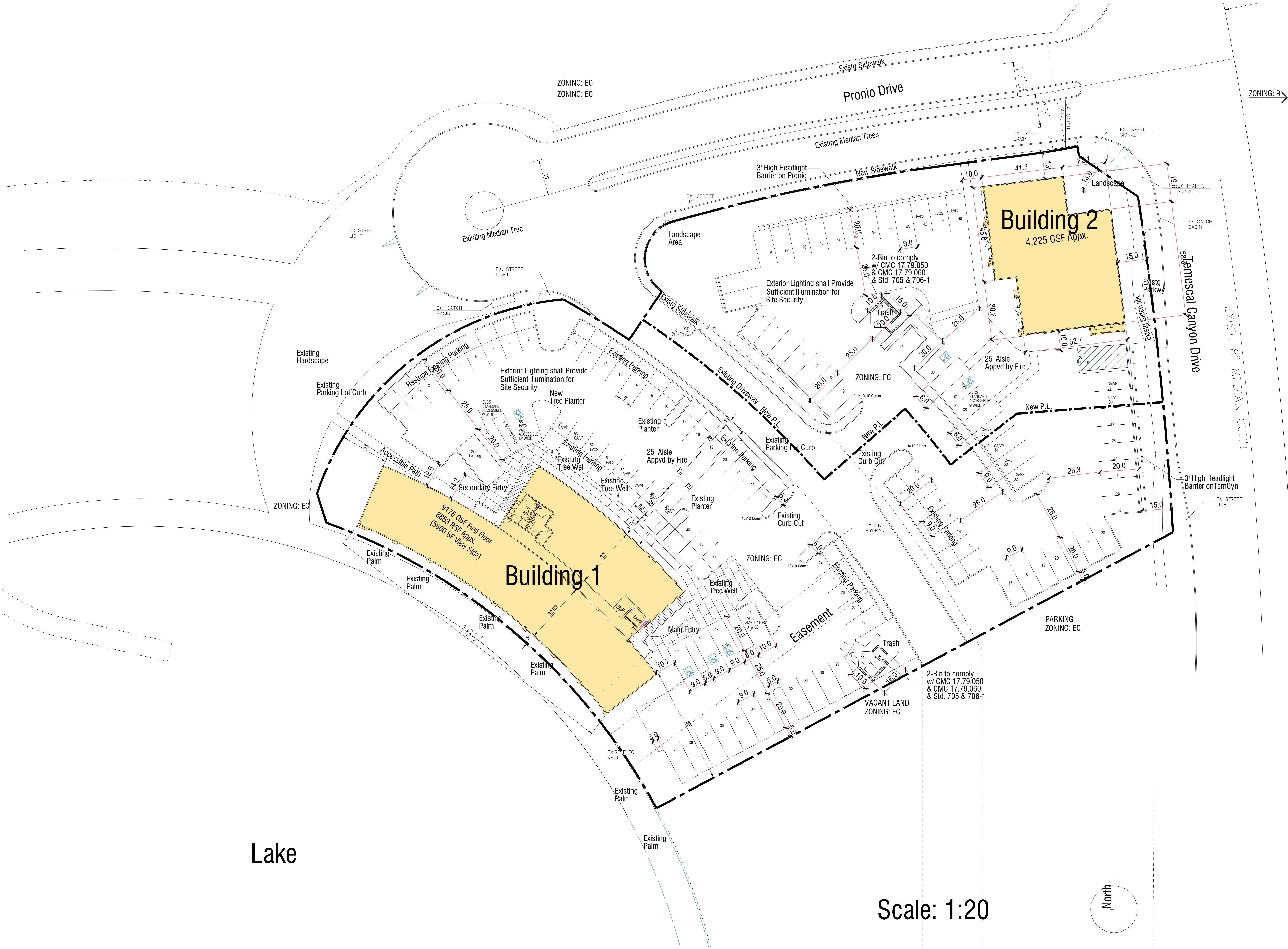
Stella West
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & LOCATIONAL MAP



PM 37221 (PM2020-0003) &
PP2020-0006
Pronio Circle & Temescal
Canyon Road





REXCO DOS LAGOS COMMERCIAL CENTER

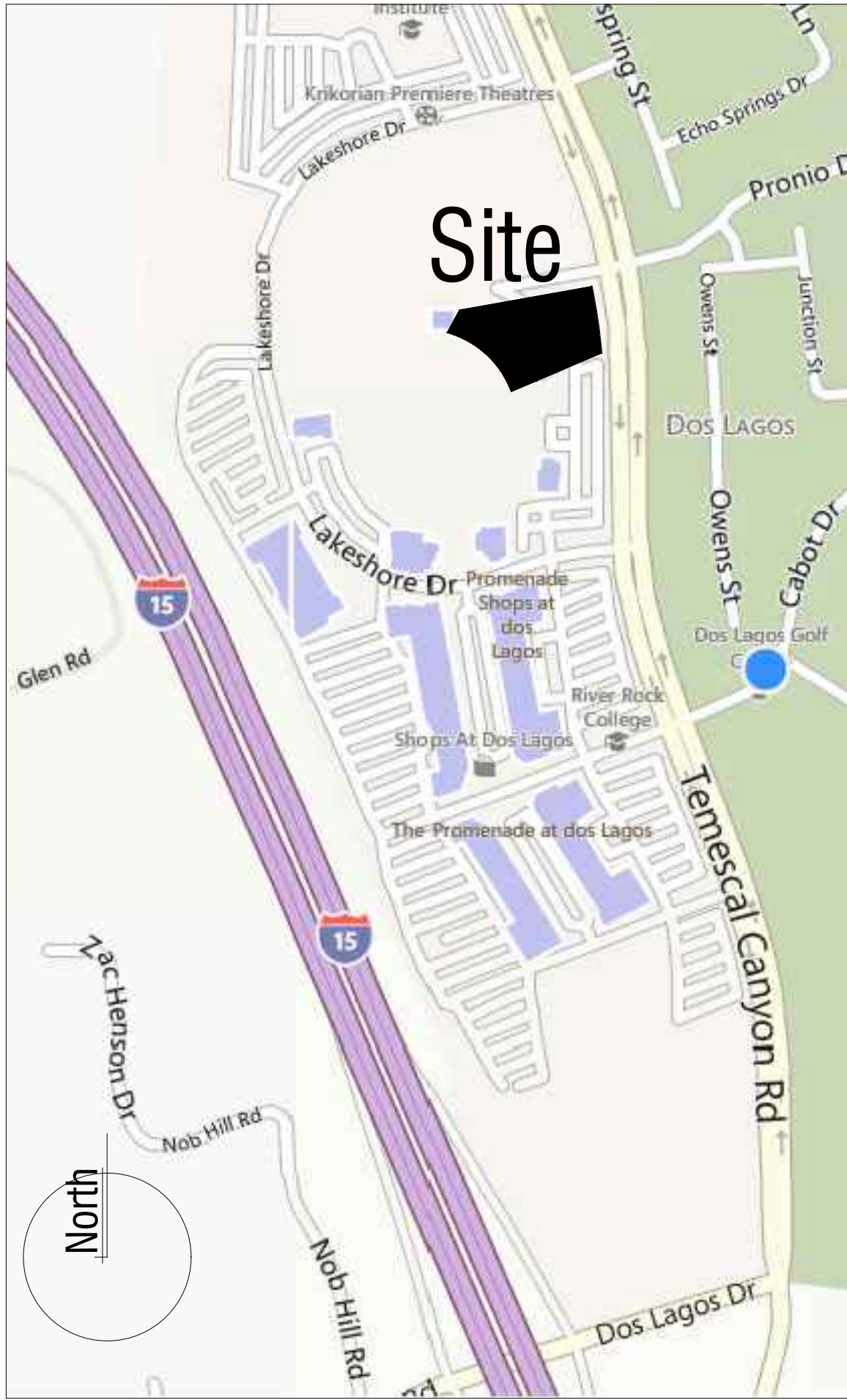
Proposer:
REXCO Development, Inc.
1285 Corona Pointe Court, Suite 102, Corona, CA 92879
Mr. Pat Tritz / Mr. Griffin Haupt - 951.898.1502

Architect/Planner:
William Hezmalhalch Architects, Inc.
680 Newport Center Dr., Ste. 300
Newport Beach, CA 92660
Mr. Ron Nestor, AIA - 949.250.0607

Site Data:
Legal Description: Lot 11 of Tract Map 32528 recorded in Book 387 of maps, pages 69-80, inclusive
Site Address: undetermined
APN: 279-460-023
Zoning: Dos Lagos Specific Plan -EC Entertainment Comm'l
General Plan: MU1
Area: 89,968.4 SF or 2.06 Acres
Coverage: 13,518 SF or 15.0%

Proposed:
Lakeside Office Bldg 1: 17,164 SF Type V-A 2-story
Building Hgt: 30' to Max. Parapet
Landscape Area: 8,052 SF
Corner Commercial Bldg 2: 4,236 SF Type V-A 1-sty
Building Hgt: 19' to Max. Parapet
Landscape Area: 11,129 SF
Total, Appx.: 21,400 SF -- Floor Area Ratio = 0.24 FAR
Total Landscape Area: 19,181 SF (21.3% of site)
Parking Req'd: 21,400 @ 5:1000 = 107 Spaces
Parking Prov'd: 56+51 = 107 Spaces
Loading Spaces Req'd: 2 Provided: 2
Trash - 2 locations, 2 bins each per Std. 705 & 706-1
All Wall or Monument Signs facing Residential must be externally illuminated

Vicinity Map



SITE PLAN

ARCHITECTS . PLANNERS . DESIGNERS

WHA.
EXHIBIT 3.A
ORANGE COUNTY . LOS ANGELES . BAY AREA



Project Conditions

City of Corona

Project Number: PP2020-0006

Description: 17,164 SQ FT & 4,236 SQ FT COMMERCIAL/OFFICE BUILDINGS

Applied: 10/6/2020

Approved:

Site Address: TEMESCAL CYN & PRONIO CORONA, CA 0

Closed:

Expired:

Status: COMPLETE

Applicant: GRIFFCO LAND LLC

Parent Project: DPR2020-0004

2518 N. SANTIAGO BLVD ORANGE CA, 92867

Details: (1) 17,164 SQUARE FOOT OFFICE BUILDING AND (1) 4,236 SQUARE FOOT COMMERCIAL BUILDING ON 2.06 ACRES.

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
BUILDING	Dana Andrews
<ol style="list-style-type: none">1. BUILDING DEPARTMENT CONDITIONS2. At time of plan submittal, construction documents shall be prepared in accordance with current applicable Codes & Standards (2019 Codes). Provide current list of applicable Codes & Standards. Provide full Scope of Work.3. Access, sanitary facilities, and parking shall comply with Title 24 Handicap Requirements.4. Construction activity shall not occur between the hours of 8:00 pm to 7:00 am, Monday thru Saturday and 6:00 pm to 10:00 am on Sundays and Federal Holidays.5. Roofing material shall be Class A.6. Submit five (5) complete sets of plans including the following - * Plot Plan * Foundation Plan * Floor Plan * Ceiling and roof framing plan * Electrical Plans (electrical service shall be underground per Corona Municipal Code Section 15.06), including size of main switch, number and size of service entrance conductors, circuit schedule and demand load. * Plumbing and sewer plan, isometric, including underground diagram, water piping diagram, sewer or septic tank location, fixture units, gas piping and vents, heating and air conditioning diagram. * Landscape and Irrigation plans; Submit four (4) complete sets detached from building plans. Landscape Maintenance District plans shall be submitted directly to the Public Works Department. Landscape plans shall be approved prior to the issuance of any Building Permits.7. Submit two (2) sets of structural calculations, energy conservation calculations and soils reports. Architects/Engineers stamp and wet signature is required prior to submittal of plan check.8. Upon tenant improvement plan check submittal there may be additional Building Department requirements.9. Separate Permits are Required for all Walls, Fences, Paving, Signage, Solar PV Systems & Trash Enclosures. Identify all items to be installed Under Separate Permits for the project on front of plans.10. Comply with the Corona Burglary Ordinance # 15.52; see Corona Municipal Code @ https://codelibrary.amlegal.com/codes/corona/latest/overview)11. All contractors must show proof of State and City licenses, and workmen's compensation insurance to the City prior to the issuance of permits.12. Business' shall not open for operation prior to posting of Certificate of Occupancy issued by the Building Department.13. Provide the minimum number of EV, clean air, and carpool/vanpool parking spaces; minimum shade trees, bicycle parking and other site facilities as required by the California Green Building Standards Code.14. An approved Construction Waste Management Plan and Recycling Worksheets shall be kept on site and maintained by the applicant, and made available for inspection by City representatives at all times in accordance with the California Green Building Standards Code. Documentation which demonstrates compliance with the minimum recycling of waste materials required by CAL Green shall be provided to the building inspector prior to issuance of Certificate of Occupancy or Final Approval.	



Project Conditions

City of Corona

BUILDING	Dana Andrews
	<p>15. Trash and recycling enclosures shall be accessible per CBC chapter 11B and meet Public Works Department minimum dimensions for the City's waste hauler. Contact William Carasco (DWP-Waste Management) @ 951-279-3598 to confirm requirements for Commercial applications. Provide enlarged plans and details for construction of trash/recycling enclosures</p> <p>16. All fees, including but not limited to, occupancy fees, property development tax, and school fees must be paid in full prior to issuance of building permits. Any development impact fees that apply to the project must be paid in full prior to NIC or CofO issuance.</p> <p>17. Provide list of Deferred Submittals for the project. Deferred Submittals shall be submitted to Building Dept for Review & Approval before beginning installation.</p> <p>18. Provide List of Required Special Inspections Per 2019 CBC Section 1705 & Required Structural Observations for the project.</p> <p>19. This Project requires a Pre-Construction Meeting with your Building Inspector. Prior to requesting any inspections, contact the Building Inspection Supervisor at 951-736-2250 to determine the inspector assigned to the project and to schedule your pre-construction meeting.</p>
FIRE	Cindi Schmitz
	<p>1. FIRE DEPARTMENT CONDITIONS</p> <p>2. Place Fire Department DPR comments on plans as general notes.</p> <p>3. Any revised site plan shall be submitted to the Fire Department for screen check approval prior to building plan submittal.</p> <p>4. Plans shall show a minimum drive width of 28 feet.</p> <p>5. Show two (2) all weather surface access ways to be approved by the Fire Marshal and construct the access way(s) to accommodate 70,000 lbs. gross vehicle weight during all phases of construction.</p> <p>6. All projects shall comply with the City of Corona Fire Department Site Construction Standard. A copy of which is available at the coronaca.gov. Projects shall have approved all weather access from two (2) directions and fire hydrants providing the required fire flow tested and accepted prior to combustible construction.</p> <p>7. Provide a minimum twenty-five (25) foot inside and fifty (50) foot outside radius for access drive(s).</p> <p>8. Street and drive grades shall not exceed 10% unless approved by the Fire Chief and City Engineer.</p> <p>9. Meet with Corona Fire Department to determine locations of red curbing and signage by fire hydrants, fire department connections, and designated fire lanes on site.\r\r</p> <p>10. A minimum fire flow of 3000 gallons per minute at 20 psi shall be provided for commercial structures.\r\r</p> <p>11. If over 500 lineal feet the fire service waterline shall be looped and provided with two (2) separate points of connection.</p> <p>12. Fire hydrants are to be spaced a maximum 250 feet apart.\r\r</p> <p>13. The developer shall meet with Corona Fire Department prior to construction to determine the location of; Fire Department connections for sprinkler systems, post indicator valves, etc.\r\r\r</p> <p>14. This development is located in an area that requires a fire facility fee of \$231 and acre per the Corona Municipal Code. This fee is due prior to building permit issuance.\r\r\r</p> <p>15. A public safety radio communication study is required for this project. Consult with the fire department for specific requirements for this study or our guideline is available online at coronaca.gov/fire.\r\r\r Building 2 only.</p> <p>16. Groves and weed abatement shall be maintained so as not to pose a fire hazard until time of development.\r\r</p>



Project Conditions

City of Corona

FIRE	Cindi Schmitz
	<p>17. A specific address, assigned by the City of Corona, Public Works Department, shall be provided for each building as specified by the fire department address standard which can be obtained at coronaca.gov/fire. Addresses must be illuminated during all hours of darkness.\r\r</p> <p>18. Fire extinguishers shall be provided prior to occupancy. Fire extinguishers shall bear a California State Fire Marshal's service tag; it shall be appropriately rated for the hazard; it shall be mounted so that the top of the extinguisher is no higher than five (5) feet above floor level; and shall be located such that the travel distance to an extinguisher does not exceed seventy-five (75) feet.\r</p> <p>19. Storage, Use and Dispensing of hazardous materials shall be in accordance with the California Building and Fire Code.\r\r</p> <p>20. At no time shall fire hydrants or fire lanes be blocked by building materials, storage, equipment, and/or vehicles.\r\r</p>
PLANNING	Rafael Torres
	<p>1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.</p> <p>2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.</p> <p>3. All development and use of this site shall conform to the requirements of the EC (Entertainment Commercial) designation of the Dos Lagos Specific Plan (SP99-03) and the applicable codes of the Corona Municipal Code.</p> <p>4. The project shall comply with the approved exhibits and conditions of approval for PP2020-0006.</p> <p>5. The developer or successor in interest shall comply with the mitigation measures established in the Mitigated Negative Declaration for PP2020-0006.</p> <p>6. Approval of PP2020-0006 is conditional upon the privileges being utilized by the securing of the first permit within two (2) years of the effective date of this precise plan approval, and if construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege or permit granted shall be deemed to have elapsed.</p> <p>7. Landscape plans shall be submitted as a separate submittal to the Building Division for plan check. At time of submittal, the developer shall submit a landscape deposit in the amount of \$2,500 to the Planning Division which will be applied towards landscape plan check and inspection services to be provided by a landscape consultant. Any money left remaining at the completion of the project will be reimbursed to the developer. Please note, this deposit is separate from the Building Division's landscape plan check submittal fee.</p>



Project Conditions

City of Corona

PLANNING	Rafael Torres
	<p>8. The applicant shall, prior to issuance of a building permit, submit landscape plans prepared by a licensed landscape architect for review and approval by the Community Development Department. Plans shall be prepared in accordance with the state and local city guidelines.</p> <p>9. Prior to the issuance of a certificate of occupancy for commercial building, the on-site landscaping, parkways, walls and fences shall be installed per the approved plans.</p> <p>10. Prior to the start of earthwork on the project site, the developer shall send grading and construction notices to the nearby businesses closest to the project site. The notice shall provide contact information for construction concerns involving noise and dust.</p> <p>11. The developer shall install a perimeter chain link fence with a dust tamer screening during grading and construction.</p> <p>12. All fences and walls shall be submitted for plan-check under a separate submittal.</p> <p>All block and retaining walls shall be constructed of decorative masonry as approved by the Community Development Department and treated with an anti-graffiti coating.</p> <p>13. The applicant's monument sign plans shall demonstrate compliance with CMC Section 17.70.030, 17.70.040 and 17.70.050 as they pertain to the corner cut-of regulations to ensure adequate vehicle and pedestrian visibility.</p> <p>14. A sign permit shall be obtained from the Planning and Building divisions prior to the installation of any signs on the project site.</p> <p>15. All signage shall be constructed in accordance with the sign criteria in the Dos Lagos Specific Plan (SP99-03) and the applicable codes of the Corona Municipal Code (CMC). Each monument sign shall adhere to the maximum number of tenant panel faces of three (3) in accordance to the Dos Lagos Specific Plan.</p> <p>16. All trash enclosures shall be constructed of decorative masonry such as splitface or slumpstone block, stucco finish, or other decorative material to match buildings as approved by the Community Development Department.</p> <p>17. Trash enclosures shall not encroach into the 10-foot corner cut-off area adjacent to parking spaces and drive aisles for vehicle visibility. Trash enclosures shall meet the trash enclosure standards in the Corona Municipal Code Chapter 17.79 and shall also be designed to accommodate an organic waste bin per CMC Chapter 8.20.</p> <p>18. The applicant shall incorporate a trellis or solid cover over the trash enclosure to secure the trash enclosure from unwanted access.</p> <p>19. This project is subject to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) fee under the category of Commercial. This fee shall be paid at time of building permit issuance.</p>



Project Conditions

City of Corona

PLANNING	Rafael Torres
<p>20. The applicant shall comply with the construction design features contained in the Mitigated Negative Declaration report in order to minimize the project's construction and operational impacts to localized air resources as shown below.</p> <p>Construction Design Features:</p> <ol style="list-style-type: none">1. All active construction areas shall be watered two (2) times daily.2. Speed on unpaved roads shall be reduced to less than 15 mph.3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.6. Access points shall be washed or swept daily.7. Construction sites shall be sandbagged for erosion control.8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.11. Replace the ground cover of disturbed areas as quickly possible.12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.14. Construction equipment shall be maintained in proper tune.15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.16. Minimize the simultaneous operation of multiple construction equipment units.17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.21. Utilize zero VOC and low VOC paints and solvents, wherever possible.	
PUBLIC WORKS	



Project Conditions

City of Corona

1. The Public Works and the Department of Water and Power Conditions of Approval for the subject application shall be completed at no cost to any government agency. All questions regarding the intent of the conditions shall be referred to the Planning and Development Department, Land Development Division. Should a conflict arise between City of Corona standards and design criteria and any other standards and design criteria, City of Corona standards and design criteria shall prevail.
 2. The developer shall comply with the State of California Subdivision Map Act and all applicable City ordinances and resolutions.
 3. Prior to map recordation or issuance of grading permit, the applicant shall demonstrate to the satisfaction of the Public Works Director that the proposed subdivision will not unreasonably interfere with the use of any easement holder of the property.
 4. All improvement and grading plans shall be drawn on twenty-four (24) inch by thirty-six (36) inch Mylar and signed by a registered civil engineer or other registered/licensed professional as required.
 5. The developer shall construct or guarantee construction of the required improvements prior to recordation of the Parcel Map because the construction of the improvements is a necessary prerequisite to the orderly development of the surrounding area.
 6. All conditions of approval shall be satisfied and the Parcel Map prepared and accepted by the City for recordation within 24 months of its approval, unless an extension is granted by the City Council.
 7. In the event that off-site right-of-way or easements are required for the City of Corona master plan facilities to comply with these conditions of approval, the developer is required to secure such right-of-way or easements at no cost to the City.
 8. All existing and new utilities adjacent to and on-site shall be placed underground in accordance with City of Corona ordinances.
 9. Prior to issuance of a Certificate of Occupancy, the developer shall cause the engineer of record to submit project base line work for all layers in AutoCAD DXF format on Compact Disc (CD) to the Land Development Division. If the required files are unavailable, the developer shall pay a scanning fee to cover the cost of scanning the as-built plans.
 10. The developer shall monitor, supervise and control all construction and construction related activities to prevent them from causing a public nuisance including, but not limited to, insuring strict adherence to the following:
 - (a) Removal of dirt, debris or other construction material deposited on any public street no later than the end of each working day.
 - (b) Construction operations, including building related activities and deliveries, shall be restricted to Monday through Saturday from 7:00 a.m. to 8:00 p.m., excluding holidays, and from 10:00 a.m. to 6:00 p.m. on Sundays and holidays, in accordance with City Municipal Code 15.04.060, unless otherwise extended or shortened by the Public Works Director or Building Official.
 - (c) The construction site shall accommodate the parking of all motor vehicles used by persons working at or providing deliveries to the site.
- Violation of any condition or restriction or prohibition set forth in these conditions shall subject the owner, applicant, developer or contractor(s) to remedies as noted in the City Municipal Code. In addition, the Public Works Director or Building Official may suspend all construction related activities for violation of any condition, restriction or prohibition set forth in these conditions until such time as it has been determined that all operations and activities are in conformance with these conditions.
11. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall ensure that a property owner's association, or an alternative means of management approved by the Planning and Development Director, is established for the purpose of maintaining all private streets, common areas and private utilities associated with this project. The documents, including any necessary Covenants, Conditions and Restrictions (CC&R's), shall be subject to the review and approval of the Land Development Division and shall be recorded concurrently.
 12. Prior to map recordation or issuance of a building permit, whichever occurs first, the developer shall finish the construction



Project Conditions City of Corona

or post security guaranteeing the construction of all public improvements. Said improvements shall include, but are not limited to, the following:

- a) All missing or deficient street facilities.
- b) All missing or deficient drainage facilities.
- c) All required grading, including erosion control.
- d) All required sewer, water and reclaimed water facilities.
- e) All required landscaping facilities.
- f) All under grounding of overhead utilities, except for cables greater than 32k volts.

13. All the grading design criteria shall be per City of Corona standards, Corona Municipal Code Title 15 Chapter 15.36 and City Council Ordinance Number 2568, unless otherwise approved by the Public Works Director.

14. Prior to approval of grading plans, the applicant shall submit two (2) copies of a soils and geologic report prepared by a Registered Engineer to the Land Development Division. The report shall address the soil's stability and geological conditions of the site. If applicable, the report shall also address: deep seated and surficial stability of existing natural slopes; modified natural slopes which are subject to fuel zones; manufactured slopes and stability along proposed daylight lines; minimum required setbacks from structures; locations and length of proposed bench drains, sub-drains or french drains; and any other applicable data necessary to adequately analyze the proposed development.

15. Prior to approval of grading plans, erosion control plans and notes shall be submitted and approved by the Land Development Division.

16. Prior to approval of grading plans, the applicant shall obtain a General Construction Activity Storm Water Permit from the State Water Resources Control Board in compliance with National Pollutant Discharge Elimination System (NPDES) requirements. Proof of filing a Notice of Intent (NOI) will be required by the City. The WDID # shall be displayed on the title sheet of the grading plans.

17. Prior to approval of grading plans, the applicant shall comply with the Federal Clean Water Act and shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The SWPPP shall be available at the project site for review.

18. Prior to issuance of grading permit or construction of any improvements, a letter will be required from a qualified botanist, plant taxonomist or field biologist specializing in native plants, stating that an investigation and/or eradication of scale broom weed (*Lepidospartum Squamatum*) has been completed.

19. Prior to the issuance of a grading permit the developer shall submit recorded slope easements or written letters of permission from adjacent landowners in all areas where grading is proposed to take place outside of the project boundaries.



Project Conditions

City of Corona

PUBLIC WORKS

2.
 20. Prior to issuance of building permits, the developer shall cause the civil engineer of record and soils engineer of record for the approved grading plans to submit pad certifications and compaction test reports for the subject lots where building permits are requested.
 21. Prior to release of grading security, the developer shall cause the civil engineer of record for the approved grading plans to submit a set of as-built grading plans with respect to Water Quality Control facilities.
 22. All City of Corona NPDES permit requirements for NPDES and Water Quality Management Plans (WQMP) shall be met per Corona Municipal Code Title 13 Chapter 13.27 and City Council Ordinance Numbers 2291 and 2828 unless otherwise approved by the Public Works Director.
 23. Prior to the issuance of a grading permit, a Final WQMP, prepared in substantial conformance with the approved Preliminary WQMP, shall be submitted to the Land Development Division for approval. Upon its final approval, the applicant shall submit one copy on a CD-ROM in PDF format. Changes to the project resulting from the Final WQMP infiltration testing results may cause the project to be resubmitted at the developer's expense.
 24. Prior to the issuance of the first Certificate of Occupancy, the applicant shall record Covenants, Conditions and Restrictions (CC&R's) or enter into an acceptable maintenance agreement with the City to inform future property owners to implement the approved WQMP.
 25. Prior to issuance of the first Certificate of Occupancy, the applicant shall provide proof of notification to the future occupants of all non-structural BMPs and educational and training requirements for said BMPs as directed in the approved WQMP.
 26. Prior to issuance of Certificate of Occupancy, the applicant shall ensure all structural post construction BMPs identified in the approved project specific Final WQMP are constructed and operational.
 27. All the drainage design criteria shall be per City of Corona standards and the Riverside County Flood Control and Water Conservation District standards unless otherwise approved by the Public Works Director.
 28. Prior to map recordation or approval of any improvement plans, the applicant shall submit a detailed hydrology study. Said study shall include the existing, interim and the ultimate proposed hydrologic conditions including key elevations, drainage patterns and proposed locations and sizes of all existing and proposed drainage devices. The hydrology study shall present a full breakdown of all the runoff generated on- and off-site.
 29. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall address the following: The project drainage design shall be designed to accept and properly convey all on- and off-site drainage flowing on or through the site. The project drainage system design shall protect downstream properties from any damage caused by alteration of drainage patterns such as concentration or diversion of flow. All non-residential lots shall drain toward an approved water quality or drainage facility. Once onsite drainage has been treated it may continue into an approved public drainage facility or diverted through under-sidewalk parkway drains.



Project Conditions

City of Corona

PUBLIC WORKS

3.

30. Street design criteria and cross sections shall be per City of Corona standards, approved Specific Plan design guidelines and the State of California Department of Transportation Highway Design Manual unless otherwise approved by the Public Works Director.

31. Prior to map recordation or issuance of a building permit, whichever comes first, the applicant shall offer for dedication any missing street rights-of-way. Said dedication shall continue in force until the City accepts or abandons such offers. All dedications shall be free of all encumbrances and approved by the Public Works Director.

32. Prior to map recordation, the applicant shall release and relinquish all vehicular access rights to the City of Corona along Temescal Canyon Road, except at approved intersections.

33. Prior to map recordation or approval of improvement plans, the improvement plans submitted by the applicant shall include the following:

- a) All streets and driveways shall conform to the applicable City of Corona standards.
- b) Under grounding of existing and proposed utility lines.
- c) All other public improvements shall conform to City of Corona standards.

34. Prior to approval of improvement plans, the improvement plans shall show all the streets to be improved to half width plus ten (10) additional feet unless otherwise approved by the Public Works Director. At the discretion of the applicant, the existing pavement maybe cored to confirm adequate section and R values during the design process and any findings shall be incorporated into the project design. Therefore improvements may include full pavement reconstruction, grind and overlay, or slurry seal. All striping shall be replaced in kind.

35. Prior to release of public improvement security, the developer shall cause the civil engineer of record for the approved improvement plans to submit a set of as-built plans for review and approval by the Public Works Department.

36. Prior to acceptance of improvements, the Public Works Director may determine that aggregate slurry, as defined in the Standard Specifications for Public Works Construction, may be required one year after acceptance of street(s) by the City if the condition of the street(s) warrant its application. All striping shall be replaced in kind. The applicant is the sole responsible party for the maintenance of all the improvements until said acceptance takes place.

37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.

38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

39. The City of Corona Department of Water and Power shall provide electric service to the development, subject to availability as determined by the Department of Water and Power.



Project Conditions

City of Corona

PUBLIC WORKS

4. 40. The electric distribution system shall be designed, procured and installed in accordance with City of Corona Department of Water and Power Electric Distribution Standards and Service Requirements.
41. All the potable water, reclaimed water, and sewer design criteria shall be per City of Corona Department of Water and Power standards and Riverside County Department of Health Services Standards unless otherwise approved by the Public Works and Department of Water and Power Directors.
42. Prior to map recordation or improvement plan approval, the developer shall relocate the existing water line through Parcel 2 to be within the proposed drive aisle, subject to the approval of the Department of Water and Power. If the water line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
43. Prior to map recordation or improvement plan approval, the developer shall relocate the existing sewer through Parcel 2 subject to the approval of the Department of Water and Power. If the sewer line will be abandoned, then the Parcel Map shall include the abandonment of any applicable easement.
44. Prior to issuance of any building permits, a domestic water and fire flow system shall be approved by the Public Works Department and constructed by the developer, to the satisfaction of the Public Works Director and Fire Chief.
45. Prior to improvement plans approval, the applicant shall ensure that all water meters, fire hydrants or other water appurtenances shall not be located within a drive aisle or path of travel.
46. Prior to issuance of any building permits, the developer shall pay all water and sewer fees, including but not limited to connection fees, wastewater treatment fees, sewer capacity fees and all other appropriate water and sewer fees.
47. Prior to map recordation or approval of improvement plans, the applicant shall submit a sewer study, prepared by a registered civil engineer, to the Land Development Division and Department of Water and Power for review and approval. The study shall analyze the existing and proposed sewer facilities. Results of the system analysis may require special construction for sewer systems, such as upsizing downstream sewer lines, monitoring systems, and construction of other appurtenances as necessary to serve the proposed development. Effects of the proposed development, engineering analysis and special construction requirements shall be submitted for review and approval by the Land Development Division and the Department of Water and Power. The developer shall be responsible for the design and construction of any recommendations in the approved study.
48. Prior to building permit issuance, the applicant shall construct or guarantee the construction of all required public improvements including but not limited to, the potable water line, sewer line, reclaimed water line, potable water services, sewer laterals, reclaimed water services, double detector check assemblies and reduced pressure principle assemblies within the public right of way and-or easements.
49. The applicant shall dedicate easements for all public water, reclaimed water, sewer and electric facilities needed to serve the project in accordance the Department of Water and Power standards. The minimum easement width shall be 20 feet for one utility and 30 feet for more than one public utility facility. All public water and sewer facilities shall be provided a minimum 20 foot wide paved access road unless otherwise approved by the General Manager. Structures and trees shall not be constructed or installed within a public utility easement.



Project Conditions

City of Corona

PUBLIC WORKS

5. 50. Prior to map recordation or building permit issuance, whichever comes first, the applicant shall construct or guarantee the construction of a private fire system with double detector check assemblies at all public fire services to the satisfaction of the Department of Water and Power and Fire Chief.
51. Fire Hydrants shall be a maximum 250-300 feet apart or as directed by the Fire Department.
52. Manhole rim elevations shall be lower than all pad elevations immediately downstream. Otherwise a back flow prevention valve will be required.
53. Static pressures exceeding 80 psi require an individual pressure regulator.
54. The applicant shall provide a separate irrigation water service for each parcel and/ or all HOA landscaped lots, easements, or common areas as required by the Department of Water and Power.
55. Reclaimed water shall be used for any construction activity unless otherwise approved by the Department of Water and Power. Prior to obtaining a reclaimed construction meter from the City, a Reclaimed Water Application shall be submitted for the contractor to receive certification to handle reclaimed water.
56. Prior to map recordation the applicant shall prepare a disclosure statement indicating that the property is subject to CC&Rs, within a Community Facilities District and/ or Landscape Maintenance District, and will be subject to an annual levy. The disclosure statement shall be submitted to the Land Development Division for review and approval and shall be recorded concurrently with the final map.
57. Prior to issuance of a Certificate of Occupancy, all proposed parkway, slope maintenance, and/or median landscaping on the plans or in these Conditions of Approval shall be constructed.
58. Prior to the issuance of a Certificate of Occupancy, any damage to existing landscape easement areas due to project construction shall be repaired or replaced by the developer, or developer's successors in interest, at no cost to the City of Corona.
59. Prior to map recordation, issuance of a building permit and/or issuance of a Certificate of Occupancy, the applicant shall pay all development fees, including but not limited to Development Impact Fees (DIF) per City Municipal Code 16.23 and Transportation Uniform Mitigation Fees (TUMF) per City Municipal Code 16.21. Said fees shall be collected at the rate in effect at the time of fee collection as specified by the current City Council fee resolutions and ordinances.

PARCEL MAP 37221

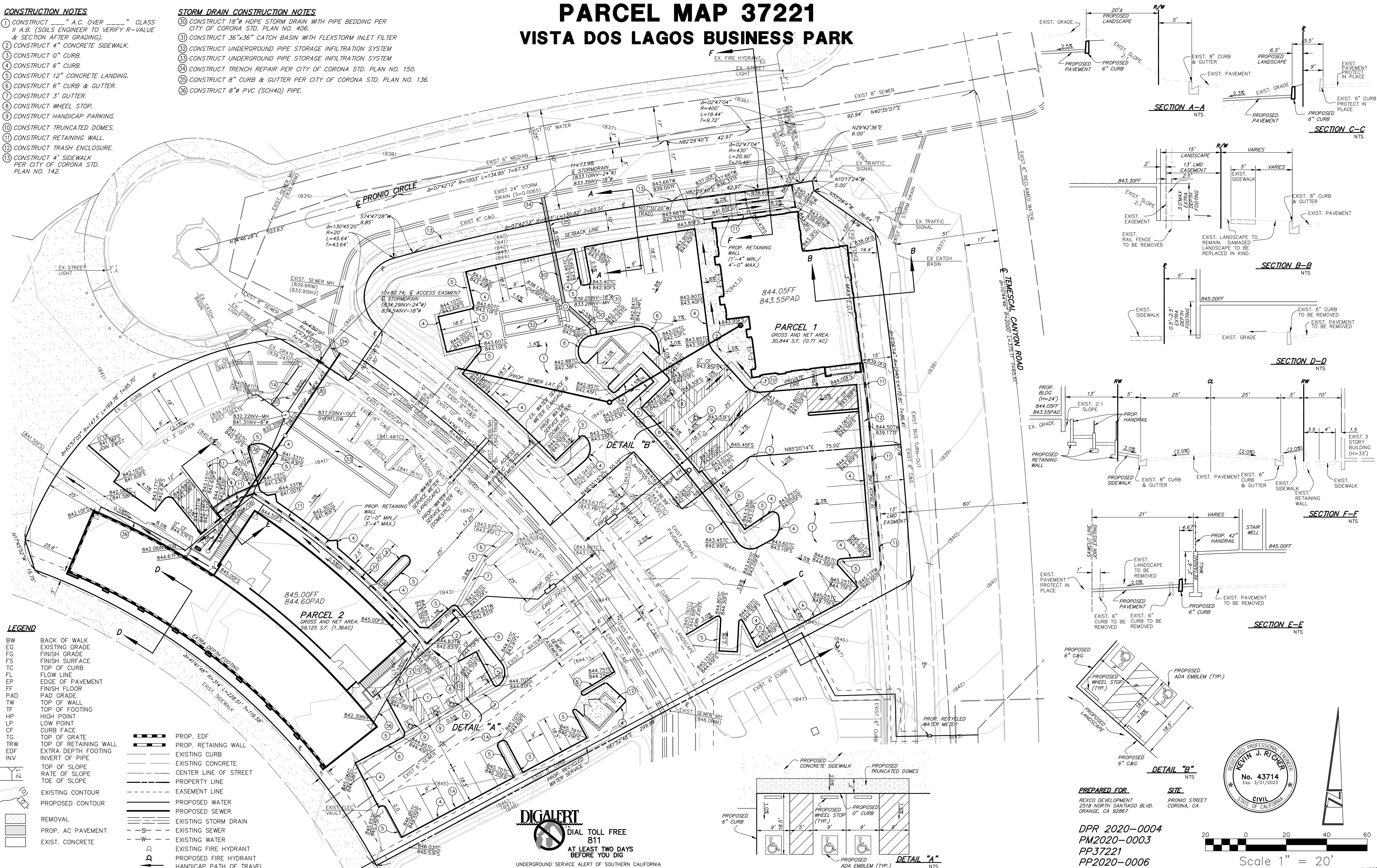
VISTA DOS LAGOS BUSINESS PARK

CONSTRUCTION NOTES

1. CONSTRUCT 18" A.C. OVER CLASS II A.B. (SOILS ENGINEER TO VERIFY R-VALUE & SECTION AFTER GRADING).
2. CONSTRUCT 4" CONCRETE SIDEWALK.
3. CONSTRUCT 0" CURB.
4. CONSTRUCT 6" CURB.
5. CONSTRUCT 12" CONCRETE LANDING.
6. CONSTRUCT 6" CURB & GUTTER.
7. CONSTRUCT 3" GUTTER.
8. CONSTRUCT WHEEL STOP.
9. CONSTRUCT HANDICAP PARKING.
10. CONSTRUCT TRUNCATED DOMES.
11. CONSTRUCT RETAINING WALL.
12. CONSTRUCT TRASH ENCLOSURE.
13. CONSTRUCT 4" SIDEWALK PER CITY OF CORONA STD. PLAN NO. 142.

STORM DRAIN CONSTRUCTION NOTES

30. CONSTRUCT 18" HDPE STORM DRAIN WITH PIPE BEDDING PER CITY OF CORONA STD. PLAN NO. 406.
31. CONSTRUCT 36"x36" CATCH BASIN WITH FLEXSTORM INLET FILTER.
32. CONSTRUCT UNDERGROUND PIPE STORAGE INFILTRATION SYSTEM.
33. CONSTRUCT UNDERGROUND PIPE STORAGE INFILTRATION SYSTEM.
34. CONSTRUCT TRENCH REPAIR PER CITY OF CORONA STD. PLAN NO. 150.
35. CONSTRUCT 8" CURB & GUTTER PER CITY OF CORONA STD. PLAN NO. 136.
36. CONSTRUCT 8" PVC (SCH40) PIPE.



LEGEND

- | | | | |
|-----|-----------------------|-----|-------------------------|
| BW | BACK OF WALK | --- | PROP. EDF |
| EG | EXISTING GRADE | --- | PROP. RETAINING WALL |
| FG | FINISH GRADE | --- | EXISTING CURB |
| FS | FINISH SURFACE | --- | EXISTING CONCRETE |
| TC | TOP OF CURB | --- | CENTER LINE OF STREET |
| FL | FLOW LINE | --- | PROPERTY LINE |
| EP | EDGE OF PAVEMENT | --- | EASEMENT LINE |
| FF | FINISH FLOOR | --- | PROPOSED WATER |
| PAD | PAD GRADE | --- | PROPOSED SEWER |
| TW | TOP OF WALL | --- | EXISTING STORM DRAIN |
| TF | TOP OF FOOTING | --- | EXISTING SEWER |
| HP | HIGH POINT | --- | EXISTING WATER |
| LP | LOW POINT | --- | EXISTING FIRE HYDRANT |
| CF | CURB FACE | --- | PROPOSED FIRE HYDRANT |
| TG | TOP OF GRADE | --- | HANDICAP PATH OF TRAVEL |
| TRW | TOP OF RETAINING WALL | --- | |
| EDF | EXTRA DEPTH FOOTING | --- | |
| INV | INVERT OF PIPE | --- | |
| | TOP OF SLOPE | --- | |
| | RATE OF SLOPE | --- | |
| | TOE OF SLOPE | --- | |
| | EXISTING CONTOUR | --- | |
| | PROPOSED CONTOUR | --- | |
| | REMOVAL | --- | |
| | PROP. AC PAVEMENT | --- | |
| | EXIST. CONCRETE | --- | |

DIAL TOLL FREE 811
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

LAND DEVELOPMENT DESIGN COMPANY, LLC 2313 E. PHILADELPHIA ST., UNIT F ONTARIO, CA 91761 (909) 930-1466 FAX (909) 930-1468 PLANNING • CIVIL • SURVEYING	Designed by KJR	Drawn by JCQ	Checked by KJR	PLANS PREPARED UNDER SUPERVISION OF KEVIN J. RICHER R.C.E. No. 43714 Exp. 3-31-23	Reference plans for these improvements	Date	By	REVISIONS	App'd	BENCH MARK USC&GS B.M. #5316 ELEV. = 907.518 FT Scale 1" = 20'	Engineering Planning Fire	Approved by: Savat Khamphou City Engineer R.C.E. No. 62019	Date	CITY OF CORONA PRELIMINARY GRADING PLAN PRONIO BUSINESS PARK	Drawing No. JN4925 Sh. 1 of 1

R2020-0004



LAKESIDE BLDG

DOS LAGOS COMMERCIAL

CORONA, CA

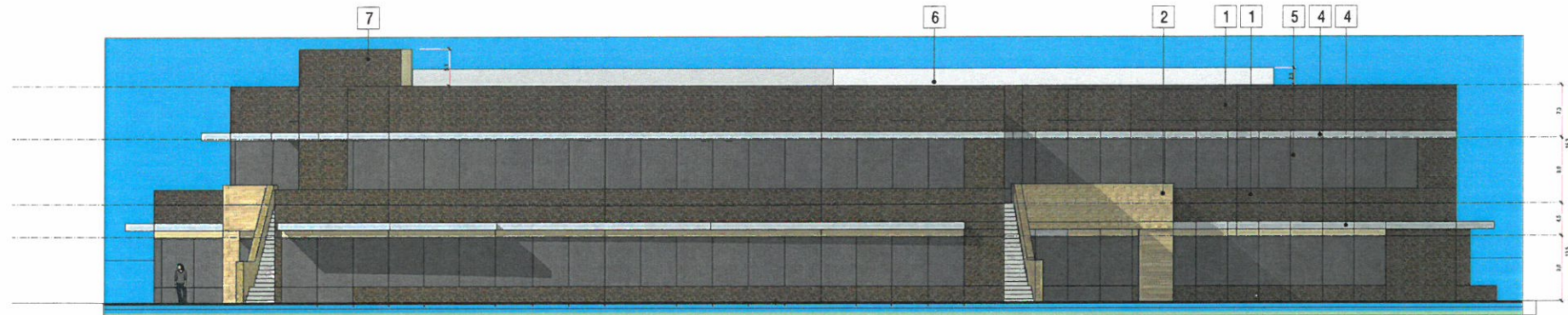
REXCO
DEVELOPMENT

© 2020 WILLIAM HEZMALHALCH ARCHITECTS, INC. dba WHA.

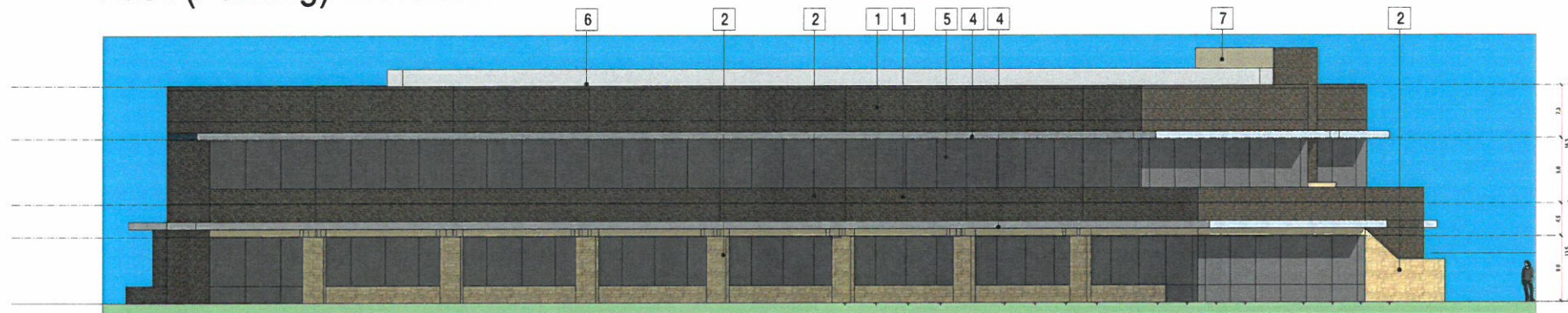
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ARCHITECTS . PLANNERS . DESIGNERS

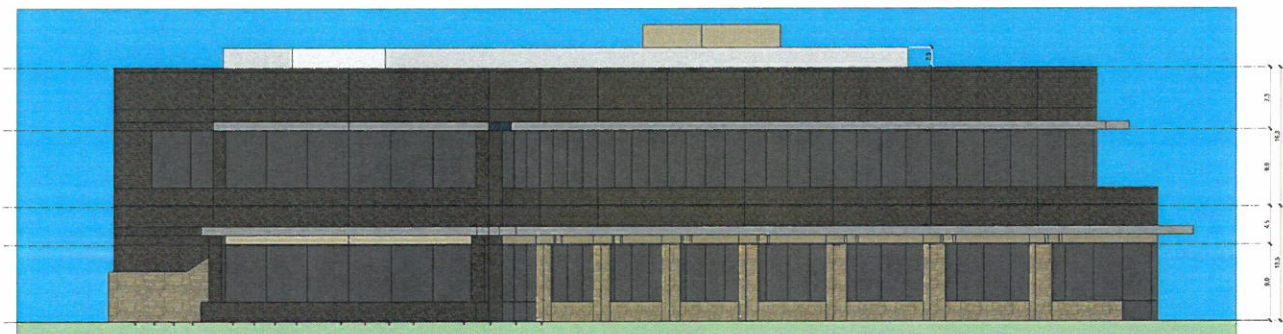
WHA.
EXHIBIT 3.E



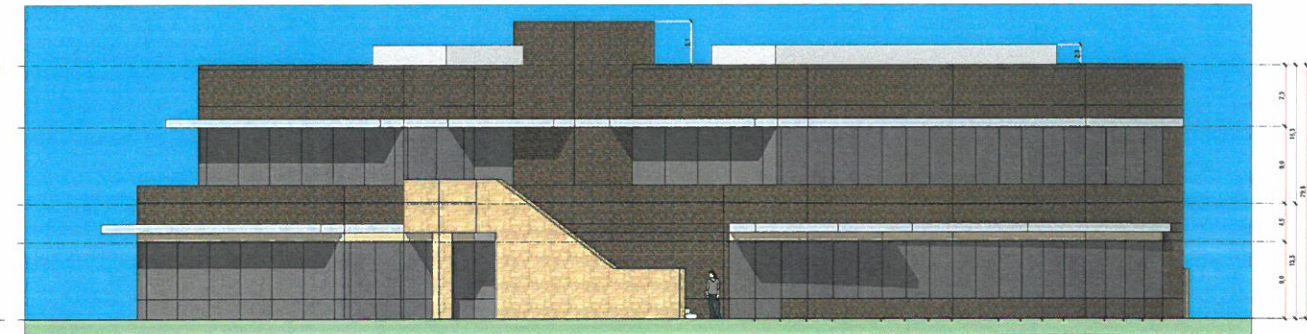
East (Parking) Elevation



West (Lake) Elevation



South Elevation



North Elevation

ELEVATION NOTES

- 1 BRICK VENEER
- 2 STONE PANEL ACCENT
- 3 STONE PILASTER
- 4 CLEAR ALUM. FINISH HEADER & SUN CANOPIES
- 5 TINTED GRAYLITE GLASS
- 6 ROOF-MOUNTED MECH EQUIPMENT BEHIND PARAPET OR MECH SCREEN, SET BACK FROM PERIMETER
- 7 ELEVATOR OVERRIDE

VISTA DOS LAGOS

SUMMA
ARCHITECTURE
www.summarch.com
5256 South Mission Road
Suite 404
Bonsall CA 92003
760.724.1196

Owner:
REXCO
DEVELOPMENT
2518 NORTH SANTIAGO BLVD.
ORANGE, CA 92867

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA



WEST ELEVATION SCALE: 1/4"=1'-0" 2



SOUTH ELEVATION SCALE: 1/4"=1'-0" 1

1. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PARAGARDED WITH RATED GYP-BO PRIOR TO SOFFIT INSTALLATION.	10. ALL BUILDING DOWNSPOUTS TO DISCHARGE PER CIVIL DRAWINGS.	11. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER SYSTEMS LOCATE WHERE INDICATED ON ELEVATIONS. IN AREAS NOT ELEVATED, INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS & NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCES BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2:1 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 14/AD1.0.	12. PARAPET: METAL CORING AT CAP.	13. STUCCO SOFFIT (IF/WH WHERE OCCURS): EPS FOAM TRIM OF BROWN COAT SAND FINISH PLASTER.	14. OPEN WEB ROOF TRUSSES: BY OTHER, REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.	15. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.
2. REFER TO DETAIL SHEETS FOR RISE PARTITION CONSTRUCTION DETAILS AND NOTES.	11. STRUCTURAL MEMBERS SHOWN IN ARCHITECTURAL SECTIONS ARE DIAGNOSTIC AND SHOULD NOT BE RELIED UPON AS AN ACTUAL REPRESENTATION OF STRUCTURAL MEMBERS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC LOCATIONS AND SIZES.	13. HORIZONTAL & VERTICAL CONTROL JOINTS IN EXTERIOR CEMENT PLASTER SYSTEMS LOCATE WHERE INDICATED ON ELEVATIONS. IN AREAS NOT ELEVATED, INSTALL TO SEGREGATE AREAS NOT EXCEEDING MORE THAN 144 SQ. FT. ON WALLS & NOT MORE THAN 100 SQ. FT. ON HORIZONTAL APPLICATIONS. DISTANCES BETWEEN JOINTS SHALL NOT EXCEED 18 FEET IN EITHER DIRECTION OR A LENGTH-TO-WIDTH RATIO OF 2:1 TO 1. HORIZONTAL JOINTS SHALL WRAP OUTSIDE CORNERS AND RETURN TO THE NEAREST INSIDE CORNER ALONG WALLS THAT RETURN TO A SURFACE BEYOND. REFER TO DETAIL 14/AD1.0.	14. PARAPET: METAL CORING AT CAP.	15. STUCCO SOFFIT (IF/WH WHERE OCCURS): EPS FOAM TRIM OF BROWN COAT SAND FINISH PLASTER.	16. OPEN WEB ROOF TRUSSES: BY OTHER, REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.	17. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.
3. DUCT TERMINATION TO OCCUR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT PER C.F.C.	12. COLORS AND FINISH MATERIALS INDICATE APPROPRIATE COLOR AND MATERIAL RANGE. THE CONTRACTOR WILL PROVIDE FIELD MOCKUPS IN THE QUANTITIES INDICATED OF THE ACTUAL FINISH MATERIALS IN THE TEXTURE, COLOR AND FOR SERIES SPECIFIED. CLIENT AND ARCHITECT WILL REVIEW COMMENT AND FOR APPROVE MOCKUPS PRIOR TO INSTALLATION OF MATERIAL ON BUILDING.	14. INSTALL EXTERIOR WALL PENETRATIONS INCLUDING A/C UNITS, GAS LINE PENETRATIONS, AND SIMILAR WALL VENTS PER DETAIL 12/AD1.3 OR 14/AD1.3 AS APPLICABLE.	15. STUCCO SOFFIT (IF/WH WHERE OCCURS): EPS FOAM TRIM OF BROWN COAT SAND FINISH PLASTER.	16. OPEN WEB ROOF TRUSSES: BY OTHER, REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.	17. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.	18. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.
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NOTES

KEYNOTES

NOVEMBER 11, 2020
Revisions

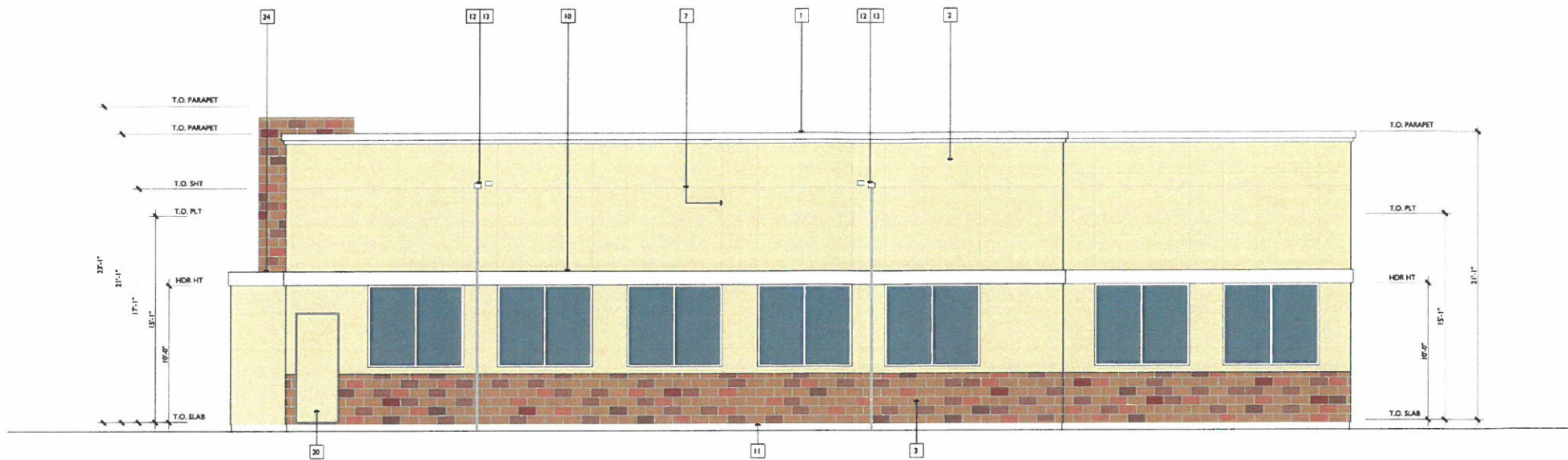
It is the client's responsibility to ensure that the information provided in this drawing is accurate and complete. The client shall be responsible for any errors or omissions in the information provided. The client shall be responsible for any changes or modifications to the information provided. The client shall be responsible for any delays or interruptions in the information provided. The client shall be responsible for any costs or expenses incurred in the information provided. The client shall be responsible for any damages or losses incurred in the information provided. The client shall be responsible for any legal or regulatory requirements in the information provided. The client shall be responsible for any safety or health concerns in the information provided. The client shall be responsible for any environmental or sustainability concerns in the information provided. The client shall be responsible for any social or community concerns in the information provided. The client shall be responsible for any ethical or moral concerns in the information provided. The client shall be responsible for any other concerns in the information provided.

LICENSURE ARCHITECT
JAMES J. JAMES
No. C 20358
RENEWAL DATE
JAN 31, 2021

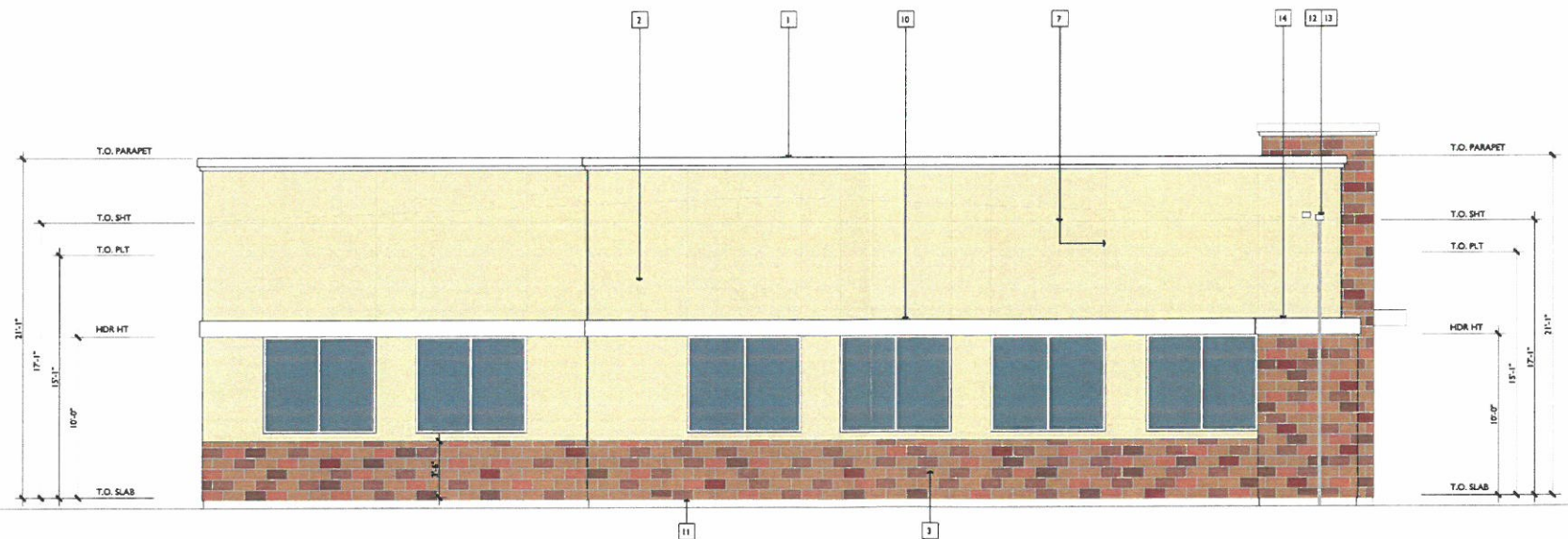
BUILDING
EXTERIOR
ELEVATIONS

EXHIBIT 3.F

VISTA DOS LAGOS



EAST ELEVATION SCALE: 1/4" = 1'-0" 2



NORTH ELEVATION SCALE: 1/4" = 1'-0" 1

1. ALL STUD WALLS & CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYP-90 PRIOR TO SOFFIT INSTALLATION.
2. REFER TO DETAIL SHEETS FOR FIRE PARTITION CONSTRUCTION DETAILS AND NOTES.
3. DUCT TERMINATION TO OCCUR MINIMUM 3'-0" FROM WINDOW OR DOOR OPENINGS INTO DWELLING UNIT PER C.M.C.
4. ALL DIMENSIONS SHOWN ARE FROM TOP OF FINISH FLOOR SLAB AT FIRST FLOOR.
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6. REFER TO DETAIL FOR MINIMUM WINDOW AND DOOR MOISTURE BARRIER INSTALLATION REQUIREMENTS.
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14. INSTALL EXTERIOR WALL PENETRATIONS INCLUDING A/C LINESET, GAS LINE PENETRATION AND SIMILAR WALL VENTS PER DETAIL 12(A)1.3 OR 12(B)1.3 AS APPLICABLE.
15. INSTALL SELF-ADHESIVE MEMBRANE FLASHING OVER ALL SEISMIC STRAPS PRIOR TO APPLICATION OF BUILDING PAPER.
16. PROVIDE INSULATION PER TITLE 24 SHEETS.

1. PARAPET METAL COPING AT CAP.
2. EXTERIOR PLASTER SYSTEM: MIN. 3/8" THICK OF GRADE "D" PER. BLDG PAPER, PROVIDE (2) LAYERS OF BUILDING PAPER OVER WOOD SHEATHING RECEIVING EXTERIOR PLASTER. 1620 SAND FLOAT FINISH W/ 100% ACRYLIC PAINT. PROVIDE SAMPLE FOR REVIEW & APPROVAL BY ARCHITECT.
3. ADHERED BRICK VENEER: 1/2" THICK BRICK VENEER OVER SCRATCH COAT INSTALLED PER MFR. SPEC. PROVIDE SAMPLE FOR REVIEW AND APPROVAL BY ARCHITECT.
4. EXTERIOR WALLS:
5. STAIRSPRINT OPENING: REFER TO DOOR SCHEDULE ON SHEET A-5CH1. REFER TO FLOOR PLAN FOR OPERABLE DOOR LOCATIONS. PROVIDE FLASHING PER DETAIL 12(A)1.3.
6. CONTROL JOINTS:
7. RETAIL STORAGE AREA: SEPARATE APPROVAL AND PERMIT REQUIRED. PROVIDE ELECTRICAL FOR FUTURE LIGHTING.

9. STUCCO SOFFIT (TRIM WHERE OCCURS): EPS FOAM TRIM OR BROWN COAT SAND FINISH PLASTER.
10. FOAM TRIM: EPS SHAPED FOAM OR BROWN COAT AND SMOOTH FINISH.
11. FOUNDATION SCREENS: REFER TO EXTERIOR ELEVATIONS FOR CONDITIONS WHERE OCCURS.
12. SCUPPER WITH OVERFLOW:
13. DOWNSPOUT: RECTANGULAR PRE-FINISHED ALUM. DOWNSPOUT. OUTLET PER CIVIL PLANS.
14. EXTERIOR SHELF:
15. BUILDING INSULATION: REFER TO NOTE #16 AND ENERGY FORMS FOR INSULATION AND ENERGY COMPLIANCE REQUIREMENTS.
16. CONCRETE SLAB: REFER TO STRUCTURAL DRAWINGS.

17. OPEN WEB & ROOF TRUSSES: BY OTHER. REFER TO STRUCTURAL DRAWINGS. CEILING NOT TO BE ENCLOSED.
18. BUILT UP ROOFING: REFER TO ROOF PLAN.
19. ROOF ACCESS LADDER: REFER TO ROOF PLAN.
20. EXTERIOR METAL DOOR: REFER TO DOOR SCHEDULE ON SHEET A-5CH1.
21. FIRE RISER ROOM: VERIFY LOCATIONS WITH PLUMBING AND FIRE SPRINKLER PLANS.
22. ELECTRICAL: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
23. HIDE: VERIFY LOCATION WITH ELECTRICAL PLANS AND UTILITY COMPANY.
24. EXTERIOR SHELF AT UTILITIES:
25. GAS METERS:

26. A/C CONDENSER UNITS: LOCATION OF FUTURE RETAIL A/C CONDENSERS UNITS ON COMPRESSOR ISOLATION RAILS.
- 27.
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- 32.
- 33.
- 34.

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NOTES

KEYNOTES

VISTA DOS LAGOS RETAIL
TEMESCAL CANYON ROAD
CORONA, CALIFORNIA

NOVEMBER 11, 2020
Revisions

I, the client, hereby authorize the architect to prepare and submit to the building department a set of plans and specifications for the construction of the building described herein. The architect shall be responsible for the accuracy and completeness of the plans and specifications. The client shall be responsible for the accuracy and completeness of the information provided to the architect.



BUILDING EXTERIOR ELEVATIONS
AA-5



Front From Southwest (from Parking)



From Northeast, Corner of Temescal & Pronio

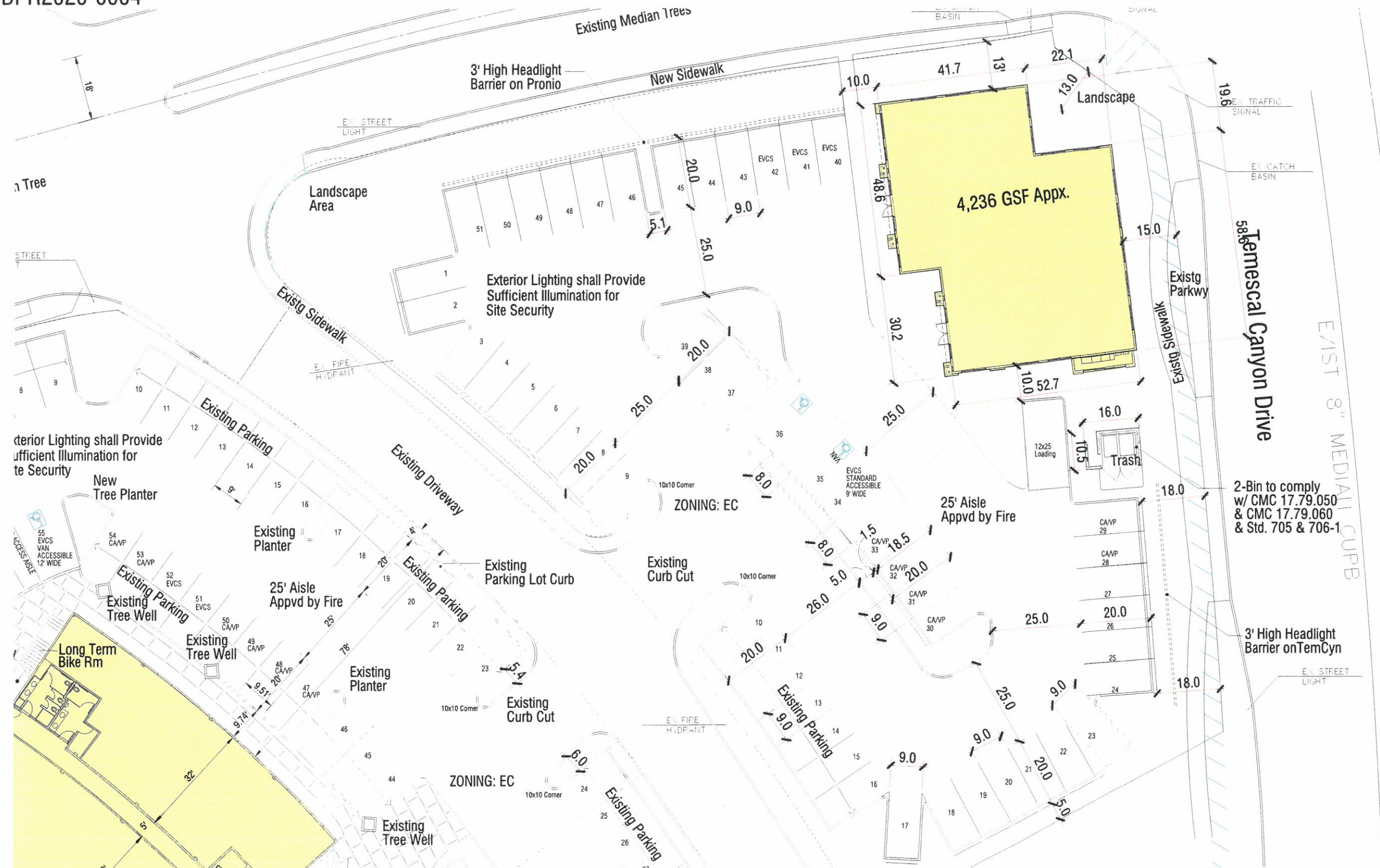


From North - Prono Drive



Front From West (from Parking)

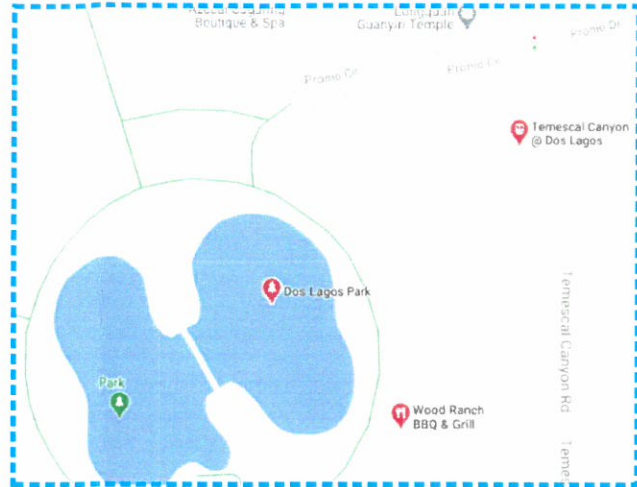




CORNER BLDG #2 FLOOR PLAN

Scope of Work

- A** NEW S/F NON-ILLUM. MONUMENT SIGN
- B** NEW S/F NON-ILLUM. WAYFINDING SIGN



VICINITY MAP

NOTE:
ALL NEW SIGNAGE TO CONNECT
TO CLIENT PROVIDED ELECTRICAL
CIRCUITS

REXCO CORONA - CORONA, CA. - SITE PLAN
SCALE: 1" = 60'-0"

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National Sign & Marketing Corporation
13580 5th St., Chino, CA 91710
Tel 909.591.4742 Fax 909.591.9792
e-mail : sales@nsmc.com
Lic# 745030 - Exp. 01/31/22

Project: REXCO CORONA - Vista Dos Lagos
Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval: _____
Date: _____

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

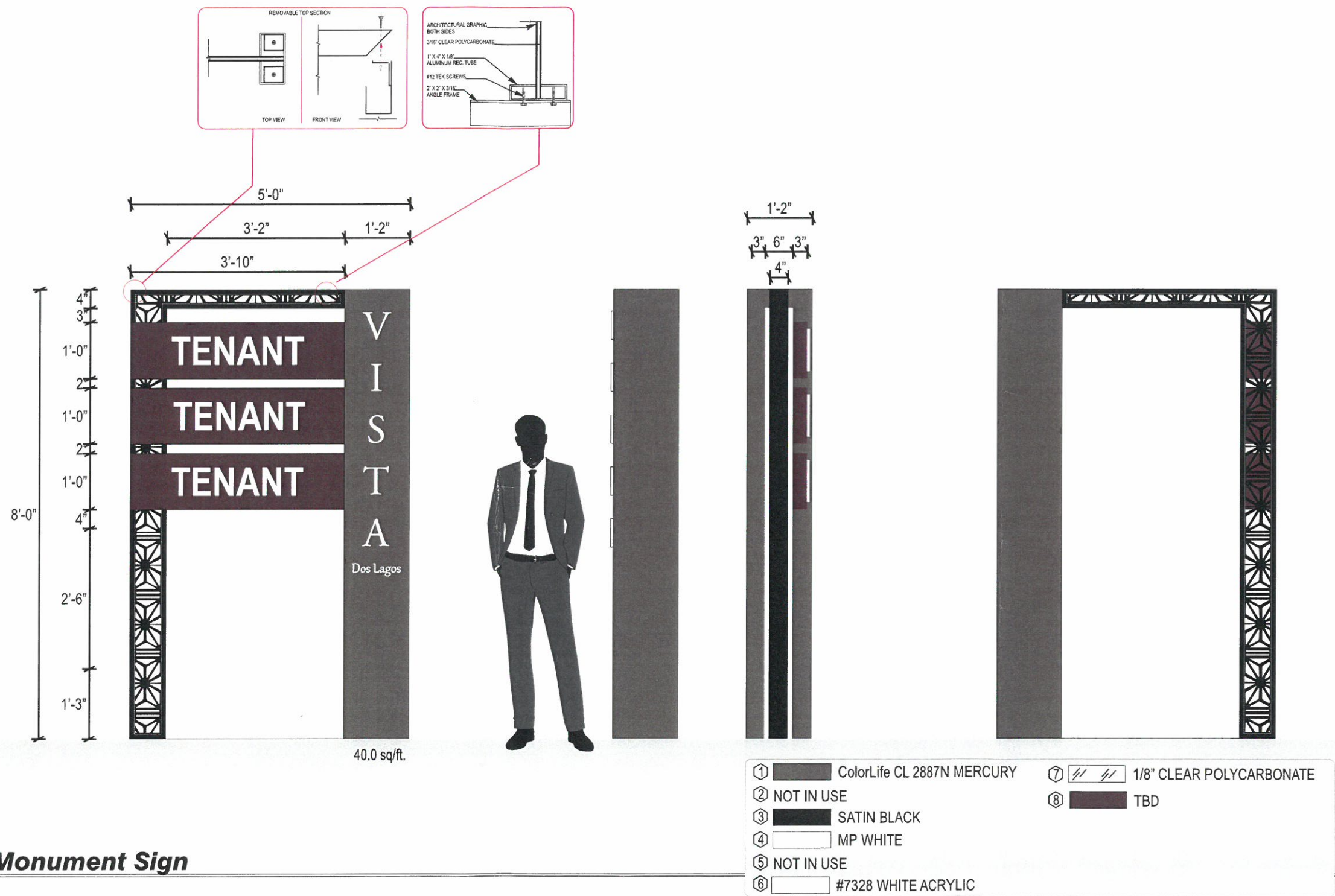
Drawing Number
29064

VISEO
ELECTRONIC SIGNS

EXHIBIT 3.H

Specifications:

MAIN CABINET	
MAIN CABINET:	2" X 2" X 3/16" ALUMINUM ANGLE FRAME SKINNED WITH .063 ALUMINUM WITH LIGHT TEX-COTE FINISH PAINTED 4 DIFFERENT PROJECT COLORS AS SHOWN WITH 1/2" WHITE ACRYLIC COPY STUD MOUNTED TO PANELS. CENTER ID LOGO TO BE DIGITAL PRINT APPLIED FIRST SURFACE
COPY:	"VISTA" 1/2" ACRYLIC #7328 FCO "DOS LAGOS" TO BE ROUTED OUT WITH WHITE ACRYLIC BACK UP.
ARCHITECTURAL GRAPHIC	
LATTICE:	D/F .090 ROUTED OUT ALUMINUM BETWEEN 1" X 4" X 1/8" ALUMINUM REC. FRAME PAINTED SATIN BLACK WITH SMOOTH FINISH WITH A CLEAR POLYCARBONATE PANEL SANDWICHED IN BETWEEN.
TENANT PANELS	
TENANTS:	3" DEEP X .080" PAN FORMED FACES PAINTED BURGANDY (TBD) SMOOTH FINISH WITH 1/2" WHITE ACRYLIC COPY STUD MOUNTED TO PANELS



A NEW S/F NON-ILLUM. MAIN ENTRY SIGN

New S/F Non-Illuminated Monument Sign

SCALE: 1/2" = 1'-0"

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13580 5th St., Chino, CA 91710
Tel 909.591.4742 Fax 909.591.9792
e-mail : sales@nsmc.com
Lic# 745030 - Exp. 01/31/22

Project: REXCO CORONA - Vista Dos Lagos
Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval: _____
Date: _____
This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

Drawing Number
29064

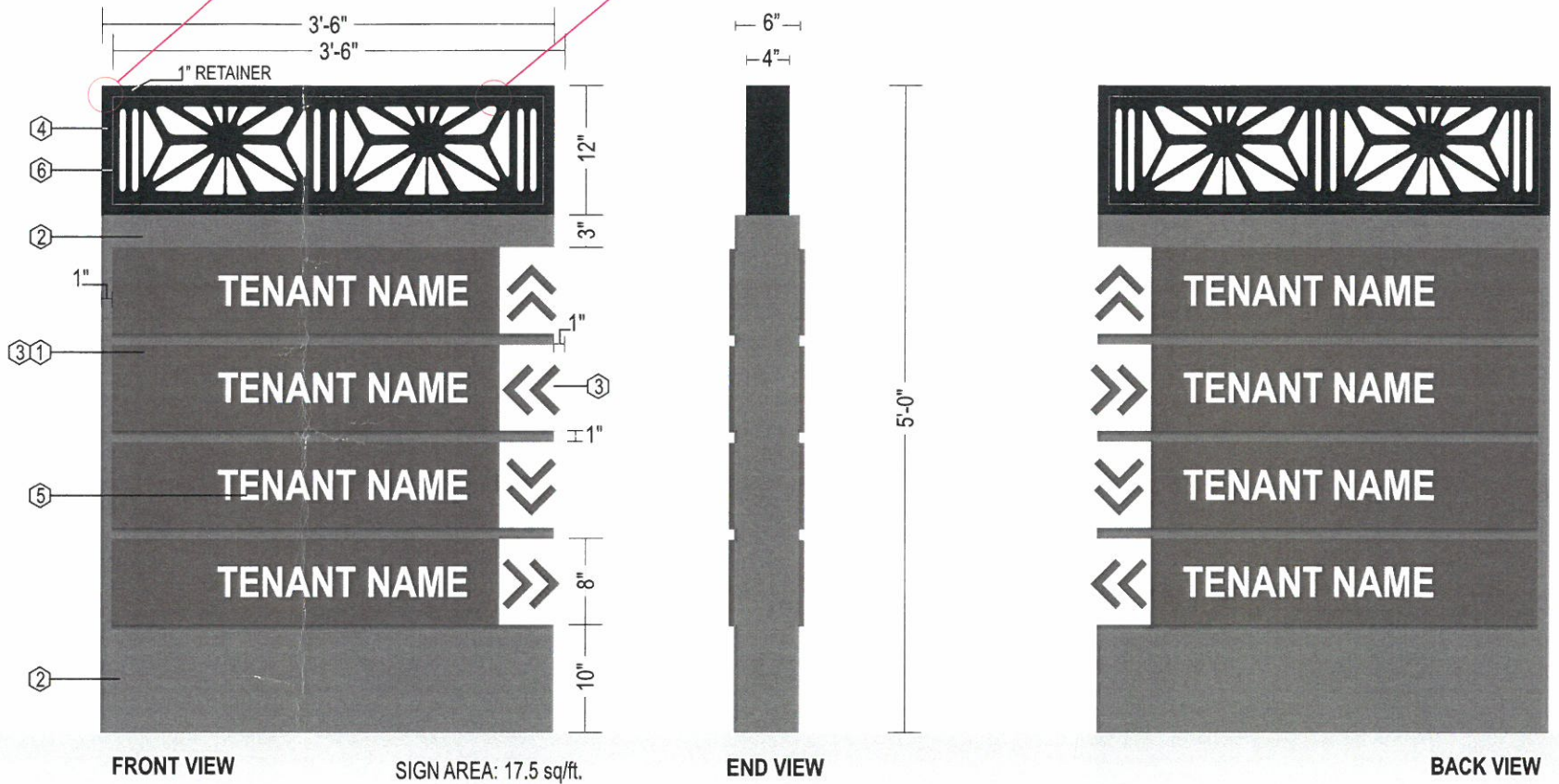
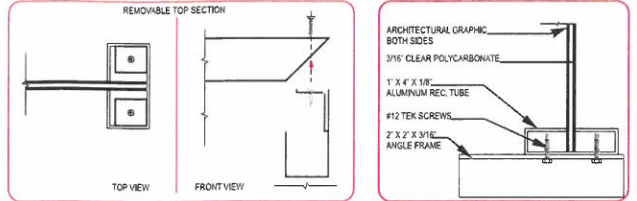
VISEO
ELECTRONIC SIGNS

Specifications:

MAIN CABINET	
MAIN CABINET:	1.5" X 1.5" X 1/8" ALUMINUM ANGLE FRAME SKINNED WITH .063 ALUMINUM WITH LIGHT TEX-COTE FINISH PAINTED DIFFERENT COLORS AS SHOWN.
DECORATIVE MESH ELEMENT	
LATTICE:	D/F .090 ROUTED OUT ALUMINUM BETWEEN 2" X 4" X 1/8" ALUMINUM REC. FRAME PAINTED SATIN BLACK WITH SMOOTH FINISH WITH A CLEAR POLYCARBONATE PANEL SANDWICHED IN BETWEEN.
TENANT PANELS	
TENANTS:	1/2" WHITE ACRYLIC PAINTED AS SHOWN WITH 3M WHITE VINYL AND ARROW GRAPHICS APPLIED FIRST SURFACE. STUD MOUNTED TO SIGN FACE.

ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS

- ① ColorLife CL 2887N MERCURY
- ② ColorLife CL 3216A BRAINCHILD
- ③ #7328 WHITE ACRYLIC
- ④ SATIN BLACK
- ⑤ 3M 7725-10 WHITE VINYL
- ⑥ 3M 7725-12 BLACK VINYL



B NEW D/F NON-ILLUM. WAYFINDING SIGN

NEW D/F NON-ILLUMINATED WAYFINDING SIGN

SCALE: 3/4" = 1'-0"

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY NSMC. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF NSMC



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Tel 909.591.4742 Fax 909.591.9792
e-mail : sales@nsmc.com
Lic# 745030 - Exp. 01/31/22

Project: REXCO CORONA - Vista Dos Lagos

Address: DOS LAGOS DR. & TEMESCAL CANYON RD. CORONA, CA 92883


Phone: _____ **Account Mgr.** S. Rosenbloom

Designer: Araiza, G. **Scale:** Noted **Date:** 02/02/2021

Client Approval:

Date: _____

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

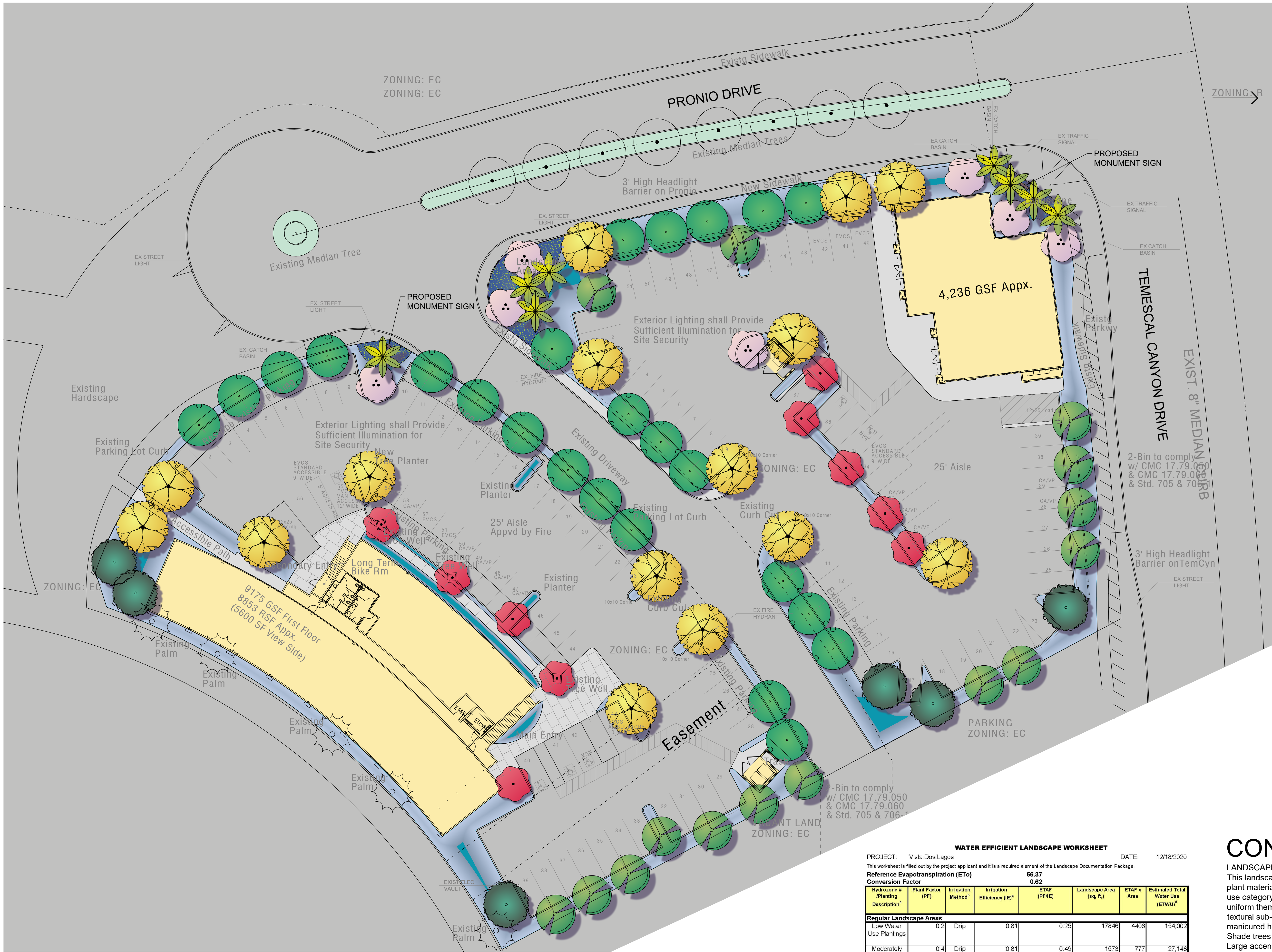


Drawing Number

29064



VISEO
ELECTRONIC SIGNS



TREE PALETTE			
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	LAGERSTROEMIA INDICA 'GLENDDORA WHITE' GLENDDORA WHITE CRAPE MYRTLE MULTI-TRUNK	48"BOX	M
	LAGERSTROEMIA X 'TUSCARORA' RED CRAPE MYRTLE	36"BOX	M
	PHOENIX DACTYLIFERA DATE PALM	18' BTH	L
	PLATANUS X ACERIFOLIA 'BLOODGOOD' LONDON PLANE TREE	36"BOX	M
	QUERCUS AGRIFOLIA COAST LIVE OAK	48"BOX	L
	RHUS LANCEA AFRICAN SUMAC	15 GAL	L
	TRISTANIA CONFERTA BRISBANE BOX	24"BOX	M
EXISTING TREES TO REMAIN	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	LAGERSTROEMIA SP. CRAPE MYRTLE	-	
	TIPUANA TIPU TIPU TREE	-	
	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	-	

SHRUB / GROUNDCOVER PALETTE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	AGAVE DESMETIANA 'VARIEGATA' VARIEGATED AGAVE	15 GAL	L
	CALLISTEMON VIMINALIS 'LITTLE JOHN' DWARF WEEPING BOTTLEBRUSH	15 GAL	L
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	L
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	L
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GAL	L
	STRELITZIA JUNCSEA NARROW-LEAFED BIRD OF PARADISE	5 GAL	L

CORNER ACCENT PALETTE			
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS
	AGAVE DESMETIANA 'VARIEGATA' VARIEGATED AGAVE	15 GAL	L
	LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS PRIVET	15 GAL	M
	RHAPHIOLEPIS INDICA 'BALLERINA' BALLERINA INDIAN HAWTHORN	5 GAL	M
	ROSA X 'NOASCHNEE' TM FLOWER CARPET WHITE GROUNDCOVER ROSE	5 GAL	M
	ROSA X 'NOATRAUM' TM FLOWER CARPET PINK ROSE	5 GAL	M
	STRELITZIA REGINAE BIRD OF PARADISE	5 GAL	M

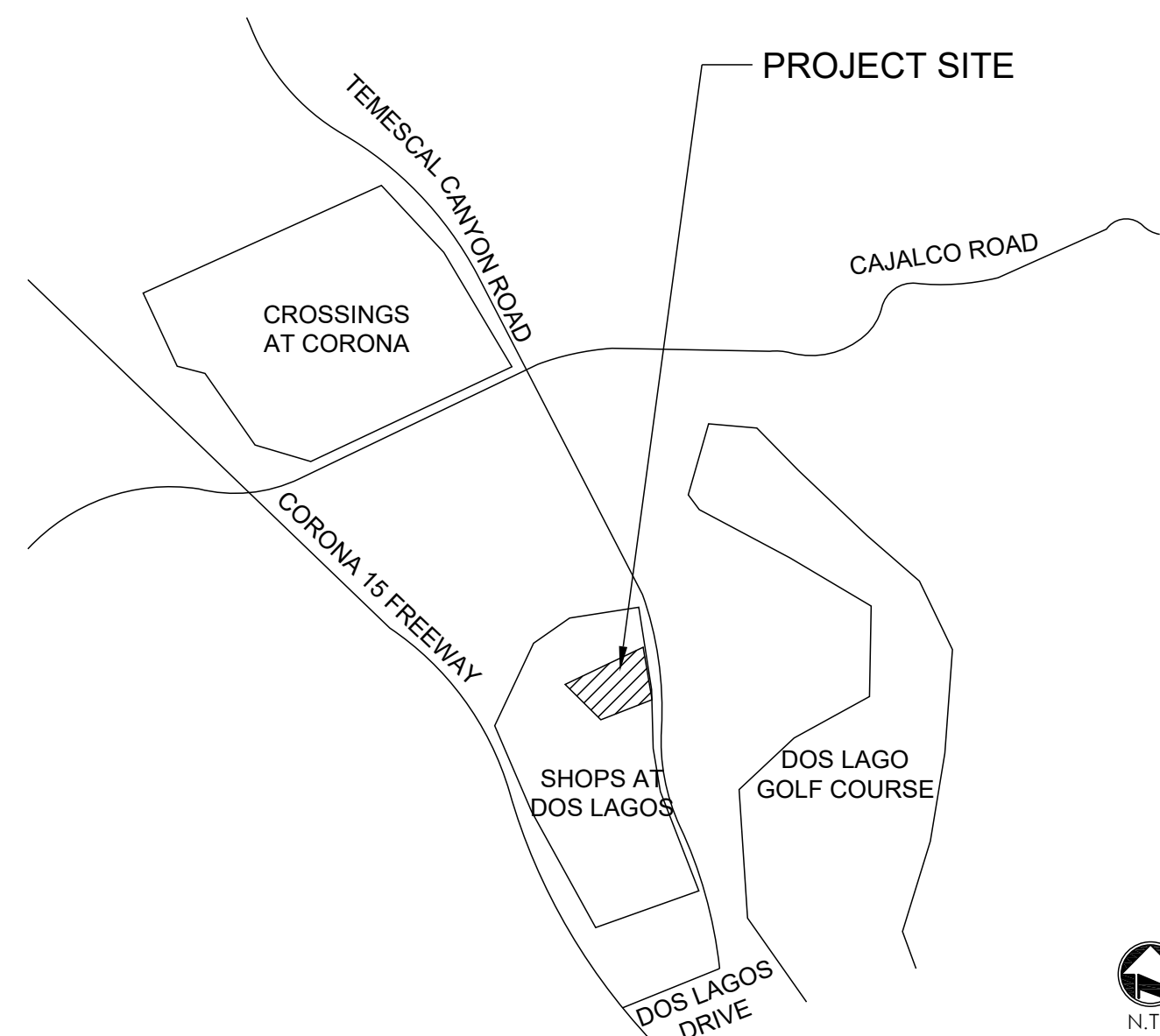
WATER EFFICIENT LANDSCAPE WORKSHEET							DATE:	12/18/2020
PROJECT: Vista Dos Lagos								
This worksheet is filed out by the project applicant and it is a required element of the Landscape Documentation Package.								
Reference Evapotranspiration (ET0)							56.37	
Conversion Factor							0.82	
Hydrozone # Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF*IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ¹	
Regular Landscape Areas								
Low Water Use Plantings	0.2	Drip	0.81	0.25	178,463	44,066	154,002	
Moderately Low Water Use Plantings	0.4	Drip	0.81	0.49	15,733	7,777	27,148	
TOTALS						19,419	51,843	181,150
Special Landscape Areas								
Turf areas parks Irrigated w/ recycled water				1	0	0	0	
				1	0	0	0	
Water features				1	0	0	0	
TOTALS						0	0	0
							ETWU Total	181,150
							Maximum Allowed Water Allowance (MAWA) ²	306,407
MAWA								
ETAF for residential areas is .55 or .45 for commercial areas								
MAWA =	ET0 *	Conv Factor *	((ETAF Factor)	*	LA)	+	((1-ETAF) Factor	(SLA)
	56.37	0.82	0.42	*	19,419	+	0.55	0
	MAWA = 306,407							
ETAF Calculations								
Regular Landscape Areas					All Landscape Areas			
Total ETAF x Area					Total ETAF x Area			
5,183					5,183			
Total Area					Total Area			
19,419					19,419			
Average ETAF					Site-wide ETAF			
0.27					0.27			
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								

CONCEPT STATEMENT

LANDSCAPE CONCEPT:
This landscape will consist of California-Friendly, low and medium water use plant material. All plants have been chosen from the low or medium water use category according to WUCOLS. Plants have been chosen to create a uniform theme across the site consisting of formal massings of attractive and textural sub-tropical, lush plantings backed by evergreen clipped and manicured hedges against the building and screening the parking lots. Shade trees will be used to provide shade coverage for much of the site. Large accent trees are located at major project entries and where enhanced planting areas are located to better welcome visitors. Maintenance and longevity of plant material has been taken into consideration. Root panels and barriers will be utilized on all trees necessary, consistent with all standards and specifications. A 3" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to the current City of Corona Landscape Guidelines.

IRRIGATION CONCEPT:
The irrigation design will incorporate the latest in smart irrigation technologies. All new planter areas will include drip line. All planters will use drip line with an irrigation efficiency of .8. A smart irrigation controller with a rain shut off device will also be incorporated. Bark mulch will be used to retain moisture and reduce evaporation and an irrigation schedule will be provided to program the controller. Two irrigation schedules shall be prepared, one for plant establishment and one for after plant establishment. All new irrigation systems will comply with all current City of Corona Landscape Guidelines.

VICINITY MAP



VISTA DOS LAGOS



310 NORTH JOY STREET | CORONA, CA 92879
T: 951.737.1124 | F: 951.737.6551

CONCEPTUAL LANDSCAPE PLAN
PREPARED FOR REXCO DEVELOPMENT
2518 NORTH SANTIAGO BLVD ORANGE, CA 92667 PH: (951) 898-1502
01/25/2021

GRIFFCO LAND L.L.C.
2518 N. Santiago Blvd.
Orange, CA 92687
(951) 898-1502

October 7, 2020

Mr. Rafael Torres
Associate Planner
City of Corona
Community Development Department
400 S. Vicentia Avenue
Corona, CA 92879

Re: **DPR2020 – 0004**
Vista Dos Lagos
One (1) Office Building and One (1) Commercial Building located
On the South West Corner of Pronio Circle and
Temescal Canyon Road

Dear Mr. Torres,

Griffco land LLC is requesting a Precise Plan Review for the aforementioned project described as follows:

Proposed Land Use:

The construction of two (2) professional office buildings: one (1) 17,164 square foot office building and one (1) 4,236 square foot commercial building. The buildings are designed for medical/professional office uses. The site is on an approximate 2.06-acre parcel in the EC (entertainment commercial) zone of the Dos Lagos Specific Plan (SP99 - 03).

Surrounding Uses:

North: Dos Lagos Live/Work Community
East: Temescal Canyon Road
South: Dos Lagos Retail Center (Wood Ranch)
West: Dos Lagos Lake

Site Design / Access:

The project will include two free-standing professional/ commercial office buildings. The site will include adequate surface parking for tenants and guests. The site will have two points of access: one off Pronio Circle and the other through the Dos Lagos Retail Center. The streets will be designed to allow adequate vehicular access for tenants, visitors as well as emergency vehicles.

EXHIBIT 3.J

Architecture and Materials:

The exterior of the medical office building (building 1) will feature brick veneer and stone pilasters with clear aluminum finish. Exterior stair cases and building entries will be accented in stone veneer.

The exterior of the commercial office building (building 2) will feature a combination of brick veneer and plaster with clear aluminum finish and plaster-coated foam trim.

Parking & Access:

There will be adequate aisles for emergency access to the buildings. There will be 5 parking spaces per 1,000 sq ft of office area.

Landscaping:

Landscaping will consist of California-Friendly, low and medium water use plant material. Plants have been chosen to create a uniform theme across the site. Maintenance and longevity of plant material has been taken into consideration. Shade trees are used in the parking lot to provide shade coverage. All landscaped areas will conform to the current City of Corona Landscape Guidelines.

Comprehensive Sign Program:

Signage will consist of building signage in conformance with the signage standards set forth in the Dos Lagos Specific Plan and City of Corona Municipal Code, pursuant to a comprehensive sign program.

Griffco Land, LLC respectfully requests your consideration and approval of the proposed project. If you have any questions concerning this applications or the proposed project, please contact me at (951) 898-1502.

Respectfully submitted,

Griffco Land, LLC

Griffin Hauptert





CITY OF CORONA
MITIGATED NEGATIVE DECLARATION

NAME, DESCRIPTION AND LOCATION OF PROJECT:

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation of the Dos Lagos Specific Plan (SP99-03).

ENTITY OR PERSON UNDERTAKING PROJECT:

Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

The City Council, having reviewed the initial study of this proposed project and the written comments received prior to the public meeting of the City Council, and having heard, at a public meeting of the Council, the comments of any and all concerned persons or entities, including the recommendation of the City's staff, does hereby find that the proposed project may have potentially significant effects on the environment, but mitigation measures or revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to a point where clearly no significant effects will occur. **Therefore, the City Council hereby finds that the Mitigated Negative Declaration reflects its independent judgment and shall be adopted.**

The Initial Study and other materials which constitute the records of proceedings, are available at the office of the City Clerk, City of Corona City Hall, 400 South Vicentia Avenue, Corona, CA 92882.

Date: _____

Mayor
City of Corona

Date filed with County Clerk: _____

EXHIBIT 4

CITY OF CORONA INITIAL STUDY / MITIGATED NEGATIVE DECLARATION

PROJECT TITLE: Vista Dos Lagos (PM 37221 and PP2020-0006)

PM 37221: Parcel Map application for the subdivision of 2.065 acres into two lots for commercial purposes, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PP2020-0006: Precise Plan application for the review of two professional medical office buildings totaling 21,400 square feet, located at the southwest corner of Temescal Canyon Road and Pronio Circle in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT LOCATION: Southwest corner of Pronio Circle and Temescal Canyon Road (APN 279-460-074) in the Entertainment Commercial (EC) designation (Planning Area 3) of the Dos Lagos Specific Plan (SP99-03).

PROJECT PROPONENT: Griffin Haupt
Griffco Land, LLC
2518 N. Santiago Blvd.
Orange, CA 92867

PROJECT MAP:

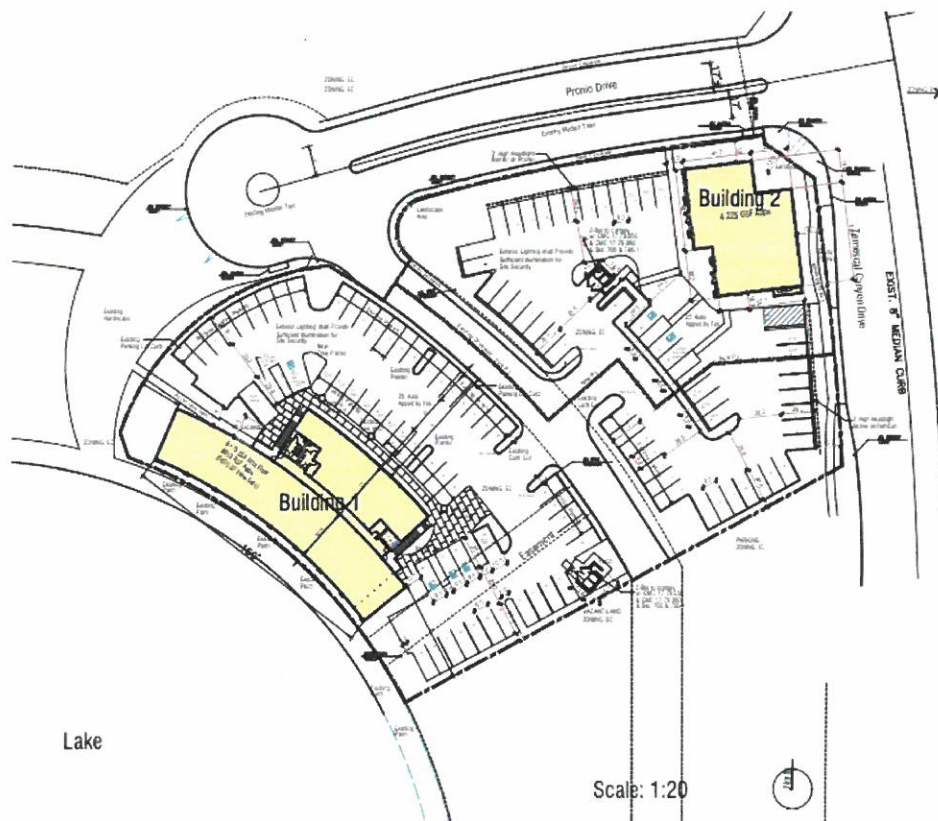


PROJECT DESCRIPTION:

The project is for the development of two new medical office buildings proposed on 2.065 acres in Planning Area 3 of the Dos Lagos Specific Plan (SP-99-03). The site is zoned Entertainment Commercial (EC) per the specific plan land use map, which permits medical office uses by right.

The project requires two applications: Parcel Map 37221 and Precise Plan 2020-0006. The parcel map, PM 37221, is a proposal to subdivide the project site into two parcels. Proposed Parcel 1 is 30,844 square feet and Parcel 2 is 59,125 square feet. The precise plan, PP2020-0006, is for the review of the site plan, architecture, and landscaping associated with the proposed project. Parcel 1 is to be developed with Building 1, which is a 17,164 square foot multi-unit medical office building. Parcel 2 is to be developed with Building 2, which is a 4,236 square foot stand-alone medical office building. The project is providing a total of 107 parking spaces, which will be shared among the tenants within the two buildings.

Site Plan



Building 1: 17,164 square feet
Building 2: 4,225 square feet

ENVIRONMENTAL SETTING:

Site Description: Presently, the site is developed with a parking lot. The project site is part of the master planned Dos Lagos community in which the Dos Lagos Specific Plan was approved for. The Specific Plan was analyzed for potential environmental impacts in the City of Corona Annexation No. 94 & Dos Lagos EIR, which was certified on June 21, 2000. In 2003, the Specific Plan area was mass and rough graded by the master developer to enable the construction of the necessary public infrastructure to support the development planned for the area.

Abutting the east side of the project site is Temescal Canyon Road, which is fully improved with roadway pavement, curb and gutter, sidewalk, and parkway adjacent to the site. Abutting to the north is Pronio Circle, which is improved

with roadway pavement, curb and gutter adjacent to the site. Sidewalks are currently missing along Pronio Circle adjacent to the project site.

Site Surroundings: Located across Temescal Canyon Road to the east of the site are single family residential condominium homes. Located across Pronio Circle to the north are live/work units. Abutting to the south and west is the development of *The Shops at Dos Lagos*, a commercial lifestyle center.

GENERAL PLAN \ ZONING:

The subject property is located within the Dos Lagos Specific Plan and zoned Entertainment Commercial, which permits for the use of medical offices. Therefore, the proposed project is consistent with the zoning of the project site.

The property has a General Plan designation of Mixed-Use 1 (MU1), which permits office uses. The MU1 designation establishes a Floor Area Ratio (FAR) limit of 2.0. The proposed office project has an FAR of 0.24, which does not exceed the site's FAR limit.

STAFF RECOMMENDATION:

The City's Staff, having undertaken and completed an initial study of this project in accordance with the City's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)", has concluded and recommends the following:

- ☐ The proposed project could not have a significant effect on the environment. **Therefore, a NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project could have a significant effect on the environment, however, the potentially significant effects have been analyzed and mitigated to below a level of significance pursuant to a previous EIR as identified in the Environmental Checklist attached. **Therefore, a NEGATIVE DECLARATION WILL BE PREPARED.**
- ☒ The Initial Study identified potentially significant effects on the environment but revisions in the project plans or proposals made by or agreed to by the applicant would avoid or mitigate the effects to below a level of significance. **Therefore, a MITIGATED NEGATIVE DECLARATION will be prepared.**
- ☐ The proposed project may have a significant effect on the environment. **Therefore, an ENVIRONMENTAL IMPACT REPORT is required.**
- ☐ The proposed project may have a significant effect on the environment, however, a previous EIR has addressed only a portion of the effects identified as described in the Environmental Checklist discussion. As there are potentially significant effects that have not been mitigated to below significant levels, a **FOCUSED EIR will be prepared to evaluate only these effects.**
- ☐ There is no evidence that the proposed project will have the potential for adverse effect on fish and wildlife resources, as defined in Section 711.2 of the Fish and Game Code.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The following indicates the areas of concern that have been identified as "Potentially Significant Impact" or for which mitigation measures are proposed to reduce the impact to less than significant.

- | | | |
|--|--|---|
| <input type="checkbox"/> Land Use Planning | <input type="checkbox"/> Hazards / Hazardous Materials | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Population and Housing | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geologic Problems | <input type="checkbox"/> Public Services | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Hydrology and Water Quality | <input type="checkbox"/> Utilities | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Aesthetics | |
| <input type="checkbox"/> Transportation / Traffic | <input checked="" type="checkbox"/> Cultural Resources | |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Agricultural Resources | |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Greenhouse Gases | |

Date Prepared: September 11, 2021 Prepared By: Rafael Torres, Assistant Planner

Contact Person: Rafael Torres Phone: (951) 739-4973

AGENCY DISTRIBUTION

(check all that apply)

- _____ Responsible Agencies
- _____ Trustee Agencies (CDFG, SLC, CDPR, UC)
- _____ State Clearinghouse (CDFG, USFWS, Redev. Projects)
- _____ AQMD
- _____ Pechanga
- _____ Soboba
- _____ WQCB
- _____ Other _____

UTILITY DISTRIBUTION

_____ Southern California Edison

Southern California Edison
Adriana Mendoza-Ramos, Esq.
Region Manager, Local Public Affairs
1351 E. Francis St.
Ontario, CA 91761

Southern California Edison
Karen Cadavona
Third Party Environmental Review
2244 Walnut Grove Ave.
Quad 4C 472A
Rosemead, CA 91770

Note: This form represents an abbreviation of the complete Environmental Checklist found in the City of Corona CEQA Guidelines. Sources of reference information used to produce this checklist may be found in the City of Corona Community Development Department, 400 S. Vicentia Avenue, Corona, CA.

1. LAND USE AND PLANNING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with any land use plan/policy or agency regulation (general plan, specific plan, zoning)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with surrounding land uses	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Physically divide established community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

The project site is located within the Dos Lagos Specific Plan and has a zoning of Entertainment Commercial (EC), which permits the development of office buildings building by right. The project site's General Plan designation is Mixed-Use 1, which allows for commercial uses. As the project is for the development of two medical office buildings, the project does not conflict with the site's zoning or General Plan.

b. & c.

The project site is surrounded by a man-made recreational lake to the west and commercial uses to the south. Located across Pronio Circle to the north is a live/work development, which is comprised of nontraditional residential units that have professional workspace incorporated into the units. The project's office use is considered commercial, which is compatible with the surrounding recreational and commercial land uses. The project is also compatible with the live/work units because the proposed office buildings are not expected to generate noise or other issues that would be considered obnoxious to nearby sensitive land uses. All uses would be contained inside the office buildings. Other nearby sensitive land uses include single family residential condominiums, which are located across Temescal Canyon Road to the east of the project site. These developments are located more than 150 feet from the project site, and Temescal Canyon Road provides a buffer between the residences and project site. Therefore, development of the proposed project would not conflict with the surrounding land uses nor divide the established community.

2. POPULATION AND HOUSING:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Induce substantial growth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Displace substantial numbers of existing housing or people	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

The project will not induce substantial growth or displace existing housing or people because the zoning of the project site is intended for commercial uses. Also, the site contains no residential dwellings; therefore, development of the site would not displace existing housing or people. Therefore, no mitigation pertaining to this issue would be required.

3. GEOLOGIC PROBLEMS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fault /seismic failures (Alquist-Priolo zone) /Landslide/Liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Grading of more than 100 cubic yards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Grading in areas over 10% slope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Substantial erosion or loss of topsoil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Unstable soil conditions from grading	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Expansive soils	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per the city's Property Information application, there are no known active faults crossing or projecting through the site. The site is not located in an Alquist-Priolo Earthquake Fault Zone and thus, ground rupture due to faulting is considered unlikely at this site. The project will be subject to city and county local codes, the latest California Building Code (CBC), and the engineering recommendations in the project's geotechnical investigation report prepared by South Shore Testing & Environmental (December 14, 2020). Therefore, any potential impacts related to fault/seismic failures would be reduced to a less than significant impact and no further mitigation would be necessary.

b.

The project would involve grading of more than 100 cubic yards. Adherence to the city's grading regulations and the grading specifications identified in the geotechnical investigation report would ensure a less than significant impact would occur and no further mitigation would be required.

c.

The subject site is in an area containing relatively flat mass-graded terrain that is utilized as a parking lot for the adjacent man-made lakes and commercial area. Therefore, landslides and grading on over 10% slopes are not expected to be an issue. No further mitigation would be necessary.

d. & e.

Development of the project would require the movement of on-site soils. Prior to the issuance of grading permits, the project applicant would be required to submit to the City detailed grading plans for the project site and would be required to comply with applicable city grading regulations established in the Corona Municipal Code. Furthermore, development of the site would involve more than one acre; therefore, the proposed project is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit. A Storm Water Pollution Prevention Plan (SWPPP) would also be required to address erosion and discharge impacts associated with the proposed on-site grading. Additionally, the project is required to submit a final Water Quality Management Plan (WQMP) which would identify measures to treat and/or limit the entry of contaminants into the storm drain system. Since the project is required to adhere to the City's grading regulations, obtain an NPDES Permit, and prepare an SWPPP and WQMP, impacts associated with soil erosion hazards are less than significant and no mitigation is required.

f.

The site generally consists of yellowish brown gravelly silty sand. Expansion index (EI) testing was performed by South Shore Testing & Environmental on the soil samples taken from the site. The results indicated that the EI for the onsite soils was an 11, which is considered to be non-expansive. Therefore, no further mitigation is warranted with respect expansive soils.

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than significant Impact	No Impact
4. HYDROLOGY AND WATER QUALITY:				
a. Violate water quality standards/waste discharge requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Deplete groundwater supplies	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Alter existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Increase flooding hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Degrade surface or ground water quality	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Within 100-year flood hazard area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase exposure to flooding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Exceed capacity of storm water drainage system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., c., & e.

Development of the project site would increase the area of impermeable surface paving which will result in an increase in surface runoff. The applicant has submitted a preliminary Water Quality Management Plan (WQMP) prepared by Land Development Design Company, LLC. (April 17, 2019) to ensure that the project addresses potential water quality impacts. The applicant will be required to implement on site the Best Management Practices (BMPs) identified in the preliminary WQMP to minimize pollutant runoff into the City's storm water drainage system. A BMP for the project is to maintain landscaping using

minimum or no pesticides. Another BMP is to sweep sidewalks and parking areas regularly and to prevent accumulation of litter and debris. The applicant will implement underground storm water detention and infiltration systems on the north portion of the site. Prior to issuance of a grading permit, the applicant will be required to submit a final WQMP to be reviewed by the City's Land Development Division. This will result in a less than significant impact to water quality and therefore, no further mitigation is required.

b.

Per the city's Draft Temescal Subbasin Groundwater Sustainability Plan (September 2020), the project site is located in the western portion of the Temescal Groundwater Basin of the Upper Santa Ana River Valley Basin. The Temescal Groundwater Basin encompasses a surface area of 23,500 acres (37 square miles) with recharge predominantly occurring from percolation of precipitation on the valley floor and infiltration of stream flow within tributaries exiting the surrounding mountains and hills. The proposed project's ability to interfere substantially with groundwater recharge lies within the installation of impermeable surfaces, which would reduce the amount of land available for groundwater recharge. Although the development of the proposed project would result in the installation of impermeable surfaces and infrastructure, the amount of land rendered impermeable by implementation of the proposed project is less than one percent of the total area of 23,500 acres of the groundwater basin's total recharge area. The project does not present a loss of permeable surface area for the Temescal Groundwater Basin, therefore, impacts associated with this topic are considered to be less than significant and no mitigation would be required. Furthermore, the project does not propose construction of wells or direct pumping of groundwater.

f. & g.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMS), the project site is not within the 100-year or 500-year flood hazard areas. Development of the project site will not result in a flooding hazard, nor will it expose the site and surrounding area to flooding. Therefore, no impacts are anticipated with respect to flooding and no mitigation is required.

h.

The project is designed to ensure that the runoff generated by the project can be intercepted and conveyed to the existing off-site storm drain system in a safe and nondestructive manner, while adhering to regional and local design requirements, including those requirements within the project's WQMP's. Also, the proposed flows and capacities generated by the new development do not exceed the capacity of the existing stormwater system and do not increase the potential for on-site or off-site flooding. Therefore, the development of the project site would not result in exceeding the capacity of the city's storm drain system and no mitigation is warranted.

5. AIR QUALITY:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with air quality plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Violate air quality standard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Net increase of any criteria pollutant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to pollutants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

An Air Quality & Greenhouse Gas Impact Study (RK Engineering Group, Inc., March 19, 2021) was prepared for the project to analyze potential air impacts associated with the proposed project. Emissions were calculated using the latest version of CalEEMod (v2016.3.2), which is a computer model approved by the South Coast Air Quality Management District (SCAQMD) to calculate criteria pollutant emissions. The following discusses the project's compliance to air quality plans and potential short-term and long-term air quality impacts.

a.

The project site is located within the South Coast Air Basin, an area covering approximately 6,745 square miles and bounded by the Pacific Ocean to the west and south and the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east. The Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. Air quality within the Basin is regulated by the SCAQMD which is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the Basin is in nonattainment. At the state level, air quality is regulated by the California Air Resources Board (CARB) and at the federal level it is the U.S. Environmental Protection Agency (EPA). The project would be subject to SCAQMD's Air Quality Management Plan (AQMP), which contains a comprehensive list of pollution

control strategies directed at reducing emissions and achieving ambient air quality standards. The 2016 AQMP is based on projections originating with county and city general plans. Since the proposed project is consistent with the City of Corona General Plan, the project would be consistent with the 2016 AQMP. Therefore, no impacts would occur with respect to AQMP implementation, and no mitigation measures are required.

b. & c.

Short-term Impacts

Construction of the project is estimated to begin in the year 2021 and expected to last approximately one year from the time permits are issued. Any project with daily regional emissions that exceed any of the regulated thresholds should be considered as having an individually and cumulatively significant air quality impact. Construction activities would include site preparation, grading, building construction, paving, and the application of architectural coatings. Construction equipment would include excavators, graders, dozers, tractors, a water truck during grading; cranes, forklifts, generators, tractors, welders during building construction; pavers, mixers, rollers and paving equipment during paving, and air compressors during architectural coatings. These activities would result in emissions of ROG, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} which have regional significance thresholds established by the SCAQMD. During construction, the project is expected to comply with the regulatory construction requirements under the SCAQMD Rules. The project's estimated maximum daily construction emissions are summarized below in Table 5-A. As shown, emissions resulting from project construction would not exceed the SCAQMD regional thresholds of significance for regulated pollutants. Therefore, a less than significant impact would occur, and no mitigation is required.

TABLE 5-A
Expected Daily (Short-Term) Construction Emissions

Year	ROG	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
2020 (lb/day) Unmitigated	2.45	21.37	16.15	0.03	7.66	4.31
2021 (lb/day) Unmitigated	21.87	17.12	15.71	0.03	1.18	0.88
Significance Threshold (lb/day)	75	100	550	150	150	55
SCAQMD Impact?	NO	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Long-term Impacts

Long-term air quality impacts are associated with operational activities the proposed project that will result in emissions of ROG, NO_x, CO, SO₂, and PM₁₀. Operational emissions would be expected from the following three sources related to the long-term operations of the proposed project:

- Mobile source emissions (project vehicle trips)
- Area source emissions (usage of natural gas, landscape equipment, and architectural coatings)
- Energy source emissions (usage of electricity and natural gas for space heating and cooling, water heating, ventilation, lighting, appliances, and electronics)

The area, energy, mobile sources are calculated using CalEEMod. CalEEMod utilized the proposed land use and then estimates worst-case air quality emissions from worst-case trip generations. Also, emissions are calculated using the State of California EMFAC (Emission Factor) 2014 model, which is built into the CalEEMod. Estimates are provided for both the Summer and Winter operational months. Shown in Table 5-B, the project's expected daily long-term emissions would not exceed the SCAQMD thresholds for ROG, NO_x, CO, SO₂, and PM₁₀. Therefore, this would be less than significant, and no mitigation is required.

Table 5-B:
Expected Daily (Long-Term) Operational Emissions

	ROG	NO _x	CO	SO ₂	PM ₁₀
Summer Scenario					
Operational Emission Estimates (lb/day)	1.02	3.64	6.07	0.03	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO
Winter Scenario					
Operational Emission Estimates (lb/day)	0.94	3.65	5.25	0.02	1.83
Significance Threshold (lb/day)	55	55	550	150	150
SCAQMD Impact?	NO	NO	NO	NO	NO

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

d.

LSTs

A Localized Significance Thresholds (LSTs) analysis was conducted for the project. LST analyses are applicable to project sites that are five acres or less per SCAQMD. LSTs represent the maximum emissions from a project that will not cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard at the nearest residence or sensitive receptor. Sensitive receptors are defined as facilities or land uses that include members of the population that are particularly sensitive to the effects of air pollutants, such as children, the elderly, and people with illnesses. Examples of sensitive receptors are residences, schools, hospitals, and daycare centers. The California Air Regional Board (CARB), which establishes ambient air quality standards for major pollutants to protect public health, has identified the following groups of individuals as the most likely to be affected by air pollution: the elderly over 65 years of age, children under 14, athletes, and persons with cardiovascular and chronic respiratory diseases such as asthma, emphysema, and bronchitis.

Sensitive receptors near the project site include surrounding residences located north and east of the project site. In order to identify impacts to sensitive receptors, the SCAQMD recommends addressing localized significance thresholds (LSTs) for construction and operations impacts (area source only). LSTs were developed in response to SCAQMD Governing Boards' Environmental Justice Enhancement Initiative (I-4). The SCAQMD provided the Final Localized Significance Threshold Methodology to assist lead agencies in analyzing localized air impacts. The SCAQMD provides the LST screening lookup tables for one, two, and five-acre projects emitting CO, NOX, PM2.5, or PM10. The LST methodology and associated mass rates are not designed to evaluate localized impacts from mobile sources traveling over the roadways. The nearest Source Receptor Area (SRA) is located 54 meters from the site.

Tables 5-C and 5-D illustrate the project's construction and operational related localized emissions and compare the results to SCAQMD 2-Acre LST Emission Thresholds. The emissions in both tables will be below the SCAQMD thresholds. However, the results assume that the project would be complying with all standard SCAQMD rules and requirements with regard to fugitive dust control. For reference, the applicable fugitive dust control measures are listed below. These are design features, which the project is required to comply with and are included in the project conditions of approval for PP2020-0006 and PM 37221. With implementation of the dust suppression techniques, the project's construction and operational impacts to localized air resources would be less than significant.

Construction Design Features:

1. All active construction areas shall be watered two (2) times daily.
2. Speed on unpaved roads shall be reduced to less than 15 mph.
3. Any visible dirt deposition on any public roadway shall be swept or washed at the site access points within 30 minutes.
4. Any on-site stockpiles of debris, dirt or other dusty material shall be covered or watered twice daily.
5. All operations on any unpaved surface shall be suspended if winds exceed 15 mph.
6. Access points shall be washed or swept daily.
7. Construction sites shall be sandbagged for erosion control.
8. Apply nontoxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 10 days or more).
9. Cover all trucks hauling dirt, sand, soil, or other loose materials, and maintain at least 2 feet of freeboard space in accordance with the requirements of California Vehicle Code (CVC) section 23114.
10. Pave or gravel construction access roads at least 100 feet onto the site from the main road and use gravel aprons at truck exits.
11. Replace the ground cover of disturbed areas as quickly possible.
12. A fugitive dust control plan should be prepared and submitted to SCAQMD prior to the start of construction.
13. Prepare and implement a Construction Management Plan which will include Best Available Control Measures to be submitted to the City of Corona.
14. Construction equipment shall be maintained in proper tune.
15. All construction vehicles shall be prohibited from excessive idling. Excessive idling is defined as five (5) minutes or longer.
16. Minimize the simultaneous operation of multiple construction equipment units.
17. The use of heavy construction equipment and earthmoving activity should be suspended during Air Alerts when the Air Quality Index reaches the "Unhealthy" level.
18. Establish an electricity supply to the construction site and use electric powered equipment instead of diesel-powered equipment or generators, where feasible.
19. Establish staging areas for the construction equipment that are as distant as possible from adjacent sensitive receptors (residential land uses).
20. Use haul trucks with on-road engines instead of off-road engines for on-site hauling.
21. Utilize zero VOC and low VOC paints and solvents, wherever possible.

Table 5-C: 2-Acre LST Emission Thresholds

Pollutant	LST @ 50 meters for 2 acres (lb/day)
CO	1,474
PM ₁₀ (Construction)	18
PM ₁₀ (Operation)	5
NO ₂ (Corrected utilizing NO ₂ /NO _x Ratio) Construction and Operation	200

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

Table 5-D: Project Emissions

Pollutant	Project Emissions (lb/day)	Threshold	Impact
CO	64.25	1,474	No
PM ₁₀ (Construction)	12.35 (onsite)	18	No
PM ₁₀ (Operations)	1.83	5	No
NO ₂ Construction	86.9	200	No
NO ₂ Operation	3.65	200	No

Source: Vista Lagos Project Air Quality Impact Study (Ldn Consulting, Inc. April 20, 2020)

e.

Land uses generally associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting operations, refineries, landfills, dairies, fiberglass molding facilities. The project does not contain land uses associated with emitting objectionable odors. Potential odor sources associated with the proposed project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities. However, these activities would be temporary, short-term, and intermittent in nature and would cease upon completion of the project's construction phase. Other potential odor sources associated with the project include the temporary storage of typical solid waste (refuse) associated with the project's long-term operational uses. However, it is expected that project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the City's solid waste regulations. The project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the project's construction and operations would be less than significant and no mitigation would be required.

6. TRANSPORTATION/TRAFFIC:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Increase the total daily vehicle miles traveled per service population (population plus employment) (VMT/SP) above the baseline level for the jurisdiction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Cause total daily VMT within the study area to be higher than the No Project alternative under cumulative conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Change in air traffic patterns	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Traffic hazards from design features	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g. Emergency access | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Conflict with alternative transportation policies | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion:

a.

Project access is proposed from an existing driveway located on Pronio Circle, approximately 250 feet west of Temescal Canyon Road. A secondary access will be provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Shops at Dos Lagos commercial development south of the project site.

The project is bounded by Temescal Canyon Road to the east and Pronio Circle to the north. Temescal Canyon Road is a north-south, four-lane divided roadway located east of the project site. It is classified as a major arterial street per the General Plan and is required to have an overall right-of-way width that ranges from 106 feet to 120 feet. The portion of Temescal Canyon Road adjacent to the project site is fully improved with roadway, curb and gutter, parkway, and sidewalk. No additional widening is required for Temescal Canyon Road. Pronio Circle is a local street and improved with curb and gutter, but has a missing sidewalk adjacent to the project site. The applicant is conditioned to construct the missing sidewalk with the development of the project site. No additional widening is necessary for Pronio Circle. Therefore, the project would not conflict with the city's applicable traffic patterns, ordinance, or policies related to the performance of the city's circulations system, and no mitigation is warranted.

b.

The Corona Annexation No. 94 & Dos Lagos Specific Plan EIR projected 324,428 square feet of general office/business park and 531,432 square feet of light industrial/research and development uses would be developed within the Dos Lagos Specific Plan at buildout. Both land uses permit office use. Currently, Planning Areas 4 and 5 within the Specific Plan are approved for the development of three office buildings totaling 472,705 square feet. With the exception of Planning Area 3 which contains the project site, all other planning areas within the Specific Plan are already developed for commercial retail, residential, light industrial, or recreational (i.e. golf course) uses. There are no other planning areas within the Specific Plan that can accommodate the development of additional offices. Therefore, the amount of offices at that was originally analyzed in the EIR is currently underbuilt by 383,155 square feet. The project is proposing to add 21,400 square feet of office use to the Specific Plan, which would be covered under EIR since office use is underbuilt. The current proposal does not change the analysis that was considered under the EIR because the current proposal intends to develop the project site for office purposes, which is consistent with the Entertainment Commercial zoning of the project site.

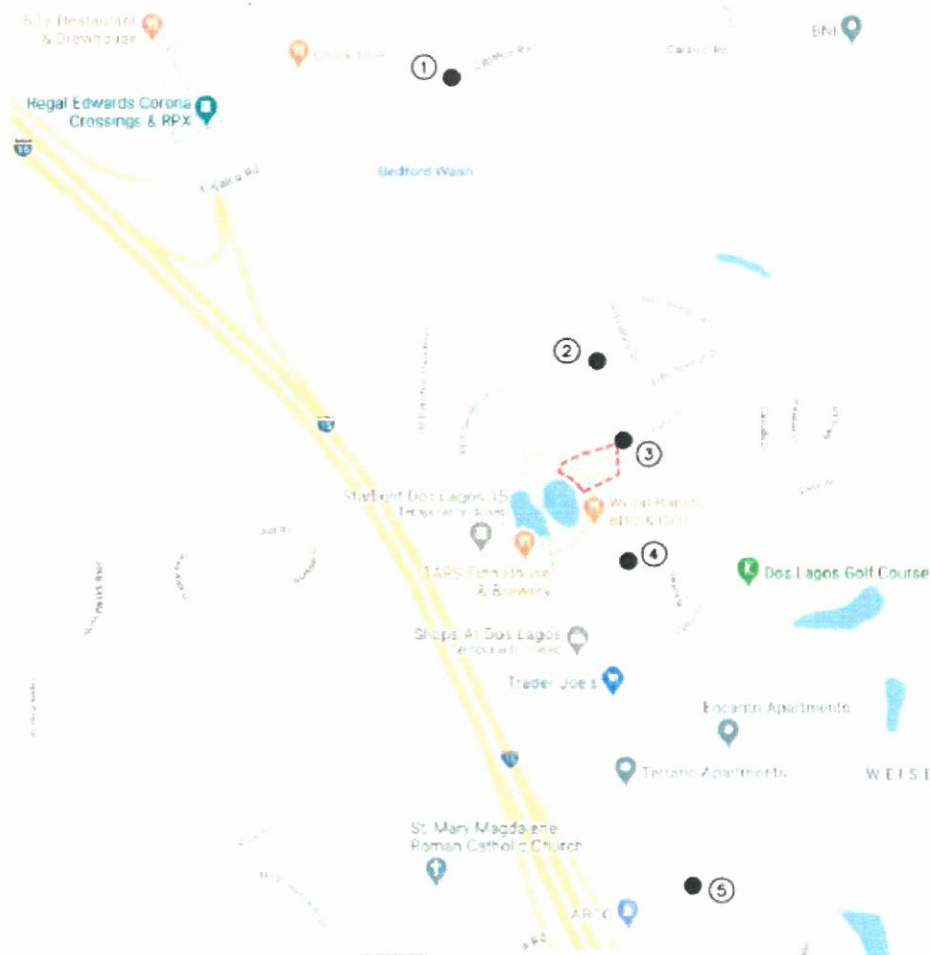
Although the city has adopted VMT thresholds pursuant to SB 743, as explained above, the proposed office project was previously analyzed in the Corona Annexation No. 94 & Dos Lagos Specific Plan EIR. All potential traffic impacts related to office use were analyzed in the EIR, and all necessary traffic mitigation identified in the EIR have been met. Therefore, a VMT analysis was not required for the project.

SB 743 does not prevent local agencies from using Level of Service (LOS) in their General Plan to determine a project's fair share participation the construction of transportation improvements outside of CEQA. The city still utilizes LOS in its General Plan. Although no longer a requirement for CEQA in determining environmental impacts associated with LOS, the city can impose conditions of approval to require construction of certain transportation infrastructure improvements or payment of a fair share toward the cost of such improvements warranted by the project. A focused traffic impact analysis (TIA) was prepared for the project by Linscott, Law & Greenspan (dated April 20, 2020) to analyze the potential LOS impacts associated with the proposed project on the surrounding area of the project site. The city considers LOS D the be minimum acceptable LOS for all intersections that consist of collector and arterial roadways.

The project is forecast to generate 758 net daily trips (one half arriving and one half departing), with 97 net trips (64 inbound, 33 outbound) produced in the AM peak hour and 60 net trips (22 inbound, 38 outbound) in the PM peak hour.

The TIA analyzed five (5) existing nearby street intersections and the project's driveway entrance on Pronio Circle. The study intersections included the following:

1. Temescal Canyon Road at Cajalco Road
2. Temescal Canyon Road at Blue Springs Drive
3. Temescal Canyon Road at Pronio Circle
4. Temescal Canyon Road at Lakeshore Drive
5. Temescal Canyon Road at Dos Lagos Drive



LL&G (April 30, 2020)

In Year 2021 without project traffic conditions, the intersection at the intersection of Temescal Canyon Road and Cajalco Road is forecast to operate at an unacceptable LOS E. In same year with project traffic conditions, the LOS at the same street intersection is also forecast to operate at an unacceptable LOS E. In order to bring the operating condition of the intersection to an acceptable level of service, the developer is required to complete the following improvements: 1) install an eastbound right-turn lane overlap traffic signal, and 2) restrict the northbound U-turn movement with signage. Alternatively, the developer may pay a fair-share cost of the total cost of constructing the recommended roadway improvements, as determined by the traffic impact analysis approved by the City. The improvements are required under Conditions 37 and 38 of the Conditions of Approval for PM 37221.

- Condition 37. Prior to map recordation the developer shall pay fair share fees to the Public Works Department as determined by the Public Works Director for the cost of future improvements in accordance with City standards. These improvements shall include, but are not limited to: a 6.25% fair share contribution toward the restriping of the northbound approach as determined in the approved TIA.
- Condition 38. The developer shall comply with the approved traffic study recommendations, including the design and installation of improvements for eastbound right-turn overlap traffic signal phasing and a restricted northbound U-turn movement.

A queueing analysis was prepared for the left-turn lane at the intersection of Temescal Canyon Road and Pronio Drive. The left-turn lane has an existing vehicle storage of 135 feet. The traffic impact analysis determined that the existing storage of 135 feet is sufficient for Year 2021 with project traffic conditions.

e. The project site is located approximately 7.5 miles southeast of the Corona Municipal Airport. The proposed office buildings are no more than 34 feet in height. Because of the project site's distance from the airport and the proposed height of the buildings, the project would not impact air operations, nor would it cause change to air traffic patterns. Also, the project is not located within an airport land use compatibility zone. Therefore, no impact related to this issue would occur and no mitigation is required.

f.

LL&G evaluated the internal circulation in terms of vehicle-pedestrian conflicts and driveway spacing. Based on the proposed site plan, the overall layout does not create any significant vehicle-pedestrian conflict points as the parking lots are self-contained. Motorists entering and exiting the project site from the existing internal driveway will be able to do so comfortably, safely, and without undue congestion as Pronio Circle provides a circular terminus to accommodate both resident and patron traffic for proper turnaround circulation. The project site also has a secondary access from within The Shops commercial development to the south of the project. Therefore, no impacts related to traffic hazards from design features are expected.



LL&G, April 30, 2020

g.

The project design has been reviewed by the city's Fire and Police Departments for fire and emergency access; therefore no impacts are expected.

h.

The project site is located in an area that is served by the Riverside Transit Agency (RTA) and "Corona Cruiser," a Fixed Route service by the City of Corona. The RTA's Route 206 is the nearest bus line to the project site. Route 206 runs from Corona Transit Center to Promenade Mall, and traverses the project area along Temescal Canyon Road, Cajalco Road, and Dos Lagos Drive. During the AM peak hour, there is one southbound bus, and the PM peak hour, there are two northbound buses and one southbound bus. Route 206 has a bus stop at the corner of Temescal Canyon Road and Pronio Road which is the nearest bus stop to the project site. The Corona Cruiser runs along pre-designated Blue Line and Red Line fixed routes. The Corona Cruiser has a Red Line bus stop located at the intersection of Temescal Canyon Road and Pronio. This route does not traverse any of the study intersections analyzed in this report during weekdays, but the Red Line provides service to the Shops at Dos Lagos on Saturdays via Temescal Canyon Road from the north. The project would not conflict with any of the RTA or Corona Cruiser routes. Therefore, the project would not impact alternative transportation policies and no mitigation is required.

7. BIOLOGICAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Endangered or threatened species/habitat	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Riparian habitat or sensitive natural community	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Adversely affects federally protected wetlands	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interferes with wildlife corridors or migratory species	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflicts with local biological resource policies or ordinances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflicts with any habitat conservation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., c., e., & f.

The proposed project will not impact biological resources as the project site in which the proposed development will occur was analyzed under the City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, which was a cumulative environmental analysis of the 543 acres within the plan boundary. Per the EIR, the site was historically used for mining operations. The former Owens-Illinois processing plant and silica sand mining operation occupied the central and western portion of the Dos Lagos area. In 2003, the master developer mass and rough graded the Dos Lagos project area in order to begin the construction on the public infrastructure for the entire Specific Plan. The project site was included as part of the mass and rough grading. Presently, the project site contains an asphalt parking lot that is being used by the neighboring recreational and commercial uses.

In accordance with the mitigation measures in the EIR, the master developer obtained all the required regulatory permits from the responsible agencies prior to the initial grading within the Specific Plan boundary. The master developer also mitigated the impacts to biological resources accordingly. As such, the development of the project site will not impact biological resources.

The project site is not located within a MSHCP Subunit or Criteria/Cell Group. Therefore, no Reservation Assembly Analysis is required. The nearest Criteria Cell is Cell 2507, which is located approximately 0.30 miles east of the Project site. The project site is separated from Cell 2507 by existing residential developments and roadway improvements. The project site is not located within a designated assessment area for Narrow Endemic Plant Species, Criteria Area Plant Species, amphibians, mammals, or the burrowing owl.

The applicant is required to pay applicable fees related to Riverside County's Multiple Species Habitat Conservation Plan, or MSHCP. This MSHCP is a habitat conservation plan for Western Riverside County that identifies land to be preserved for habitat for threatened, endangered or key sensitive populations of plant and wildlife species. The applicant is subject to the MSHCP mitigation fee for commercial development. This fee will be used to acquire and preserve vegetation communities and natural areas, which are known to support these sensitive species.

d.

The project site is in a developed area surrounded by a roadway, freeway, and residential and commercial developments. Therefore, developing the project site would not interfere with wildlife movement and no mitigation would be required.

8. MINERAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Loss of mineral resource or recovery site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.

Per Figure 4.2 of the 2020-2040 General Plan Technical Background Report, the project site is not located in an oil, gas or mineral resources site. Therefore, no mitigation is warranted.

9. HAZARDS AND HAZARDOUS MATERIALS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Transport, use or disposal of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Risk of accidental release of hazardous materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Hazardous materials/emissions within ¼ mile of existing or proposed school	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Located on hazardous materials site	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with Airport land use plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Impair emergency response plans	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Increase risk of wildland fires	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & d.

A Phase I Environmental Site Assessment (Phase I ESA) was conducted for the project site by Property Solutions, Inc. (August 10, 2009), to evaluate the physical conditions of the project site and to uncover any hazardous wastes that may have previously been used, treated, stored, or disposed on the project site.

The site is not listed in any federal or state-reported environmental databases related to underground storage tanks, hazardous waste generation, or hazardous material releases. A field visit of the site was conducted by Property Solutions, Inc. No pits, ponds, lagoons, swales, or surface impoundments potentially containing hazardous materials were observed on the property. No above or underground storage tanks were observed during the site visit. No other potential issues of concern such as asbestos, PCB-containing materials, solid waste, or hazardous materials were observed. Therefore, impacts related to accidental release of hazardous materials is not expected and no mitigation is required.

c.

The nearest schools to the project site are El Cerrito Intermediate and Wilson Elementary School. El Cerrito Intermediate is located approximately 1.65 miles north of the project site. Wilson Elementary School is located approximately 1.85 miles west of the project site. The schools are separated from the project site by existing residential and commercial developments, highways, and roadways. Also, development of the proposed project would not include any activities that would result in hazardous emissions or handle hazardous materials, substances, or waste in a manner that could result in toxic emissions. Therefore, this would be a non-issue and no mitigation is required.

e.

The nearest airport to the project site is the Corona Municipal Airport, located approximately 7.5 miles northwest of the project site. Based on the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not within any identified safety or compatibility zone and therefore, does not conflict with the ALUCP and no mitigation is warranted.

f & g.

The project site is not located in proximity to the Cleveland National Forest, nor is it considered an area that can be described as a wildland area. The project site is an infill site located within an urbanized area. Due to the urbanized nature of the surrounding area, the proposed development would not be considered at high risk for fire hazards. Furthermore, all development within the City of Corona is required to comply with all fire code requirements associated with adequate fire access, fire flows, sprinklers, and number of hydrants. Therefore, the project would have no impact and no mitigation is required.

10. NOISE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed noise level standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure to excessive noise levels/vibrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Permanent increase in ambient noise levels	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. Temporary increase in ambient noise levels

☐☒☐☐

e. Conflict with Airport Land Use Plan noise contours

☐☐☐☒**Discussion:**

a., b., c., & d.

Long-term noise impacts will be minimal given that the proposed use is office where all operations would be conducted inside the buildings. The long-term noise impacts associated with the project would be generated from parking lot noise, mechanical HVAC equipment, and conversation/outdoor noise. The nearest sensitive area would be the existing residential condominiums across Pronio Circle approximately 60 feet from the project site. The project is subject to the City's noise standards for stationary noise under CMC Section 17.84.040(C) shown below. Thus, the project's long-term noise would have no significant impact and no mitigation is required.

CMC Section 17.84.040(C)

TABLE 1 STATIONARY NOISE SOURCE STANDARDS				
TYPE OF LAND USE	MAXIMUM ALLOWABLE NOISE LEVELS			
	Exterior Noise Level		Interior Noise Level	
	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.	7 a.m. to 10 p.m.	10 p.m. to 7 a.m.
Single-, Double- and Multi-Family Residential	55 dBA	50 dBA	45 dBA	35 dBA
Other Sensitive Land Uses	55 dBA	50 dBA	45 dBA	35 dBA
Commercial Uses	65 dBA	60 dBA	Not applicable	Not applicable

Short-term impacts are associated with future grading and project construction, and are reduced to a less than significant level by the city's Municipal Code. Per CMC Chapter 17.84, construction activities are prohibited between the hours of 8:00 p.m. to 7:00 a.m. Monday through Saturday, and 6:00 p.m. to 10:00 a.m. on Sundays and federal holidays. This will prevent nuisance noise impacts during sensitive time periods of early morning and nighttime for the residences located north (across Pronio Circle) of the project site. To further reduce the potential for noise impacts, a list of design features are shown below. **(Mitigation Measure 10-A)**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

Mitigation Measures:**MM 10-A**

1. No impact pile driving activities shall be allowed on the project site.
2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use.
3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible.
4. Obtain a construction work permit from the City of Corona prior to starting construction.

e.

Per the Riverside County Airport Land Use Compatibility Plan (ALUCP), the project site is not located in an identified airport land use compatibility zone; therefore, no impact associated within this issue would occur and mitigation is not required.

11. PUBLIC SERVICES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Parks & recreation facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Other public facilities or services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The Corona Fire Department (CFD) will provide all emergency and medical aid calls to the project site. Station 7 will provide first response and is located on Bedford Canyon Road, near Interstate 15, approximately 1.1 miles from the project site. Station 7 is located approximately 1.1 miles from the project site and should generate quick response times to the project site. Therefore, response times to the project site will not be impacted and the project site does not require the construction of new fire protection facilities.

b.
The City of Corona Police Department will provide patrol and emergency response to the project site. The Police Department presently has over 200 employees, including officers and support staff and is stationed at 730 Public Safety Way, which is approximately 6.15 miles from the project site. The City's police patrol officers work assigned zones throughout the city; therefore, officers responding to the project site can come from either the city's police station or from their assigned zone while on patrol. Therefore, police services are not anticipated to be impacted by the proposed project and the project does not require the construction of new police protection facilities.

c.
The proposed project is commercial and will not result in residential development that would lead to the generation of additional students. The applicant is required to pay the applicable development impact mitigation school fees. Therefore, no further mitigation is warranted.

d.
The development of the project site does not require the construction of new public facilities. The developer however is required to pay the city's Development Impact Fees prior to the issuance of building permits. This is enforced by city ordinance (CMC Chapter 16.23); therefore, no mitigation is warranted with respect to impacts on City and public services.

12. UTILITIES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Exceed wastewater treatment requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Involve construction/expansion of water or wastewater treatment facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Involve construction/expansion of storm drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Sufficient water supplies/compliance with Urban Water Management Plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Adequate wastewater treatment capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Adequate landfill capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Comply with solid waste regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a., b., & e.
As required for all projects by the City's Utilities Department, the project is required to construct or guarantee the construction

of all necessary public water and sewer facilities needed to serve the project. All water and sewer facilities are required to be designed per the standards of the Utilities Department and Riverside County Department of Health Services and will be reviewed by the Utilities Department during the plan check process. This would reduce the impacts to less than a significant level and therefore, no further mitigation would be required.

c.

The project does not require the construction of additional storm drains or expansion of existing storm drains. The city's existing storm drains have sufficient capacity to receive flows from the project site. Therefore, no impacts are expected.

d.

As discussed under the Hydrology and Water Quality section, a preliminary WQMP was prepared for the project. As part of the project's grading permit process, the applicant is required to submit a final WQMP and the city's Public Works inspector also inspects the project site for compliance with the final approved WQMP during the on-site grading process and at time of project completion. Therefore, the project would not impact water quality or violate water quality standards and no mitigation is required.

f. & g.

Waste Management (WM) is contracted by the City of Corona as the sole hauler of solid waste and provider of recycling services. WM provides refuse collection to residential, commercial, and industrial customers. Based on the solid waste generation identified in Table 12-A, solid waste from the project would be transported to the El Sobrante landfill located at 10910 Dawson Canyon in Corona. The El Sobrante landfill accepts a maximum 16,054 tons of waste per day and has a remaining capacity of 143,977,170 tons and an estimated closure date of 2051.

TABLE 12-A

Landfill	Location	Remaining Capacity (cubic yards)	Estimated Closure Date	Maximum Daily Permitted Tonnage	Actual Average Daily Disposal, tons ¹	Residual Disposal Capacity, tons per day
El Sobrante	10910 Dawson Canyon Road Corona, CA 91719	143,977,170 ¹	2051	16,054	5,599 ⁴	10,455
Olinda Alpha	1942 North Valencia Avenue Brea, CA 92823	34,200,000 ²	2021	8,000	3,638 ⁵	4,362
Total		178,177,170	NA	24,054	9,237	14,817

Source: Table 5.19-10 Environmental Analysis – Utilities and Service System - Solid Waste of General Plan Technical Update of Corona General Plan Final Environmental Impact Report, December 2019

Per the General Plan Technical Update EIR, the County of Riverside is required to maintain 15 years identified disposal capacity or have a plan to transform or divert its waste, pursuant to AB 939. There is adequate landfill capacity in the region for solid waste that would be generated by the 2020-2040 General Plan buildout. Furthermore, new developments approved by the City would be required to contain storage areas for recyclable materials in conformance with California Public Resources Code Sections 42900 et seq., and the City of Corona Municipal Code Chapter 8.20 (Collection of Refuse and Recyclable Materials). Solid waste diversion program would continue operating and would have adequate capacity to accept all future wastes and recyclables to reduce landfilled waste. Additionally, solid waste service fees would be charged to individual property owners when services are initiated to offset operation costs associated with solid waste collection and disposal. Therefore, the project is anticipated to create a less than significant impact to landfill capacity and no mitigation would be required.

13 AESTHETICS:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Scenic vista or highway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Degrade visual character of site & surroundings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Scenic resources (forest land, historic buildings within state scenic highway)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Light or glare	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

Per Figure 4-5 of the 2020-0040 City of Corona General Plan Technical Background Report, Temescal Canyon Road is not a scenic vista or highway. Development of the site will be subject to the development standards and architectural guidelines of the Dos Lagos Specific Plan which permit commercial buildings up to a maximum height of 60 feet. The buildings proposed on the project site would have the one-story corner building at a height of approximately 23 feet with the two-story lakeview terrace building at approximately 30 feet in height. Both buildings have brick and plaster finishes. The windows are tinted glass with metal awnings. Rooftop mechanical equipment will be screened from street view by parapet walls. The buildings overall are aesthetically pleasing and attractive and would not cause degradation to the area. Therefore, no mitigation with respect to the aesthetics of the development is required.

c.

The project site is not located immediately adjacent to any forest lands. There are no historic buildings located in the vicinity of the project site. No state-designated scenic highway is located within the vicinity of the project site. Therefore, the project would not impact scenic resources and no mitigation is required.

d.

A photometric analysis was prepared by Gouvis Engineering Consulting Group, Inc. to analyze the project's on-site lighting for compliance with the city's performance standard for glare and to ensure that the on-site lighting will not be a nuisance to the existing residential buildings located in the vicinity of the project site. The exterior lighting proposed for the development consists of LED wall lights on the buildings and parking lot light poles. The lighting is designed to provide vertical light distribution, reduced offsite visibility, and reduced on-site glare while providing effective security light levels.

The analysis demonstrates the project's compliance with the city's regulations pertaining to glare per Section 17.84.070 of the Corona Municipal Code, which states that "all areas of exterior lighting shall be designed to direct light downward with minimal spillover onto adjacent residences, sensitive land uses, and open space." The nearest sensitive land uses are live/work units which are located approximately 60 feet north of the project site across Pronio Circle. The analysis shows that the project's exterior lighting would result in minimal glare spillover onto Pronio Circle and the surrounding land uses. The project's lighting would not result in a significant change to the area because the project is located in an urban area that already has a significant amount of ambient lighting from street light poles and commercial and residential lighting. Furthermore, the project's proposed parking lot light poles are designed with a hood that directs light downwards. Therefore, glare effects from the project is not expected to be an issue and no mitigation is warranted.

14. CULTURAL RESOURCES:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Historical resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Archaeological resource	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Paleontological resource or unique geologic feature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Disturb human remains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., & c.

Since the site was previously mass graded during the development of the Dos Lagos community, it is highly unlikely that the site would contain historical, archaeological, or paleontological resources. Also, per the paleontological resources study conducted for the project site by Cogstone (March 2016), no fossils were observed on the site during Cogstone's field survey.

However, if unanticipated fossils are unearthed during construction, work should be halted in that area until a quantified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find. Also, the project is required to comply with Mitigation Measure 7 under the **Tribal Cultural Resources** section, which addresses the disturbance of human remains. Compliance with these requirements would reduce impacts to cultural resources to less than significant. (MM 14-A and MM 17-F)

Mitigation Measure:

MM 14-A If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.

15. AGRICULTURE RESOURCES:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Williamson Act contract	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conversion of farmland to nonagricultural use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a.
The California Land Conservation Act of 1965, commonly referred to as the Williamson Act, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use. In return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The purpose of the Act is to encourage property owners to continue to farm their land, and to prevent the premature conversion of farmland to urban uses. The project site is not located within a Williamson Act contract area. Therefore, no impact to Williamson Act lands will result from the proposed development and no mitigation is required.

b.
The project site is not a designated farmland per the farmland maps compiled by the California Department of Conservation, Farmland Mapping and Monitoring Program (FMMP). For this reason, development of the project site would not result in the conversion of farmland to nonagricultural uses; therefore, there would be no impacts and no mitigation would be required.

16. GREENHOUSE GAS:	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Generate greenhouse gases	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with a plan, policy or regulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.
The City of Corona adopted the City of Corona Climate Action Plan (CAP) in 2019 which utilizes the *Greenhouse Gas Emissions CEQA Thresholds and Screening Tables* to determine whether or not a project would have a significant impact on greenhouse gas emissions. The screening tables are to provide guidance in measuring GHG reductions attributable to certain design and construction measures incorporated into development projects. Projects that garner at least 100 points will be consistent with the reduction quantities anticipated in the City's CAP and would thus be considered less than significant. Utilizing the screening tables would also allow the City to meet its GHG emissions target for year 2020.

Per the CAP, small projects that are expected to emit GHG emissions that are less than 3,000 MtCO₂e (metric tons of CO₂e equivalent) are not required to utilize the screening tables as they would be expected to have a less than significant individual and cumulative impact for GHG emissions. Office projects that typically emit more than 3,000 MtCO₂e would need to have a building area of at least 162,000 square feet. Since the proposed office project's total building area is 21,400 square feet, it is anticipated that the project's GHG emissions would be less than 3,000 MtCO₂e. Therefore, the project would not need to utilize the CAP's screening tables as no impacts are expected. The project would be in compliance with the CAP and no mitigation would be required.

17. TRIBAL CULTURAL RESOURCES

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Discussion:

- a.
The project is not located on the California Register of Historical Resources or on the City's register of historic resources and would have no impacts to the state's or city's historic resources.
- b.
The project is subject to tribal consultation under AB 52. The purpose of AB 52 is to ensure that local and triable governments, public agencies, and project components have information available, early in the planning process to identify and address potential adverse impacts to tribal cultural resources. The Planning and Development Department initiated the process by notifying the local Native American tribes of the proposed project through a letter of transmittal dated October 12, 2020. The Planning and Development Department received written responses from the Rincon Band of Luiseño Indians and the Soboba Band of Luiseño Indians requesting consultation on the project.

Consultation was held between the Planning and Development Department staff and Cheryl Madrigal, representative of Rincon Band of Luiseño Indians Soboba Tribe on January 6, 2021, and February 25, 2021. On March 4, 2021, Ms. Madrigal closed consultation because the project was already analyzed in the Dos Lagos Environmental Impact Report (EIR).

On January 7, 2021, consultation began with Jessica Valdez, representative for the Soboba Band of Luiseno Indians and continued until March 6, 2021. There was no further response from the tribe until Joseph Ontiveros, representative for the Soboba Tribe, responded for Ms. Valdez on August 12, 2021, requesting to continue the consultation process. Mr. Ontiveros expressed concerns with the site potentially containing tribal cultural resources due to the site being located in the vicinity of other identified tribal cultural resources, and thus, requested tribal monitoring in order to reduce impacts to tribal cultural resources. Mitigation Measures 17-A through 17-G would reduce impacts to less than significant. **(Mitigation Measures 17-A through 17-G)**

Mitigation Measures

- MM 17-A Tribal Monitoring:** Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.
- MM 17-B Archaeological Monitoring:** At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.
- a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include:
 - i. Project grading and development scheduling;
 - ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling,

safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists;

- iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources' evaluation.

MM 17-C Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Monitored grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:

- a. **Temporary Curation and Storage:** During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and
- b. **Treatment and Final Disposition:** The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Planning and Development Department with evidence of same:
 - i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;
 - ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;
 - iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and
 - iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.

MM 17-D For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.

MM 17-E Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.

MM 17-F Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by

California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.

The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).

According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).

MM 17-G Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:

- a. The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques.
- b. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens.

18. MANDATORY FINDING OF SIGNIFICANCE:

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fish/ wildlife population or habitat or important historical sites	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cumulatively considerable impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantial adverse effects on humans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Short-term vs. long-term goals	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion:

a., b., c., & d.

Based on the Initial Study, development of the proposed project would have either no impact, or potential effects of the proposal are substantiated at or mitigated to levels below thresholds of significance. Based on the analysis presented in the preceding checklist, the project has the potential to result in significant impacts under the following environmental topics:

- Noise
- Cultural Resources; and
- Tribal Cultural Resources.

However, appropriate mitigation measures have been developed. **Mitigation Measures 10-A through 17-G** successfully mitigate all identified potential impacts to less than significant levels. Therefore, project impacts to fish/wildlife population or habitat, important historical sites, cumulatively considerable impacts, substantial adverse effects on humans, or short-term vs. long-term goals are considered less than significant.

19. WILDFIRE:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Substantially impair an adopted emergency response plan or emergency evacuation plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Due to slope, prevailing wind, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from wildfire or the uncontrolled spread of a wildfire	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water resources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability or drainage changes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

a. & b.

The project site is not located within a high fire hazard severity zone. The project site is also not adjacent to other properties that are within a high fire hazard severity zone. There are no slopes, prevailing winds, or other factors that would exacerbate wildfire risks and expose project occupants to pollutant concentrations from wildfire. Therefore, no impacts are expected as it relates to wildfire.

The properties to the south and west have also been developed for commercial purposes and developed to commercial standards that include paved concrete surfaces, paved access and commercial buildings. The proposed commercial buildings will also be constructed in accordance with the California Building Standards Code and California Fire Code which will require adequate fire suppression measures such as fire sprinklers and adequate water pressure for fire hydrants serving the project. Therefore, no impacts are expected.

c.

Paved roadway access is provided to the project from two public streets, Temescal Canyon Road and Pronio Circle. A secondary access is provided at the south perimeter of the project site via an existing connection to the existing restaurant parking area within The Dos Lagos Shops commercial development south of the project site. Therefore, the site has adequate access in the event to an evacuation or fire-related emergency.

d.

The project site is relatively flat and completely surrounded by urban development. The site has no significant slopes nor is it located nearby any slopes. The site is also not located in a downstream flood area. Therefore, development of the project would not expose people or structures to risks related to landslides or flooding that could occur post-fire. No impacts are expected.

20. ENERGY:		Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
a.	Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Conflict with or obstruct a state or local plan for renewable energy or energy efficiency	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion:

a. & b.

During construction, the proposed project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. Fossil fuels used for construction vehicles and other energy-consuming equipment would be used

during site preparation, grading, paving, and building construction. The types of equipment could include gasoline- and diesel-powered construction and transportation equipment, including trucks, tractors, loaders, backhoes, excavators, graders, bulldozers, rollers, forklifts, and cranes.

Other equipment could include construction lighting, field services (office trailers), and electrically driven equipment such as pumps and other tools. Singlewide mobile office trailers, which are commonly used in construction staging areas, generally range in size from 160 square feet to 720 square feet. A typical 720-square-foot office trailer would consume approximately 9,700 kilowatt-hour (kWh) during the approximately 1.1-year construction period. Due to the temporary nature of construction and the financial incentives for developers and contractors to use energy consuming resources in an efficient manner, the construction phase of the proposed project would not result in wasteful, inefficient, and unnecessary consumption of energy. Therefore, the construction related impacts related to electricity and fuel consumption would be less than significant and no mitigation is required.

The proposed project will not conflict with or obstruct a State or Local plan for renewable energy or energy efficiency. The project would result in energy consumption through the combustion of fossil fuels in construction vehicles, worker commute vehicles, and construction equipment, and the use of electricity for temporary buildings, lighting, and other sources. California Code of Regulations Title 13, Sections 2449 and 2485, limit idling from both on-road and off-road diesel-powered equipment and are enforced by California Air Resources Board. The project would comply with these regulations. There are no policies at the local level applicable to energy conservation specific to the construction phase. Thus, it is anticipated that construction of the proposed plan would not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Therefore, construction-related energy plan consistency impacts would be less than significant, and no mitigation is required.

California's Renewables Portfolio Standard (RPS) requires that 33 percent of electricity retail sales be served by renewable energy sources by 2020. The proposed project would be served with gas provided by SoCalGas. SoCalGas offers renewable natural gas captured from sources like dairies, wastewater treatment plants and landfills. The proposed project would be served with electricity provided by Southern California Edison (SCE). SCE's 2017 power mix included 32 percent eligible renewable (biomass and biowaste, geothermal, eligible hydroelectric, solar, and wind), 34 percent unspecified sources of power, 20 percent natural gas, 8 percent large hydroelectric, and 6 percent nuclear. SCE also offers a Green Rate 50 percent option that sources 66 percent of its power mix from eligible renewable energy sources, and a Green Rate 100 percent option that sources 100 percent of its power mix from eligible renewable energy sources. SCE is on track to meet the California RPS of 33 percent by 2020 mandate.

Part 11, Chapter 5, of the State's Title 24 energy efficiency standards establishes mandatory measures for non-residential buildings, including material conservation and resource efficiency. The project would be required to comply with these mandatory measures. The project would also comply with the California Building Standards Code requiring proposed commercial buildings to be solar ready. Policy IU-7.7 encourages the reduction of energy consumption through passive solar building orientation as well as the installation of rooftop solar energy systems and energy-efficient technologies. The proposed project would be encouraged to comply with this policy. Other policies that promote energy conservation at the local level are voluntary. Compliance with the aforementioned mandatory measures would ensure that the proposed project would not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing energy use or increasing the use of renewable energy. Therefore, operational energy efficiency and renewable energy standards consistency impacts would be less than significant, and no mitigation is required.

21. PREVIOUS ENVIRONMENTAL ANALYSIS:

Earlier analysis may be used when one or more of the environmental effects have been adequately analyzed in an earlier EIR or Negative Declaration (Section 15063).

DOCUMENTS INCORPORATED BY REFERENCE:

1. City of Corona General Plan 2020-2040
2. City of Corona Technical Background Update EIR, 2019
3. Dos Lagos Specific Plan 99-03, June 21, 2000
4. City of Corona Annexation No. 94 & Dos Lagos Specific Plan EIR, certified June 21, 2000
5. Phase 1 ESA prepared by Property Solutions, Inc. dated August 10, 2009
6. Preliminary Project Specific WQMP, prepared by Land Development Design Company, LLC. dated April 17, 2019
7. Geotechnical Update, prepared by South Shore Testing & Environmental, December 14, 2020
8. Air Quality Screening Letter by Ldn Consulting, Inc. dated April 20, 2020
9. Focused Traffic Impact Analysis Report, prepared by Linscott Law & Greenspan, April 30, 2020
10. Paleontological Resources Technical Report For The Rexco Properties, prepared by Cogstone, March 2016



MITIGATION MONITORING AND REPORTING PROGRAM CITY OF CORONA

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
	NOISE					
MM 10-A	<ol style="list-style-type: none"> 1. No impact pile driving activities shall be allowed on the project site. 2. During construction, the contractor shall ensure all construction equipment is equipped with appropriate noise attenuating devices and equipment shall be maintained so that vehicles and their loads are secured from rattling and banging. Idling equipment shall be turned off when not in use. 3. Locate staging area, generators and stationary construction equipment as far from the northern property line, as reasonably feasible. 4. Obtain a construction work permit from the City of Corona prior to starting construction. 	Condition of approval	Submittal of Grading and Construction Plans	During Grading and Construction	Planning and Land Development Divisions	
	CULTURAL RESOURCES					
MM 14-D	If unanticipated fossils are unearthed during construction, work should be halted in that area until a qualified paleontologist can assess the significance of the find. Work may resume immediately at a minimum of 50 feet away from the find.	Condition of approval	Submittal of documentation	During grading and construction	Planning Division	
	TRIBAL CULTURAL RESOURCES					
MM 17-A	Tribal Monitoring: Prior to the issuance of a grading permit, the applicant shall contact the consulting Native American Tribe(s) that have requested monitoring through consultation with the City during the AB 52 process, as applicable. The applicant shall coordinate with the Tribe(s) to develop a Tribal Monitoring Agreement(s). A copy of the signed agreement shall be provided to the City of Corona Community Development Department prior to the issuance of a grading permit.	Condition of approval	Submittal of agreements	Prior to issuance of a grading permit	Planning Division	

	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-B	<p>Archaeological Monitoring: At least 30-days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources.</p> <ul style="list-style-type: none"> a. The Project Archaeologist, in consultation with interested tribes, the Developer and the City, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the project site. Details in the Plan shall include: <ul style="list-style-type: none"> i. Project grading and development scheduling; ii. The development of a rotating or simultaneous schedule in coordination with the applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting tribes during grading, excavation and ground disturbing activities on the site: including the scheduling, safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project archaeologists; iii. The protocols and stipulations that the Developer, City, Tribes and Project archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation. 	Condition of approval	Submittal of documentation showing that an archeologist has been retained for the project.	Prior to issuance of a grading permit	Planning and Development Dept.	Condition of approval

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C	<p>Mitigation Measures</p> <p>Treatment and Disposition of Cultural Resources: In the event that Native American cultural resources are inadvertently discovered during the course of grading for this Project, construction activities shall cease around the cultural resources until it is assessed. Grading activities may continue to occur around the cultural resource; however, no grading shall occur within 50 to 100 feet around the cultural resource, as determined by the Project Archaeologist and Tribal Monitors. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <p>a. Temporary Curation and Storage: During the course of construction, all discovered resources shall be temporarily curated in a secure location onsite or at the offices of the project archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried with tribal monitor oversight of the process; and</p> <p>b. Treatment and Final Disposition: The landowner(s) shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Corona Community Development Department with evidence of same:</p> <p>i. Accommodate the process for onsite reburial of the discovered items with the consulting Native American tribes or bands. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed;</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-C Cont'	<p>ii. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation;</p> <p>iii. For purposes of conflict resolution, if more than one Native American tribe or band is involved with the project and cannot come to an agreement as to the disposition of cultural materials, they shall be curated at the Western Science Center by default; and</p> <p>iv. At the completion of grading, excavation and ground disturbing activities on the site a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the project Archaeologist and Native Tribal Monitors within 60 days of completion of grading. This report shall document the impacts to the known resources on the property; describe how each mitigation measure was fulfilled; document the type of cultural resources recovered and the disposition of such resources; provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting; and, in a confidential appendix, include the daily/weekly monitoring notes from the archaeologist. All reports produced will be submitted to the City of Corona, Eastern Information Center and interested tribes.</p>	Condition of approval	Submittal of Phase IV monitoring report	Within 60 days of completion of grading	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-D	For final disposition of archaeological material that is non-Native American in origin, the landowner shall relinquish the archaeological material to an appropriate qualified repository with Riverside County that meets federal standards per 36 CFR Part 79 to be professionally curated and made available to other archaeologists/researchers for further study.	Condition of approval	Submittal of Phase IV monitoring report or other documentation as applicable	Within 60 days of completion of grading	Planning and Development Dept.	
MM 17-E	Sacred Sites: All sacred sites, should they be encountered within the project area, shall be avoided and preserved as the preferred mitigation, if feasible.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-F	Discovery of Human Remains: In the event that human remains (or remains that may be human) are discovered at the project site during grading or earthmoving, the construction contractors, project archaeologist, and/or designated Native American Monitor shall immediately stop all activities within 100 feet of the find. The project proponent shall then inform the Riverside County Coroner and the City of Corona Community and Development Department immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b). Section 7050.5 requires that excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If human remains are determined as those of Native American origin, the applicant shall comply with the state relating to the disposition of Native American burials that fall within the jurisdiction of the NAHC (PRC Section 5097). The coroner shall contact the NAHC to determine the most likely descendant(s). The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site. The Disposition of the remains shall be overseen by the most likely descendant(s) to determine the most appropriate means of treating the human remains and any associated grave artifacts.	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

No	Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Person	Verification Date
MM 17-F Cont'	<p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p> <p>According to California Health and Safety Code, six or more human burials at one location constitute a cemetery (Section 8100), and disturbance of Native American cemeteries is a felony (Section 7052) determined in consultation between the project proponent and the MLD. In the event that the project proponent and the MLD are in disagreement regarding the disposition of the remains, State law will apply and the median and decision process will occur with the NAHC (see Public Resources Code Section 5097.98(e) and 5097.94(k)).</p>	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	
MM 17-G	<p>Paleontological Resources and Fossil Specimens: In the event that fossils are inadvertently discovered during the course of grading for this Project, the following procedures shall be carried out:</p> <ol style="list-style-type: none"> The applicant shall immediately cease operation and retain a qualified and trained paleontologist. The paleontologist shall salvage all fossils in the area and provide additional field staff in accordance with modern paleontological techniques. All fossils collected during the project will be prepared to a reasonable point of identification. Excess sediment or matrix will be removed from the specimens to reduce the bulk and cost of storage. Itemized catalogs of material collected and identified will be provided to the museum repository along with the specimens. 	Condition of approval	Submittal of documentation	During grading and/or construction	Planning and Development Dept.	

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Staff Report

File #: 21-0905

**PLANNING AND HOUSING COMMISSION
STAFF REPORT**

DATE: 10/11/2021

TO: Honorable Chair and Commissioners

FROM: Planning and Development Department

APPLICATION REQUEST:

V2021-0001: A variance application from Corona Municipal Code Section 17.66.015 to eliminate the minimum five-foot street side yard setback to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street. (Applicant: Ralph Cervantes of Pettit Engineering, 1787 Pomona Road Suite D, Corona, CA 92878)

RECOMMENDED ACTION:

That the Planning and Housing Commission adopt Resolution No. 2577 GRANTING V2021-0001, based on the findings contained in the staff report and conditions of approval.

PROJECT SITE SUMMARY

Area of Property: 29,077 square feet (0.67 acres)

Existing Zoning: M-1 (Light Manufacturing)

Existing General Plan: LI (Light Industrial)

Existing Land Use: Emergency homeless shelter

Proposed Land Use: Emergency homeless Shelter

Surrounding Zoning/Land Use:

N: M-1 (Light Manufacturing) zone / W. Harrison Street and industrial buildings

E: I (Industrial) designation within the North Main Street Specific Plan / N. Sheridan Street and industrial buildings

S: M-1 (Light Manufacturing) zone / Industrial buildings

W: M-1 (Light Manufacturing) zone / Industrial building with lumber yard

BACKGROUND

The Harrison Emergency Shelter is a City-owned homeless shelter located at 420 W. Sheridan Street. The property is currently undergoing Phase II improvements, which were approved by the City Council on June 2, 2021. Phase II includes interior improvements of the existing shelter, upgrades to

the security system, and the addition of a new 380-square-foot patio cover for a dog run. The improvements are part of the City's Homeless Strategic Plan to create a facility that will provide homeless individuals (clients) emergency shelter and necessary services, such as medical, behavioral health, dental, workforce development, etc.

V2021-0001 is a variance application that seeks to eliminate the proposed patio cover's five-foot setback requirement. The setback requirement can only be eliminated with approval of a variance by the Planning and Housing Commission. Corona Municipal Code (CMC) section 17.96.020 requires the Planning Commission to make the following finding:

Section 17.96.020

(A) Neither the Commission nor the Council may grant a variance from the terms of this title, including any requirement provided therein, unless it has first found from the evidence admitted during the hearing before the Commission or Council that because of special circumstances, applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the terms of the zoning regulations from which the variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

PROJECT DESCRIPTION

As shown on the applicant's plans in Exhibit 3.A, the property is currently developed with a building and parking lot. An outdoor recreation area is located on the western portion of the property. A dog run is located at the northwest corner of the property, near Harrison Street. The proposed patio cover will shade a portion of the dog run and the recreation area. It is anticipated that some clients of the shelter will have pets and service animals, and the patio cover is intended to provide their pets shade and protection from inclement weather.

The patio structure is comprised of four posts and a solid roof constructed of duralumin, a material similar to aluminum. The overall height of the structure is 9 feet, with a cover measuring 18 feet by 20 feet.

CMC Section 17.66.015 requires patio covers to be set back a minimum of five feet from side and rear lot lines adjacent to a street. Although the shelter's entrance faces north, Harrison is a side street because the Code determines the front street based on a property's narrowest frontage (e.g., N. Sheridan Street is the project's frontage). V2021-0001 seeks to eliminate the required five-foot setback required by CMC Section 17.66.015 and allow a zero street-side setback for the patio cover, as reflected in the submitted plans.

ENVIRONMENTAL ANALYSIS

Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), a Notice of Exemption has been prepared for the project because the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density, and does not result in the creation of a new parcel (Exhibit 4).

FISCAL IMPACT

There is no fiscal impact to the city associated with this application.

PUBLIC NOTICE AND COMMENTS

A 10-day public notice was mailed to all property owners within a 500-foot radius of the project site, as well as advertised in the Sentinel Weekly News and posted at the project site. As of the preparation of this report, the Planning and Development Department has not received any response from the public regarding the proposal.

STAFF ANALYSIS

Per CMC Section 17.96.020, a variance can only be granted by the Planning and Housing Commission if there are special circumstances applicable to the property that deprive the property of privileges otherwise enjoyed by other properties in the vicinity that have identical zoning. Per state law, the special circumstances applicable to the property would include the size, shape, topography, location or surroundings.

Staff supports the variance because the property has a long rectangular shape, which offers limited flexibility in terms of site design and layout. Furthermore, the property is developed with a building and parking lot, which cannot be relocated or reduced in area without impacting project feasibility, utilities, setbacks, or necessary improvements. Additionally, the existing recreation area next to the patio cannot be relocated or reduced in area without diminishing the areas where clients enjoy the outdoors and time with their pets. Any reduction to the recreation area would impact its functionality and useability.

Aside from the setback along Harrison Street, the patio structure complies with all other setbacks applicable to the patio. Also, the patio has been reviewed by staff to ensure that its location will not impact or impair vehicle or pedestrian visibility at the driveway on Harrison Street. The variance will not adversely affect the property or uses in the vicinity of the project site.

The proposed patio cover encroaches into an existing six-foot wide city utility easement that extends along the north perimeter of the property. The applicant is aware that the patio structure may be removed if the city needs to access the underground utilities.

Approval of the variance contributes to the Harrison Emergency Homeless Shelter and helps fulfill the City's Homeless Strategic Plan. It also supports General Plan Policy H-2.4, which states:

Provide emergency shelter with transitional support for city residents, including disadvantage groups.

The Planning Division recommends approval of V2021-0001 based on the findings listed below and staff's recommended conditions of approval.

FINDINGS FOR APPROVAL OF V2021-0001

1. A preliminary exemption assessment has been conducted by the City of Corona and it has

shown that this project does not require further environmental assessment because the project qualifies as a Class 5 Categorical Exemption under the CEQA Section 15305 (Minor Alterations in Land Use Limitations including setback variances), as the project consists of a variance to eliminate the side-yard setback for a proposed patio cover.

2. The strict application of the terms of the zoning regulations from which the Variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications because of the following special circumstances applicable to the property related to size, shape, topography, location or surroundings.
 - a. *The property is constrained by its shape and the existing improvements on-site. The property is long and rectangular-shaped, which offers little flexibility in terms of site design and layout. The property is developed with an existing building and parking lot, which cannot be relocated or reduced in area without impacting other necessary and existing improvements. The existing recreation area next to the dog run and patio cover also cannot be relocated or reduced without impacting its functionality and useability. The use of the property is unique as there are no other emergency shelters in the area. All of the components of the property including the shelter, parking lot, recreation area, dog run, and patio are necessary for the shelter to operate effectively.*
3. Approval of V2021-0001 does not constitute the granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is located for the following reason:
 - a. *Approval of the variance would not be a granting of special privileges because the applicant has demonstrated that the physical characteristics of the property pose special circumstances that apply to the subject site.*
4. The Variance will not adversely affect property and the use thereof in the vicinity of the subject property or the public health, safety, and general welfare for the following reason:
 - a. *The subject setback will not adversely affect the property or uses in the vicinity of the project site, because no portions of the patio structure will extend beyond the property lines of the property. The patio structure will not impair vehicular or pedestrian visibility at the project entrance on Harrison Street.*

PREPARED BY: RAFAEL TORRES, ASSISTANT PLANNER

REVIEWED BY: SANDRA YANG, SENIOR PLANNER

REVIEWED BY: JAY EASTMAN, PLANNING MANAGER

SUBMITTED BY: JOANNE COLETTA, PLANNING AND DEVELOPMENT DIRECTOR

EXHIBITS

1. Resolution No. 2577
2. Locational and Zoning Map
- 3.A - Site Plan and Patio Details
- 3.B - Conditions of Approval
- 3.C - Photographs of the site and vicinity
- 3.D - Applicant's letter dated September 20, 2021
4. Environmental Documentation

Case Planner: Rafael Torres (951) 736-2262



RESOLUTION NO. 2577

APPLICATION NUMBER: V2021-0001

A RESOLUTION OF THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, GRANTING A VARIANCE TO ELIMINATE THE MINIMUM FIVE-FOOT STREET SIDE YARD SETBACK (CORONA MUNICIPAL CODE SECTION 17.66.015) TO ACCOMMODATE A 380 SQUARE-FOOT PATIO COVER AT THE HARRISON EMERGENCY SHELTER PROPERTY LOCATED AT 420 W. HARRISON STREET IN THE M-1 (LIGHT MANUFACTURING) ZONE. (APPLICANT: RALPH CERVANTES OF PETTIT ENGINEERING)

WHEREAS, the application to the City of Corona, California, for a Variance under the provisions of Corona Municipal Code Chapter 17.96 has been duly submitted to said City's Planning and Housing Commission, requesting the elimination of the minimum five-foot street side yard setback required by Corona Municipal Code Section 17.66.015, in order to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property located at 420 W. Harrison street.

WHEREAS, the Planning and Housing Commission held a noticed public hearing for V2021-0001 on October 11, 2021, as required by law; and

WHEREAS, the Planning and Housing Commission finds that this project is a Class 5 categorical exemption from CEQA pursuant to Section 15305(a) of the State CEQA Guidelines and Section 3.22 of the City of Corona Local Guidelines for Implementing CEQA, as the project is a setback variance that does not change the site's land use or density, and does not result in the creation of a new parcel.

WHEREAS, after close of said hearing, the Commission by formal action, found that all the conditions necessary to granting a Variance as set forth in Corona Municipal Code Section 17.96.020 do exist in reference to V2021-0001 based on the evidence presented to the Commission during said hearing; and

WHEREAS, the Planning and Housing Commission based its recommendation to approve the V2021-0001 on certain conditions of approval and the findings set forth below.

NOW, THEREFORE, THE PLANNING AND HOUSING COMMISSION OF THE CITY OF CORONA, CALIFORNIA, DOES ORDAIN AS FOLLOWS:

SECTION 1. CEQA Findings. As the decision-making body for this V2021-0001, the Planning and Housing Commission has determined that this project does not require further environmental assessment because the project qualifies as a Class 5 categorical exemption under CEQA per Section 15305(a) of the State Guidelines and Section 3.22 of the City of Corona adopted Local Guidelines for implementing CEQA, as the project is a setback variance that does not change the site's land use or density, does not result in the creation of a new parcel, and there is no evidence that the granting of the variance will have any significant effects on the environment.

SECTION 2. Variance Findings. Pursuant to Corona Municipal Code ("CMC") section 17.96.020 and based on the entire record before the Planning and Housing Commission, including all written and oral evidence presented to the Commission, the Commission hereby makes and adopts the following findings:

1. The strict application of the terms of the zoning regulations from which the Variance is being sought deprives the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications because of the following special circumstances applicable to the property related to size, shape, topography, location or surroundings:
 - a. *The property is constrained by its shape and the existing improvements on-site. The property is long and rectangular-shaped, which offers little flexibility in terms of site design and layout. The property is developed with an existing building and parking lot, which cannot be relocated or reduced in area without impacting other necessary and existing improvements. The existing recreation area next to the dog run and patio cover also cannot be relocated or reduced without impacting its functionality and useability. The use of the property is unique as there are no other emergency shelters in the area. All of the components of the property including the shelter, parking lot, recreation area, dog run, and patio are necessary for the shelter to operate effectively.*
2. Approval of V2021-0001 does not constitute the granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which subject property is located for the following reason:
 - a. *Approval of the variance would not be a granting of special privileges because the applicant has demonstrated that the physical characteristics of the property pose special circumstances that apply to the subject site.*

3. The Variance will not adversely affect property and the use thereof in the vicinity of the subject property or the public health, safety, and general welfare for the following reason:

- a. No portions of the patio structure will extend beyond the property lines of the property. The patio structure will not impair vehicular or pedestrian visibility at the project entrance on Harrison Street.*

BE IT FURTHER RESOLVED that a copy of this Resolution be delivered to the City Clerk of said City and a copy thereof be sent to the applicant therefore at the address of said applicant as set forth in the application for said Variance.

Adopted this 11th day of October, 2021.

Karen Alexander, Vice Chair
Planning and Housing Commission
City of Corona, California

ATTEST:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

I, Stella West, Secretary to the Planning and Housing Commission of the City of Corona, California, do hereby certify that the foregoing Resolution was regularly introduced and adopted in a regular session of said Planning and Housing Commission duly called and held on the 11th day of October, 2021, and was duly passed and adopted by the following vote, to wit:

AYES:

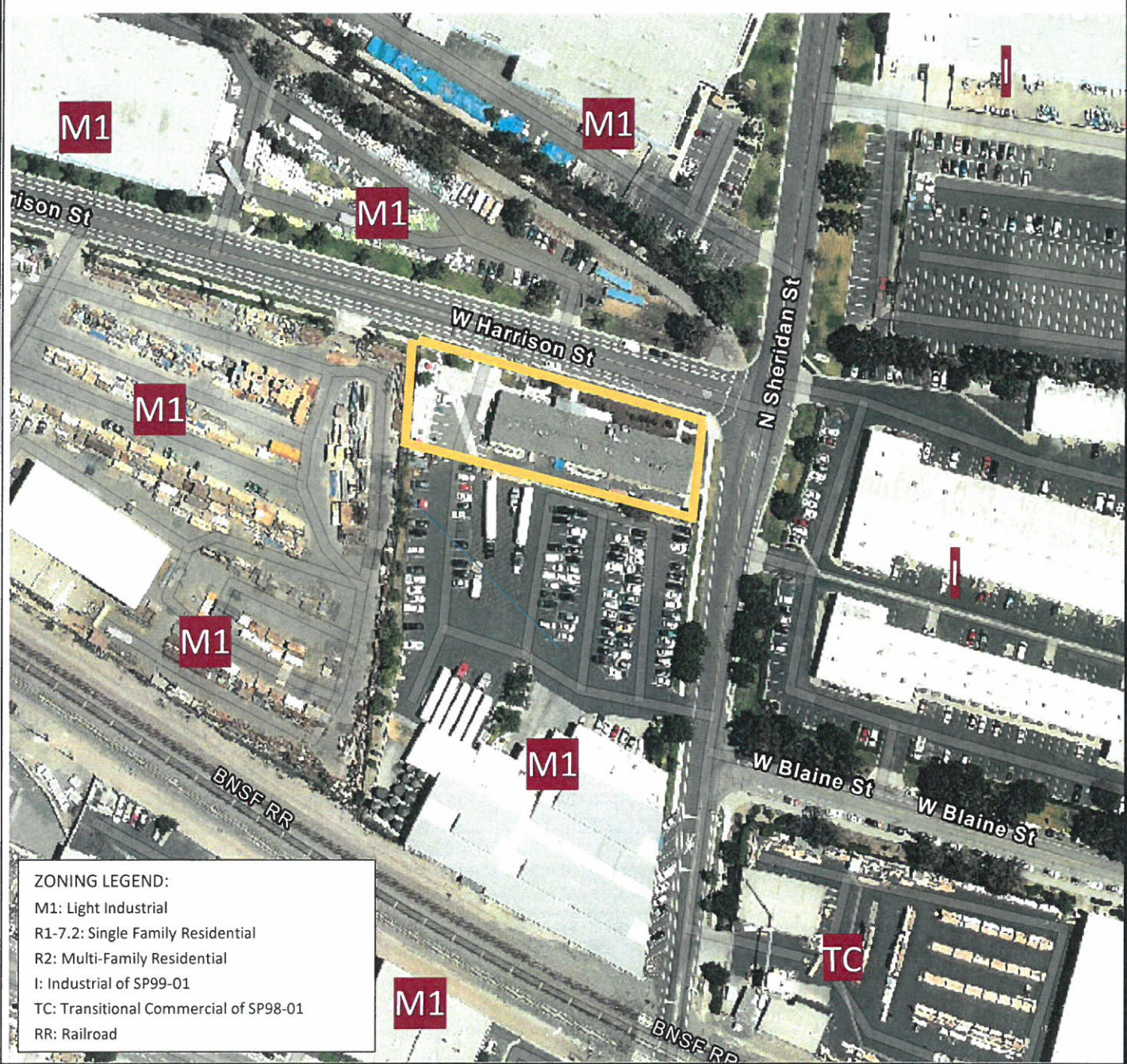
NOES:

ABSENT:

ABSTAINED:

Stella West
Secretary, Planning and Housing Commission
City of Corona, California

AERIAL & LOCATIONAL MAP



ZONING LEGEND:
M1: Light Industrial
R1-7.2: Single Family Residential
R2: Multi-Family Residential
I: Industrial of SP99-01
TC: Transitional Commercial of SP98-01
RR: Railroad



V2021-0001
420 W. HARRISON STREET



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Project Conditions City of Corona

Project Number: V2021-0001

Description: Variance to remove minimum side yard setback for patio cover

Applied: 8/23/2021

Approved:

Site Address: 420 W HARRISON ST CORONA, CA 92880

Closed:

Expired:

Status: COMPLETE

Applicant: RALPH CERVANTES

Parent Project:

Details: Major Variance to remove minimum 5-foot side yard setback for the placement of a patio cover at size (19'x20'x9'H) on W. Harrison Street for the Emergency Homeless Shelter, under Phase 2.

LIST OF CONDITIONS	
DEPARTMENT	CONTACT
PLANNING	Rafael Torres
<ol style="list-style-type: none">1. To the fullest extent permitted by law, the applicant shall defend, indemnify and hold the City of Corona and its directors, officials, officers, employees, volunteers and agents free and harmless from any and all claims, demands, causes of action, proceedings, costs, expenses, liabilities, losses, damages or injuries of any kind, in law or equity, in any manner arising out of, pertaining to, or incident to any attack against or attempt to challenge, set aside, void or annul any approval, decision or other action of the City of Corona, whether such approval, decision or other action was by its City Council, Planning and Housing Commission or other board, director, official, officer, employee, volunteer or agent. To the extent that Government Code Section 66474.9 applies, the City will promptly notify the applicant of any claim, action or proceeding made known to the City to which Government Code Section 66474.9 applies and the City will fully cooperate in the defense. The Applicant's obligations hereunder shall include, without limitation, the payment of any and all damages, consultant and expert fees, and attorney's fees and other related costs and expenses. The City shall have the right to retain such legal counsel as the City deems necessary and appropriate.2. Nothing herein shall be construed to require City to defend any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action. If at any time Applicant chooses not to defend (or continue to defend) any attack against or attempt to challenge, set aside, void or annul any such City approval, decision or other action, the City may choose, in its sole discretion, to defend or not defend any such action. In the event that the City decides not to defend or continue the defense, Applicant shall be obligated to reimburse City for any and all costs, fees, penalties or damages associated with dismissing the action or proceeding. If at any time both the Applicant and the City choose not to defend (or continue to defend) any action noted herein, all subject City approvals, decisions or other actions shall be null and void. The Applicant shall be required to enter into any reimbursement agreement deemed necessary by the City to effectuate the terms of this condition.3. This variance permit hereby allowed is conditional upon the privileges being utilized by the securing of the first permit thereof, or compliance with all conditions on the granting of this variance within two (2) years after the effective date thereof, and if they are not utilized, or construction work is not begun within said time and carried on diligently to completion, this authorization shall become void, and any privilege, permit, or variance granted shall be deemed to have lapsed.	

Variance Major Submittal Photo Log

Photos of Site



09 – Looking South-East



10 – Looking South. Proposed Patio Cover Area



11 – Looking South



12 – Looking South-West



13 – Looking South-East



14 – Looking West



15 – Looking North-West

September 20, 2021

City of Corona
Planning Department
400 S. Vicentia Ave.
Corona, CA 92880

REFERENCE: **Variance Major Submittal Application**
For Harrison Emergency Shelter
420 W. Harrison Street
Corona, CA 92880

Variance Letter

The City of Corona wishes to apply for a Variance for its proposed canopy cover that encroaches into the street side yard setback and public utility easement. The street side yard setback is 15'-0" and the public utility easement is 6'-0". Both run parallel to Harrison Street.

The existing site is zoned M-1, Light Manufacturing, and the land use is C, (Commercial). The Harrison Emergency Shelter will provide emergency shelter, medical, behavioral health, dental, workforce development, life skills and many other services to facilitate crisis stabilization and a quick path to permanent housing. Development of an emergency shelter/multi-service center fulfills one of the goals in the City's Homeless Strategic Plan. The purpose of the Homeless Strategic Plan is to facilitate a systems-oriented approach to address homelessness more effectively in Corona.

The overall quality of life in the City of Corona will improve for businesses and residents that are impacted by unsheltered homeless living on the streets. In addition, Corona's homeless neighbors will have access to a complete system of services including outreach/engagement, crisis stabilization shelter, a wide variety of supportive services, and permanent housing. Corona's homeless system of services includes best practice interventions that are effective in addressing chronic and situational homelessness.

The Harrison Shelter will accommodate homeless clients with pets and service animals. The newly installed dog run does not have a shade cover. Staff has identified a need for a shade structure to protect pets from heat and inclement weather. The existing Dog Run is located at the north-west end of the site. The proposed canopy cover is placed to serve the best location for the existing Dog Run. Unfortunately, the proposed location is within the street side yard setback and public utility easement. This location was selected instead of the Recreation Area because it will cover a portion of the Dog Run and a portion of the Recreation Area. The intent of the proposed cover is to allow dog owners to be next to their canine companions as they play in the Dog Run. The proposed canopy cover will be 18'-0" x 20'-0" x 9'-0" high and will not extend beyond the property limits. Duralum is the proposed manufacturer and the top cover will be solid to give the residents and their canine companions protection against rainy weather or extreme sun. The material is aluminum to look like wood and the color will be tan to match the existing patio covers that were recently installed in the Phase 1 project.

From Harrison Street, the proposed canopy cover will sit in between two existing trees and in front of one existing tree. The low profile (9'-0" high) will not obstruct the scenery of the existing trees. An existing 5'-11" screened wrought iron fence will be in front of the canopy cover and

PETTIT

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hide it even more. There will only be a small section of the proposed canopy visible from the street. The canopy will encroach upon the existing 6' public utilities easement dedicated to City of Corona Utilities Department formally known as Department of Water and Power. The owner acknowledges that for any planned utilities installation in the easement the owner will remove the structure in order to provide the City access to install any planned utilities. It is also understood that City of Corona Utilities Department will remove the structure in case of emergency repair and will not be held responsible for re-installation of the canopy.

The City of Corona firmly believes the benefits of the proposed canopy cover out way the disadvantages and will give their residents and canine companions a higher and safer quality of life.

If you require any additional information, please feel free to contact me at (951) 736-8161. Thank you.

Sincerely,



Ralph Cervantes
Lead Project Designer for the City of Corona



CITY OF CORONA

PRELIMINARY EXEMPTION ASSESSMENT (Certificate of Determination When attached to Notice of Exemption)

Name, Description and Location of Project: V2021-0001

A variance application to eliminate the minimum five-foot street side yard setback (Corona Municipal Code Section 17.66.015) to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street (APN: 119-290-490).

Entity or Person Undertaking Project:

☐ A. Public Agency:

☒ B. Other (private):

Name: Ralph Cervantes of Pettit Engineering.
Address: 1787 Pomona Road, Suite D
Telephone No.: (951) 736-8161

Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Resolution entitled "Local Guidelines of the City of Corona Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:

- ☐ A. The proposed action does not constitute a project under CEQA.
- ☐ B. The project is a Ministerial Project.
- ☐ C. The project is an Emergency Project.
- ☐ D. The project constitutes a feasibility or planning study.
- ☒ E. The project is categorically exempt: **Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density and does not result in the creation of a new parcel.**
- ☐ F. The project is a statutory exemption. Code section number:
- ☐ G. The project is otherwise exempt on the following basis:
- ☐ H. The project involves another public agency, which constitutes the lead agency. Name of Lead Agency:

Date: _____

Rafael Torres, Assistant Planner
Lead Agency Representative



NOTICE OF EXEMPTION

TO: CLERK OF THE BOARD OF
SUPERVISORS COUNTY OF RIVERSIDE

FROM: CITY OF CORONA
COMMUNITY DEVELOPMENT DEPARTMENT
400 S. VICENTIA AVE, SUITE 120
CORONA, CA 92882

1. Project title: V2021-0001
2. Project location (specific): 420 W. Harrison Street (APN: 119-290-490).
3. a. Project location - City of Corona
b. Project location - County of Riverside
4. Description of nature, purpose and beneficiaries of project:

A variance application to eliminate the minimum five-foot street side yard setback (Corona Municipal Code Section 17.66.015) to accommodate a 380 square-foot patio cover at the Harrison Emergency Shelter property, located at 420 W. Harrison Street.

5. Name of public agency approving project: **City of Corona**
6. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity: **Ralph Cervantes of Pettit Engineering, 1787 Pomona Road, Suite D, Corona, CA 92878.**
7. Exempt Status (check one):
 - a. ☐ Ministerial Project
 - b. ☐ Not a project
 - c. ☐ Emergency project
 - d. ☒ Categorical Exemption. State type and class number: **Section 15305(a) (Minor Alteration in Land Use Limitations including variances).**
 - e. ☐ Declared Emergency
 - f. ☐ Statutory Exemption. State code section number:
 - g. ☐ Other: Explain:

8. Reasons why the project is exempt:

Per Section 15305(a) of the State Guidelines for the California Environmental Quality Act (CEQA), the project qualifies as a Class 5 (Minor Alteration in Land Use Limitations including variances) categorical exemption. The variance consists of eliminating the required side-yard setback requirement for patio covers and will not change the site's land use or density and does not result in the creation of a new parcel.

9. Contact Person/Telephone No.: Rafael Torres, Assistant Planner (951) 739-4973
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date received for filing: _____

Signature: _____
Rafael Torres, Assistant Planner
Lead Agency Representative